



# CITY OF CAMBRIDGE

## BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

### BZA Application Form

**BZA Number: 110664**

### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X  

Variance:           

Appeal:           

**PETITIONER:** Cellco Partnership d/b/a Verizon Wireless C/O Daniel D. Klasnick, Esquire of Duval & Klasnick LLC

**PETITIONER'S ADDRESS:** P. O. Box 254, Boxford, MA 01921

**LOCATION OF PROPERTY:** 545 Concord Ave., Cambridge, MA

**TYPE OF OCCUPANCY:** Mobile Communications Facility

**ZONING DISTRICT:** Business A Zone

### **REASON FOR PETITION:**

/Telecommunication Facility (antenna)/

### **DESCRIPTION OF PETITIONER'S PROPOSAL:**

Modify the existing mobile communications facility by removing 9 facade antennas and installing 12 facade antennas. With 6 antennas mounted to the existing pipe mounts and 6 antennas stack mounted on a pipe mount all at a top height to match the existing antennas (painted and covered to match color and texture of building). Install 6 remote radio heads on the rooftop behind the parapet on existing unistrut.

### **SECTIONS OF ZONING ORDINANCE CITED:**

Article: 4.000	Section: 4.32.G.1 (Telecommunications Facility).
Article: 4.000	Section: 4.40 (Footnote 49 - Telecommunications Facility).
Article: 10.000	Section: 10.40-10.46 (Special Permit)
Article: 6409(a)	Section: Middle Class Tax Relief and Job Creation Act (aka Spectrum Act)

Original  
Signature(s):

(Petitioner (s) / Owner)

Daniel D. Klasnick

(Print Name)

Address:

P.O. Box 254  
Boxford, MA 01921

Tel. No. 781-873-0021  
E-Mail Address: dklasnick@dkl-legal.com

Date: 3.18.2021

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Nigoghos Atinizian Alewife Properties LLC  
(OWNER)

Address: 545 Concord ave Cambridge

State that I/We own the property located at Mass.,  
which is the subject of this zoning application.

The record title of this property is in the name of Alewife Properties LLC

\*Pursuant to a deed of duly recorded in the date 10/19/2006 Middlesex South  
County Registry of Deeds at Book 48345, Page 504; or  
Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_

[Signature]  
SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

\*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Nigoghos Atinizian personally appeared before me,  
this 15th of Jan, 2021, and made oath that the above statement is true.

My commission expires 7/8/2027 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, deed, or inheritance, please include documentation.



**BZA Application Form**

**SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

**Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.**

**Granting the Special Permit requested for 545 Concord Ave., Cambridge, MA (location) would not be a detriment to the public interest because:**

**A) Requirements of the Ordinance can or will be met for the following reasons:**

As demonstrated by the documents provided with this application and will be further discussed at the hearing on this matter, the modification satisfies the standards for an Eligible Facilities Request pursuant to Section 6409(a) of the Federal Spectrum Act. The proposed modification also satisfies the standards for the grant of a special permit. (For further details, please see attached narrative and supporting documents)

**B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:**

The modification of the unmanned facility will not change existing traffic demand or impact ingress or egress. The modified facility will continue to generate only about one to two vehicles trips per month in a standard passenger vehicle. (For further details, please see attached narrative and supporting documents)

**C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:**

The modified facility will have no adverse effects on the operation or development of adjacent uses. The modified facility will emit no light, odor, dust or glare and generates no unusual noise or other adverse impacts. (For further details, please see attached narrative and supporting documents)

**D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:**

The modified facility will generate no additional traffic or other negative impacts on surrounding properties or within the City of Cambridge. The facility requires no water or sewer services and emits no light, odor, dust or glare and generates no unusual noise or other adverse impacts. The facility will be unoccupied with no employees or customers. The availability of wireless services enhances the health, safety and welfare of the community. (For further details, please see attached narrative and supporting documents)

**E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district**



or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The facility has been designed to minimize its visual impact and is in harmony with the general purpose of the zoning ordinance for this use and in accordance with the requirements for an Eligible Facilities Request under Section 6409(a). (Please see attached narrative and supporting documents)

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

**BZA Application Form****DIMENSIONAL INFORMATION****Applicant:** Cellco Partnership d/b/a Verizon Wireless**Present Use/Occupancy:** Mobile Communications Facility**Location:** ~~P.O. Box 254~~ 545 Concord Avenue**Zone:** Business A Zone**Phone:** 781-873-0021**Requested Use/Occupancy:** Mobile Communications Facility

		<b><u>Existing Conditions</u></b>	<b><u>Requested Conditions</u></b>	<b><u>Ordinance Requirements</u></b>	
<u>TOTAL GROSS FLOOR AREA:</u>		Not Applicable	Not Applicable	Not Applicable	(max.)
<u>LOT AREA:</u>		Not Applicable	Not Applicable	Not Applicable	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u>		Not Applicable	Not Applicable	Not Applicable	
<u>LOT AREA OF EACH DWELLING UNIT</u>		Not Applicable	Not Applicable	Not Applicable	
<u>SIZE OF LOT:</u>	WIDTH	Not Applicable	Not Applicable	Not Applicable	
	DEPTH	Not Applicable	Not Applicable	Not Applicable	
<u>SETBACKS IN FEET:</u>	FRONT	Not Applicable	Not Applicable	Not Applicable	
	REAR	Not Applicable	Not Applicable	Not Applicable	
	LEFT SIDE	Not Applicable	Not Applicable	Not Applicable	
	RIGHT SIDE	Not Applicable	Not Applicable	Not Applicable	
<u>SIZE OF BUILDING:</u>	HEIGHT	Not Applicable	Not Applicable	Not Applicable	
	WIDTH	Not Applicable	Not Applicable	Not Applicable	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		Not Applicable	Not Applicable	Not Applicable	
<u>NO. OF DWELLING UNITS:</u>		Not Applicable	Not Applicable	Not Applicable	
<u>NO. OF PARKING SPACES:</u>		Not Applicable	Not Applicable	Not Applicable	
<u>NO. OF LOADING AREAS:</u>		Not Applicable	Not Applicable	Not Applicable	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		Not Applicable	Not Applicable	Not Applicable	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.





GENERAL CONSTRUCTION NOTES :

- ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, AND COMPLY WITH VERIZON WIRELESS SPECIFICATIONS.
- CONTRACTOR SHALL CONTACT "DIG SAFE" (888--344--7233) FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
- ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
- DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
- DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
- CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
- INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING.
- EACH CONTRACTOR SHALL COOPERATE WITH THE OWNER'S REPRESENTATIVE, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE VERIZON WIRELESS CONSTRUCTION MANAGER.
- ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
- WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR WILL NOTIFY ENGINEER, VERIZON WIRELESS PROJECT CONSTRUCTION MANAGER, AND LANDLORD IMMEDIATELY.
- CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
- ALL ROOF WORK SHALL BE DONE BY A QUALIFIED AND EXPERIENCED ROOFING CONTRACTOR IN COORDINATION WITH ANY CONTRACTOR WARRANTING THE ROOF TO ENSURE THAT THE WARRANTY IS MAINTAINED.
- CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
- CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH LANDLORD AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
- CONTRACTOR SHALL FURNISH VERIZON WIRELESS WITH THREE AS-BUILT SETS OF DRAWINGS UPON COMPLETION OF WORK.
- ANTENNAS AND CABLES ARE TYPICALLY PROVIDED BY VERIZON WIRELESS. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH PROJECT MANAGER TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED BY VERIZON WIRELESS. ALL ITEMS NOT PROVIDED BY VERIZON WIRELESS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED BY VERIZON WIRELESS.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR WILL COORDINATE WITH VERIZON WIRELESS PROJECT MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY VERIZON WIRELESS. ALL REQUIRED PERMITS NOT OBTAINED BY VERIZON WIRELESS MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
- GENERAL CONTRACTOR SHALL HAVE A LICENSED HVAC CONTRACTOR START THE HVAC UNITS, SYNCHRONIZE THE THERMOSTATS, ADJUST ALL SETTINGS ON EACH UNIT ACCORDING TO VERIZON WIRELESS CONSTRUCTION MANAGER'S SPECIFICATIONS, AND THOROUGHLY TEST AND BALANCE EACH UNIT TO ENSURE PROPER OPERATION PRIOR TO TURNING THE SITE OVER TO OWNER.
- CONTRACTOR SHALL INSTALL ALL SITE SIGNAGE IN ACCORDANCE WITH VERIZON WIRELESS SPECIFICATIONS AND REQUIREMENTS.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- UNLESS OTHERWISE NOTED VERIZON WIRELESS SHALL PROVIDE ALL REQUIRED RF MATERIAL FOR CONTRACTOR TO INSTALL, INCLUDING ANTENNAS, TMA'S, BIAS-T'S, COMBINERS, PDU, DC BLOCKS, SURGE ARRESTORS, GPS ANTENNA, GPS SURGE ARRESTOR, COAXIAL CABLE.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL VERIFY ALL EQUIPMENT TO BE PROVIDED BY VERIZON WIRELESS FOR INSTALLATION BY CONTRACTOR.
- ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO VERIZON WIRELESS SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
- DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE PRIOR TO CONSTRUCTION START, MORE SPECIFICALLY BEFORE; SEALING ANY FLOOR, WALL OR ROOF PENETRATION, FINAL UTILITY CONNECTIONS, POURING CONCRETE, BACKFILLING UTILITY TRENCHES AND STRUCTURAL POST OR MOUNTING CONNECTIONS, FOR ENGINEERING REVIEW AND INSPECTION.
- SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH UL LISTED D FIRE CODE APPROVED MATERIALS.
- REPAIR ANY DAMAGE DURING CONSTRUCTION TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE CONSTRUCTION MANAGER AND LANDLORD.
- ALL DISRUPTIVE WORK AND WORK WITHIN TENANT SPACES TO BE COORDINATED WITH BUILDING REPRESENTATIVE.

CODE SPECIFICATIONS:

- ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:  
MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION, CONSISTENT WITH THE FOLLOWING CODES:  
2015 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2015 INTERNATIONAL BUILDING CODE (IBC)  
2015 INTERNATIONAL EXISTING BUILDING CODE (IBC)  
2020 NATIONAL ELECTRICAL CODE (NEC)  
  
IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.
- ALL STRUCTURAL WORK TO BE DONE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL, 13TH EDITION (AISC 13TH ED.)
- ALL CONCRETE WORK TO BE DONE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI 301) SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 318) AND BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- ALL REINFORCING STEEL WORK TO BE DONE IN ACCORDANCE WITH THE (ACI 315) MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.

GROUNDING NOTES:

- GROUNDING SHALL COMPLY WITH NEC ART. 250.
- GROUNDING CONDUCTORS SHALL BE #6 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR INDOOR USE.
- ALL GROUND CONNECTIONS TO BE BURNDY HYGROUND COMPRESSION TYPE CONNECTORS OR CADWELD EXOTHERMIC WELD DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.
- ROUTE GROUNDING CONNECTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NOT BE BENT AT RIGHT ANGLE. ALWAYS MAKE 12" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY.
- CONNECTIONS TO GROUNDING BAR SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS. APPLY OXIDE INHIBITING COMPOUND TO ALL LOCATIONS.
- TEST COMPLETED GROUNDING SYSTEM AND RECORD RESISTANCE VALUES FOR PROJECT CLOSE-OUT DOCUMENTATION. GROUND RESISTANCE SHALL NOT EXCEED 5 OHMS.
- GROUNDING CONDUCTORS BETWEEN MGB AND WATERMAIN SHALL BE #2/0. BONDING JUMPERS FROM METALLIC SURFACES SHALL BE #2 MINIMUM. ALL GROUND CONDUCTORS AND BONDING JUMPERS SHALL BE SOFT DRAWN ANNEALED, TINNED, BARE STRANDED COPPER WIRE. COAXIAL CABLES SHALL BE GROUNDED AT A MINIMUM OF TWO LOCATIONS USING VERIZON PROVIDED GROUNDING KITS. EXACT LOCATIONS SHALL BE FINALIZED IN THE FIELD BY THE CONSTRUCTION MANAGER.

STRUCTURAL STEEL NOTES:

- STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- STRUCTURAL STEEL ROLLED SHAPES, PLATES, AND BARS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS:  
ASTM A-992, GRADE 50 ALL W SHAPES, UNLESS NOTED OR A992 OTHERWISE.  
ASTM A-36 ALL OTHER ROLLED SHAPES, PLATES AND BARS UNLESS NOTED OTHERWISE.  
ASTM A-500, GRADE B HSS SECTION (SQUARE, RECTANGULAR, ROUND)  
ASTM A-325, TYPE SC OR N ALL BOLTS FOR CONNECTING STRUCTURAL MEMBERS.  
F1554, GRADE 36 ALL ANCHORS BOLTS, UNLESS NOTED OTHERWISE.  
ASTM A-53, GRADE B STEEL PIPE
- ALL WELDING SHALL BE DONE USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC AND AWS D1.1 WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION", 14TH EDITION. WHERE WELD LENGTH IS NOT INDICATED, USE FULL LENGTH WELD. AT THE COMPLETION OF ALL WELDING, ALL DAMAGE TO GALVANIZED COATING SHALL BE REPAIRED.
- BOLTED CONNECTIONS SHALL USE BEARING TYPE GALVANIZED ASTM A325 BOLTS (3/4" DIA.) SUPPLIED WITH A NUT AND WASHER UNDER TURNED END AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
- DO NOT DRILL HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.
- NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. GALVANIZED ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
- USE PRECAUTIONS & PROCEDURES PER AWS D1.1 WHEN WELDING GALVANIZED METALS.
- ALL EXISTING BEAM AND COLUMN DIMENSIONS SHALL BE FIELD VERIFY BY CONTRACTOR PRIOR TO FABRICATION. ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN SHALL BE REPORTED TO DEWBERRY ENGINEER IMMEDIATELY.
- CONNECTION DESIGN BY FABRICATOR WILL BE SUBJECT TO REVIEW AND APPROVAL BY ENGINEER.
- ALL EXTERIOR STEEL WORK SHALL BE GALVANIZED IN ACCORDANCE WITH SPECIFICATION ASTM A123/A123M-00 HOT-DIP GALVANIZED FINISH UNLESS OTHERWISE NOTED. GALVANIZING SHALL BE PERFORMED AFTER SHOP FABRICATION TO THE GREATEST EXTENT POSSIBLE. ALL DINGS, SCRAPES, MARS, AND WELDS IN THE GALVANIZED AREAS SHALL BE REPAIRED. REPAIR DAMAGED GALVANIZED COATINGS ON GALVANIZED ITEMS WITH GALVANIZED REPAIR PAINT ACCORDING TO ASTM A780 AND MANUFACTURER'S WRITTEN INSTRUCTIONS, PRIOR TO COMPLETION OF WORK. TOUCHUP ALL DAMAGED GALVANIZED STEEL WITH APPROVED COLD ZINC, "GALVANOX", "DRY GALV", "ZINC-IT", OR APPROVED EQUIVALENT, IN ACCORDANCE WITH MANUFACTURERS GUIDELINES. TOUCHUP DAMAGED NON GALVANIZED STEEL WITH SAME PAINT APPLIED IN SHOP OR FIELD.
- ALL WELDED COMPONENTS TO BE SHOP WELDED PRIOR TO INSTALLATION. NO WELDING ACTIVITIES IS PERMITTED DURING INSTALLATION OF PROPOSED EQUIPMENTS AND/OR HARDWARE ON SITE.



VERIZON WIRELESS  
118 FLANDERS ROAD  
WESTBOROUGH, MA 01581-3956

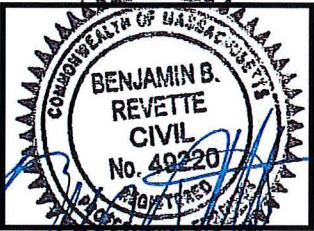
FRESH POND  
MA HD

CONSTRUCTION DRAWINGS

5	02/18/21	FOR SUBMITTAL
4	01/22/21	FOR SUBMITTAL
3	01/07/21	FOR SUBMITTAL
2	01/04/21	FOR SUBMITTAL
1	12/10/20	FOR SUBMITTAL
0	06/02/20	FOR SUBMITTAL



Dewberry Engineers Inc.  
89 SUMMER STREET  
SUITE 700  
BOSTON, MA 02110  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY:	AJB
REVIEWED BY:	JCM
CHECKED BY:	BBR
PROJECT NUMBER:	50121487
JOB NUMBER:	50121678
SITE ADDRESS:	

545 CONCORD AVENUE  
CAMBRIDGE, MA 02138

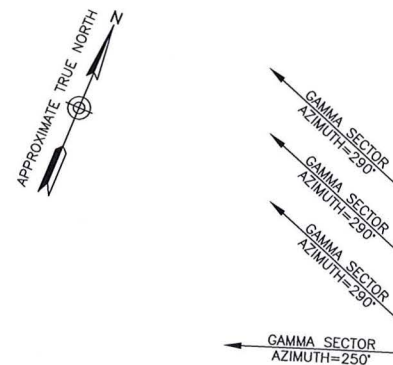
SHEET TITLE

GENERAL NOTES

SHEET NUMBER

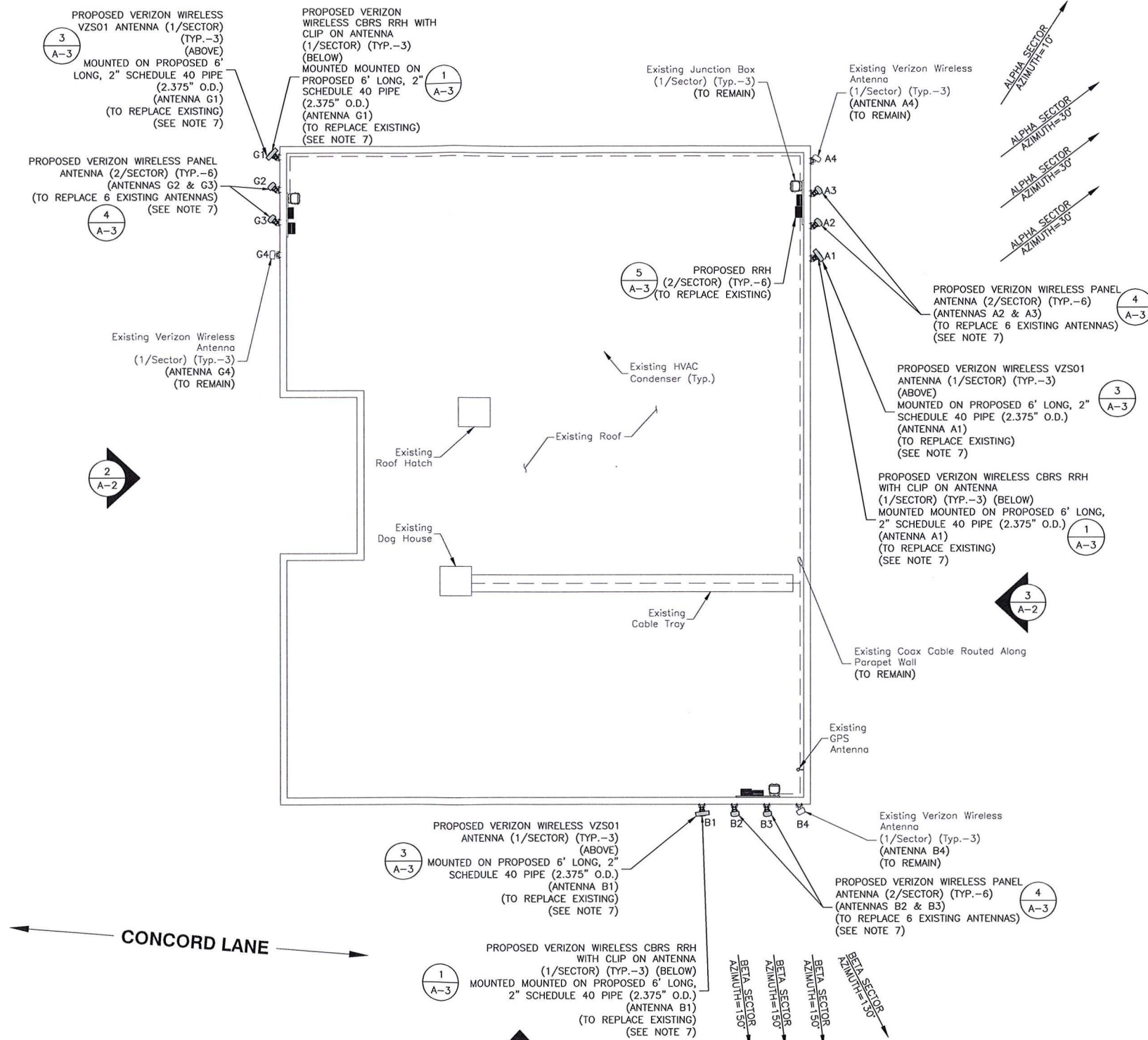
GN-1





GAMMA SECTOR  
AZIMUTH=250°

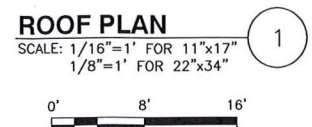
CONCORD AVENUE



HYBRID CABLE SCHEDULE*			
SECTOR	HYBRID CABLE LENGTH	CABLE SIZE	CABLE COUNT
ALPHA	205'±	6x12	1
BETA	205'±	6x12	1
GAMMA	285'±	6x12	1

\*CONTRACTOR TO FIELD VERIFY HYBRID CABLE LENGTHS PRIOR TO CONSTRUCTION. LENGTH IS ESTIMATED FROM THE BASE EQUIPMENT OVP TO SECTOR OVP. NO HYBRID CABLES ARE PROPOSED UNDER CURRENT SCOPE OF WORK.  
CALCULATION BY: AJB

- NOTES:
- SOME EXISTING AND PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
  - NORTH ARROW SHOWN AS APPROXIMATE.
  - EXISTING ANTENNAS SHOWN AS APPROXIMATE. ELEVATION BASED ON EXISTING INFORMATION AND VISUAL INSPECTION AND HAVE NOT BEEN VERIFIED THROUGH AN ANTENNA MAPPING.
  - ROOF PLAN BASED ON SITE VISIT ON 04/07/20 AND RFDS TITLED "FRESH\_POND\_MA" DATED 08/31/20.
  - REUSE EXISTING ANTENNA MOUNTS AND COAX. INSPECT FOR DAMAGE OR DECAY AND REPLACE AS NEEDED.
  - INSTALL PROPOSED EQUIPMENT IN ACCORDANCE WITH THE STRUCTURAL ASSESSMENT LETTER BY DEWBERRY DATED 12/08/20, FINAL MOUNT ANALYSIS REPORT BY MASER CONSULTING DATED 12/01/20, AND IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
  - ALL ANTENNAS TO BE PAINTED TO MATCH EXISTING BUILDING COLOR & TEXTURE. PROPOSED VZS01 ANTENNAS TO UTILIZE 3M WRAP TO MATCH.



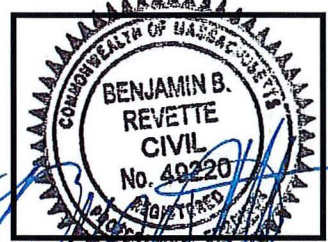
**verizon**  
WIRELESS

VERIZON WIRELESS  
118 FLANDERS ROAD  
WESTBOROUGH, MA 01581-3956

**FRESH POND  
MA HD**

CONSTRUCTION DRAWINGS		
5	02/18/21	FOR SUBMITTAL
4	01/22/21	FOR SUBMITTAL
3	01/07/21	FOR SUBMITTAL
2	01/04/21	FOR SUBMITTAL
1	12/10/20	FOR SUBMITTAL
0	06/02/20	FOR SUBMITTAL

**Dewberry**  
Dewberry Engineers Inc.  
99 SUMMER STREET  
SUITE 700  
BOSTON, MA 02110  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY:	AJB
REVIEWED BY:	JCM
CHECKED BY:	BBR
PROJECT NUMBER:	50121487
JOB NUMBER:	50121678
SITE ADDRESS:	

545 CONCORD AVENUE  
CAMBRIDGE, MA 02138

SHEET TITLE	ROOF PLAN
SHEET NUMBER	A-1





VERIZON WIRELESS  
118 FLANDERS ROAD  
WESTBOROUGH, MA 01581-3956

## FRESH POND MA HD

### CONSTRUCTION DRAWINGS

5	02/18/21	FOR SUBMITTAL
4	01/22/21	FOR SUBMITTAL
3	01/07/21	FOR SUBMITTAL
2	01/04/21	FOR SUBMITTAL
1	12/10/20	FOR SUBMITTAL
0	06/02/20	FOR SUBMITTAL



Dewberry Engineers Inc.  
99 SUMMER STREET  
SUITE 700  
BOSTON, MA 02110  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY: AJB

REVIEWED BY: JCM

CHECKED BY: BBR

PROJECT NUMBER: 50121487

JOB NUMBER: 50121678

SITE ADDRESS:

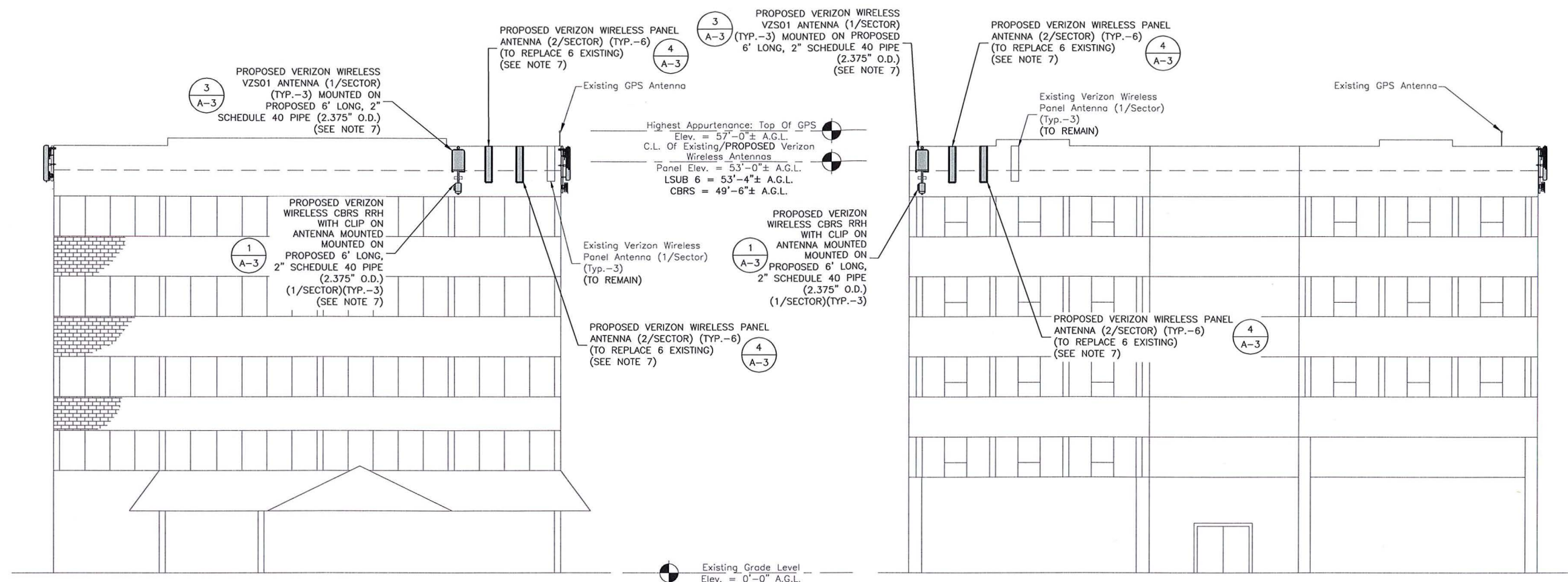
545 CONCORD AVENUE  
CAMBRIDGE, MA 02138

SHEET TITLE

SOUTH, WEST  
& EAST ELEVATIONS

SHEET NUMBER

A-2



### SOUTH ELEVATION (BETA SECTOR)

SCALE: 1/16"=1' FOR 11"x17"  
1/8"=1' FOR 22"x34"



### WEST ELEVATION (GAMMA SECTOR)

SCALE: 1/16"=1' FOR 11"x17"  
1/8"=1' FOR 22"x34"



### EAST ELEVATION (ALPHA SECTOR)

SCALE: 1/16"=1' FOR 11"x17"  
1/8"=1' FOR 22"x34"

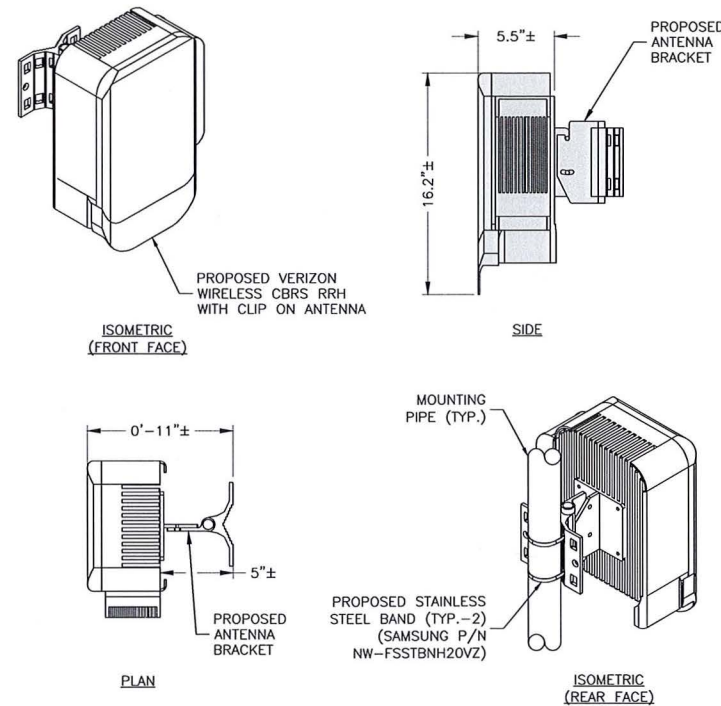


#### NOTES:

- SOME EXISTING AND PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
- NORTH ARROW SHOWN AS APPROXIMATE.
- EXISTING ANTENNAS SHOWN AS APPROXIMATE. ELEVATION BASED ON EXISTING INFORMATION AND VISUAL INSPECTION AND HAVE NOT BEEN VERIFIED THROUGH AN ANTENNA MAPPING.
- ROOF PLAN BASED ON SITE VISIT ON 04/07/20 AND RFDS TITLED "FRESH\_POND\_MA" DATED 08/31/20.
- REUSE EXISTING ANTENNA MOUNTS AND COAX. INSPECT FOR DAMAGE OR DECAY AND REPLACE AS NEEDED.
- INSTALL PROPOSED EQUIPMENT IN ACCORDANCE WITH THE STRUCTURAL ASSESSMENT LETTER BY DEWBERRY DATED 12/08/20, FINAL MOUNT ANALYSIS REPORT BY MASER CONSULTING DATED 12/01/20, AND IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- ALL ANTENNAS TO BE PAINTED TO MATCH EXISTING BUILDING COLOR & TEXTURE. PROPOSED VZS01 ANTENNAS TO UTILIZE 3M WRAP TO MATCH.

A.G.L. = ABOVE GRADE LEVEL  
C.L. = CENTER LINE



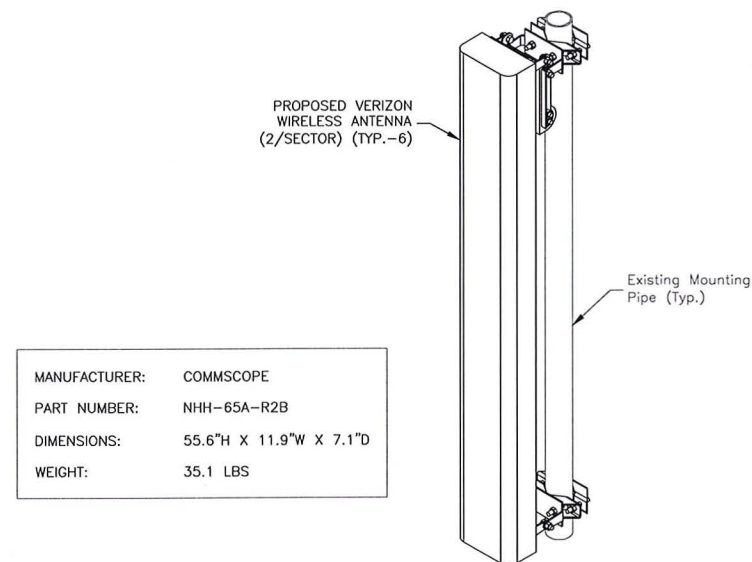


NOTES:

1. INSTALL ALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. USE APPROPRIATE MOUNTING HARDWARE FOR CONSTRUCTION TYPE.
2. ANTENNAS ARE SHOWN PERPENDICULAR TO BUILDING FACADE. ANTENNAS WILL BE REQUIRED TO BE PANNED TO MEET REQUIRED AZIMUTHS.
3. ANTENNA WEIGHT: 20 LBS.
4. CONTRACTOR TO UTILIZE 3M WRAP FOR ALL ANTENNAS TO MATCH SURROUNDING AREAS. INSTALL 3M WRAP ON ANTENNAS PER MANUFACTURER'S SPECIFICATION & RECOMMENDATIONS.

**CBRS RRH WITH CLIP ANTENNA DETAIL**

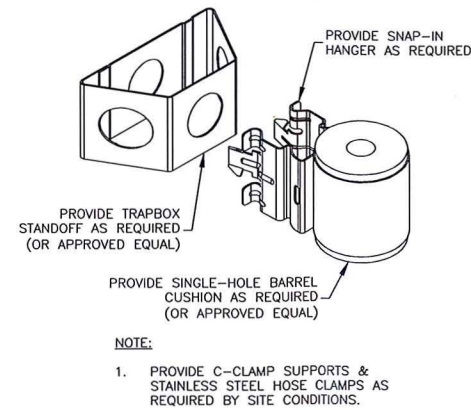
SCALE: N.T.S.



MANUFACTURER: COMMScope  
PART NUMBER: NHH-65A-R2B  
DIMENSIONS: 55.6"H X 11.9"W X 7.1"D  
WEIGHT: 35.1 LBS

**NHH-65A-R2B**

SCALE: N.T.S.

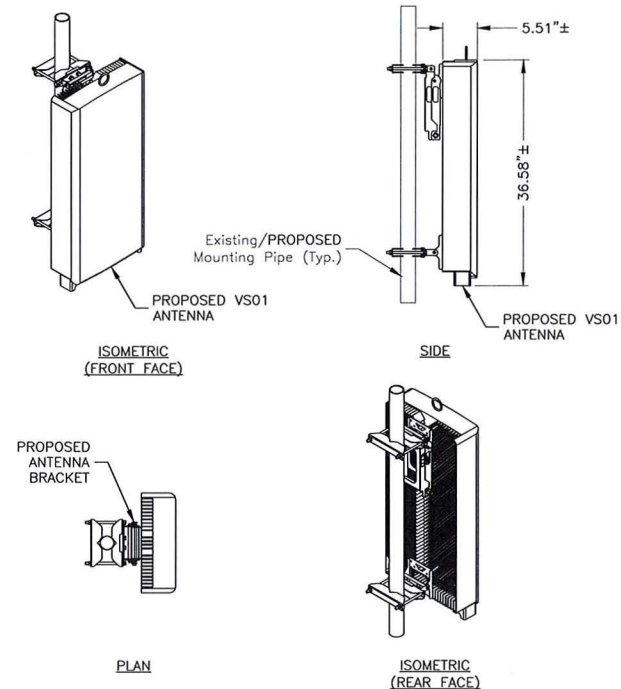


NOTE:

1. PROVIDE C-CLAMP SUPPORTS & STAINLESS STEEL HOSE CLAMPS AS REQUIRED BY SITE CONDITIONS.

**NR HRU JUMPER MOUNT**

SCALE: N.T.S.



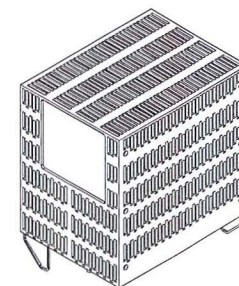
MODEL: VS01  
DIMENSIONS: 35.1"H X 16.1"W X 5.5"D (NOT TO EXCEED)  
WEIGHT: 87.1 LBS (NOT TO EXCEED)

NOTES:

1. INSTALL ALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. USE APPROPRIATE MOUNTING HARDWARE FOR CONSTRUCTION TYPE.

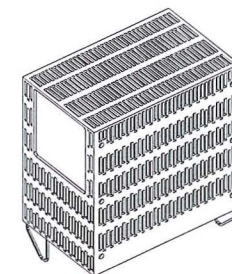
**VZS01 PIPE MOUNTED ANTENNA DETAIL**

SCALE: N.T.S.



**LTE PCS/AWS**

MANUFACTURER: SAMSUNG  
MODEL: LTE PCS/AWS RRH  
DIMENSIONS: 15.0"H X 15.9"W X 10.0"D  
WEIGHT: 97.5 LBS



**LTE 700/850**

MANUFACTURER: SAMSUNG  
MODEL: 700/850 RRH  
DIMENSIONS: 15.0"H X 15.0"W X 8.1"D  
WEIGHT: 82.0 LBS

NOTE:

1. CONTRACTOR TO VERIFY WITH CONSTRUCTION MANAGER FOR FINAL MANUFACTURER SPECIFICATIONS PRIOR TO CONSTRUCTION.

**REMOTE UNIT DETAILS**

SCALE: N.T.S.



VERIZON WIRELESS  
118 FLANDERS ROAD  
WESTBOROUGH, MA 01581-3956

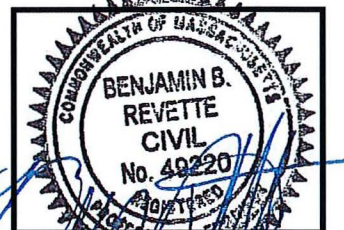
**FRESH POND  
MA HD**

**CONSTRUCTION DRAWINGS**

5	02/18/21	FOR SUBMITTAL
4	01/22/21	FOR SUBMITTAL
3	01/07/21	FOR SUBMITTAL
2	01/04/21	FOR SUBMITTAL
1	12/10/20	FOR SUBMITTAL
0	06/02/20	FOR SUBMITTAL



Dewberry Engineers Inc.  
99 SUMMER STREET  
SUITE 700  
BOSTON, MA 02110  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY:	AJB
REVIEWED BY:	JCM
CHECKED BY:	BBR
PROJECT NUMBER:	50121487
JOB NUMBER:	50121678
SITE ADDRESS:	

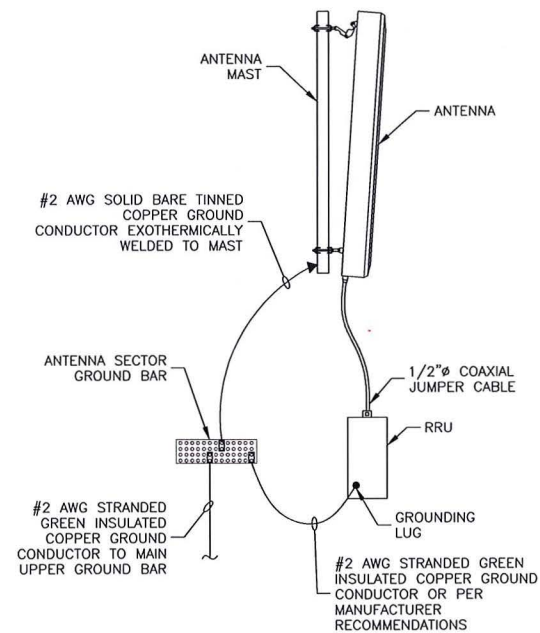
545 CONCORD AVENUE  
CAMBRIDGE, MA 02138

SHEET TITLE

CONSTRUCTION  
DETAILS

SHEET NUMBER

A-3

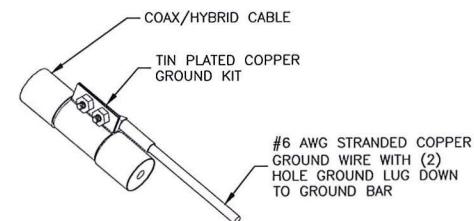


**NOTES:**

1. VERIFY EXISTING GROUNDING SYSTEM IS INSTALLED PER VERIZON WIRELESS STANDARDS.
2. BOND NEW EQUIPMENT INTO EXISTING GROUND SYSTEM IN ACCORDANCE WITH VERIZON WIRELESS STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.

**TYPICAL ANTENNA/RRU GROUNDING DETAIL**

SCALE: N.T.S.

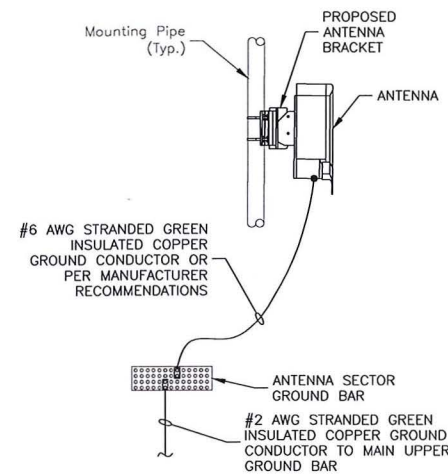


**NOTES:**

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND. ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. GROUNDING KIT SHALL BE TIN PLATED COPPER WITH TWO-HOLE LUG, SIZE PER COAX DIAMETER.
3. WEATHER SEAL GROUND KIT PER CARRIER REQUIREMENTS.
4. COAX CABLE GROUND KIT LOCATION & QUANTITY SHALL BE PER CARRIER SPECIFICATIONS & STANDARDS.

**COAX/HYBRID GROUNDING DETAIL**

SCALE: N.T.S.

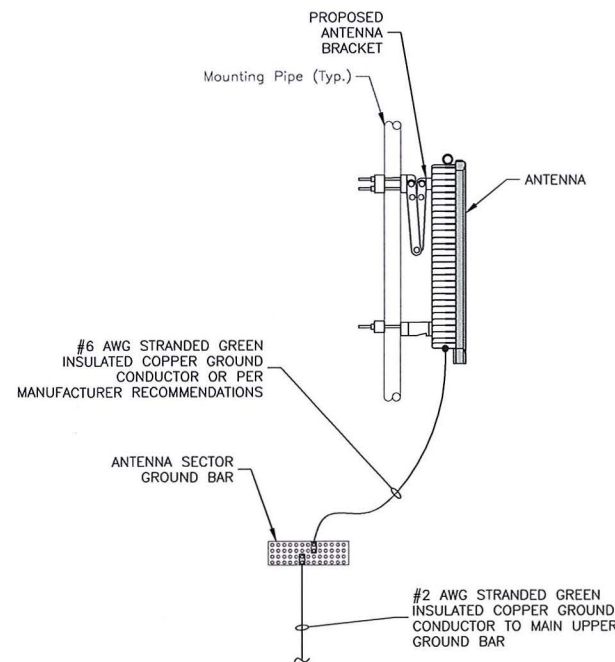


**NOTES:**

1. VERIFY EXISTING GROUNDING SYSTEM IS INSTALLED PER VERIZON WIRELESS STANDARDS.
2. BOND NEW EQUIPMENT INTO EXISTING GROUND SYSTEM IN ACCORDANCE WITH VERIZON WIRELESS STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.

**TYPICAL ANTENNA GROUNDING DETAIL**

SCALE: N.T.S.



**NOTES:**

1. VERIFY EXISTING GROUNDING SYSTEM IS INSTALLED PER VERIZON WIRELESS STANDARDS.
2. BOND NEW EQUIPMENT INTO EXISTING GROUND SYSTEM IN ACCORDANCE WITH VERIZON WIRELESS STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.

**TYPICAL ANTENNA GROUNDING DETAIL**

SCALE: N.T.S.



VERIZON WIRELESS  
118 FLANDERS ROAD  
WESTBOROUGH, MA 01581-3956

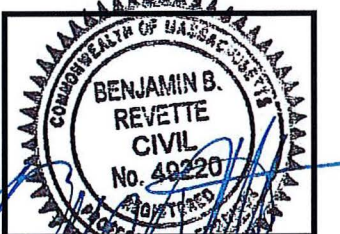
**FRESH POND  
MA HD**

**CONSTRUCTION DRAWINGS**

5	02/18/21	FOR SUBMITTAL
4	01/22/21	FOR SUBMITTAL
3	01/07/21	FOR SUBMITTAL
2	01/04/21	FOR SUBMITTAL
1	12/10/20	FOR SUBMITTAL
0	06/02/20	FOR SUBMITTAL



Dewberry Engineers Inc.  
99 SUMMER STREET  
SUITE 700  
BOSTON, MA 02110  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY:	AJB
REVIEWED BY:	JCM
CHECKED BY:	BBR
PROJECT NUMBER:	50121487
JOB NUMBER:	50121678
SITE ADDRESS:	

545 CONCORD AVENUE  
CAMBRIDGE, MA 02138

SHEET TITLE

GROUNDING  
DETAILS

SHEET NUMBER





VERIZON WIRELESS  
118 FLANDERS ROAD  
WESTBOROUGH, MA 01581-3956

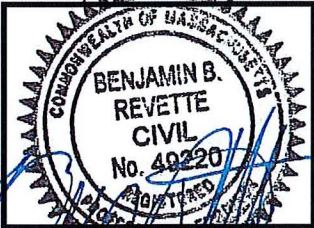
FRESH POND  
MA HD

CONSTRUCTION DRAWINGS

5	02/18/21	FOR SUBMITTAL
4	01/22/21	FOR SUBMITTAL
3	01/07/21	FOR SUBMITTAL
2	01/04/21	FOR SUBMITTAL
1	12/10/20	FOR SUBMITTAL
0	06/02/20	FOR SUBMITTAL



Dewberry Engineers Inc.  
99 SUMMER STREET  
SUITE 700  
BOSTON, MA 02110  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY: AJB

REVIEWED BY: JCM

CHECKED BY: BBR

PROJECT NUMBER: 50121487

JOB NUMBER: 50121678

SITE ADDRESS:

545 CONCORD AVENUE  
CAMBRIDGE, MA 02138

SHEET TITLE

SMART TOOL SECTOR PLANS  
& ELEVATIONS

SHEET NUMBER

A-5

Mount Structural Analysis Report  
(12) 5.00-Ft Flush Mounts

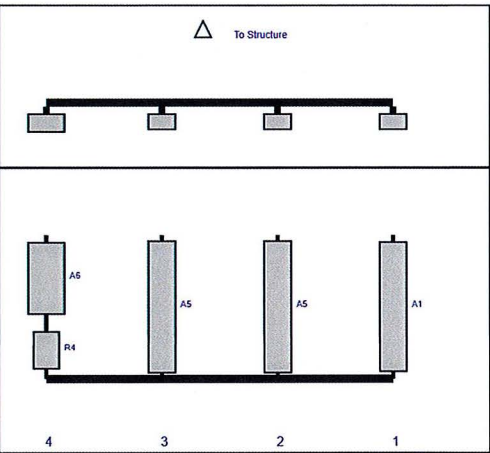
December 1, 2020  
Site ID: 137428-VZW / NE FRESH POND  
Page | 4

Structure: 137428-VZW - NE FRESH POND

Sector: A  
Structure Type: Rooftop  
Mount Elev: 59.00  
Page: 1



Plan View



Ref#	Model	Height (in)	Width (in)	H Dist Fm L	Pipe #	Pipe Pos V	Ant Pos	C. Ant Fm T	Ant H Off	Status	Validation
A1	L1DX-6513DS-VTM	54.7	11.9	144	1	a	Front	30	0	Retained	04/06/2020
A5	NRH-65A-R2B	55.6	11.9	96	2	a	Front	30	0	Added	
A5	NRH-65A-R2B	55.6	11.9	48	3	a	Front	30	0	Added	
A6	L-Sub6 Antenna	30.4	15.9	0	4	a	Front	18	0	Added	
R4	XXDWM-12.5-65-8T-CBRS ANTENNA/RADIO	16.2	11.4	0	4	a	Front	48	0	Added	

ALPHA SECTOR  
SCALE: N.T.S.

1

NOTE:

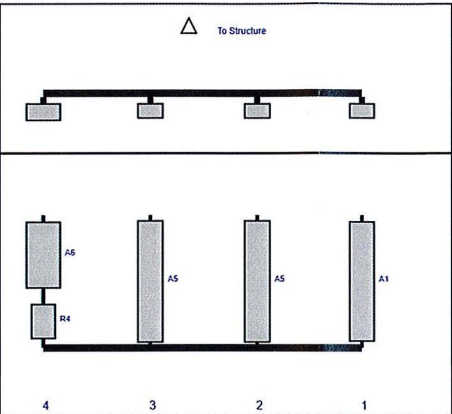
- SECTOR PLANS AND ELEVATIONS TAKEN FROM MOUNT ANALYSIS:  
SMART TOOL# 10009990, MASER PROJECT # 20777022A, FUZE  
# 16070588 BY MASER CONSULTING P.A. DATED 10/09/2020.

Structure: 137428-VZW - NE FRESH POND

Sector: B  
Structure Type: Rooftop  
Mount Elev: 59.00  
Page: 2



Plan View



Ref#	Model	Height (in)	Width (in)	H Dist Fm L	Pipe #	Pipe Pos V	Ant Pos	C. Ant Fm T	Ant H Off	Status	Validation
A1	L1DX-6513DS-VTM	54.7	11.9	144	1	a	Front	30	0	Retained	04/06/2020
A5	NRH-65A-R2B	55.6	11.9	96	2	a	Front	30	0	Added	
A5	NRH-65A-R2B	55.6	11.9	48	3	a	Front	30	0	Added	
A6	L-Sub6 Antenna	30.4	15.9	0	4	a	Front	18	0	Added	
R4	XXDWM-12.5-65-8T-CBRS ANTENNA/RADIO	16.2	11.4	0	4	a	Front	48	0	Added	

Copyright 2018 by Tower Engineering Solutions, LLC All Rights Reserved

BETA SECTOR  
SCALE: N.T.S.

2

Mount Structural Analysis Report  
MT\_LOT

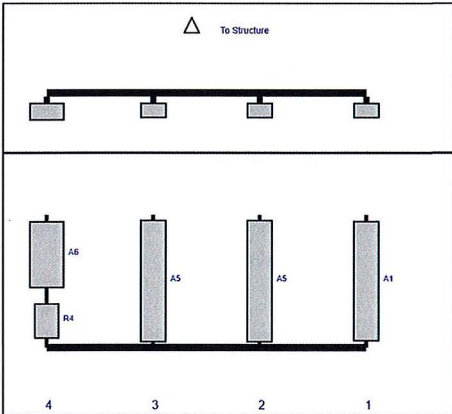
December 1, 2020  
Site ID: 137428-VZW / NE FRESH POND  
Page | 2

Structure: 137428-VZW - NE FRESH POND

Sector: C  
Structure Type: Rooftop  
Mount Elev: 59.00  
Page: 3



Plan View



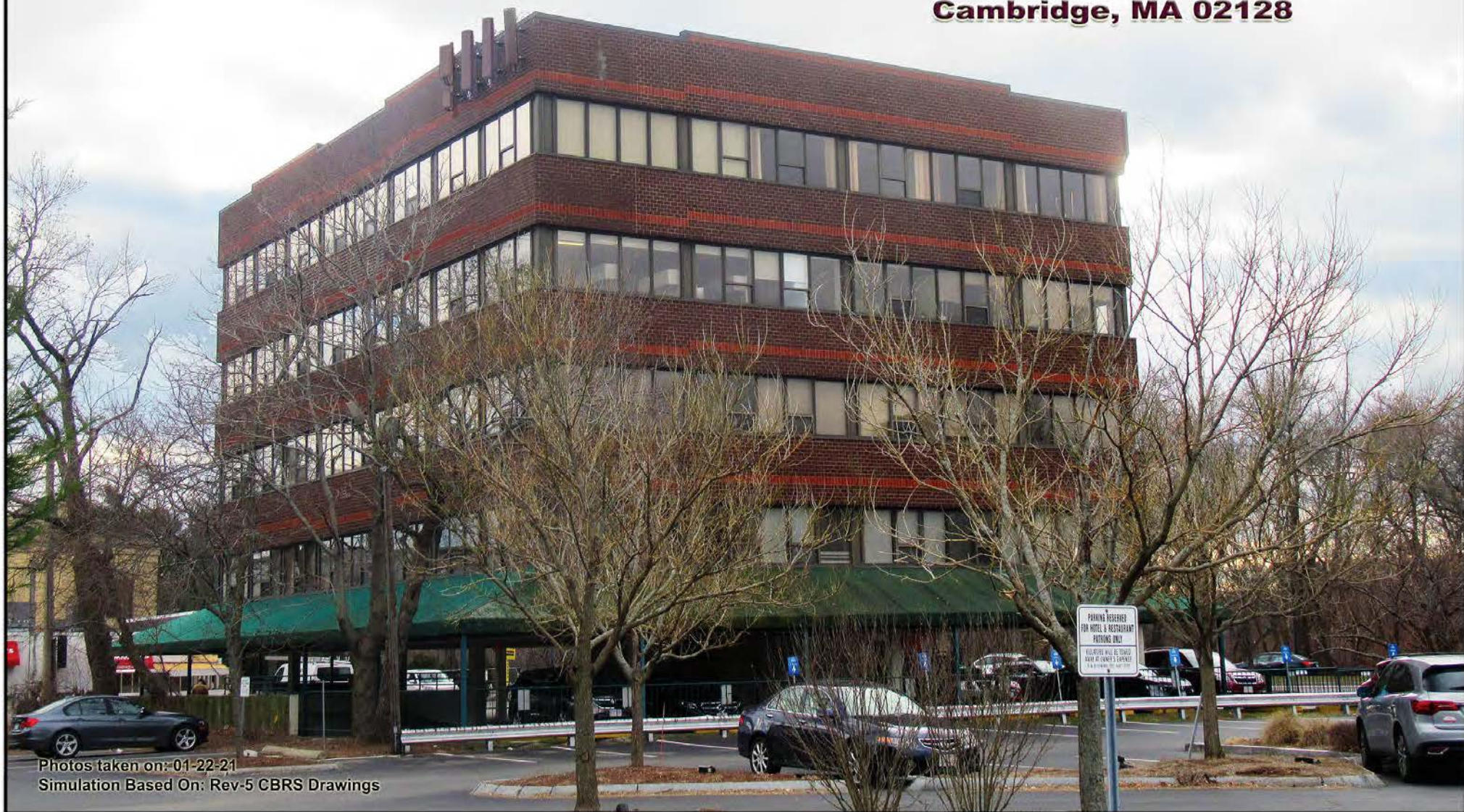
Ref#	Model	Height (in)	Width (in)	H Dist Fm L	Pipe #	Pipe Pos V	Ant Pos	C. Ant Fm T	Ant H Off	Status	Validation
A1	L1DX-6513DS-VTM	54.7	11.9	144	1	a	Front	30	0	Retained	04/06/2020
A5	NRH-65A-R2B	55.6	11.9	96	2	a	Front	30	0	Added	
A5	NRH-65A-R2B	55.6	11.9	48	3	a	Front	30	0	Added	
A6	L-Sub6 Antenna	30.4	15.9	0	4	a	Front	18	0	Added	
R4	XXDWM-12.5-65-8T-CBRS ANTENNA/RADIO	16.2	11.4	0	4	a	Front	48	0	Added	

GAMMA SECTOR  
SCALE: N.T.S.

3



**Prepared For:**  
**Verizon Wireless**  
**Site Name:**  
**FRESH POND MA HD**  
**545 Concord Avenue**  
**Cambridge, MA 02128**



Photos taken on: 01-22-21  
Simulation Based On: Rev-5 CBRS Drawings

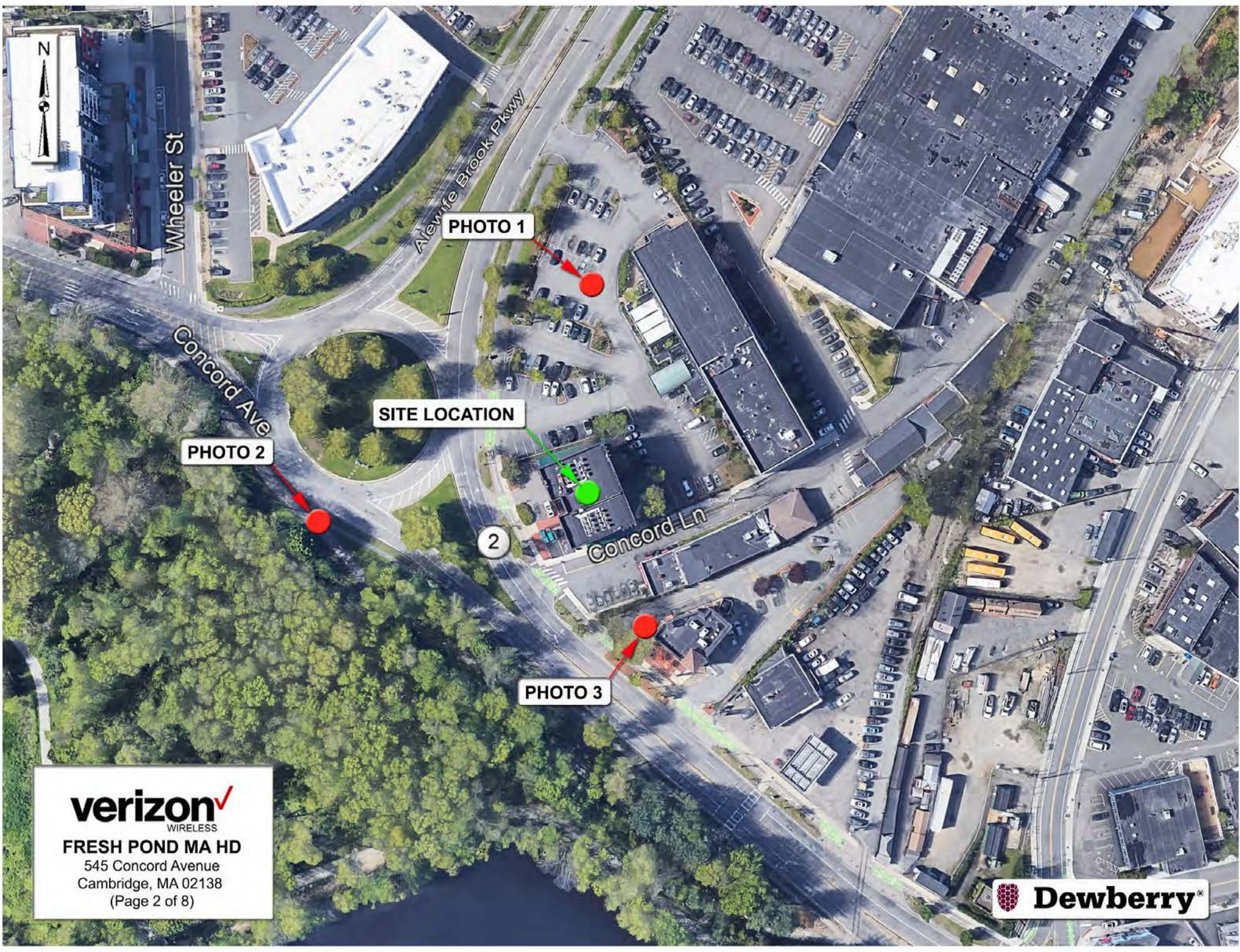
For visual reference only. Actual visibility  
is dependent upon weather conditions,  
season, sunlight, and viewer location.

**verizon**<sup>✓</sup>  
WIRELESS  
118 Flanders Road  
Westborough, MA 01581

**FRESH POND MA HD**  
DEWBERRY NO. 50121497  
(Page 1 of 8)

**Dewberry**<sup>®</sup>  
Dewberry Engineers Inc.  
99 Summer St.  
Suite 700  
Boston, MA 02110





**verizon**  
WIRELESS  
**FRESH POND MA HD**  
545 Concord Avenue  
Cambridge, MA 02138  
(Page 2 of 8)

 **Dewberry**



## Actual View



**verizon**  
WIRELESS

**FRESH POND MA HD**

**Photo 1A**

View Facing South  
From Northern Parking Lot  
(Page 3 of 8)

PARKING DESIGNATED  
FOR HOTEL & RESTAURANT  
PATRONS ONLY  
VEHICLES WILL BE TOWED  
IF NOT MOVED BY 11:00 AM  
ON MONDAY



**Dewberry**



# Proposed View

Proposed Alpha Sector Panel Antenna  
(Typ.-2) (To Replace Existing)

Existing Alpha Sector Antenna  
(Typ.-1) (To Remain)

Proposed Alpha Sector VZS01 Antenna

Proposed Alpha Sector CBRS  
RRU With Clip On Antenna

**verizon**  
WIRELESS  
**FRESH POND MA HD**  
**Photo 1B**  
View Facing South  
From Northern Parking Lot  
(Page 4 of 8)

 **Dewberry**®



## Actual View



**verizon**  
WIRELESS

**FRESH POND MA HD**

**Photo 2A**

View Facing West  
From Alewife Brook Pkwy  
(Page 5 of 8)



 **Dewberry**



# Proposed View

Proposed Gamma Sector Panel Antenna  
(Typ.-2) (To Replace Existing)

Proposed Gamma Sector VZS01 Antenna

Existing Alpha Sector Antenna  
(Typ.-1) (To Remain)

Proposed Gamma Sector CBRS  
RRU With Clip On Antenna

**verizon**  
WIRELESS

FRESH POND MA HD

Photo 2B

View Facing West  
From Alewife Brook Pkwy  
(Page 6 of 8)



 **Dewberry**<sup>®</sup>



## Actual View

**verizon**  
WIRELESS  
**FRESH POND MA HD**  
**Photo 3A**  
View Facing North  
From Concord Lane  
(Page 7 of 8)

545  
FRESH POND  
RESERVOIR PLACE

 **Dewberry**®



# Proposed View

Proposed Beta Sector VZS01 Antenna

Proposed Beta Sector CBRS  
RRU With Clip On Antenna

Proposed Beta Sector Panel Antenna  
(Typ.-2) (To Replace Existing)

Existing Alpha Sector Antenna  
(Typ.-1) (To Remain)

**verizon**  
WIRELESS  
**FRESH POND MA HD**  
Photo 3B  
View Facing North  
From Concord Lane  
(Page 8 of 8)

545  
FRESH POND  
RESERVOIR PLACE

 **Dewberry**®





**Application  
For  
Modification to  
Special Permit**

**545 Concord Avenue  
Cambridge, MA**



**Daniel D. Klasnick**

*Licensed in Massachusetts, New Hampshire and New York*

Desk: (781) 873-0021 - Mobile: (774) 249-2814

dklasnick@dkl-legal.com

March 7, 2021

City of Cambridge  
Board of Zoning Appeals  
831 Massachusetts Avenue  
Cambridge, Massachusetts 02139

**Re: Application for Modification to Special Permit  
Building Mounted Mobile Communications Facility  
Located at 545 Concord Avenue, Cambridge, Massachusetts**

Dear Board Members:

Enclosed please find an Application to the Board of Zoning Appeals for a special permit for the modification of an existing building mounted mobile communications facility submitted on behalf of Cellco Partnership d/b/a Verizon Wireless.

In accordance with the Application requirements, please find enclosed the following:

- Application;
- Support Statements;
- Assessors GIS Block Map;
- Dimensional Form;
- Ownership Certificate, Notarized;
- Stamped Project Plans; and
- Photo Simulations

The Applicant would be happy to provide any additional information that you may require and would appreciate reasonable notice of any additional information you require in time to provide such information for the public hearing.



Should you require any additional information, please don't hesitate to contact me.  
Thank you very much for your cooperation.

Very truly yours,

DUVAL & KLASNICK LLC



---

By: Daniel D. Klasnick  
Attorney at Law



**BZA APPLICATION FORM**

**GENERAL INFORMATION**

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X   Variance:            Appeal:           

PETITIONER: Cellco Partnership d/b/a Verizon Wireless

PETITIONER'S ADDRESS: c/o Duval & Klasnick LLC, P.O. Box 254, Boxford, MA 01921

LOCATION OF PROPERTY: 545 Concord Avenue

TYPE OF OCCUPANCY: Mobile Communications Facility ZONING DISTRICT: Business A

**REASON FOR PETITION:**

<u>          </u> Additions	<u>          </u> New Structure
<u>          </u> Change in Use/Occupancy	<u>          </u> Parking
<u>          </u> Conversion to Addi'l Dwelling Unit's	<u>          </u> Sign
<u>          </u> Dormer	<u>          </u> Subdivision
<u>  X  </u> Other: <u>Mobile Communications Facility (Eligible Facilities Request under Section 6409(a) of Federal Spectrum Act)</u>	

**DESCRIPTION OF PETITIONER'S PROPOSAL:**

Modify the existing mobile communications facility by removing 9 facade antennas and installing 12 facade antennas.

With 6 antennas mounted to the existing pipe mounts and 6 antennas stack mounted on a pipe mount all at a top height to match the existing antennas (painted and covered to match color and texture of building)

Install 6 remote radio heads on the rooftop behind the parapet on existing unistrut.

**SECTIONS OF ZONING ORDINANCE CITED:**

Article 4.000 Section 4.32.G.1 & Sec. 4.40 (Footnote 49 - Telecommunications Facility)

Article 10.00 Section 10.40 - 10.46 (Special Permit)

Article 6409(a) Section Middle Class Tax Relief and Job Creation Act (aka Spectrum Act)

Applicants for a **Variance** must complete Pages 1-5

Applicants for a **Special Permit** must complete Pages 1-4 and 6

Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s) : /s/ Daniel D. Klasnick

(Petitioner(s)/Owner)  
Daniel D. Klasnick attorney for Celco Partnership  
d/b/a Verizon Wireless  
(Print Name)

Address: P.O. Box 254

Boxford, MA 01921

Tel. No.: (781) 873-0021

E-Mail Address: dklasnick@dkl-legal.com

Date: March 7, 2021



**BZA APPLICATION FORM**

**SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 545 Concord Avenue (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:

**As demonstrated by the documents provided with this application and will be further discussed at the hearing on this matter, the modification satisfies the standards for an Eligible Facilities Request pursuant to Section 6409(a) of the Federal Spectrum Act. The proposed modification also satisfies the standards for the grant of a special permit. (For further details, please see attached narrative and supporting documents)**

- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

**The modification of the unmanned facility will not change existing traffic demand or impact ingress or egress. The modified facility will continue to generate only about one to two vehicles trips per month in a standard passenger vehicle. (For further details, please see attached narrative and supporting documents)**

- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

**The modified facility will have no adverse effects on the operation or development of adjacent uses. The modified facility will emit no light, odor, dust or glare and generates no unusual noise or other adverse impacts. (For further details, please see attached narrative and supporting documents)**

- D)** Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

**The modified facility will generate no additional traffic or other negative impacts on surrounding properties or within the City of Cambridge. The facility requires no water or sewer services and emits no light, odor, dust or glare and generates no unusual noise or other adverse impacts. The facility will be unoccupied with no employees or customers. The availability of wireless services enhances the health, safety and welfare of the community. (For further details, please see attached narrative and supporting documents)**

- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

**The facility has been designed to minimize its visual impact and is in harmony with the general purpose of the zoning ordinance for this use and in accordance with the requirements for an Eligible Facilities Request under Section 6409(a). (Please see attached narrative and supporting documents)**







**BZA APPLICATION FORM**

**CHECK LIST**

PROPERTY LOCATION: 545 Concord Avenue DATE: March 7, 2021

PETITIONER OR REPRESENTATIVE: Cellco Partnership d/b/a Verizon Wireless

c/o Duval & Klasnick LLC, P.O. Box 254, Boxford, MA 01921

ADDRESS & PHONE: (781) 873-0021 - Daniel D. Klasnick, Esquire

BLOCK: 265A LOT: 31

PLEASE CHECK THAT YOU HAVE INCLUDED THE FOLLOWING WITH YOUR APPLICATION. APPLICATIONS WILL NOT BE ACCEPTED FOR PROCESSING & SCHEDULING UNLESS ALL REQUIRED DOCUMENTS ARE PROVIDED.

PLEASE INCLUDE THIS CHECKLIST WITH YOUR APPLICATION.  
ALL DOCUMENTS ARE TO BE TYPED OR WRITTEN LEGIBLY.

<u>DOCUMENTS</u>	<u>REQUIRED</u>	<u>ENCLOSED</u>
Application Form	<u>X</u>	<u>X</u>
<b>3 Forms with Original Signatures</b>		
Supporting Statements - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Application Fee (You will receive invoice online)	<u>X</u>	<u>X</u>
Assessor's GIS "Block Map" (Available on line or At Engineering Dept. - 147 Hampshire Street)	<u>X</u>	<u>X</u>
Dimensional Form - Refer to Cambridge Zoning Ordinance - Scanned & 1 set to Zoning (Subject to further review by Zoning Specialist)	<u>X</u>	<u>X</u>
Ownership Certificate, Notarized - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Floor Plans - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Elevations - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Certified Plot Plan - Scanned & 1 set to Zoning (By Registered Land Surveyor)	<u>X</u>	<u>X</u>
Photographs of Property - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Parking Plan (if relevant to your application) Scanned & 1 set to Zoning	<u>N/A</u>	<u>N/A</u>
<b><u>FOR SUBDIVISION ALSO INCLUDE:</u></b> Scanned & 1 set to Zoning		
Proposed Deeds	<u>N/A</u>	<u>N/A</u>
Evidence of Separate Utilities **	<u>N/A</u>	<u>N/A</u>
Proposed Subdivision Plan	<u>N/A</u>	<u>N/A</u>

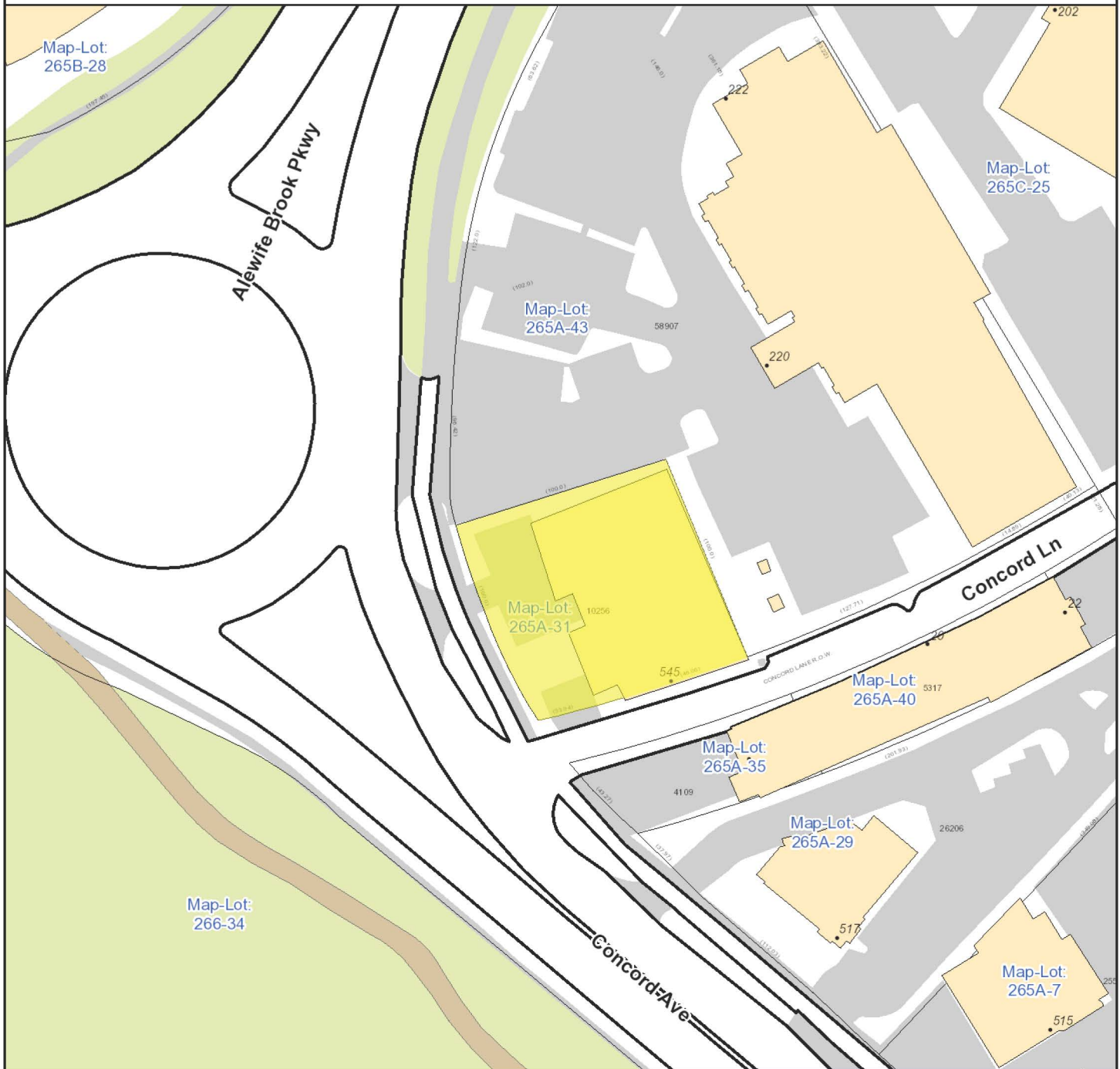
Petitioners are advised to refer to Attachment A (Procedures for applying to the Board of Zoning Appeal) & consult zoning staff for review.

**It is advisable for the Petitioner to discuss the petition with the abutters as listed in the Zoning BZA Case file.**

\* For Special Permits under Art. 4.32.G.1 (Communication Towers and Antennas), include a photo simulation.

\*\* Can be submitted after subdivision has been approved.





City of Cambridge  
Massachusetts

1" = 69 ft

All data is provided for graphic representation only. The City of Cambridge expressly disclaims all warranties of any type, expressed or implied, including, but not limited to, any warranty as to the accuracy of the data, merchantability, or fitness for a particular purpose.

[www.cambridgema.gov/gis](http://www.cambridgema.gov/gis)



- Address
- Rail
- Building Footprints
- Parcels
- Paved Surfaces
  - Paved Roads
  - Bridges
  - Unpaved Roads
  - Unpaved Parking
  - Sidewalks
  - Driveways
  - Alleys
  - Other Paved Surface
  - Public Footpath





**CITY OF CAMBRIDGE**

**NARRATIVE IN SUPPORT OF  
APPLICATION TO  
MODIFY SPECIAL PERMIT**

**APPLICANT:** Cellco Partnership d/b/a Verizon Wireless

**SITE ADDRESS:** 545 Concord Avenue  
Cambridge, Massachusetts

**ASSESSOR’S LOT I.D.:** Map 265A, Lot 31

**ZONING DISTRICT:** Business A

**BACKGROUND**

This Narrative in Support of an Application to Modify Special Permit, *while reserving all rights*, to modify an existing building mounted mobile communications facility (“Facility”) is respectfully submitted by Cellco Partnership d/b/a Verizon Wireless (“Verizon Wireless”) to the City of Cambridge, Board of Zoning Appeal (“Board”). Verizon Wireless seeks approval to further modify its existing Facility approved by special permit Case No: #7530 on the existing building at 545 Concord Avenue (the “Property”).

This application is submitted with full reservation of Verizon Wireless’ rights including without limitation Section 6409(a) of the federal Middle Class Tax Relief and Job Creation Act of 2012 also referred to as the “Spectrum Act.” The Spectrum Act was passed to “advance wireless broadband service” for both public safety and commercial purposes. The modification to the existing Facility satisfies the standards for the modification of an eligible facility under the Spectrum Act.

**APPLICANT’S INTEREST IN THE PROPERTY**

Alewife Properties, LLC (“Owner”) and Cellco Partnership d/b/a Verizon Wireless entered into a certain Lease Agreement by which Owner leased to Verizon Wireless building space and access/utility easement rights on a portion of the Owner’s property located at 545 Concord Avenue being shown on Tax Map of the City of Cambridge at Map 265A, Lot 31 for the location of Verizon Wireless’ antennas and space for its equipment.

*See Exhibit 1, ZBA Application Form - Ownership Information.*

## **PROJECT DESCRIPTION**

As noted on the attached plans and described in this application, the building owned by Alewife Properties, LLC is a 4-story brick building used for office purposes (the “Building”). Verizon Wireless has installed and operates an existing Facility consisting of 3 sectors of 4 antennas each (12 in total) and an equipment room in the Building. The existing antennas are installed on 3 separate facade mounts (painted to match) on the side of the Building.

### **Facility Modification Details Total of Fifteen (15) Antennas with Remote Radio Heads**

Verizon Wireless proposes to façade mount a total of fifteen (15) antennas (painted or covered to match color and texture of building) through replacing nine (9) façade mounted antennas and installing twelve (12) new façade mounted antennas with six (6) remote radio heads mounted behind the parapet on the rooftop as follows:

#### **(a) Alpha Sector**

Remove 3 façade mounted antennas. Install 4 new façade mounted antennas (painted and covered to match color and texture of building) with 2 antennas mounted to the existing pipe mounts, 2 antennas stack mounted on a pipe mount all at a top height to match the existing antennas. Install 2 remote radio heads on the rooftop behind the parapet. Total: 5 antennas and 2 remote radio heads. – *See Roof Plan Sheet A-1.*

#### **(b) Beta Sector**

Remove 3 façade mounted antennas. Install 4 new façade mounted antennas (painted and covered to match color and texture of building) with 2 antennas mounted to the existing pipe mounts, 2 antennas stack mounted on a pipe mount all at a top height to match the existing antennas. Install 2 remote radio heads on the rooftop behind the parapet. Total: 5 antennas and 2 remote radio heads. – *See Roof Plan Sheet A-1.*

#### **(c) Gamma Sector**

Remove 3 façade mounted antennas. Install 4 new façade mounted antennas (painted and covered to match color and texture of building) with 2 antennas mounted to the existing pipe mounts, 2 antennas stack mounted on a pipe mount all at a top height to match the existing antennas. Install 2 remote radio heads on the rooftop behind the parapet. Total: 5 antennas and 2 remote radio heads. – *See Roof Plan Sheet A-1.*

***See Exhibit 2, Plans.***

***See Exhibit 3, Photo Simulations***



## SATISFACTION OF ELIGIBLE FACILITIES REQUEST STANDARDS

On February 22, 2012, President Obama signed into law H.R. 3630, known as the “Middle Class Tax Relief and Job Creation Act of 2012,” which then became Public Law 112-96 (“P.L. 112-96”).<sup>1</sup> Section 6409(a) of P.L. 112-96 adds new language to the existing body of laws, regulations, and decisions pertaining to wireless facility zoning.<sup>2</sup>

Verizon Wireless respectfully submits the proposed modifications satisfy the standards for an eligible facility request pursuant to 47 U.S.C. §1455 and 47 C.F.R. §1.6100. In an effort to advance Congress’ goal of facilitating the rapid deployment of qualified modifications, the Federal Communications Commission adopted rules in 2014 that clarified many of the terms of Section 6409(a).<sup>3</sup> The Commission stated that the purpose of implementing the rules “will serve the public interest by providing guidance to all stakeholders on their rights and responsibilities under the provision, reducing the delays in the review process for wireless infrastructure modifications, and facilitating the rapid deployment of wireless infrastructure, thereby promoting the advanced wireless broadband services.”<sup>4</sup>

47 U.S. Code §1455(a) and 47 C.F.R. §1.6100(b) builds on the existing legal framework for wireless facilities by requiring permitting authorities to approve an eligible facilities request in an effort to streamline “the process for siting of a wireless facility by preempting the ability of State and local authorities to delay collocation of, removal of, and replacement of wireless transmission equipment.”<sup>5</sup> “Collocation” is defined as “the mounting or installation of transmission equipment on an eligible support structure for the purpose of transmitting and/or receiving radio frequency signals for communications purposes.” The term “eligible support structure” means any structure that is a “tower” or “base station.” A “base station” is defined as a structure or equipment that enables Commission-licensed or authorized wireless communications and includes any structure other than a tower that supports or houses permitted equipment used for wireless

---

<sup>1</sup> *Middle Class Tax Relief and Job Creation Act of 2012*, Pub L. No. 112-96, 126 Stat. 156 (2012).

<sup>2</sup> Section 6409(a) states:

(a) FACILITY MODIFICATIONS.—

(1) IN GENERAL.—Notwithstanding section 704 of the Telecommunications Act of 1996 (Public Law 104–104) or any other provision of law, a State or local government may not deny, and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station.

(2) ELIGIBLE FACILITIES REQUEST.—For purposes of this subsection, the term “eligible facilities request” means any request for modification of an existing wireless tower or base station that involves—

(A) collocation of new transmission equipment;

(B) removal of transmission equipment; or

(C) replacement of transmission equipment.

(3) APPLICABILITY OF ENVIRONMENTAL LAWS.—Nothing in paragraph (1) shall be construed to relieve the Commission from the requirements of the National Historic Preservation Act or the National Environmental Policy Act of 1969.

<sup>3</sup> See Accelerating of Broadband Deployment by Improving Wireless Facilities Siting Policies, Report and Order, 29 FCC Rcd 12865 (2014) (“2014 Order”).

<sup>4</sup> Id. At 12872.

<sup>5</sup> 158 Cong. Rec. E237 (daily ed. Feb. 24, 2012) (statement of Rep. Upton).

communications services.<sup>6</sup> The term “eligible facilities request” includes any request for modification of an existing wireless tower or base station that involves— (i) collocation of new transmission equipment; (ii) removal of transmission equipment; or (iii) replacement of transmission equipment.<sup>7</sup>

The Property constitutes a “base station” and an “eligible support structure” in that it currently exists and “supports and houses” wireless communication equipment that has been reviewed and approved under the City’s zoning ordinance. The proposed replacement of the Verizon Wireless antennas and remote heads on the Property for the purpose of transmitting and receiving radio frequency signals for communication purposes constitutes a “replacement of transmission equipment” and the proposed addition of antennas is the “collocation of new transmission equipment.”

Federal authorities clearly provide that an eligible facilities request must be approved if the installation does not result in a substantial change.<sup>8</sup> The proposed modifications to the existing Verizon Wireless facility is an “eligible facilities request.” Through its statutory mandate and given the lack of statutory definitions, the Federal Communications Commission has defined a substantial change under Section 6409(a) as follows:

(i) For other eligible support structures (i.e., the “Building”), it increases the height of the structure by more than 10% or more than ten feet, whichever is greater - **There will be no increase in height. The proposed facade mounted antennas will not be any higher and the remote radio heads will be behind existing parapet wall.**

(ii) For other eligible support structures (i.e., the “Building”), it involves adding an appurtenance to the body of the structure that would protrude from the edge of the structure by more than six feet – **The proposed replacement antennas will not protrude more than six feet from the edge of the building.**

(iii) For any eligible support structure (i.e., the “Building”), it involves installation of more than the standard number of new equipment cabinets for the technology involved, but not to exceed four cabinets; or, it involves installation of any new equipment cabinets on the ground if there are no pre-existing ground cabinets associated with the structure – **The proposed modification does not involve the installation of new cabinets. All radio equipment will remain at the current location.**

(iv) It does not entail any excavation or deployment outside the current site – **The modification does not involve any excavation or deployment outside the current site.**

(v) It would not defeat the concealment elements of the eligible support structure – **Verizon Wireless’ modifications do not defeat any concealment elements the replacement antennas mounted to the façade at the same location and height as the**

---

<sup>6</sup> 47 C.F.R. §1.6100(b)(1)

<sup>7</sup> 47 U.S.C. § 1455(a)(2) and §1.6100(b)(3)

<sup>8</sup> See 47 U.S.C. §1455(a) and 47 C.F.R. §1.6100(b)



**replaced antennas will be painted and covered to match the color and texture of the building.**

(vi) It complies with conditions associated with the siting approval – **The installation will remain compliant.**

It is clear that state and local authorities have no power to deny a complying installation, and any attempt to do so would be in direct conflict with federal law. Having satisfied the standards for the modification of an eligible support structure that will not result in a substantial change, the Board may not deny the Section 6409(a) Modification. Consistent with that determination, the permitting is limited to non-discretionary permitting related to applicable building, structural and electrical codes. Additionally, when an applicant asserts in writing that a request for a modification is covered by this section, a State or local government may only require the applicant to provide documentation or information to the extent reasonably necessary to determining whether the request meets the requirements for an eligible facilities request. Further, the Federal Communications Commission also adopted rules that require local review subject to Section 6409(a) be completed within sixty (60) days. A Section 6409(a) request will be “deemed granted” if not approved within the sixty (60) day period.

#### **SATISFACTION OF SPECIAL PERMIT REVIEW STANDARDS**

Based on the description set forth herein, and as will be further demonstrated at the Public Hearing on this matter, the proposed modification of the Facility meets the location, height and site requirements of Section 4.32(g)(1), Section 4.40 (footnote 4) and Sections 10.40 – 10.46. Pursuant to Ordinance, the modification of the Facility is allowed upon the grant of a special permit from the Zoning Board of Appeals in the currently designated Business A zoning district.

While reserving all rights, Verizon Wireless’ modification satisfies the standards set forth in Section 4.40 (footnote 4) and Sections 10.40 – 10.46 of the City of Cambridge, Zoning Ordinance.

1. The scope of or limitations imposed by any license secured from any state or federal agency having jurisdiction over such matters – **Verizon Wireless operates in compliance with all of the rules and regulations promulgated by the Federal Communications Commission as required by its licensing.**

*See Exhibit 4, FCC License to Operate.*

2. The extent to which the visual impact of the various elements of the proposed facility is minimized: (1) Through the use of existing mechanical elements on a building's roof or other features of the building as support and background, (2) Through the use of materials that in texture and color blend with the materials to which the facilities are attached, or (3) Other effective means to reduce the visual impact of the facility from off the site - **Verizon Wireless proposes to mount a total of 15 antennas by retaining 3 existing antennas and installing 12 new antennas to the façade (painted and covered**

**to match the color and texture of the building) with remote radio heads hidden behind the parapet wall.**

3. Where it is proposed to erect such a facility in any residential zoning district, the extent to which there is a demonstrated public need for the facility at the proposed locations, the existence of alternative, functionally suitable sites in nonresidential locations, the character of the prevailing uses in the area, and the prevalence of other, existing mechanical systems and equipment carried on or above the roof of nearby structures. The Board of Zoning Appeal shall grant a special permit to erect such a facility in a residential zoning district only upon a finding that nonresidential uses predominate in the vicinity of the proposed facility's location and that the telecommunication facility is not inconsistent with the character that does prevail in the surrounding neighborhood – **The wireless use and modification of the Facility is consistent with the purpose of the Business A Zoning District.**

The proposed modification also satisfies the standards of Section 10.43 of the Ordinance for the grant of special permits. As noted above, the proposed modification will allow Verizon Wireless to improve wireless signal coverage and is an integral part of Verizon Wireless' network design in the City of Cambridge. The modification of the equipment detailed herein will aid in reaching Verizon Wireless' goal to provide enhanced service and communications in the City of Cambridge. The proposed modification will generate no traffic or other negative impacts on surrounding properties or the City of Cambridge. The Facility requires no water or sewer services. The utilities will continue to be obtained from existing service. The Facility will continue to be unoccupied, with no employees or customers. The Facility will continue to be regularly maintained by qualified technicians to assure that the equipment operates at optimal condition so that no threat of explosion, fire or other danger to life or property occurs. Reliable wireless service also enhances community safety, because it is used by public safety officials as well as the public in times of crisis, natural disaster, inclement weather and similar circumstances.

It is a truism to state that it is absolutely essential that there is the necessary infrastructure to ensure access to reliable wireless services. The ability to utilize mobile devices has become so integral that the absence of reliable service certainly has a negative impact. The availability of reliable wireless service also provides greater access to 911 emergency services. Maintaining wireless service provides another tool for ensuring that emergencies can be reported as quickly as possible, which reduces the response times of public safety personnel.

Because the application is for the modification of equipment that provides wireless services, the proposal is subject to §704 of the federal Telecommunications Act of 1996 ("TCA"), codified at 47 U.S.C. §332(c)(7)(B). By way of background, the TCA is a federal law enacted in 1996 whose purpose is "[t]o promote competition and reduce regulation in order to secure lower prices and higher quality services for American telecommunications consumers and encourage the rapid deployment of new telecommunications technologies." To further this purpose, the TCA established national standards that apply to permitting for



wireless facilities. These standards preempt inconsistent state and local laws, so they must be considered in making decisions related to wireless facilities.

The proposed modification of the existing Facility satisfies the criteria for granting a special permit, Verizon Wireless respectfully requests that the Board grant a special permit to modify the existing facility to allow for the proposed upgrade of this existing mobile communications system.

## **CONCLUSION**

The availability of wireless communications service enhances community safety, and is increasingly relied upon by civil defense and other safety officers as well as the general public in times of crisis, natural disaster, bad storms or similar circumstances. Wireless communications service also provides a convenience to residents, and is an attractive feature and service to businesses. The proposed modification, by providing these services, will promote the health, safety, convenience and general welfare of the inhabitants of the City of Cambridge.

In compliance with Section 6409(a) of the federal Middle Class Tax Relief and Job Creation Act of 2012, the proposed modification constitutes an eligible facilities request entitled to approval. In the alternative, with all rights reserved, the proposed modification meets all the standards for a special permit pursuant to the City's Zoning Ordinance. Verizon Wireless respectfully requests that the Board vote to grant a special permit and any other relief pursuant to the City of Cambridge Zoning Ordinance, Massachusetts General Laws chapter 40A, and, the federal Telecommunications Act of 1996.

# **Exhibit 1**

## **“ZBA Application Form – Ownership Information”**



**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

*To be completed by OWNER, signed before a notary and returned to  
The Secretary of the Board of Zoning Appeals.*

I/We

Nigoghos Atinization Alewife Properties LLC  
(OWNER)

Address: 545 Concord ave. Cambridge

State that I/We own the property located at Mass.,  
which is the subject of this zoning application.

The record title of this property is in the name of Alewife Properties LLC

\*Pursuant to a deed of duly recorded in the date 10/19/2006 Middlesex South  
County Registry of Deeds at Book 48345, Page 504; or  
Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_.

[Signature]  
SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

\*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Nigoghos Atinization personally appeared before me,  
this 15th of Jan, 2021, and made oath that the above statement is true.

My commission expires 7/8/2027 (Notary Seal).

Notary



- If ownership is not shown in recorded deed, e.g. if by court order, deed, or inheritance, please include documentation.

# **Exhibit 2**

## **“Plans”**







GENERAL CONSTRUCTION NOTES :

- ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, AND COMPLY WITH VERIZON WIRELESS SPECIFICATIONS.
- CONTRACTOR SHALL CONTACT "DIG SAFE" (888-344-7233) FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
- ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
- DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
- DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
- CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
- INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING.
- EACH CONTRACTOR SHALL COOPERATE WITH THE OWNER'S REPRESENTATIVE, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE VERIZON WIRELESS CONSTRUCTION MANAGER.
- ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
- WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR WILL NOTIFY ENGINEER, VERIZON WIRELESS PROJECT CONSTRUCTION MANAGER, AND LANDLORD IMMEDIATELY.
- CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
- ALL ROOF WORK SHALL BE DONE BY A QUALIFIED AND EXPERIENCED ROOFING CONTRACTOR IN COORDINATION WITH ANY CONTRACTOR WARRANTING THE ROOF TO ENSURE THAT THE WARRANTY IS MAINTAINED.
- CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
- CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH LANDLORD AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
- CONTRACTOR SHALL FURNISH VERIZON WIRELESS WITH THREE AS-BUILT SETS OF DRAWINGS UPON COMPLETION OF WORK.
- ANTENNAS AND CABLES ARE TYPICALLY PROVIDED BY VERIZON WIRELESS. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH PROJECT MANAGER TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED BY VERIZON WIRELESS. ALL ITEMS NOT PROVIDED BY VERIZON WIRELESS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED BY VERIZON WIRELESS.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR WILL COORDINATE WITH VERIZON WIRELESS PROJECT MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY VERIZON WIRELESS. ALL REQUIRED PERMITS NOT OBTAINED BY VERIZON WIRELESS MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
- GENERAL CONTRACTOR SHALL HAVE A LICENSED HVAC CONTRACTOR START THE HVAC UNITS, SYNCHRONIZE THE THERMOSTATS, ADJUST ALL SETTINGS ON EACH UNIT ACCORDING TO VERIZON WIRELESS CONSTRUCTION MANAGER'S SPECIFICATIONS, AND THOROUGHLY TEST AND BALANCE EACH UNIT TO ENSURE PROPER OPERATION PRIOR TO TURNING THE SITE OVER TO OWNER.
- CONTRACTOR SHALL INSTALL ALL SITE SIGNAGE IN ACCORDANCE WITH VERIZON WIRELESS SPECIFICATIONS AND REQUIREMENTS.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- UNLESS OTHERWISE NOTED VERIZON WIRELESS SHALL PROVIDE ALL REQUIRED RF MATERIAL FOR CONTRACTOR TO INSTALL, INCLUDING ANTENNAS, TMA'S, BIAS-T'S, COMBINERS, PDU, DC BLOCKS, SURGE ARRESTORS, GPS ANTENNA, GPS SURGE ARRESTOR, COAXIAL CABLE.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL VERIFY ALL EQUIPMENT TO BE PROVIDED BY VERIZON WIRELESS FOR INSTALLATION BY CONTRACTOR.
- ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO VERIZON WIRELESS SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
- DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE PRIOR TO CONSTRUCTION START, MORE SPECIFICALLY BEFORE; SEALING ANY FLOOR, WALL OR ROOF PENETRATION, FINAL UTILITY CONNECTIONS, POURING CONCRETE, BACKFILLING UTILITY TRENCHES AND STRUCTURAL POST OR MOUNTING CONNECTIONS, FOR ENGINEERING REVIEW AND INSPECTION.
- SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH UL LISTED D FIRE CODE APPROVED MATERIALS.
- REPAIR ANY DAMAGE DURING CONSTRUCTION TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE CONSTRUCTION MANAGER AND LANDLORD.
- ALL DISRUPTIVE WORK AND WORK WITHIN TENANT SPACES TO BE COORDINATED WITH BUILDING REPRESENTATIVE.

CODE SPECIFICATIONS:

- ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:  
MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION, CONSISTENT WITH THE FOLLOWING CODES:  
2015 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2015 INTERNATIONAL BUILDING CODE (IBC)  
2015 INTERNATIONAL EXISTING BUILDING CODE (IBC)  
2020 NATIONAL ELECTRICAL CODE (NEC)  
  
IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.
- ALL STRUCTURAL WORK TO BE DONE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL, 13TH EDITION (AISC 13TH ED.)
- ALL CONCRETE WORK TO BE DONE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI 301) SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 318) AND BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- ALL REINFORCING STEEL WORK TO BE DONE IN ACCORDANCE WITH THE (ACI 315) MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.

GROUNDING NOTES:

- GROUNDING SHALL COMPLY WITH NEC ART. 250.
- GROUNDING CONDUCTORS SHALL BE #6 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR INDOOR USE.
- ALL GROUND CONNECTIONS TO BE BURNDY HYGROUND COMPRESSION TYPE CONNECTORS OR CADWELD EXOTHERMIC WELD DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.
- ROUTE GROUNDING CONNECTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NOT BE BENT AT RIGHT ANGLE. ALWAYS MAKE 12" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY.
- CONNECTIONS TO GROUNDING BAR SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS. APPLY OXIDE INHIBITING COMPOUND TO ALL LOCATIONS.
- TEST COMPLETED GROUNDING SYSTEM AND RECORD RESISTANCE VALUES FOR PROJECT CLOSE-OUT DOCUMENTATION. GROUND RESISTANCE SHALL NOT EXCEED 5 OHMS.
- GROUNDING CONDUCTORS BETWEEN MGB AND WATERMAIN SHALL BE #2/0. BONDING JUMPERS FROM METALLIC SURFACES SHALL BE #2 MINIMUM. ALL GROUND CONDUCTORS AND BONDING JUMPERS SHALL BE SOFT DRAWN ANNEALED, TINNED, BARE STRANDED COPPER WIRE. COAXIAL CABLES SHALL BE GROUNDED AT A MINIMUM OF TWO LOCATIONS USING VERIZON PROVIDED GROUNDING KITS. EXACT LOCATIONS SHALL BE FINALIZED IN THE FIELD BY THE CONSTRUCTION MANAGER.

STRUCTURAL STEEL NOTES:

- STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- STRUCTURAL STEEL ROLLED SHAPES, PLATES, AND BARS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS:  
ASTM A-992, GRADE 50 ALL W SHAPES, UNLESS NOTED OR A992 OTHERWISE.  
ASTM A-36 ALL OTHER ROLLED SHAPES, PLATES AND BARS UNLESS NOTED OTHERWISE.  
ASTM A-500, GRADE B HSS SECTION (SQUARE, RECTANGULAR, ROUND)  
ASTM A-325, TYPE SC OR N ALL BOLTS FOR CONNECTING STRUCTURAL MEMBERS.  
F1554, GRADE 36 ALL ANCHORS BOLTS, UNLESS NOTED OTHERWISE.  
ASTM A-53, GRADE B STEEL PIPE
- ALL WELDING SHALL BE DONE USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC AND AWS D1.1 WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION", 14TH EDITION. WHERE WELD LENGTH IS NOT INDICATED, USE FULL LENGTH WELD. AT THE COMPLETION OF ALL WELDING, ALL DAMAGE TO GALVANIZED COATING SHALL BE REPAIRED.
- BOLTED CONNECTIONS SHALL USE BEARING TYPE GALVANIZED ASTM A325 BOLTS (3/4" DIA.) SUPPLIED WITH A NUT AND WASHER UNDER TURNED END AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
- DO NOT DRILL HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.
- NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. GALVANIZED ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
- USE PRECAUTIONS & PROCEDURES PER AWS D1.1 WHEN WELDING GALVANIZED METALS.
- ALL EXISTING BEAM AND COLUMN DIMENSIONS SHALL BE FIELD VERIFY BY CONTRACTOR PRIOR TO FABRICATION. ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN SHALL BE REPORTED TO DEWBERRY ENGINEER IMMEDIATELY.
- CONNECTION DESIGN BY FABRICATOR WILL BE SUBJECT TO REVIEW AND APPROVAL BY ENGINEER.
- ALL EXTERIOR STEEL WORK SHALL BE GALVANIZED IN ACCORDANCE WITH SPECIFICATION ASTM A123/A123M-00 HOT-DIP GALVANIZED FINISH UNLESS OTHERWISE NOTED. GALVANIZING SHALL BE PERFORMED AFTER SHOP FABRICATION TO THE GREATEST EXTENT POSSIBLE. ALL DINGS, SCRAPES, MARS, AND WELDS IN THE GALVANIZED AREAS SHALL BE REPAIRED. REPAIR DAMAGED GALVANIZED COATINGS ON GALVANIZED ITEMS WITH GALVANIZED REPAIR PAINT ACCORDING TO ASTM A780 AND MANUFACTURER'S WRITTEN INSTRUCTIONS, PRIOR TO COMPLETION OF WORK. TOUCHUP ALL DAMAGED GALVANIZED STEEL WITH APPROVED COLD ZINC, "GALVANOX", "DRY GALV", "ZINC-IT", OR APPROVED EQUIVALENT, IN ACCORDANCE WITH MANUFACTURERS GUIDELINES. TOUCHUP DAMAGED NON GALVANIZED STEEL WITH SAME PAINT APPLIED IN SHOP OR FIELD.
- ALL WELDED COMPONENTS TO BE SHOP WELDED PRIOR TO INSTALLATION. NO WELDING ACTIVITIES IS PERMITTED DURING INSTALLATION OF PROPOSED EQUIPMENTS AND/OR HARDWARE ON SITE.



VERIZON WIRELESS  
118 FLANDERS ROAD  
WESTBOROUGH, MA 01581-3956

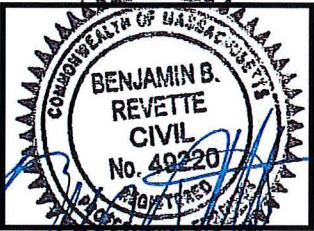
FRESH POND  
MA HD

CONSTRUCTION DRAWINGS

5	02/18/21	FOR SUBMITTAL
4	01/22/21	FOR SUBMITTAL
3	01/07/21	FOR SUBMITTAL
2	01/04/21	FOR SUBMITTAL
1	12/10/20	FOR SUBMITTAL
0	06/02/20	FOR SUBMITTAL



Dewberry Engineers Inc.  
89 SUMMER STREET  
SUITE 700  
BOSTON, MA 02110  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY:	AJB
REVIEWED BY:	JCM
CHECKED BY:	BBR
PROJECT NUMBER:	50121487
JOB NUMBER:	50121678
SITE ADDRESS:	

545 CONCORD AVENUE  
CAMBRIDGE, MA 02138

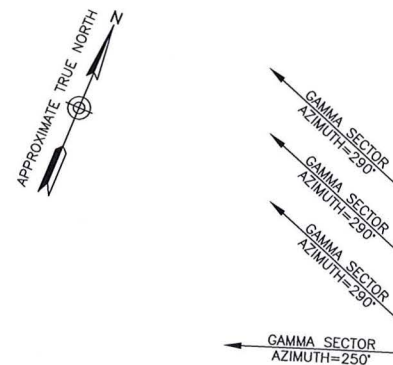
SHEET TITLE

GENERAL NOTES

SHEET NUMBER

GN-1





GAMMA SECTOR  
AZIMUTH=250°

CONCORD AVENUE

PROPOSED VERIZON WIRELESS VZS01 ANTENNA (1/SECTOR) (TYP.-3) (ABOVE) MOUNTED ON PROPOSED 6' LONG, 2" SCHEDULE 40 PIPE (2.375" O.D.) (ANTENNA G1) (TO REPLACE EXISTING) (SEE NOTE 7)

PROPOSED VERIZON WIRELESS PANEL ANTENNA (2/SECTOR) (TYP.-6) (ANTENNAS G2 & G3) (TO REPLACE 6 EXISTING ANTENNAS) (SEE NOTE 7)

Existing Verizon Wireless Antenna (1/Sector) (Typ.-3) (ANTENNA G4) (TO REMAIN)

PROPOSED VERIZON WIRELESS CBRS RRH WITH CLIP ON ANTENNA (1/SECTOR) (TYP.-3) (BELOW) MOUNTED MOUNTED ON PROPOSED 6' LONG, 2" SCHEDULE 40 PIPE (2.375" O.D.) (ANTENNA G1) (TO REPLACE EXISTING) (SEE NOTE 7)

Existing Junction Box (1/Sector) (Typ.-3) (TO REMAIN)

Existing Verizon Wireless Antenna (1/Sector) (Typ.-3) (ANTENNA A4) (TO REMAIN)

ALPHA SECTOR AZIMUTH=10°  
ALPHA SECTOR AZIMUTH=30°  
ALPHA SECTOR AZIMUTH=30°

PROPOSED VERIZON WIRELESS PANEL ANTENNA (2/SECTOR) (TYP.-6) (ANTENNAS A2 & A3) (TO REPLACE 6 EXISTING ANTENNAS) (SEE NOTE 7)

PROPOSED VERIZON WIRELESS VZS01 ANTENNA (1/SECTOR) (TYP.-3) (ABOVE) MOUNTED ON PROPOSED 6' LONG, 2" SCHEDULE 40 PIPE (2.375" O.D.) (ANTENNA A1) (TO REPLACE EXISTING) (SEE NOTE 7)

PROPOSED VERIZON WIRELESS CBRS RRH WITH CLIP ON ANTENNA (1/SECTOR) (TYP.-3) (BELOW) MOUNTED MOUNTED ON PROPOSED 6' LONG, 2" SCHEDULE 40 PIPE (2.375" O.D.) (ANTENNA A1) (TO REPLACE EXISTING) (SEE NOTE 7)

Existing Coax Cable Routed Along Poropet Wall (TO REMAIN)

Existing GPS Antenna

Existing Verizon Wireless Antenna (1/Sector) (Typ.-3) (ANTENNA B4) (TO REMAIN)

PROPOSED VERIZON WIRELESS PANEL ANTENNA (2/SECTOR) (TYP.-6) (ANTENNAS B2 & B3) (TO REPLACE 6 EXISTING ANTENNAS) (SEE NOTE 7)

PROPOSED VERIZON WIRELESS VZS01 ANTENNA (1/SECTOR) (TYP.-3) (ABOVE) MOUNTED ON PROPOSED 6' LONG, 2" SCHEDULE 40 PIPE (2.375" O.D.) (ANTENNA B1) (TO REPLACE EXISTING) (SEE NOTE 7)

PROPOSED VERIZON WIRELESS CBRS RRH WITH CLIP ON ANTENNA (1/SECTOR) (TYP.-3) (BELOW) MOUNTED MOUNTED ON PROPOSED 6' LONG, 2" SCHEDULE 40 PIPE (2.375" O.D.) (ANTENNA B1) (TO REPLACE EXISTING) (SEE NOTE 7)

BETA SECTOR AZIMUTH=150°  
BETA SECTOR AZIMUTH=150°  
BETA SECTOR AZIMUTH=150°  
BETA SECTOR AZIMUTH=150°

1  
A-2

ROOF PLAN  
SCALE: 1/16"=1' FOR 11"x17"  
1/8"=1' FOR 22"x34"

HYBRID CABLE SCHEDULE*			
SECTOR	HYBRID CABLE LENGTH	CABLE SIZE	CABLE COUNT
ALPHA	205'±	6x12	1
BETA	205'±	6x12	1
GAMMA	285'±	6x12	1

\*CONTRACTOR TO FIELD VERIFY HYBRID CABLE LENGTHS PRIOR TO CONSTRUCTION. LENGTH IS ESTIMATED FROM THE BASE EQUIPMENT OVP TO SECTOR OVP. NO HYBRID CABLES ARE PROPOSED UNDER CURRENT SCOPE OF WORK.  
CALCULATION BY: AJB

- NOTES:
- SOME EXISTING AND PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
  - NORTH ARROW SHOWN AS APPROXIMATE.
  - EXISTING ANTENNAS SHOWN AS APPROXIMATE. ELEVATION BASED ON EXISTING INFORMATION AND VISUAL INSPECTION AND HAVE NOT BEEN VERIFIED THROUGH AN ANTENNA MAPPING.
  - ROOF PLAN BASED ON SITE VISIT ON 04/07/20 AND RFDS TITLED "FRESH\_POND\_MA" DATED 08/31/20.
  - REUSE EXISTING ANTENNA MOUNTS AND COAX. INSPECT FOR DAMAGE OR DECAY AND REPLACE AS NEEDED.
  - INSTALL PROPOSED EQUIPMENT IN ACCORDANCE WITH THE STRUCTURAL ASSESSMENT LETTER BY DEWBERRY DATED 12/08/20, FINAL MOUNT ANALYSIS REPORT BY MASER CONSULTING DATED 12/01/20, AND IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
  - ALL ANTENNAS TO BE PAINTED TO MATCH EXISTING BUILDING COLOR & TEXTURE. PROPOSED VZS01 ANTENNAS TO UTILIZE 3M WRAP TO MATCH.

**verizon**  
WIRELESS

VERIZON WIRELESS  
118 FLANDERS ROAD  
WESTBOROUGH, MA 01581-3956

**FRESH POND  
MA HD**

CONSTRUCTION DRAWINGS		
5	02/18/21	FOR SUBMITTAL
4	01/22/21	FOR SUBMITTAL
3	01/07/21	FOR SUBMITTAL
2	01/04/21	FOR SUBMITTAL
1	12/10/20	FOR SUBMITTAL
0	06/02/20	FOR SUBMITTAL

**Dewberry**  
Dewberry Engineers Inc.  
99 SUMMER STREET  
SUITE 700  
BOSTON, MA 02110  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY: AJB  
REVIEWED BY: JCM  
CHECKED BY: BBR  
PROJECT NUMBER: 50121487  
JOB NUMBER: 50121678  
SITE ADDRESS:

545 CONCORD AVENUE  
CAMBRIDGE, MA 02138

SHEET TITLE  
ROOF PLAN  
SHEET NUMBER

A-1





VERIZON WIRELESS  
118 FLANDERS ROAD  
WESTBOROUGH, MA 01581-3956

## FRESH POND MA HD

### CONSTRUCTION DRAWINGS

5	02/18/21	FOR SUBMITTAL
4	01/22/21	FOR SUBMITTAL
3	01/07/21	FOR SUBMITTAL
2	01/04/21	FOR SUBMITTAL
1	12/10/20	FOR SUBMITTAL
0	06/02/20	FOR SUBMITTAL



Dewberry Engineers Inc.  
99 SUMMER STREET  
SUITE 700  
BOSTON, MA 02110  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY: AJB

REVIEWED BY: JCM

CHECKED BY: BBR

PROJECT NUMBER: 50121487

JOB NUMBER: 50121678

SITE ADDRESS:

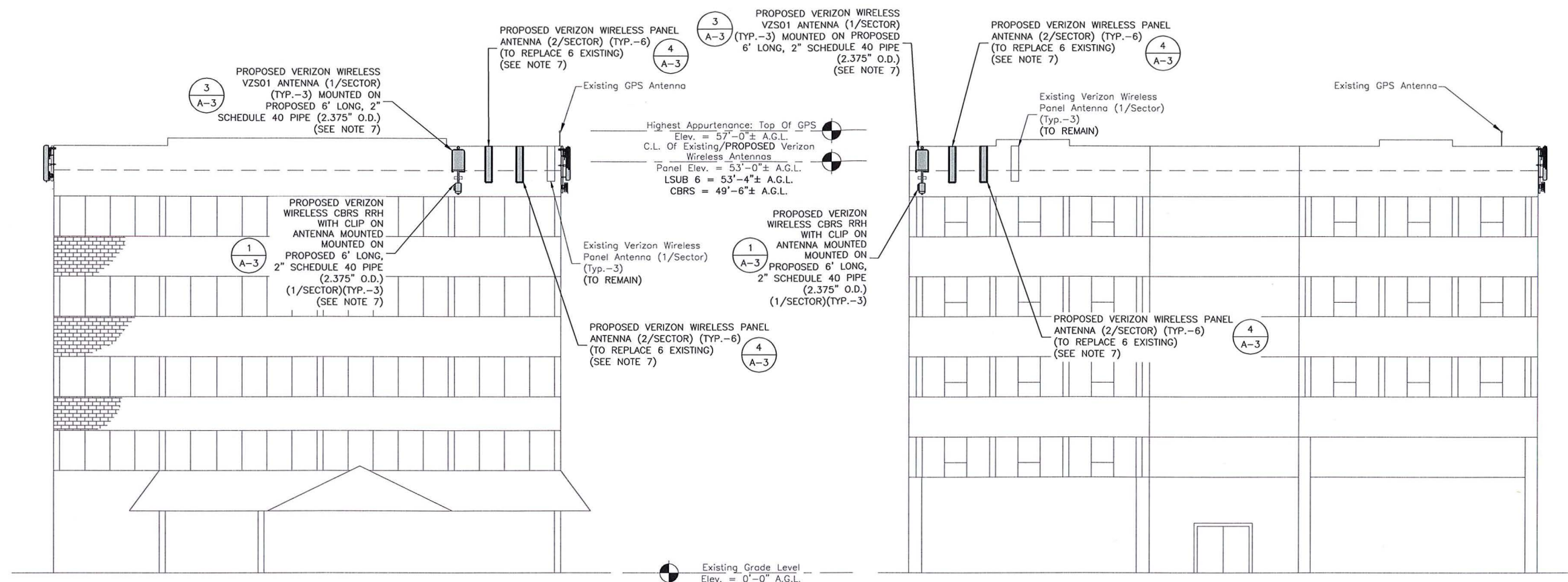
545 CONCORD AVENUE  
CAMBRIDGE, MA 02138

SHEET TITLE

SOUTH, WEST  
& EAST ELEVATIONS

SHEET NUMBER

A-2

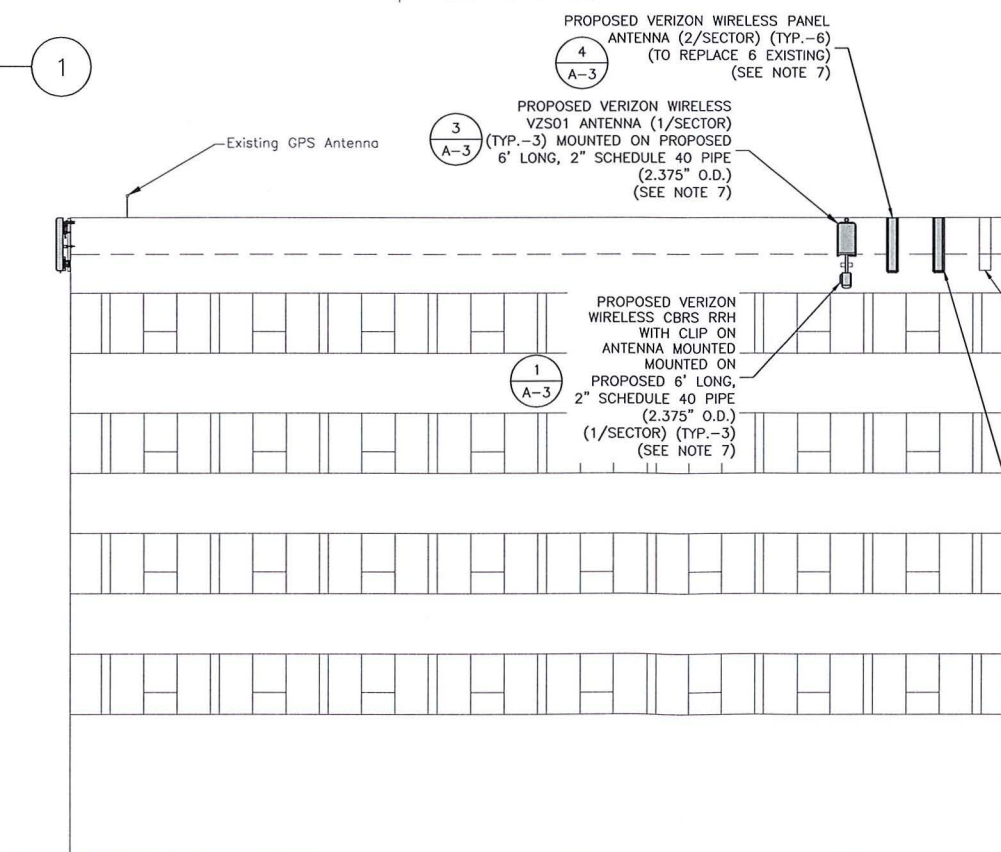


### SOUTH ELEVATION (BETA SECTOR)

SCALE: 1/16"=1' FOR 11"x17"  
1/8"=1' FOR 22"x34"



1



### EAST ELEVATION (ALPHA SECTOR)

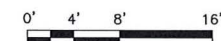
SCALE: 1/16"=1' FOR 11"x17"  
1/8"=1' FOR 22"x34"



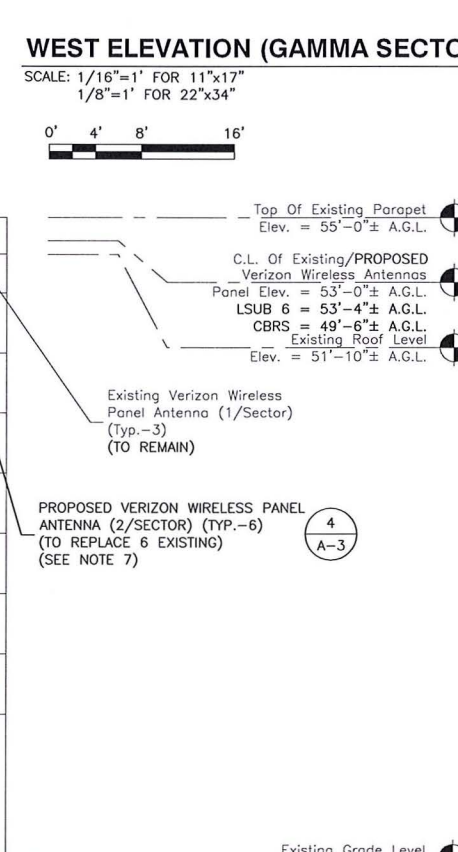
3

### WEST ELEVATION (GAMMA SECTOR)

SCALE: 1/16"=1' FOR 11"x17"  
1/8"=1' FOR 22"x34"



2

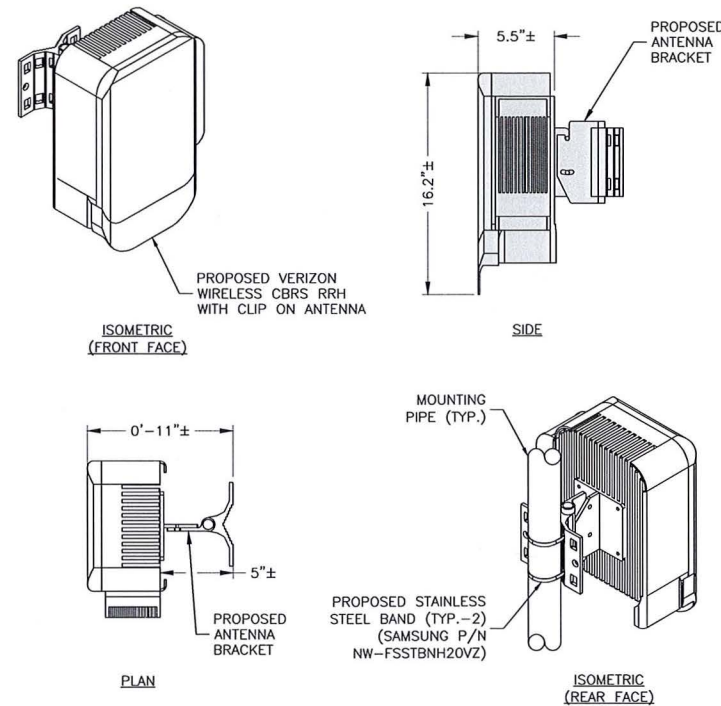


#### NOTES:

- SOME EXISTING AND PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
- NORTH ARROW SHOWN AS APPROXIMATE.
- EXISTING ANTENNAS SHOWN AS APPROXIMATE. ELEVATION BASED ON EXISTING INFORMATION AND VISUAL INSPECTION AND HAVE NOT BEEN VERIFIED THROUGH AN ANTENNA MAPPING.
- ROOF PLAN BASED ON SITE VISIT ON 04/07/20 AND RFDS TITLED "FRESH\_POND\_MA" DATED 08/31/20.
- REUSE EXISTING ANTENNA MOUNTS AND COAX. INSPECT FOR DAMAGE OR DECAY AND REPLACE AS NEEDED.
- INSTALL PROPOSED EQUIPMENT IN ACCORDANCE WITH THE STRUCTURAL ASSESSMENT LETTER BY DEWBERRY DATED 12/08/20, FINAL MOUNT ANALYSIS REPORT BY MASER CONSULTING DATED 12/01/20, AND IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- ALL ANTENNAS TO BE PAINTED TO MATCH EXISTING BUILDING COLOR & TEXTURE. PROPOSED VZS01 ANTENNAS TO UTILIZE 3M WRAP TO MATCH.

A.G.L. = ABOVE GRADE LEVEL  
C.L. = CENTER LINE



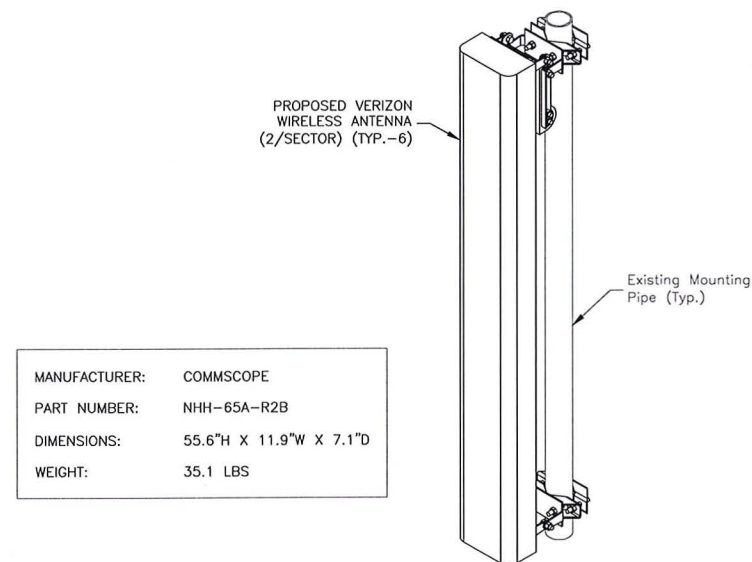


NOTES:

1. INSTALL ALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. USE APPROPRIATE MOUNTING HARDWARE FOR CONSTRUCTION TYPE.
2. ANTENNAS ARE SHOWN PERPENDICULAR TO BUILDING FACADE. ANTENNAS WILL BE REQUIRED TO BE PANNED TO MEET REQUIRED AZIMUTHS.
3. ANTENNA WEIGHT: 20 LBS.
4. CONTRACTOR TO UTILIZE 3M WRAP FOR ALL ANTENNAS TO MATCH SURROUNDING AREAS. INSTALL 3M WRAP ON ANTENNAS PER MANUFACTURER'S SPECIFICATION & RECOMMENDATIONS.

**CBRS RRH WITH CLIP ANTENNA DETAIL**

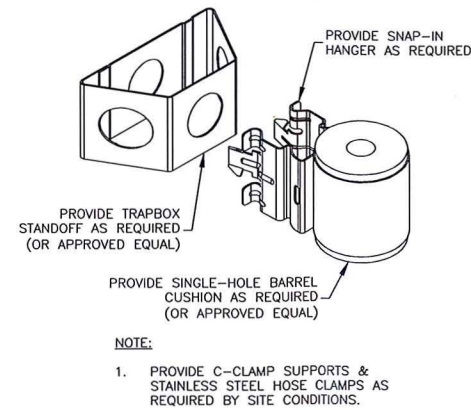
SCALE: N.T.S.



MANUFACTURER: COMMScope  
PART NUMBER: NHH-65A-R2B  
DIMENSIONS: 55.6"H X 11.9"W X 7.1"D  
WEIGHT: 35.1 LBS

**NHH-65A-R2B**

SCALE: N.T.S.

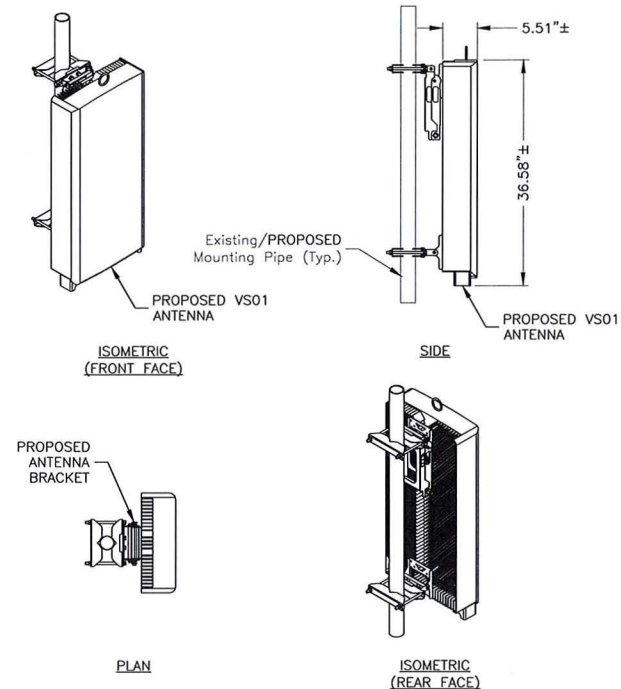


NOTE:

1. PROVIDE C-CLAMP SUPPORTS & STAINLESS STEEL HOSE CLAMPS AS REQUIRED BY SITE CONDITIONS.

**NR HRU JUMPER MOUNT**

SCALE: N.T.S.



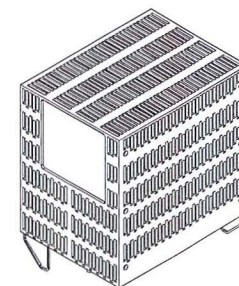
MODEL: VS01  
DIMENSIONS: 35.1"H X 16.1"W X 5.5"D (NOT TO EXCEED)  
WEIGHT: 87.1 LBS (NOT TO EXCEED)

NOTES:

1. INSTALL ALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. USE APPROPRIATE MOUNTING HARDWARE FOR CONSTRUCTION TYPE.

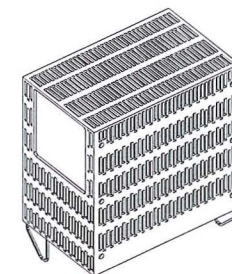
**VZS01 PIPE MOUNTED ANTENNA DETAIL**

SCALE: N.T.S.



**LTE PCS/AWS**

MANUFACTURER: SAMSUNG  
MODEL: LTE PCS/AWS RRH  
DIMENSIONS: 15.0"H X 15.9"W X 10.0"D  
WEIGHT: 97.5 LBS



**LTE 700/850**

MANUFACTURER: SAMSUNG  
MODEL: 700/850 RRH  
DIMENSIONS: 15.0"H X 15.0"W X 8.1"D  
WEIGHT: 82.0 LBS

NOTE:

1. CONTRACTOR TO VERIFY WITH CONSTRUCTION MANAGER FOR FINAL MANUFACTURER SPECIFICATIONS PRIOR TO CONSTRUCTION.

**REMOTE UNIT DETAILS**

SCALE: N.T.S.



VERIZON WIRELESS  
118 FLANDERS ROAD  
WESTBOROUGH, MA 01581-3956

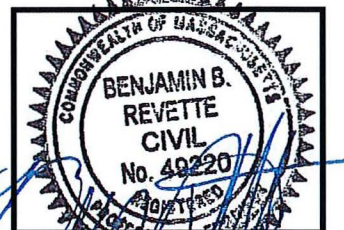
**FRESH POND  
MA HD**

**CONSTRUCTION DRAWINGS**

5	02/18/21	FOR SUBMITTAL
4	01/22/21	FOR SUBMITTAL
3	01/07/21	FOR SUBMITTAL
2	01/04/21	FOR SUBMITTAL
1	12/10/20	FOR SUBMITTAL
0	06/02/20	FOR SUBMITTAL



Dewberry Engineers Inc.  
99 SUMMER STREET  
SUITE 700  
BOSTON, MA 02110  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY:	AJB
REVIEWED BY:	JCM
CHECKED BY:	BBR
PROJECT NUMBER:	50121487
JOB NUMBER:	50121678
SITE ADDRESS:	

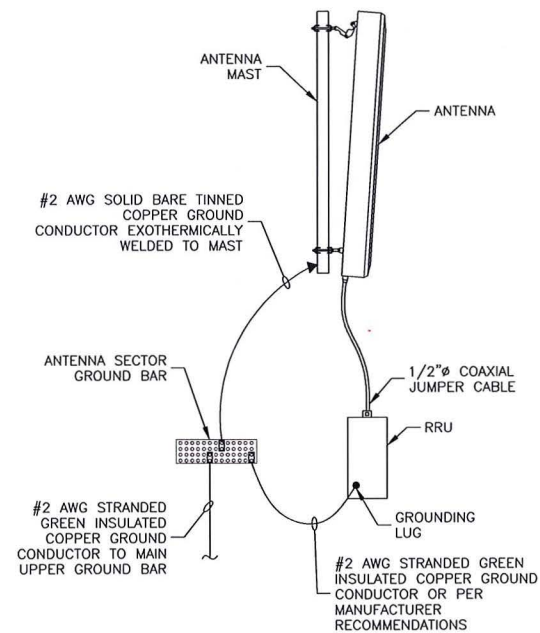
545 CONCORD AVENUE  
CAMBRIDGE, MA 02138

SHEET TITLE

CONSTRUCTION  
DETAILS

SHEET NUMBER

A-3

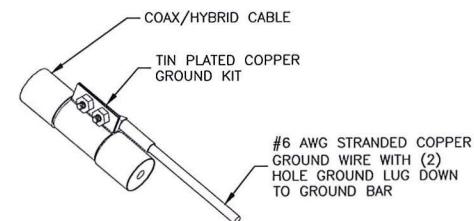


**NOTES:**

1. VERIFY EXISTING GROUNDING SYSTEM IS INSTALLED PER VERIZON WIRELESS STANDARDS.
2. BOND NEW EQUIPMENT INTO EXISTING GROUND SYSTEM IN ACCORDANCE WITH VERIZON WIRELESS STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.

**TYPICAL ANTENNA/RRU GROUNDING DETAIL**

SCALE: N.T.S.

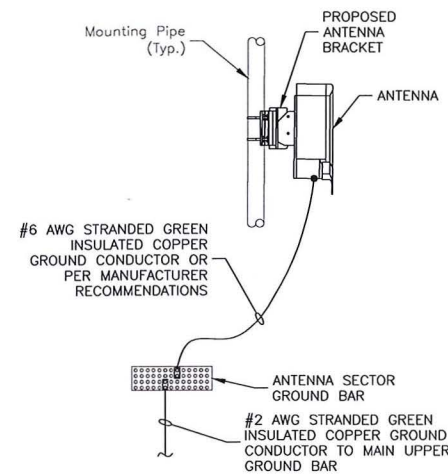


**NOTES:**

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND. ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. GROUNDING KIT SHALL BE TIN PLATED COPPER WITH TWO-HOLE LUG, SIZE PER COAX DIAMETER.
3. WEATHER SEAL GROUND KIT PER CARRIER REQUIREMENTS.
4. COAX CABLE GROUND KIT LOCATION & QUANTITY SHALL BE PER CARRIER SPECIFICATIONS & STANDARDS.

**COAX/HYBRID GROUNDING DETAIL**

SCALE: N.T.S.

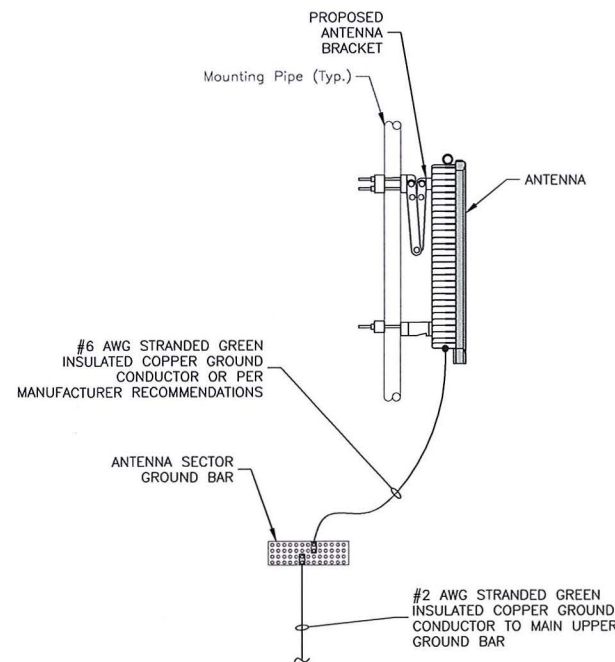


**NOTES:**

1. VERIFY EXISTING GROUNDING SYSTEM IS INSTALLED PER VERIZON WIRELESS STANDARDS.
2. BOND NEW EQUIPMENT INTO EXISTING GROUND SYSTEM IN ACCORDANCE WITH VERIZON WIRELESS STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.

**TYPICAL ANTENNA GROUNDING DETAIL**

SCALE: N.T.S.



**NOTES:**

1. VERIFY EXISTING GROUNDING SYSTEM IS INSTALLED PER VERIZON WIRELESS STANDARDS.
2. BOND NEW EQUIPMENT INTO EXISTING GROUND SYSTEM IN ACCORDANCE WITH VERIZON WIRELESS STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.

**TYPICAL ANTENNA GROUNDING DETAIL**

SCALE: N.T.S.



VERIZON WIRELESS  
118 FLANDERS ROAD  
WESTBOROUGH, MA 01581-3956

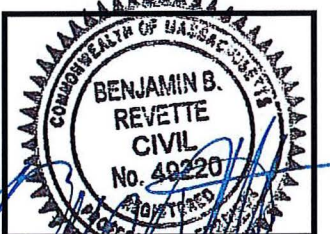
**FRESH POND  
MA HD**

**CONSTRUCTION DRAWINGS**

5	02/18/21	FOR SUBMITTAL
4	01/22/21	FOR SUBMITTAL
3	01/07/21	FOR SUBMITTAL
2	01/04/21	FOR SUBMITTAL
1	12/10/20	FOR SUBMITTAL
0	06/02/20	FOR SUBMITTAL



Dewberry Engineers Inc.  
99 SUMMER STREET  
SUITE 700  
BOSTON, MA 02110  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY:	AJB
REVIEWED BY:	JCM
CHECKED BY:	BBR
PROJECT NUMBER:	50121487
JOB NUMBER:	50121678
SITE ADDRESS:	

545 CONCORD AVENUE  
CAMBRIDGE, MA 02138

SHEET TITLE

GROUNDING  
DETAILS

SHEET NUMBER





VERIZON WIRELESS  
118 FLANDERS ROAD  
WESTBOROUGH, MA 01581-3956

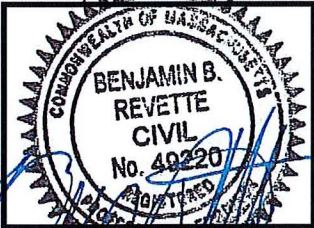
FRESH POND  
MA HD

CONSTRUCTION DRAWINGS

5	02/18/21	FOR SUBMITTAL
4	01/22/21	FOR SUBMITTAL
3	01/07/21	FOR SUBMITTAL
2	01/04/21	FOR SUBMITTAL
1	12/10/20	FOR SUBMITTAL
0	06/02/20	FOR SUBMITTAL



Dewberry Engineers Inc.  
99 SUMMER STREET  
SUITE 700  
BOSTON, MA 02110  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY: AJB

REVIEWED BY: JCM

CHECKED BY: BBR

PROJECT NUMBER: 50121487

JOB NUMBER: 50121678

SITE ADDRESS:

545 CONCORD AVENUE  
CAMBRIDGE, MA 02138

SHEET TITLE

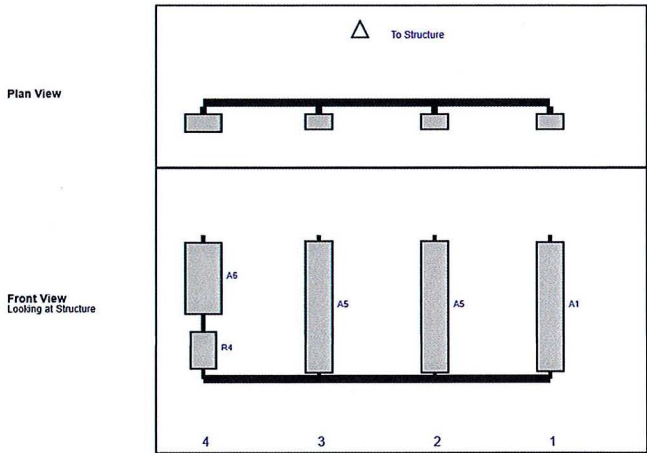
SMART TOOL SECTOR PLANS  
& ELEVATIONS

SHEET NUMBER

A-5

Mount Structural Analysis Report  
(12) 5.00-Ft Flush Mounts  
December 1, 2020  
Site ID: 137428-VZW / NE FRESH POND  
Page | 4

Structure: 137428-VZW - NE FRESH POND  
Sector: A  
Structure Type: Rooftop  
Mount Elev: 59.00  
12/1/2020  
Page: 1  
MASER CONSULTING



Ref#	Model	Height (in)	Width (in)	H Dist Fm L	Pipe #	Pipe Pos V	Ant Pos	C. Ant Fm T	Ant H Off	Status	Validation
A1	L1DX-6513DS-VTM	54.7	11.9	144	1	a	Front	30	0	Retained	04/06/2020
A5	NRH-65A-R2B	55.6	11.9	96	2	a	Front	30	0	Added	
A5	NRH-65A-R2B	55.6	11.9	48	3	a	Front	30	0	Added	
A6	L-Sub6 Antenna	30.4	15.9	0	4	a	Front	18	0	Added	
R4	XXDWM-12.5-65-ST-CBRS ANTENNA/RADIO	16.2	11.4	0	4	a	Front	48	0	Added	

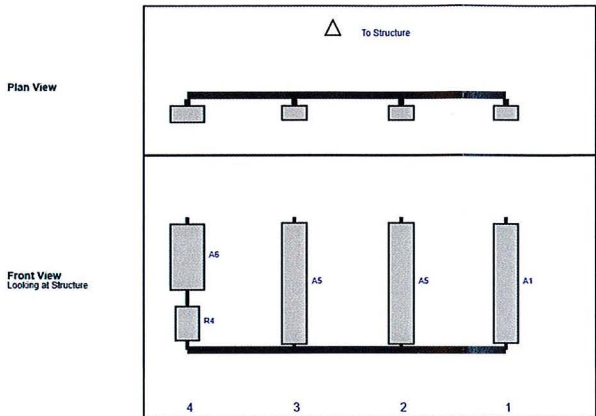
ALPHA SECTOR  
SCALE: N.T.S.

1

NOTE:

- SECTOR PLANS AND ELEVATIONS TAKEN FROM MOUNT ANALYSIS:  
SMART TOOL# 10009990, MASER PROJECT # 20777022A, FUZE  
# 16070588 BY MASER CONSULTING P.A. DATED 10/09/2020.

Structure: 137428-VZW - NE FRESH POND  
Sector: B  
Structure Type: Rooftop  
Mount Elev: 59.00  
12/1/2020  
Page: 2  
MASER CONSULTING



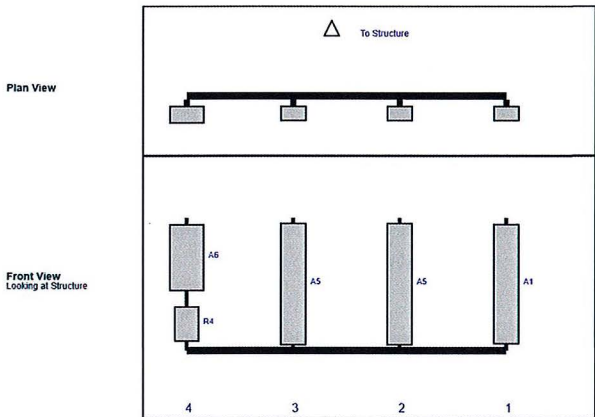
Ref#	Model	Height (in)	Width (in)	H Dist Fm L	Pipe #	Pipe Pos V	Ant Pos	C. Ant Fm T	Ant H Off	Status	Validation
A1	L1DX-6513DS-VTM	54.7	11.9	144	1	a	Front	30	0	Retained	04/06/2020
A5	NRH-65A-R2B	55.6	11.9	96	2	a	Front	30	0	Added	
A5	NRH-65A-R2B	55.6	11.9	48	3	a	Front	30	0	Added	
A6	L-Sub6 Antenna	30.4	15.9	0	4	a	Front	18	0	Added	
R4	XXDWM-12.5-65-ST-CBRS ANTENNA/RADIO	16.2	11.4	0	4	a	Front	48	0	Added	

BETA SECTOR  
SCALE: N.T.S.

2

Mount Structural Analysis Report  
MT\_LOT  
December 1, 2020  
Site ID: 137428-VZW / NE FRESH POND  
Page | 2

Structure: 137428-VZW - NE FRESH POND  
Sector: C  
Structure Type: Rooftop  
Mount Elev: 59.00  
12/1/2020  
Page: 3  
MASER CONSULTING



Ref#	Model	Height (in)	Width (in)	H Dist Fm L	Pipe #	Pipe Pos V	Ant Pos	C. Ant Fm T	Ant H Off	Status	Validation
A1	L1DX-6513DS-VTM	54.7	11.9	144	1	a	Front	30	0	Retained	04/06/2020
A5	NRH-65A-R2B	55.6	11.9	96	2	a	Front	30	0	Added	
A5	NRH-65A-R2B	55.6	11.9	48	3	a	Front	30	0	Added	
A6	L-Sub6 Antenna	30.4	15.9	0	4	a	Front	18	0	Added	
R4	XXDWM-12.5-65-ST-CBRS ANTENNA/RADIO	16.2	11.4	0	4	a	Front	48	0	Added	

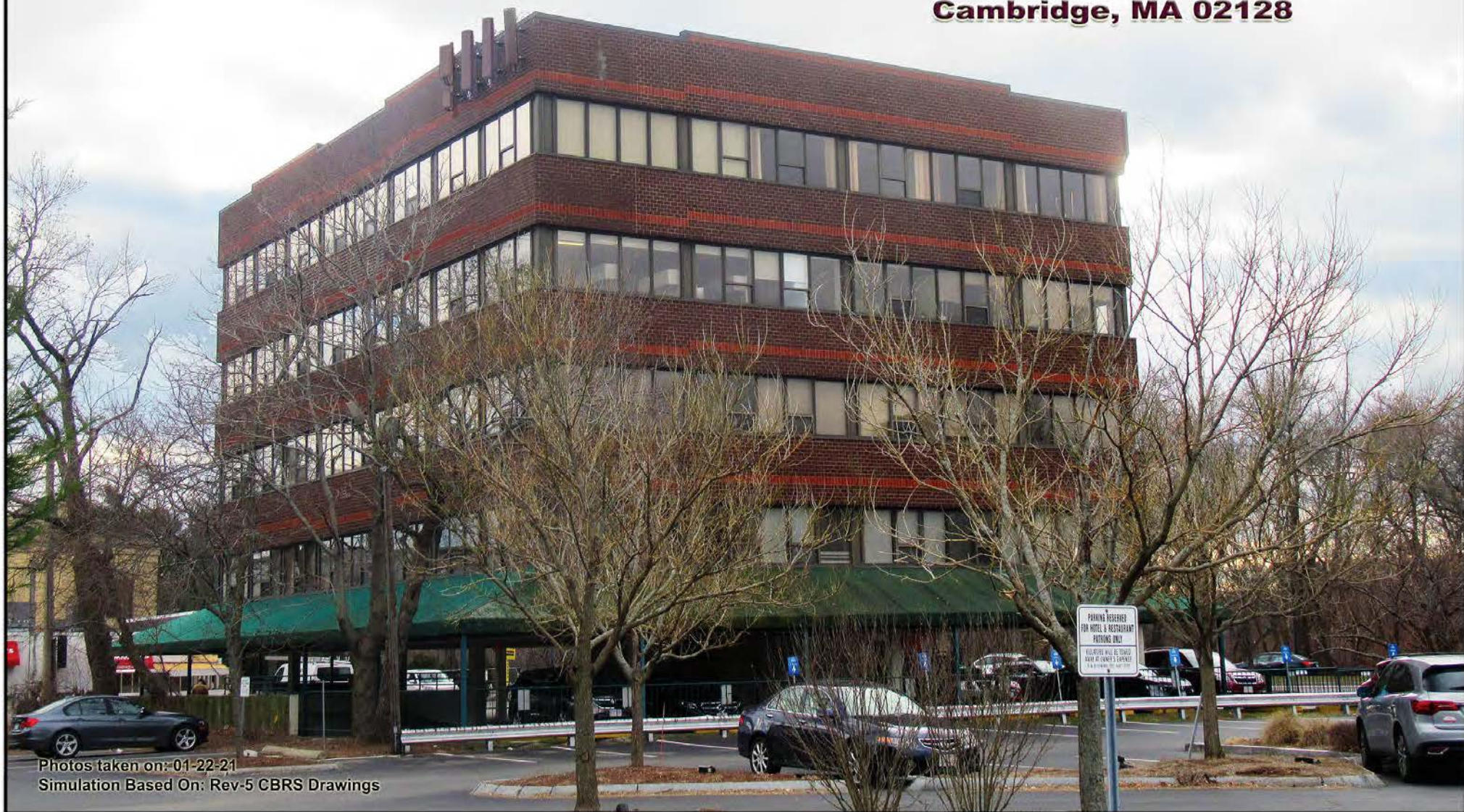
GAMMA SECTOR  
SCALE: N.T.S.

3

**Exhibit 3**  
**“Photo Simulations”**



**Prepared For:**  
**Verizon Wireless**  
**Site Name:**  
**FRESH POND MA HD**  
**545 Concord Avenue**  
**Cambridge, MA 02128**



Photos taken on: 01-22-21  
Simulation Based On: Rev-5 CBRS Drawings

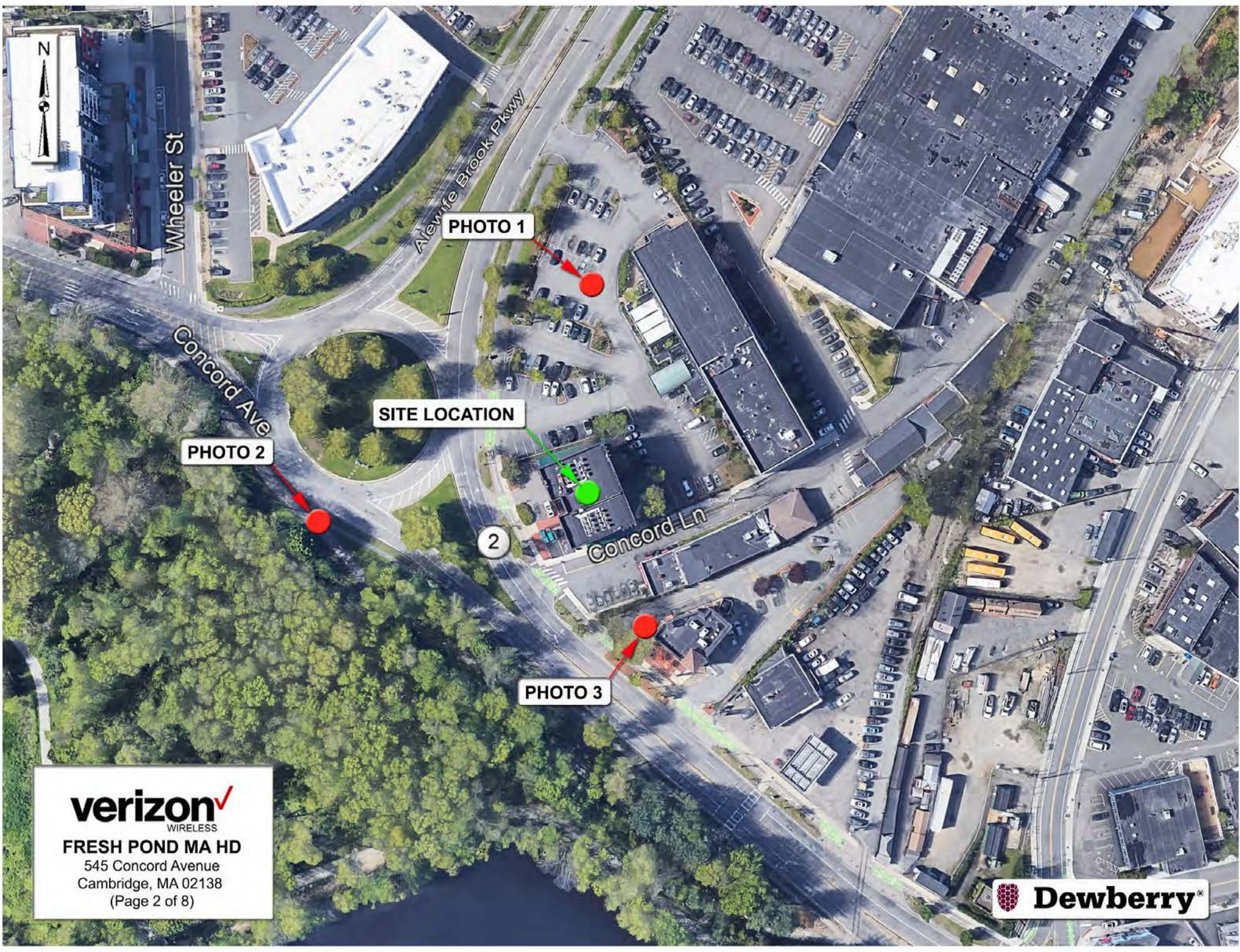
For visual reference only. Actual visibility  
is dependent upon weather conditions,  
season, sunlight, and viewer location.

**verizon**<sup>✓</sup>  
WIRELESS  
118 Flanders Road  
Westborough, MA 01581

**FRESH POND MA HD**  
DEWBERRY NO. 50121497  
(Page 1 of 8)

**Dewberry**<sup>®</sup>  
Dewberry Engineers Inc.  
99 Summer St.  
Suite 700  
Boston, MA 02110





**verizon**  
WIRELESS  
**FRESH POND MA HD**  
545 Concord Avenue  
Cambridge, MA 02138  
(Page 2 of 8)

 **Dewberry**



## Actual View



**verizon**  
WIRELESS

**FRESH POND MA HD**

**Photo 1A**

View Facing South  
From Northern Parking Lot  
(Page 3 of 8)

PARKING DESIGNATED  
FOR HOTEL & RESTAURANT  
PATRONS ONLY  
VEHICLES WILL BE TOWED  
IF NOT MOVED BY 11:00 AM  
ON MONDAY



**Dewberry**



# Proposed View

Proposed Alpha Sector Panel Antenna  
(Typ.-2) (To Replace Existing)

Existing Alpha Sector Antenna  
(Typ.-1) (To Remain)

Proposed Alpha Sector VZS01 Antenna

Proposed Alpha Sector CBRS  
RRU With Clip On Antenna

**verizon**  
WIRELESS  
**FRESH POND MA HD**  
**Photo 1B**  
View Facing South  
From Northern Parking Lot  
(Page 4 of 8)

 **Dewberry**®



## Actual View



**verizon**  
WIRELESS

**FRESH POND MA HD**

**Photo 2A**

View Facing West  
From Alewife Brook Pkwy  
(Page 5 of 8)



 **Dewberry**



# Proposed View

Proposed Gamma Sector Panel Antenna  
(Typ.-2) (To Replace Existing)

Proposed Gamma Sector VZS01 Antenna

Existing Alpha Sector Antenna  
(Typ.-1) (To Remain)

Proposed Gamma Sector CBRS  
RRU With Clip On Antenna

**verizon**  
WIRELESS

FRESH POND MA HD

Photo 2B

View Facing West  
From Alewife Brook Pkwy  
(Page 6 of 8)



**Dewberry**



## Actual View

**verizon**  
WIRELESS  
**FRESH POND MA HD**  
**Photo 3A**  
View Facing North  
From Concord Lane  
(Page 7 of 8)

545  
FRESH POND  
RESERVOIR PLACE

 **Dewberry**®



# Proposed View

Proposed Beta Sector VZS01 Antenna

Proposed Beta Sector CBRS  
RRU With Clip On Antenna

Proposed Beta Sector Panel Antenna  
(Typ.-2) (To Replace Existing)

Existing Alpha Sector Antenna  
(Typ.-1) (To Remain)

**verizon**  
WIRELESS  
**FRESH POND MA HD**  
Photo 3B  
View Facing North  
From Concord Lane  
(Page 8 of 8)

545  
FRESH POND  
RESERVOIR PLACE

 **Dewberry**®



**Exhibit 4**

**“FCC License to Operate”**

**REFERENCE COPY**

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



**Federal Communications Commission**  
**Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY  
 CELLCO PARTNERSHIP  
 5055 NORTH POINT PKWY, NP2NE ENGINEERING  
 ALPHARETTA, GA 30022

<b>Call Sign</b> WRBA936	<b>File Number</b>
<b>Radio Service</b> UU - Upper Microwave Flexible Use Service	

**FCC Registration Number (FRN):** 0003290673

<b>Grant Date</b> 09-11-2018	<b>Effective Date</b> 02-27-2019	<b>Expiration Date</b> 10-06-2028	<b>Print Date</b>
<b>Market Number</b> BTA051	<b>Channel Block</b> L1	<b>Sub-Market Designator</b> 1	
<b>Market Name</b> Boston, MA			
<b>1st Build-out Date</b> 06-01-2024	<b>2nd Build-out Date</b>	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

**Waivers/Conditions:**

Grant of the request to update licensee name is conditioned on it not reflecting an assignment or transfer of control (see Rule 1.948); if an assignment or transfer occurred without proper notification or FCC approval, the grant is void and the station is licensed under the prior name.

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.



**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** WRBA936

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
---------------	--------------------	--------------------------	------------------------------	---------------

**REFERENCE COPY**

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



# **Federal Communications Commission**

## **Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

**LICENSEE:** CELLCO PARTNERSHIP

ATTN: REGULATORY  
CELLCO PARTNERSHIP  
5055 NORTH POINT PKWY, NP2NE ENGINEERING  
ALPHARETTA, GA 30022

<b>Call Sign</b> WRBA937	<b>File Number</b>
<b>Radio Service</b> UU - Upper Microwave Flexible Use Service	

**FCC Registration Number (FRN):** 0003290673

<b>Grant Date</b> 09-11-2018	<b>Effective Date</b> 02-27-2019	<b>Expiration Date</b> 10-06-2028	<b>Print Date</b>
<b>Market Number</b> BTA051	<b>Channel Block</b> L2	<b>Sub-Market Designator</b> 1	
<b>Market Name</b> Boston, MA			
<b>1st Build-out Date</b> 06-01-2024	<b>2nd Build-out Date</b>	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

**Waivers/Conditions:**

Grant of the request to update licensee name is conditioned on it not reflecting an assignment or transfer of control (see Rule 1.948); if an assignment or transfer occurred without proper notification or FCC approval, the grant is void and the station is licensed under the prior name.

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.



**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** WRBA937

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
---------------	--------------------	--------------------------	------------------------------	---------------

**Exhibit 5**  
**“ZBA Decision”**



## Southern Middlesex - 20/20 Perfect Vision i2 Document Detail Report

Current datetime: 1/8/2021 7:49:22 PM

Doc#	Document Type	Town	Book/Page	File Date	Consideration
868	DECISION		27811/384	10/28/1997	
<b>Property-Street Address and/or Description</b>					
545 CONCORD AV SP PERMIT &C					
<b>Grantors</b>					
CAMBRIDGE CITY OF, MODERN CONTINENTAL ENTERPRISES INC					
<b>Grantees</b>					
<b>References-Book/Pg Description Recorded Year</b>					
<b>Registered Land Certificate(s)-Cert# Book/Pg</b>					

## City of Cambridge

MASSACHUSETTS

## BOARD OF ZONING APPEAL

RECEIVED BY  
OFFICE OF CITY CLERK

97 OCT -3 AM 10 55

CAMBRIDGE MA.



CASE NO: 7530

LOCATION: 545 Concord Avenue Business C Zone  
Cambridge, MAPETITIONER: Bell Atlantic Nynex Mobile -  
Paul J. Moriarty & Associates

Owner: modern Continental Enterprises Inc

PETITION: Special Permit: To establish a telephone exchange  
use at 545 Concord Avenue with antennae and  
equipment installation.VIOLATIONS: Art. 4.000, Sec. 4.32.G.1 (Transportation,  
Communication & Utility Uses).

DATE OF PUBLIC NOTICE: August 12 &amp; 19, 1997

DATE OF PUBLIC HEARING: August 28, 1997

## MEMBERS OF THE BOARD:

Lauren Curry - Chairperson	_____
Michael Wiggins - Vice Chair	<u>  X  </u>
Charles Pierce	<u>  X  </u>
John O'Connell	_____
Thomas Sieniewicz	<u>  X  </u>

## ASSOCIATE MEMBERS:

Susan Spurlock	_____
Theodore Hartry	<u>  X  </u>
Arch Horst	_____
Laura Kershner	_____
James Daniel	_____
David Gray Hanson	_____
Marc Truant	_____

Members of the Board of Zoning Appeal heard testimony and viewed materials submitted regarding the above request for relief from the requirements of the Cambridge Zoning Ordinance.

The Board is familiar with the location of the petitioner's property, the layout and other characteristics as well as the surrounding district.

Locus: 545 Concord Avenue, Cambridge, MA 02142  
 Book 22942 Pg. 526  
 868 12.25  
 02:48:58



Case No.: 7530  
Location: 545 Concord Avenue  
Petitioner: Bell Atlantic Nynex Mobile  
Paul J. Moriarty & Associates

On August 28, 1997, Tom Befera and Peter Lew, of Bell Atlantic Nynex Mobile, and Paul Moriarty, from Paul J. Moriarty & Associates, appeared before the Board of Zoning Appeal seeking a special permit to establish a telephone exchange use at 545 Concord Avenue with antennae and equipment installation. The applicants submitted plans, drawings and photographs detailing the proposed project.

It was noted that the petitioner agreed to proceed with having the case heard with only four Board members, knowing that all four votes are required to approve the proposed variance.

At the hearing, Mr. Befera stated that the proposed installation is to be a telephone exchange use with antennae and equipment installation at 545 Concord Avenue. He stated that the switching equipment is to be housed within the existing building, the emergency generator system is to be located in the front of the building near the existing vent, and a four panel antennae is to be mounted to the building. He stated that the four panel antennae and the mounted brackets are to be painted with the color of the existing brick background so the equipment will blend in with the surroundings.

Catherine Erat, of 32 Normandy Avenue, indicated her concern as to what the City's policy is for mobile communications facilities and to the equipment standards of the height and location.

The Chair moved that the special permit to establish a telephone exchange use at 545 Concord Avenue with antennae and equipment installation be granted on the following conditions: 1) that the work proceed in approximate conformance with the plans by Dagle Engineers, Incorporated, for Bell Atlantic Nynex Mobile, Project No. 97493 and dated May 6, 1997; 2) that the antennae project no further from the building than as described by the petitioner; 3) that the antennae be painted to match the color of the facade to which the antennae are going to be attached; and 4) that if the petitioner ever chooses to replace or upgrade its equipment in any way that would change the dimensions or the physical appearance of the antennae, then the petitioner would have to return to the Board and seek a new special permit. Four members of the Board voted to grant the special permit.

The Board based the decision upon the above findings and upon the following:

- 1) The meeting of the requirements of the Ordinance;
- 2) Traffic generated or patterns of access or egress would not cause congestion, hazard, or substantial change in the established neighborhood character;
- 3) The continued operation of or the development of adjacent uses as permitted in the Ordinance would not be adversely affected by the nature of the proposed use;
- 4) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupants of the proposed use, and;
- 5) The proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the Ordinance, and in fact be a significant improvement to the structure and benefit the neighborhood.

The Board of Zoning Appeal is empowered to waive local zoning regulations only. This decision therefore does not relieve the petitioner in any way from the duty to comply with local ordinances and regulation of other local agencies, including, but not limited to the Historical Commission, License Commission and/or compliance with requirements pursuant to the Building Code and other applicable codes.

*Michael Wiggins*

Michael Wiggins, Vice-Chair

Attest: A true and correct copy of decision filed with the offices of the City Clerk and Planning Board on 10-3-97 by

Maria Pacheco, Clerk.

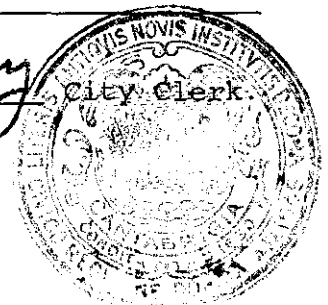
Twenty days have elapsed since the filing of this decision

No appeal has been filed ✓.

Appeal has been filed and dismissed or denied \_\_\_\_\_

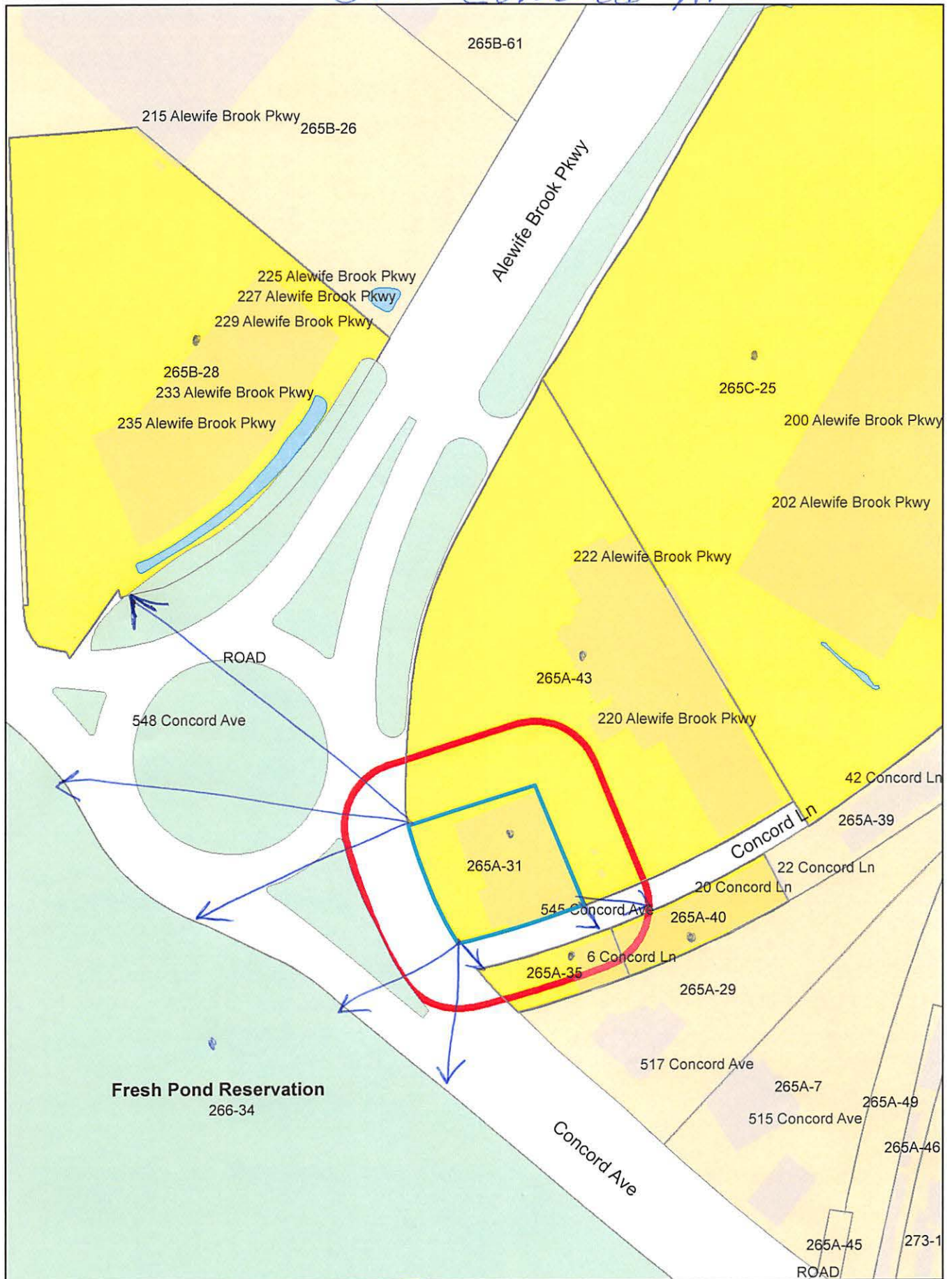
Date OCT. 28 1997

*D. Margaret Drury*





545 Concord Ave



545 Concord Ave

Petitioner

265A-35  
MAGOOFAM LLC,  
259 CHANNING RD.  
BELMONT, MA 02478-3108

265A-40  
ATINIZIAN, NIGOGHOS & CAROLYN ATINIZIAN  
TRS THE FRESH POND SHOPPING CENTER TRUST  
545 CONCORD AVE., SUITE #400  
CAMBRIDGE, MA 02138

DUVAL & KLASNICK, LLC  
C/O DANIEL D. KASNICK, ESQ.  
P.O. BOX 254  
BOXFORD, MA 01921

265C-25  
THE FRESH POND MALL LIMITED PARTNERSHIP  
545 CONCORD AVE. SUITE 400  
CAMBRIDGE, MA 02138

265A-43  
220 ALEWIFE BROOK PARKWAY LLC  
C/O HERSHA HOSPITALITY MGMT LP  
510 WALNUT ST., 9TH FLOOR  
PHILADELPHIA, PA 19106

266-34  
CAMBRIDGE CITY OF WATER DEPT  
250 FRESH POND PKWY  
CAMBRIDGE, MA 02138

265B-28  
LINEAR RETAIL CAMBRIDGE #1 LLC  
C/O KEYPOINT PARTNERS  
1 BURLINGTON WOODS DR.  
BURLINGTON, MA 01803

265A-31  
ALEWIFE PROPERTIES, LLC  
545 CONCORD AVENUE  
CAMBRIDGE, MA 02138

266-34  
CITY OF CAMBRIDGE  
C/O LOUIE DEPASQUALE  
CITY MANAGER

266-34  
CITY OF CAMBRIDGE  
C/O NANCY GLOWA  
CITY SOLICITOR