



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2023 APR 25 AM 11:56

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 218944

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: X Appeal: _____

PETITIONER: Kent Christman

PETITIONER'S ADDRESS: 45 Kelley Street, Cambridge, 02138

LOCATION OF PROPERTY: 51 Kelley St., Cambridge, MA

TYPE OF OCCUPANCY: Single Family Residence **ZONING DISTRICT:** Residence B Zone

REASON FOR PETITION:

/New Structure/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Remove and replace non-conforming single-family home, including foundation, with new foundation and structure substantially similar in size and character to existing structure, in approximately the same location on the lot.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements)
Article: 10.000 Section: 10.30 (Variance).

Original
Signature(s):

Kent G. Christman

(Petitioner (s) / Owner)

Kent G. Christman

(Print Name)

45 Kelley St, Cambridge

Address:

Tel. No.

E-Mail Address:

617-661-6428

entropyserviceconsultants@comcast.net

Date: 19 April 2023

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Kent Christman
(OWNER)
Address: 45 Kelley Street, Cambridge, MA 02138

State that I/We own the property located at 51 Kelley St., Cambridge,
which is the subject of this zoning application.

The record title of this property is in the name of Kent Christman

*Pursuant to a deed of duly recorded in the date 23 August 2018 Middlesex South
County Registry of Deeds at Book 71516, Page 355; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

Kent J. Christman
**SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT***


*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Kent Christman personally appeared before me,
this 19th of April, 2023, and made oath that the above statement is true.

Bala Shahi Notary

My commission expires 09/09/2027 (Notary Seal)

 BALA SHAHI
Notary Public
Commonwealth of Massachusetts
My Commission Expires
September 9, 2027

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

Repairs and/or upgrades to the existing foundation and structure are not economically or practically feasible without resulting in substantial hardship to the Petitioner. It is more efficient and cost effective to replace them with a new foundation and structure, while preserving substantially similar size, character and siting conditions.

Due to age and long-term wear & tear, the existing foundation and structure are in serious disrepair. The stone and brick foundation is in poor condition and failing.

Electrical wiring, plumbing and heating system are outdated and/ or deemed unsafe by today's standards. The framing requires substantial stabilization and there is no insulation or air sealing. In short, the foundation and structure are materially below current building code requirements and standards and would require impractical and onerous improvements to achieve a basic level of safety and comfort.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The poor condition of the foundation and structure require replacement, as piecemeal repairs would not effectively or efficiently comply with modern building and living standards and result in a sub-standard home.

A significant number of structures on the street have been replaced and /or materially modified/ updated in recent years or are undergoing current construction. As a result, the conditions of the existing foundation and structure are increasingly out of character with its surroundings.

The proposed front setback is in keeping with the neighbors existing front setbacks on the street and in the neighborhood.

- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

Proposed changes are in keeping with the character of the district, neighborhood, and street where the house is located.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The proposed changes are entirely in keeping with the character of the district, neighborhood, and the street where the house is located. In addition, the proposed changes will preserve existing mature trees and not materially alter open space conditions.

Proposed changes will promote the purpose of the ordinance. The changes will enhance the neighborhood architecturally and fulfill public safety, health, and energy efficiency goals. The proposed changes will have minimal encroachment of open space and preserve the existing tree canopy. Proposed changes preserve and further the intent of the ordinance.

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Kent Christman
Location: 51 Kelley St , Cambridge, MA
Phone: 617-661-6428

Present Use/Occupancy: Single Family Residence
Zone: Residence B Zone
Requested Use/Occupancy: Single Family Residence

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>
<u>TOTAL GROSS FLOOR AREA:</u>		1806	2195	2500 maximum (max.)
<u>LOT AREA:</u>		5023	5023	5000 minimum (min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		0.36	0.44	0.5 maximum
<u>LOT AREA OF EACH DWELLING UNIT</u>		5023	5023	2500 minimum, 2 units
<u>SIZE OF LOT:</u>	WIDTH	50	50	50
	DEPTH	100.4	100.4	N/A
<u>SETBACKS IN FEET:</u>	FRONT	13.8	5.5 to porch, 10.4 to house	15 minimum
	REAR	41.6	36.6 to porch, 41.6 to house	25
	LEFT SIDE	23.6	22	7.5 minimum
	RIGHT SIDE	5.6	5.6	7.5 minimum
<u>SIZE OF BUILDING:</u>	HEIGHT	26.5	29.5	35
	WIDTH	44.6	57.9 including porches, 48.3 house	N/A
	LENGTH	20.4	22.3	N/A
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		0.58	0.55	0.40
<u>NO. OF DWELLING UNITS:</u>		1	1	2 maximum
<u>NO. OF PARKING SPACES:</u>		2	2	1 per dwelling unit
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		20.6	15.6 to porch, 20.6 to house	10 minimum

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

Existing 2 car garage, 20' X 21 made of CMUs. Proposed new house: concrete foundation, wood frame structure

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.


KENT CHRISTMAN

51 KELLEY STREET
CAMBRIDGE, MA 02138

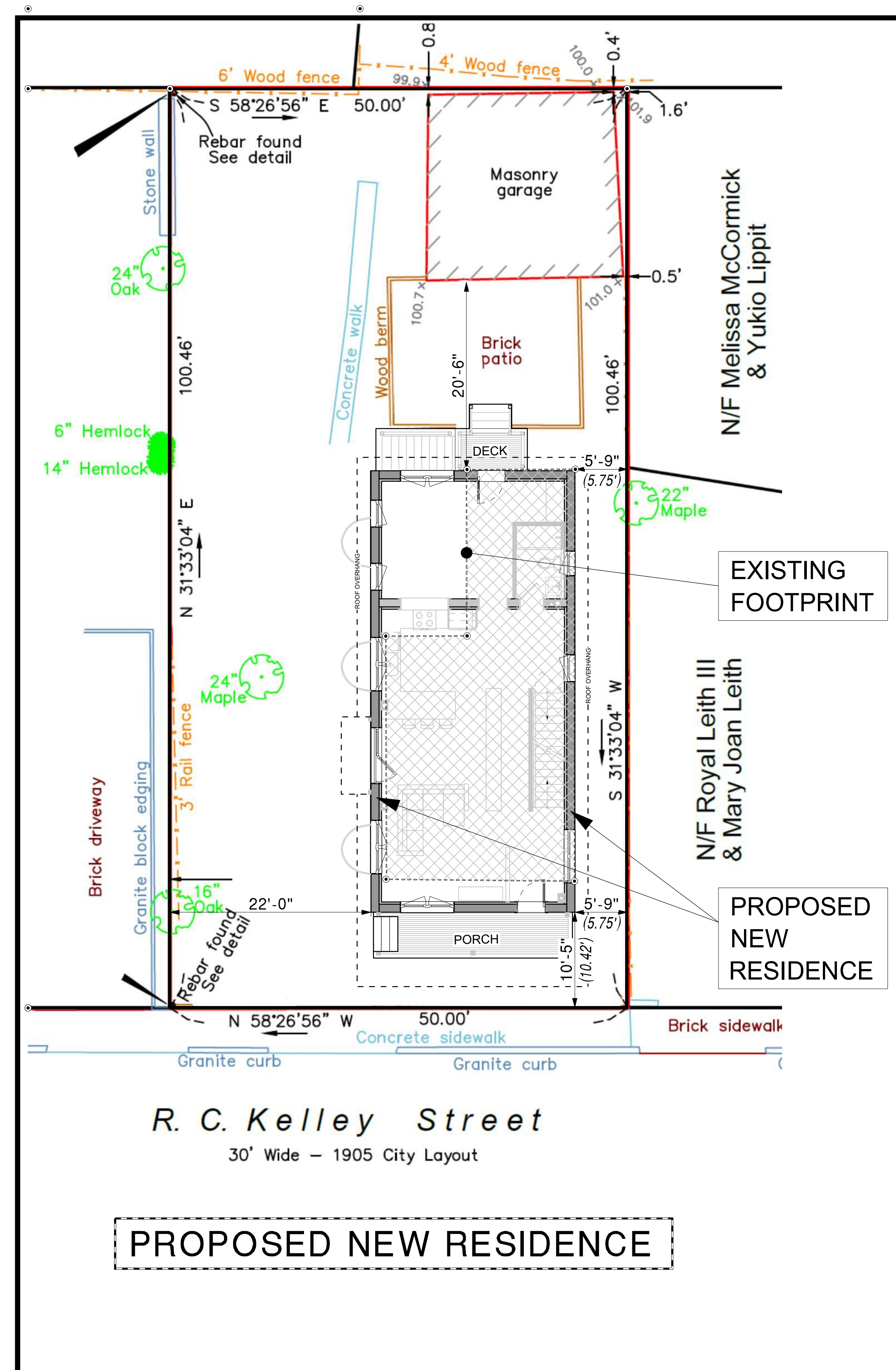
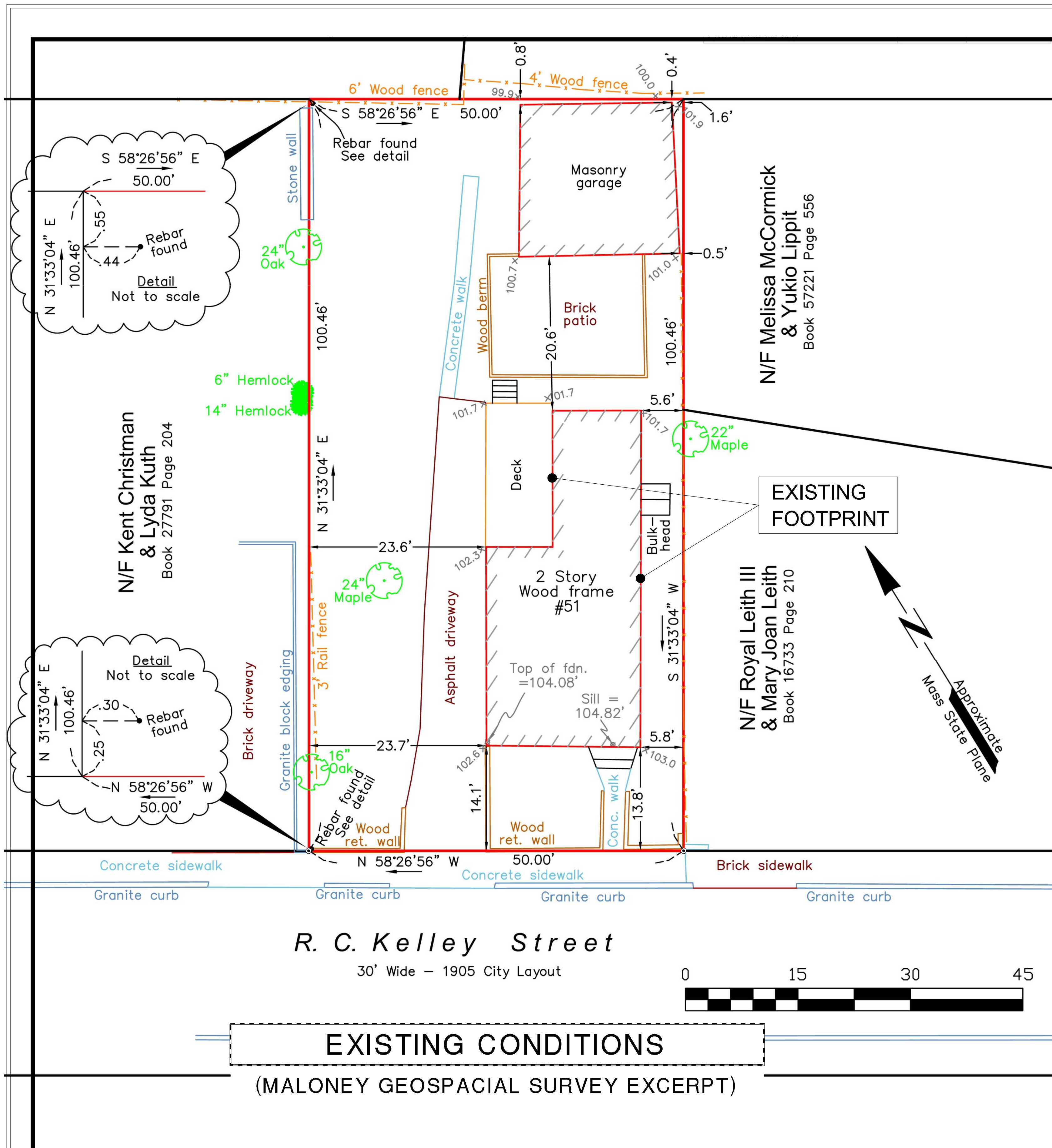


FIRST FLOOR LIVING AREA:	1,075 SF
SECOND FLOOR LIVING AREA:	763 SF
TOTAL LIVING AREA:	1,838 SF
BASEMENT	1,044 SF
REAR DECK & STAIRS	88 SF
FRONT PORCH	150 SF

For Zoning Board Review

KGC 4/18/23	
CIVIL ENGINEER:	
H.V.A.C.:	
ELECTRICAL:	
OTHER:	
ISSUE DESCRIPTION	
BY	
DATE	
CLIENT:	KENT CHRISTMAN
PROJECT TYPE:	RESIDENCE
LOCATION:	51 KELLEY STREET CAMBRIDGE, MA 02138
 6 BLACKJACK CROSSING WALPOLE, NH 03608 USA PHONE: (603) 756-3600 FAX: (603) 756-3200 EMAIL: info@unityhomes.com WEBSITE: unityhomes.com STAMP:	
DATE:	2023.04.11
SCALE:	AS NOTED
UNITY TEAM:	---/---
SHEET TITLE:	COVER
SHEET NUMBER:	A000

UNITY BUILDING TECHNOLOGIES, COPYRIGHT 2023



professional opinion, I certify to Kent Christman, Lyda Kuth, the City of Cambridge that as a result of a survey made on the property shown hereon, and in accordance with the provisions of the laws of the State of Massachusetts, I find that the property shown hereon is not within the special flood hazard area as shown on the Flood Hazard Map for Middlesex County, Massachusetts, Map #25017C0419E dated June 4, 2010 and that the locations of the improvements shown hereon are approximate and should be verified by the owner.

Plan of Land
in
Cambridge, Massachusetts
Prepared For: **Kent Christman & Lyda Kuth**
Scale: 1" = 15' Date: May 15, 2015

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

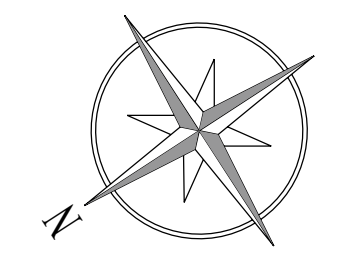
LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

DATE: 2023.04.11
SCALE: AS NOTED
UNITY TEAM: ---
SHEET TITLE:

SITE DIAGRAM

SHEET NUMBER:
SD-1

For Zoning Board Review



CIVIL ENGINEER:

H.V.A.C.:

ELECTRICAL:

OTHER:

ISSUE DESCRIPTION

BY

DATE

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

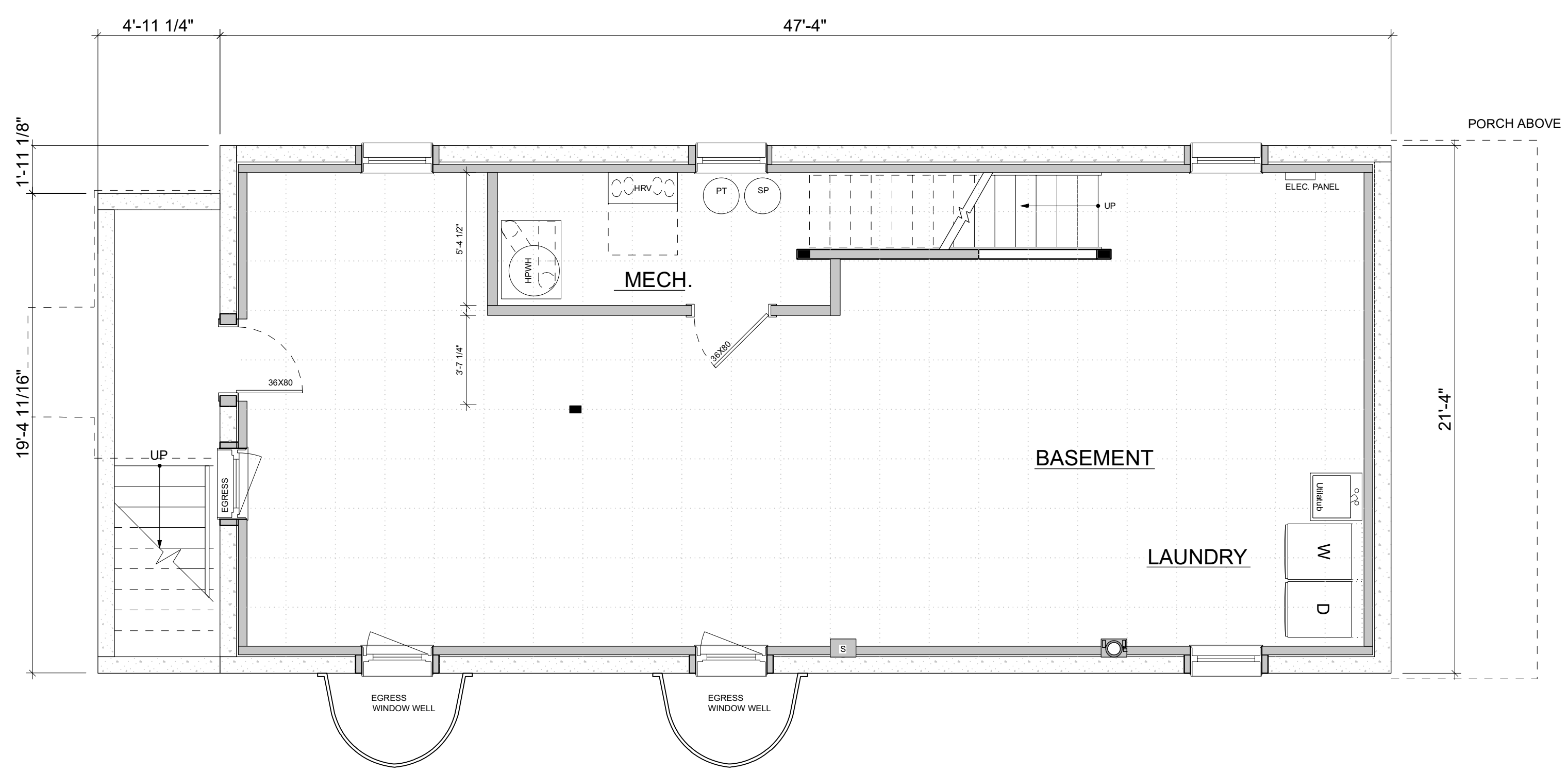
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UNITY TEAM: --/--

BASEMENT
FLOOR
PLAN

A100

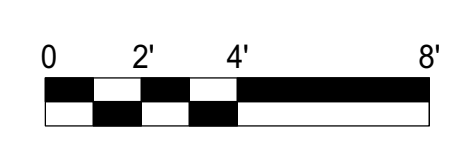
Window Symbol Plan Key		
<p>FIXED WINDOW</p>	<p>TURN / INSWING to left TILTS in at top</p>	<p>TURN / INSWING to right TILTS in at top</p>
<p>Tilt/Turn windows utilize a simple, single-handle operation. The dual function design provides ventilation, security, emergency egress and easy cleaning from the interior side.</p>		
<p>Turn handle to the LOCK (down) position to engage the multi-point hardware; tightly sealing window closed. FIXED (non-operable) units do not have hardware.</p>	<p>Turn handle to 90° (level) to swing the window open inward. TURN/IN-SWING/OPEN mode is typically used for cleaning.</p>	<p>Turn the handle 180° (vertical) for TILT mode. The window top tilts inward to a pre-set partially open position. TILT mode provides ventilation, helps deflect rain while retaining entry security.</p>



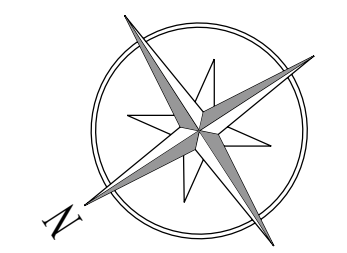
- TIMBER ABOVE
- =2'-0" GRID LINE
- =AREA OF DROPPED CEILING
- =AREA BELOW 6" HEADROOM
- =AREA OF VAULTED CEILING

WALL TYPE LEGEND	
INSULATED WALL PANEL WITH 2 1/2" OPEN-BUILT™ CHASE	
2x4 AT 24" O.C. PARTITION 5/8" GWB BOTH SIDES	
2x6 PARTITION (OR AS INDICATED) 5/8" GWB BOTH SIDES	
ACOUSTICAL BATT INSULATION IN WALL	
TIMBER POSTS	
2x6 AT 24" O.C. EXTERIOR WALL 5/8" SHEATHING	
RIGID EXTERIOR INSULATION CAST-IN-PLACE CONCRETE WALL 1" AIR SPACE 2x4 AT 24" O.C. WITH PT BOTTOM PLATE 5/8" GWB	

- GENERAL FLOOR PLAN NOTES:
- SEE A001 FOR SPECIFICATIONS AND ENERGY CODE INFORMATION.
 - REFER TO FOUNDATION PLAN, DETAILS, AND SPECIFICATIONS FOR STRUCTURAL INFORMATION.
 - INTERIOR WALLS DIMENSIONED TO FINISH.
 - ALL INTERIOR WALLS ARE 2x4 UNLESS OTHERWISE INDICATED.



For Zoning Board Review



CIVIL ENGINEER:

H.V.A.C.:

ELECTRICAL:

OTHER:

ISSUE DESCRIPTION
BY
DATE

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

unity
homes
6 BLACKJACK CROSSING
WALPOLE, NH 03608 USA
PHONE: (603) 756-3600
FAX: (603) 756-3200
EMAIL: info@unityhomes.com
WEBSITE: unityhomes.com

STAMP:

DATE: 2023

SCALE: AS NOTED

UNITY TEAM: --/--

SHEET TITLE:

FIRST FLOOR PLAN

SHEET NUMBER:

A101

Window Symbol Plan Key

FIXED WINDOW	TURN / INSWING to left TILTS in at top	TURN / INSWING to right TILTS in at top
Turn handle to the LOCK (down) position to engage the multi-point hardware; tightly sealing window closed. FIXED (non-operable) units do not have hardware.	Turn handle to 90° (level) to swing the window open inward. TURN/IN-SWING/OPEN mode is typically used for cleaning.	Turn the handle 180° (vertical) for TILT mode. The window top tilts inward to a pre-set partially open position. TILT mode provides ventilation; helps deflect rain while retaining entry security.

PSA DESIGN ROUND 1

DESIGN PROCESS: PERSONALIZED
BUILD PROCESS: TEMPO PACKAGE

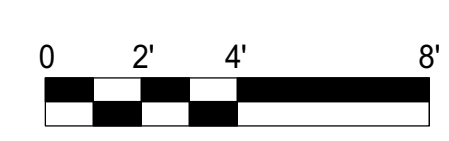
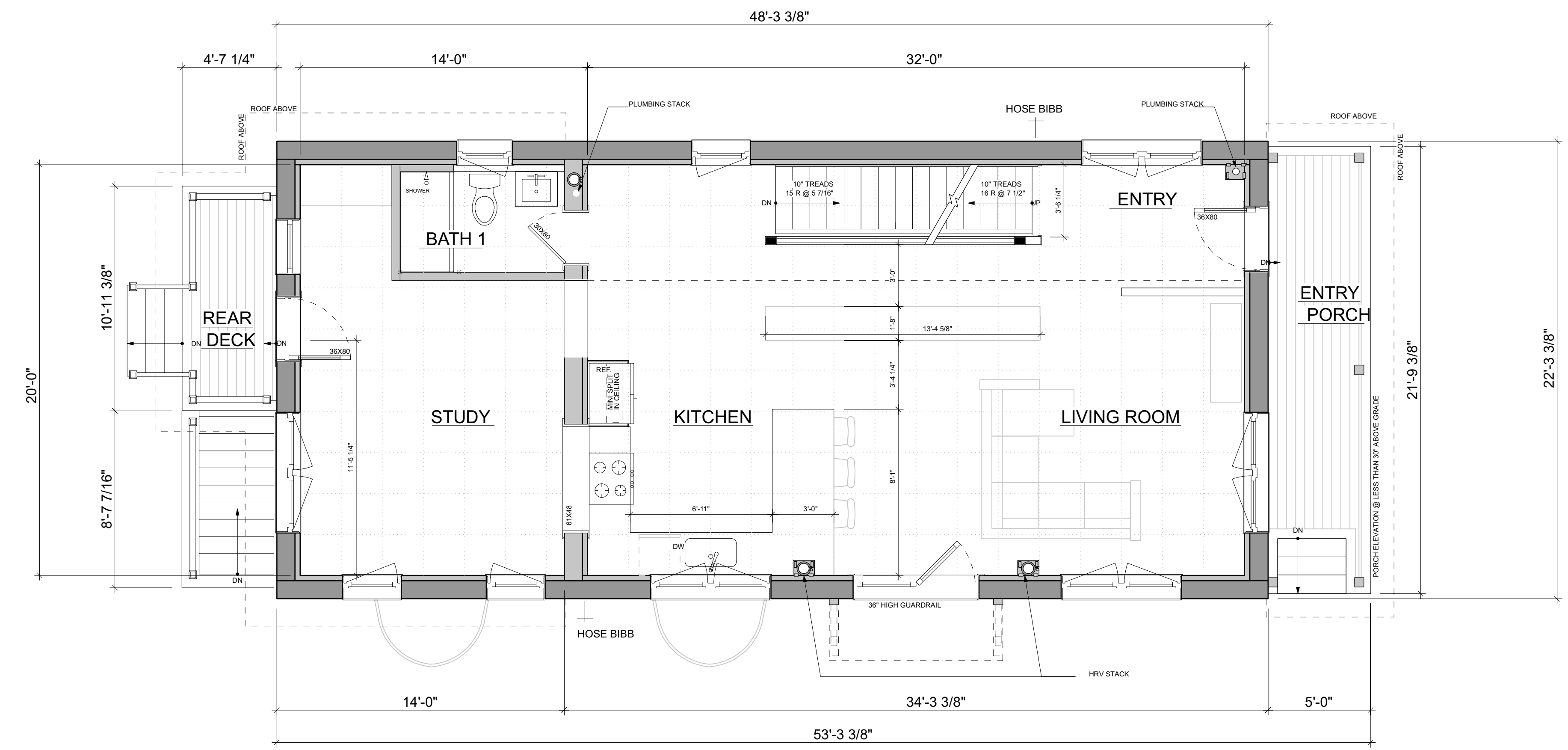
UNITY COMPONENTS

BASE PLATFORM: VARM 113 2032
ADDITIONAL COMPONENTS: 20x14 BASE EXTENSION, BASEMENT, 6x8 DECK 5x12 FRONT PORCH, RIDGE TRUSS, BRACKETED AWNING.

WALL TYPE LEGEND

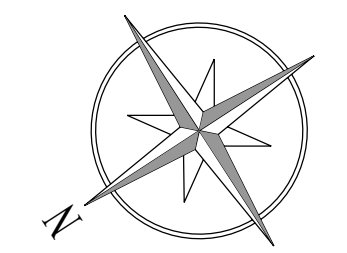
	TIMBER ABOVE		INSULATED WALL PANEL WITH 2 1/2" OPEN-BUILT™ CHASE
	=2'-0" GRID LINE		2x4 AT 24" O.C. PARTITION 5/8" GWB BOTH SIDES
	=AREA OF DROPPED CEILING		2x6 PARTITION (OR AS INDICATED) 5/8" GWB BOTH SIDES
	=AREA BELOW 6" HEADROOM		ACOUSTICAL BATT INSULATION IN WALL
	=AREA OF VAULTED CEILING		TIMBER POSTS
			RIGID EXTERIOR INSULATION CAST-IN-PLACE CONCRETE WALL 1" AIR SPACE 2x4 AT 24" O.C. WITH PT BOTTOM PLATE 5/8" GWB

- GENERAL FLOOR PLAN NOTES:
- SEE A001 FOR SPECIFICATIONS AND ENERGY CODE INFORMATION.
 - REFER TO FOUNDATION PLAN, DETAILS, AND SPECIFICATIONS FOR STRUCTURAL INFORMATION.
 - INTERIOR WALLS DIMENSIONED TO FINISH.
 - ALL INTERIOR WALLS ARE 2x4 UNLESS OTHERWISE INDICATED.



For Zoning Board Review

UNITY BUILDING TECHNOLOGIES, COPYRIGHT 2023



CIVIL ENGINEER:

H.V.A.C.:

ELECTRICAL:

OTHER:

ISSUE DESCRIPTION

BY
DATE

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

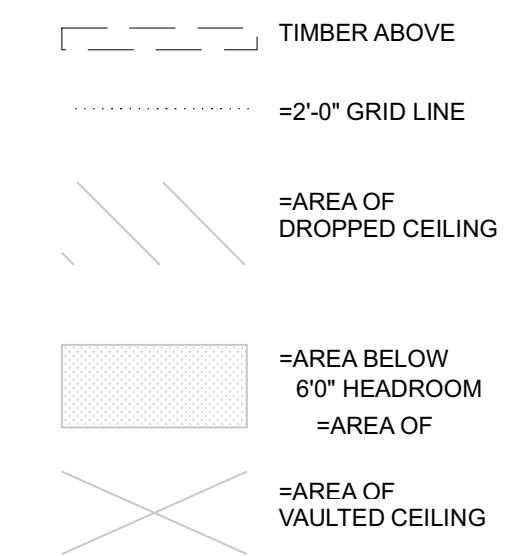
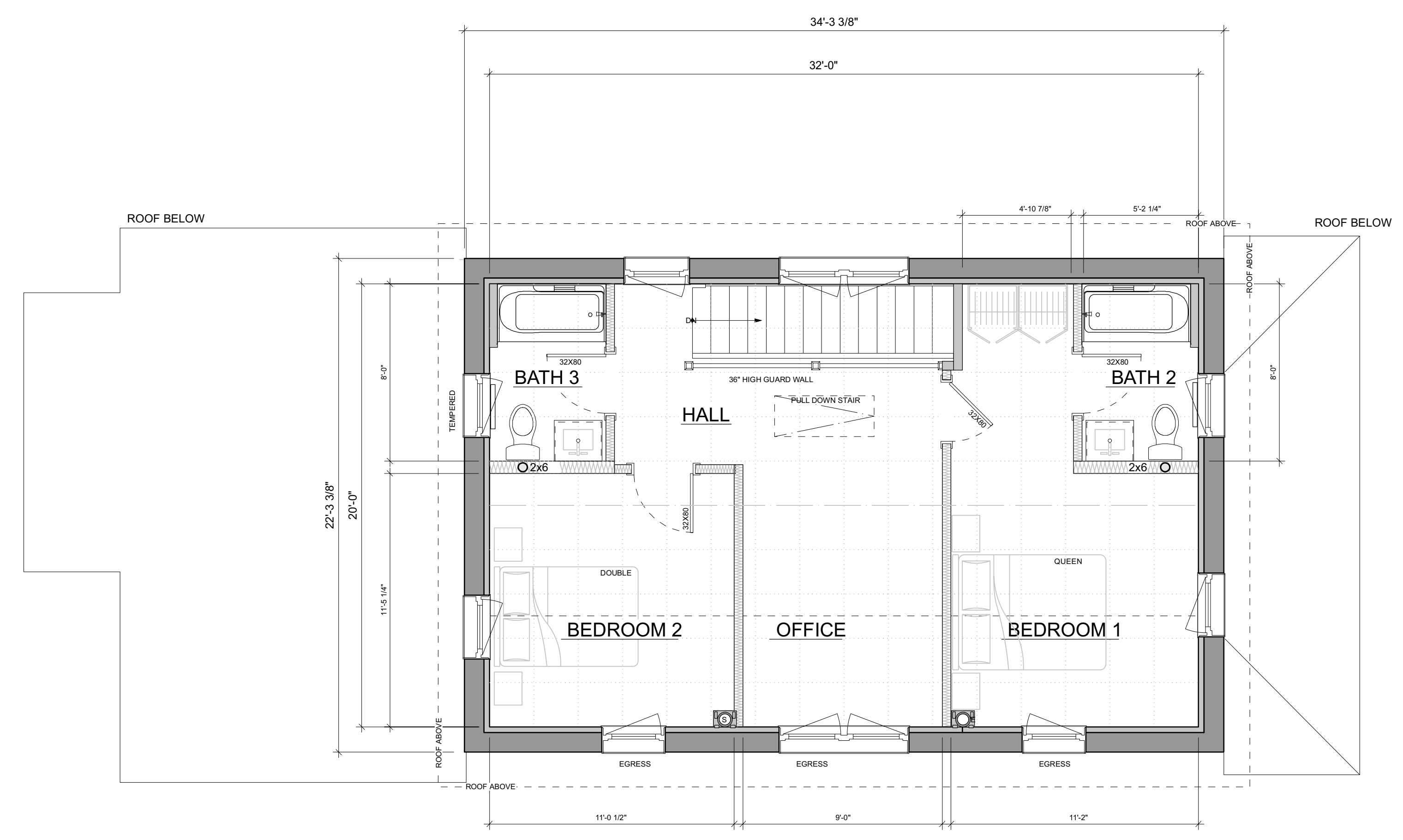
unity
HOMES
6 BLACKJACK CROSSING
WALPOLE, NH 03608 USA
PHONE: (603) 756-3600
FAX: (603) 756-3200
EMAIL: info@unityhomes.com
WEBSITE: unityhomes.com

STAMP:

SCALE: AS NOTED
UNITY TEAM: --/--

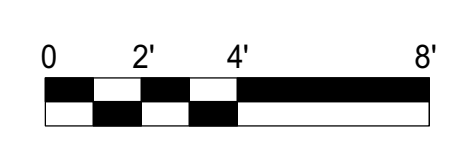
SHEET TITLE:
SECOND FLOOR PLAN

SHEET NUMBER:
A102



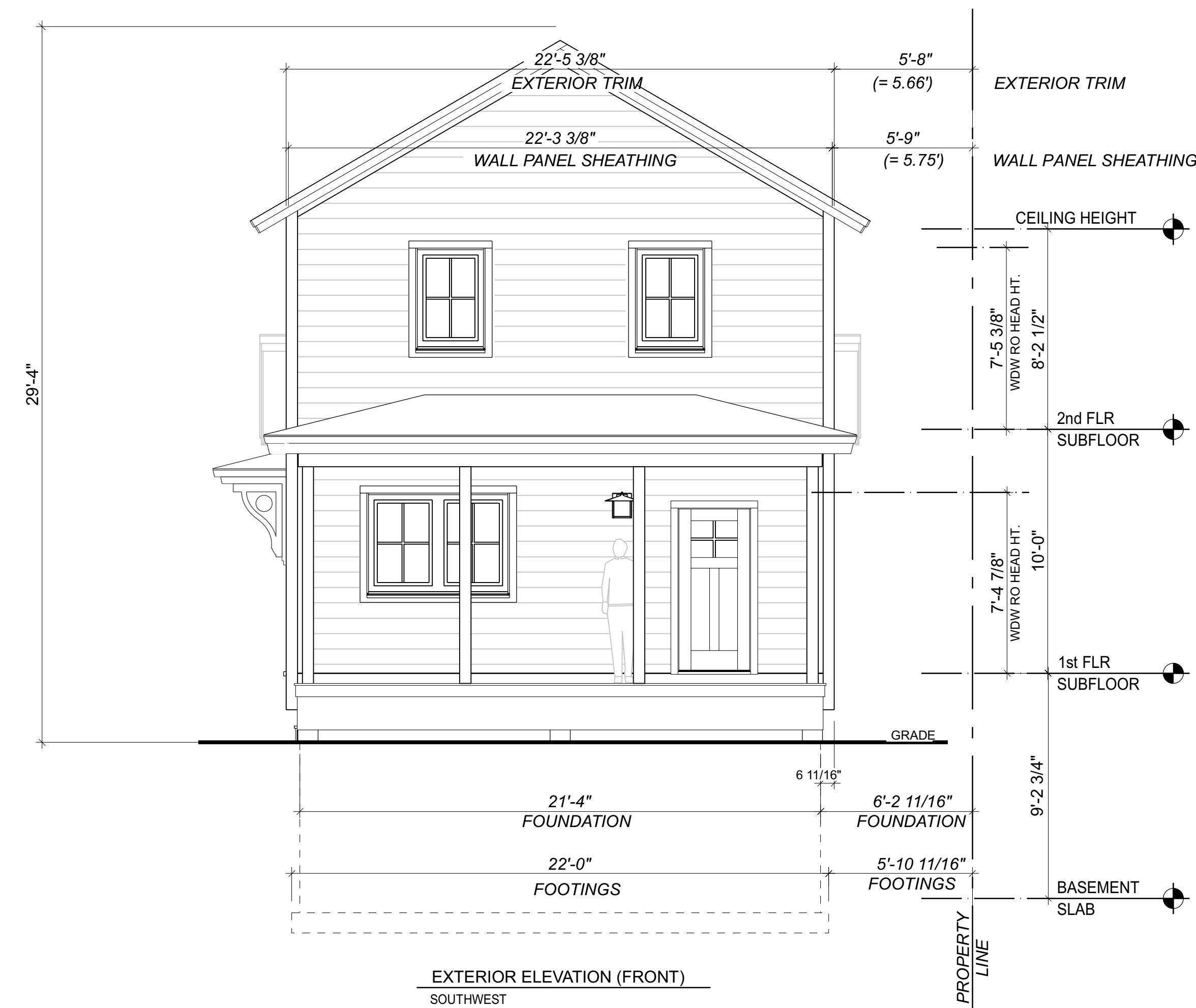
WALL TYPE LEGEND	
INSULATED WALL PANEL WITH 2 1/2" OPEN-BUILT™ CHASE	
2x4 AT 24" O.C. PARTITION WITH 5/8" GWB BOTH SIDES	
2x6 PARTITION (OR AS INDICATED) WITH 5/8" GWB BOTH SIDES	
ACOUSTICAL BATT INSULATION IN WALL	
TIMBER POSTS	
2x6 AT 24" O.C. EXTERIOR WALL WITH 5/8" SHEATHING	
RIGID EXTERIOR INSULATION CAST-IN-PLACE CONCRETE WALL WITH 1" AIR SPACE AND 2x4 AT 24" O.C. WITH PT BOTTOM PLATE AND 5/8" GWB	

- GENERAL FLOOR PLAN NOTES:
1. SEE A001 FOR SPECIFICATIONS AND ENERGY CODE INFORMATION.
 2. REFER TO FOUNDATION PLAN, DETAILS, AND SPECIFICATIONS FOR STRUCTURAL INFORMATION.
 3. INTERIOR WALLS DIMENSIONED TO FINISH.
 4. ALL INTERIOR WALLS ARE 2x4 UNLESS OTHERWISE INDICATED.



For Zoning Board Review

UNITY BUILDING TECHNOLOGIES, COPYRIGHT 2023



EXTERIOR ELEVATION
NORTHWEST

EXTERIOR ELEVATION (FRONT)
SOUTHWEST

CIVIL ENGINEER:

H.V.A.C.:

ELECTRICAL:

OTHER:

ISSUE DESCRIPTION
BY
DATE

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

unity
homes

6 BLACKJACK CROSSING
WALPOLE, NH 03608 USA
PHONE: (603) 756-3600
FAX: (603) 756-3200
EMAIL: info@unityhomes.com
WEBSITE: unityhomes.com

STAMP:

DATE: 2023.04.15

SCALE: AS NOTED

UNITY TEAM: --/--

SHEET TITLE:

ELEVATION

SHEET NUMBER:

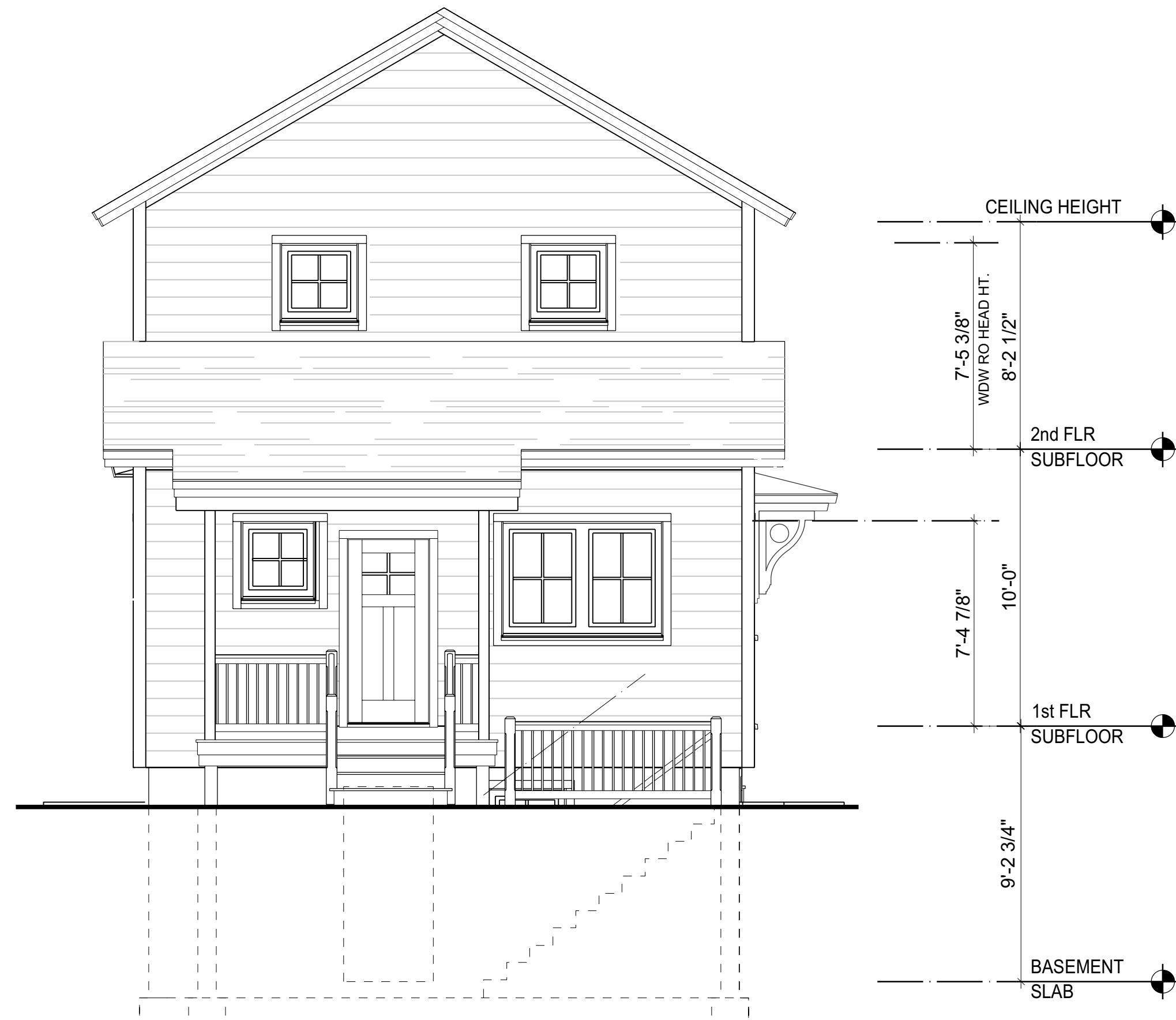
A200

For Zoning Board Review

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EXTERIOR ELEVATION (SIDE)
SOUTHEAST



EXTERIOR ELEVATION
NORTHEAST

CIVIL ENGINEER:

H.V.A.C.:

ELECTRICAL:

OTHER:

ISSUE DESCRIPTION

BY

DATE

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

unity
homes

6 BLACKJACK CROSSING
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PHONE: (603) 756-3600
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STAMP:

DATE: 2023.04.15

SCALE: AS NOTED

UNITY TEAM: --/--

SHEET TITLE:

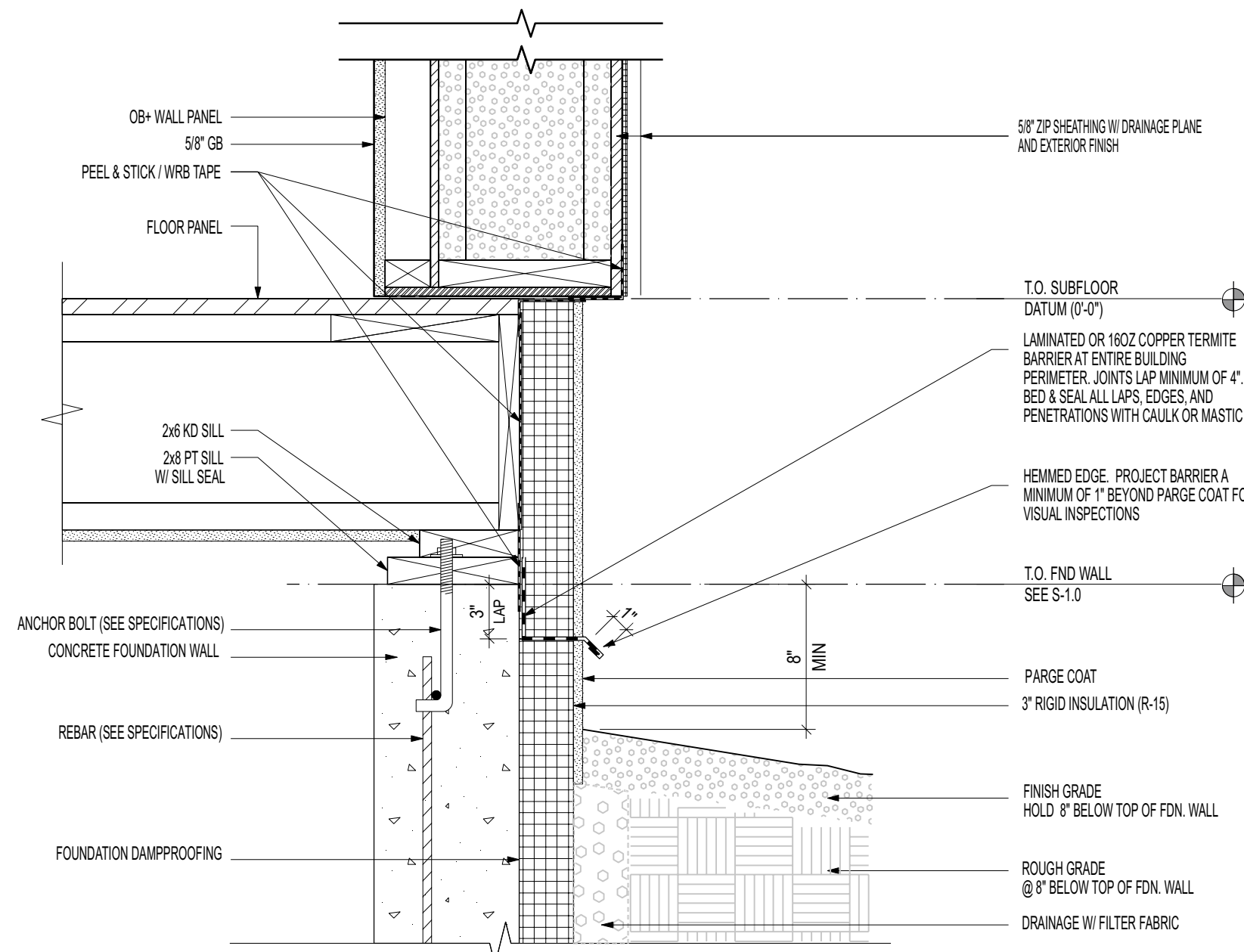
ELEVATION

SHEET NUMBER:

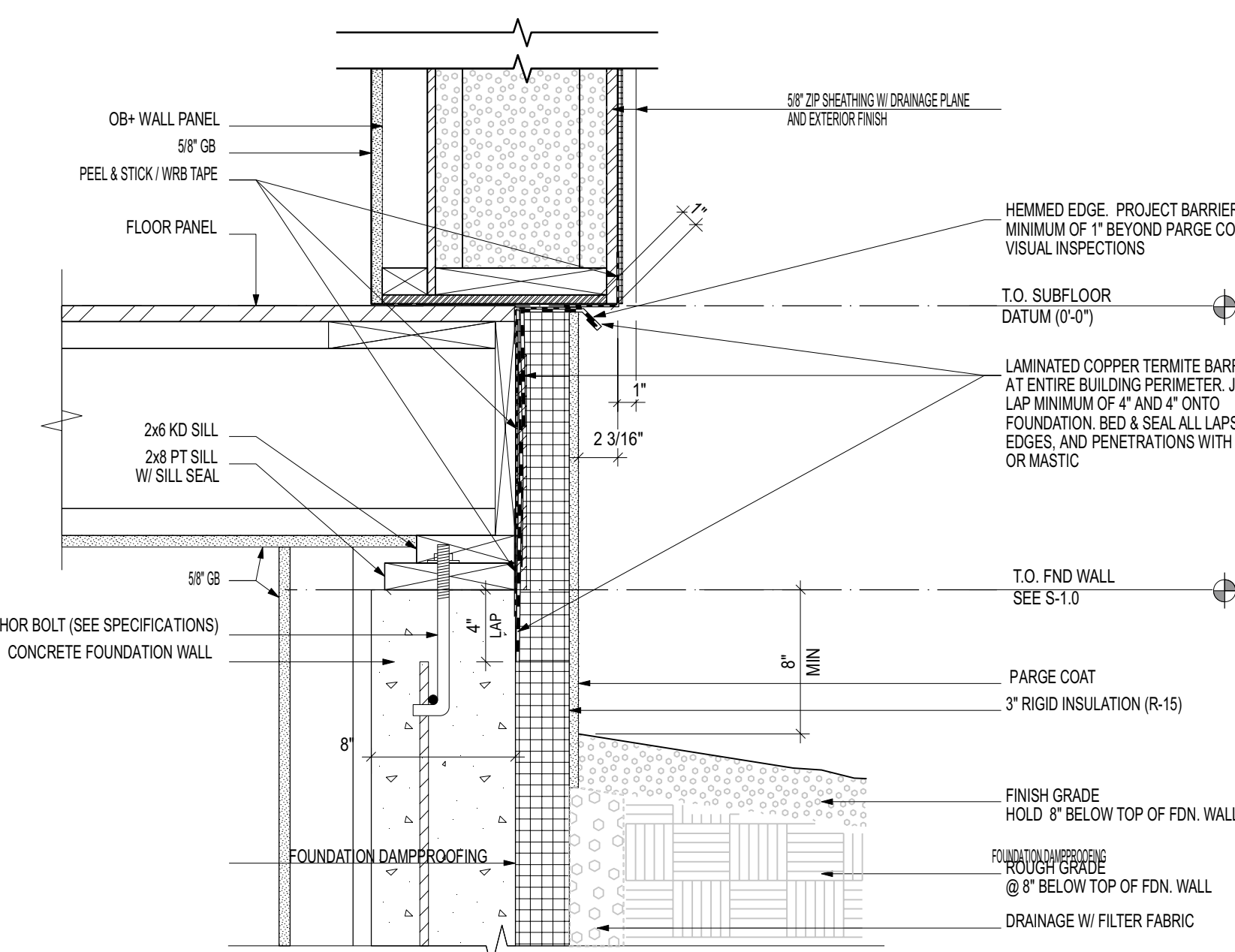
A201

For Zoning Board Review

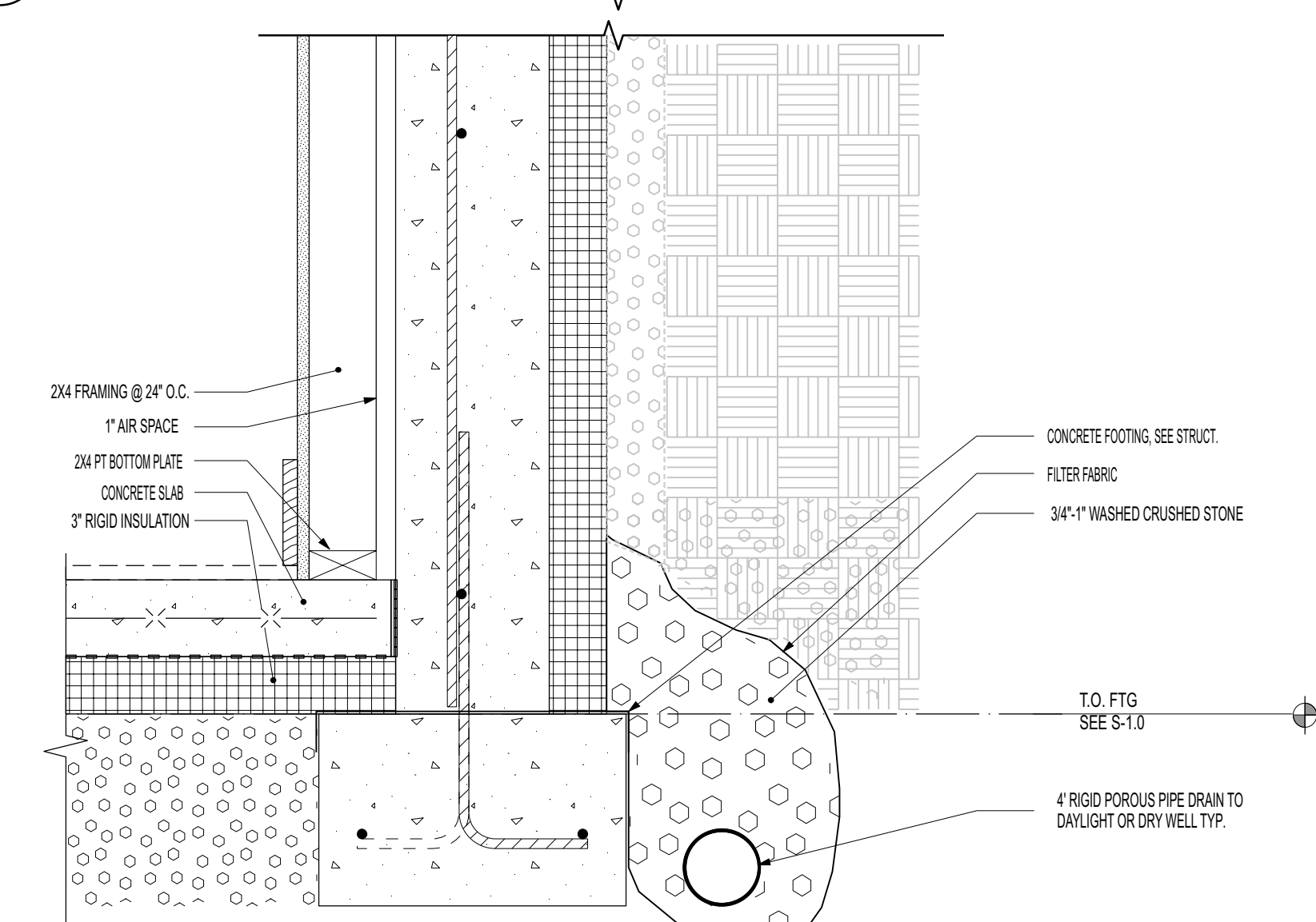
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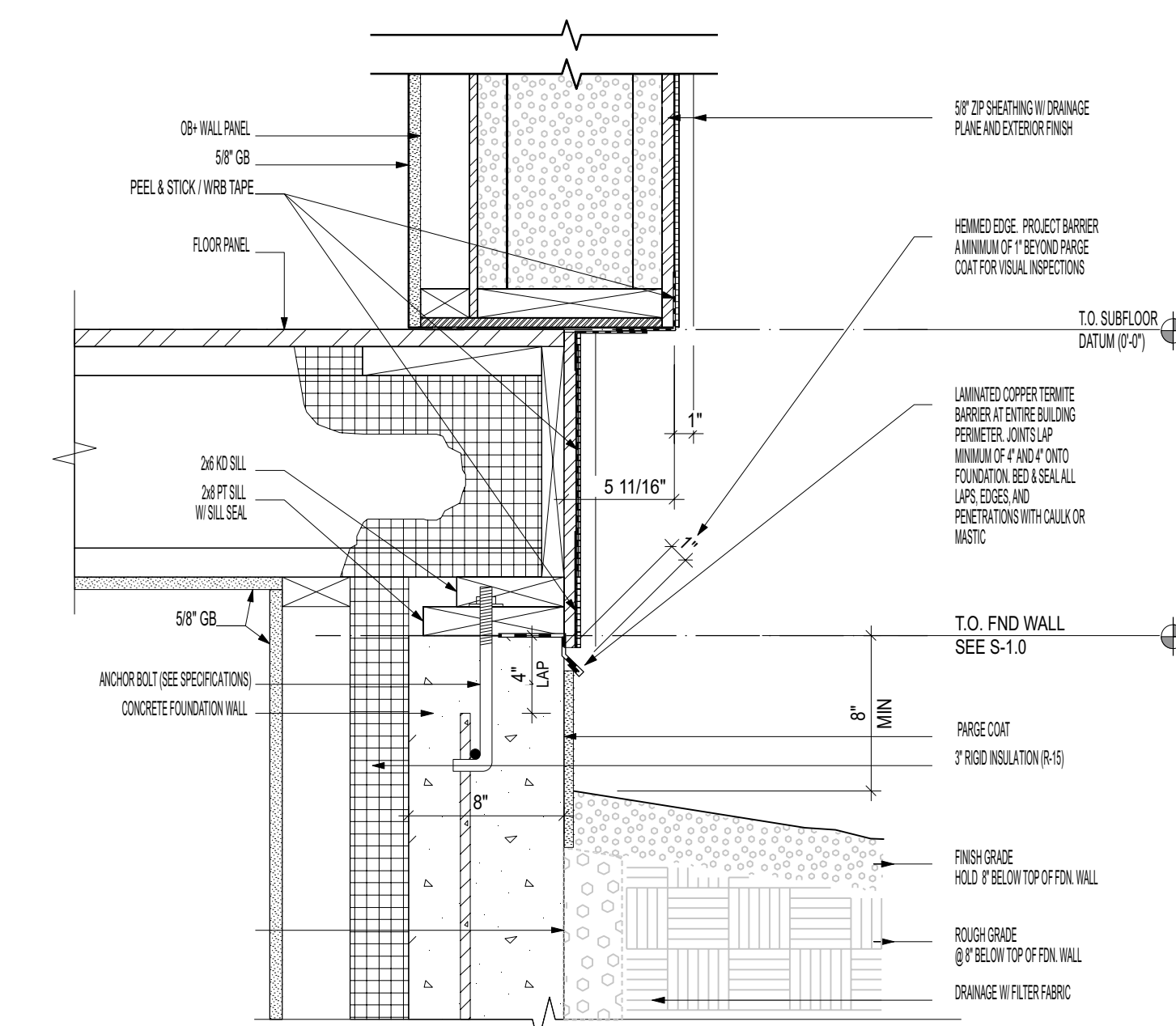
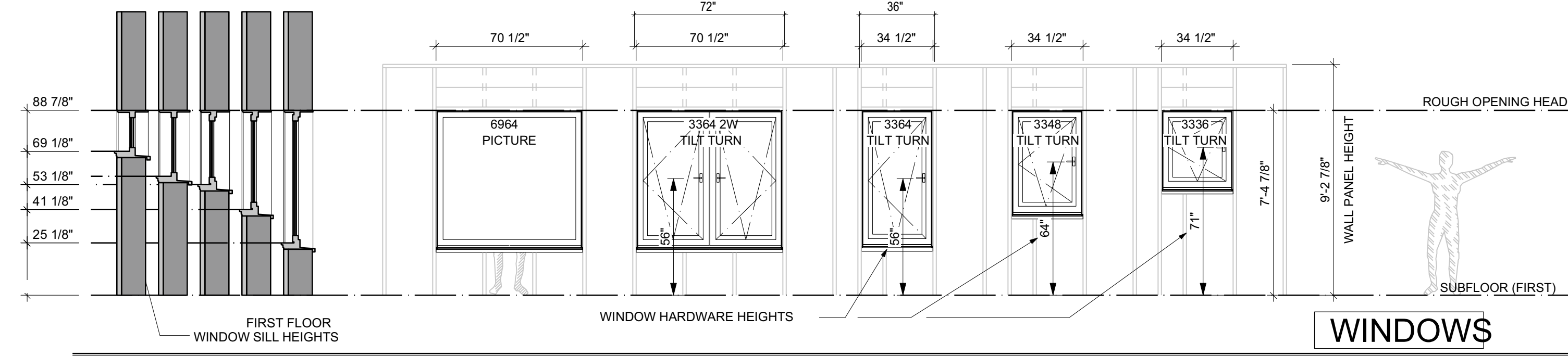
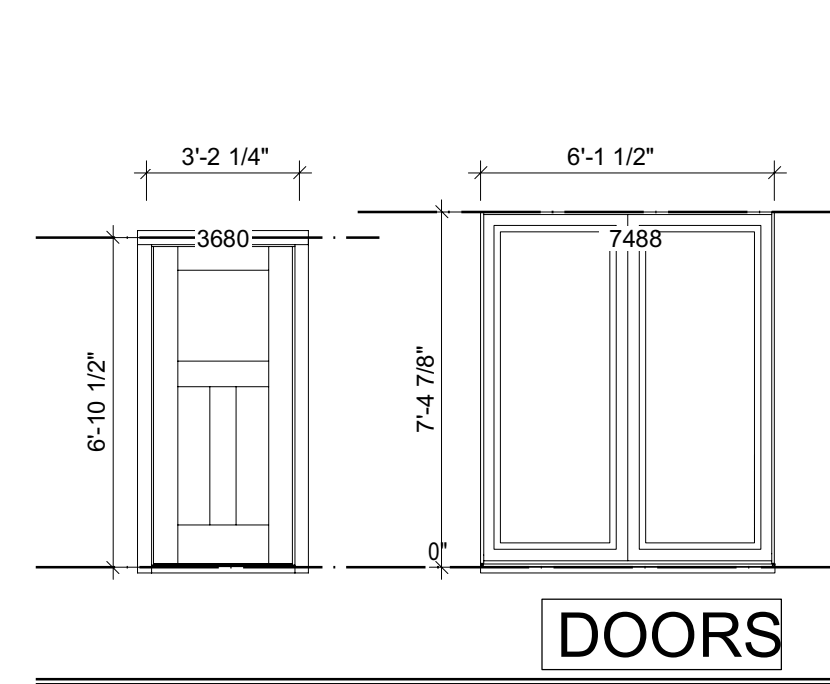
2 OB+ WALL SECTION WITH BASEMENT
 --ALTERNATE -- LOWER HEIGHT TERMITE BARRIER



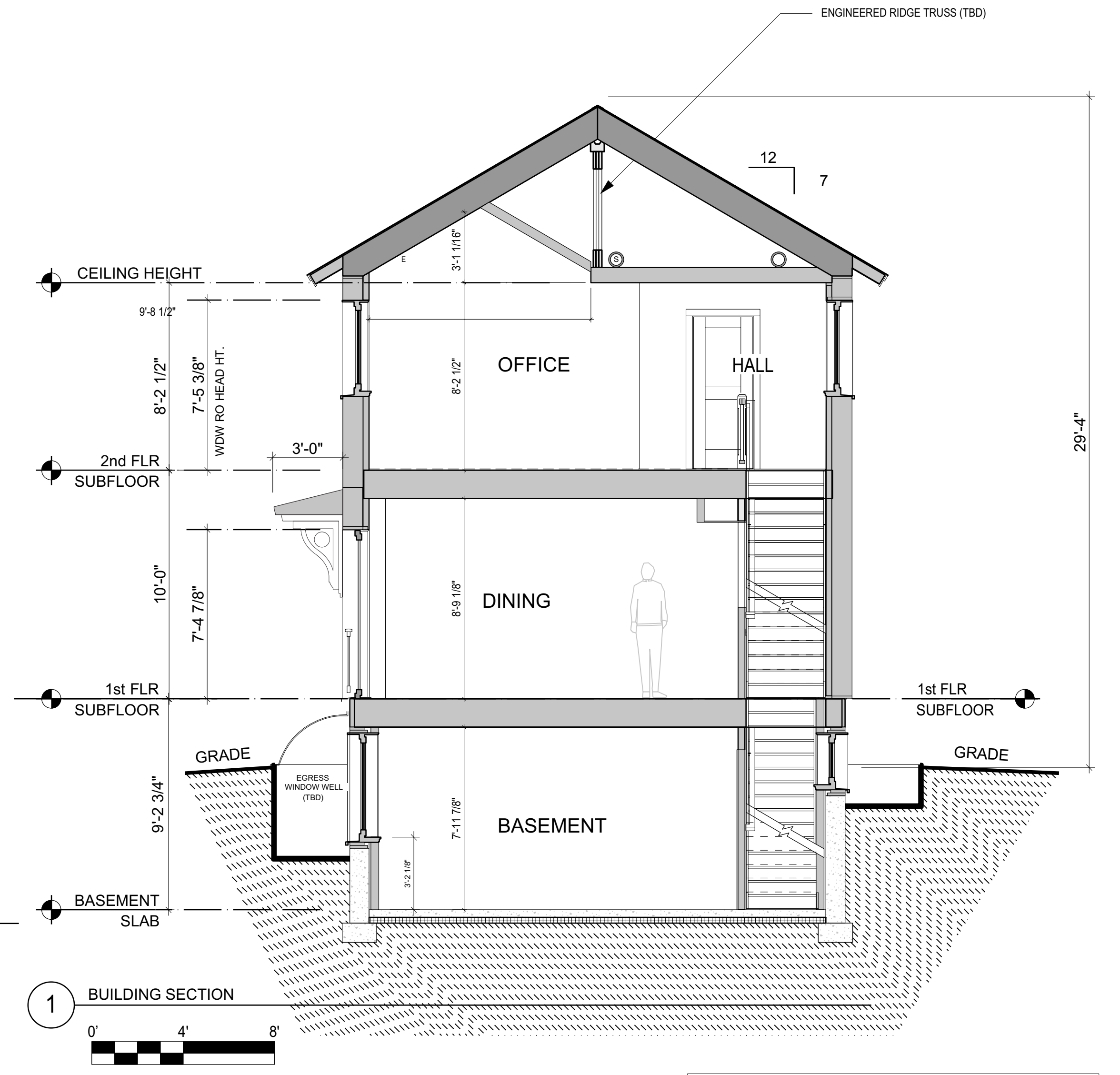
1 OB+ WALL SECTION WITH BASEMENT



1 OB+ WALL SECTION WITH BASEMENT



1 OB+ WALL SECTION WITH BASEMENT
 --ALTERNATE -- INTERIOR FOUNDATION INSULATION
 NOTE DETAIL NOT A UBT STANDARD



1 BUILDING SECTION

SECTION WALL TYPE LEGEND	
INSULATED PANEL	
INTERIOR PARTITION AT 24" O.C. GWB BOTH SIDES	
SHEAR WALL AT 24" O.C. 7/16" OSB ONE SIDE GWB BOTH SIDES	
INSULATED CONCRETE WALL 2x4 STUDS AT 24" O.C. GWB ON INTERIOR	
UNINSULATED CONCRETE WALL	

- GENERAL SECTION NOTES:
- FOUNDATIONS AND FOOTINGS SHOWN ARE APPROXIMATE. ALL FOOTINGS TO BE BELOW FROST LEVEL PER LOCAL CODE REQUIREMENTS.
 - REFER TO FOUNDATION AND FRAMING PLANS, DETAILS AND SPECIFICATIONS FOR STRUCTURAL INFORMATION.
 - UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO OUTSIDE FACE OF CONCRETE OR FRAMING.

CIVIL ENGINEER:

H.V.A.C.:

ELECTRICAL:

OTHER:

ISSUE DESCRIPTION
BY
DATE

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

unity
 HOMES
 6 BLACKJACK CROSSING
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 PHONE: (603) 756-3600
 FAX: (603) 756-3200
 EMAIL: info@unityhomes.com
 WEBSITE: unityhomes.com
 STAMP:

DATE: 2023.04.15
 SCALE: AS NOTED
 UNITY TEAM: ---
 SHEET TITLE:

BUILDING SECTIONS

SHEET NUMBER:
A300

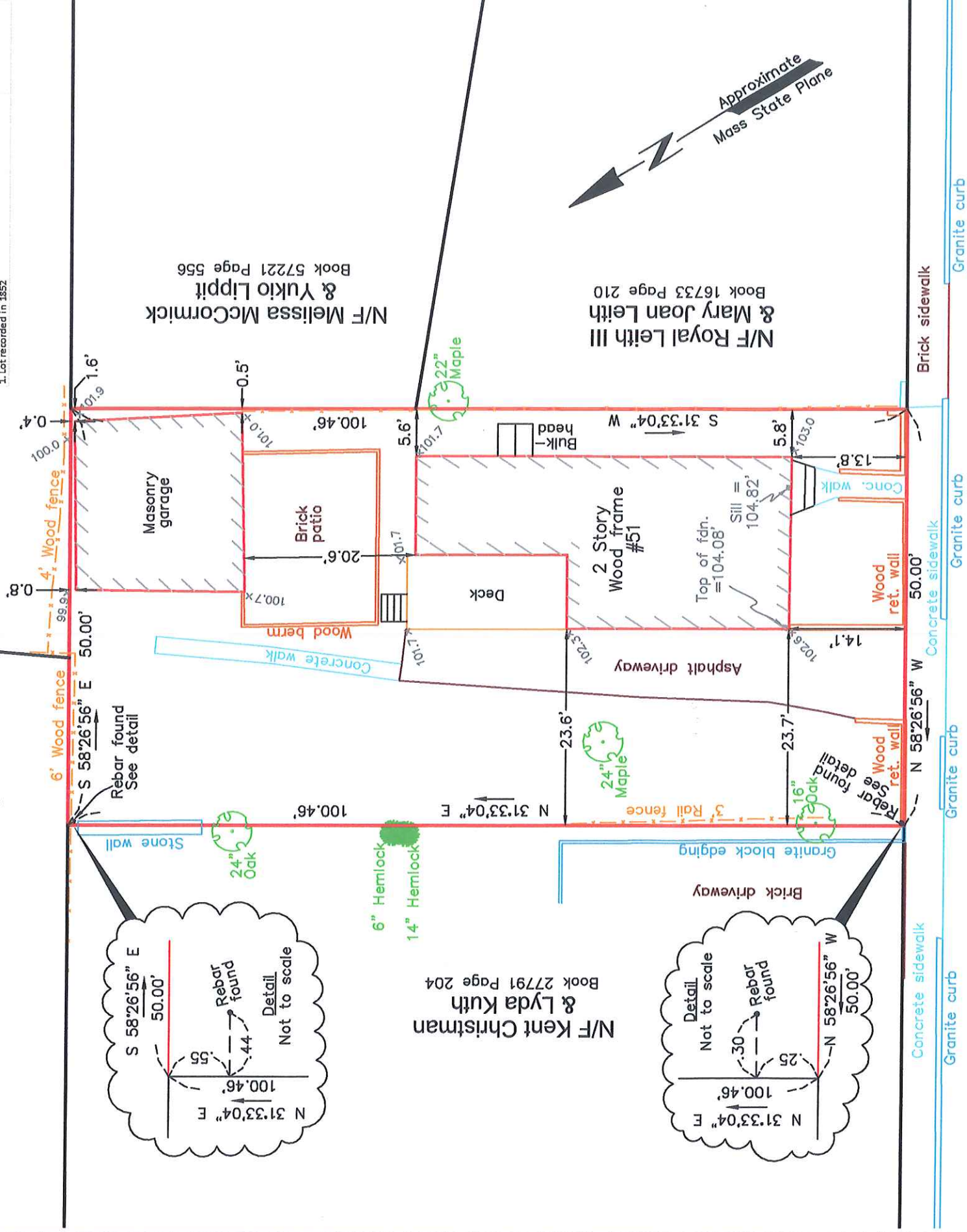
For Zoning Board Review

Zoning Calculations		
District: Residence B		
	Required	Existing
Lot area	N/A ¹	5,023
Lot width	N/A ¹	50.0
Front yard	15	13.8
Rear yard	25	41.6
Left side yard	7.5 (sum 15 ¹)	23.6 (sum 29.2)
Right side yard	7.5 (sum 15 ¹)	5.6 (sum 29.2)
Height	35	26.5
Distance between buildings	10	20.6
Accessory building side yard	5	0.5
Accessory building rear yard	5	0.4
Total open space	40%	91.0%
% Meeting private open space req.	50%	51.8%
% Meeting permeable open space req.	50%	96.3%

1. Lot recorded in 1852

N/F 119 Huron Ave
Condominium
Book 19933 Page 208

N/F Yugon Kim
& Kirra Newman
Book 62600 Page 439



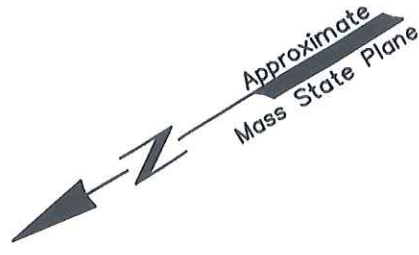
N/F Melissa McCormick
& Yukio Lippit
Book 57221 Page 556

N/F Royal Leith III
& Mary Joan Leith
Book 16733 Page 210

N/F Kent Christman
& Lyda Kuth
Book 27791 Page 204

R. C. Kelley Street

30' Wide - 1905 City Layout



In my professional opinion, I certify to Kent Christman, Lyda Kuth, and the City of Cambridge that as a result of a survey made on the ground to the normal standard of care of professional land surveyors practicing in Massachusetts, I find that the property falls outside of the special flood hazard area as shown on the F.I.R.M. for Middlesex County, Massachusetts, Map #25017C0419E Dated: June 4, 2010 and that the locations of the improvements are as shown hereon.



PROFESSIONAL LAND SURVEYOR
DATE: 5/15/15

Plan of Land

in
Cambridge, Massachusetts

Prepared For: Kent Christman & Lyda Kuth

Scale: 1" = 15' Date: May 15, 2015



7 Walnut Road
Somerville, MA 02145
617-744-9002
maloneygeo.com

Deed recorded at Middlesex Registry of Deeds, Bk 59847 Pg 471
Plan Book 4A, Plan 20
Assessors Map 229, Lot 44
Zoning District: Residence B



SW - Front Facade



SE - Side Facade



NE - Back Facade

51 Kelley Street Photographs



NW - Side Facade



Front Facade w/ Side Yards

Statement of Support from Neighbors

Date: 1 April 2023

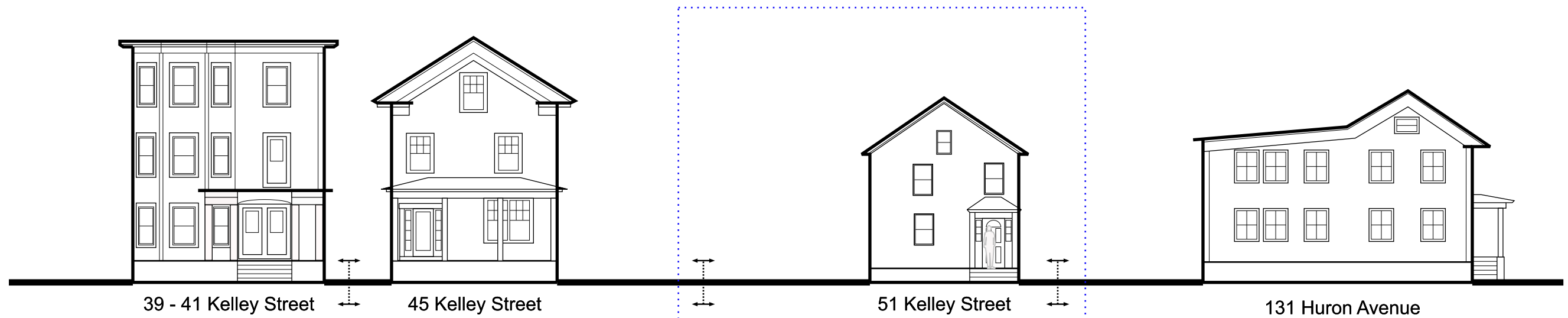
To: Board of Zoning Appeal, City of Cambridge, MA

RE: Zoning Variance Petition
for 51 Kelley Street

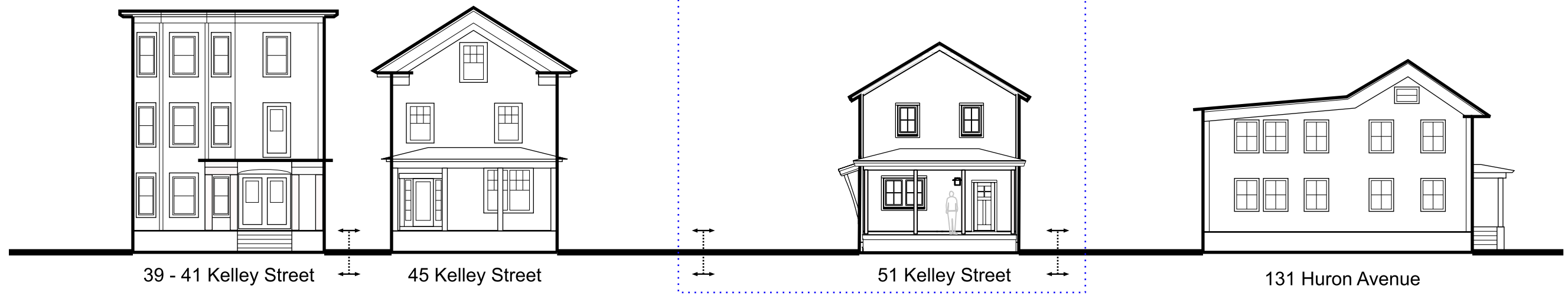
We are neighbors of Kent Christman. He has shown us the plans for his project at 51 Kelley Street, which involves removing and replacing the existing single-family home, including foundation, with a new foundation and structure substantially similar in size and character to the existing structure, in approximately the same location on the lot.

We support his petition and have no objections to what he has proposed.

Name	Address	Signature	Date
Tina LaFiosca	44 RC Kelley St		4/1/23
Robert Stratelli	44 RC Kelley St		4/1/23
Melissa McCormick	127 Huron Ave.		4/2/23
YUKIO LIPPIT	127 HURON AVE		4/2/23
Richard Freierman	39 RC Kelley St.		4/2/23
Lynn Gervens	39 RC Kelley St		4/2/23
Pam Wickham	35 RC Kelly St		4/2/23
CHRISTIE BECKETT	115 HURON AVE		4.2.23
SudHo Kim	"		4.2.23
Yuhon KIM	2/4 Winslow ST		4/2/23
Mary C Tittmann	29 RC Kelley		4/2/23
John Tittmann	29 R.C. Kelley St		4.2.2023
SUSAN PERRY	50 RC Kelley St		4.2.23
Leonard Solomon	50 RC Kelley St		4/2/23
David Keasar	28 RC Kelley St.		04/03/2023
ESTELLA KEEFER	28 RC KELLEY ST		4/3/2023
RICARDO WELLSCH	25 RC KELLEY ST		4/3/2023
Cary Friedman	25 RC KELLEY ST.		4/3/2023
ELIZABETH PERRY	121 HURON AVE.		4/4/2023
NARA DIXON	121 HURON AVE		4/4/2023
PFriedman	113 Huron Ave		4/5/2023
Rob Leith	131 Huron Ave		4/6/2023
M.J. HENLY	131 HURON AVE		4/6/2023
Kate Rubin	34 RC Kelley St		4/6/2023
CAROLINE CHAUNCEY	36 RC Kelley Sr		4/6/2023
Richard Thal	" " " "		4/6/23
Timothy Hawk	38 RC Kelley St		4/6/23
Olivia W. Lamborn	" " " "		4/6/23
Donald L. Berman	3232 RC Kelley St		4/7/23



Kelley Street Elevation - Existing



Kelley Street Elevation - Proposed

51 KELLEY STREET

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

DATE: 2023.04.15

SCALE: AS NOTED

KGC

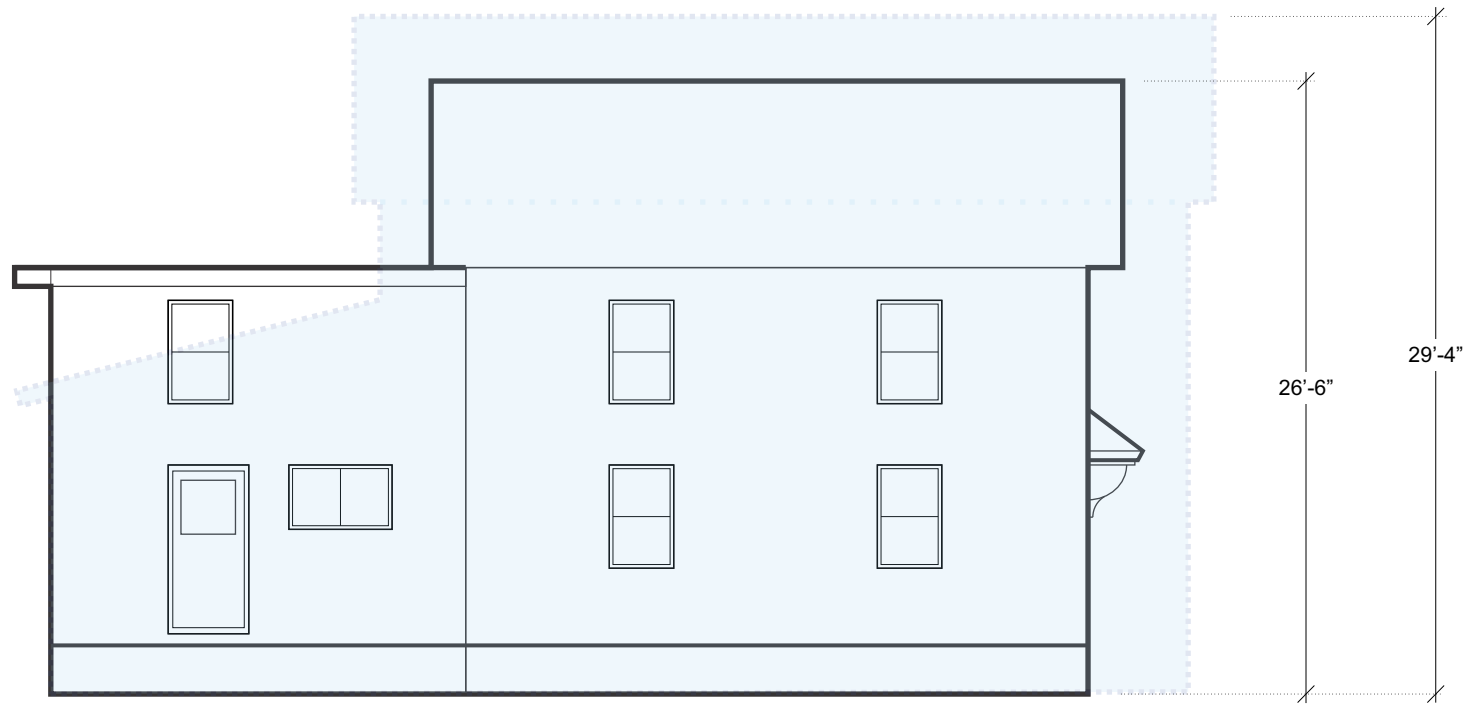
SHEET TITLE:

STREET ELEVATIONS

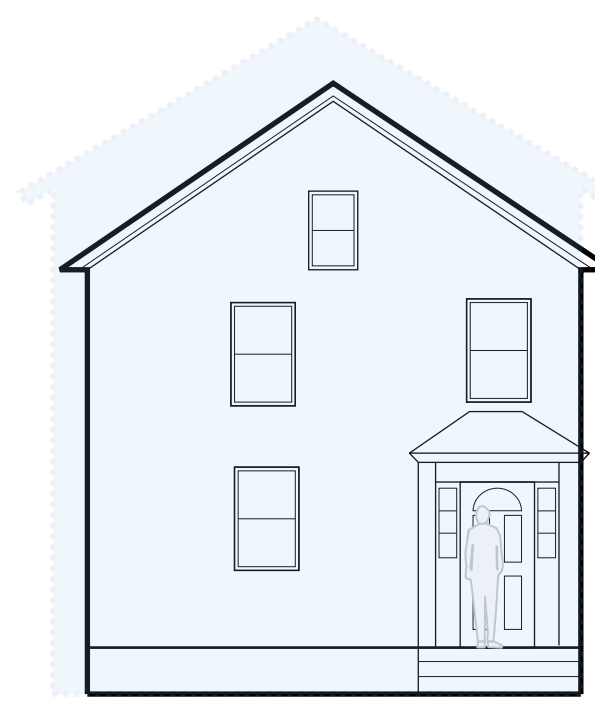
SHEET NUMBER:

SE-1

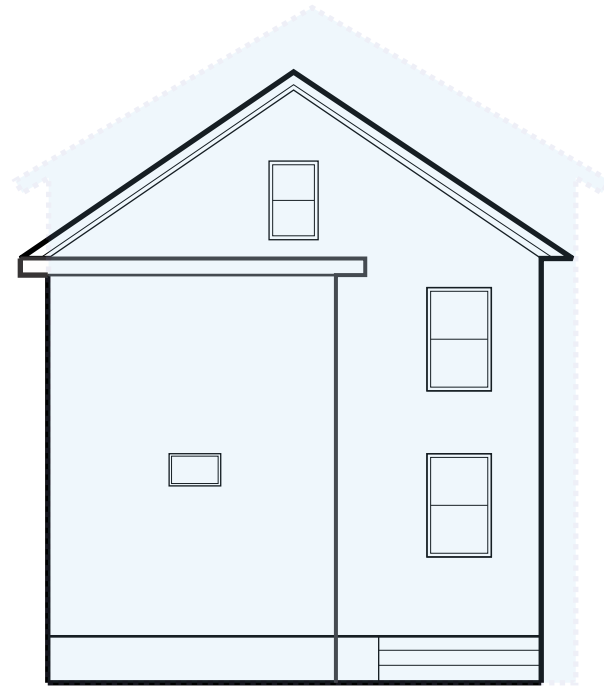




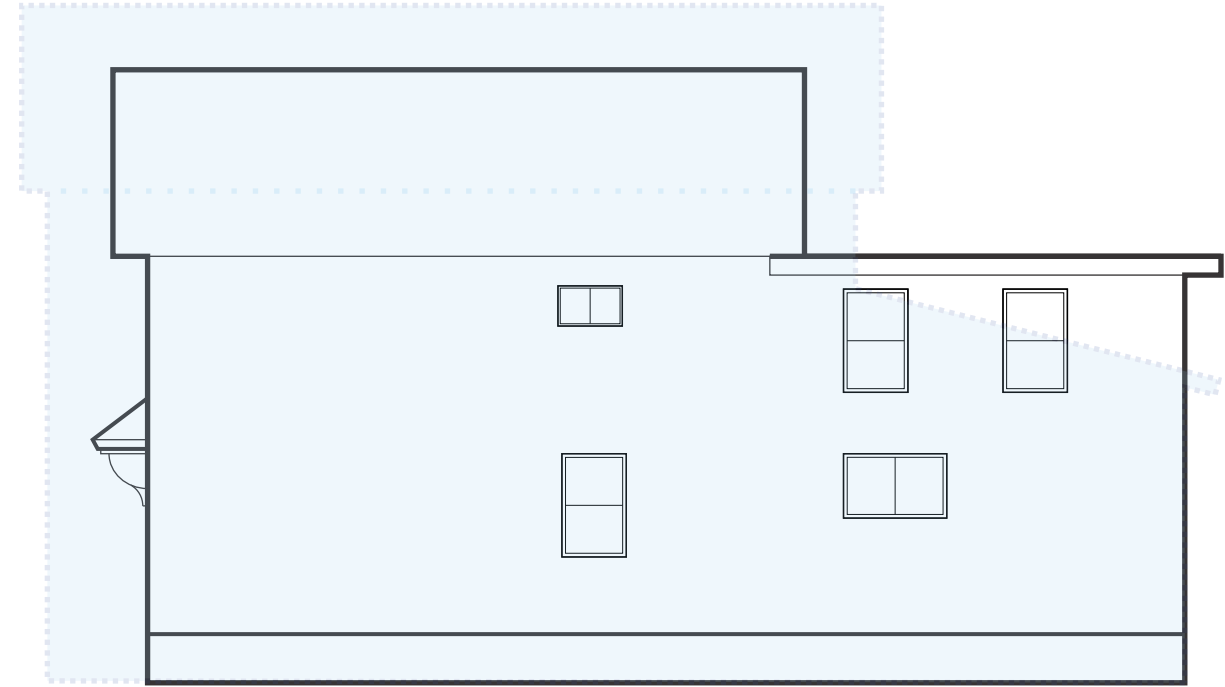
NW Exterior Elevation (Side)



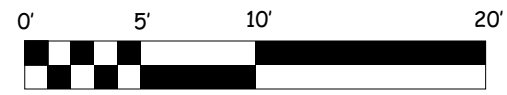
SW Exterior Elevation (Front)



NE Exterior Elevation (Back)



SE Exterior Elevation (Side)



51 Kelley Elevations - Existing with Proposed Overlay

51 KELLEY STREET

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

DATE: 2023.04.15

SCALE: AS NOTED

KGC

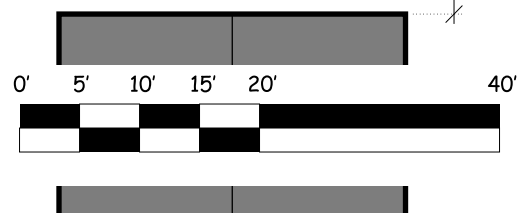
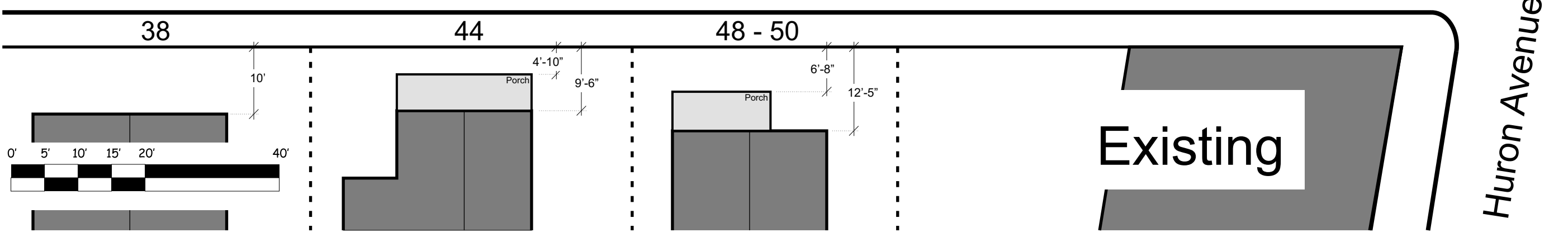
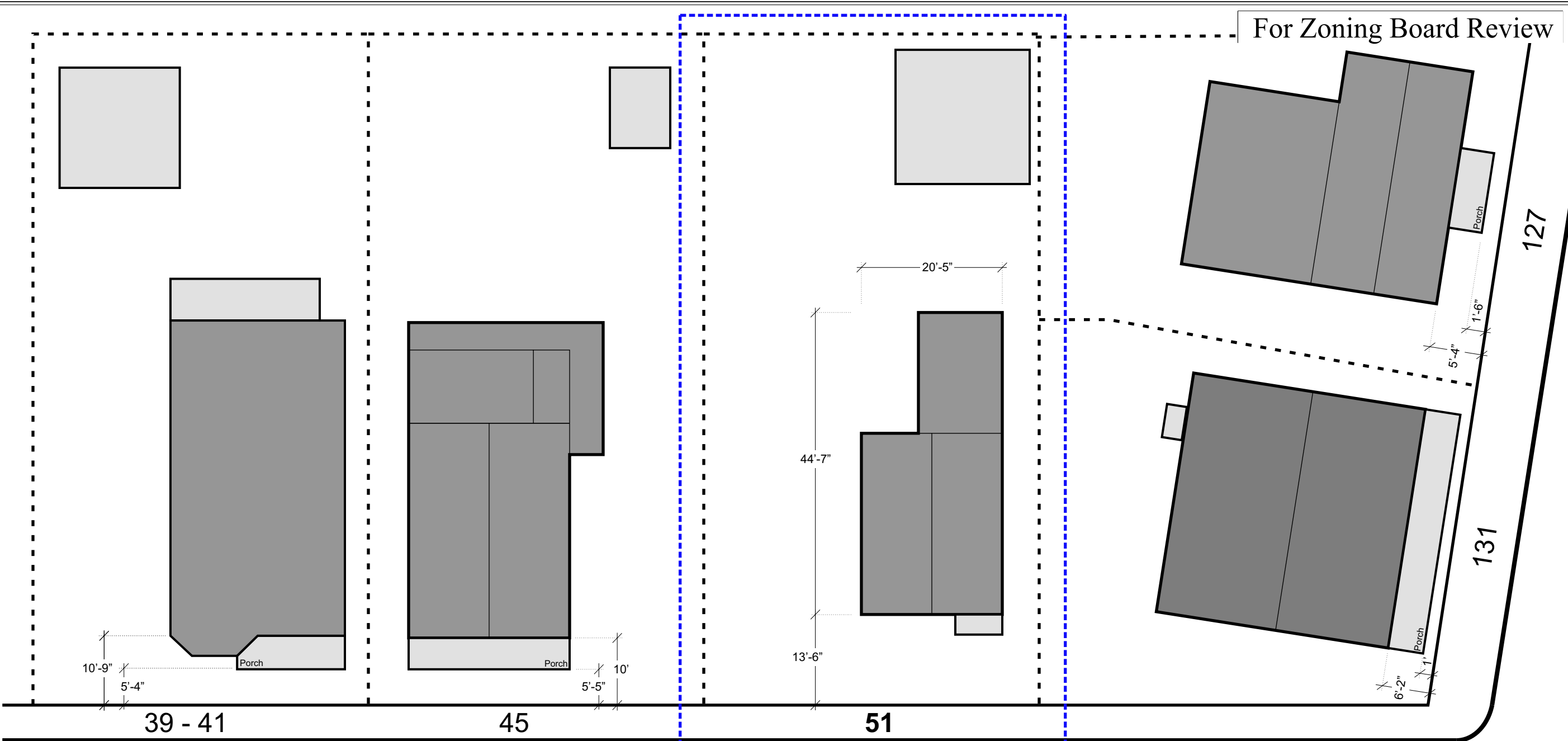
SHEET TITLE:

51 KELLEY ELEVATIONS

SHEET NUMBER:

HE-1

For Zoning Board Review

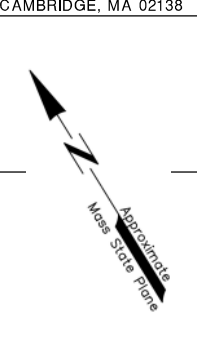


51 KELLEY STREET

CLIENT: KENT CHRISTMAN

PROJECT TYPE: RESIDENCE

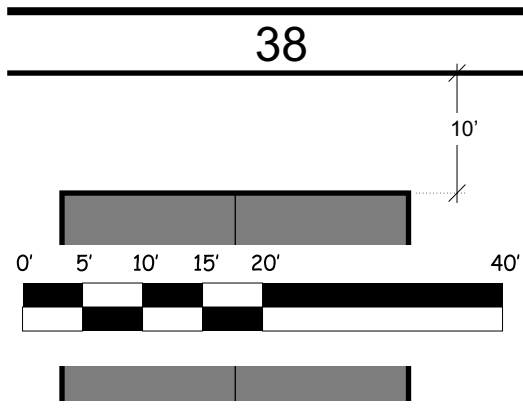
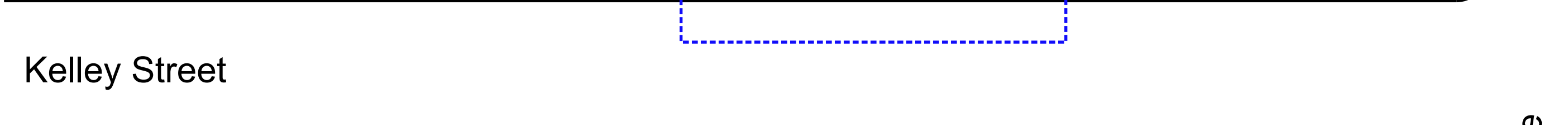
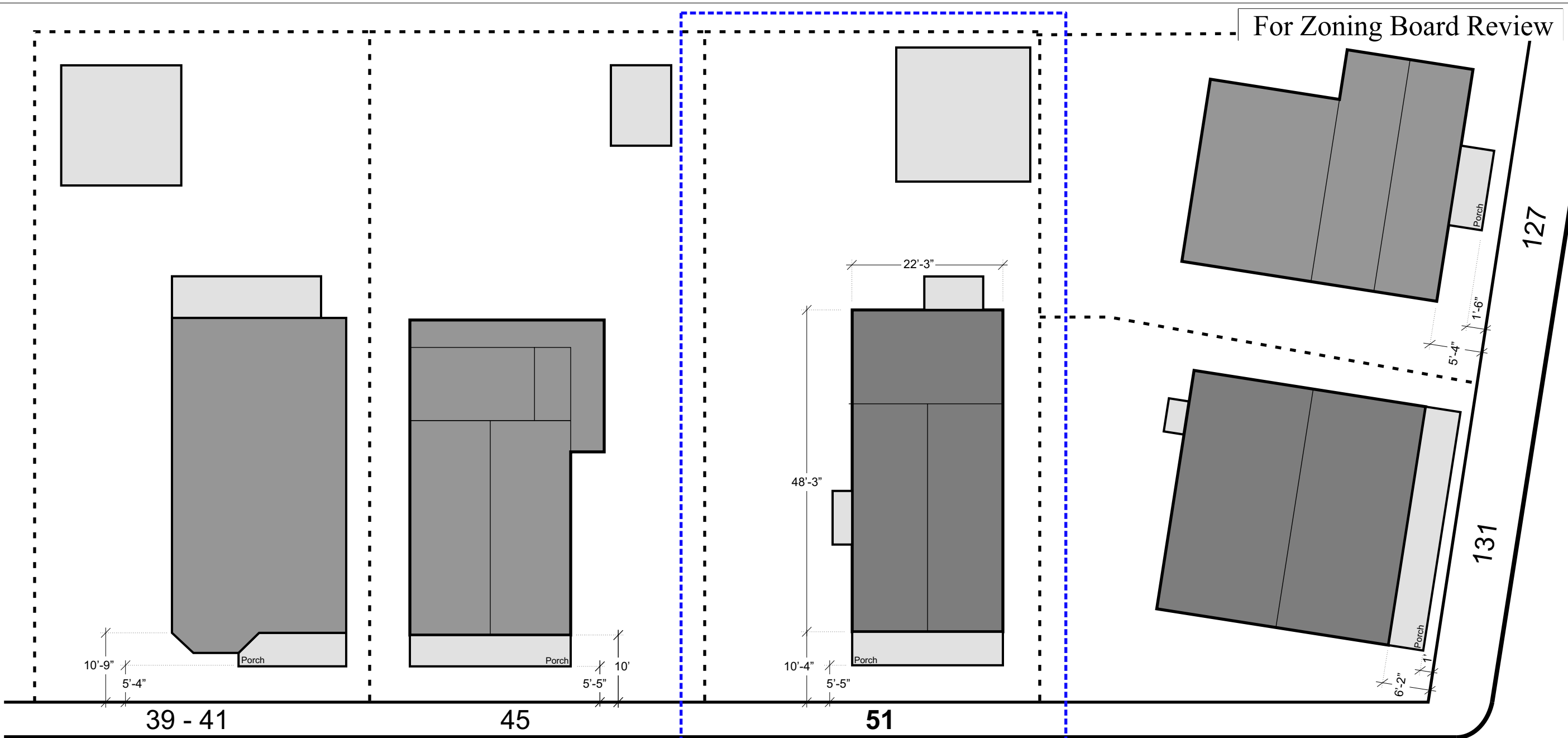
LOCATION: 51 KELLEY STREET
CAMBRIDGE, MA 02138



DATE: 2023.04.15
SCALE: AS NOTED
KGC
SHEET TITLE:
STREET PLAN
SHEET NUMBER:
SP-1

Huron Avenue

For Zoning Board Review

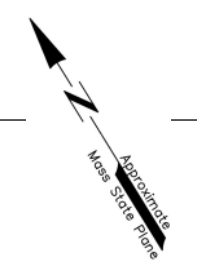


51 KELLEY STREET

CLIENT: KENT CHRISTMAN

PROJECT TYPE: RESIDENCE

LOCATION: 51 KELLEY STREET
CAMBRIDGE, MA 02138



DATE: 2023.04.15

SCALE: AS NOTED

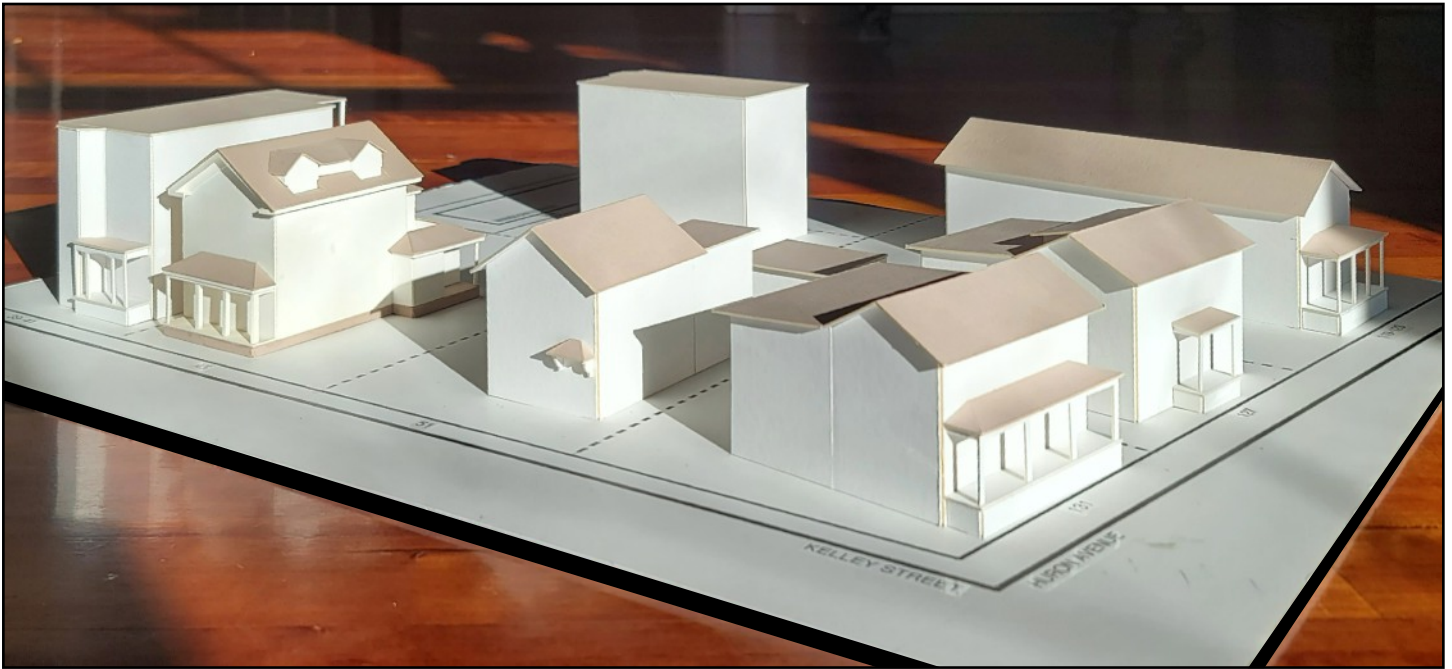
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SHEET TITLE:

STREET PLAN

SHEET NUMBER:

SP-2



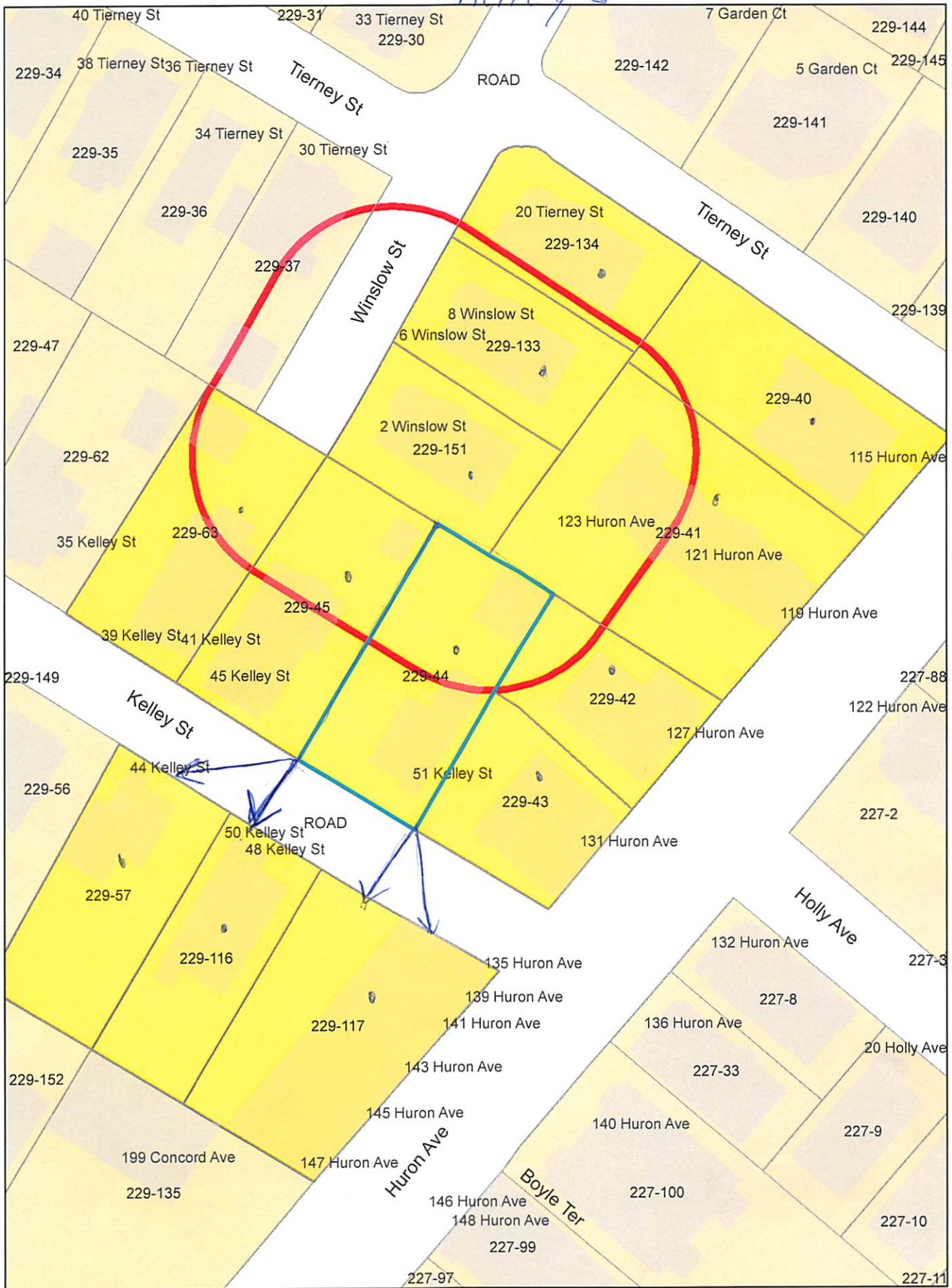
Existing



Proposed

51 Kelley Street Neighborhood Massing Model

51 Kelley St.



51 Kelley St.

Petitioner

229-41
PERRY, ELIZABETH J. & NARA DILLON
121 HURON AVENUE
CAMBRIDGE, MA 02138

229-133
HARKIN, RITA J
TRS THE RITA J HARKIN TR
6-8 WINSLOW ST
CAMBRIDGE, MA 02138

229-45-44
CHRISTMAN, KENT G
45 KELLEY ST
CAMBRIDGE, MA 02138

229-43
LEITH, ROYAL WILLIS, III,
TRS MARY JOAN LEITH, TRS
131 HURON AVE
CAMBRIDGE, MA 02138

229-40
ECKERT, CARTER J.
115 HURON AVE
CAMBRIDGE, MA 02138

229-63
FREIRMAN, RICHARD E. & LYNN M. GERVEN
39-4 R.C. KELLEY ST.
CAMBRIDGE, MA 02138

229-117
RCG OBSERVATORY RETAIL LLC,
17 IVALOO ST
SOMERVILLE, MA 02143

229-134
CEVELO, BENJAMIN Q. & JAMIE L. CEVELO
20 TIERNEY ST., UNIT #1
CAMBRIDGE, MA 02138

229-134
TRAVERS, THOMAS ROBERT & DURBA GHOSH
20 TIERNEY STREET, UNIT #2
CAMBRIDGE, MA 02138

229-134
JONES, WINSTON K.
20 TIERNEY STREET, UNIT #3
CAMBRIDGE, MA 02138

229-151
KIM, YUGON & KIRRA NEWMAN
2-4 WINSLOW ST
CAMBRIDGE, MA 02138

229-40
FREUDER, EUGENE C. & PAMELA S. FRIEDMAN
113 HURON AVE., #2
CAMBRIDGE, MA 02138

229-41
HODGSON, JONATHAN W. &
ANDREA J. HODGSON
119 HURON AVE., #A
CAMBRIDGE, MA 02138

229-57
STIRATELLI, ROBERT G. & ALLISON S. BARD
44 KELLEY ST
CAMBRIDGE, MA 02138

229-42
LIPPIT YUKIO M MCCORMICK MELISSA M
127 HURON AVE
CAMBRIDGE, MA 02138

229-41
EFFIO CHRISTOPHER LADD BIRGIT LADD EFFIO
119 HURON AVE - UNIT C
CAMBRIDGE, MA 02138

229-116
SOLOMON, LEONARD
TRS LENNY SOLOMON 2020 REV TR
50 R C KELLY ST
CAMBRIDGE, MA 02138

KENT CHRISTMAN

51 KELLEY STREET
CAMBRIDGE, MA 02138



BASEMENT GFA:	911 SF
FIRST FLOOR GFA:	987 SF
SECOND FLOOR GFA:	672 SF
GARAGE GFA:	206 SF
<hr/> TOTAL GFA:	<hr/> 2,776 SF

For BZA Review on June 15, 2023

CIVIL ENGINEER:

H.V.A.C.:

ELECTRICAL:

OTHER:

ISSUE DESCRIPTION

BY

DATE

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

unity
homes

6 BLACKJACK CROSSING
WALPOLE, NH 03608 USA
PHONE: (603) 756-3600
FAX: (603) 756-3200
EMAIL: info@unityhomes.com
WEBSITE: unityhomes.com

STAMP:

DATE: 2023.06.09

SCALE: AS NOTED

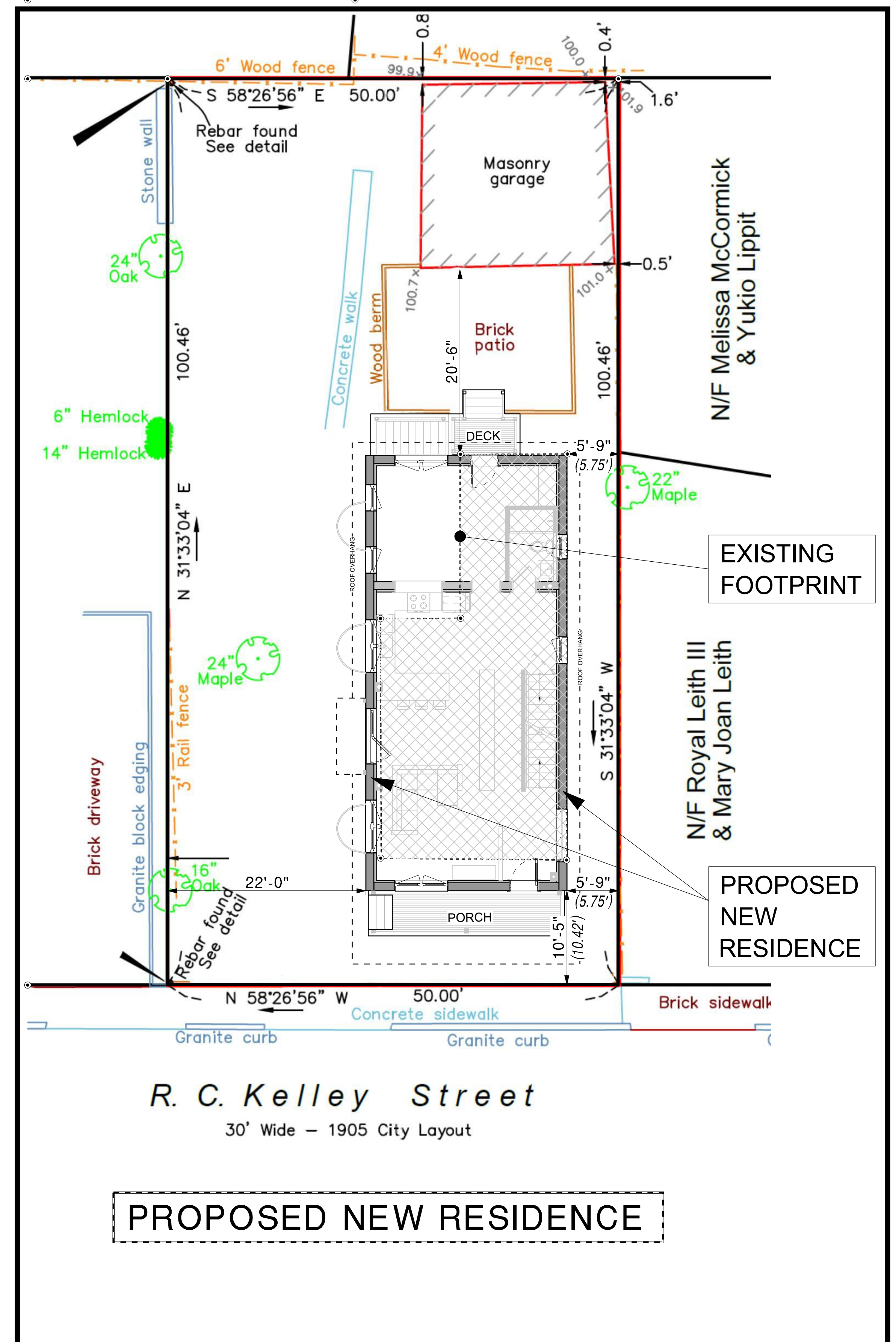
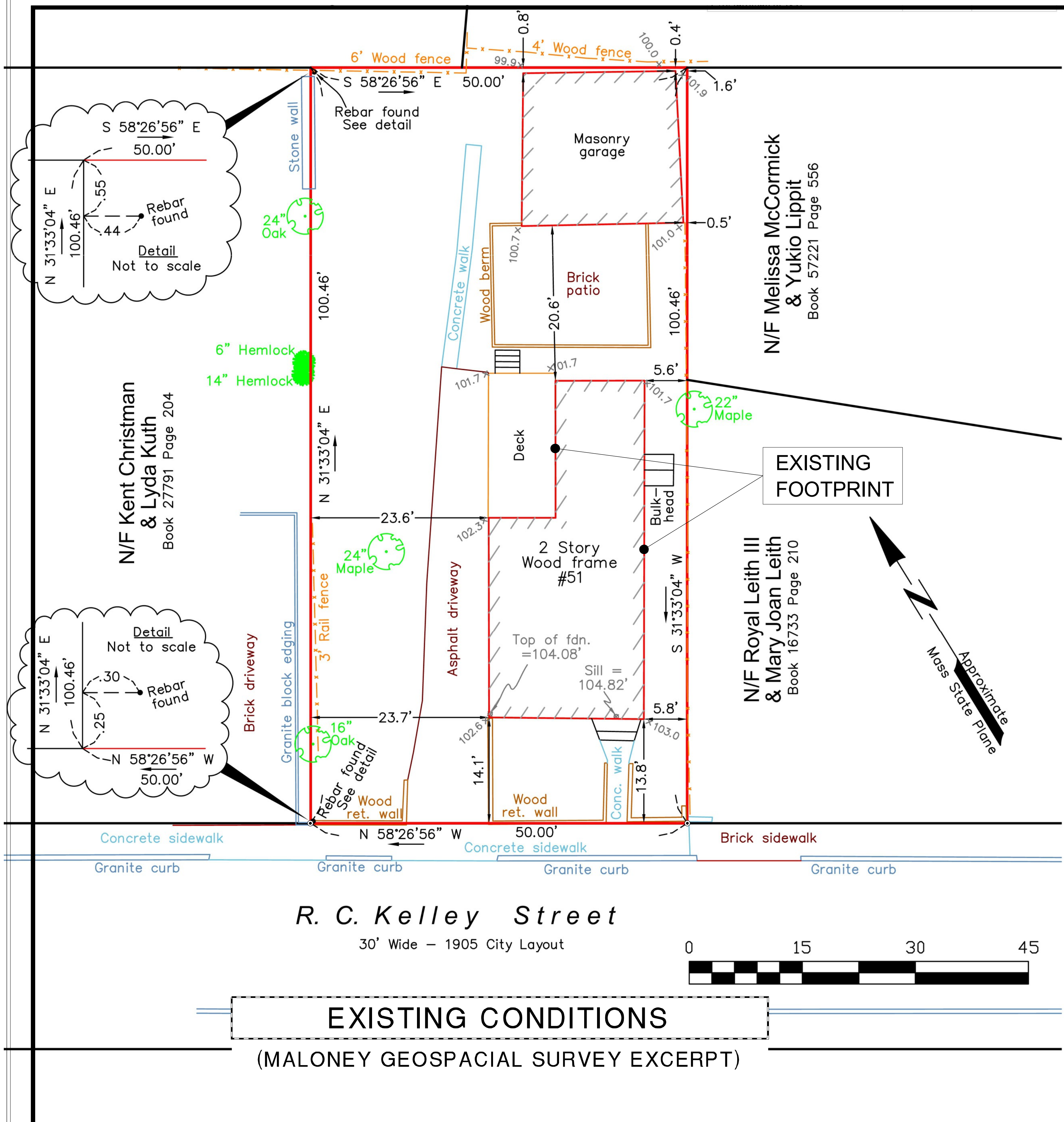
UNITY TEAM: --/--

SHEET TITLE:

COVER

SHEET NUMBER:

A000



professional opinion, I certify to Kent Christman, Lyda Kuth, the City of Cambridge that as a result of a survey made on the property shown hereon, and in accordance with the provisions of the General Laws of the Commonwealth of Massachusetts, I find that the property shown hereon is not located within a special flood hazard area as shown on the Flood Hazard Map for Middlesex County, Massachusetts, Map #25017C0419E dated June 4, 2010 and that the locations of the improvements shown hereon are approximate and should be verified by the owner.

Plan of Land
in
Cambridge, Massachusetts
Prepared For: **Kent Christman & Lyda Kuth**
Scale: 1" = 15' Date: May 15, 2015

For BZA Review on June 15, 2023

CLIENT:
KENT CHRISTMAN

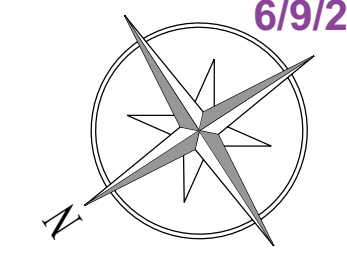
PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

DATE: 2023.06.09
SCALE: AS NOTED
UNITY TEAM: ---
SHEET TITLE:

SITE DIAGRAM

SHEET NUMBER:
SD-1



CIVIL ENGINEER:

H.V.A.C.:

ELECTRICAL:

OTHER:

ISSUE DESCRIPTION
BY
DATE

CLIENT:
KENT CHRISTMAN
PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

6 BLACKJACK CROSSING
WALPOLE, NH 03608 USA
PHONE: (603) 756-3600
FAX: (603) 756-3200
EMAIL: info@unityhomes.com
WEBSITE: unityhomes.com

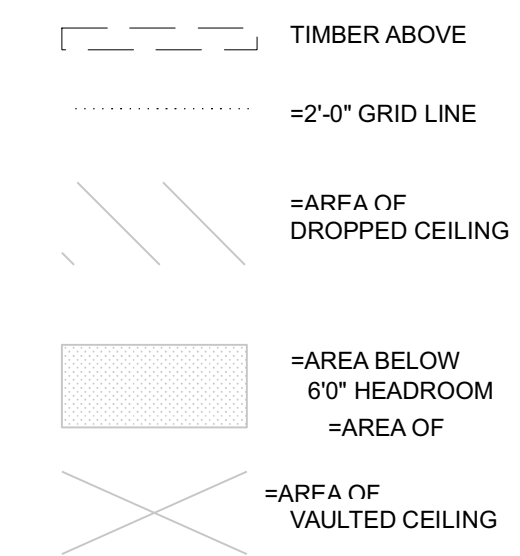
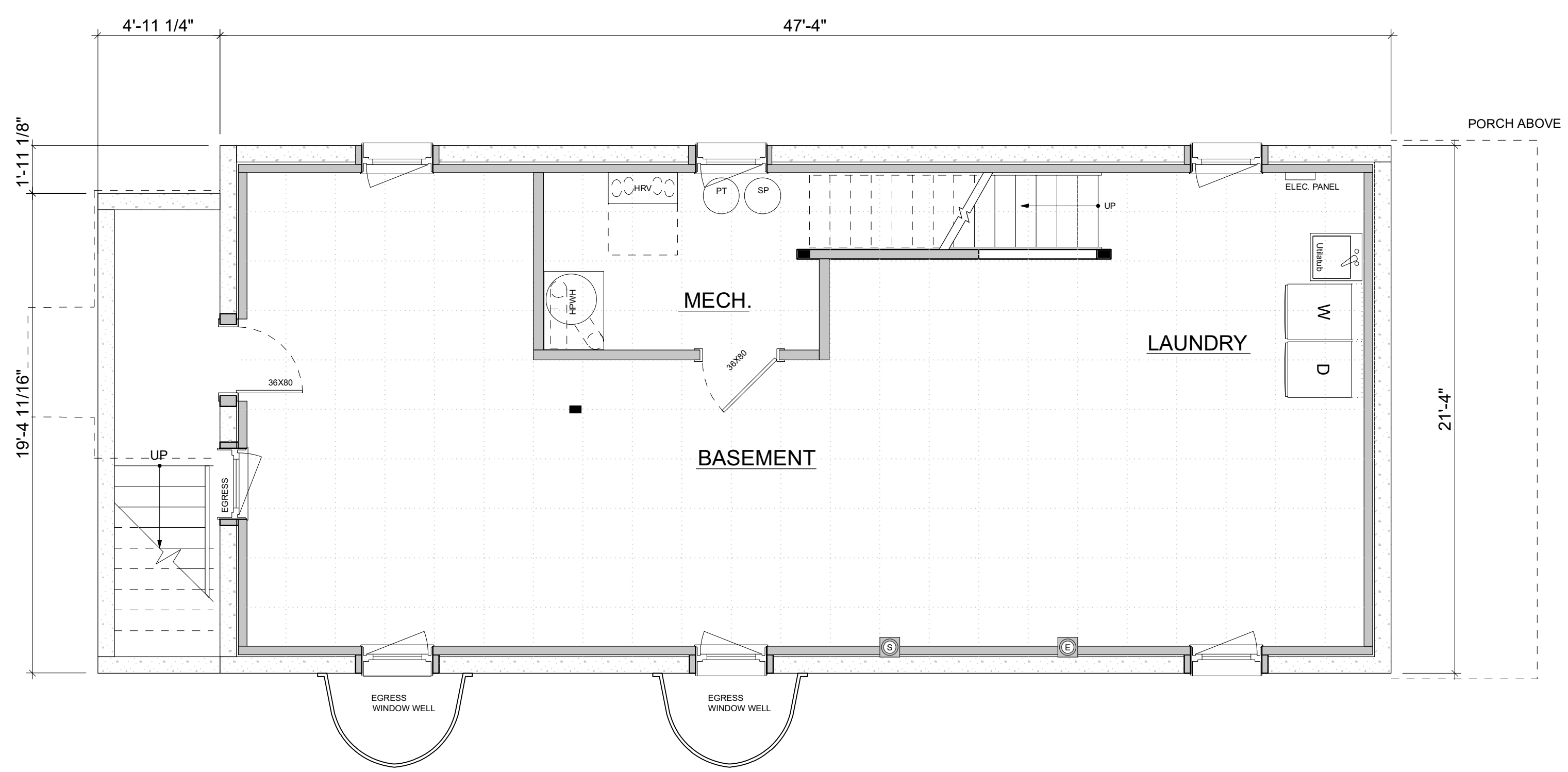
DATE: 2023.06.09
SCALE: AS NOTED
UNITY TEAM: --/--

BASEMENT
FLOOR
PLAN

SHEET NUMBER:
A100

Window Symbol Plan Key

<p>FIXED WINDOW</p> <p>EXTERIOR</p> <p>INTERIOR</p>	<p>TURN / INSWING to left TILTS in at top</p> <p>EXTERIOR</p> <p>INTERIOR</p>	<p>TURN / INSWING to right TILTS in at top</p> <p>EXTERIOR</p> <p>INTERIOR</p>
<p>Tilt/Turn windows utilize a simple, single-handle operation. The dual function design provides ventilation, security, emergency egress and easy cleaning from the interior side.</p>		
<p>Lock</p> <p>Turn handle to the LOCK (down) position to engage the multi-point hardware; tightly sealing window closed. FIXED (non-operable) units do not have hardware.</p>	<p>Turn</p> <p>Turn handle to 90° (level) to swing the window open inward. TURN/IN-SWING/OPEN mode is typically used for cleaning.</p>	<p>Tilt</p> <p>Turn the handle 180° (vertical) for TILT mode. The window top tilts inward to a pre-set partially open position. TILT mode provides ventilation; helps deflect rain while retaining entry security.</p>

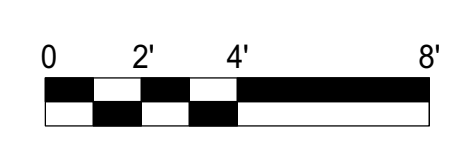


WALL TYPE LEGEND

INSULATED WALL PANEL WITH 2 1/2" OPEN-BUILT™ CHASE	
2x4 AT 24" O.C. PARTITION 5/8" GWB BOTH SIDES	
2x6 PARTITION (OR AS INDICATED) 5/8" GWB BOTH SIDES	
ACOUSTICAL BATT INSULATION IN WALL	
TIMBER POSTS	
2x6 AT 24" O.C. EXTERIOR WALL 5/8" SHEATHING	
RIGID EXTERIOR INSULATION CAST-IN-PLACE CONCRETE WALL 1" AIR SPACE 2x4 AT 24" O.C. WITH PT BOTTOM PLATE 5/8" GWB	

- GENERAL FLOOR PLAN NOTES:
1. SEE A001 FOR SPECIFICATIONS AND ENERGY CODE INFORMATION.
 2. REFER TO FOUNDATION PLAN, DETAILS, AND SPECIFICATIONS FOR STRUCTURAL INFORMATION.
 3. INTERIOR WALLS DIMENSIONED TO FINISH.
 4. ALL INTERIOR WALLS ARE 2x4 UNLESS OTHERWISE INDICATED.

For BZA Review on June 15, 2023



UNITY BUILDING TECHNOLOGIES, COPYRIGHT 2023

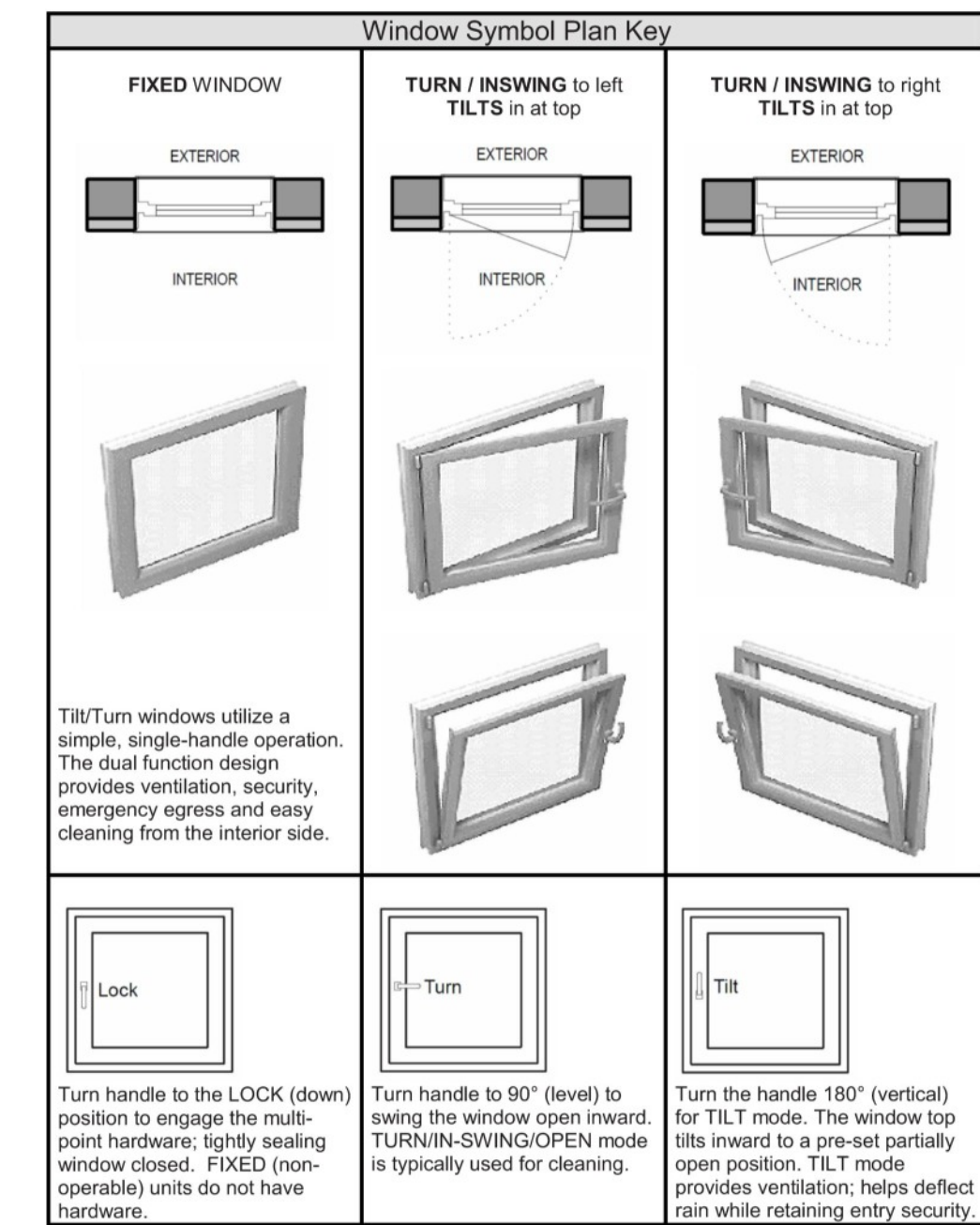


CIVIL ENGINEER:

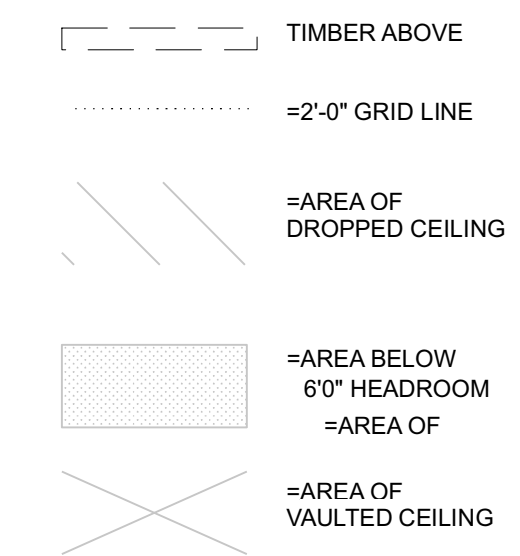
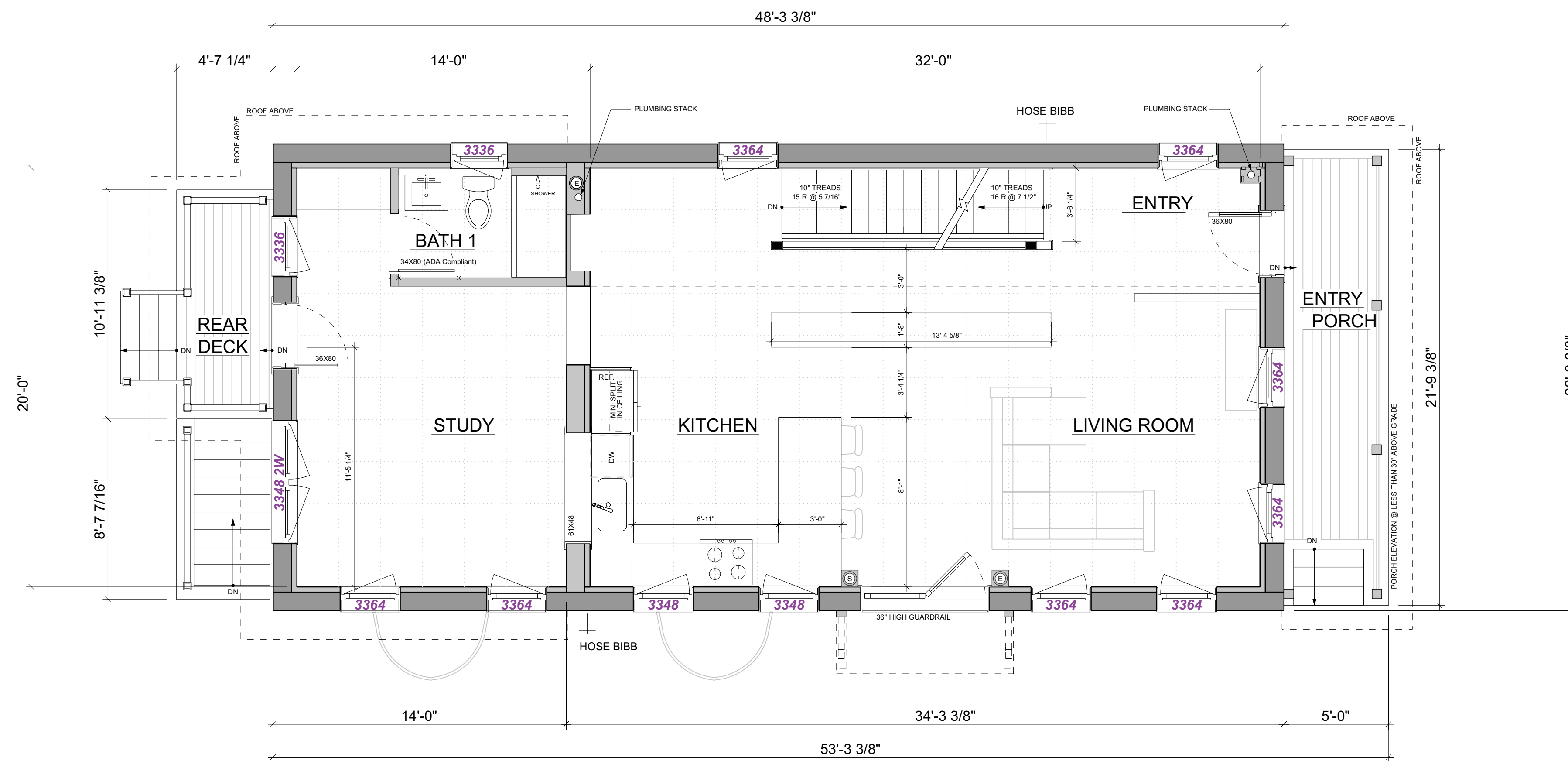
H.V.A.C.:

ELECTRICAL:

OTHER:



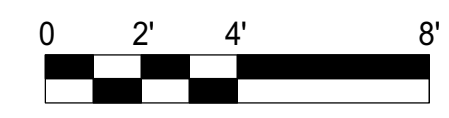
PSA DESIGN ROUND 1
DESIGN PROCESS: PERSONALIZED
BUILD PROCESS: TEMPO PACKAGE
UNITY COMPONENTS
BASE PLATFORM: VARM 113 2032
ADDITIONAL COMPONENTS: 20x14 BASE EXTENSION, BASEMENT, 6x8 DECK 5x12 FRONT PORCH, RIDGE TRUSS, BRACKETED AWNING.



WALL TYPE LEGEND	
INSULATED WALL PANEL WITH 2 1/2" OPEN-BUILT™ CHASE	
2x4 AT 24" O.C. PARTITION 5/8" GWB BOTH SIDES	
2x6 PARTITION (OR AS INDICATED) 5/8" GWB BOTH SIDES	
ACOUSTICAL BATT INSULATION IN WALL	
TIMBER POSTS	
2x6 AT 24" O.C. EXTERIOR WALL 5/8" SHEATHING	
RIGID EXTERIOR INSULATION CAST-IN-PLACE CONCRETE WALL 1" AIR SPACE 2x4 AT 24" O.C. WITH PT BOTTOM PLATE 5/8" GWB	

- GENERAL FLOOR PLAN NOTES:
- SEE A001 FOR SPECIFICATIONS AND ENERGY CODE INFORMATION.
 - REFER TO FOUNDATION PLAN, DETAILS, AND SPECIFICATIONS FOR STRUCTURAL INFORMATION.
 - INTERIOR WALLS DIMENSIONED TO FINISH.
 - ALL INTERIOR WALLS ARE 2x4 UNLESS OTHERWISE INDICATED.

For BZA Review on June 15, 2023



ISSUE DESCRIPTION
BY
DATE

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

unity
HOMES
6 BLACKJACK CROSSING
WALPOLE, NH 03608 USA
PHONE: (603) 756-3600
FAX: (603) 756-3200
EMAIL: info@unityhomes.com
WEBSITE: unityhomes.com

STAMP:

DATE: 2023.06.09

SCALE: AS NOTED

UNITY TEAM: --/--

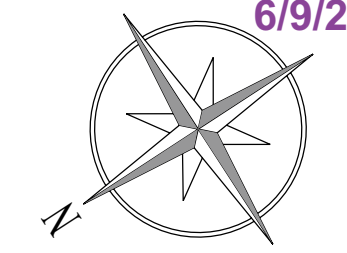
SHEET TITLE:

FIRST FLOOR PLAN

SHEET NUMBER:

A101

UNITY BUILDING TECHNOLOGIES, COPYRIGHT 2023



CIVIL ENGINEER:

H.V.A.C.:

ELECTRICAL:

OTHER:

ISSUE DESCRIPTION

BY
DATE

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

unity
homes
6 BLACKJACK CROSSING
WALPOLE, NH 03608 USA
PHONE: (603) 756-3600
FAX: (603) 756-3200
EMAIL: info@unityhomes.com
WEBSITE: unityhomes.com

STAMP:

DATE: 2023.06.09

SCALE: AS NOTED

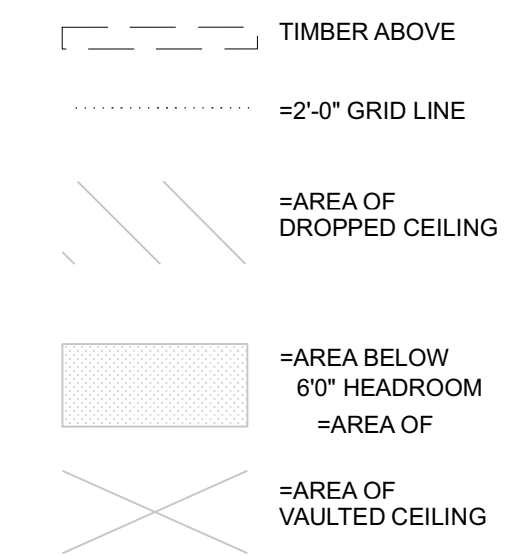
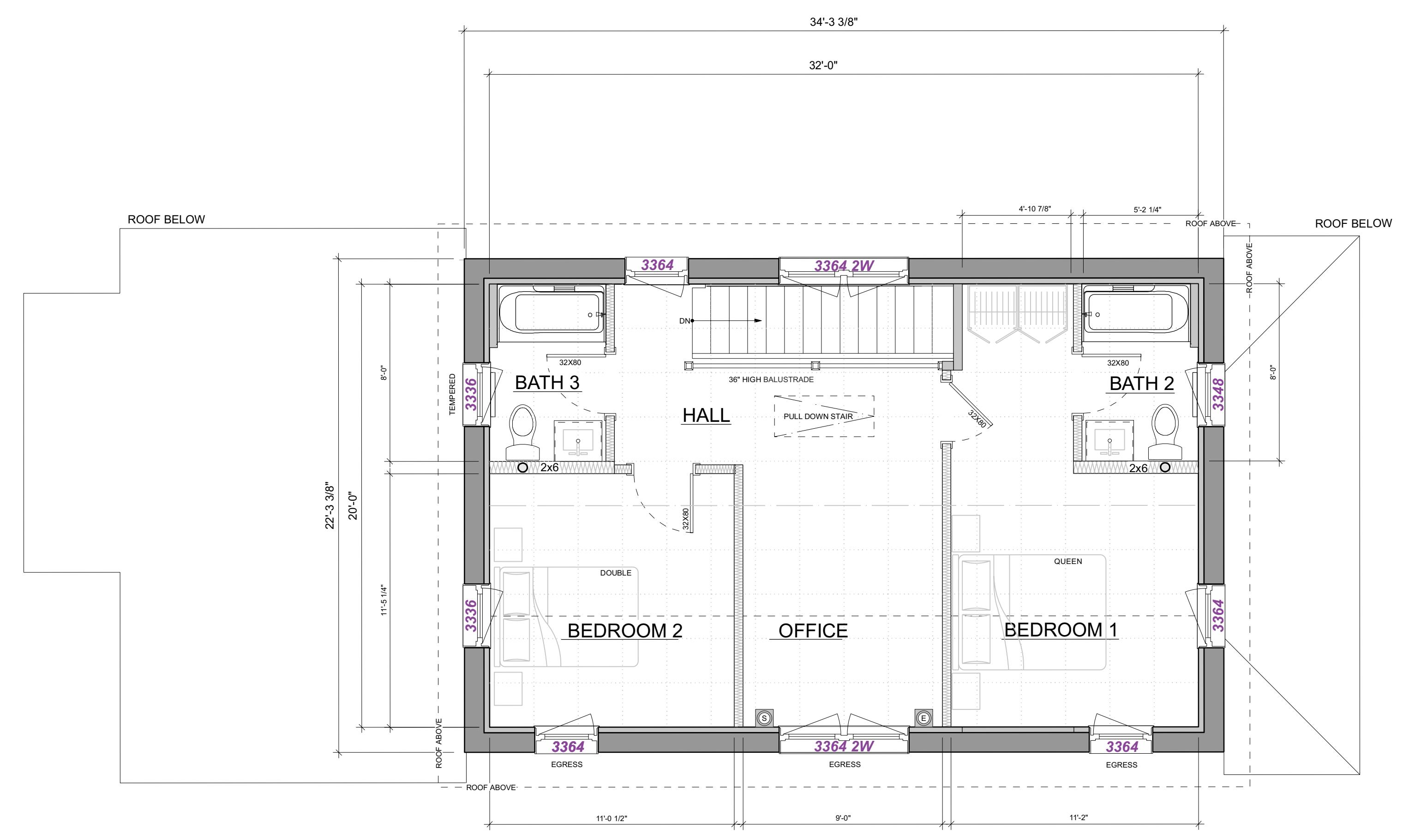
UNITY TEAM: --/--

SHEET TITLE:

SECOND FLOOR PLAN

SHEET NUMBER:

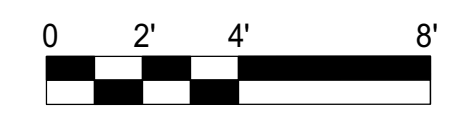
A102



WALL TYPE LEGEND	
INSULATED WALL PANEL WITH 2 1/2" OPEN-BUILT™ CHASE	[Pattern]
2x4 AT 24" O.C. PARTITION 5/8" GWB BOTH SIDES	[Pattern]
2x6 PARTITION (OR AS INDICATED) 5/8" GWB BOTH SIDES	[Pattern]
ACOUSTICAL BATT INSULATION IN WALL	[Pattern]
TIMBER POSTS	[Symbol]
2x6 AT 24" O.C. EXTERIOR WALL 5/8" SHEATHING	[Pattern]
RIGID EXTERIOR INSULATION CAST-IN-PLACE CONCRETE WALL 1" AIR SPACE 2x4 AT 24" O.C. WITH PT BOTTOM PLATE 5/8" GWB	[Pattern]

- GENERAL FLOOR PLAN NOTES:
 1. SEE A001 FOR SPECIFICATIONS AND ENERGY CODE INFORMATION.
 2. REFER TO FOUNDATION PLAN, DETAILS, AND SPECIFICATIONS FOR STRUCTURAL INFORMATION.
 3. INTERIOR WALLS DIMENSIONED TO FINISH.
 4. ALL INTERIOR WALLS ARE 2x4 UNLESS OTHERWISE INDICATED.

For BZA Review on June 15, 2023



UNITY BUILDING TECHNOLOGIES. COPYRIGHT 2023

CIVIL ENGINEER:

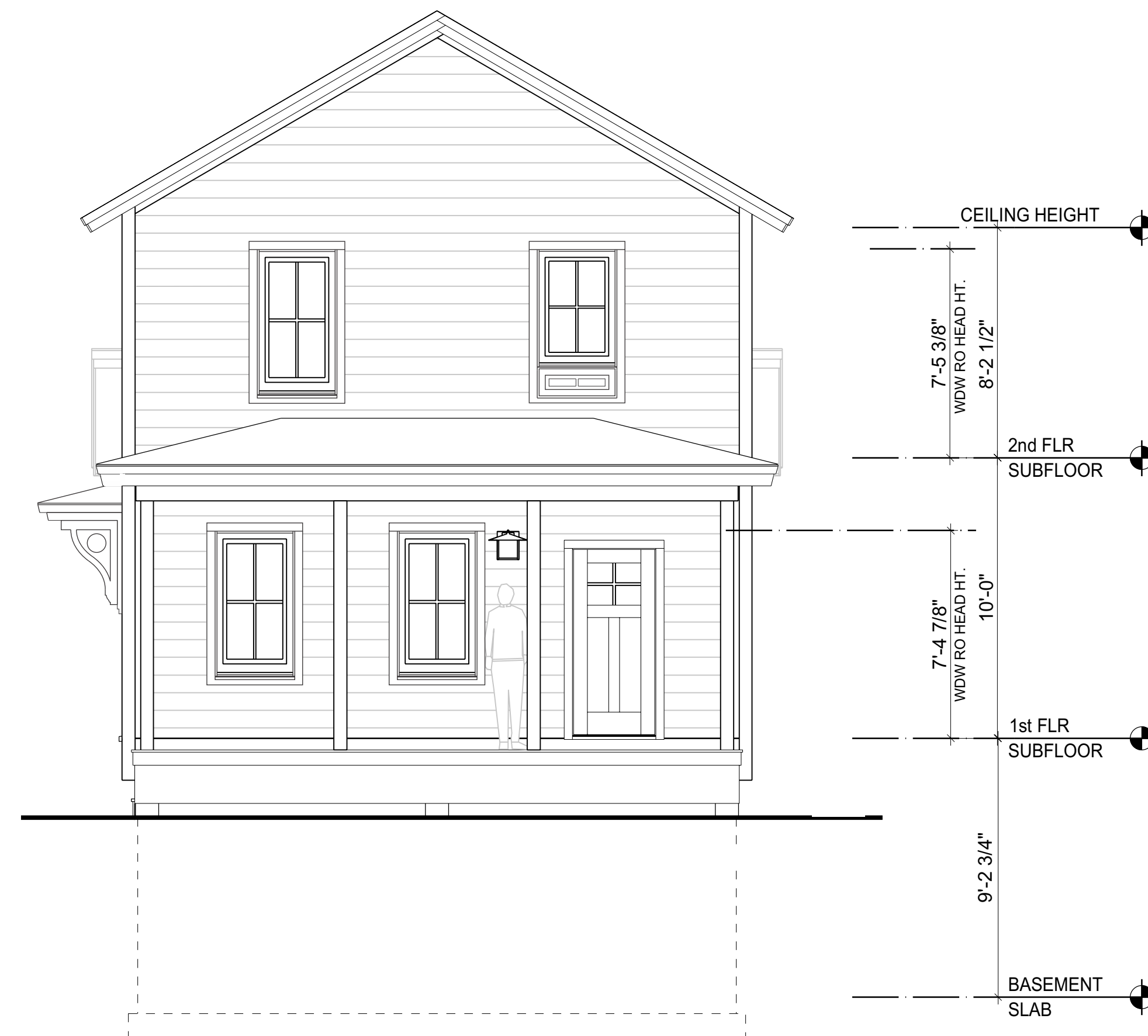
H.V.A.C.:

ELECTRICAL:

OTHER:



EXTERIOR ELEVATION
NORTHWEST



EXTERIOR ELEVATION (FRONT)
SOUTHWEST

ISSUE DESCRIPTION

BY

DATE

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

unity
homes
6 BLACKJACK CROSSING
WALPOLE, NH 03608 USA
PHONE: (603) 756-3600
FAX: (603) 756-3200
EMAIL: info@unityhomes.com
WEBSITE: unityhomes.com

STAMP:

DATE: 2023.06.09

SCALE: AS NOTED

UNITY TEAM: --/--

SHEET TITLE:

ELEVATION

SHEET NUMBER:

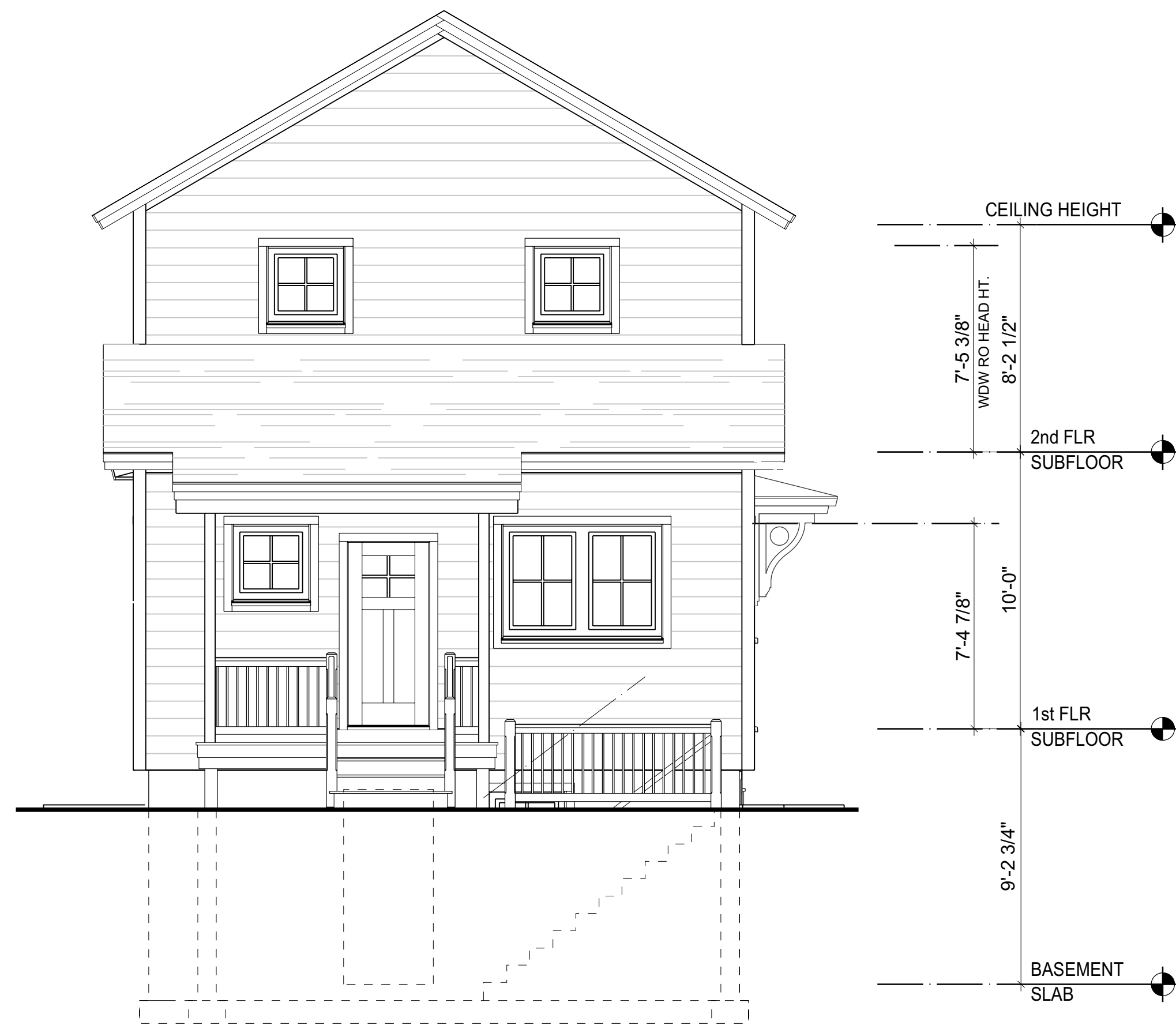
A200

For BZA Review on June 15, 2023

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EXTERIOR ELEVATION (SIDE)
SOUTHEAST



EXTERIOR ELEVATION
NORTHEAST

CIVIL ENGINEER:
H.V.A.C.:
ELECTRICAL:
OTHER:
ISSUE DESCRIPTION
BY
DATE

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

unity
homes
6 BLACKJACK CROSSING
WALPOLE, NH 03608 USA
PHONE: (603) 756-3600
FAX: (603) 756-3200
EMAIL: info@unityhomes.com
WEBSITE: unityhomes.com
STAMP:

DATE: 2023.06.09
SCALE: AS NOTED
UNITY TEAM: --/--
SHEET TITLE:

ELEVATION

SHEET NUMBER:
A201

For BZA Review on June 15, 2023

UNITY BUILDING TECHNOLOGIES, COPYRIGHT 2023

CIVIL ENGINEER:

H.V.A.C.:

ELECTRICAL:

OTHER:

ISSUE DESCRIPTION
BY
DATE

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

unity
PROFILES
6 BLACKJACK CROSSING
WALPOLE, NH 03608 USA
PHONE: (603) 756-3600
FAX: (603) 756-3200
EMAIL: info@unityhomes.com
WEBSITE: unityhomes.com
STAMP:

DATE: 2023.06.09

SCALE: AS NOTED

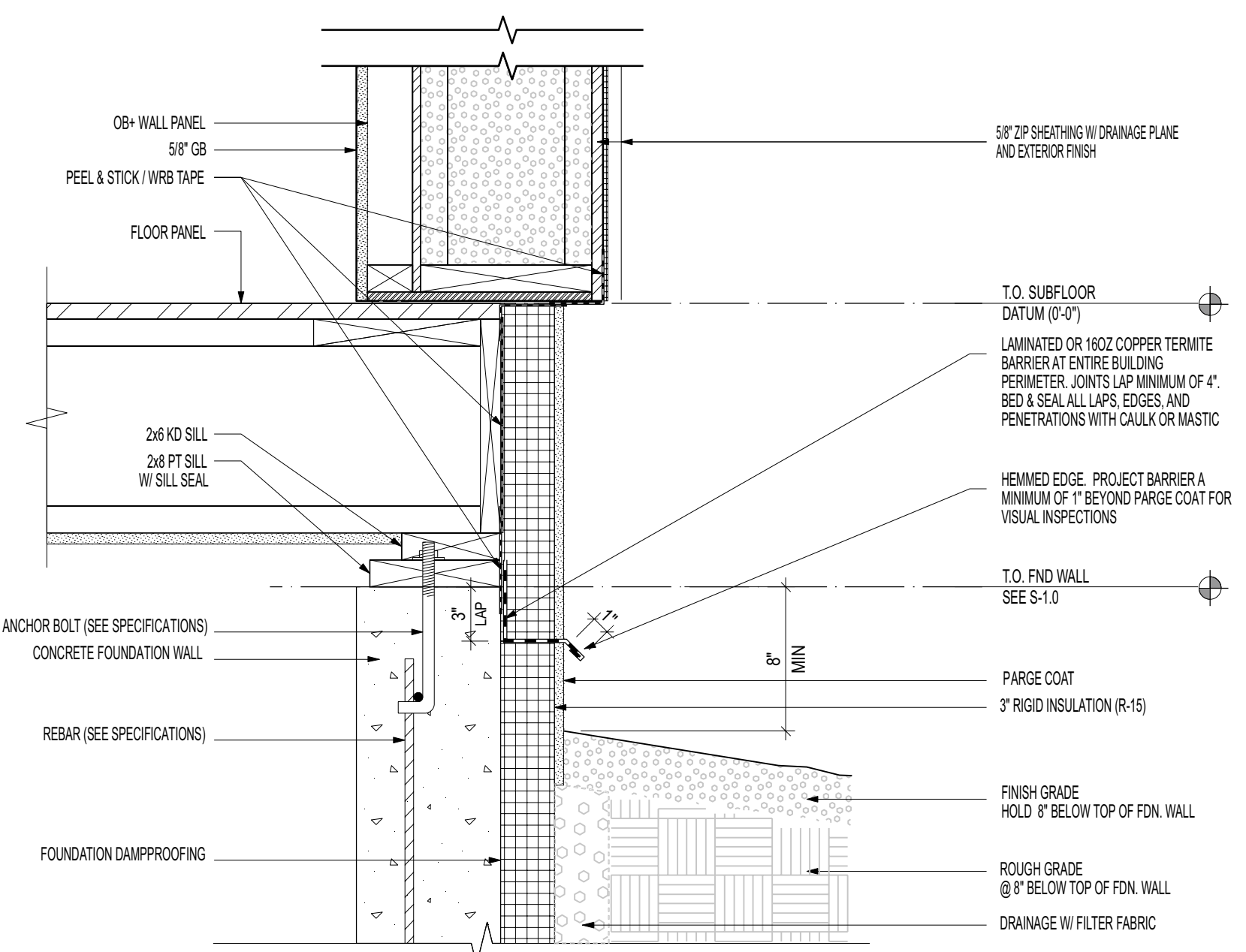
UNITY TEAM: ---

SHEET TITLE:

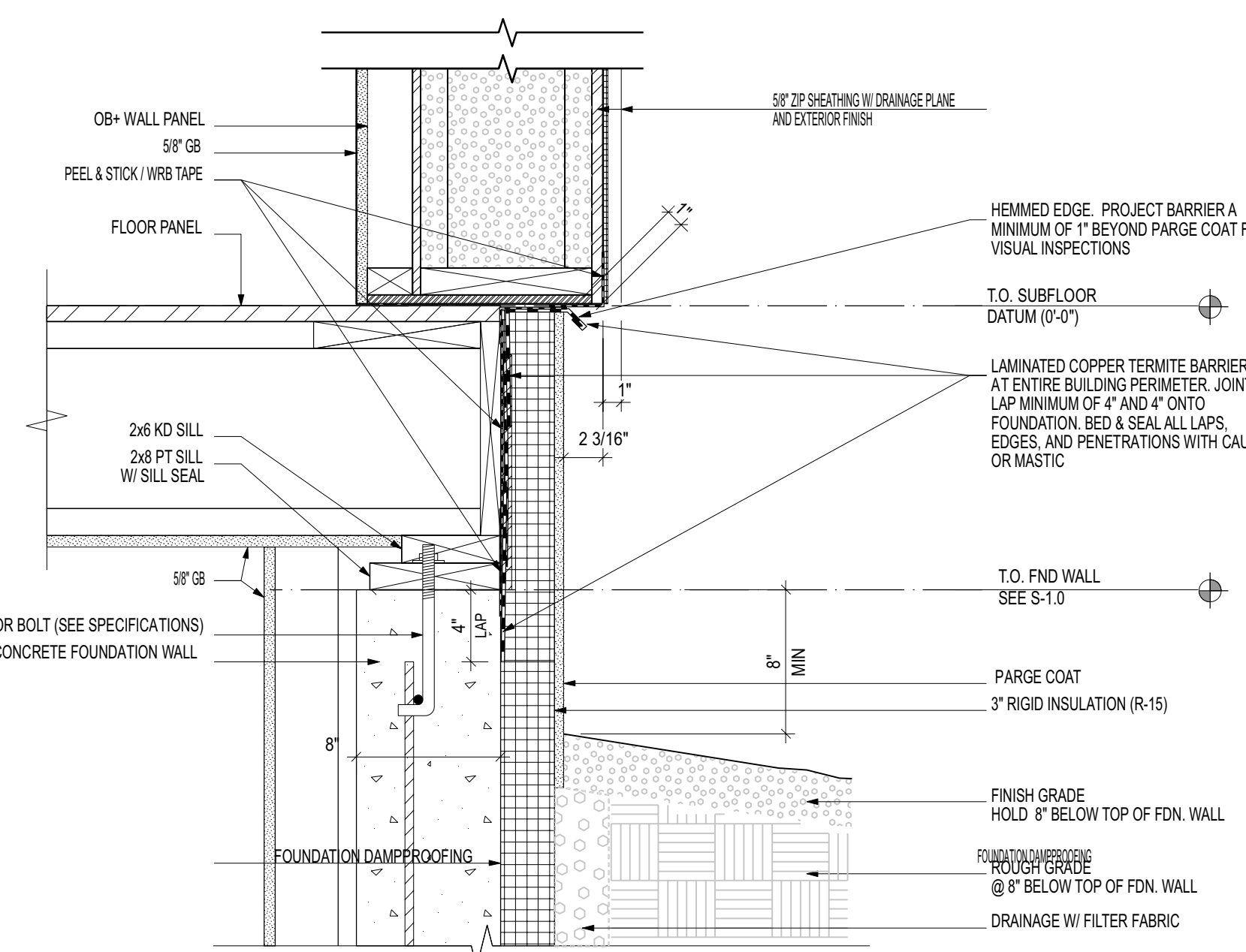
**BUILDING
SECTIONS**

SHEET NUMBER:

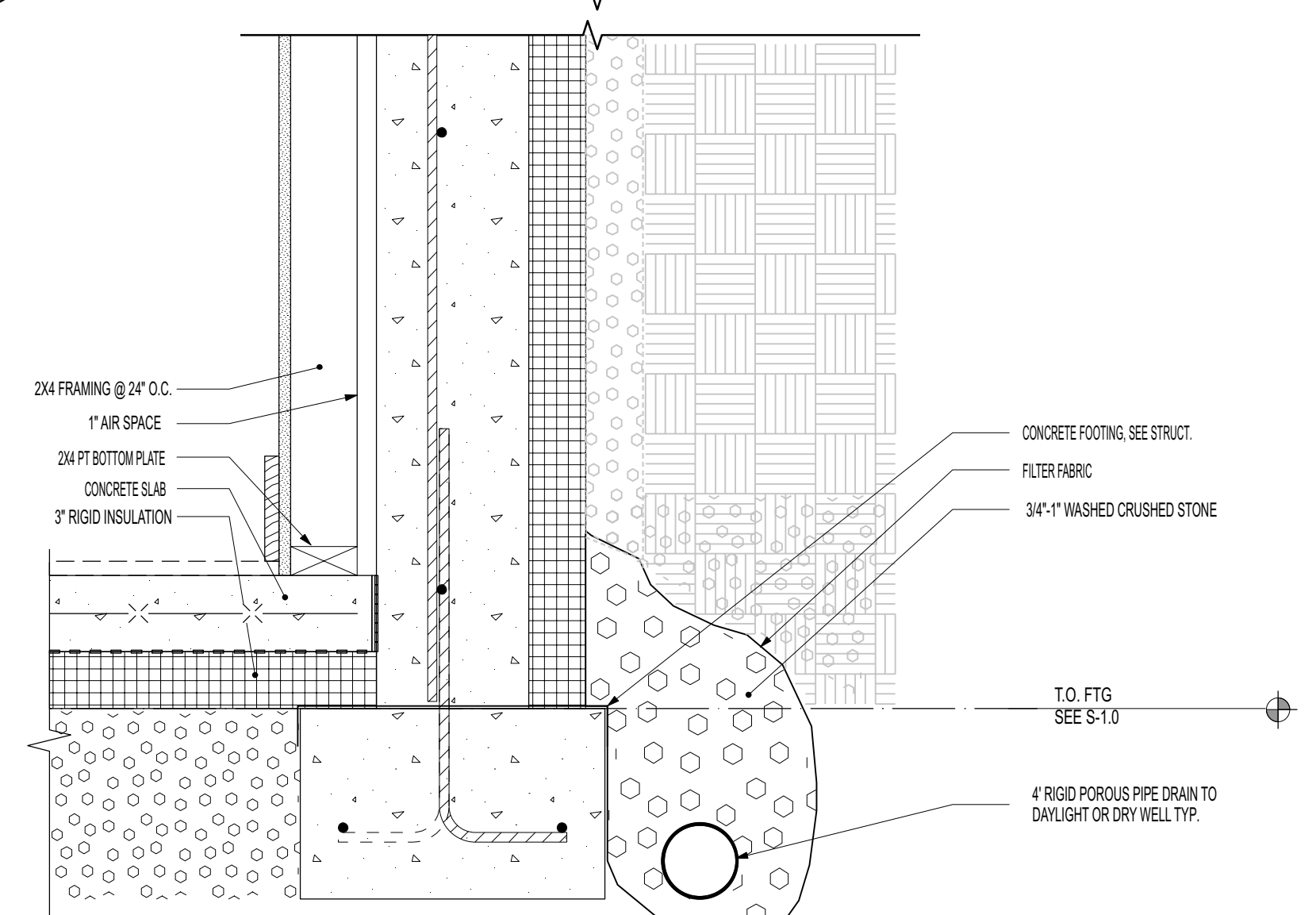
A300



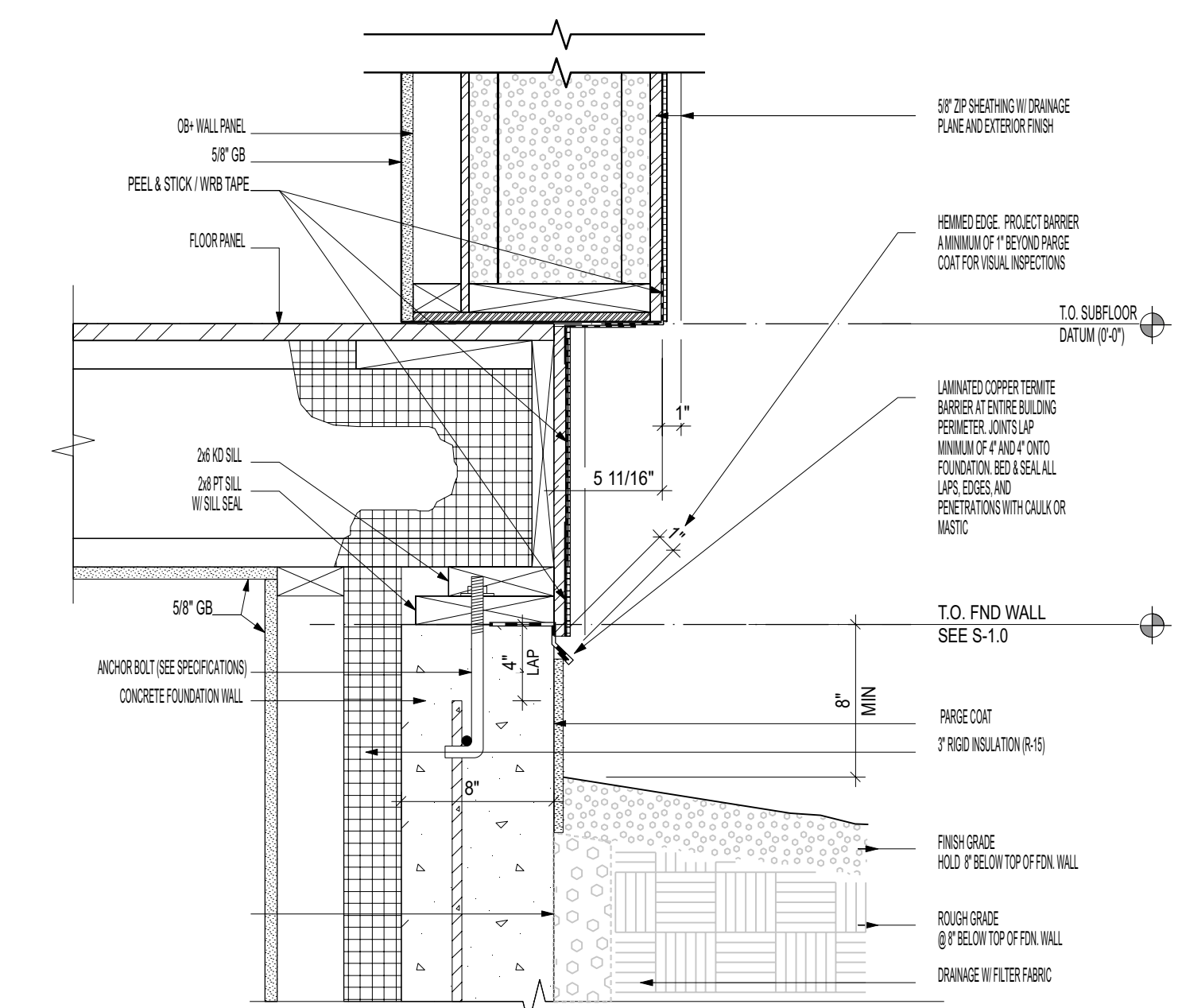
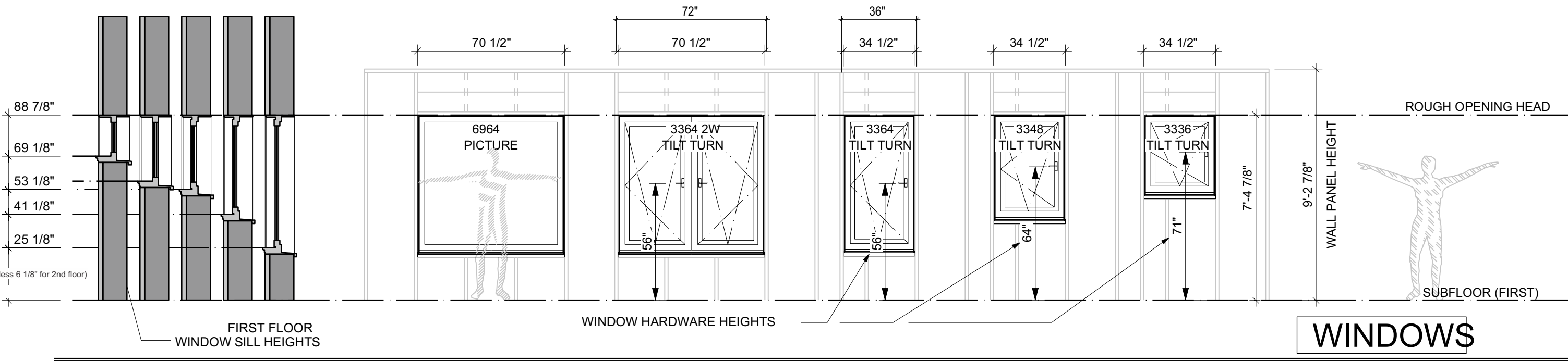
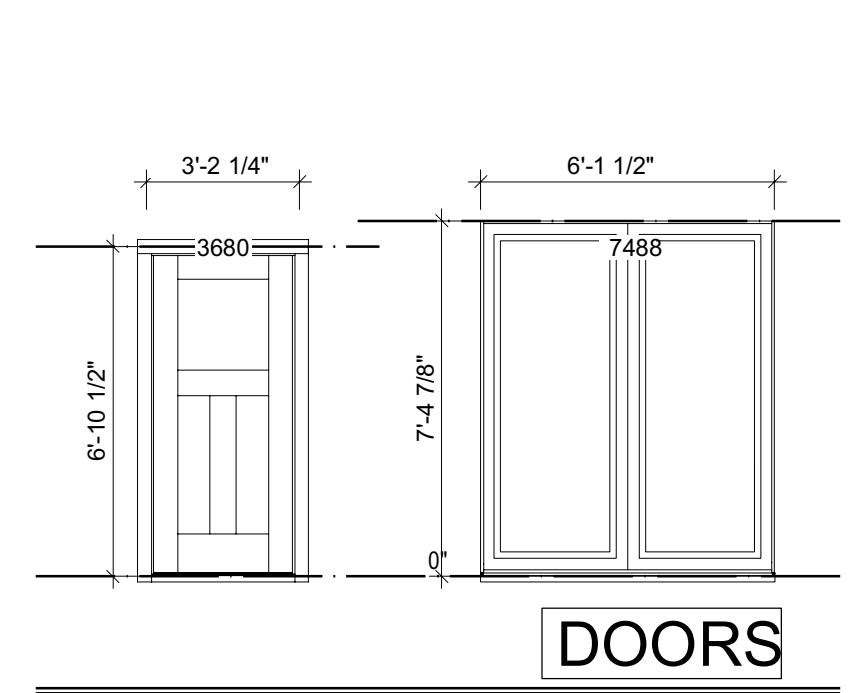
2 OB+ WALL SECTION WITH BASEMENT
--ALTERNATE -- LOWER HEIGHT TERMITE BARRIER



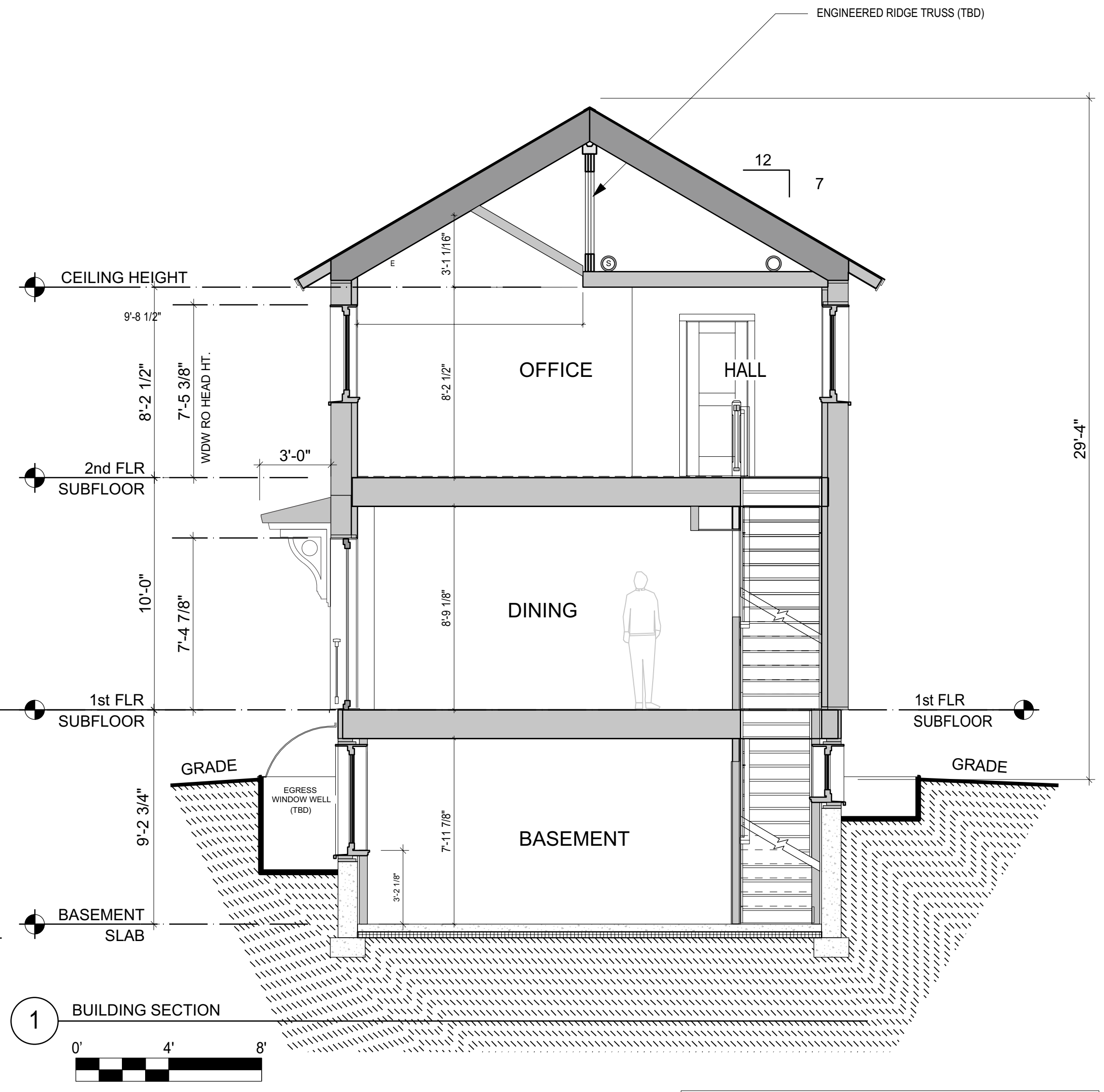
1 OB+ WALL SECTION WITH BASEMENT



1 OB+ WALL SECTION WITH BASEMENT



1 OB+ WALL SECTION WITH BASEMENT
--ALTERNATE -- INTERIOR FOUNDATION INSULATION
NOTE DETAIL NOT A UBT STANDARD



1 BUILDING SECTION

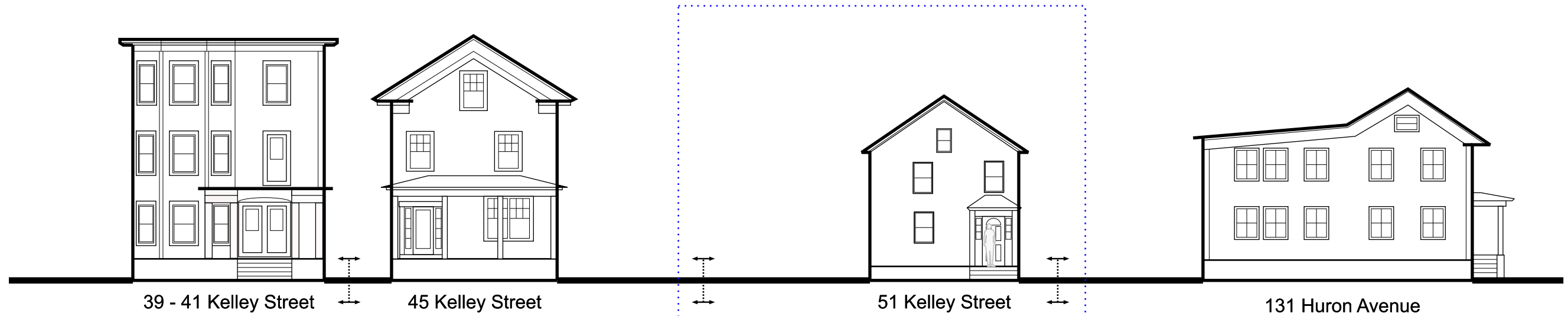
SECTION WALL TYPE LEGEND	
INSULATED PANEL	
INTERIOR PARTITION AT 24" O.C. GWB BOTH SIDES	
SHEAR WALL AT 24" O.C. 7/16" OSB ONE SIDE GWB BOTH SIDES	
INSULATED CONCRETE WALL 2x4 STUDS AT 24" O.C. GWB ON INTERIOR	
UNINSULATED CONCRETE WALL	

- GENERAL SECTION NOTES:
- FOUNDATIONS AND FOOTINGS SHOWN ARE APPROXIMATE. ALL FOOTINGS TO BE BELOW FROST LEVEL PER LOCAL CODE REQUIREMENTS.
 - REFER TO FOUNDATION AND FRAMING PLANS, DETAILS AND SPECIFICATIONS FOR STRUCTURAL INFORMATION.
 - UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO OUTSIDE FACE OF CONCRETE OR FRAMING.

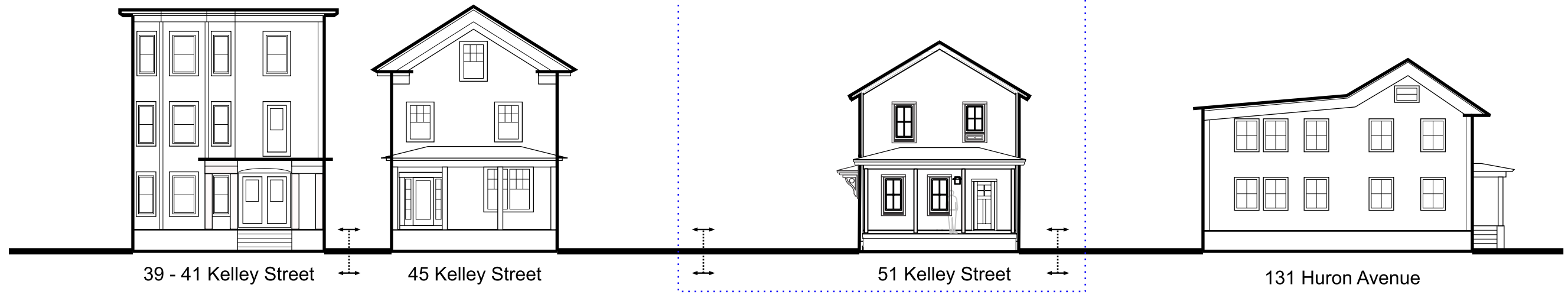
For BZA Review on June 15, 2023

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For Zoning Board Review



Kelley Street Elevation - Existing



Kelley Street Elevation - Proposed

Property Line

51 KELLEY STREET

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

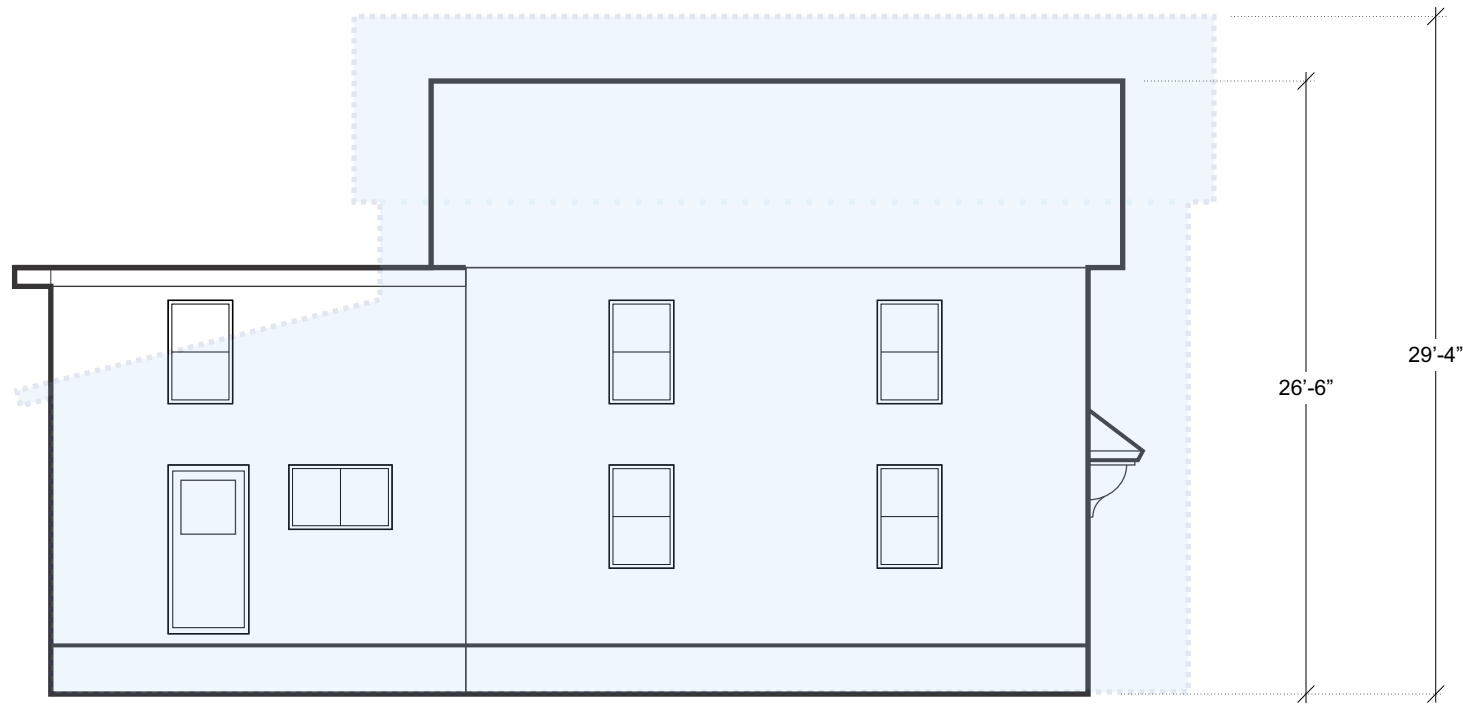
DATE: 2023.06.09
SCALE: AS NOTED
KGC

SHEET TITLE:
STREET ELEVATIONS

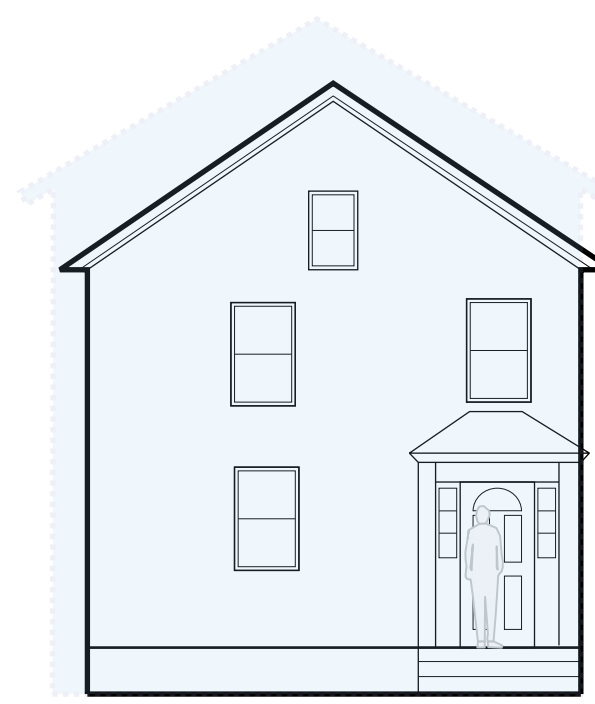
SHEET NUMBER:
SE-1



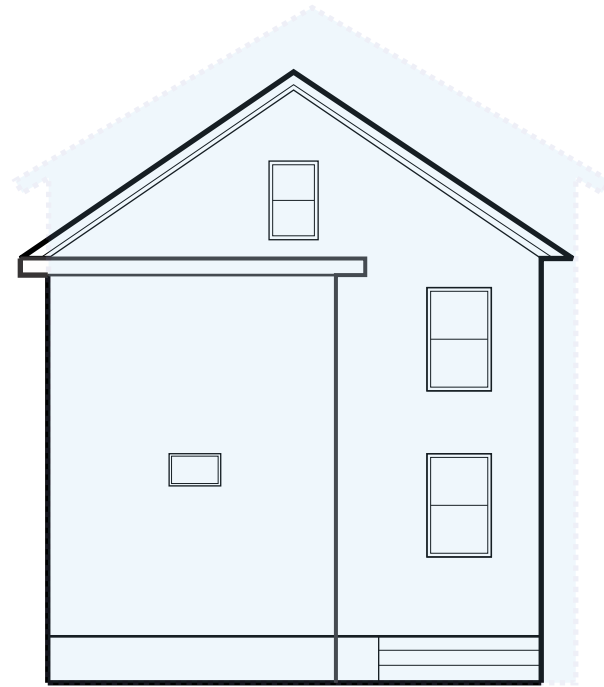
For Zoning Board Review



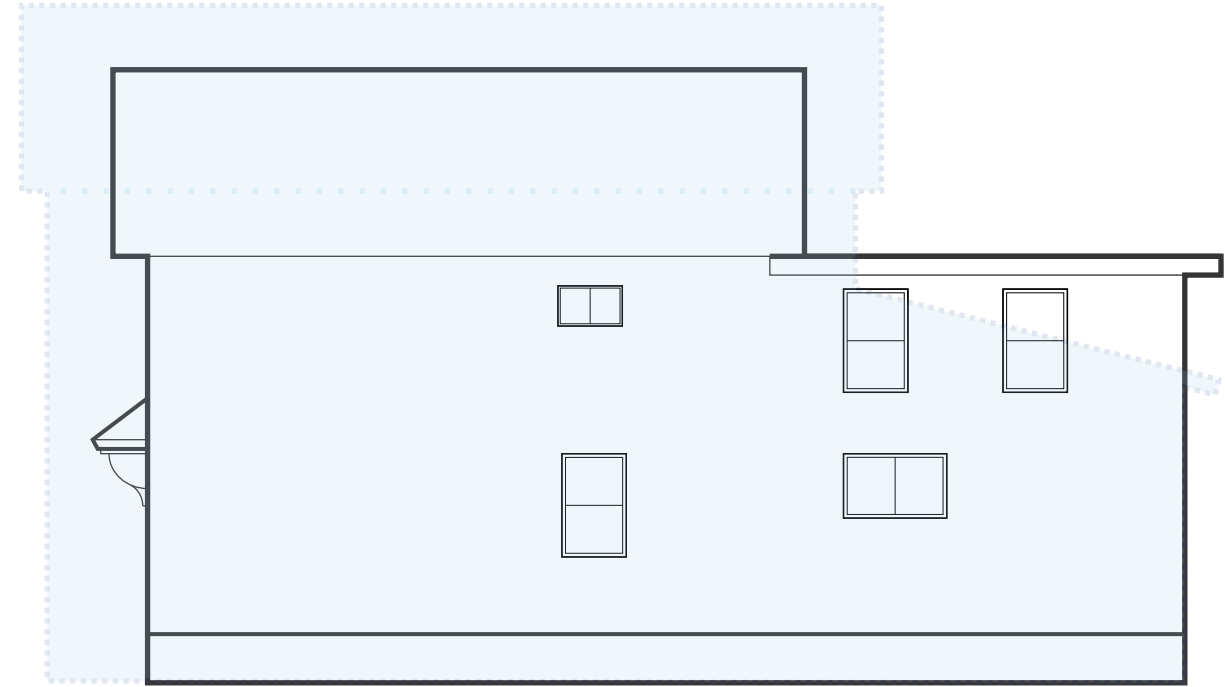
NW Exterior Elevation (Side)



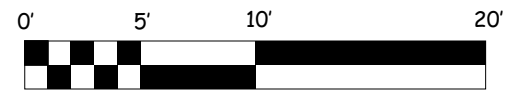
SW Exterior Elevation (Front)



NE Exterior Elevation (Back)



SE Exterior Elevation (Side)



51 Kelley Elevations - Existing with Proposed Overlay

51 KELLEY STREET

CLIENT:
KENT CHRISTMAN

PROJECT TYPE:
RESIDENCE

LOCATION:
51 KELLEY STREET
CAMBRIDGE, MA 02138

DATE: 2023.04.15

SCALE: AS NOTED

KGK

SHEET TITLE:

51 KELLEY ELEVATIONS

SHEET NUMBER:

HE-1



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Kent Christman Date: 24 May 2023
(Print)

Address: 51 Kelley street

Case No. BZA-218944

Hearing Date: 6/15/23

Thank you,
Bza Members

BZA APPLICATION FORM
DIMENSIONAL INFORMATION

APPLICANT: Kent Christman **PRESENT USE/OCCUPANCY:** Single Family Residence

LOCATION: 51 Kelley Street, Cambridge, MA 02138 **ZONE:** Residential Zone B

PHONE: 617-661-6428 **REQUESTED USE/OCCUPANCY:** Single Family Residence

		<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		<u>1806 SF</u>	<u>2776 SF</u>	<u>2512 SF</u>	(max.)
<u>LOT AREA:</u>		<u>5023 SF</u>	<u>5023 SF</u>	<u>5000 SF</u>	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:²</u>		<u>0.36</u>	<u>0.55</u>	<u>0.50</u>	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>		<u>5023 SF</u>	<u>5023 SF</u>	<u>2500 SF</u>	(min.)
<u>SIZE OF LOT:</u>	<u>WIDTH</u>	<u>50 FT</u>	<u>50 FT</u>	<u>50 FT</u>	(min.)
	<u>DEPTH</u>	<u>100.4 FT</u>	<u>100.4 FT</u>	<u>N/A</u>	
<u>Setbacks in Feet:</u>	<u>FRONT</u>	<u>13.8 FT</u>	5.5 to porch 10.4 to house	<u>15 FT</u>	(min.)
	<u>REAR</u>	<u>41.6 FT</u>	36.6 to porch 41.6 to house	<u>25 FT</u>	(min.)
	<u>LEFT SIDE</u>	<u>23.6 FT</u>	<u>22 FT</u>	<u>7.5 FT</u>	(min.)
	<u>RIGHT SIDE</u>	<u>5.6 FT</u>	<u>5.6 FT</u>	<u>7.5 FT</u>	(min.)
<u>SIZE OF BLDG.:</u>	<u>HEIGHT</u>	<u>26.5 FT</u>	<u>29.5 FT</u>	<u>35 FT</u>	(max.)
	<u>LENGTH</u>	<u>44.6 FT</u>	59.7 incl porches 48.3 house	<u>N/A</u>	
	<u>WIDTH</u>	<u>20.4 FT</u>	<u>22.3 FT</u>	<u>N/A</u>	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:³</u>		<u>0.58</u>	<u>0.55</u>	<u>0.40</u>	(min.)
<u>NO. OF DWELLING UNITS:</u>		<u>1</u>	<u>1</u>	<u>2</u>	(max.)
<u>NO. OF PARKING SPACES:</u>		<u>2</u>	<u>2</u>	<u>1 per unit</u>	(min./max)
<u>NO. OF LOADING AREAS:</u>		<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>		<u>20.6 FT</u>	15.6 to porch 20.6 to house	<u>10 FT</u>	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

Existing 2-car garage, 20'D X 20.6' W X 10' H made of CMUs

Proposed new house: concrete foundation, advanced wood frame structure

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.