



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2021 DEC 22 PM 2:32
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 157204

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: X Appeal: _____

PETITIONER: Eden Steinberg and Peter Muz C/O Robert Linn

PETITIONER'S ADDRESS: 161 Grove Street, Cambridge, MA 02138

LOCATION OF PROPERTY: 55 Wendell St, Cambridge, MA

TYPE OF OCCUPANCY: 2 family residential **ZONING DISTRICT:** Residence C-1 Zone

REASON FOR PETITION:

/Additions/ /Dormer/

DESCRIPTION OF PETITIONER'S PROPOSAL:

A variance is being sought for additional GFA to be added to an existing non-conforming structure to allow the owner/occupants the opportunity to age in place and to better utilize the space they have with the addition of a dedicated home office area and a more accessible second dwelling unit.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).

Article: 8.000 Section: 8.22.3 (Non-conforming Structure).

Original
Signature(s):

(Petitioner (s) / Owner)

Eden Steinberg, Peter Muz
(Print Name)

Address:

55 WENDELL ST. CAMBRIDGE, MA 02138

Tel. No.

617-803-8780

E-Mail Address:

rl@moskowlinn.com

Date: 12.18.2021



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Tel. No.

617-803-8780

E-Mail Address:

rl@moskowlinn.com

Date: 12.18.2021

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Eden Steinberg, Peter Muz
(OWNER)

Address: 55 Wendell Street, Cambridge, MA 02138

State that I/We own the property located at 55 Wendell Street,
which is the subject of this zoning application.

The record title of this property is in the name of _____
Eden R. Steinberg 2004 Revocable Trust

*Pursuant to a deed of duly recorded in the date 1/13/21, Middlesex South
County Registry of Deeds at Book 76687, Page 210; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

Eden & Peter Muz
SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT

***Written evidence of Agent's standing to represent petitioner may be requested.**

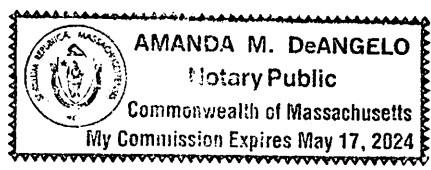
Commonwealth of Massachusetts, County of Middlesex

The above-name Eden R Steinberg & Peter Muz personally appeared before me,
this 8th of November 2021, and made oath that the above statement is true.

Amanda DeAngelo
Notary

My commission expires MAY 17, 2024 (Notary Seal)

• If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



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ASAC

BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the provisions of this Ordinance would preclude the proposed alterations to this dwelling that will allow the petitioners the possibility of aging in place at this location and will accommodate the petitioners' need for dedicated home office space and a more accessible second unit.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:

The hardship is related to the location and relationship of the structure to the lot and the unusual shape and size of the lot.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

1) Desirable relief may be granted without substantial detriment to the public good for the following reasons:

There will be no detriment to the public good as a result of the proposed additions.

2) Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The proposed continued use of the property as 2 residential units with outdoor roof space is in keeping with other residential structures in the neighborhood and will not change or intensify the neighborhood.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form**DIMENSIONAL INFORMATION**

Applicant: Eden Steinberg and Peter Muz
Location: 55 Wendell St., Cambridge, MA
Phone: 617-803-8780

Present Use/Occupancy: 2 family residential
Zone: Residence C-1 Zone
Requested Use/Occupancy: 2 family residential

		Existing Conditions	Requested Conditions	Ordinance Requirements	
TOTAL GROSS FLOOR AREA:		3209.99	3550.68	3000	(max.)
LOT AREA:		4000	4000	5000	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²		.80	.89	.75	
LOT AREA OF EACH DWELLING UNIT		2000	2000	1500	
SIZE OF LOT:	WIDTH	50	50	50	
	DEPTH	80	80	NA	
SETBACKS IN FEET:	FRONT	14.8	14.8	10	
	REAR	10.8	10.8	12.5	
	LEFT SIDE	0.1	0.1	16.9	
	RIGHT SIDE	10.1	10.1	10	
SIZE OF BUILDING:	HEIGHT	36.18	36.18	35	
	WIDTH	54.5	54.5	NA	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		52%	58%	30%	
NO. OF DWELLING UNITS:		2	2	2	
NO. OF PARKING SPACES:		1	1	2	
NO. OF LOADING AREAS:		0	0	NA	
DISTANCE TO NEAREST BLDG. ON SAME LOT		3.1	NA	10	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

There is a detached garage on site built from rusticated concrete block with a dimension of 18.8' X 12.3' +- . The existing home is wood frame construction and the proposed work will all be wood construction with the possible exception of the proposed garage wall which will be built from cmu to achieve the required fire rating.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



GENERAL NOTES

1. ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO: THE MASSACHUSETTS BUILDING CODE (9TH EDITION), MASSACHUSETTS FUEL, GAS, AND PLUMBING CODES, MASSACHUSETTS ELECTRICAL CODE, OSHA REGULATIONS, ORDINANCES OF THE CITY OF CAMBRIDGE, AND THE REQUIREMENTS OF THE CAMBRIDGE FIRE DEPARTMENT.
2. THE CONTRACTOR SHALL VERIFY IN THE FIELD DIMENSIONS. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL CONDITIONS AFFECTING THE WORK. ANY CONDITIONS FOUND THAT ALTER OR OTHERWISE CHANGE THE REQUIREMENTS FOR THE WORK SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
3. THE CONTRACTOR SHALL COORDINATE THE WORK SHOWN ON THESE DRAWINGS WITH WORK OF ALL TRADES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) AND BRING ANY CONFLICT TO THE ATTENTION OF THE ARCHITECT.

55 Wendell Street
Cambridge, MA

Sheet List	
Sheet Number	Sheet Name

A0.0	Cover Sheet
EX1.0	Existing Basement Floor Plan
EX1.1	Existing First Floor Plan
EX1.2	Existing Second Floor Plan
EX1.3	Existing Third Floor Plan
EX2.0	Existing South Elevation
EX2.1	Existing East Elevation
EX2.2	Existing North Elevation
EX2.3	Existing West Elevation
A0.1	General Zoning & Site Plan - Existing
A0.2	Setback Calculations - Existings
A0.3	GFA & FAR Calculations - Existing
A0.4	General Zoning & Site Plan - Proposed
A0.5	Setback Calculations - Proposed
A0.6	GFA & FAR Calculations - Proposed
A0.7	Open Space - Existing & Proposed
A0.8	Street Elevations
A0.9	Site Plan w/ Neighbors
A0.10	Sun Studies - Winter Solstice - 3D Views
A0.11	Sun Studies - Winter Solstice - Plan Views
A0.12	Sun Studies - Summer Solstice - 3D Views
A0.13	Sun Studies - Summer Solstice - Plan Views
A1.0	Basement Plan
A1.1	First Floor Plan
A1.2	Second Floor Plan
A1.3	Third Floor Plan
A2.0	South Elevation
A2.2	East Elevation
A2.3	North Elevation
A2.4	West Elevation
A3.0	3D Views

CLIENT	ARCHITECT	BUILDER
Eden Steinberg & Peter Muz 55 Wendell Street Cambridge, MA 02138 p:xxx.xxx.xxxx	Moskow Linn Architects Robert Linn AIA, Keith Moskow FAIA 88 Broad St. 5th Floor Boston, MA 02110 p:617.292.2000	tbd

55 Wendell St
Steinberg Muz Residence

Moskow Linn Architects, Inc.
88 Broad Street Boston, Massachusetts 02110
tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

A0.0

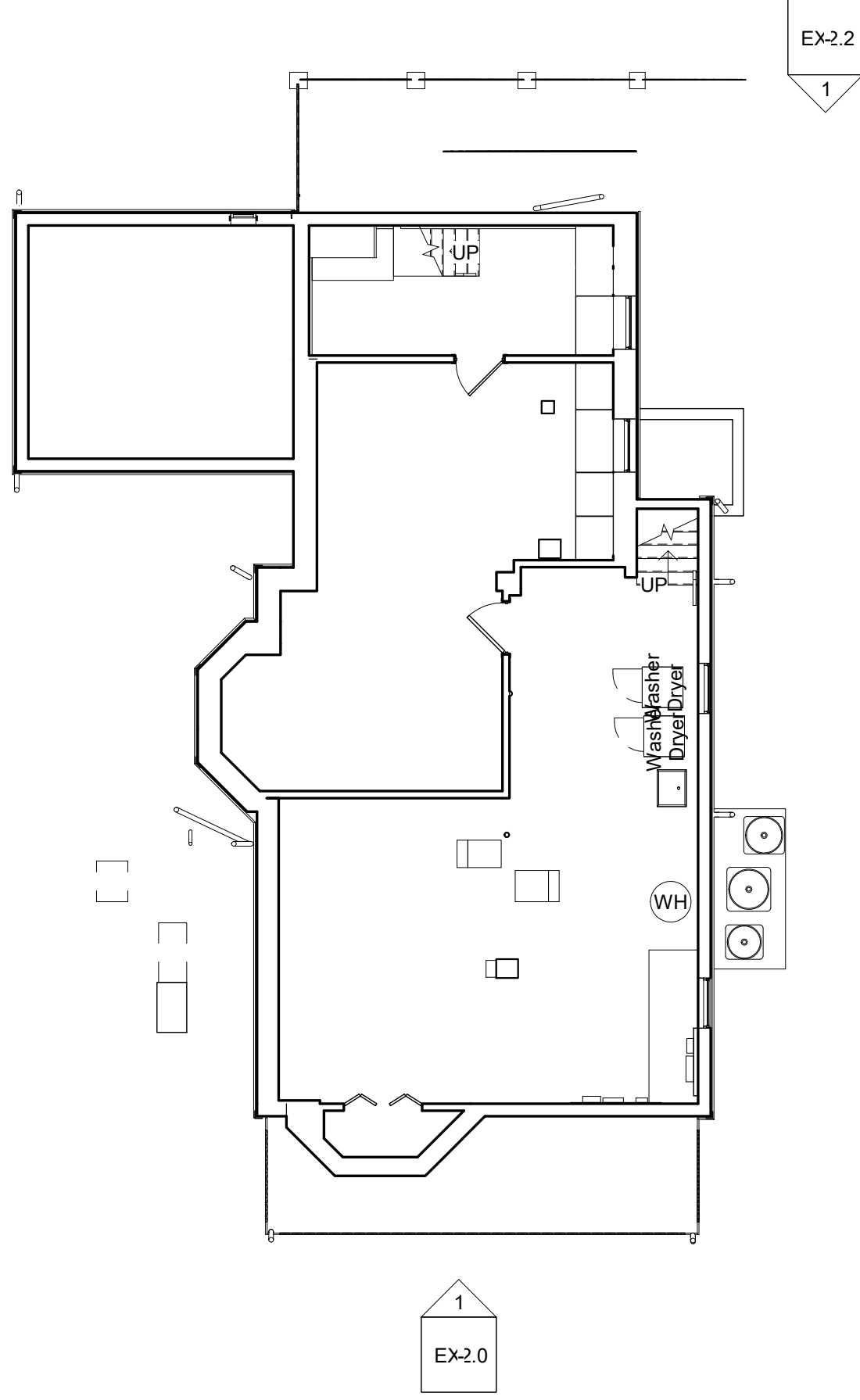
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DATE: 12.08.21
DRAWN BY: MLA

Cover Sheet

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1 Basement
1/8" = 1'-0"

EX-2.3 1



1 EX-2.1

SCALE: 1/8" = 1'-0"

DATE: 12.08.21

DRAWN BY: MLA

EX1.0

Moskow Linn Architects, Inc.

88 Broad Street Boston, Massachusetts 02110

tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

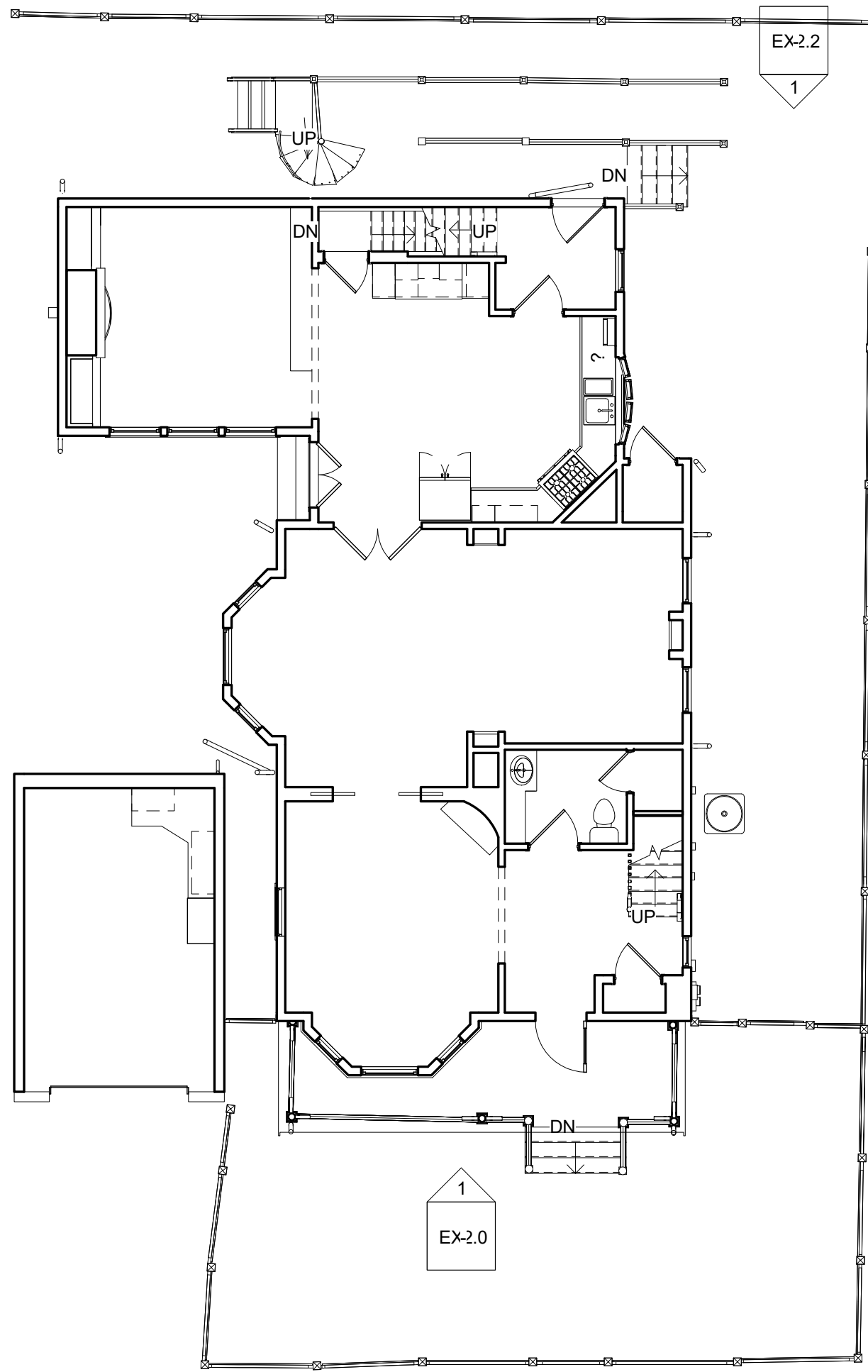
55 Wendell St
Steinberg Muz Residence

Existing Basement Plan

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1 First Floor
1/8" = 1'-0"

EX-2.3 1



1 EX-2.1

EX-2.2
1

SCALE: 1/8" = 1'-0"

DATE: 12.08.21

DRAWN BY: MLA

EX1.1

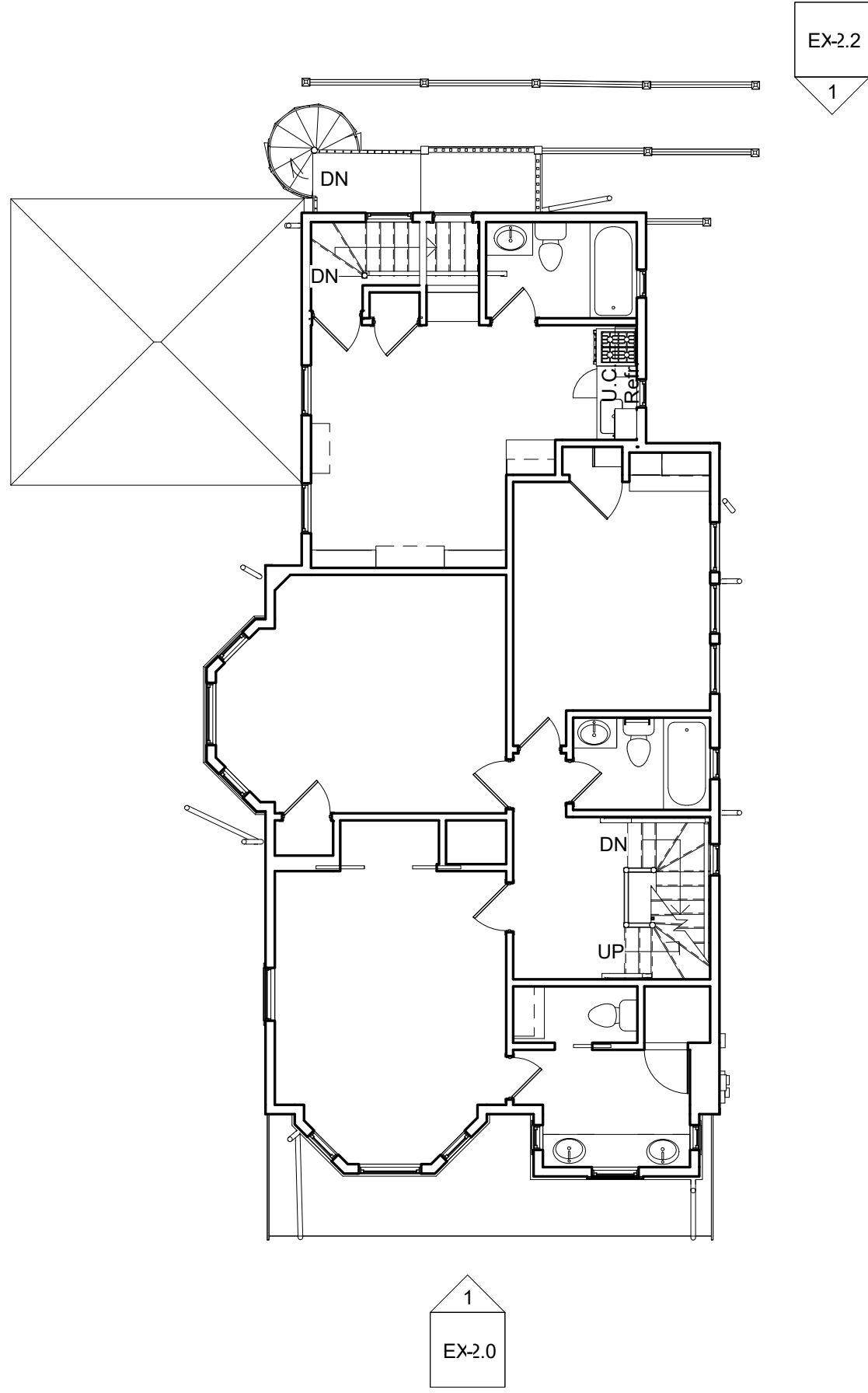
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55 Wendell St
Steinberg Muz Residence
Existing First Floor Plan

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1 Second Floor
1/8" = 1'-0"

EX-2.3
1



EX-2.0
1

EX-2.1
1

EX-2.2
1

SCALE: 1/8" = 1'-0"

DATE: 12.08.21

DRAWN BY: MLA

EX1.2

Moskow Linn Architects, Inc.

88 Broad Street Boston, Massachusetts 02110

tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

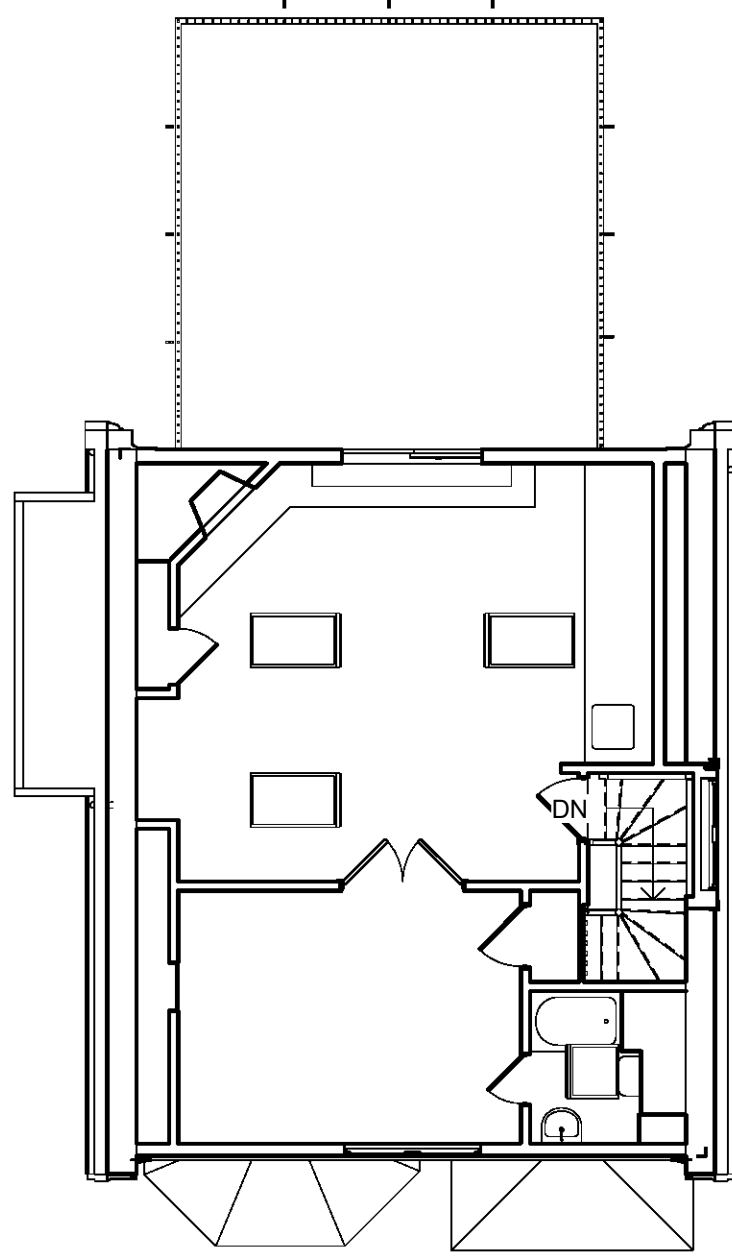
55 Wendell St
Steinberg Muz Residence

Existing Second Floor Plan

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① Third Floor
1/8" = 1'-0"

EX2.3
1



EX2.0
1

EX2.1
1

EX2.2
1

SCALE: 1/8" = 1'-0"

DATE: 12.08.21

DRAWN BY: MLA

EX1.3

Moskow Linn Architects, Inc.

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55 Wendell St
Steinberg Muz Residence

Existing Third Floor Plan

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① South Elevation - Existing
 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

DATE: 12.08.21

DRAWN BY: MLA

EX2.0

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55 Wendell St
 Steinberg Muz Residence

Existing South Elevation



① East Elevation - Existing
 1/8" = 1'-0"

55 Wendell St
 Steinberg Muz Residence
 Existing East Elevation

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EX2.1

SCALE: 1/8" = 1'-0"
 DATE: 12.08.21
 DRAWN BY: MLA



① North Elevation - Existing
1/8" = 1'-0"

55 Wendell St
Steinberg Muz Residence
Existing North Elevation

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EX2.2

SCALE: 1/8" = 1'-0"
DATE: 12.08.21
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① West Elevation - Existing
1/8" = 1'-0"

55 Wendell St
Steinberg Muz Residence
Existing West Elevation

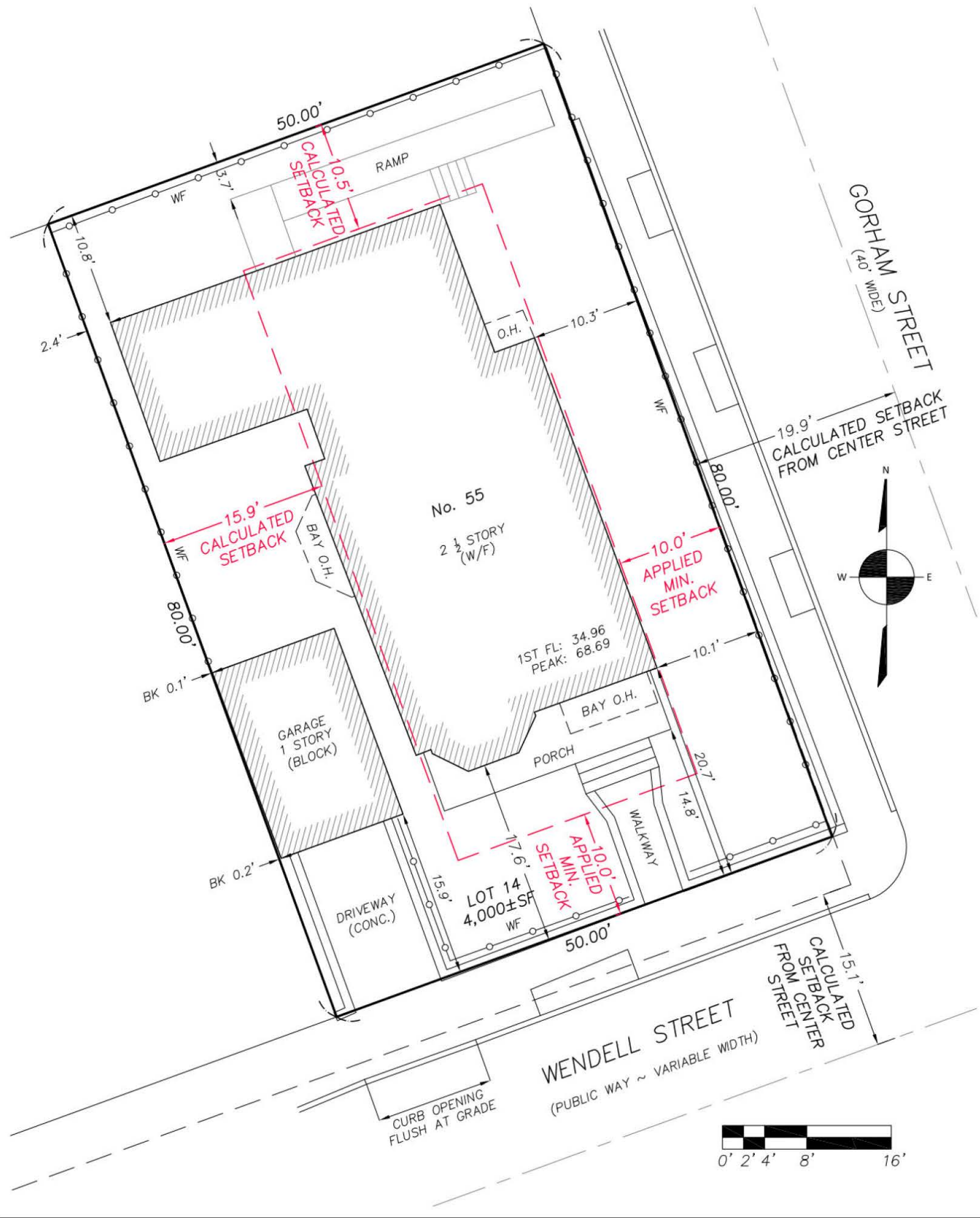
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EX2.3

SCALE: 1/8" = 1'-0"
DATE: 12.08.21
DRAWN BY: MLA

55 Wendell Street, Cambridge, MA
Zoning District C-1

	Allowable	Existing
Max. FAR	0.75	0.8
Min. Lot Area/DU	1,500	2,000
Min. Front Yard Setback		
Wendell Street	$(H+L) \div 4$ at least 10	14.8'
Gorham Street	$(H+L) \div 4$ at least 10	10.1'
Min. Side Yards		
North	$(H+L) \div 5$ at least 7.5	10.8'
West	$(H+L) \div 5$ at least 7.5	.1'
Max. Height	35'	36.18'
Min. Open Space Ratio	30%	52%
Dimensional Req.	50% of 30% = 15%	9%
Permeable	50% of 30% = 15%	44%



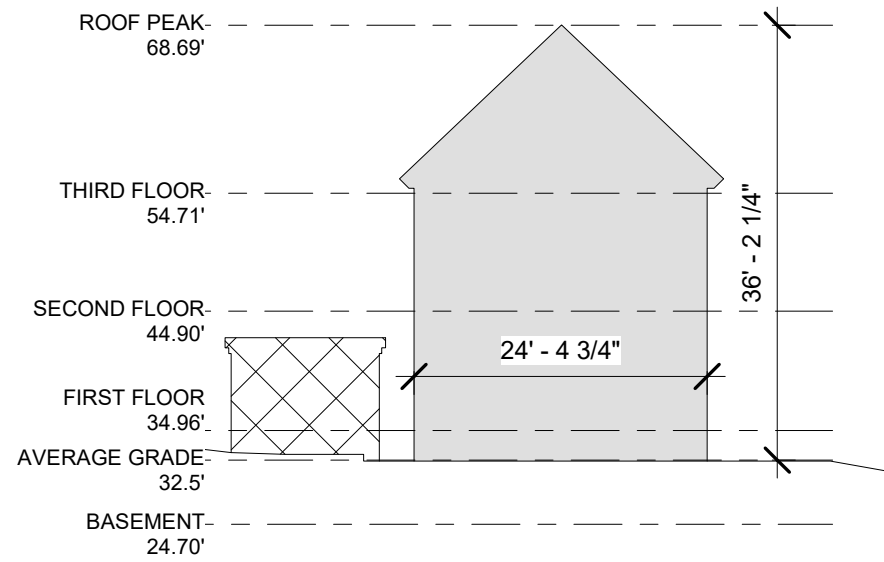
55 Wendell St
 Steinberg Muz Residence
 General Zoning & Site Plan - Existing

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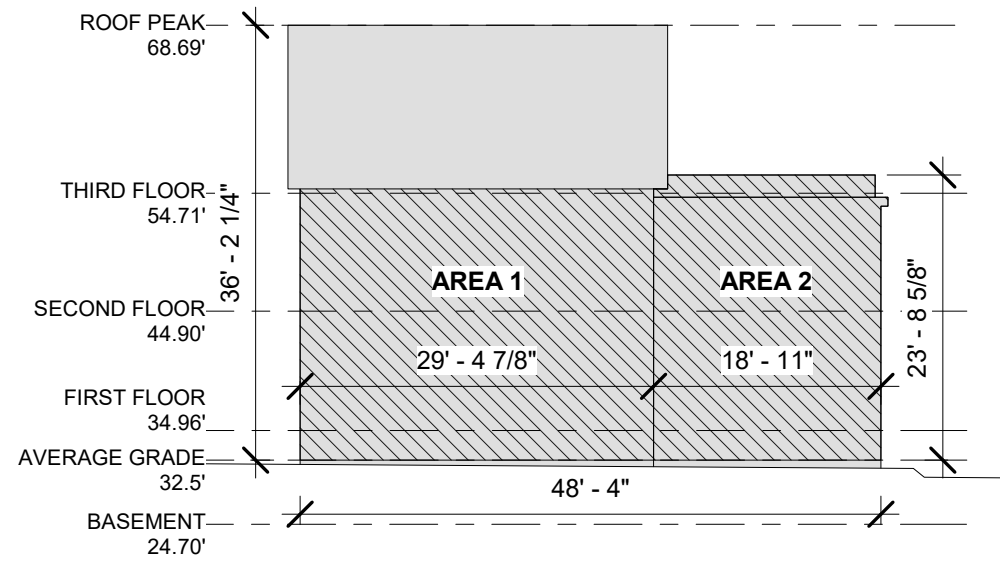
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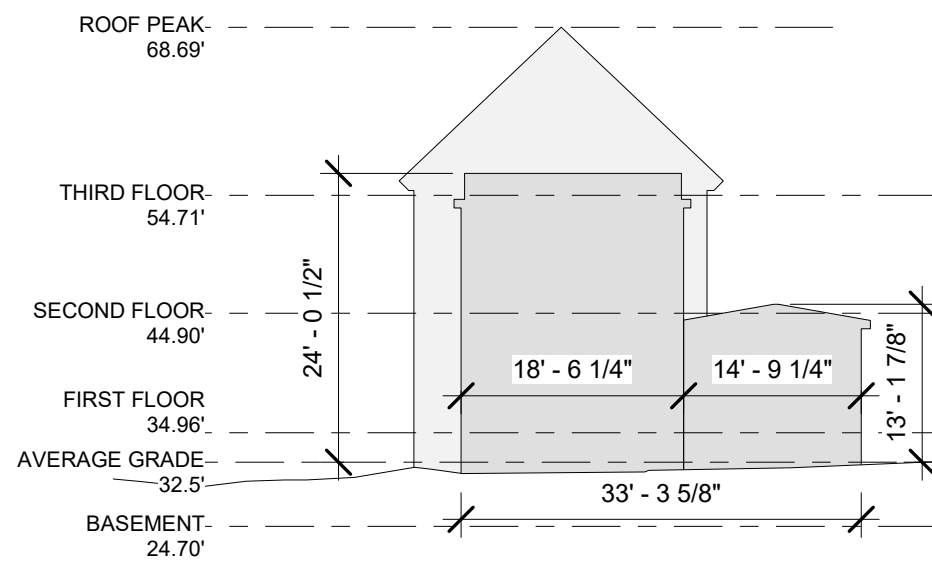


SOUTH ELEVATION



EAST ELEVATION

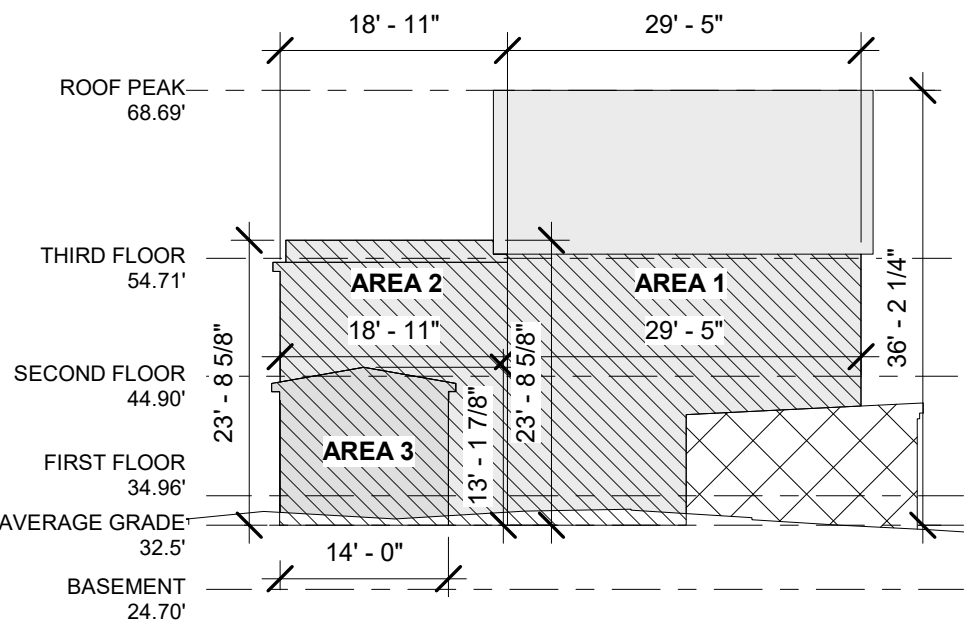
AVERAGE HEIGHT = 31'-4"
SEE CALC BELOW FOR WEST ELEV.



NORTH ELEVATION AVERAGE HEIGHT = $\frac{(H1 \times L1) + (H2 \times L2)}{L1 + L2}$

$$\frac{(24'-0 \frac{1}{2}'' \times 18'-6 \frac{1}{4}'' + (13'-1 \frac{7}{8}'' \times 14'-9 \frac{1}{4}''))}{18'-6 \frac{1}{4}'' + 14'-9 \frac{1}{4}''}$$

= 19'-2 3/8" AVERAGE HEIGHT



WEST ELEVATION

AVERAGE HEIGHT = $\frac{(H1 \times L1) + (H2 \times L2)}{L1 + L2}$

$$\frac{(23'-8 \frac{5}{8}'' \times 18'-11'' + (36'-2 \frac{1}{4}'' \times 29'-5''))}{18'-11'' + 29'-5''}$$

= 31'-4" AVERAGE HEIGHT

FRONT YARD SETBACK - WENDELL STREET

$\frac{H+L}{4}$ TO CENTERLINE STREET, MIN. 10' FROM STREET

$$\frac{36'-2 \frac{1}{4}'' + 24'-4 \frac{3}{4}''}{4} = 15'-1 \frac{1}{2}'' \text{ SETBACK FROM CENTER OF WENDELL ST, THEREFORE 10' FROM STREET}$$

FRONT YARD SETBACK - GORHAM STREET

$\frac{H+L}{4}$ TO CENTERLINE STREET, MIN. 10' FROM ST (refer to ave. height calcs)

and $\frac{(\text{SETBACK1} \times \text{FACING AREA1}) + (\text{SETBACK2} \times \text{FACING AREA2})}{(\text{SINGLE PLANE SETBACK}) \times (\text{SINGLE PLANE FACING AREA})}$
MUST EQUAL OR EXCEED

SETBACK1 **FACING AREA1**

$$\frac{36'-2 \frac{1}{4}'' + 29'-4 \frac{7}{8}''}{4} = 16'-4 \frac{13}{16}'' \quad 663.62 \text{ SF}$$

SETBACK2 **FACING AREA2**

$$\frac{23'-8 \frac{5}{8}'' + 18'-11''}{4} = 10'-7 \frac{15}{16}'' \quad 447.03 \text{ SF}$$

SINGLE PLANE SETBACK **SINGLE PLANE FACING AREA**

$$\frac{31'-4'' + 48'-4''}{4} = 19'-11'' \quad 1110.65$$

$$(16'-4 \frac{13}{16}'' \times 663.62) + (10'-7 \frac{15}{16}'' \times 447.03) = 15,650'-0 \frac{9}{16}''$$

$$19'-11'' \times 1110.65 = 22,120'-5 \frac{3}{8}'' > 15,650'-0 \frac{9}{16}'' \text{, THEREFORE:}$$

19'-11" FRONT SETBACK FROM CENTER OF GORHAM ST, THEREFORE 10' FROM STREET

SIDE SETBACK - NORTH

$\frac{H+L}{5}$ NO CLOSER TO SIDE LOT LINE THAN 7'-6" (refer to ave. height calcs)

and **AVERAGE HEIGHT** = $\frac{(H1 \times L1) + (H2 \times L2)}{L1 + L2}$

$$\frac{(24'-0 \frac{1}{2}'' \times 18'-6 \frac{1}{4}'' + (13'-1 \frac{7}{8}'' \times 14'-9 \frac{1}{4}''))}{18'-6 \frac{1}{4}'' + 14'-9 \frac{1}{4}''} = 19'-2 \frac{3}{8}'' \text{ AVERAGE HEIGHT}$$

$$\frac{19'-2 \frac{3}{8}'' + 33'-3 \frac{5}{8}''}{5} = 10'-6'' \text{ FROM NORTH PROPERTY LINE}$$

SIDE SETBACK - WEST

$\frac{H+L}{5}$ NO CLOSER TO SIDE LOT LINE THAN 7'-6" (refer to ave. height calcs)

and **AVERAGE HEIGHT** = $\frac{(H1 \times L1) + (H2 \times L2)}{L1 + L2}$ and

$\frac{(\text{SETBACK1} \times \text{FACING AREA1}) + (\text{SETBACK2} \times \text{FACING AREA2})}{(\text{SINGLE PLANE SETBACK}) \times (\text{SINGLE PLANE FACING AREA})}$
MUST EQUAL OR EXCEED

SETBACK1 **FACING AREA1**

$$\frac{36'-2 \frac{1}{4}'' + 29'-4 \frac{7}{8}''}{5} = 13'-1 \frac{7}{16}'' \quad 524.55 \text{ SF}$$

SETBACK2 **FACING AREA2**

$$\frac{23'-8 \frac{5}{8}'' + 18'-11''}{5} = 8'-6 \frac{5}{16}'' \quad 271.05 \text{ SF}$$

SETBACK3 **FACING AREA3**

$$\frac{13'-1 \frac{7}{8}'' + 14'}{5} = 5'-5 \frac{3}{16}'' \quad 176.97 \text{ SF}$$

SINGLE PLANE SETBACK **SINGLE PLANE FACING AREA**

$$\frac{31'-4'' + 48'-4''}{5} = 15'-11 \frac{3}{16}'' \quad 972.57$$

$$(13'-1 \frac{7}{16}'' \times 524.55) + (8'-6 \frac{5}{16}'' \times 271.05) + (5'-5 \frac{3}{16}'' \times 176.97) = 10,154'-3 \frac{7}{8}''$$

$$15'-11 \frac{3}{16}'' \times 972.57 = 15,496'-3 \frac{3}{8}'' > 10,154'-3 \frac{7}{8}'' \text{, THEREFORE:}$$

15'-11 3/16" SIDE SETBACK FROM WEST PROPERTY LINE

1 Elevations
1/16" = 1'-0"

Note: Calculations for "Facing Area" do not include receding roof area. Please confirm.

55 Wendell St
Steinberg Muz Residence

Setback Calculations - Existing

Moskow Linn Architects, Inc.

88 Broad Street Boston, Massachusetts 02110

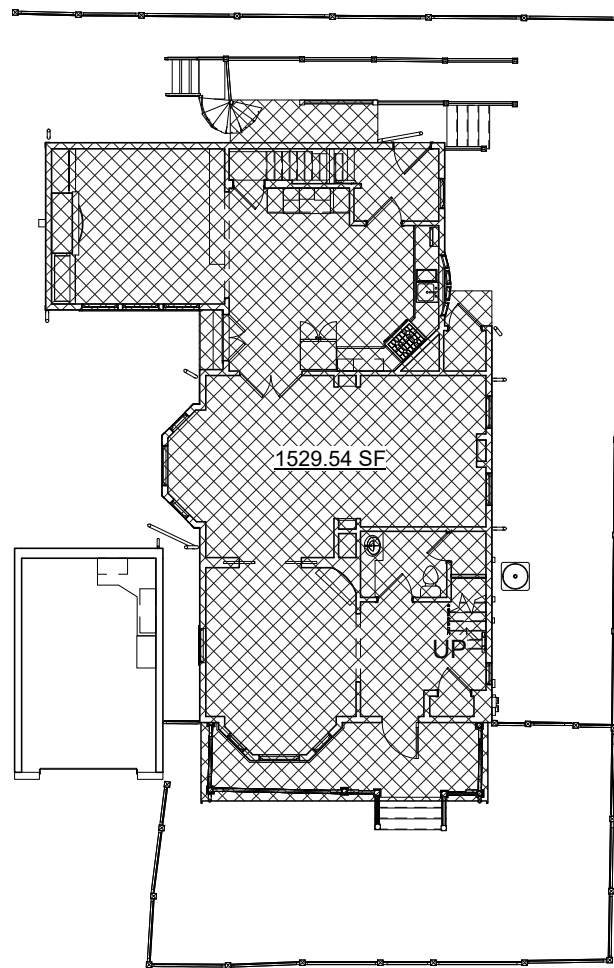
tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

A0.2

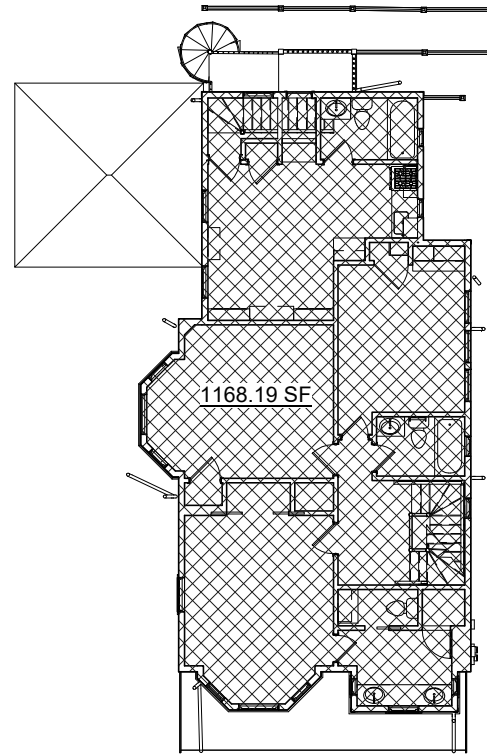
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DATE: 12.08.21

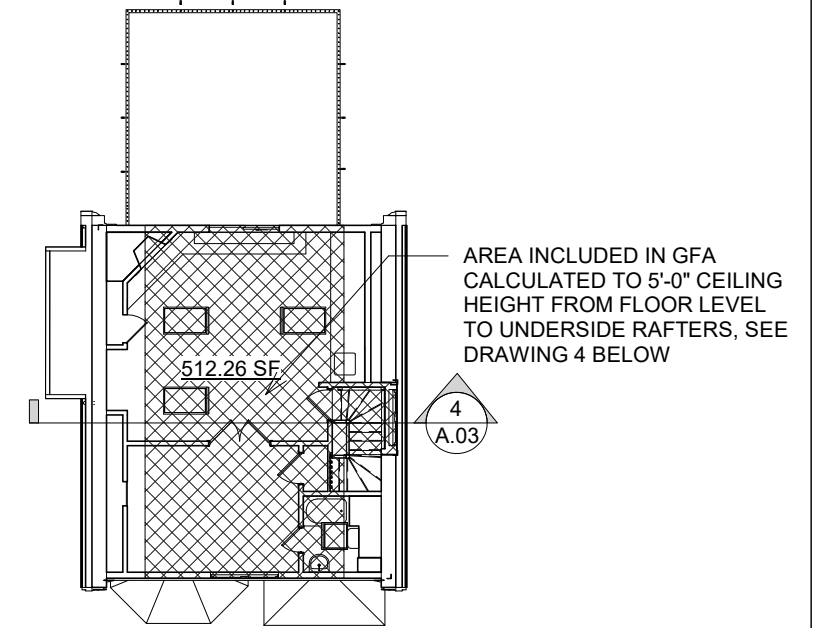
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① First Floor - GFA Calcs
1/16" = 1'-0"



② Second Floor - GFA Calcs
1/16" = 1'-0"



③ Third Floor - GFA Calcs
1/16" = 1'-0"

GFA (GROSS FLOOR AREA) CALCS:

FIRST FLOOR= 1,529.54 SF
 SECOND FLOOR= 1,168.19 SF
 THIRD FLOOR= 512.26 SF
 TOTAL= 3,209.99 SF

FAR (FLOOR AREA RATIO) CALCS:

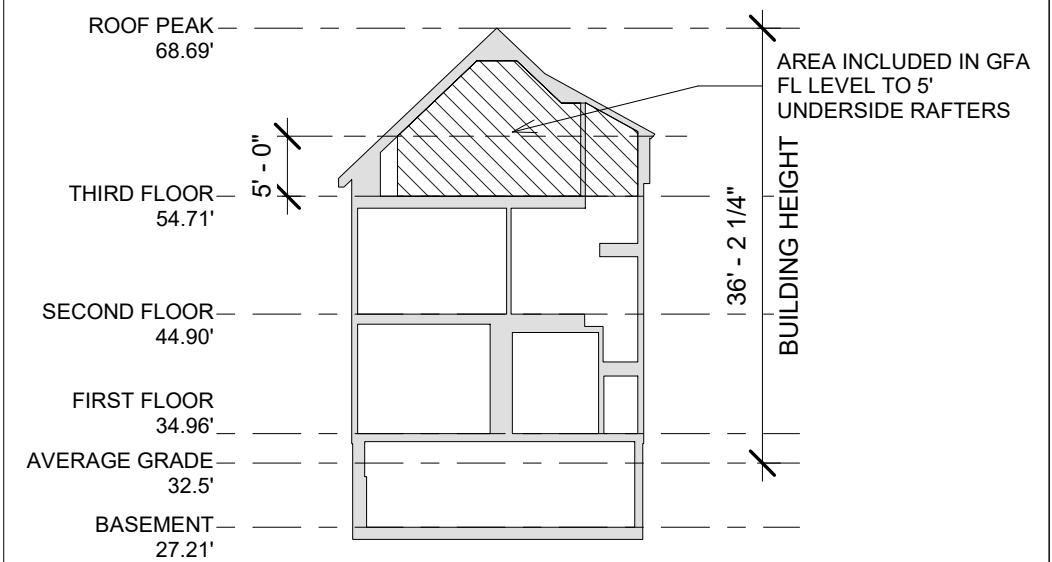
TOTAL GFA = FAR
 LOT AREA

TOTAL GFA = 3,209.99 SF
 LOT AREA= 4,000 SF

$$\frac{3,209.99}{4,000} = .80 \text{ EXISTING FAR}$$

ALLOWABLE FAR IN ZONE C-1 = .75,
 WHICH WOULD BE A GFA OF 3,000 SF.
 EXISTING GFA IS OVER ALLOWABLE BY 209.99 SF

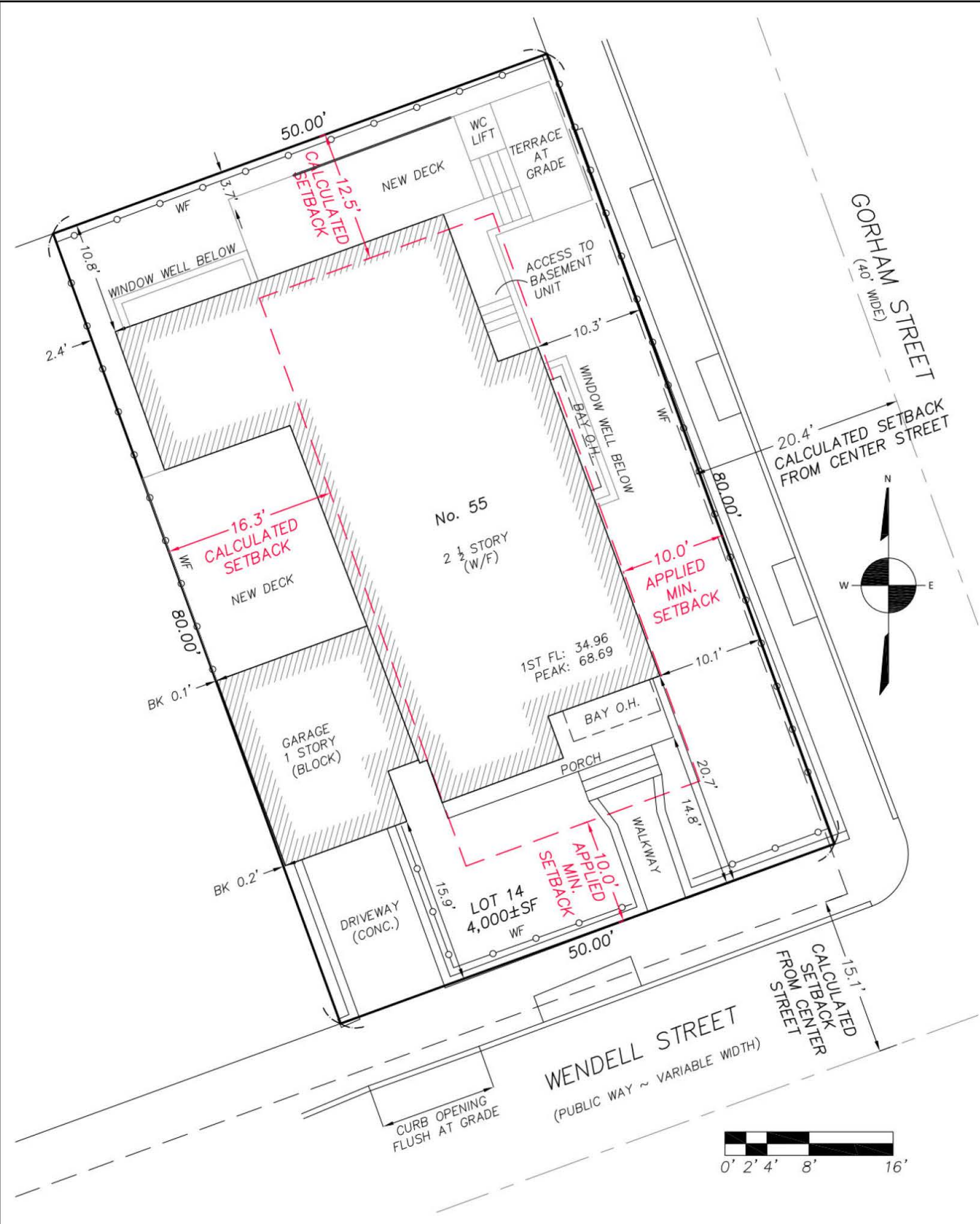
⑤ GFA & FAR CALCS
1/16" = 1'-0"



④ Section
1/16" = 1'-0"

55 Wendell Street, Cambridge, MA
Zoning District C-1

	Allowable	Existing	Proposed
Max. FAR	0.75	0.8	0.89
Min. Lot Area/DU	1,500	2,000	2,000
Min. Front Yard Setback			
Wendell Street	$(H+L) \div 4$ at least 10	14.8'	14.8'
Gorham Street	$(H+L) \div 4$ at least 10	10.1'	10.1'
Min. Side Yards			
North	$(H+L) \div 5$ at least 7.5	10.8'	10.8'
West	$(H+L) \div 5$ at least 7.5	.1'	.1'
Max. Height	35'	36.18'	36.18'
Min. Open Space Ratio	30%	52%	58%
Dimensional Req.	50% of 30% = 15%	9%	21%
Permeable	50% of 30% = 15%	44%	44%



55 Wendell St
 Steinberg Muz Residence

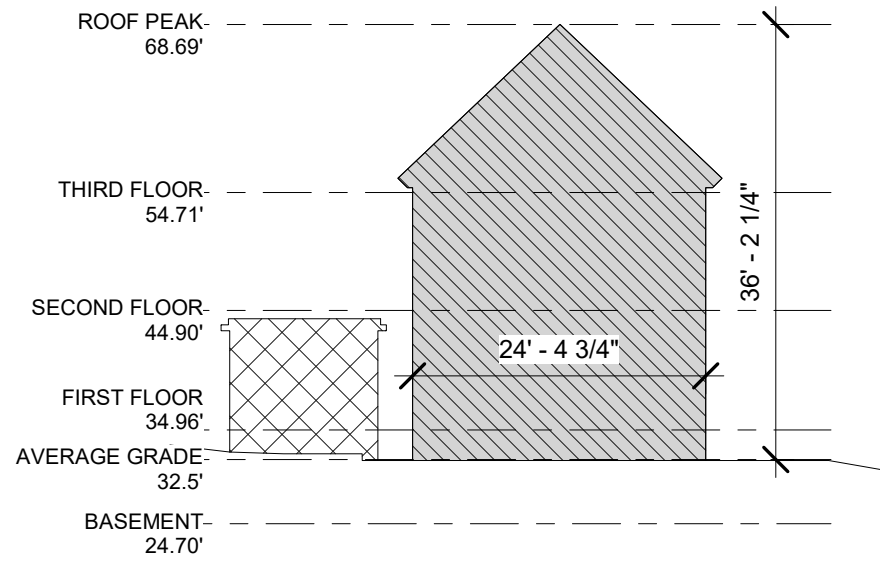
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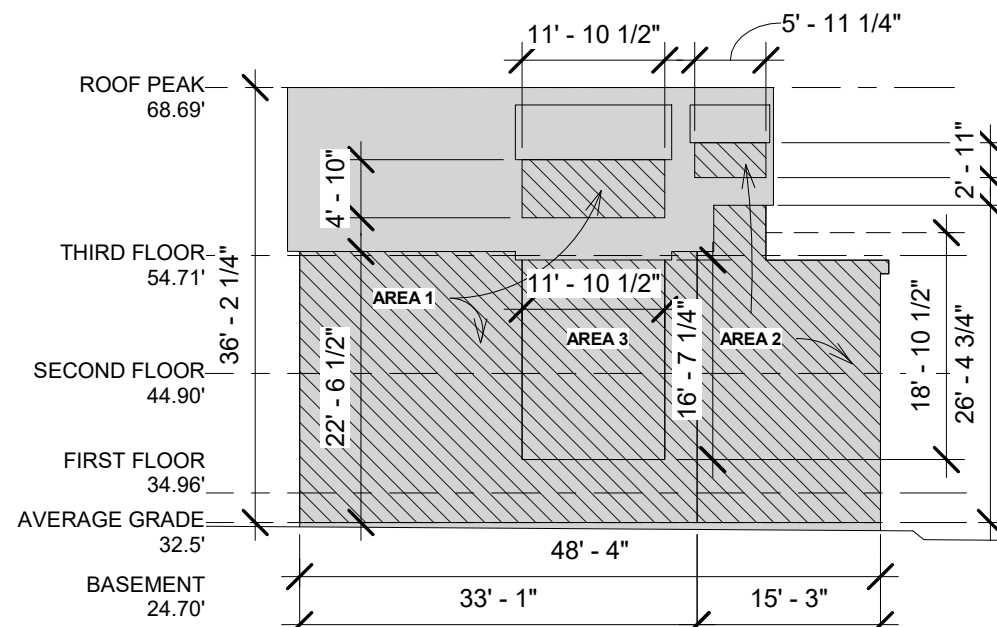
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 DATE: 12.08.21
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General Zoning & Site Plan - Proposed

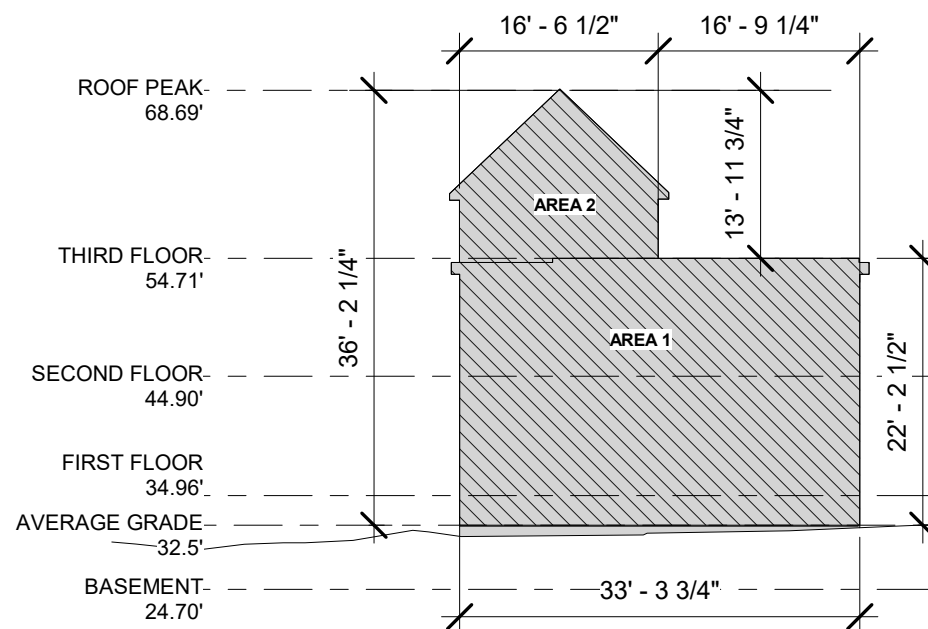
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SOUTH ELEVATION



EAST ELEVATION AVERAGE HEIGHT = 33'-5"
SEE CALC BELOW FOR WEST ELEV.

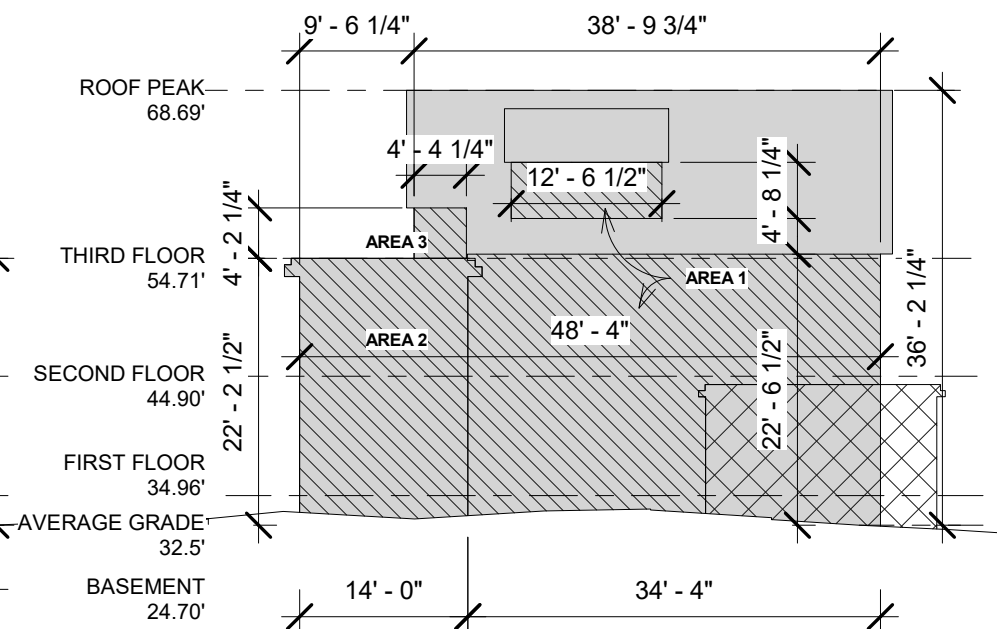


NORTH ELEVATION

$$\text{AVERAGE HEIGHT} = \frac{(H1 \times L1) + (H2 \times L2)}{L1 + L2}$$

$$\frac{(22'-2 \frac{1}{2}'' \times 16'-9 \frac{1}{4}'') + (36'-2 \frac{1}{4}'' \times 16'-6 \frac{1}{2}'')}{16'-9 \frac{1}{4}'' + 16'-6 \frac{1}{2}''}$$

$$= 29'-1 \frac{3}{4}'' \text{ AVERAGE HEIGHT}$$



WEST ELEVATION

$$\text{AVERAGE HEIGHT} = \frac{(H1 \times L1) + (H2 \times L2)}{L1 + L2}$$

$$\frac{(22'-2 \frac{1}{2}'' \times 9'-6 \frac{1}{4}'') + (36'-2 \frac{1}{4}'' \times 38'-9 \frac{3}{4}'')}{9'-6 \frac{1}{4}'' + 38'-9 \frac{3}{4}''}$$

$$= 33'-5'' \text{ AVERAGE HEIGHT}$$

FRONT YARD SETBACK (SOUTH) - WENDELL STREET

$$\frac{H+L}{4} \text{ TO CENTERLINE STREET, MIN. 10' FROM STREET}$$

$$\frac{36'-2 \frac{1}{4}'' + 24'-4 \frac{3}{4}''}{4} = 15'-1 \frac{1}{2}'' \text{ SETBACK FROM CENTER OF WENDELL ST, THEREFORE 10' FROM STREET}$$

FRONT YARD SETBACK (EAST) - GORHAM STREET

$$\frac{H+L}{4} \text{ TO CENTERLINE STREET, MIN. 10' FROM ST (refer to ave. height calcs)}$$

and $\frac{(\text{SETBACK1} \times \text{FACING AREA1}) + (\text{SETBACK2} \times \text{FACING AREA2})}{(\text{SINGLE PLANE SETBACK}) \times (\text{SINGLE PLANE FACING AREA})}$ **MUST EQUAL OR EXCEED**

SETBACK1	FACING AREA1
$\frac{24'-11 \frac{1}{2}'' + 33'-1''}{4} = 14'-6 \frac{1}{8}''$	597.03

SETBACK2	FACING AREA2
$\frac{18'-10 \frac{1}{2}'' + 15'-3''}{4} = 8'-6 \frac{3}{8}''$	371.76 SF

SETBACK3	FACING AREA3
$\frac{16'-7 \frac{1}{4}'' + 11'-10 \frac{1}{2}''}{4} = 7'-1 \frac{7}{16}''$	197.18 SF

SINGLE PLANE SETBACK	SINGLE PLANE FACING AREA
$\frac{33'-5'' + 48'-4''}{4} = 20'-5 \frac{1}{4}''$	1165.97 SF

$$(14'-6 \frac{1}{8}'' \times 597.03) + (8'-6 \frac{3}{8}'' \times 371.76) + (7'-1 \frac{7}{16}'' \times 197.18) = 13,238'-7 \frac{3}{8}''$$

$$20'-5 \frac{1}{4}'' \times 1165.97 = 23,829'-6 \frac{1}{8}'' > 13,238'-7 \frac{3}{8}''$$

20'-5 1/4" FRONT SETBACK FROM CENTER OF GORHAM ST, THEREFORE 10'

SIDE SETBACK - NORTH

$$\frac{H+L}{5} \text{ NO CLOSER TO SIDE LOT LINE THAN 7'-6'' (refer to ave. height calcs)}$$

and $\frac{(\text{SETBACK1} \times \text{FACING AREA1}) + (\text{SETBACK2} \times \text{FACING AREA2})}{(\text{SINGLE PLANE SETBACK}) \times (\text{SINGLE PLANE FACING AREA})}$ **MUST EQUAL OR EXCEED**

SETBACK1	FACING AREA1
$\frac{22'-2 \frac{1}{2}'' + 33'-3 \frac{3}{4}''}{5} = 11'-1 \frac{1}{4}''$	738.38 SF

SETBACK2	FACING AREA2
$\frac{13'-11 \frac{3}{4}'' + 16'-6 \frac{1}{2}''}{5} = 6'-1 \frac{1}{4}''$	172.03 SF

SINGLE PLANE SETBACK	SINGLE PLANE FACING AREA
$\frac{29'-1 \frac{3}{4}'' + 33'-3 \frac{3}{4}''}{5} = 12'-5 \frac{7}{8}''$	910.41 SF

$$(11'-1 \frac{1}{4}'' \times 738.38) + (6'-1 \frac{1}{4}'' \times 172.03) = 9,249'-2 \frac{5}{16}''$$

$$12'-5 \frac{7}{8}'' \times 910.41 = 11,372'-6 \frac{7}{16}'' > 9,249'-2 \frac{5}{16}''$$

12'-5 7/8" SIDE YARD SETBACK FROM NORTH PROPERTY LINE

SIDE SETBACK - WEST

$$\frac{H+L}{5} \text{ NO CLOSER TO SIDE LOT LINE THAN 7'-6'' (refer to ave. height calcs)}$$

and $\text{AVERAGE HEIGHT} = \frac{(H1 \times L1) + (H2 \times L2)}{L1 + L2}$ **MUST EQUAL OR EXCEED**

$$\frac{(\text{SETBACK1} \times \text{FACING AREA1}) + (\text{SETBACK2} \times \text{FACING AREA2})}{(\text{SINGLE PLANE SETBACK}) \times (\text{SINGLE PLANE FACING AREA})}$$

MUST EQUAL OR EXCEED

SETBACK1	FACING AREA1
$\frac{24'-10 \frac{5}{8}'' + 34'-4''}{5} = 11'-10 \frac{1}{8}''$	679.91 SF

SETBACK2	FACING AREA2
$\frac{22'-2 \frac{1}{2}'' + 14'-0''}{5} = 7'-2 \frac{7}{8}''$	313.05 SF

SETBACK3	FACING AREA3
$\frac{4'-2 \frac{1}{4}'' + 4'-4 \frac{1}{4}''}{5} = 1'-8 \frac{1}{2}''$	18.23 SF

SINGLE PLANE SETBACK	SINGLE PLANE FACING AREA
$\frac{33'-5'' + 48'-4''}{5} = 16'-4 \frac{3}{16}''$	1011.19

$$(11'-10 \frac{1}{8}'' \times 679.91) + (7'-2 \frac{7}{8}'' \times 313.05) + (1'-8 \frac{1}{2}'' \times 18.23) = 10,350'-2 \frac{1}{8}''$$

$$16'-4 \frac{3}{16}'' \times 1011.19 = 16,532'-11 \frac{1}{2}'' > 10,350'-2 \frac{1}{8}''$$

16'-4 3/16" SIDE SETBACK FROM WEST PROPERTY LINE

① Elevations - Proposed
1/16" = 1'-0"

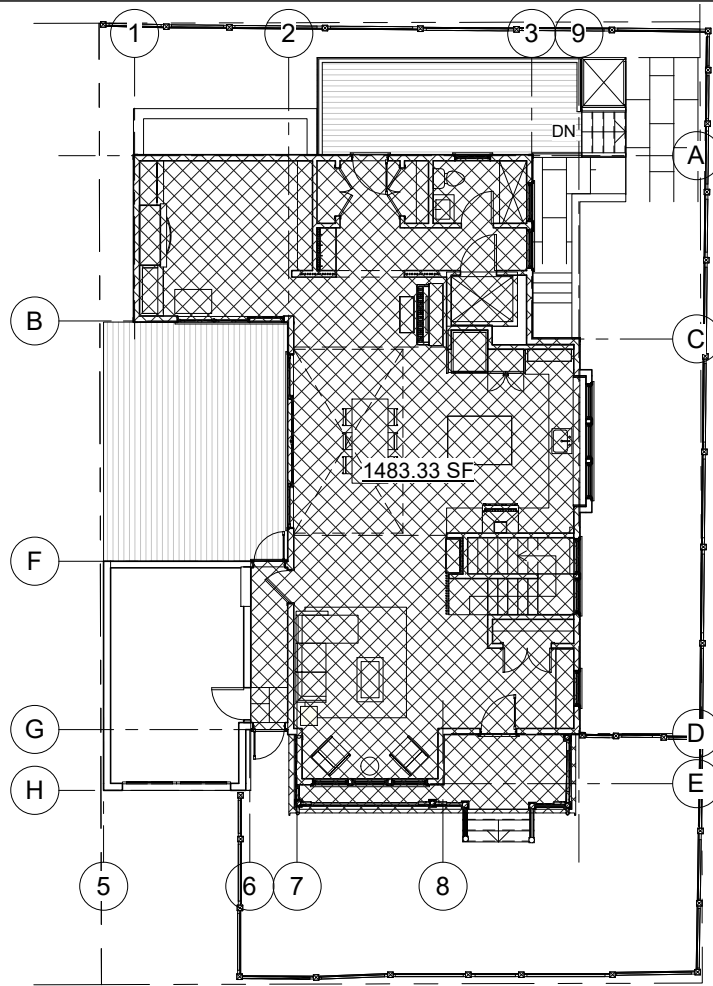
Note: Calculations for "Facing Area" do not include receding roof area.

55 Wendell St
Steinberg Muz Residence
Setback Calculations - Proposed

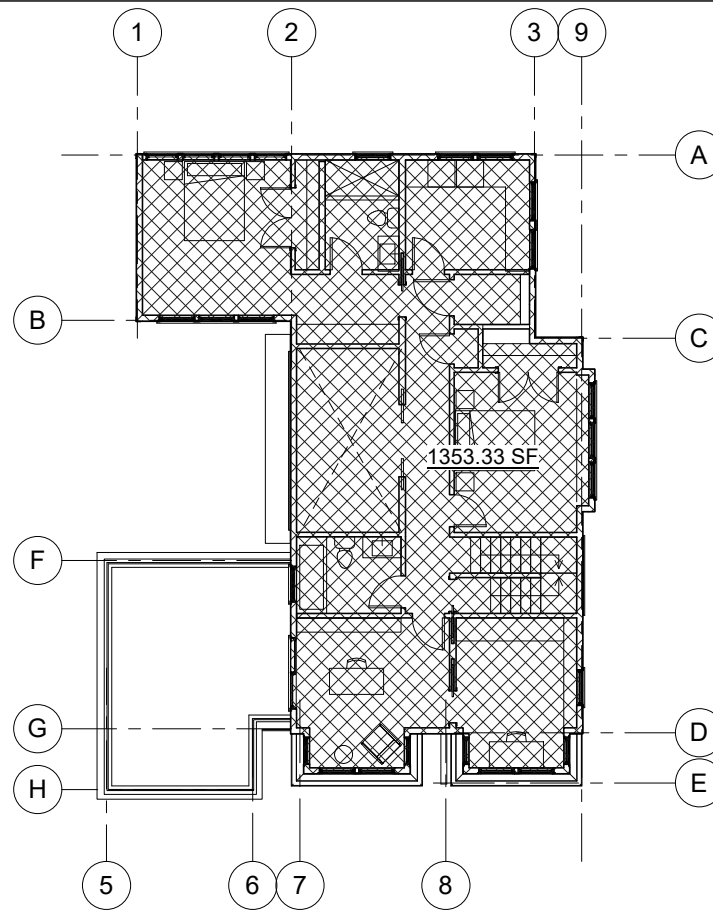
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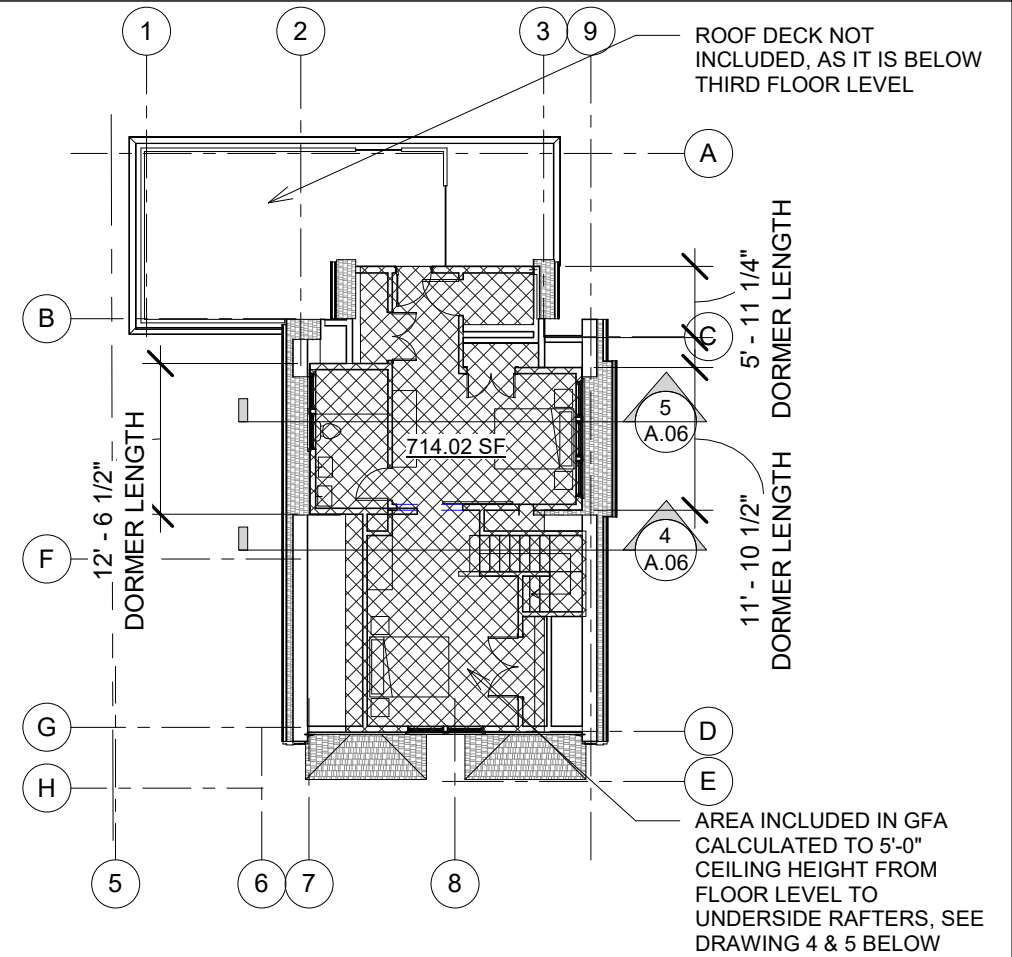
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DATE: 12.08.21
DRAWN BY: MLA



1 First Floor - GFA Calcs Proposed
1/16" = 1'-0"



2 Second Floor - GFA Calcs Proposed
1/16" = 1'-0"



3 Third Floor - GFA Calcs Proposed
1/16" = 1'-0"

GFA (GROSS FLOOR AREA) CALCS:

FIRST FLOOR= 1,483.33 SF
SECOND FLOOR= 1,353.33 SF
THIRD FLOOR= 714.02 SF
TOTAL= 3,550.68 SF

FAR (FLOOR AREA RATIO) CALCS:

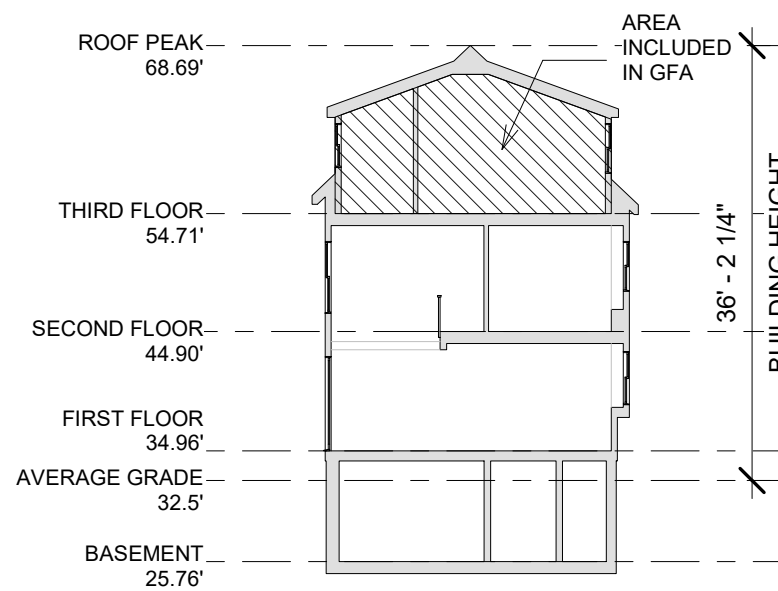
TOTAL GFA = FAR
LOT AREA

TOTAL GFA = 3,550.68 SF
LOT AREA= 4,000 SF

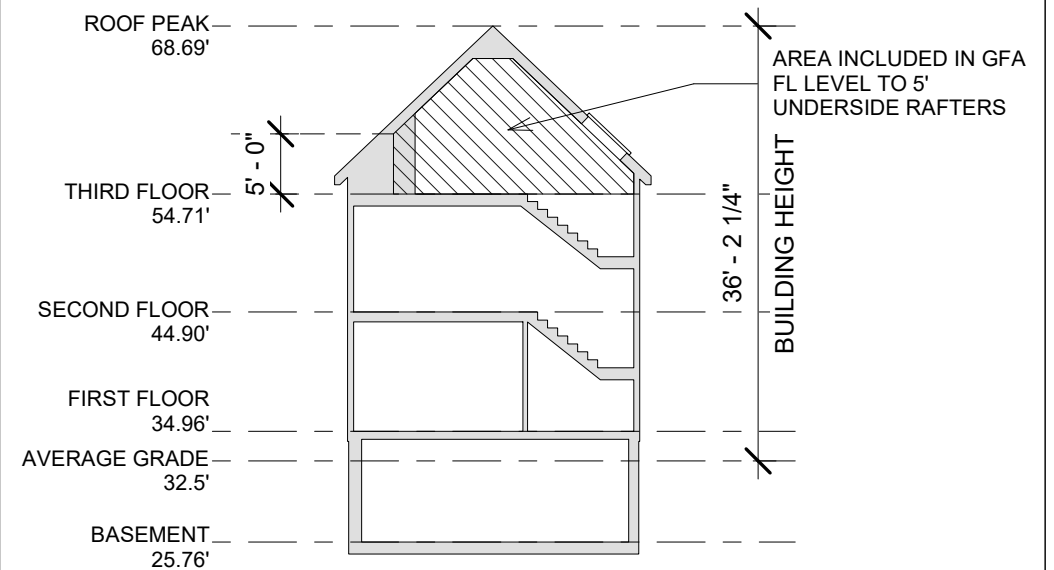
$$\frac{3,550.68}{4,000} = .89 \text{ PROPOSED FAR}$$

ALLOWABLE FAR IN ZONE C-1 = .75,
WHICH WOULD BE A GFA OF 3,000 SF.
EXISTING FAR IS .80, THEREFORE PROPOSED
FAR IS .09 MORE THAN EXISTING FAR

6 GFA & FAR CALCS - Proposed
1/16" = 1'-0"

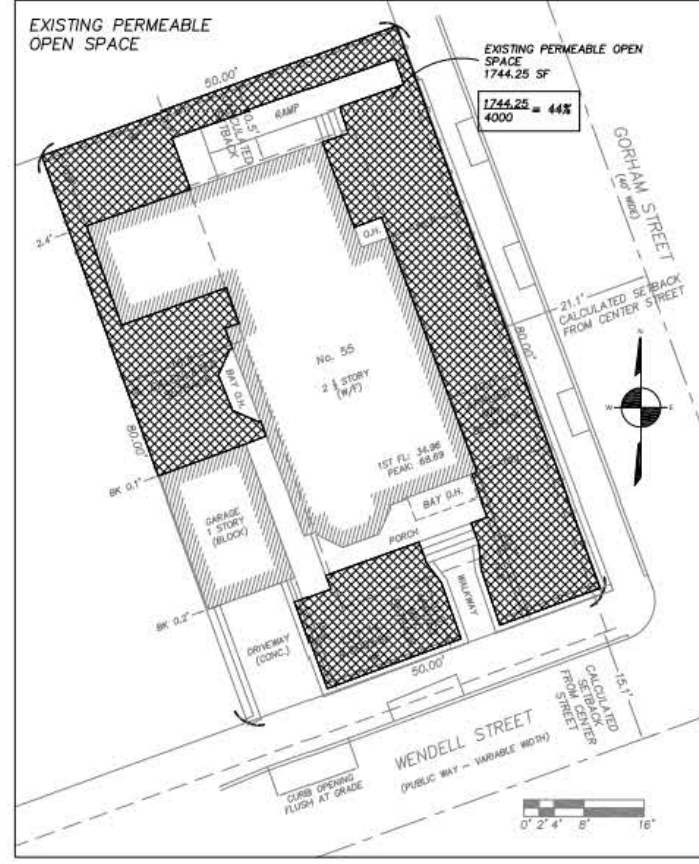
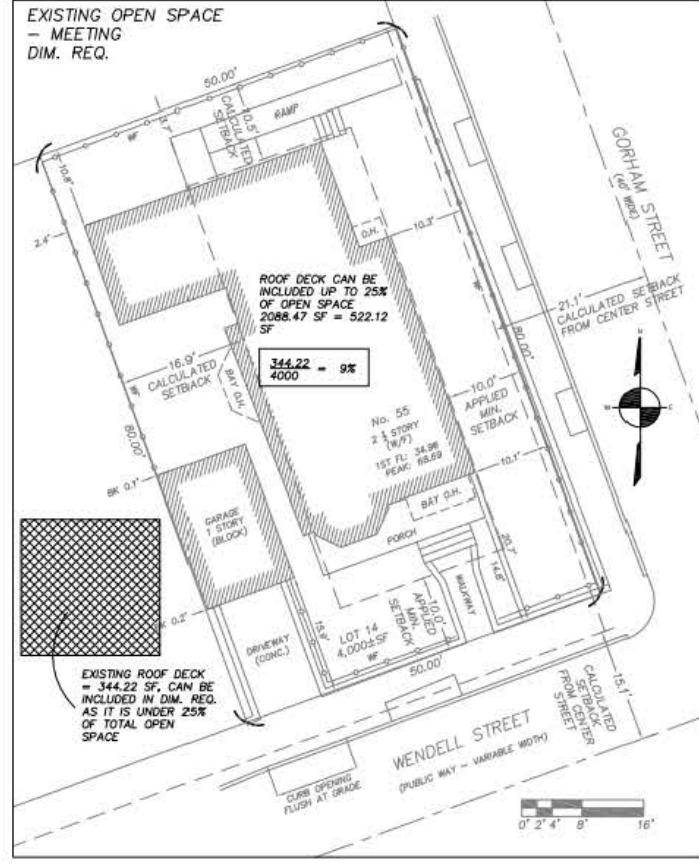
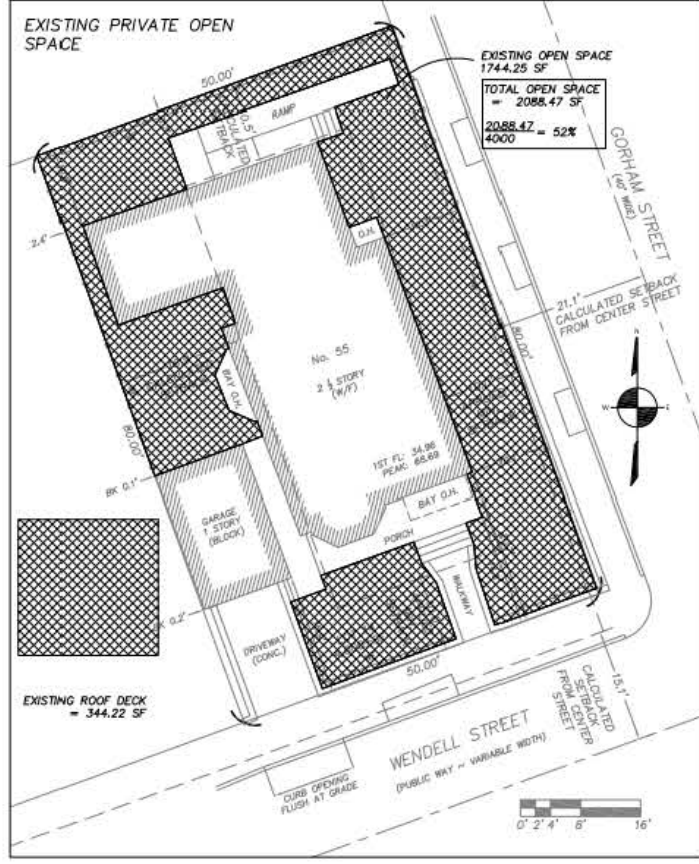
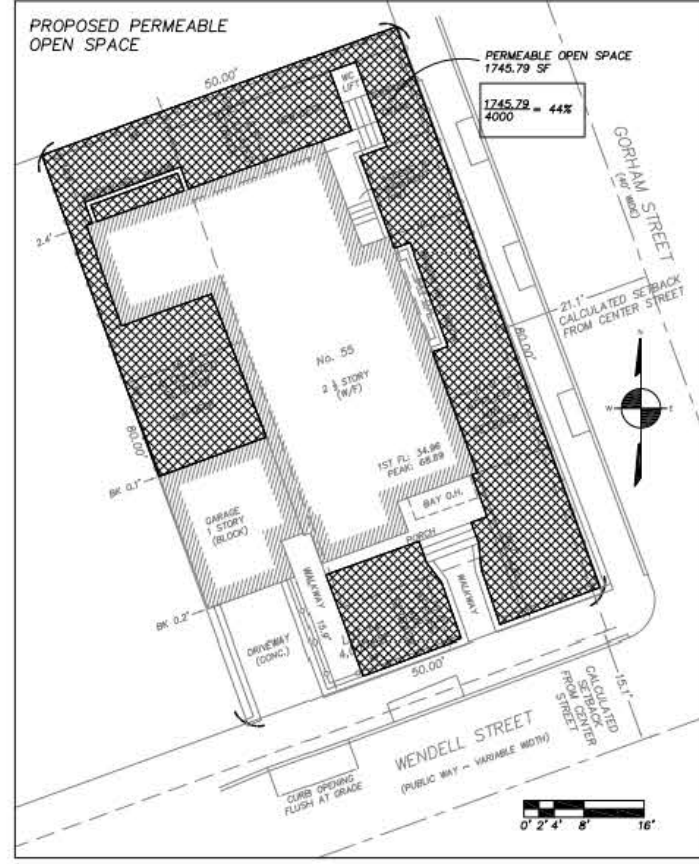
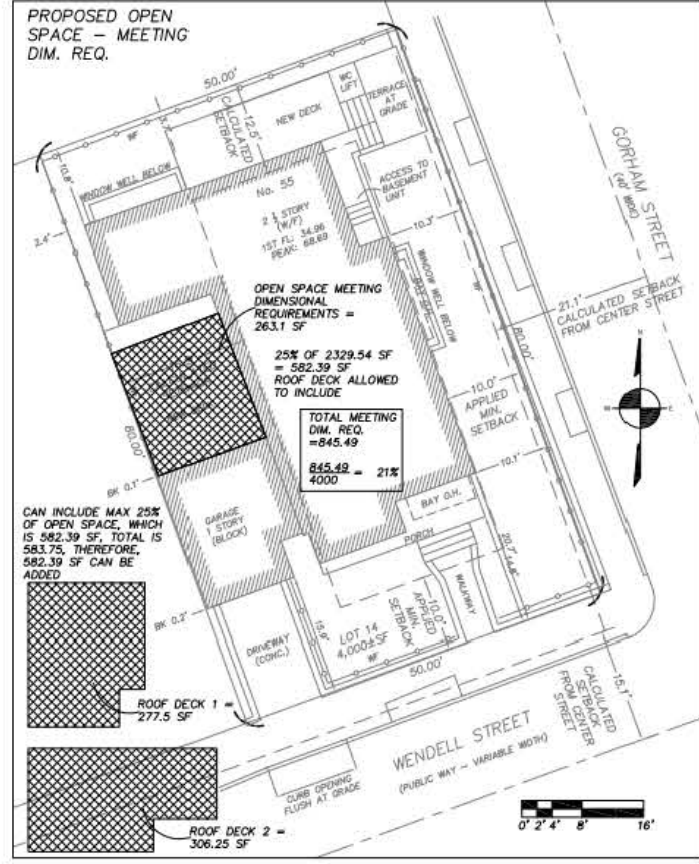
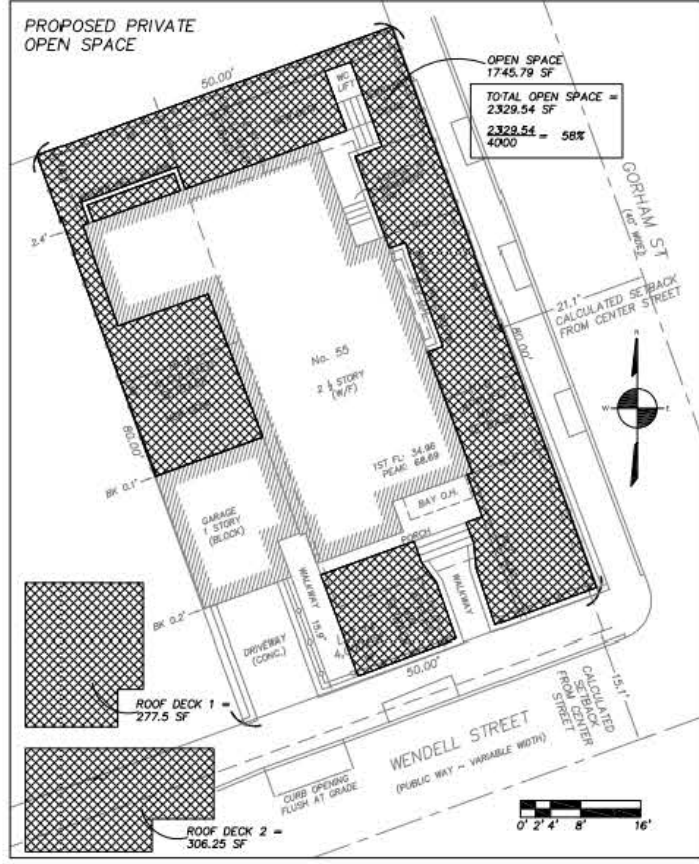


5 Section - at Dormers
1/16" = 1'-0"



4 Section - at Stair
1/16" = 1'-0"

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① Wendell Street Elevation
1/16" = 1'-0"



② Gorham Street Elevation
1/16" = 1'-0"

55 Wendell St
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Street Elevations

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A0.8

SCALE: 1/16" = 1'-0"
DATE: 12.08.21
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① 49-51 WENDELL STREET



② 53 WENDELL STREET



③ 57-59 GORHAM STREET



④ 61 GORHAM STREET



55 WENDELL ST - GARAGE



55 WENDELL ST - FRONT



⑤ 63 WENDELL STREET



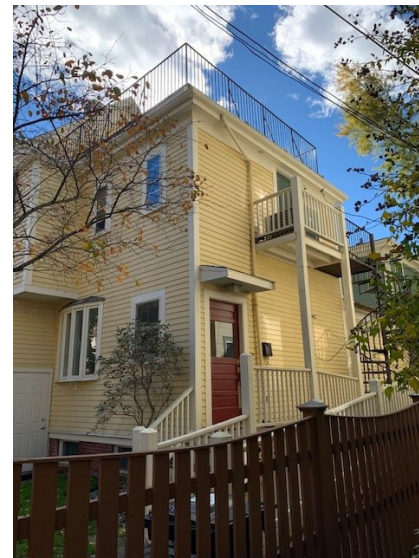
⑥ 60 WENDELL STREET



⑦ 56-58 WENDELL STREET



55 WENDELL ST - ELEVATION FROM GORHAM STREET



55 WENDELL ST - BACK



55 WENDELL ST - COURTYARD 1



55 WENDELL ST - COURTYARD 2

55 Wendell St
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Site Plan w/ Neighbors

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SCALE: 1" = 100'-0"
DATE: 12.08.21
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Proposed - Winter Solstice - 9am



Existing - Winter Solstice - 9am



Proposed - Winter Solstice - 12pm



Existing - Winter Solstice - 12pm



Proposed - Winter Solstice - 3pm



Existing - Winter Solstice - 3pm

55 Wendell St
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Sun Studies - Winter Solstice - 3D Views

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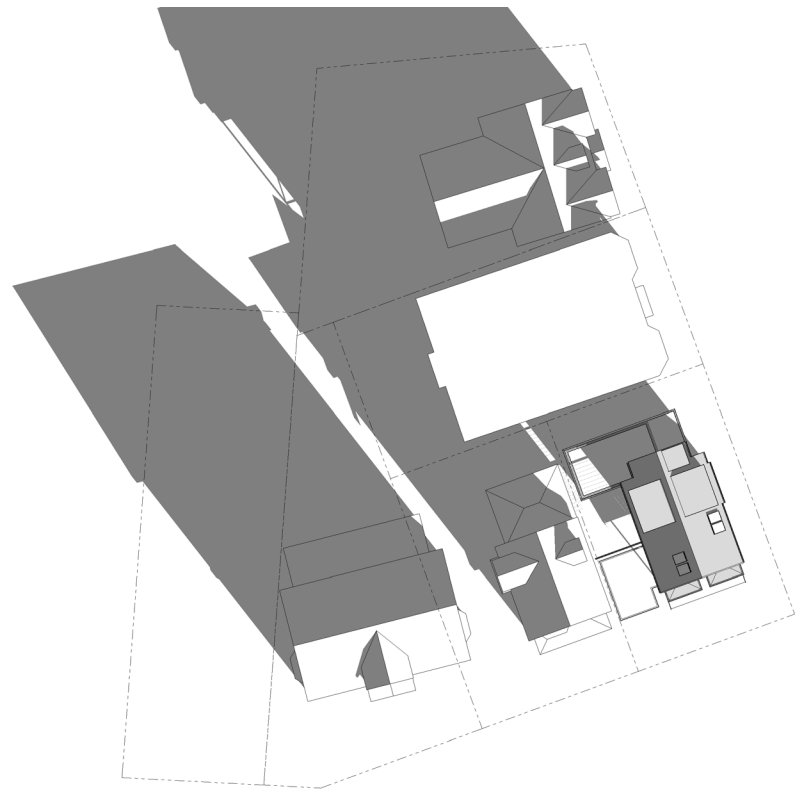
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A0.10

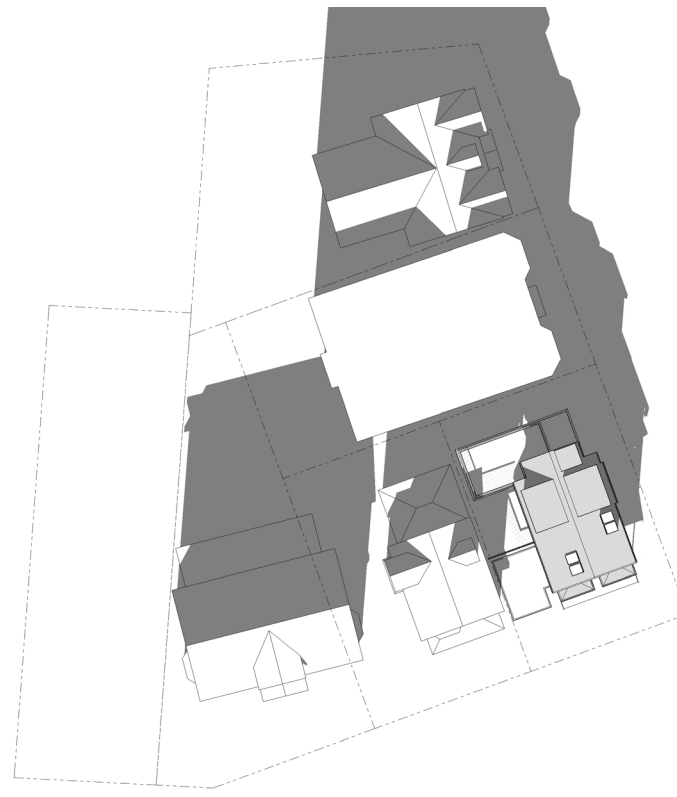
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DATE: 12.08.21

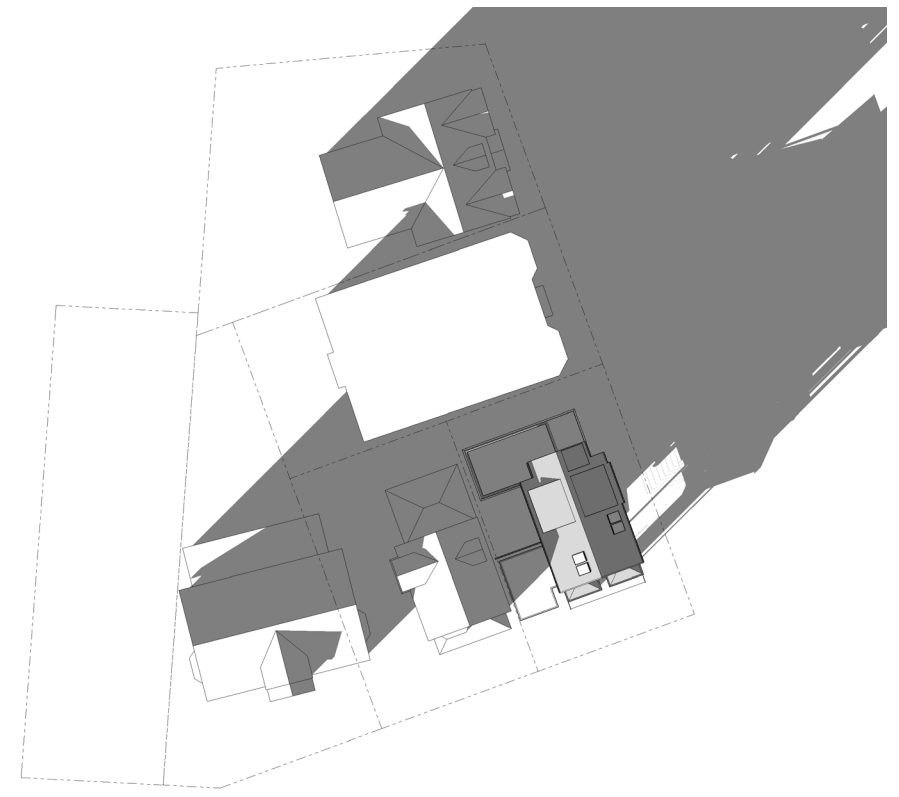
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Proposed - Winter Solstice - 9am



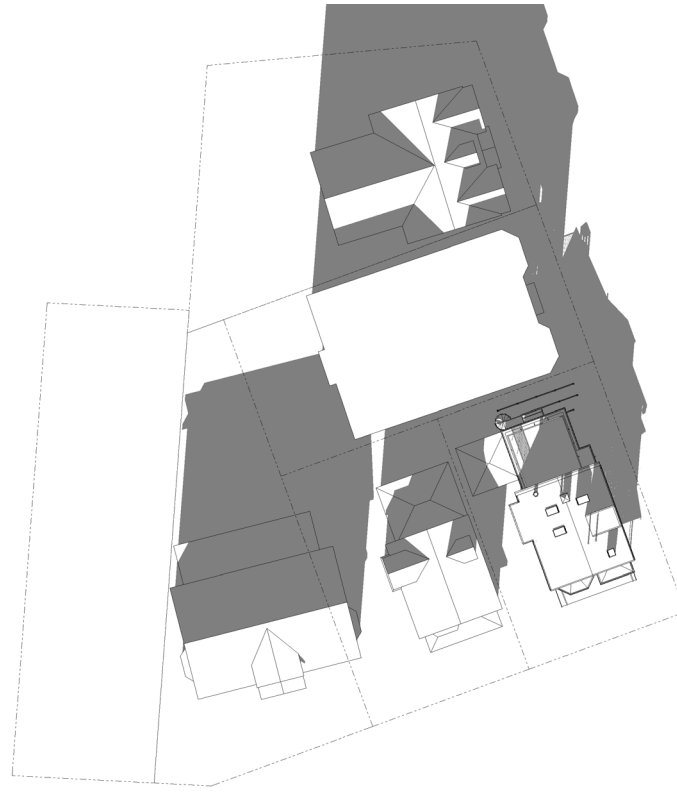
Proposed - Winter Solstice - 12pm



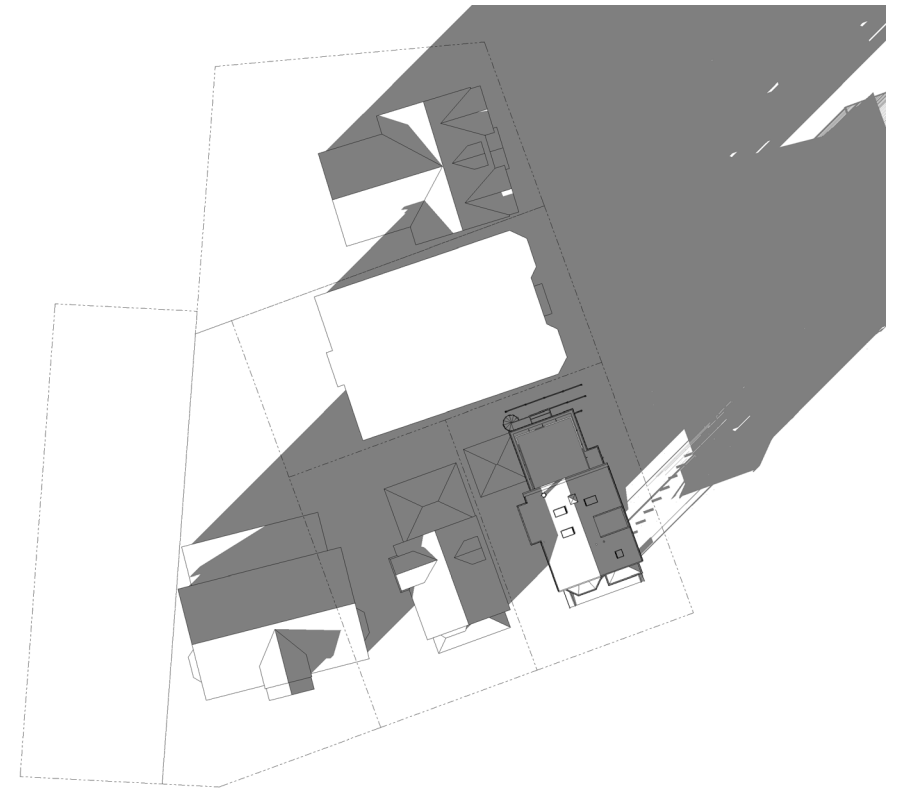
Proposed - Winter Solstice - 3pm



Existing - Winter Solstice - 9am



Existing - Winter Solstice - 12pm



Existing - Winter Solstice - 3pm

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Sun Studies - Winter Solstice - Plan Views

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A0.11

SCALE:

DATE: 12.08.21

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Proposed - Summer Solstice - 9am



Existing - Summer Solstice - 9am



Proposed - Summer Solstice - 12pm



Existing - Summer Solstice - 12pm



Proposed - Summer Solstice - 3pm



Existing - Summer Solstice - 3pm

55 Wendell St
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Sun Studies - Summer Solstice - 3D Views

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A0.12

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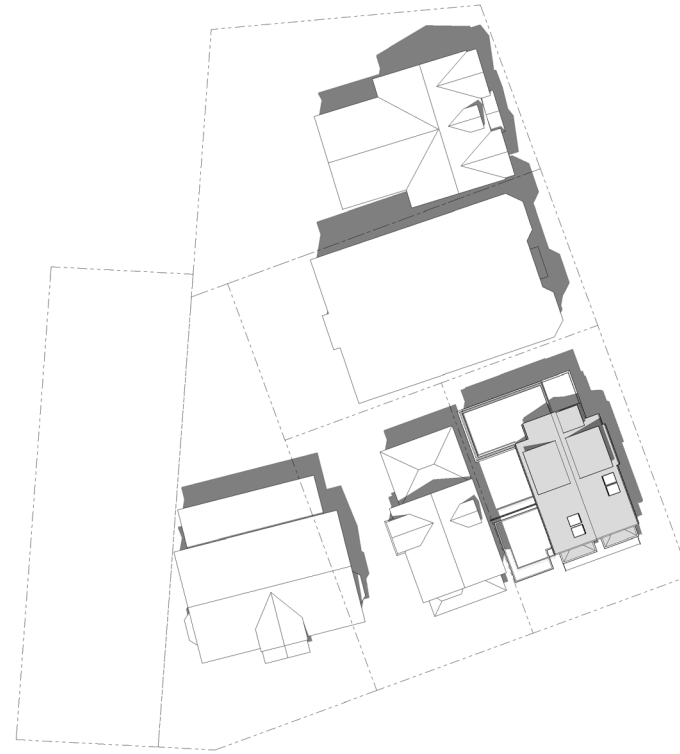
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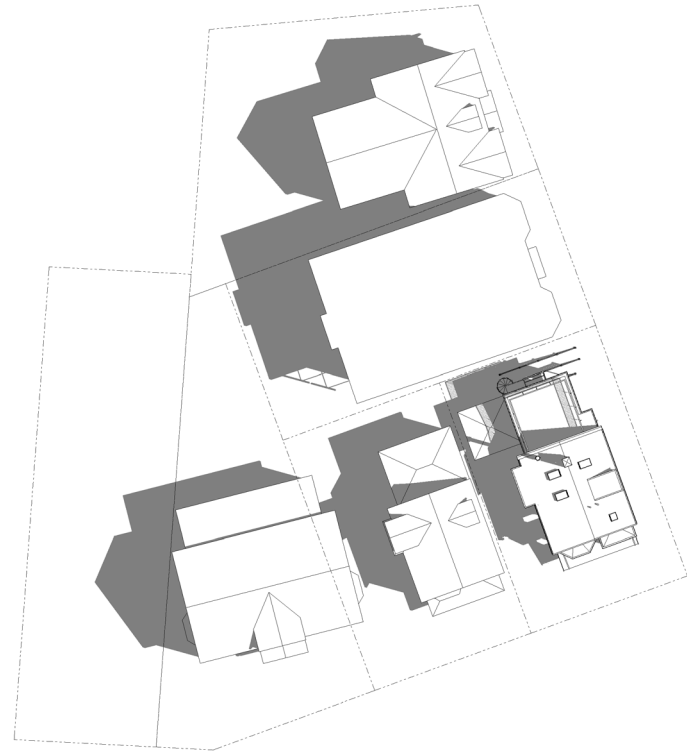
Proposed - Summer Solstice - 9am



Proposed - Summer Solstice - 12pm



Proposed - Summer Solstice - 3pm



Existing - Summer Solstice - 9am



Existing - Summer Solstice - 12pm



Existing - Summer Solstice - 3pm

SCALE:

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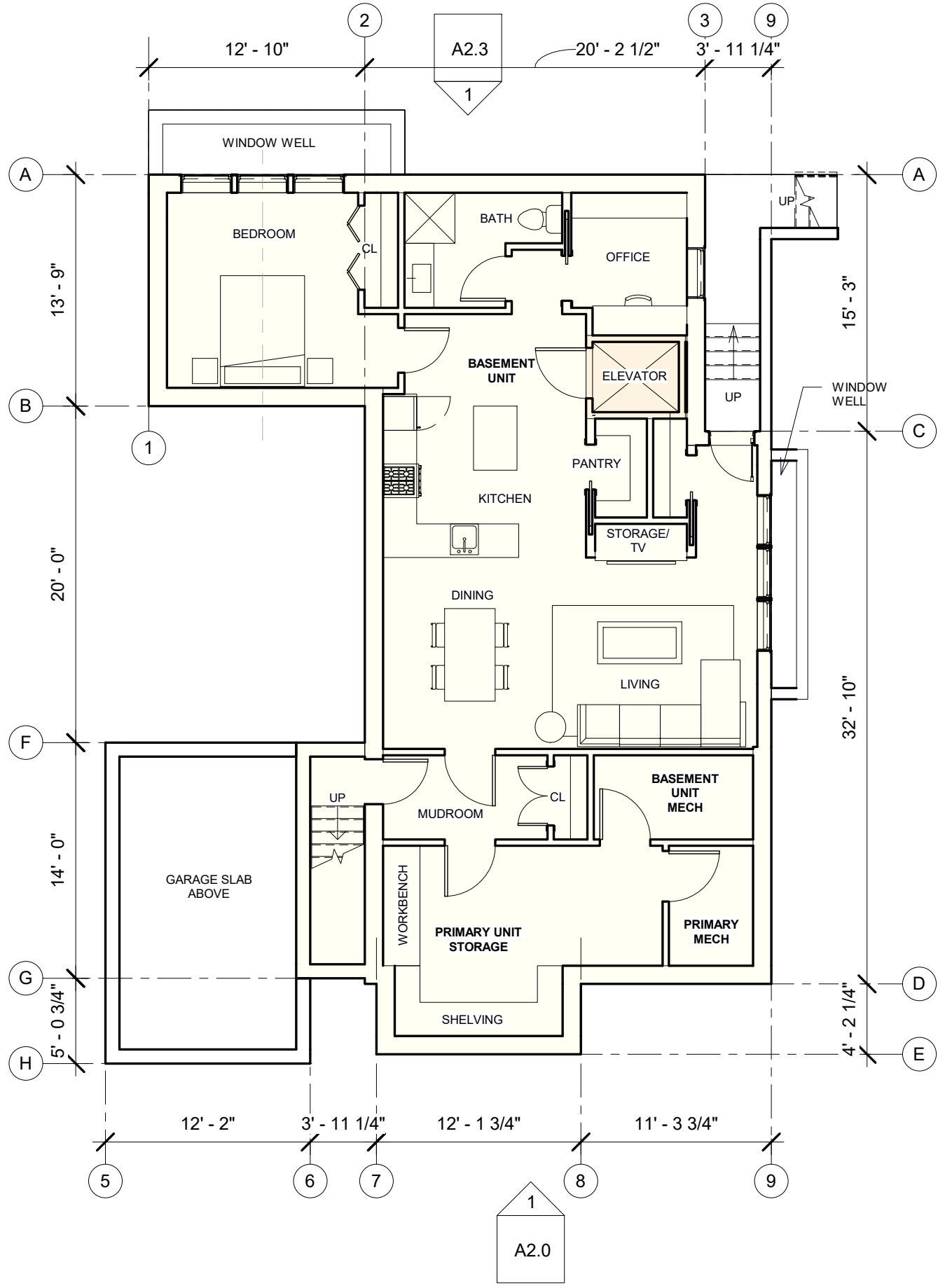
55 Wendell St

Steinberg Muz Residence

Sun Studies - Summer Solstice - Plan Views

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1 Basement
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

DATE: 12.08.21

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A1.0

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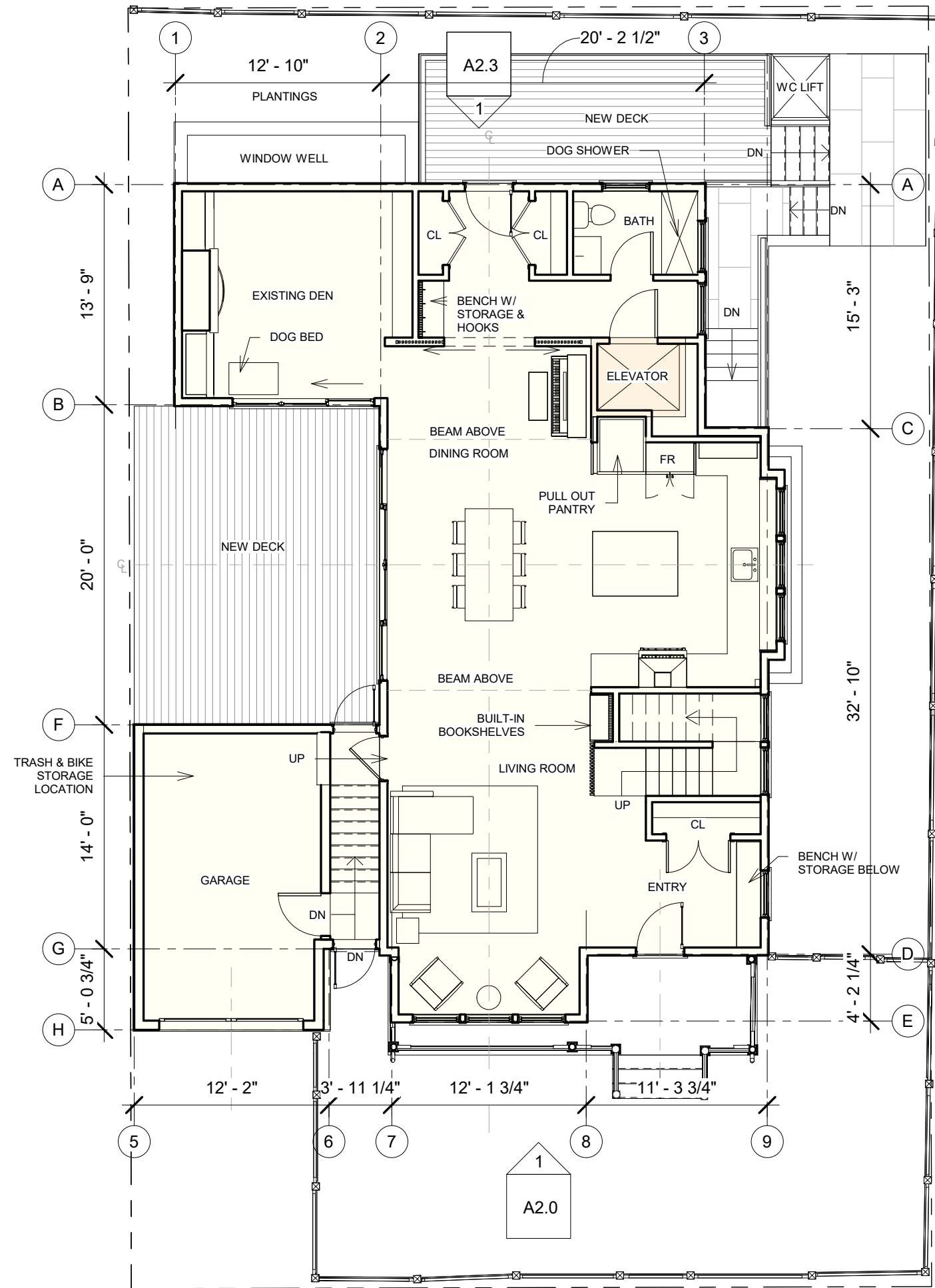
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Basement Plan

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1 First Floor
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"
 DATE: 12.08.21
 DRAWN BY: MLA

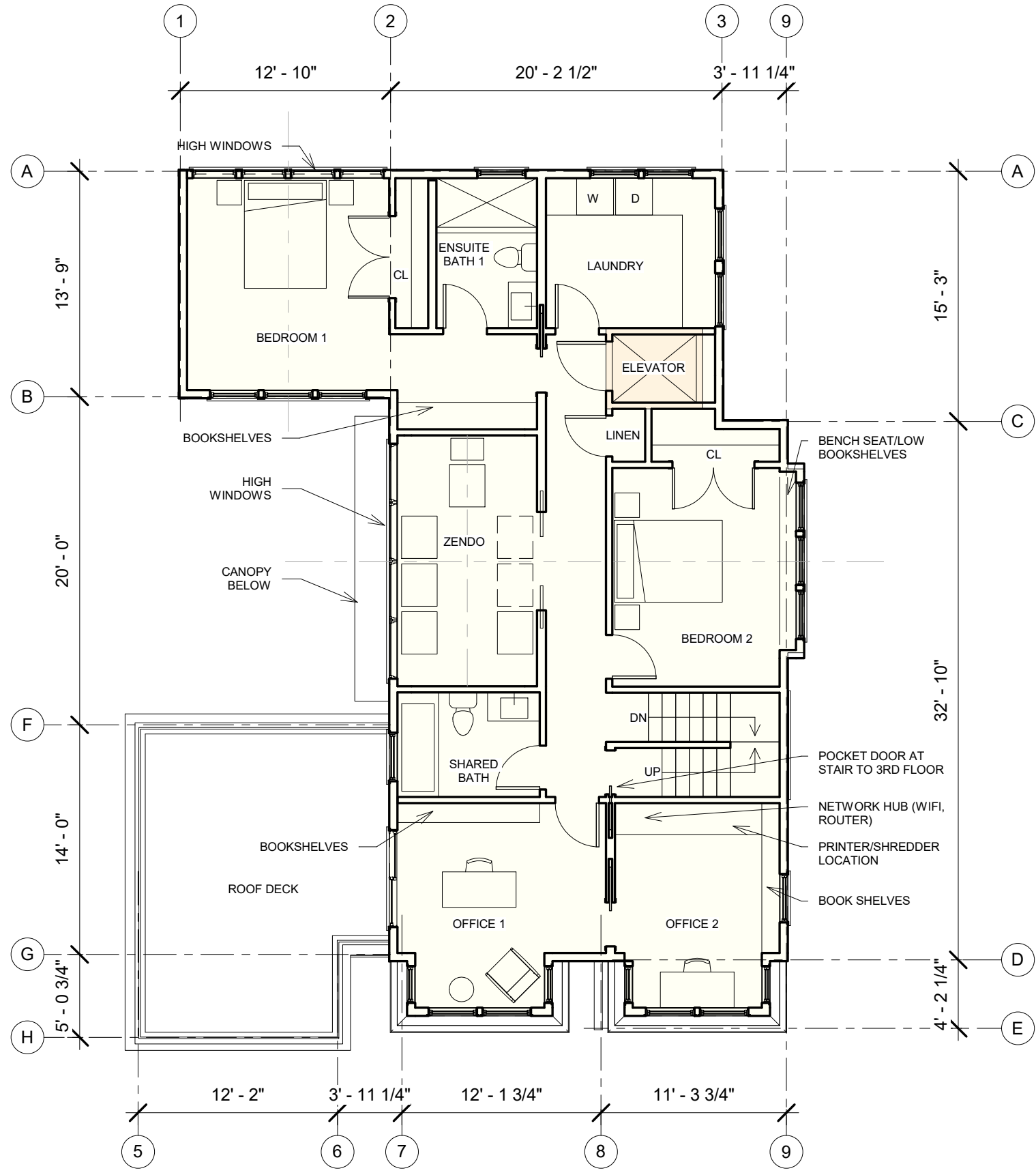
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55 Wendell St
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 First Floor Plan

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1 Second Floor
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

DATE: 12.08.21

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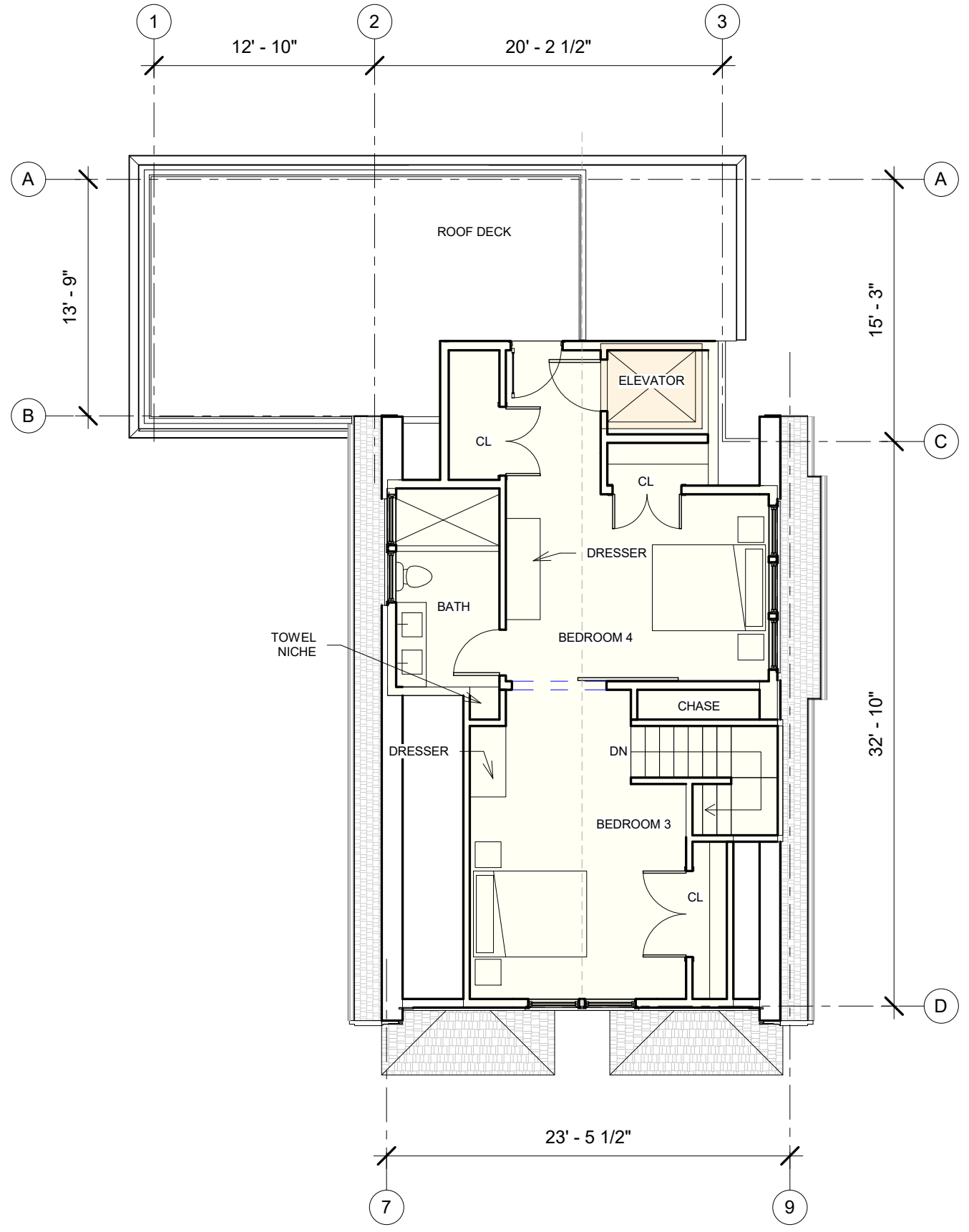
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55 Wendell St
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Second Floor Plan

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1 Third Floor
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

DATE: 12.08.21

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A1.3

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55 Wendell St
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Third Floor Plan



1 South Elevation
1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

DATE: 12.08.21

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A2.0

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55 Wendell St
Steinberg Muz Residence

South Elevation

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1 East Elevation
 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

DATE: 12.08.21

DRAWN BY: MLA

A2.2

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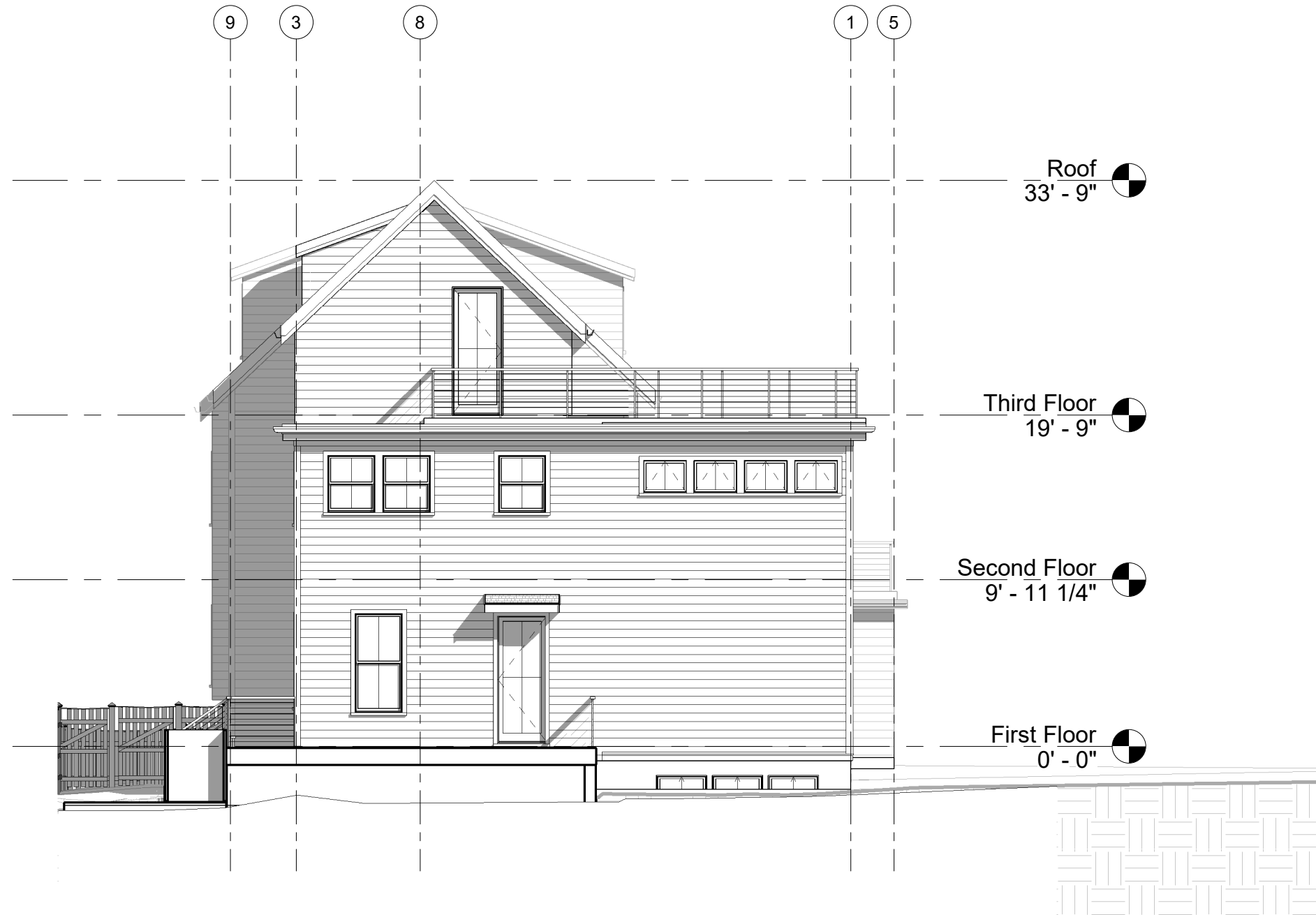
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55 Wendell St
 Steinberg Muz Residence

East Elevation

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1 North Elevation
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

DATE: 12.08.21

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A2.3

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55 Wendell St
Steinberg Muz Residence

North Elevation



1 West Elevation
1/8" = 1'-0"

55 Wendell St
Steinberg Muz Residence
West Elevation

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A2.4

SCALE: 1/8" = 1'-0"
DATE: 12.08.21
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1 Street View



2 Aerial View

SCALE:

DATE: 12.08.21

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A3.0

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55 Wendell St
Steinberg Muz Residence

3D Views

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 PETER MUZ
 TRUSTEES OF THE
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 CAMBRIDGE, MA 02138

REFERENCES:
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 PLAN: PL BK 46; PL 11
 PL 1950 #1507
 LCC: 5628-A
 13718-A
 17026-A

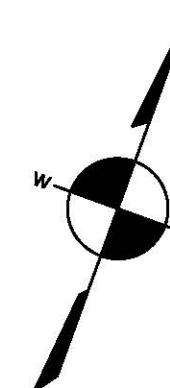
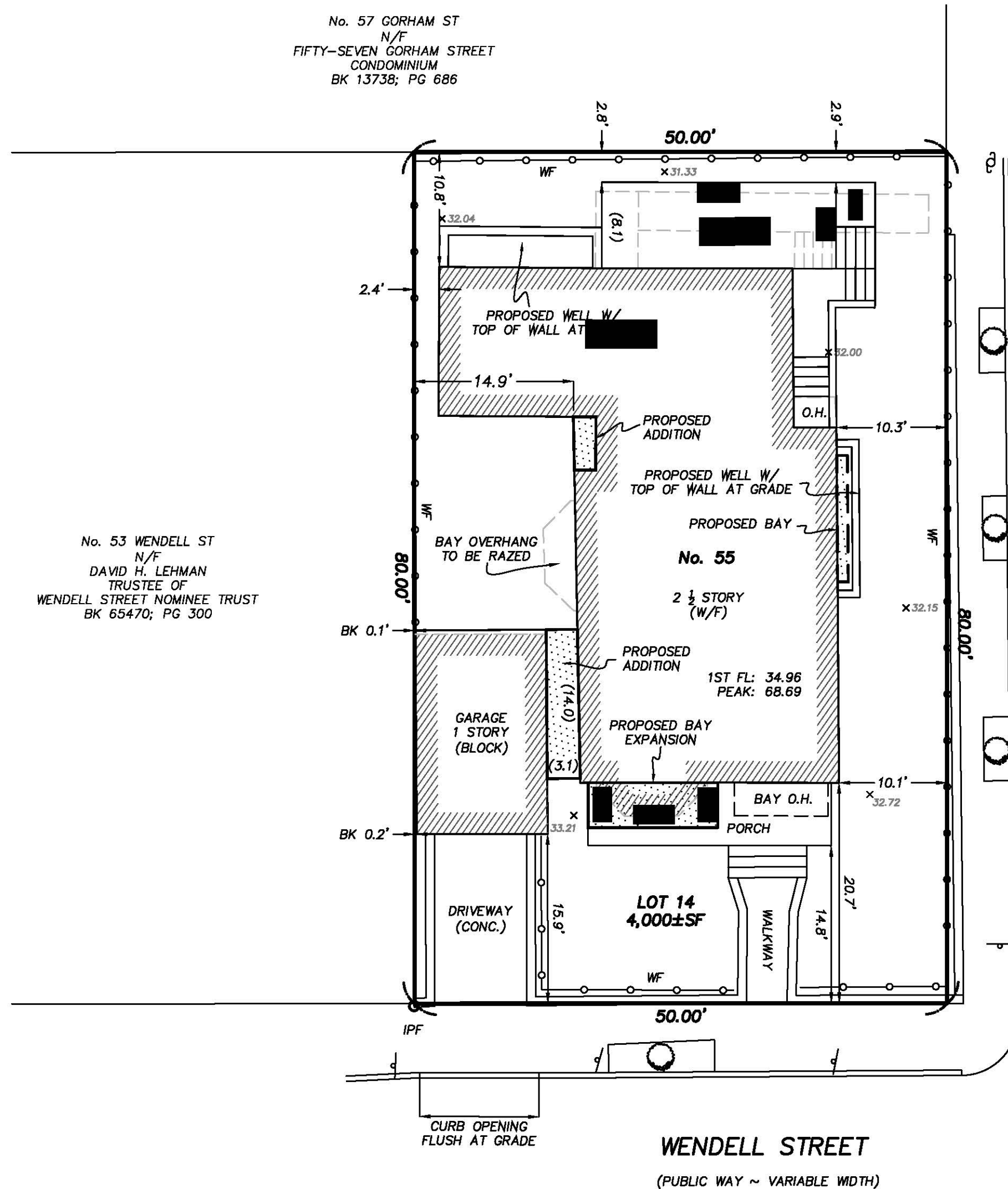
CITY OF CAMBRIDGE ENGINEERING RECORDS
 PL 2054
 PL 2055
 FB 158; PG 3
 FB 120; PGS 96-97
 STR-05-24 OXFORD STREET
 STR-13-08 WENDELL STREET

NOTES:
 PARCEL ID: 150-74
 ZONING: C-1
 DATUM: CAMBRIDGE BASE

CERTIFIED PLOT PLAN

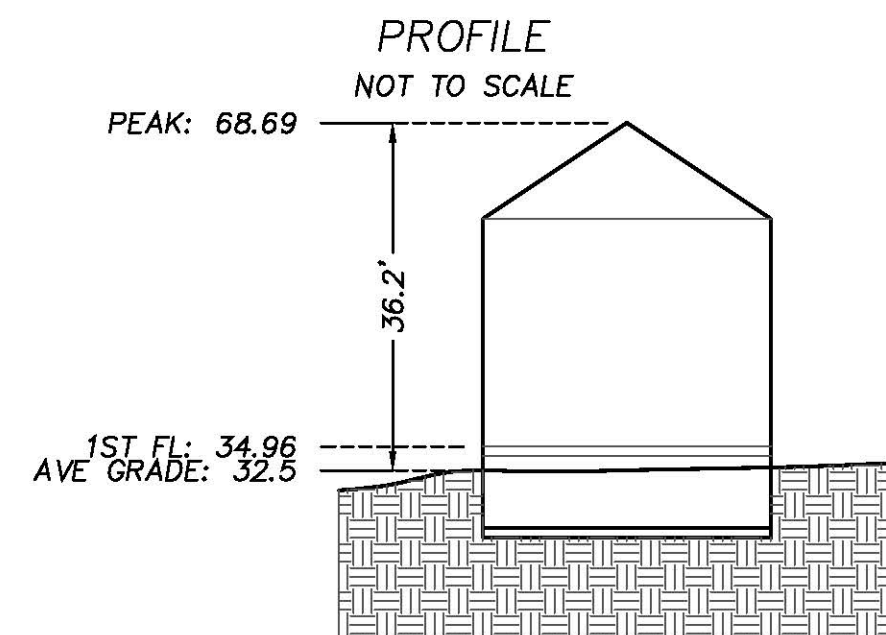
LOCATED AT
55 WENDELL STREET
CAMBRIDGE, MA

SCALE: 1.0 INCH = 10.0 FEET



PROPOSED WELL
 W/ TOP OF WALL
 AT GRADE

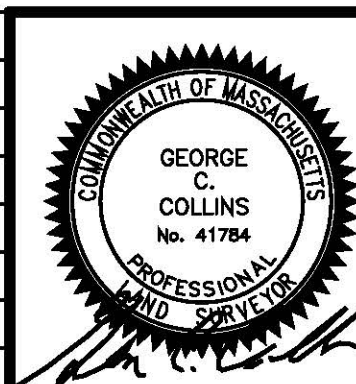
CORHAM STREET
 (40' WIDE)



I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF SEPTEMBER 13, 2021 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS
 ZONE: X
 COMMUNITY PANEL: 25017C0438E
 EFFECTIVE DATE: 06/04/2010

FIELD:	JJH
DRAFT:	RAP
CHECK:	GCC
DATE:	11/11/21
JOB #	21-00528





1 South Elevation
1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

DATE: 12.08.21

DRAWN BY: MLA

A2.0

Moskow Linn Architects, Inc.

88 Broad Street Boston, Massachusetts 02110

tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

55 Wendell St
Steinberg Muz Residence

South Elevation

C:\Users\sc\Desktop\Wendell\20211102_55 Wendell St_Option 2.rvt



① East Elevation
1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

DATE: 12.08.21

DRAWN BY: MLA

A2.2

Moskow Linn Architects, Inc.

88 Broad Street Boston, Massachusetts 02110

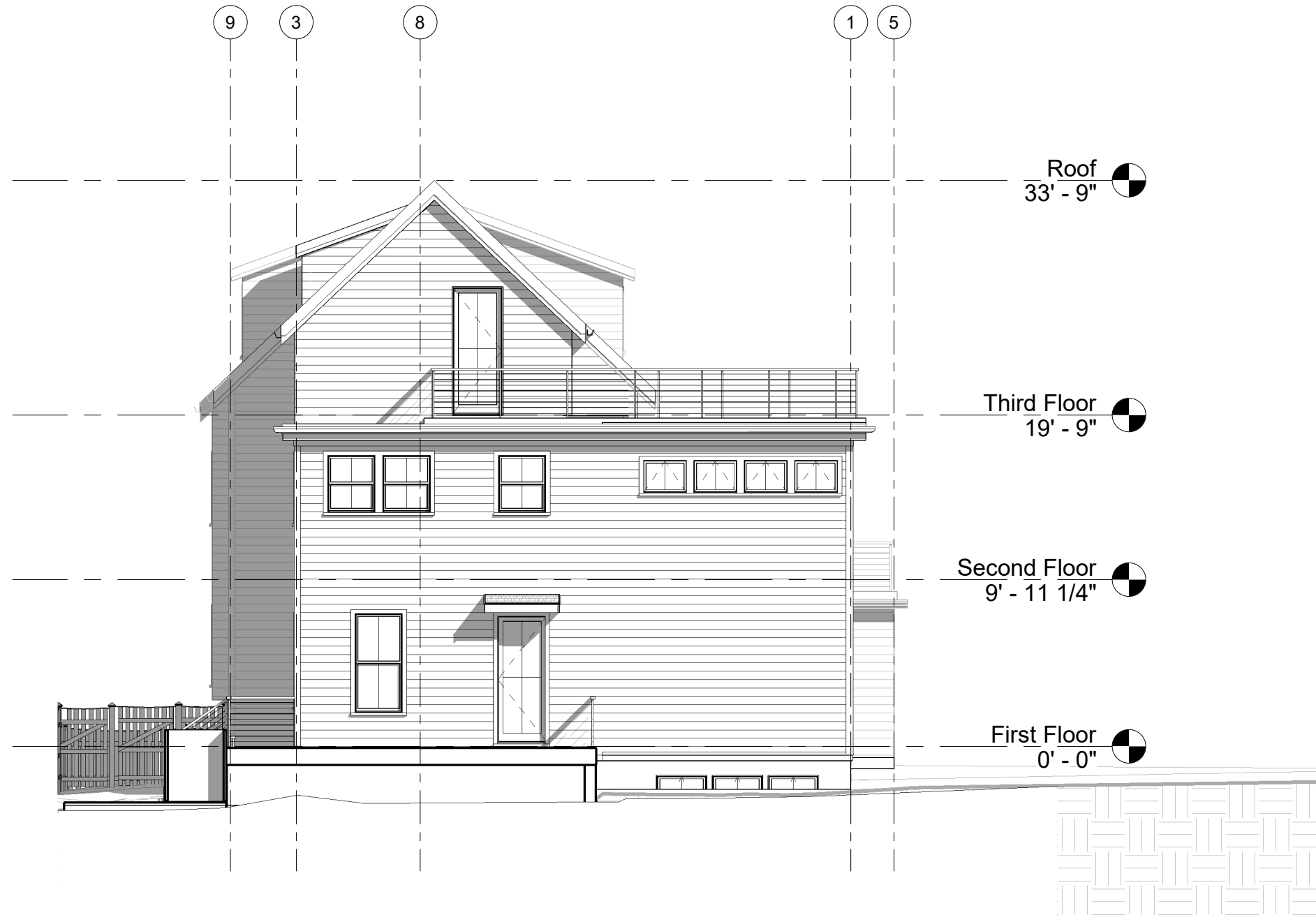
tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

55 Wendell St
Steinberg Muz Residence

East Elevation

C:\Users\ec\Desktop\Wendell\20211102_55 Wendell St_Option 2.rvt

1 North Elevation
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

DATE: 12.08.21

DRAWN BY: MLA

A2.3

Moskow Linn Architects, Inc.

88 Broad Street Boston, Massachusetts 02110

tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

55 Wendell St
Steinberg Muz Residence

North Elevation



1 West Elevation
1/8" = 1'-0"

55 Wendell St
Steinberg Muz Residence
West Elevation

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A2.4

SCALE: 1/8" = 1'-0"
DATE: 12.08.21
DRAWN BY: MLA

C:\Users\ec\Desktop\Wendell\20211102_55 Wendell St_Option 2.rvt



① 49-51 WENDELL STREET



② 53 WENDELL STREET



③ 57-59 GORHAM STREET



④ 61 GORHAM STREET



55 WENDELL ST - GARAGE



55 WENDELL ST - FRONT



⑤ 63 WENDELL STREET



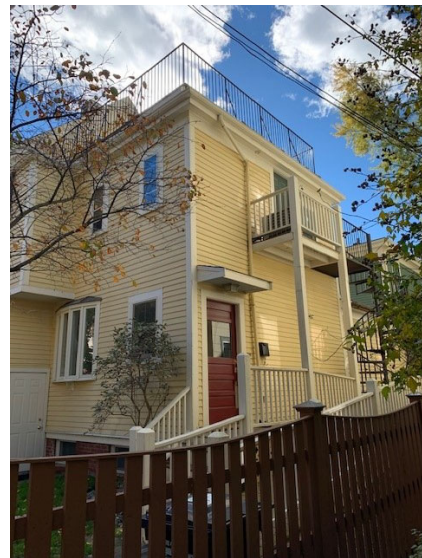
⑥ 60 WENDELL STREET



⑦ 56-58 WENDELL STREET



55 WENDELL ST - ELEVATION FROM GORHAM STREET



55 WENDELL ST - BACK



55 WENDELL ST - COURTYARD 1



55 WENDELL ST - COURTYARD 2

55 Wendell St
Steinberg Muz Residence
Site Plan w/ Neighbors

Moskow Linn Architects, Inc.
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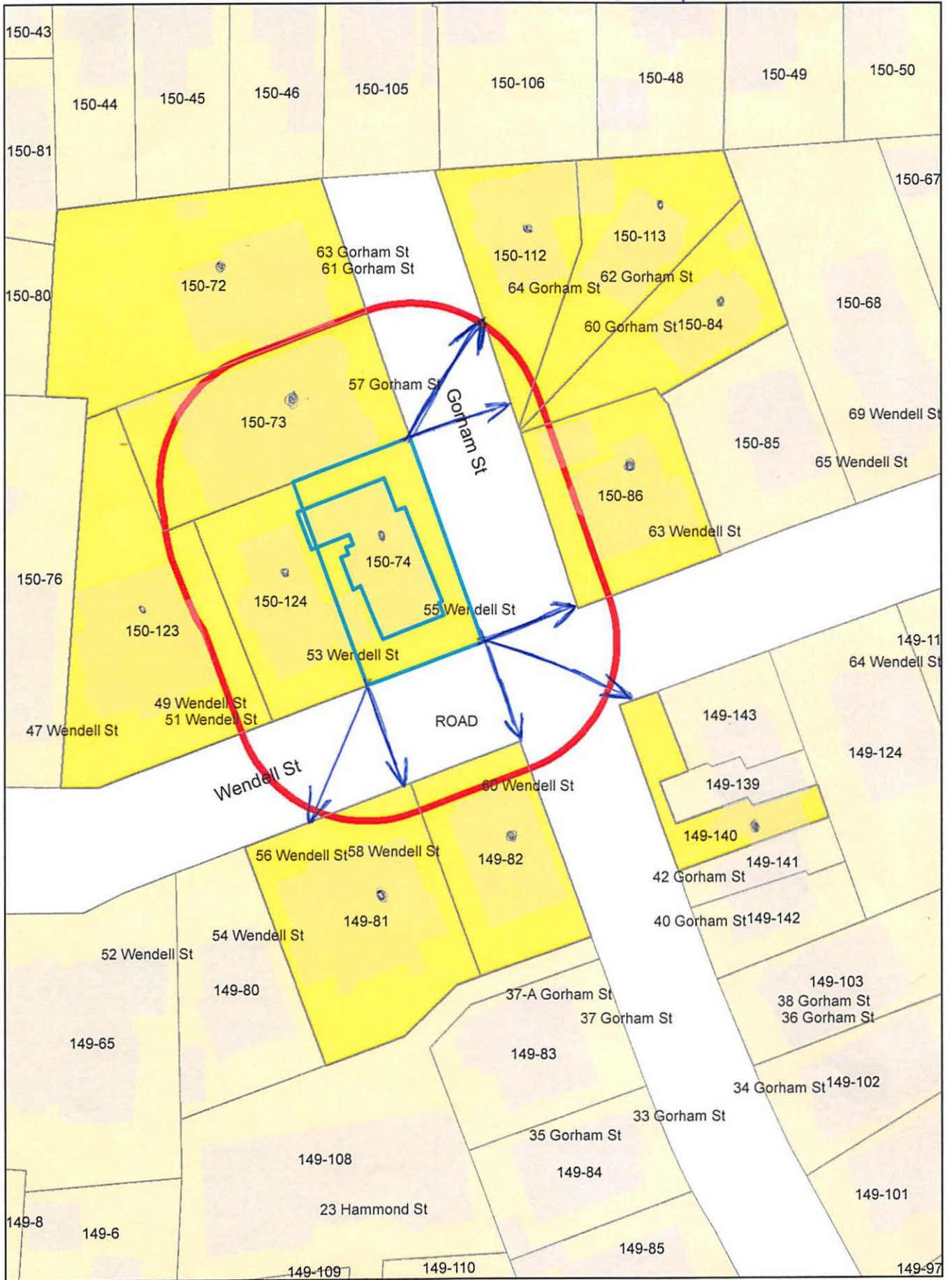
A0.9

SCALE: 1" = 100'-0"

DATE: 12.08.21

DRAWN BY: MLA

55 Wendell St.



55 Wendell St.

Petitioner
ROBERT LINN
161 GROVE STREET
CAMBRIDGE, MA 02138

149-81
LAPORTE, CLAIRE
56-58 WENDELL ST. UNIT C
CAMBRIDGE, MA 02138

150-72
WOOD, GWENDOLYN F., A LIFE ESTATE,
LESLIE L. WOOD, JR. & DAVID A. WOOD
63 GORHAM ST
CAMBRIDGE, MA 02138-1914

150-73
RUCCI, MICHELE
57 GORHAM ST. UNIT#5
CAMBRIDGE, MA 02138

149-82
BERGHOLZ, ANNA FRIEDRICHS MORIARTY
JOHANN SEBASTIAN BERGHOLZ WILLAFANE
60 WENDELL ST., #2
CAMBRIDGE, MA 02138

149-82
WALTER, BARBARA
60 WENDELL ST #3
CAMBRIDGE, MA 02138

149-140
CONNOLLY, MARY C.
TRUSTEE OF THE MARY C CONNOLLY REVOC TR
44 GORHAM ST
CAMBRIDGE, MA 02138

150-84
BORISS-KRIMSKY, CAROLYN
60 GORHAM ST
CAMBRIDGE, MA 02138-1904

150-113
MAYS, BRUCE & CYNTHIA R. MALTBIE
62 GORHAM STREET
CAMBRIDGE, MA 02138

150-123
BARD, JOEL B. BETSY F. BARD
51 WENDELL ST
CAMBRIDGE, MA 02138-1927

149-81
CAPASSO, FEDERICO & PAOLA SALVINI-CAPASSO
56-58 WENDELL ST., UNIT B
CAMBRIDGE, MA 02138

150-73
LUCKE, JANE C.
TRS THE JENNA GORHAM ST REALTY TRUST
57 GORHAM ST UNIT #1
CAMBRIDGE, MA 02138

150-73
BRINCKERHOFF, LORING C.
57 GORHAM ST., UNIT #3
CAMBRIDGE, MA 02138-1934

150-73
LEFFERT, JAMES S. & SHERRY WERB LEFFERT
57 GORHAM ST
CAMBRIDGE, MA 02138-1934

150-73
LIST, IAN M.
57 GORHAM ST.
CAMBRIDGE, MA 02138

150-86
NELSON, RONALD & MARJORIE J. REKANT, CO-
TRS. OF THE 63 WENDELL STREET REALTY TRUST
63 WENDELL ST
CAMBRIDGE, MA 02138-1963

150-124
LEHMAN, DAVID H.,
TRUSTEE WENDELL ST NOM TRUST
53 WENDELL ST
CAMBRIDGE, MA 02139

149-82
ELSTEIN, JUDITH
60 WENDELL ST. UNIT#1
CAMBRIDGE, MA 02139

149-81
SALTIEL, JACK KAREN SALTIEL FINE
56 WENDEL ST UNIT #A
CAMBRIDGE, MA 02138

150-74
STEINBERG EDEN PETER MUZ
55 WENDELL ST
CAMBRIDGE, MA 02138

150-112
ROWE AMY E TRS AMY E ROWE TR
64 GORHAM ST
CAMBRIDGE, MA 02138

150-73
JACOBSON, ALAN R.
57 GORHAM ST
CAMBRIDGE, MA 02138

BZA Application Form

DIMENSIONAL INFORMATION

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

Applicant: Eden Steinberg and Peter Muz
Location: 55 Wendell St , Cambridge, MA
Phone: 617-803-8780

Present Use/Occupancy: 2 family residential
Zone: Residence C-1 Zone
Requested Use/Occupancy: 2 family residential

7071 JAN 25 A 4:40

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
TOTAL GROSS FLOOR AREA:		3209.99	3550.68	3000	(max.)
LOT AREA:		4000	4000	5000	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²		.80	.87	.75	
LOT AREA OF EACH DWELLING UNIT		2000	2000	1500	
SIZE OF LOT:	WIDTH	50	50	50	
	DEPTH	80	80	NA	
SETBACKS IN FEET:	FRONT	14.8	14.8	10	
	REAR	10.8	10.8	12.5	
	LEFT SIDE	0.1	0.1	16.9	
	RIGHT SIDE	10.1	10.1	10	
SIZE OF BUILDING:	HEIGHT	36.18	36.18	35	
	WIDTH	54.5	54.5	NA	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		52%	57%	30%	
NO. OF DWELLING UNITS:		2	2	2	
NO. OF PARKING SPACES:		1	1	2	
NO. OF LOADING AREAS:		0	0	NA	
DISTANCE TO NEAREST BLDG. ON SAME LOT		3.1	NA	10	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

There is a detached garage on site built from rusticated concrete block with a dimension of 18.8' X 12.3' +- . The existing home is wood frame construction and the proposed work will all be wood construction with the possible exception of the proposed garage wall which will be built from cmu to achieve the required fire rating.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATION
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

2021 JAN 25 A 4:40



GENERAL NOTES

1. ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO: THE MASSACHUSETTS BUILDING CODE (9TH EDITION), MASSACHUSETTS FUEL, GAS, AND PLUMBING CODES, MASSACHUSETTS ELECTRICAL CODE, OSHA REGULATIONS, ORDINANCES OF THE CITY OF CAMBRIDGE, AND THE REQUIREMENTS OF THE CAMBRIDGE FIRE DEPARTMENT.

2. THE CONTRACTOR SHALL VERIFY IN THE FIELD DIMENSIONS. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL CONDITIONS AFFECTING THE WORK. ANY CONDITIONS FOUND THAT ALTER OR OTHERWISE CHANGE THE REQUIREMENTS FOR THE WORK SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.

3. THE CONTRACTOR SHALL COORDINATE THE WORK SHOWN ON THESE DRAWINGS WITH WORK OF ALL TRADES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) AND BRING ANY CONFLICT TO THE ATTENTION OF THE ARCHITECT.

Sheet List	
Sheet Number	Sheet Name

A0.0	Cover Sheet
EX1.0	Existing Basement Floor Plan
EX1.1	Existing First Floor Plan
EX1.2	Existing Second Floor Plan
EX1.3	Existing Third Floor Plan
EX2.0	Existing South Elevation
EX2.1	Existing East Elevation
EX2.2	Existing North Elevation
EX2.3	Existing West Elevation
A0.1	General Zoning & Site Plan - Existing
A0.2	Setback Calculations - Existing
A0.3	GFA & FAR Calculations - Existing
A0.4	General Zoning & Site Plan - Proposed
A0.5	Setback Calculations - Proposed
A0.6	GFA & FAR Calculations - Proposed
A0.7	Open Space - Existing & Proposed
A0.8	Street Elevations
A0.9	Site Plan w/ Neighbors
A0.10	Sun Studies - Winter Solstice - 3D Views
A0.11	Sun Studies - Winter Solstice - Plan Views
A0.12	Sun Studies - Summer Solstice - 3D Views
A0.13	Sun Studies - Summer Solstice - Plan Views
A1.0	Basement Plan
A1.1	First Floor Plan
A1.2	Second Floor Plan
A1.3	Third Floor Plan
A2.0	South Elevation
A2.2	East Elevation
A2.3	North Elevation
A2.4	West Elevation
A3.0	3D Views

55 Wendell Street

Cambridge, MA

CLIENT

Eden Steinberg & Peter Muz
55 Wendell Street
Cambridge, MA 02138
p:xxx.xxx.xxxx

ARCHITECT

Moskow Linn Architects
Robert Linn AIA, Keith Moskow FAIA
88 Broad St. 5th Floor
Boston, MA 02110
p:617.292.2000

BUILDER

tbd

55 Wendell St
Steinberg Muz Residence

Cover Sheet

Moskow Linn Architects, Inc.

88 Broad Street Boston, Massachusetts 02110

tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

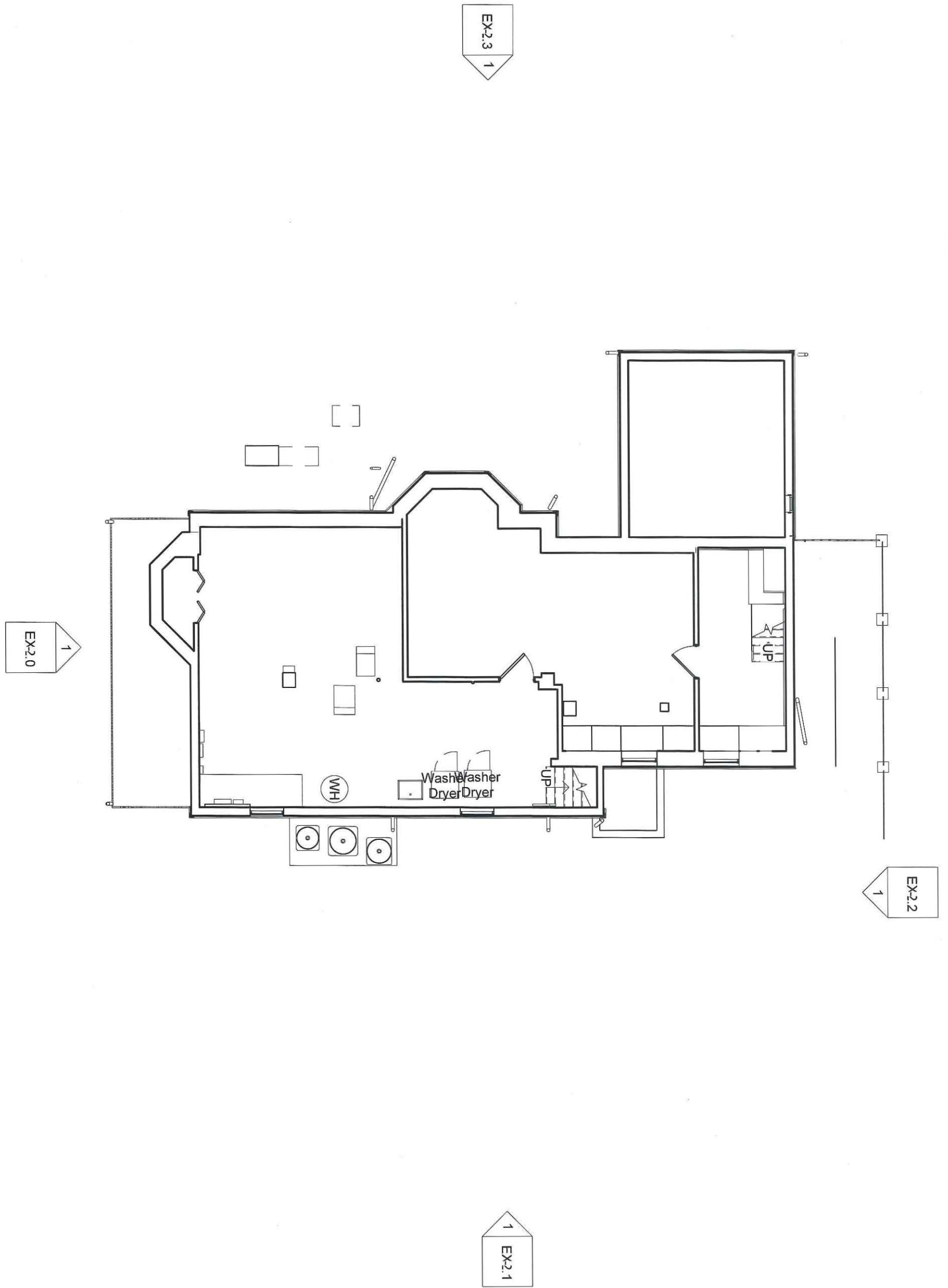
A0.0

SCALE: 1" = 1'-0"

DATE: 01.20.22

DRAWN BY: MLA

1
Basement
1/8" = 1'-0"



SCALE:	1/8" = 1'-0"
DATE:	12.08.21
DRAWN BY:	MLA

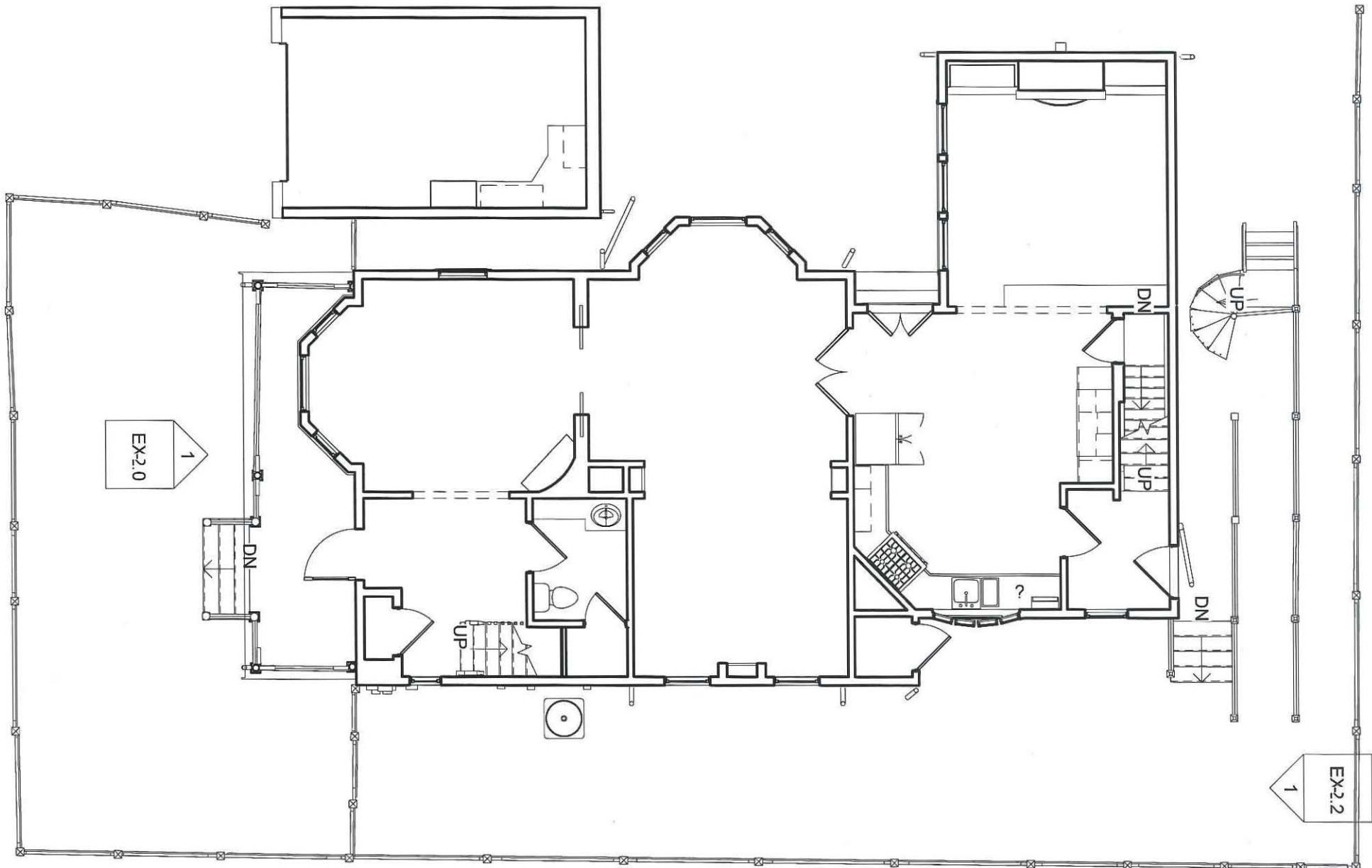
EX1.0

Moskow Linn Architects, Inc.
 88 Broad Street Boston, Massachusetts 02110
 tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

55 Wendell St
 Steinberg Muz Residence
 Existing Basement Plan

1 First Floor
1/8" = 1'-0"

EX2.3
1



EX2.0
1

EX2.2
1

EX2.1
1

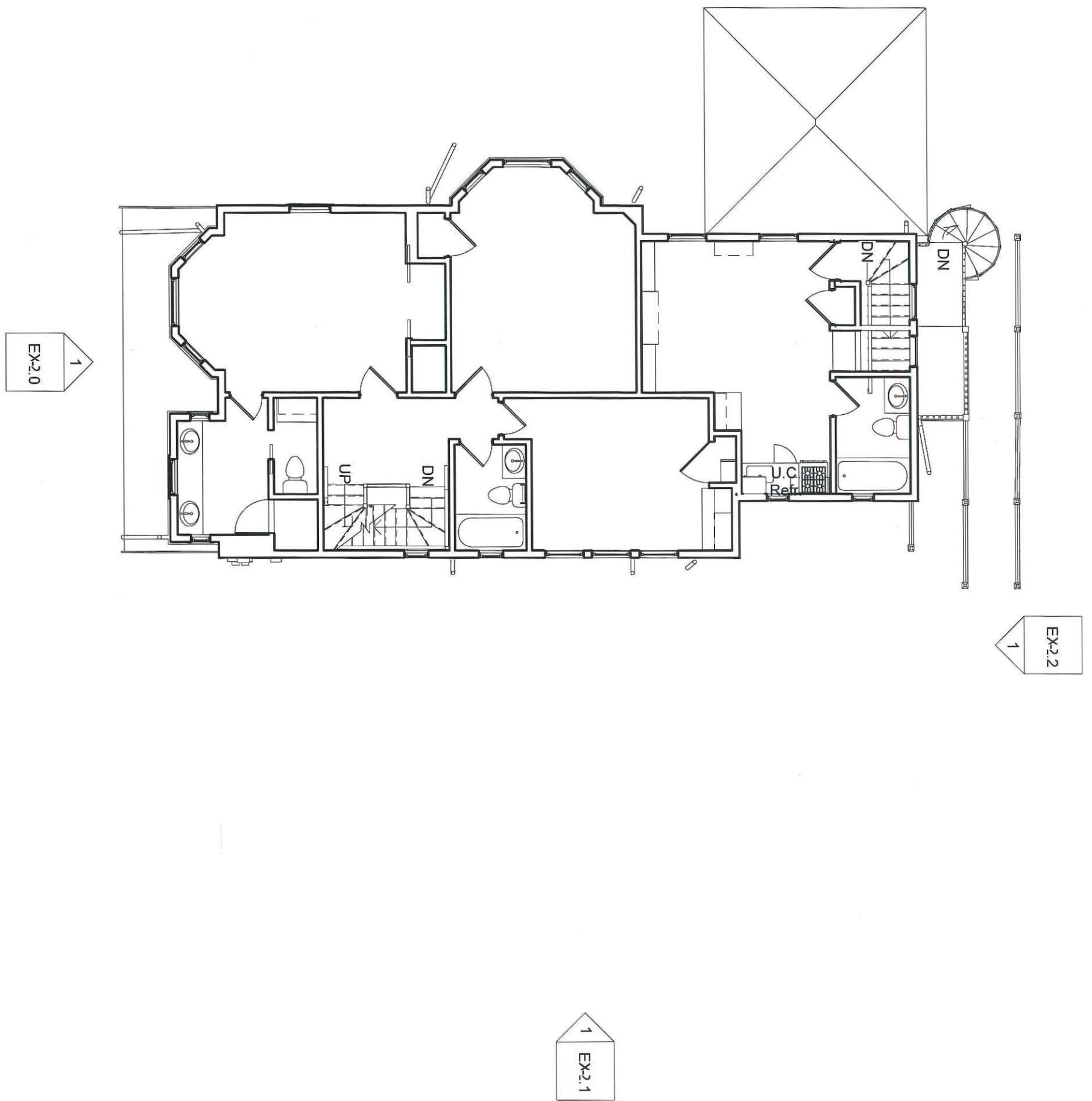
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DATE:	12.08.21
DRAWN BY:	MLA

EX1.1

Moskow Linn Architects, Inc.
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55 Wendell St
 Steinberg Muz Residence
 Existing First Floor Plan

1 Second Floor
1/8" = 1'-0"



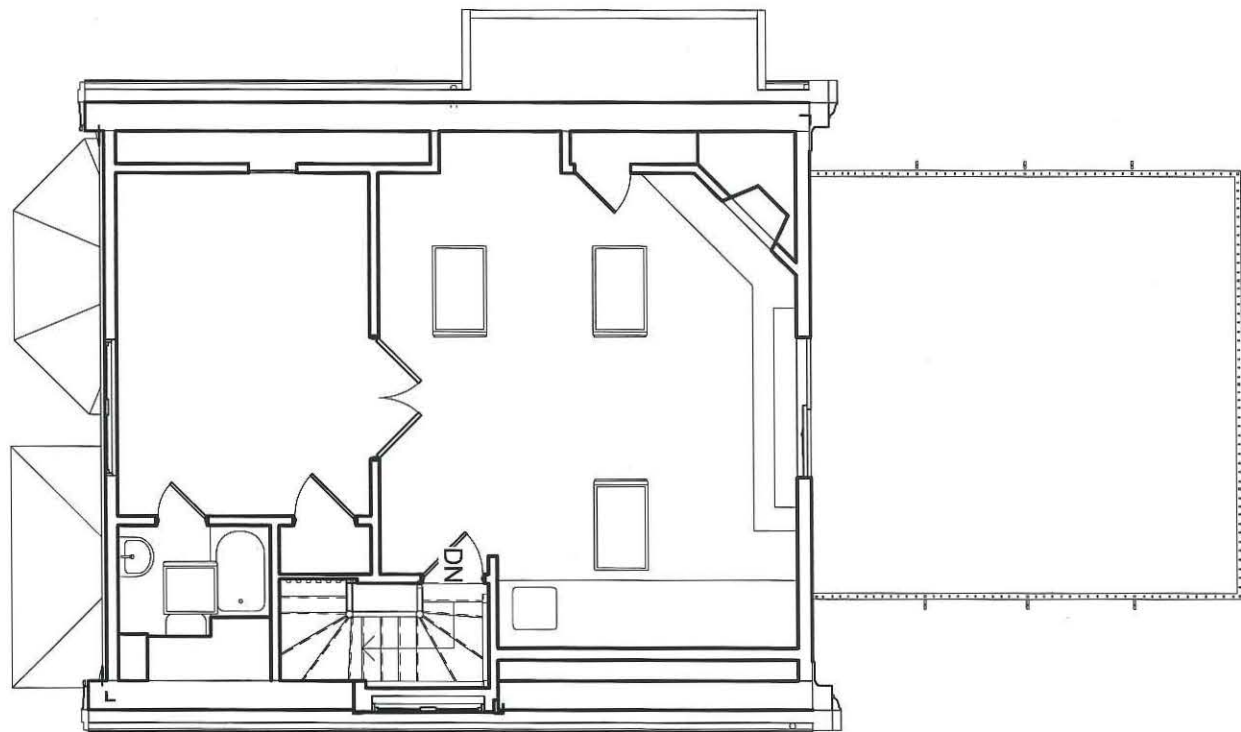
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DRAWN BY:	MLA

EX1.2

Moskow Linn Architects, Inc.
 88 Broad Street Boston, Massachusetts 02110
 tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

55 Wendell St
 Steinberg Muz Residence
 Existing Second Floor Plan

1 Third Floor
1/8" = 1'-0"



EX2.0
1

EX2.3
1

EX2.2
1

EX2.1
1

SCALE: 1/8" = 1'-0"

DATE: 12.08.21

DRAWN BY: MLA

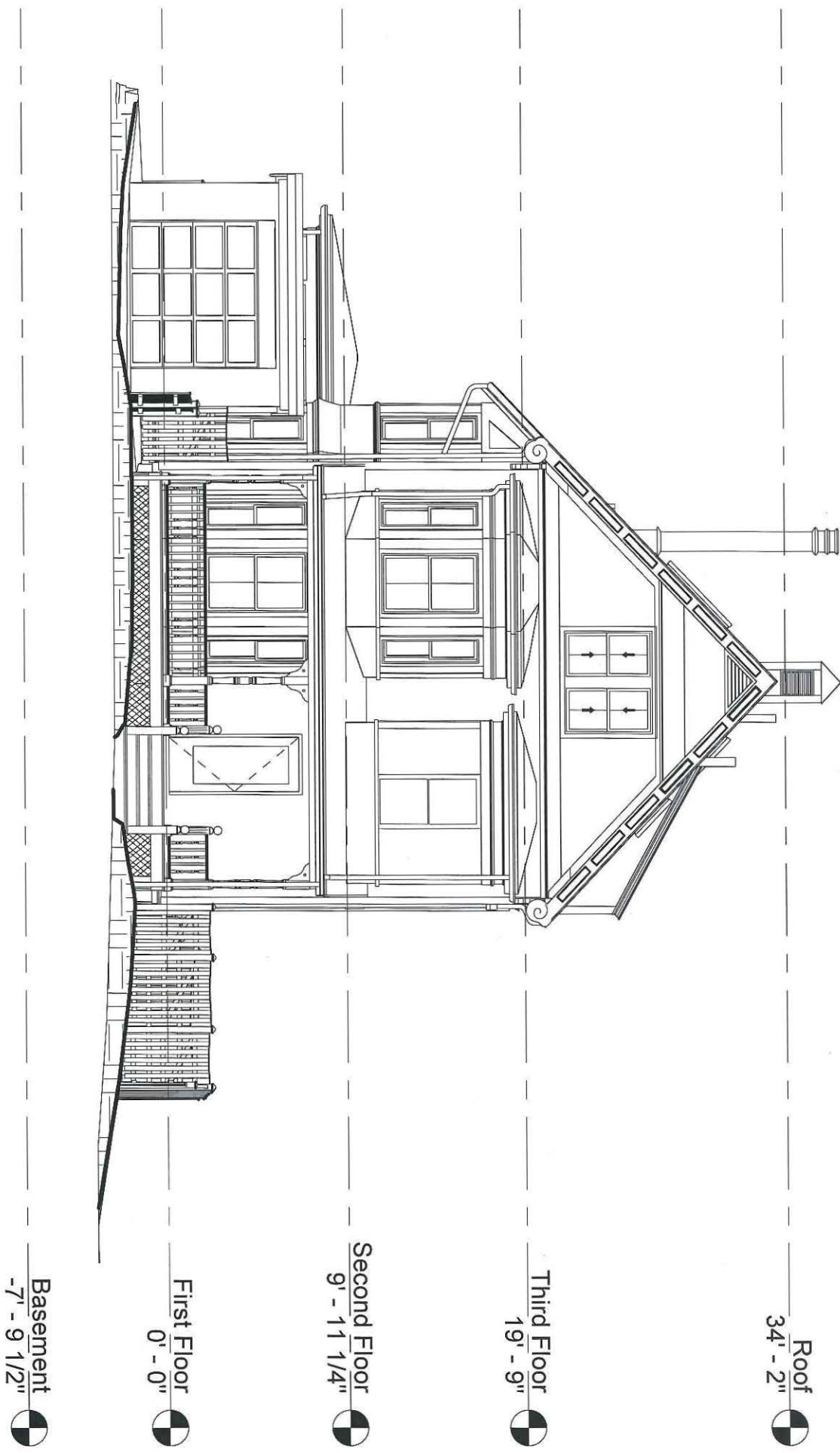
EX1.3

Moskow Linn Architects, Inc.
 88 Broad Street Boston, Massachusetts 02110
 tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

55 Wendell St
 Steinberg Muz Residence

Existing Third Floor Plan

1 South Elevation - Existing
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

DATE: 12.08.21

DRAWN BY: MLA

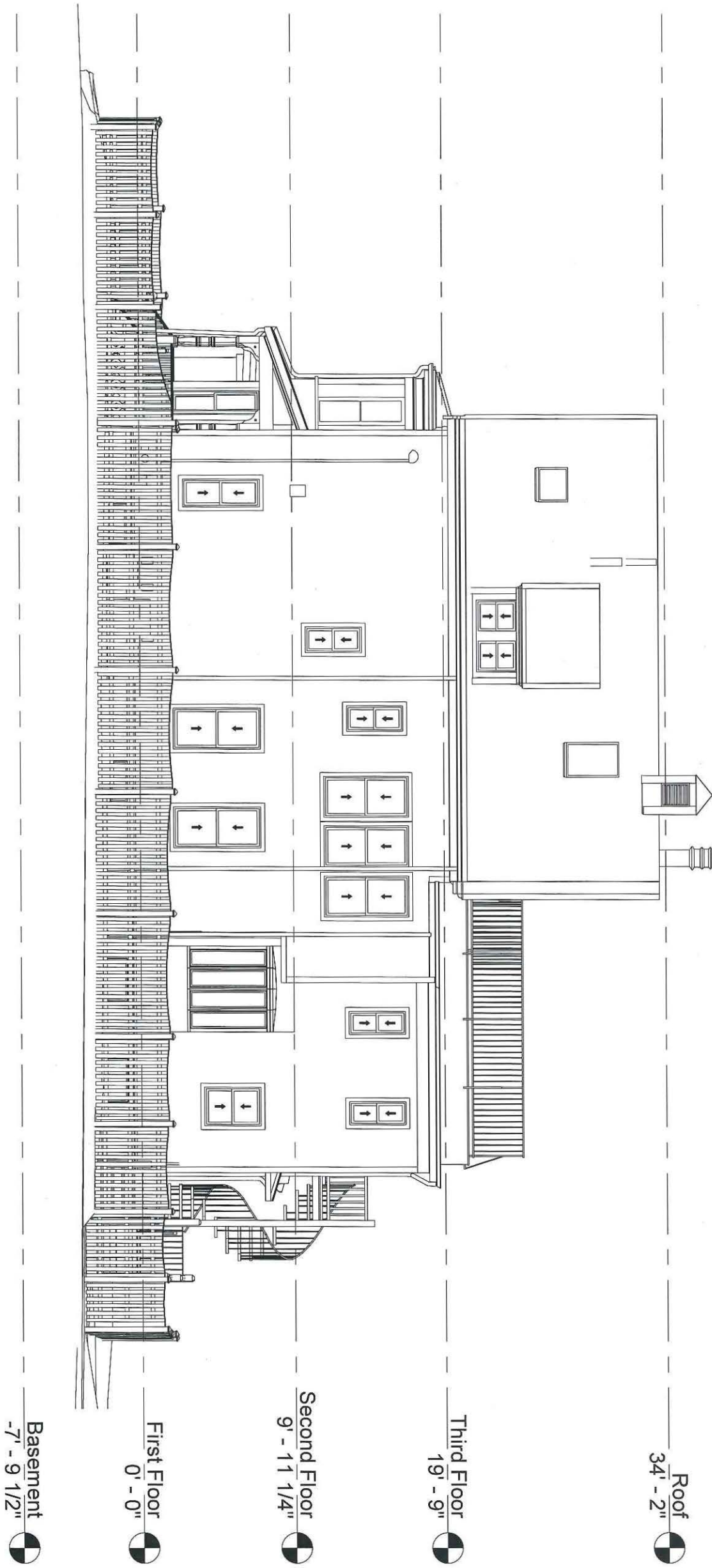
EX2.0

Moskow Linn Architects, Inc.
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55 Wendell St
 Steinberg Muz Residence

Existing South Elevation

1 East Elevation - Existing
1/8" = 1'-0"



Basement
-7' - 9 1/2"

First Floor
0' - 0"

Second Floor
9' - 11 1/4"

Third Floor
19' - 9"

Roof
34' - 2"

SCALE: 1/8" = 1'-0"

DATE: 12.08.21

DRAWN BY: MLA

EX2.1

Moskow Linn Architects, Inc.

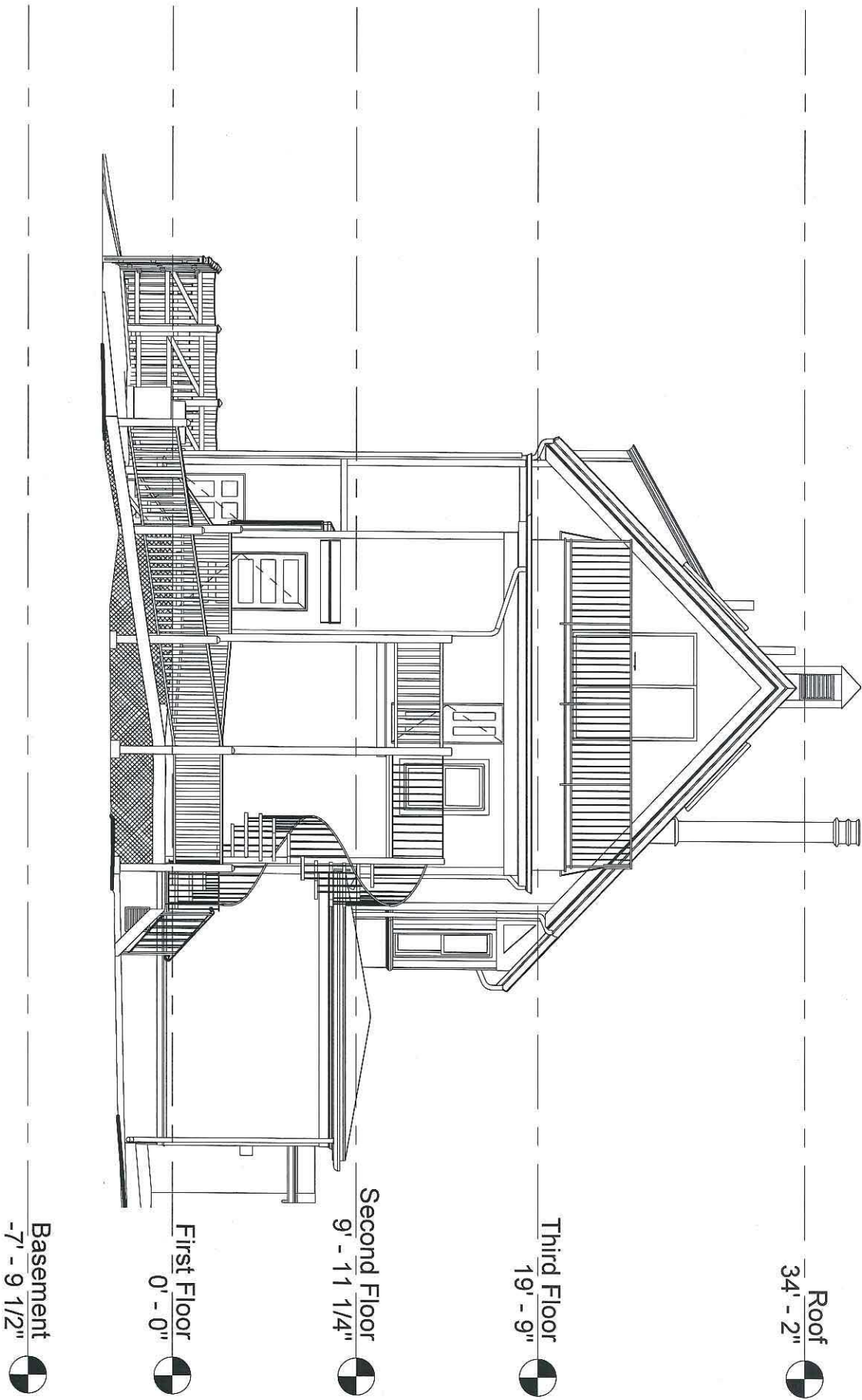
88 Broad Street Boston, Massachusetts 02110

tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

55 Wendell St
Steinberg Muz Residence

Existing East Elevation

1 North Elevation - Existing
1/8" = 1'-0"



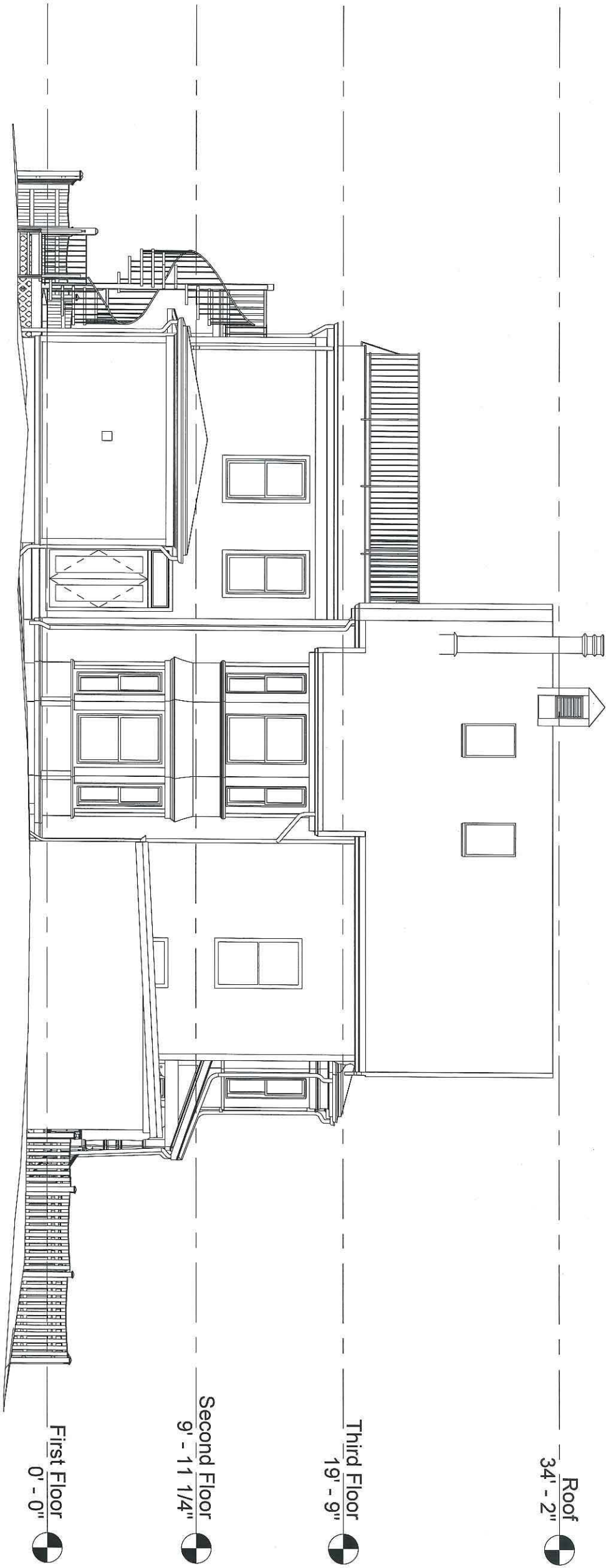
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DATE:	12.08.21
DRAWN BY:	MLA

EX2.2

Moskow Linn Architects, Inc.
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55 Wendell St
 Steinberg Muz Residence

Existing North Elevation



1 West Elevation - Existing
 1/8" = 1'-0"

Basement
 -7' - 9 1/2"

First Floor
 0' - 0"

Second Floor
 9' - 11 1/4"

Third Floor
 19' - 9"

Roof
 34' - 2"

SCALE:	1/8" = 1'-0"
DATE:	12.08.21
DRAWN BY:	MLA

EX2.3

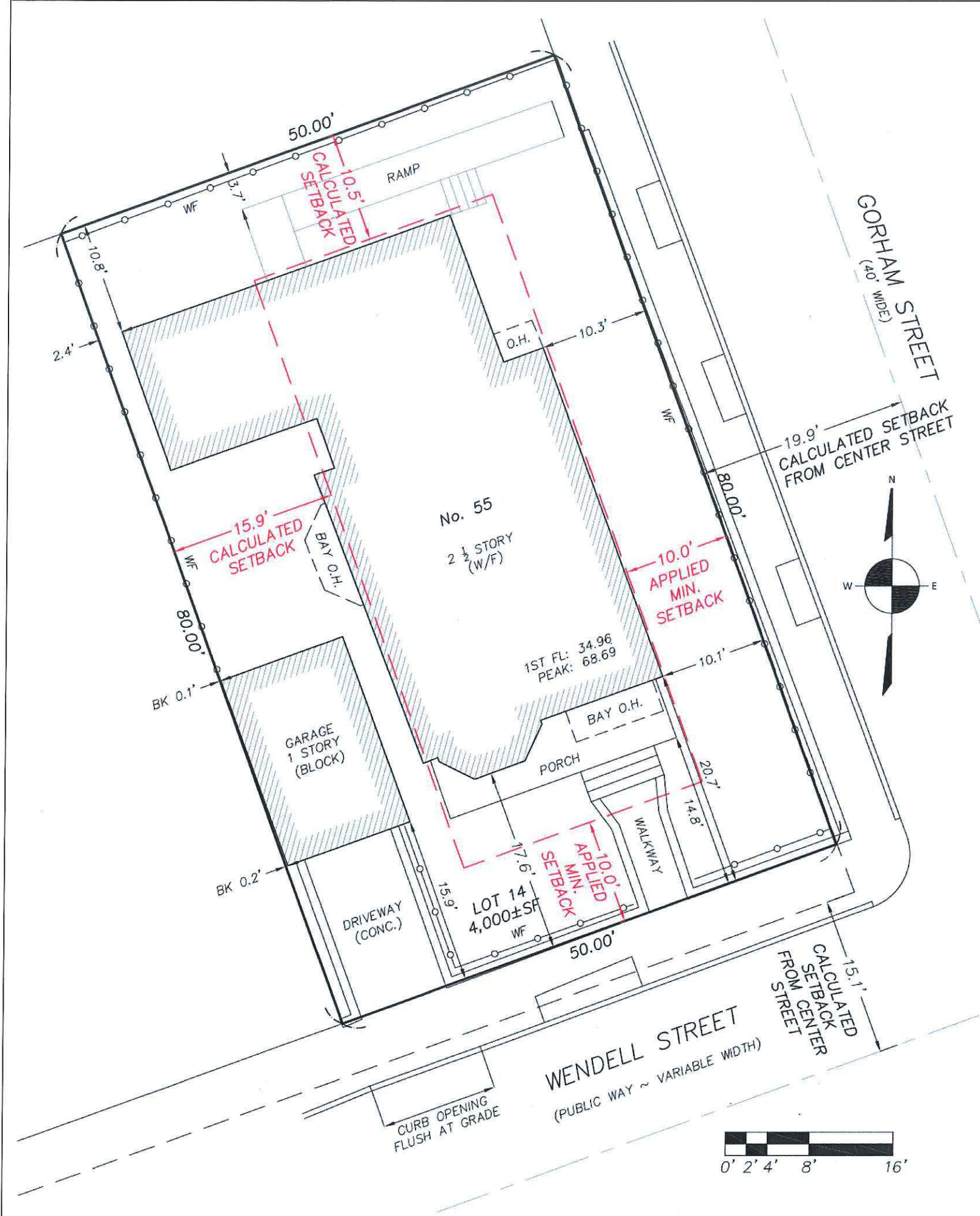
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 tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

55 Wendell St
 Steinberg Muz Residence
 Existing West Elevation

55 Wendell Street, Cambridge, MA

Zoning District C-1

	Allowable	Existing
Max. FAR	0.75	0.8
Min. Lot Area/DU	1,500	2,000
Min. Front Yard Setback		
Wendell Street	$(H+L) \div 4$ at least 10	14.8'
Gorham Street	$(H+L) \div 4$ at least 10	10.1'
Min. Side Yards		
North	$(H+L) \div 5$ at least 7.5	10.8'
West	$(H+L) \div 5$ at least 7.5	.1'
Max. Height	35'	36.18'
Min. Open Space Ratio	30%	52%
Dimensional Req.	50% of 30% = 15%	9%
Permeable	50% of 30% = 15%	44%



55 Wendell St
Steinberg Muz Residence

General Zoning & Site Plan - Existing

Moskow Linn Architects, Inc.

88 Broad Street Boston, Massachusetts 02110

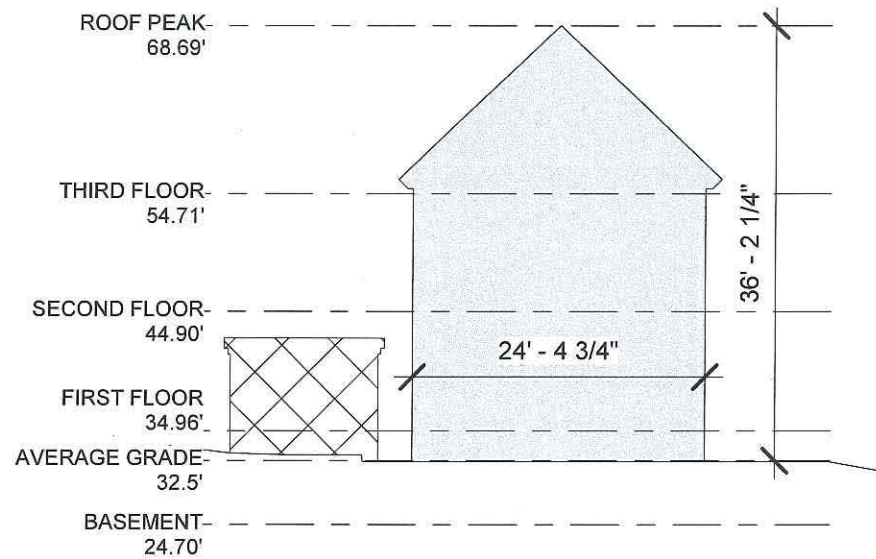
tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

A0.1

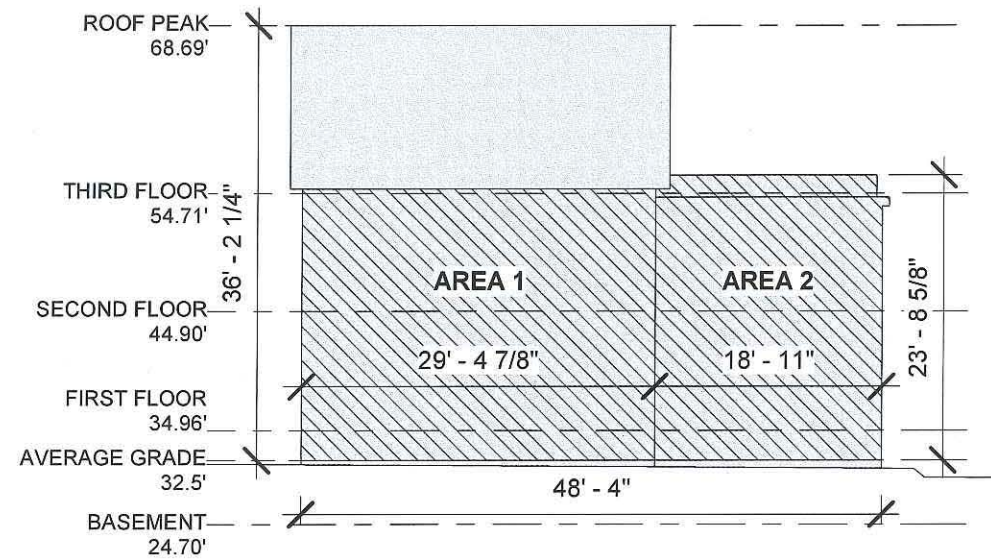
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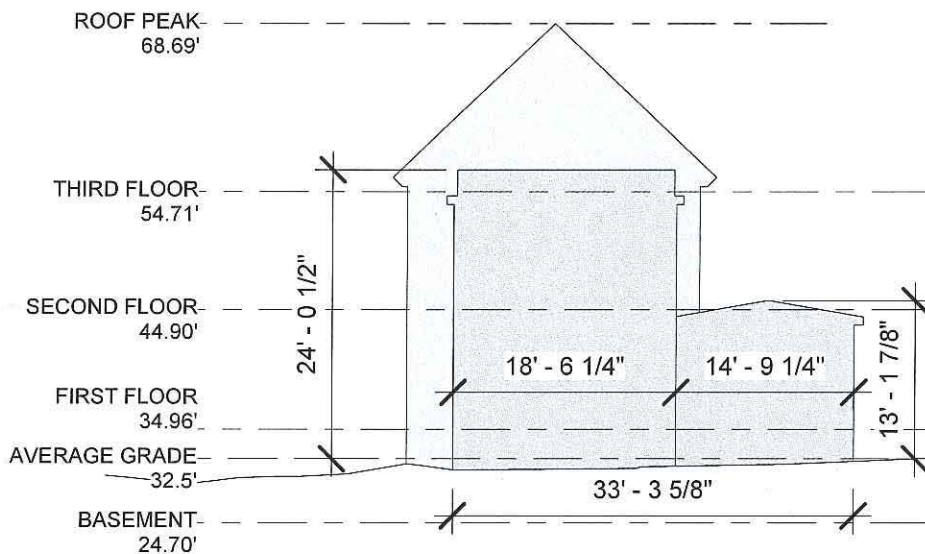
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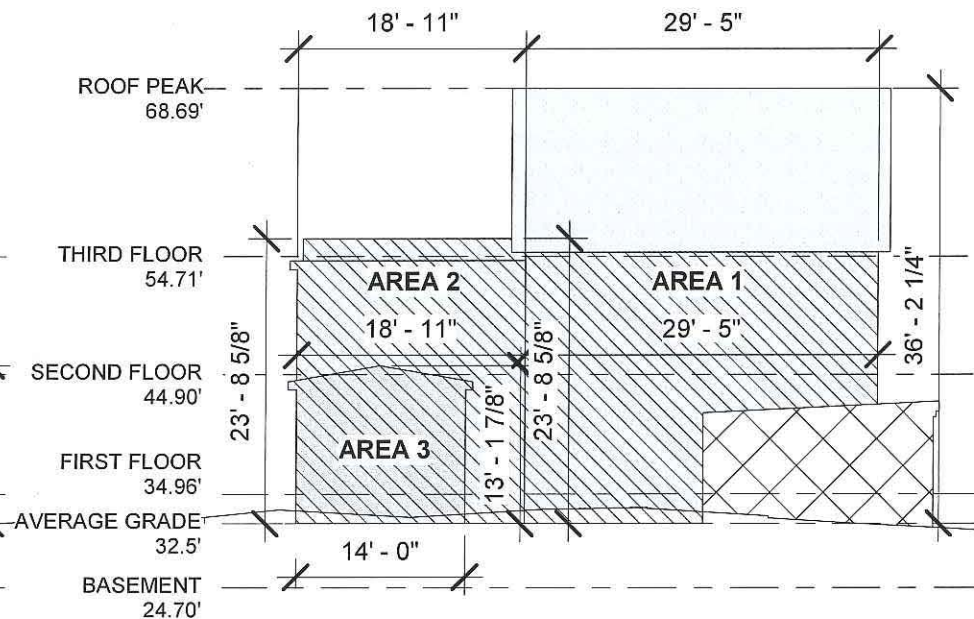
SOUTH ELEVATION



EAST ELEVATION AVERAGE HEIGHT = 31'-4"
SEE CALC BELOW FOR WEST ELEV.



NORTH ELEVATION AVERAGE HEIGHT = $\frac{(H1 \times L1) + (H2 \times L2)}{L1 + L2}$
 $\frac{(24'-0 \frac{1}{2}'' \times 18'-6 \frac{1}{4}'' + (13'-1 \frac{7}{8}'' \times 14'-9 \frac{1}{4}''))}{18'-6 \frac{1}{4}'' + 14'-9 \frac{1}{4}''}$
= 19'-2 3/8" AVERAGE HEIGHT



WEST ELEVATION AVERAGE HEIGHT = $\frac{(H1 \times L1) + (H2 \times L2)}{L1 + L2}$
 $\frac{(23'-8 \frac{5}{8}'' \times 18'-11'' + (36'-2 \frac{1}{4}'' \times 29'-5''))}{18'-11'' + 29'-5''}$
= 31'-4" AVERAGE HEIGHT

FRONT YARD SETBACK - WENDELL STREET	
$\frac{H+L}{4}$ TO CENTERLINE STREET, MIN. 10' FROM STREET	
$\frac{36'-2 \frac{1}{4}'' + 24'-4 \frac{3}{4}''}{4} = 15'-1 \frac{1}{2}''$ SETBACK FROM CENTER OF WENDELL ST, THEREFORE 10' FROM STREET	
FRONT YARD SETBACK - GORHAM STREET	
$\frac{H+L}{4}$ TO CENTERLINE STREET, MIN. 10' FROM ST (refer to ave. height calcs)	
and $(SETBACK1 \times FACING AREA1) + (SETBACK2 \times FACING AREA2)$ MUST EQUAL OR EXCEED $(SINGLE PLANE SETBACK) \times (SINGLE PLANE FACING AREA)$	
SETBACK1	FACING AREA1
$\frac{36'-2 \frac{1}{4}'' + 29'-4 \frac{7}{8}''}{4} = 16'-4 \frac{13}{16}''$	663.62 SF
SETBACK2	FACING AREA2
$\frac{23'-8 \frac{5}{8}'' + 18'-11''}{4} = 10'-7 \frac{15}{16}''$	447.03 SF
SINGLE PLANE SETBACK	SINGLE PLANE FACING AREA
$\frac{31'-4'' + 48'-4''}{4} = 19'-11''$	1110.65
$(16'-4 \frac{13}{16}'' \times 663.62) + (10'-7 \frac{15}{16}'' \times 447.03) = 15,650'-0 \frac{9}{16}''$	
$19'-11'' \times 1110.65 = 22,120'-5 \frac{3}{8}'' > 15,650'-0 \frac{9}{16}''$, THEREFORE:	
19'-11" FRONT SETBACK FROM CENTER OF GORHAM ST, THEREFORE 10' FROM STREET	
SIDE SETBACK - NORTH	
$\frac{H+L}{5}$ NO CLOSER TO SIDE LOT LINE THAN 7'-6" (refer to ave. height calcs)	
and AVERAGE HEIGHT = $\frac{(H1 \times L1) + (H2 \times L2)}{L1 + L2}$	
$\frac{(24'-0 \frac{1}{2}'' \times 18'-6 \frac{1}{4}'' + (13'-1 \frac{7}{8}'' \times 14'-9 \frac{1}{4}''))}{18'-6 \frac{1}{4}'' + 14'-9 \frac{1}{4}''} = 19'-2 \frac{3}{8}''$ AVERAGE HEIGHT	
$\frac{19'-2 \frac{3}{8}'' + 33'-3 \frac{5}{8}''}{5} = 10'-6''$ FROM NORTH PROPERTY LINE	
SIDE SETBACK - WEST	
$\frac{H+L}{5}$ NO CLOSER TO SIDE LOT LINE THAN 7'-6" (refer to ave. height calcs)	
and AVERAGE HEIGHT = $\frac{(H1 \times L1) + (H2 \times L2)}{L1 + L2}$ and	
$(SETBACK1 \times FACING AREA1) + (SETBACK2 \times FACING AREA2)$ MUST EQUAL OR EXCEED $(SINGLE PLANE SETBACK) \times (SINGLE PLANE FACING AREA)$	
SETBACK1	FACING AREA1
$\frac{36'-2 \frac{1}{4}'' + 29'-4 \frac{7}{8}''}{5} = 13'-1 \frac{7}{16}''$	524.55 SF
SETBACK2	FACING AREA2
$\frac{23'-8 \frac{5}{8}'' + 18'-11''}{5} = 8'-6 \frac{5}{16}''$	271.05 SF
SETBACK3	FACING AREA3
$\frac{13'-1 \frac{7}{8}'' + 14'}{5} = 5'-5 \frac{3}{16}''$	176.97 SF
SINGLE PLANE SETBACK	SINGLE PLANE FACING AREA
$\frac{31'-4'' + 48'-4''}{5} = 15'-11 \frac{3}{16}''$	972.57
$(13'-1 \frac{7}{16}'' \times 524.55) + (8'-6 \frac{5}{16}'' \times 271.05) + (5'-5 \frac{3}{16}'' \times 176.97) = 10,154'-3 \frac{7}{8}''$	
$15'-11 \frac{3}{16}'' \times 972.57 = 15,496'-3 \frac{3}{8}'' > 10,154'-3 \frac{7}{8}''$, THEREFORE:	
15'-11 3/16" SIDE SETBACK FROM WEST PROPERTY LINE	

1 Elevations
1/16" = 1'-0"

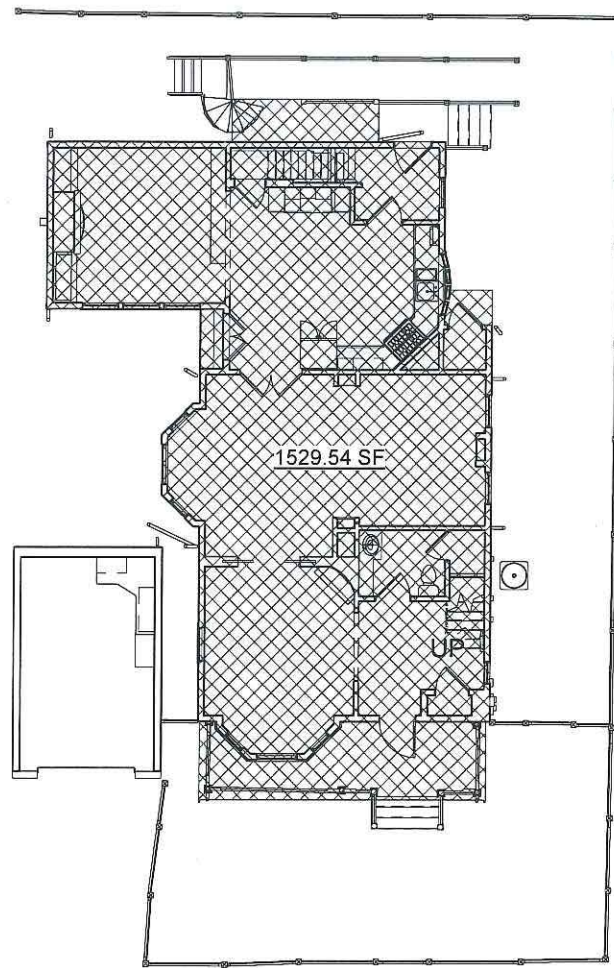
Note: Calculations for "Facing Area" do not include receding roof area. Please confirm.

55 Wendell St
Steinberg Muz Residence
Setback Calculations - Existing

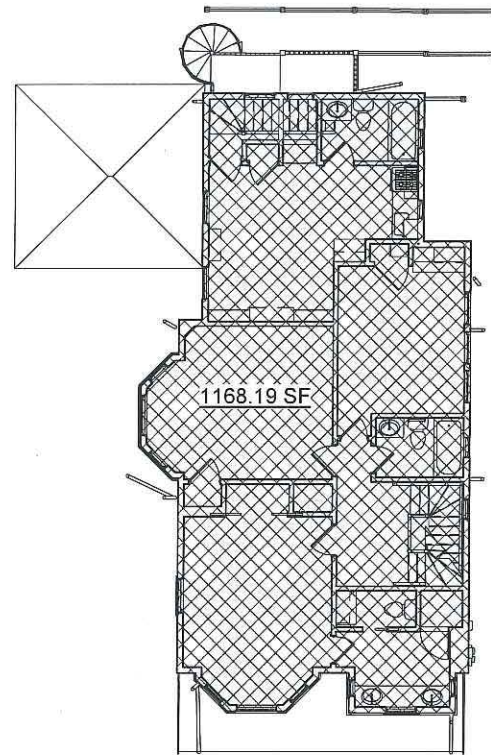
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A0.2

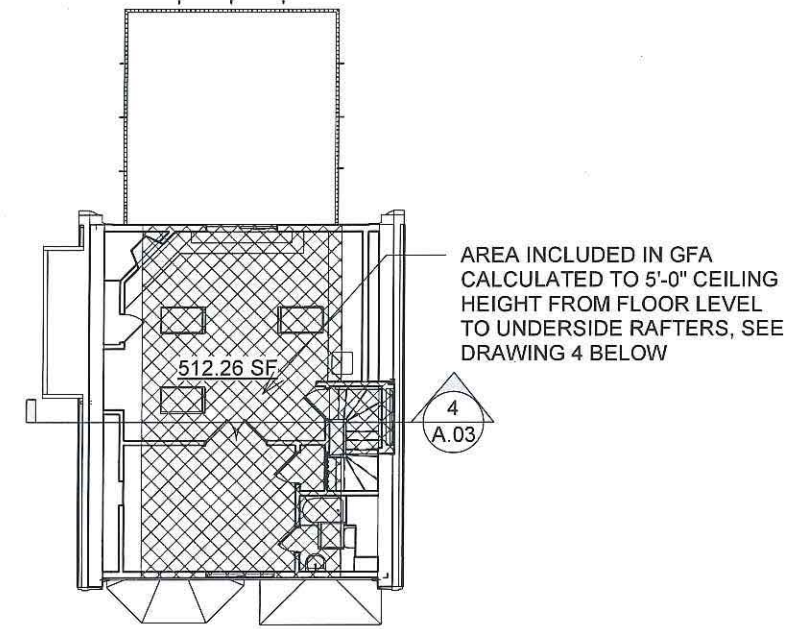
SCALE: 1/16" = 1'-0"
DATE: 12.08.21
DRAWN BY: MLA



① First Floor - GFA Calcs
1/16" = 1'-0"



② Second Floor - GFA Calcs
1/16" = 1'-0"



③ Third Floor - GFA Calcs
1/16" = 1'-0"

GFA (GROSS FLOOR AREA) CALCS:

FIRST FLOOR= 1,529.54 SF
SECOND FLOOR= 1,168.19 SF
THIRD FLOOR= 512.26 SF
TOTAL= 3,209.99 SF

FAR (FLOOR AREA RATIO) CALCS:

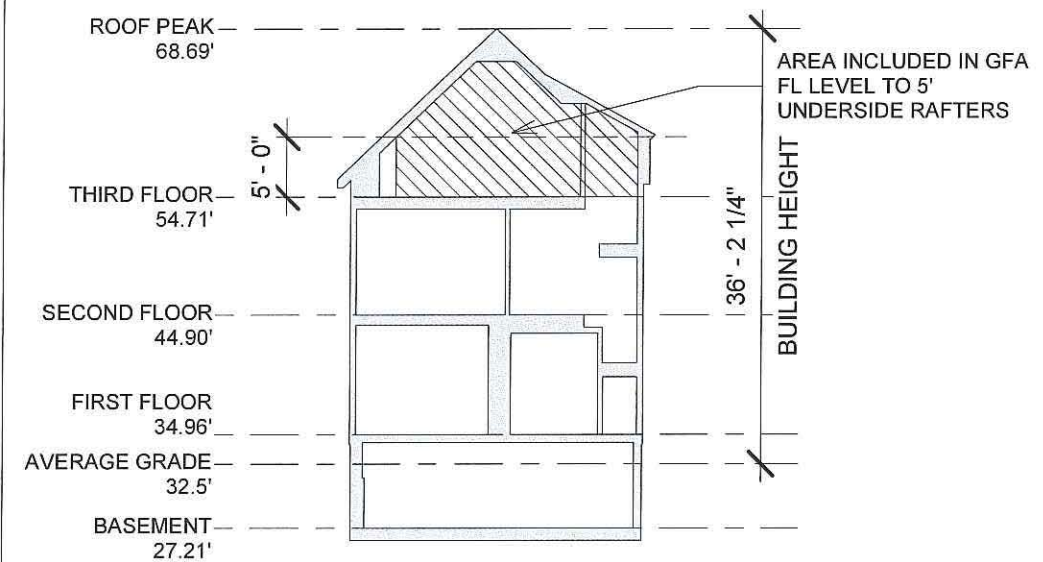
$\frac{\text{TOTAL GFA}}{\text{LOT AREA}} = \text{FAR}$

TOTAL GFA = 3,209.99 SF
LOT AREA= 4,000 SF

$\frac{3,209.99}{4,000} = .80 \text{ EXISTING FAR}$

ALLOWABLE FAR IN ZONE C-1 = .75,
WHICH WOULD BE A GFA OF 3,000 SF.
EXISTING GFA IS OVER ALLOWABLE BY 209.99 SF

⑤ GFA & FAR CALCS
1/16" = 1'-0"



④ Section
1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

DATE: 12.08.21

DRAWN BY: MLA

A0.3

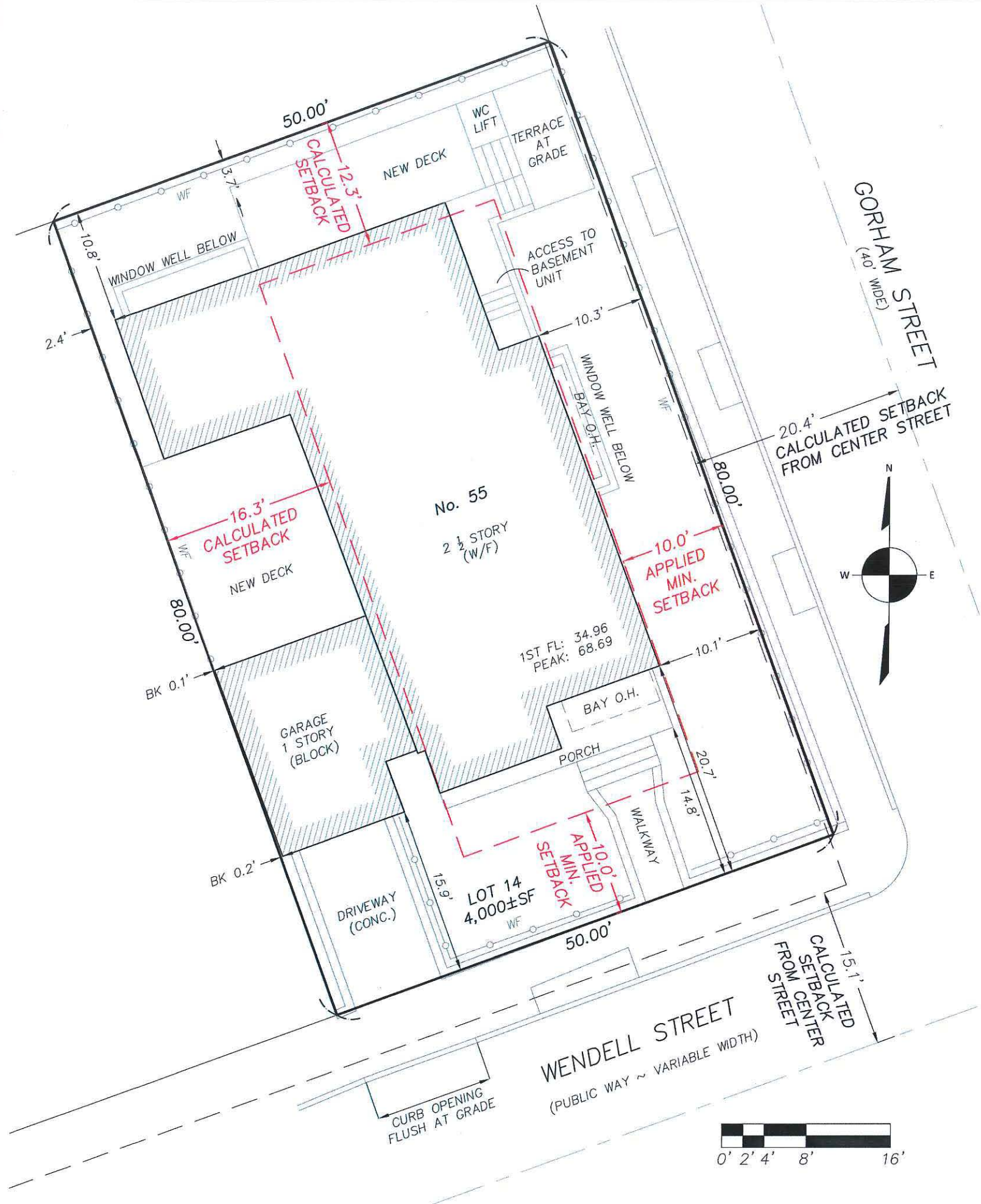
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55 Wendell St
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GFA & FAR Calculations - Existing

55 Wendell Street, Cambridge, MA
Zoning District C-1

	Allowable	Existing	Proposed
Max. FAR	0.75	0.8	0.87
Min. Lot Area/DU	1,500	2,000	2,000
Min. Front Yard Setback			
Wendell Street	(H+L) ÷ 4 at least 10	14.8'	14.8'
Gorham Street	(H+L) ÷ 4 at least 10	10.1'	10.1'
Min. Side Yards			
North	(H+L) ÷ 5 at least 7.5	10.8'	10.8'
West	(H+L) ÷ 5 at least 7.5	.1'	.1'
Max. Height	35'	36.18'	36.18'
Min. Open Space Ratio	30%	52%	57%
Dimensional Req.	50% of 30% = 15%	9%	20%
Permeable	50% of 30% = 15%	44%	44%

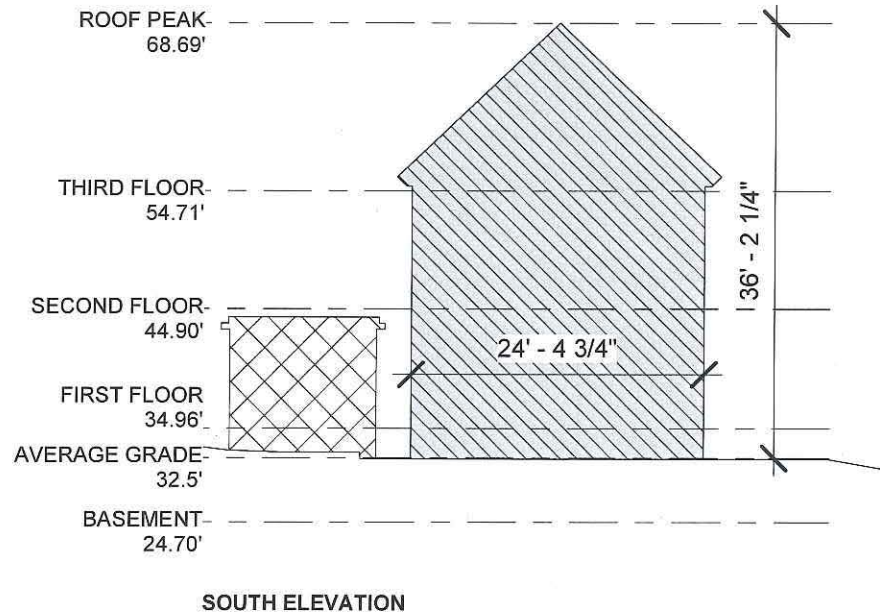


55 Wendell St
 Steinberg Muz Residence
 General Zoning & Site Plan - Proposed

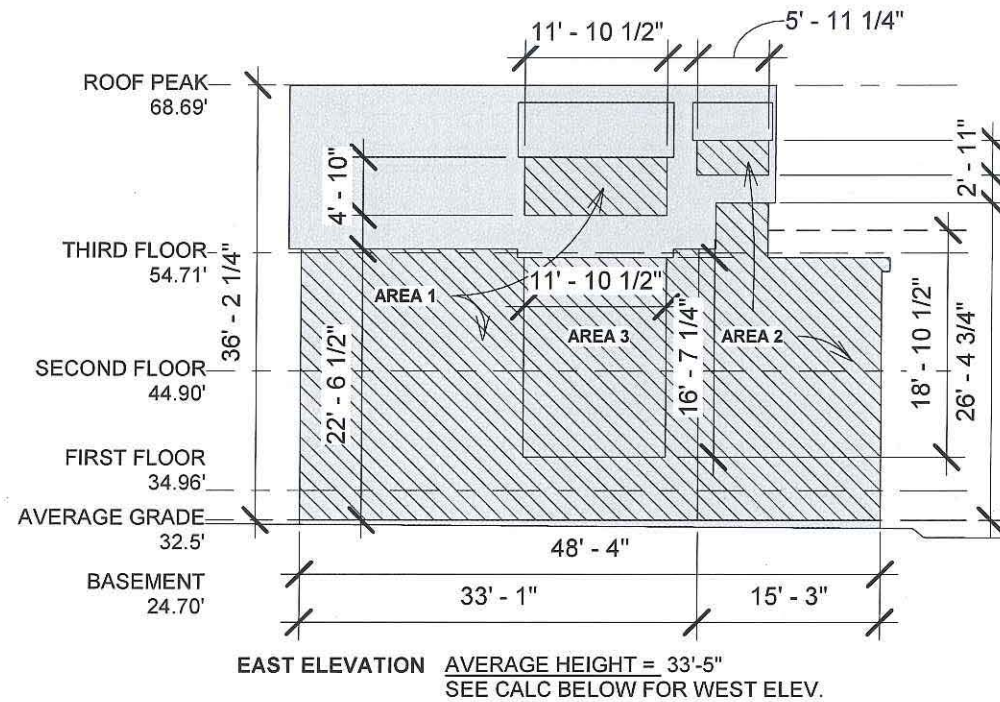
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SCALE: A0.4
 DATE: 01.20.22
 DRAWN BY: MLA

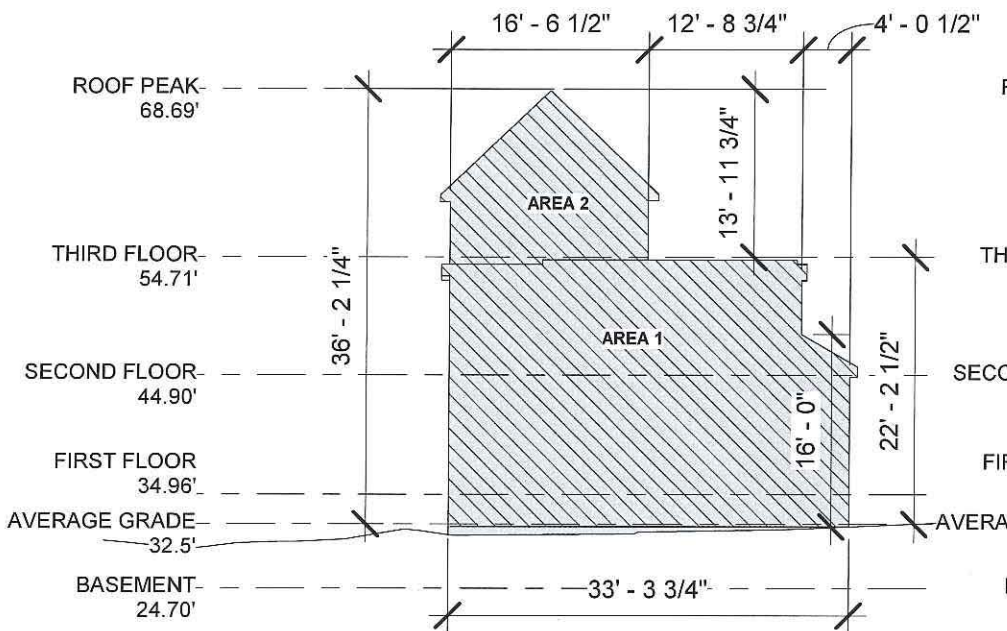
C:\Users\lenn\Desktop\Wendell\20211102_55_Wendell St_Option 2_reduced.rvt



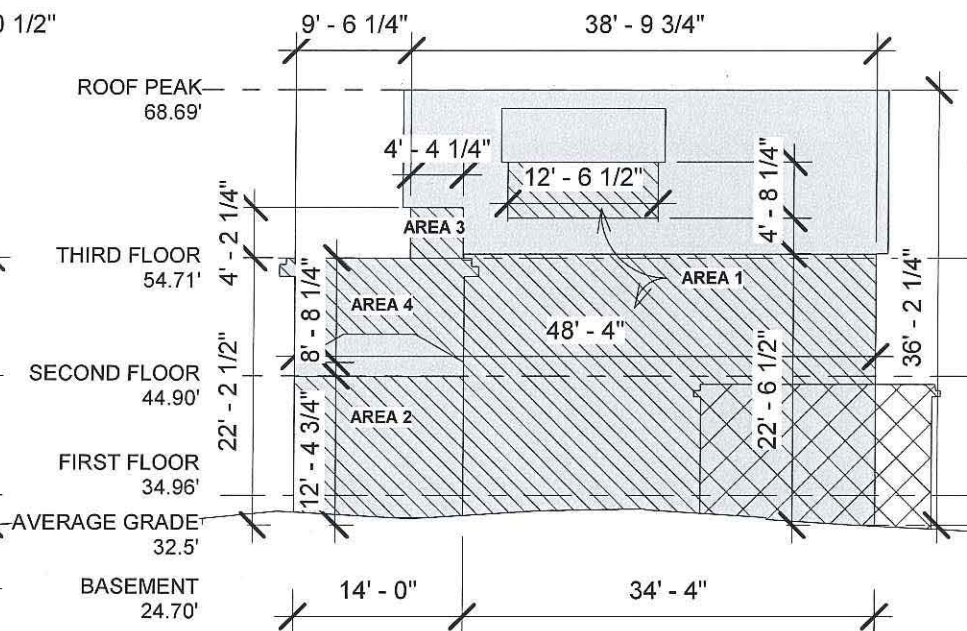
SOUTH ELEVATION



EAST ELEVATION AVERAGE HEIGHT = 33'-5"
SEE CALC BELOW FOR WEST ELEV.



NORTH ELEVATION AVERAGE HEIGHT = $\frac{(H1 \times L1) + (H2 \times L2)}{L1 + L2}$
 $\frac{(22'-2 1/2" \times 12'-8 3/4") + (36'-2 1/4" \times 16'-6 1/2") + (16'-0" \times 4'-0 1/2")}{12'-8 3/4" + 16'-6 1/2" + 4'-0 1/2"}$
 = 28'-4 3/4" AVERAGE HEIGHT



WEST ELEVATION AVERAGE HEIGHT = $\frac{(H1 \times L1) + (H2 \times L2)}{L1 + L2}$
 $\frac{(22'-2 1/2" \times 9'-6 1/4") + (36'-2 1/4" \times 38'-9 3/4")}{9'-6 1/4" + 38'-9 3/4"}$
 = 33'-5" AVERAGE HEIGHT

Note: Calculations for "Facing Area" do not include receding roof area.

SIDE SETBACK - WEST - CONTINUED

$(11'-10 1/8" \times 679.91) + (5'-3 3/8" \times 164.31) + (1'-8 1/2" \times 18.23) + (4'-6 7/16" \times 101.37) = 9,411'-5 5/16"$
 $16'-4 3/16" \times 963.82 = 15,757'-5 7/16" > 9,411'-5 5/16"$, THEREFORE:
 16'-4 3/16" SIDE SETBACK FROM WEST PROPERTY LINE

FRONT YARD SETBACK (SOUTH) - WENDELL STREET

$\frac{H+L}{4}$ TO CENTERLINE STREET, MIN. 10' FROM STREET
 $\frac{36'-2 1/4" + 24'-4 3/4"}{4} = 15'-1 1/2"$ SETBACK FROM CENTER OF WENDELL ST, THEREFORE 10' FROM STREET

FRONT YARD SETBACK (EAST) - GORHAM STREET

$\frac{H+L}{4}$ TO CENTERLINE STREET, MIN. 10' FROM ST (refer to ave. height calcs)
 and **MUST EQUAL OR EXCEED**
 (SETBACK1 x FACING AREA1) + (SETBACK2 x FACING AREA2)
 (SINGLE PLANE SETBACK) x (SINGLE PLANE FACING AREA)

SETBACK1 FACING AREA1
 $\frac{24'-11 1/2" + 33'-1"}{4} = 14'-6 1/8"$ 597.03

SETBACK2 FACING AREA2
 $\frac{18'-10 1/2" + 15'-3"}{4} = 8'-6 3/8"$ 371.76 SF

SETBACK3 FACING AREA3
 $\frac{16'-7 1/4" + 11'-10 1/2"}{4} = 7'-1 7/16"$ 197.18 SF

SINGLE PLANE SETBACK SINGLE PLANE FACING AREA
 $\frac{33'-5" + 48'-4"}{4} = 20'-5 1/4"$ 1165.97 SF

$(14'-6 1/8" \times 597.03) + (8'-6 3/8" \times 371.76) + (7'-1 7/16" \times 197.18) = 13,238'-7 3/8"$
 $20'-5 1/4" \times 1165.97 = 23,829'-6 1/8" > 13,238'-7 3/8"$

20'-5 1/4" FRONT SETBACK FROM CENTER OF GORHAM ST, THEREFORE 10'

SIDE SETBACK - NORTH

$\frac{H+L}{5}$ NO CLOSER TO SIDE LOT LINE THAN 7'-6" (refer to ave. height calcs)
 and **MUST EQUAL OR EXCEED**
 (SETBACK1 x FACING AREA1) + (SETBACK2 x FACING AREA2)
 (SINGLE PLANE SETBACK) x (SINGLE PLANE FACING AREA)

SETBACK1 FACING AREA1
 $\frac{22'-2 1/2" + 33'-3 3/4"}{5} = 11'-1 1/4"$ 738.38 SF

SETBACK2 FACING AREA2
 $\frac{13'-11 3/4" + 16'-6 1/2"}{5} = 6'-1 1/4"$ 172.03 SF

SINGLE PLANE SETBACK SINGLE PLANE FACING AREA
 $\frac{28'-4 3/4" + 33'-3 3/4"}{5} = 12'-4 1/8"$ 910.41 SF

$(11'-1 1/4" \times 738.38) + (6'-1 1/4" \times 172.03) = 9,249'-2 5/16"$
 $12'-4 1/8" \times 910.41 = 11,237'-10 1/2" > 9,249'-2 5/16"$

12'-4 1/8" SIDE YARD SETBACK FROM NORTH PROPERTY LINE

SIDE SETBACK - WEST

$\frac{H+L}{5}$ NO CLOSER TO SIDE LOT LINE THAN 7'-6" (refer to ave. height calcs)
 and AVERAGE HEIGHT = $\frac{(H1 \times L1) + (H2 \times L2)}{L1 + L2}$ and

(SETBACK1 x FACING AREA1) + (SETBACK2 x FACING AREA2)
MUST EQUAL OR EXCEED
 (SINGLE PLANE SETBACK) x (SINGLE PLANE FACING AREA)

SETBACK1 FACING AREA1
 $\frac{24'-10 5/8" + 34'-4"}{5} = 11'-10 18"$ 679.91 SF

SETBACK2 FACING AREA2
 $\frac{12'-4 3/4" + 14'-0"}{5} = 5'-3 3/8"$ 164.31 SF

SETBACK3 FACING AREA3
 $\frac{4'-2 1/4" + 4'-4 1/4"}{5} = 1'-8 1/2"$ 18.23 SF

SETBACK4 FACING AREA4
 $\frac{8'-8 1/4" + 14'-0"}{5} = 4'-6 7/16"$ 101.37 SF

SINGLE PLANE SETBACK SINGLE PLANE FACING AREA
 $\frac{33'-5" + 48'-4"}{5} = 16'-4 3/16"$ 963.82

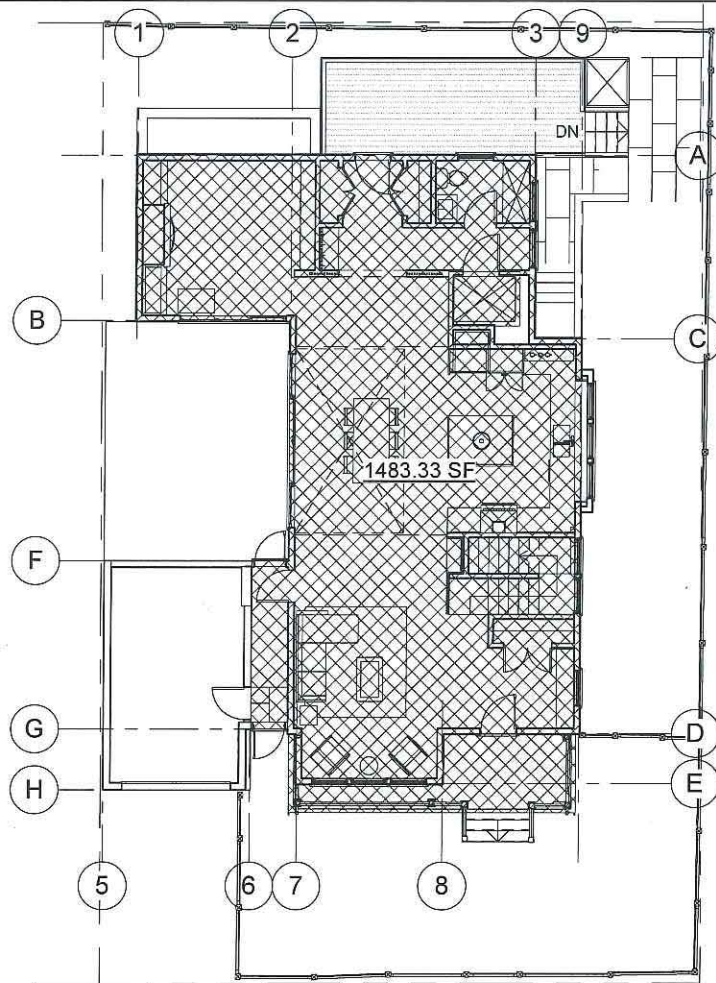
1 Elevations - Proposed
 1/16" = 1'-0"

55 Wendell St
 Steinberg Muz Residence
 Setback Calculations - Proposed

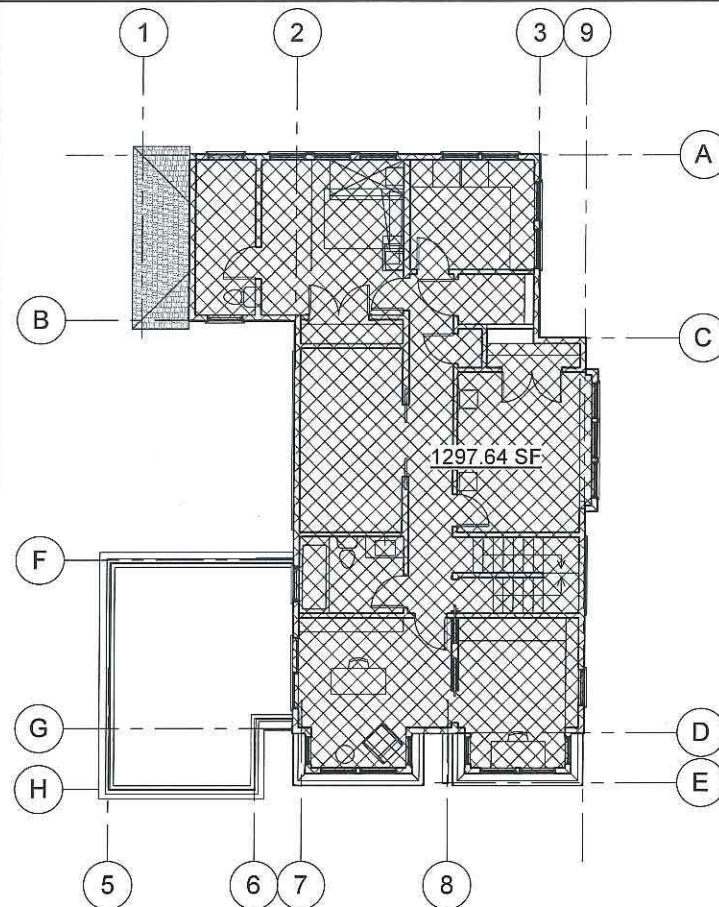
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A0.5

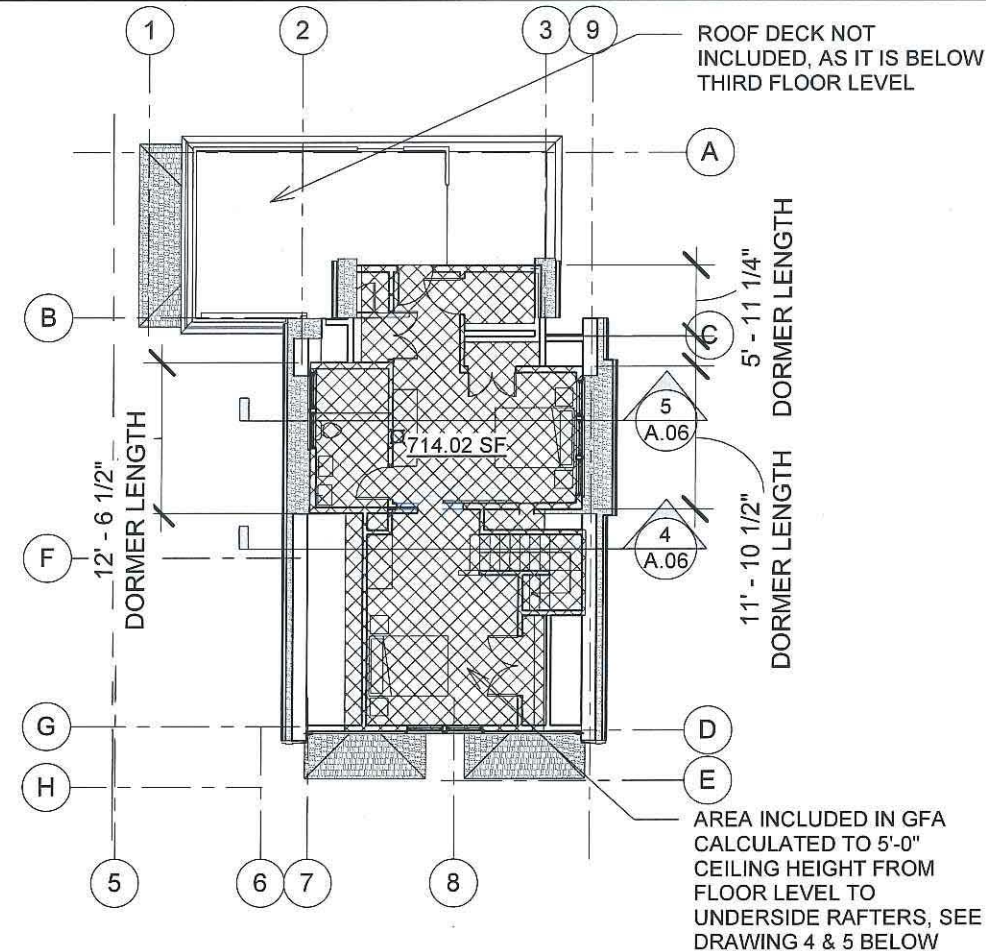
SCALE: 1/16" = 1'-0"
 DATE: 01.20.22
 DRAWN BY: MLA



① First Floor - GFA Calcs Proposed
1/16" = 1'-0"



② Second Floor - GFA Calcs Proposed
1/16" = 1'-0"



③ Third Floor - GFA Calcs Proposed
1/16" = 1'-0"

GFA (GROSS FLOOR AREA) CALCS:

FIRST FLOOR= 1,483.33 SF
SECOND FLOOR= 1,297.64 SF
THIRD FLOOR= 714.02 SF
TOTAL= 3,494.99 SF

FAR (FLOOR AREA RATIO) CALCS:

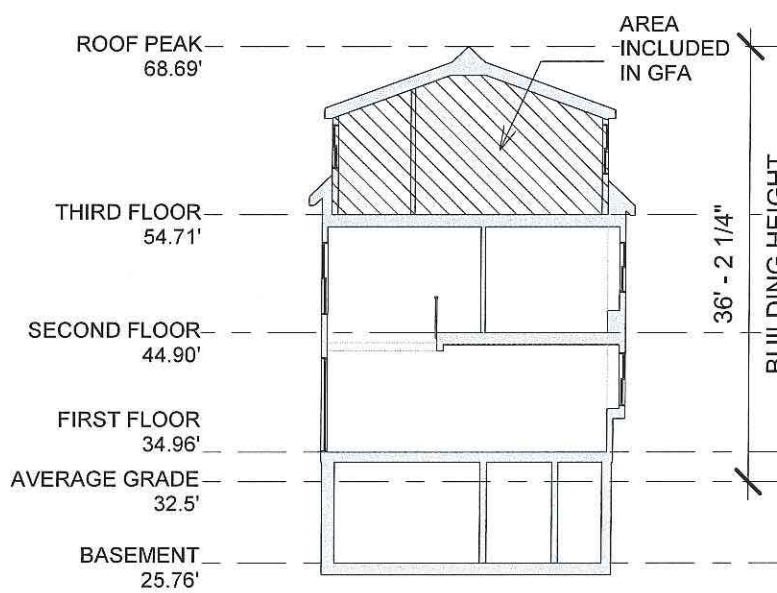
TOTAL GFA = FAR
LOT AREA

TOTAL GFA = 3,494.99 SF
LOT AREA= 4,000 SF

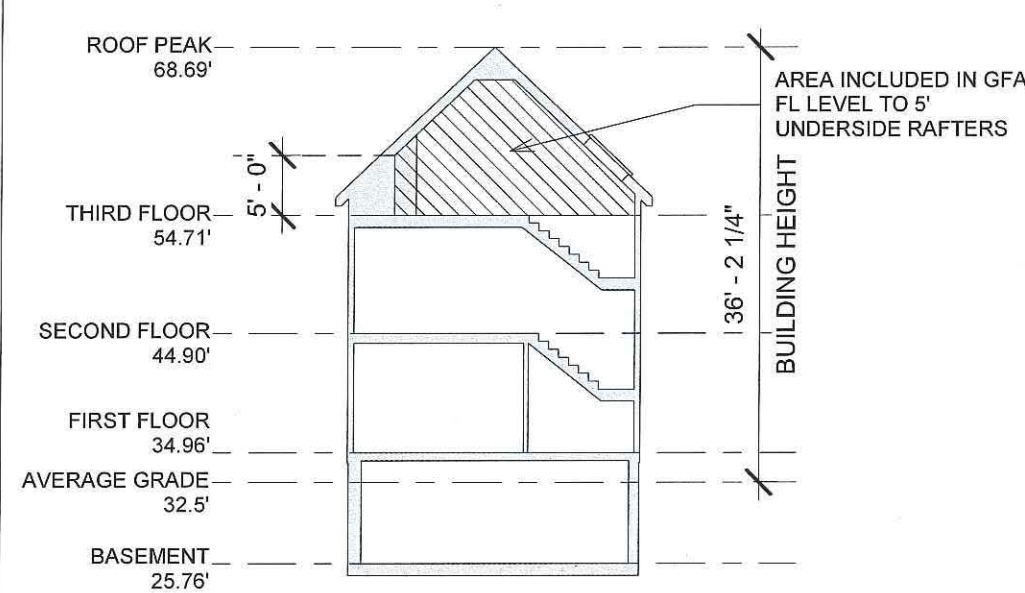
$\frac{3,494.99}{4,000} = .87$ PROPOSED FAR

ALLOWABLE FAR IN ZONE C-1 = .75,
WHICH WOULD BE A GFA OF 3,000 SF.
EXISTING FAR IS .80, THEREFORE PROPOSED
FAR IS .07 MORE THAN EXISTING FAR

⑥ GFA & FAR CALCS - Proposed
1/16" = 1'-0"



⑤ Section - at Dormers
1/16" = 1'-0"



④ Section - at Stair
1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

DATE: 01.20.22

DRAWN BY: MLA

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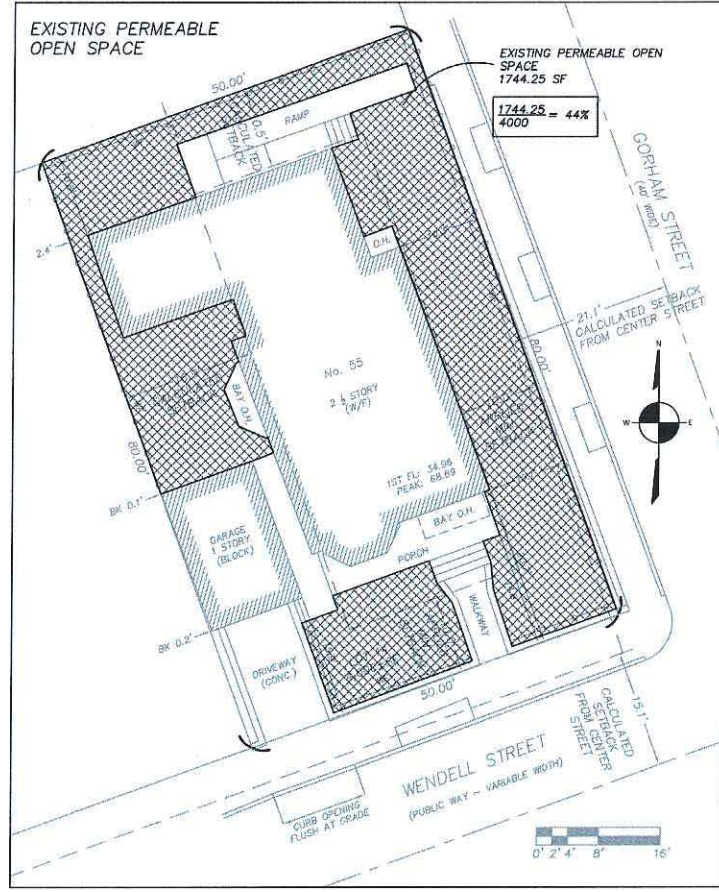
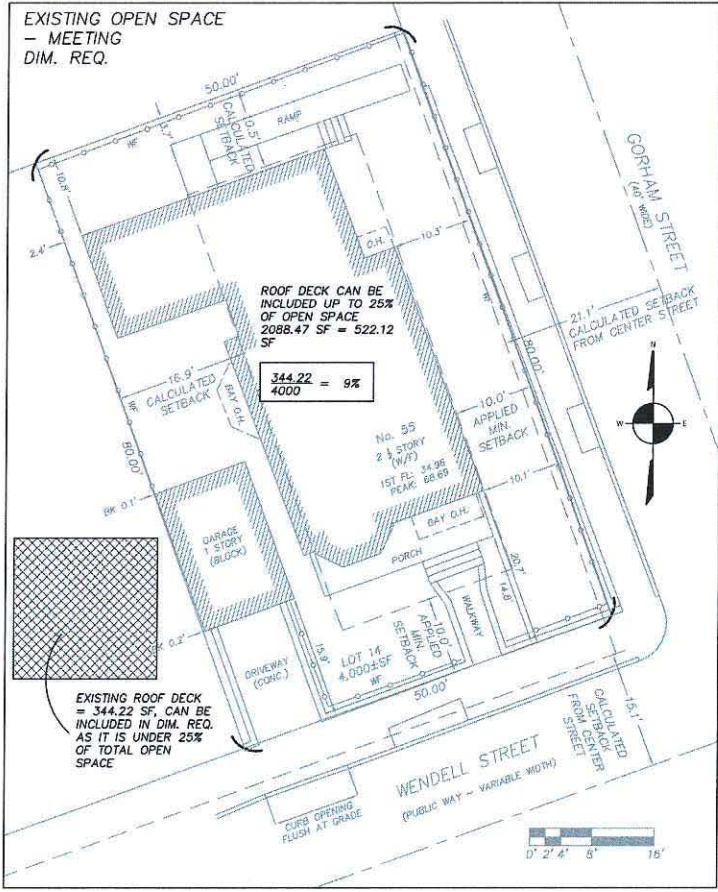
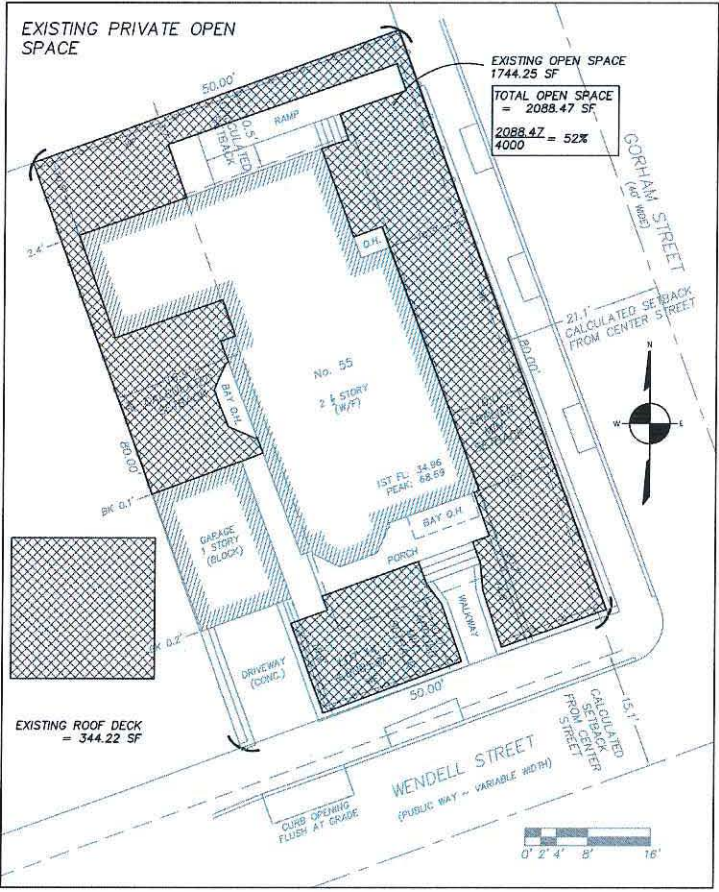
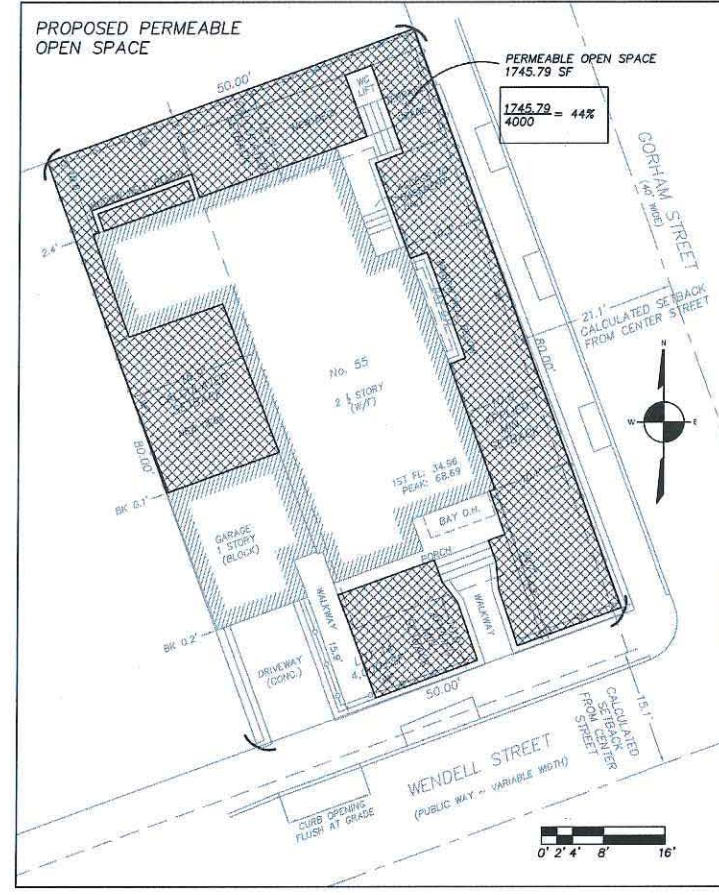
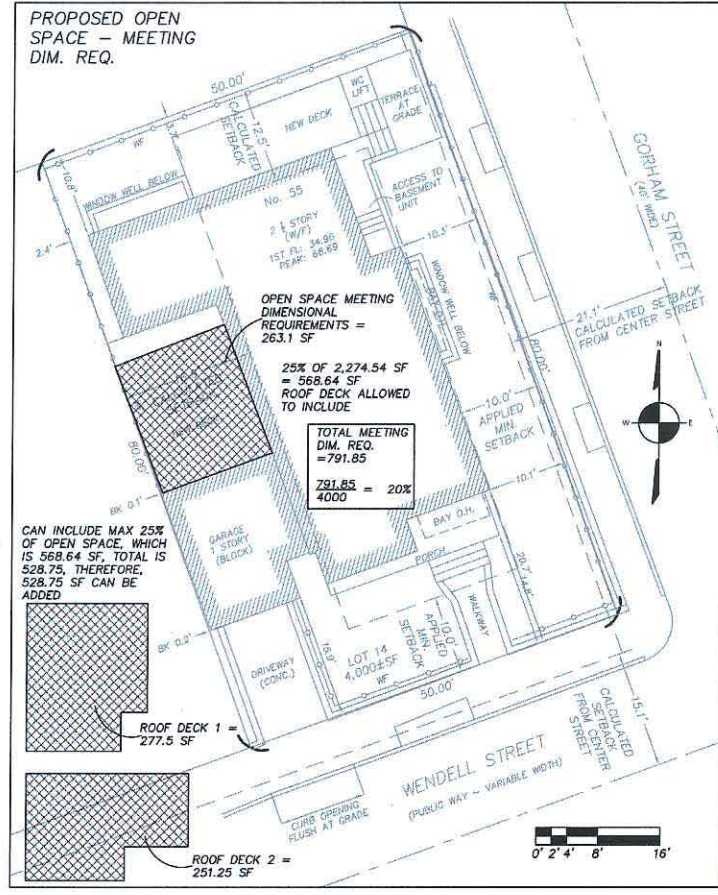
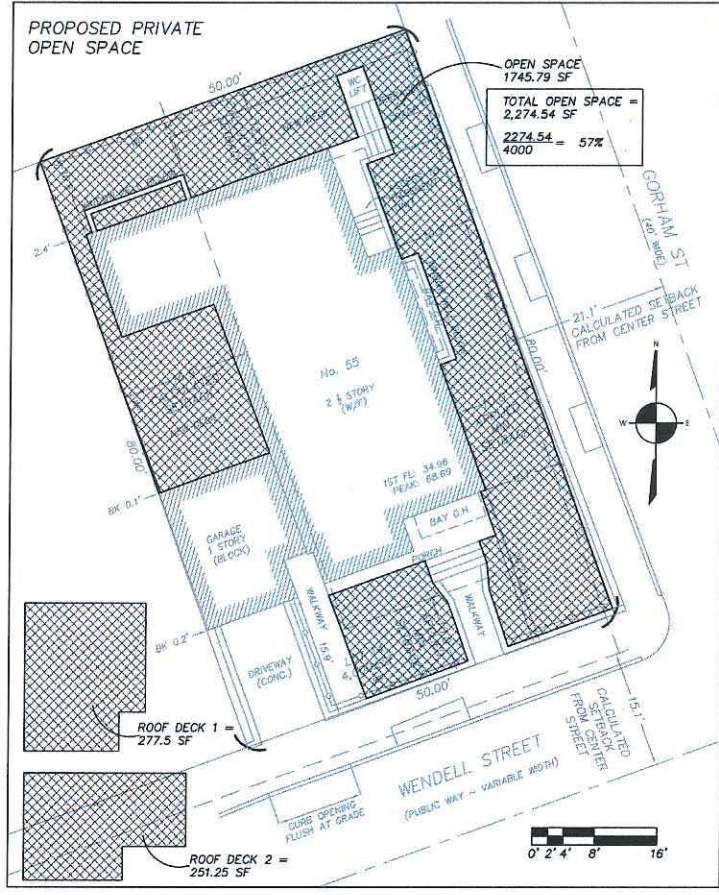
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55 Wendell St

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GFA & FAR Calculations - Proposed



SCALE:

DATE: 01.20.22

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A0.7

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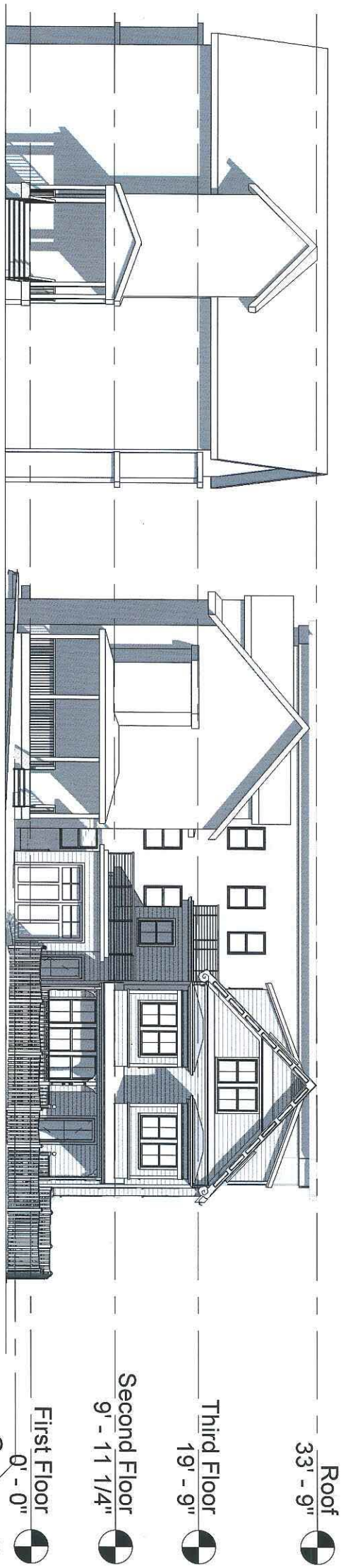
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55 Wendell St

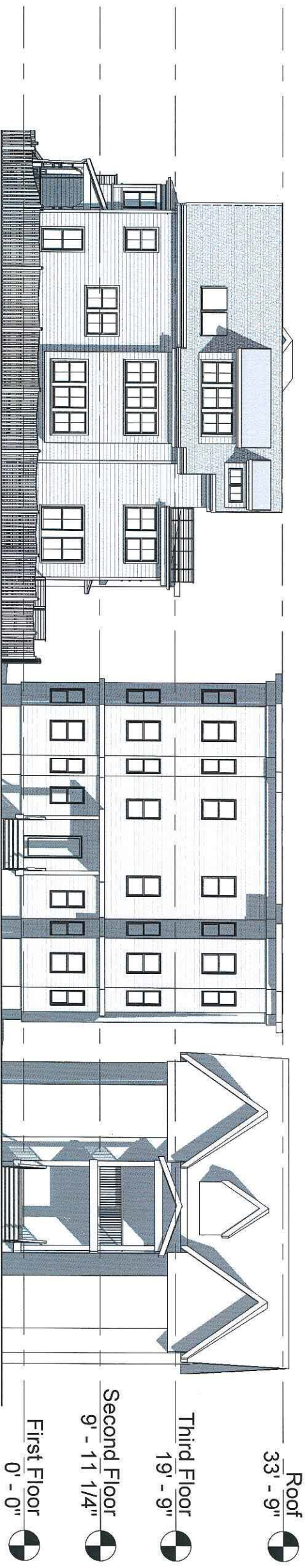
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Open Space - Existing & Proposed







1 Wendell Street Elevation
1/16" = 1'-0"

Roof 33' - 9" 
 Third Floor 19' - 9" 
 Second Floor 9' - 11 1/4" 
 First Floor 0' - 0" 
 Garage -1' - 10" 



2 Gorham Street Elevation
1/16" = 1'-0"

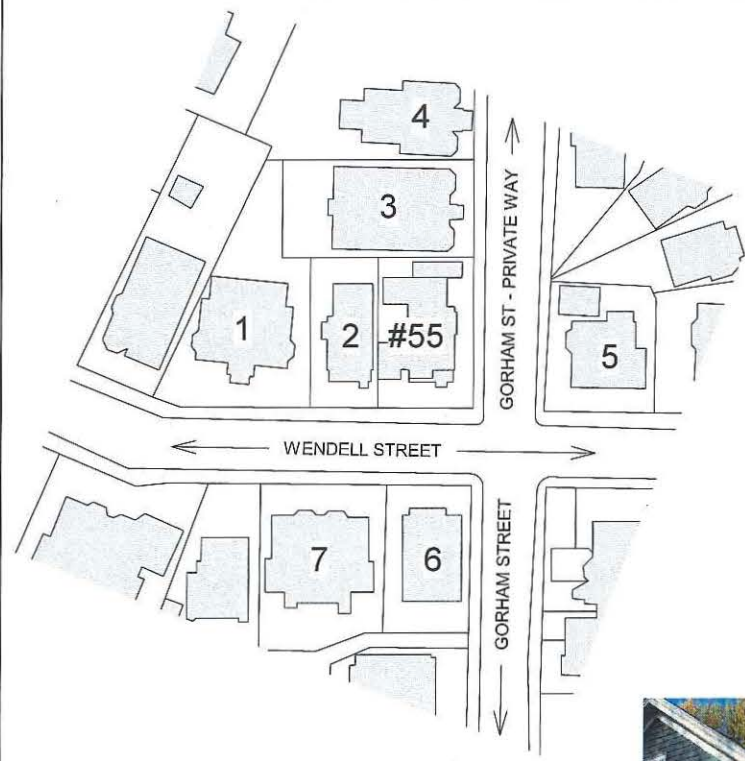
Roof 33' - 9" 
 Third Floor 19' - 9" 
 Second Floor 9' - 11 1/4" 
 First Floor 0' - 0" 

SCALE:	1/16" = 1'-0"
DATE:	01.20.22
DRAWN BY:	MLA

A0.8

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55 Wendell St
 Steinberg Muz Residence
 Street Elevations



① 49-51 WENDELL STREET



② 53 WENDELL STREET



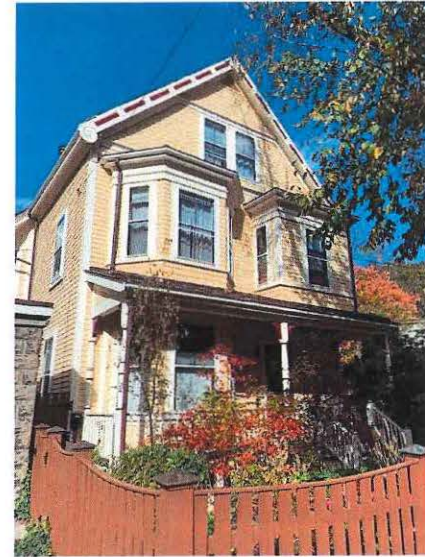
③ 57-59 GORHAM STREET



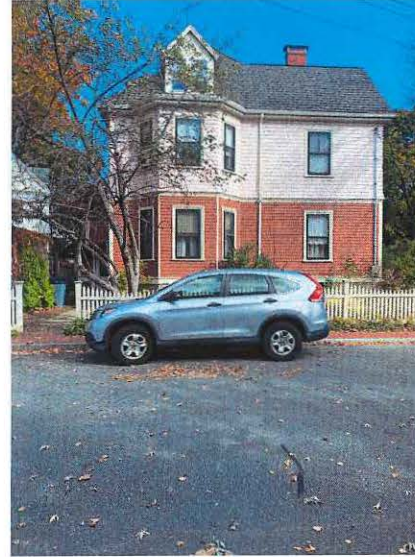
④ 61 GORHAM STREET



55 WENDELL ST - GARAGE



55 WENDELL ST - FRONT



⑤ 63 WENDELL STREET



⑥ 60 WENDELL STREET



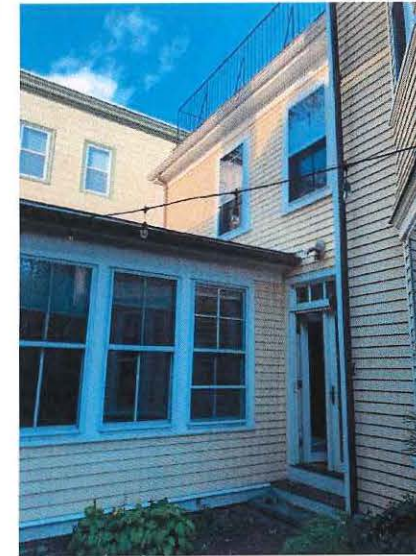
⑦ 56-58 WENDELL STREET



55 WENDELL ST - ELEVATION FROM GORHAM STREET



55 WENDELL ST - BACK



55 WENDELL ST - COURTYARD 1



55 WENDELL ST - COURTYARD 2

55 Wendell St
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Site Plan w/ Neighbors

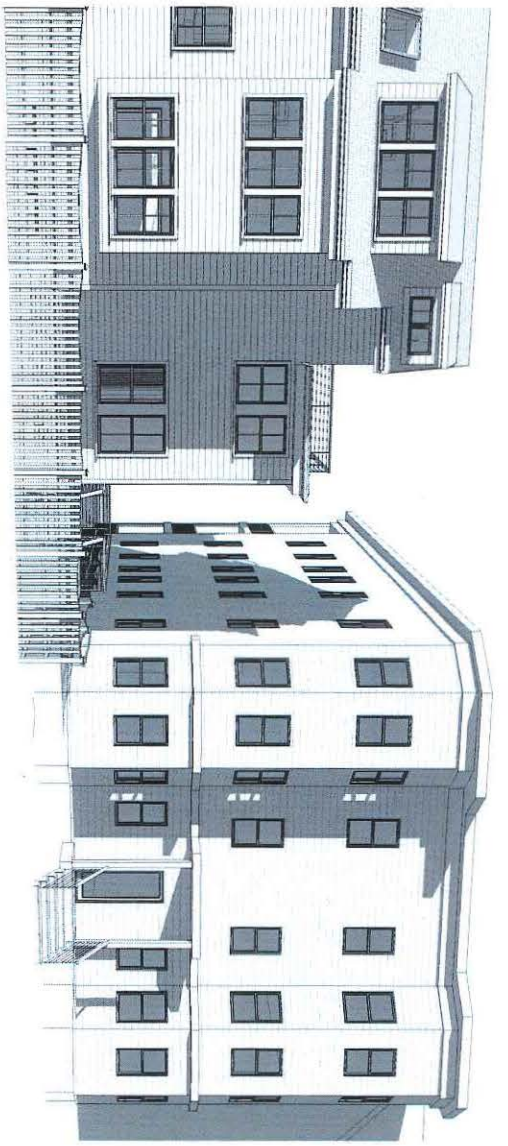
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A0.9

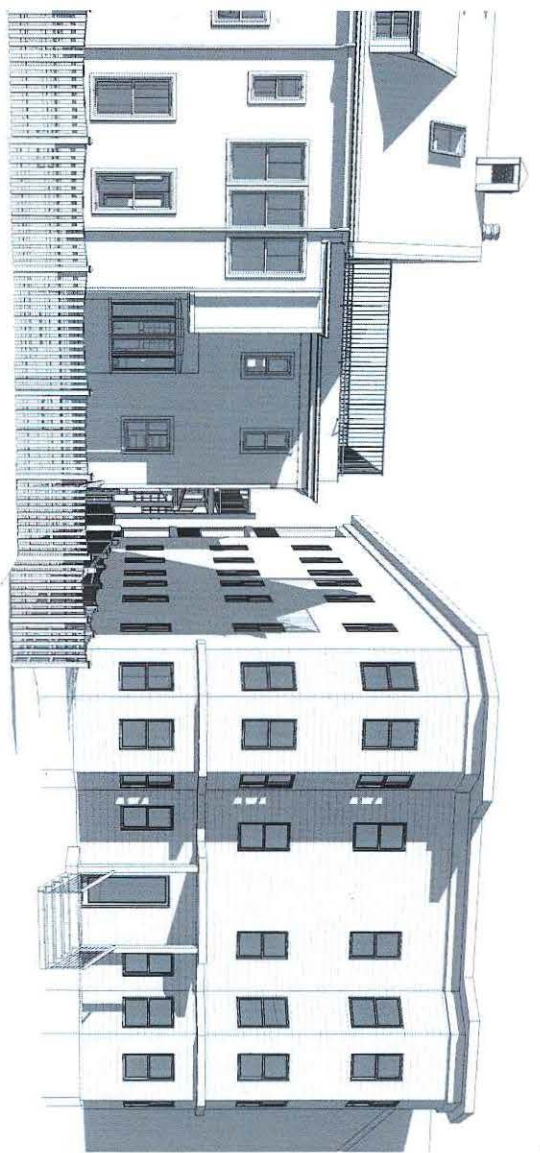
SCALE: 1" = 100'-0"

DATE: 01.20.22

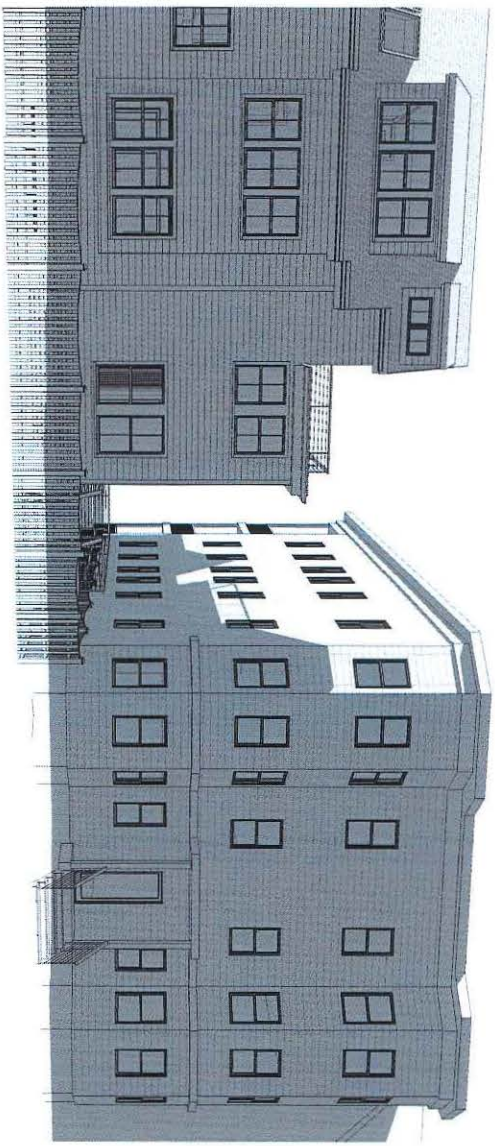
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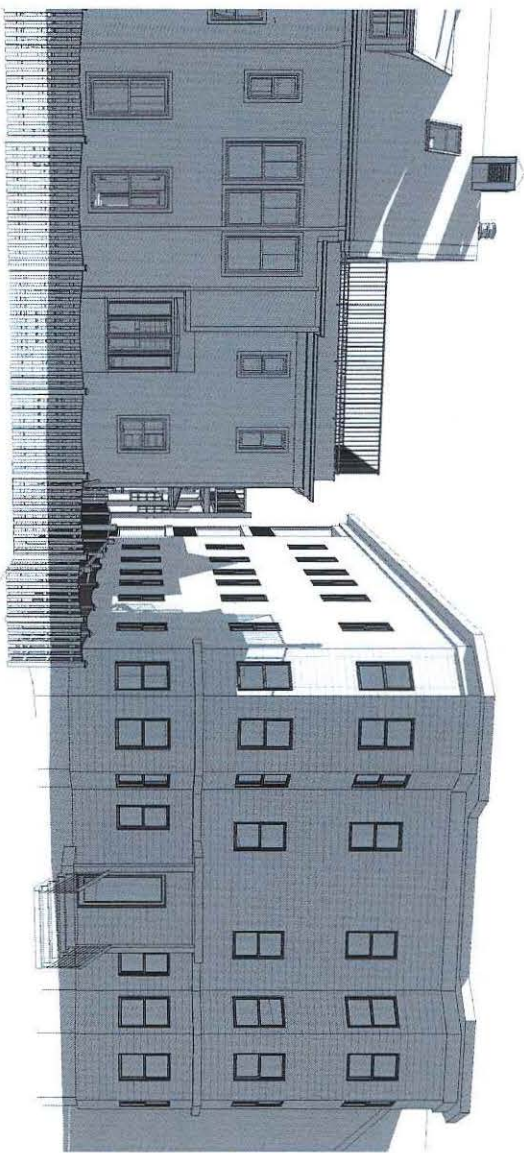
Proposed - Winter Solstice - 9am



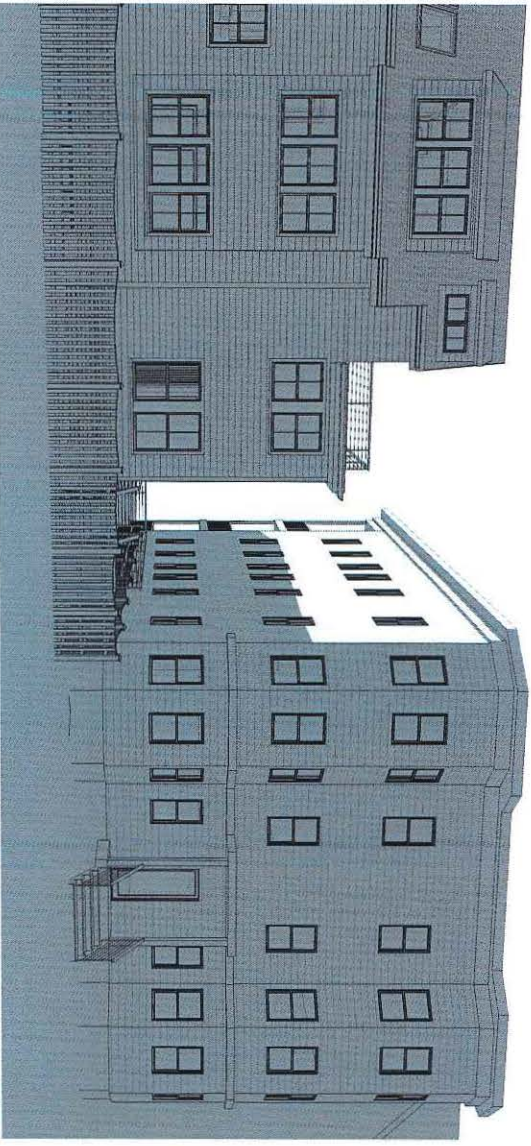
Existing - Winter Solstice - 9am



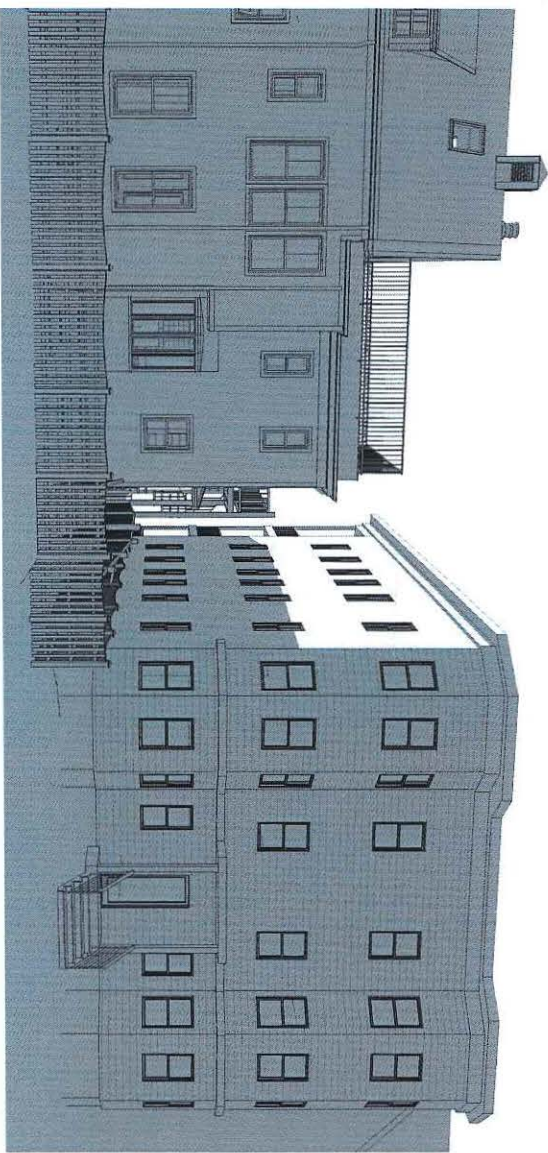
Proposed - Winter Solstice - 12pm



Existing - Winter Solstice - 12pm



Proposed - Winter Solstice - 3pm



Existing - Winter Solstice - 3pm

SCALE: 12" = 1'-0"

DATE: 01.20.22

DRAWN BY: MLA

A0.10

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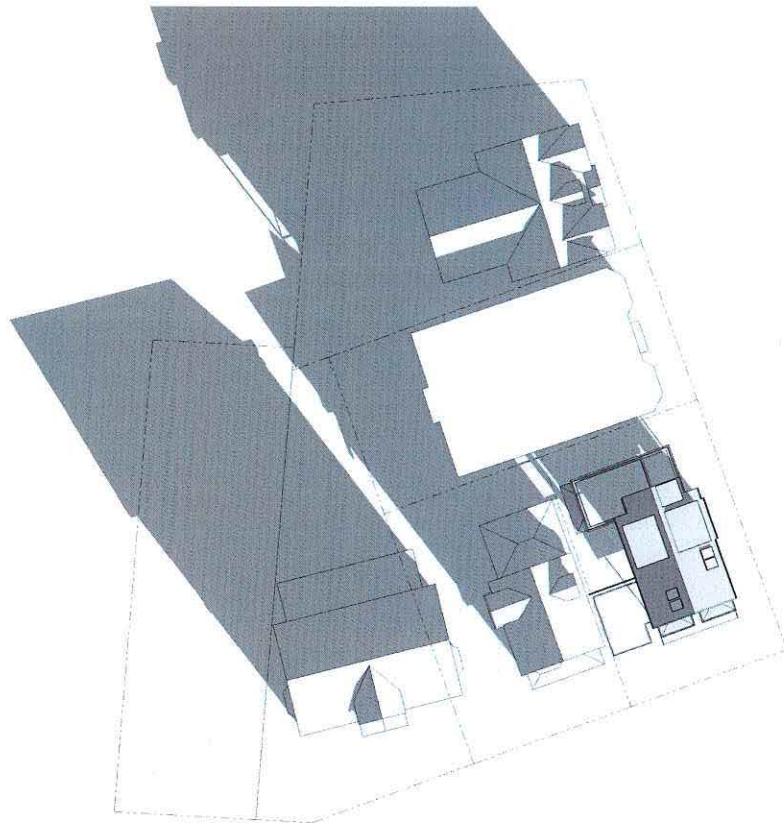
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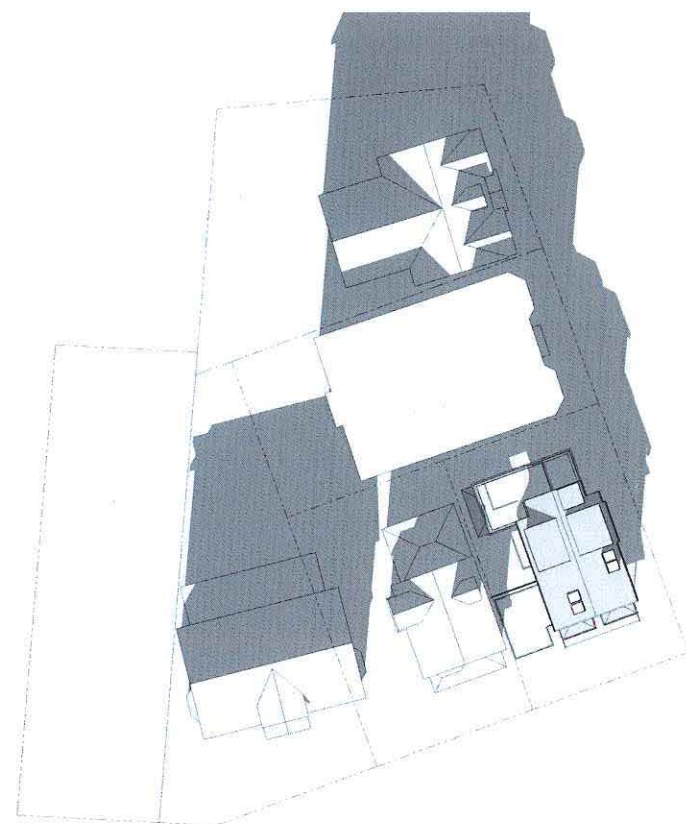
55 Wendell St
Steinberg Muz Residence

Sun Studies - Winter Solstice - 3D Views

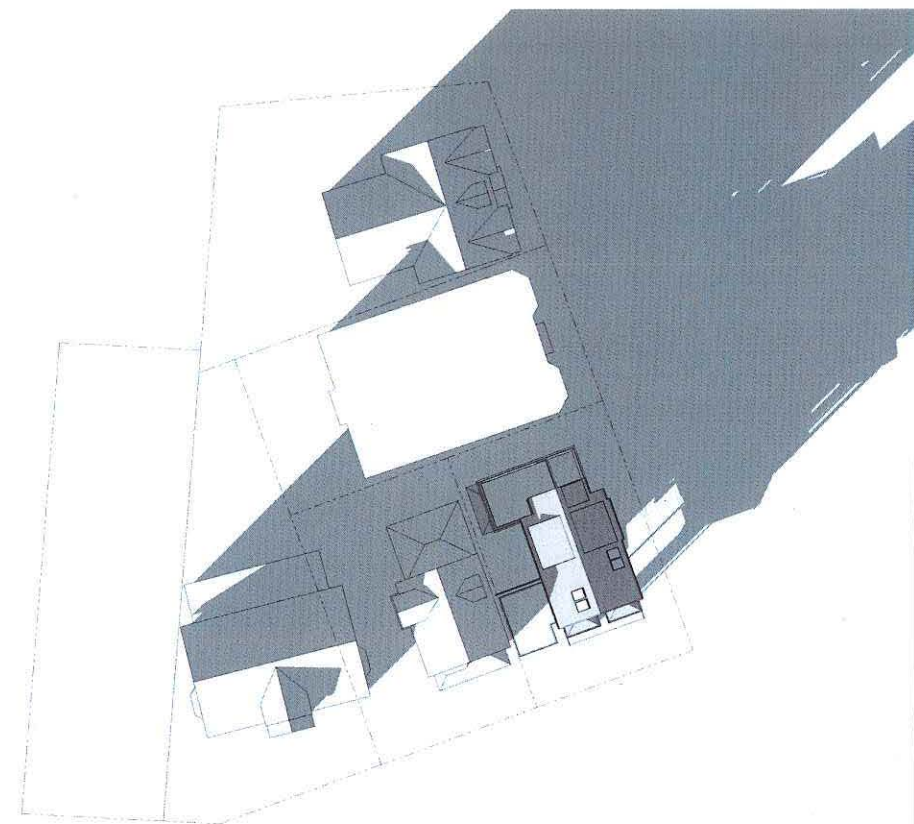
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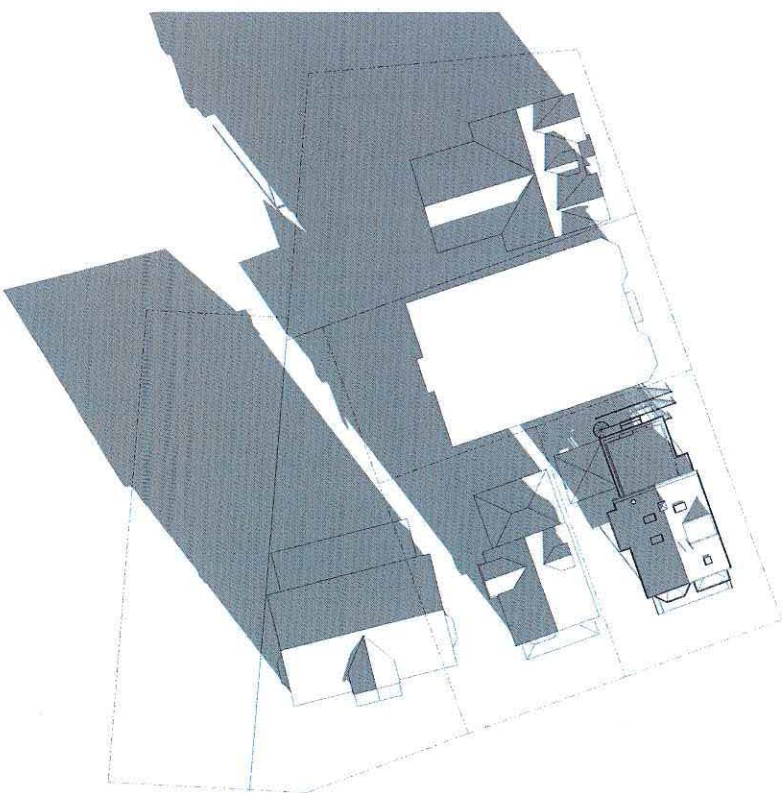
Proposed - Winter Solstice - 9am



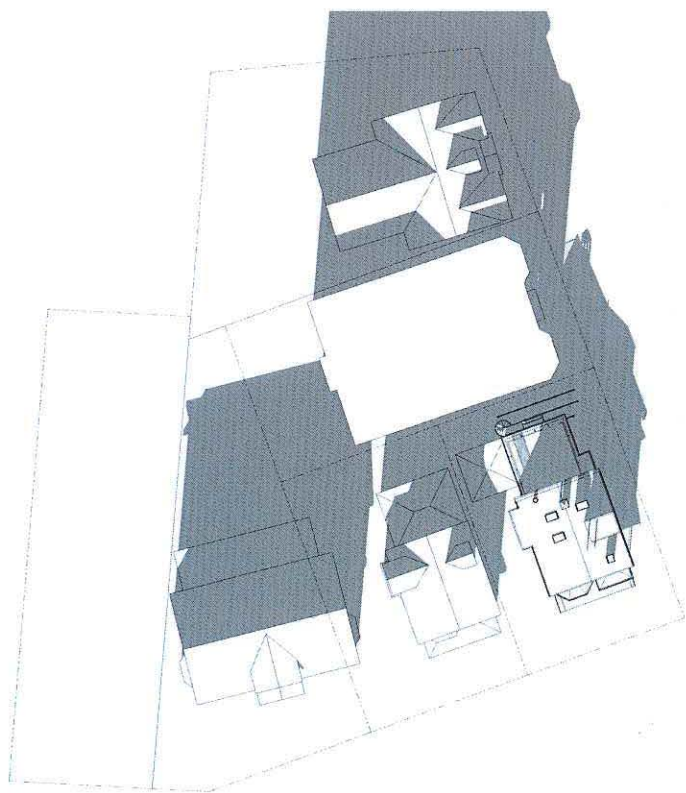
Proposed - Winter Solstice - 12pm



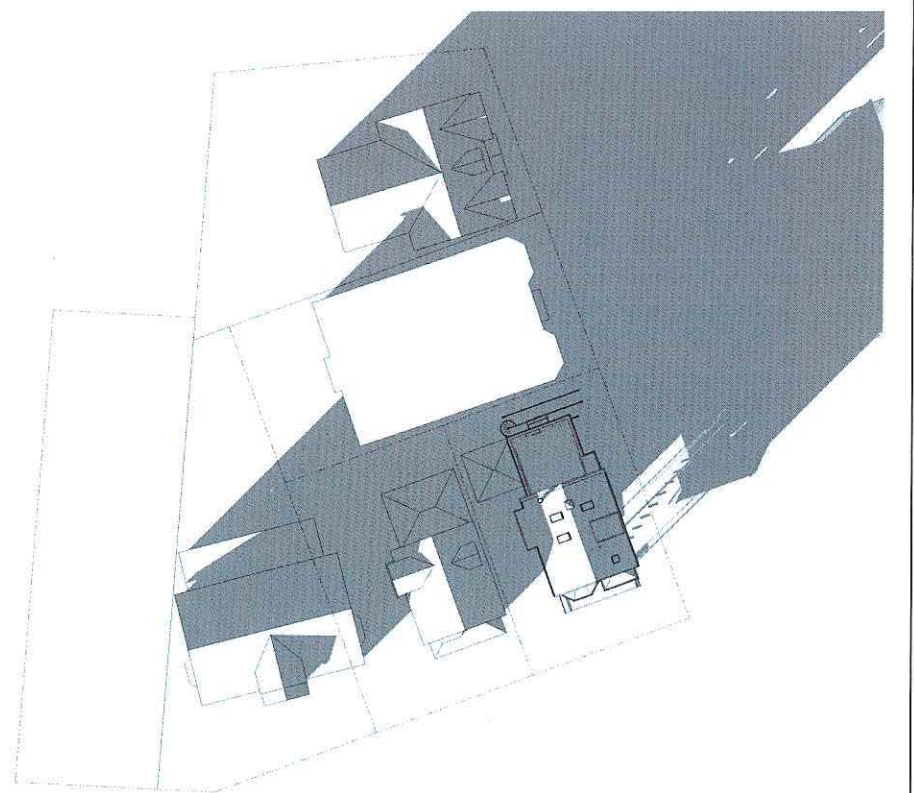
Proposed - Winter Solstice - 3pm



Existing - Winter Solstice - 9am



Existing - Winter Solstice - 12pm



Existing - Winter Solstice - 3pm

SCALE:

DATE: 01.20.22

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A0.11

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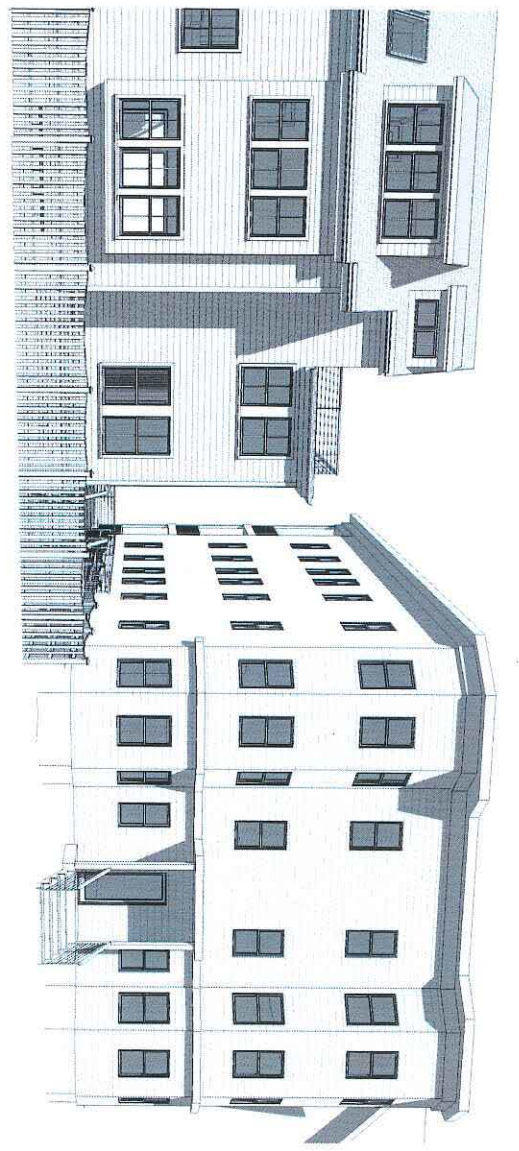
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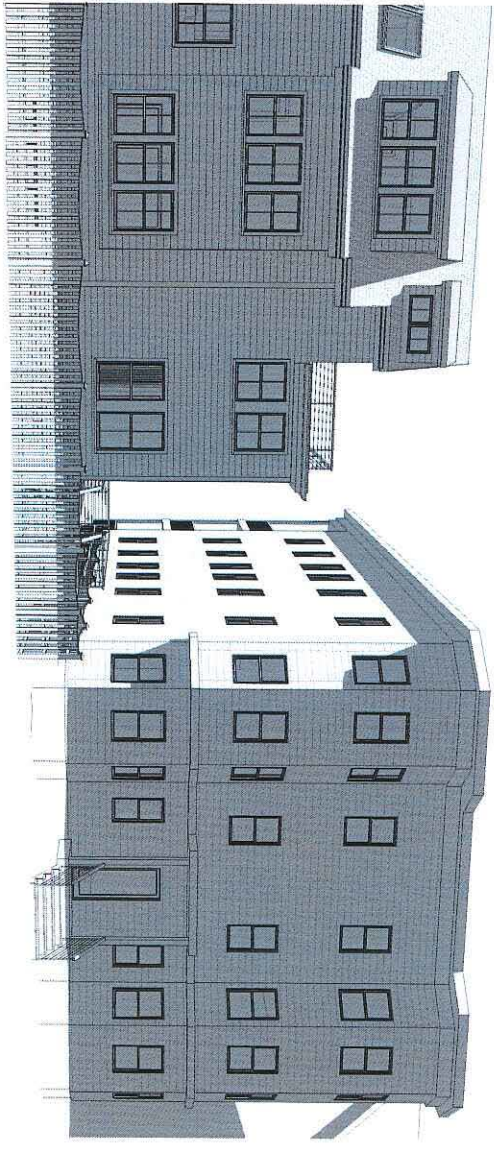
55 Wendell St

Steinberg Muz Residence

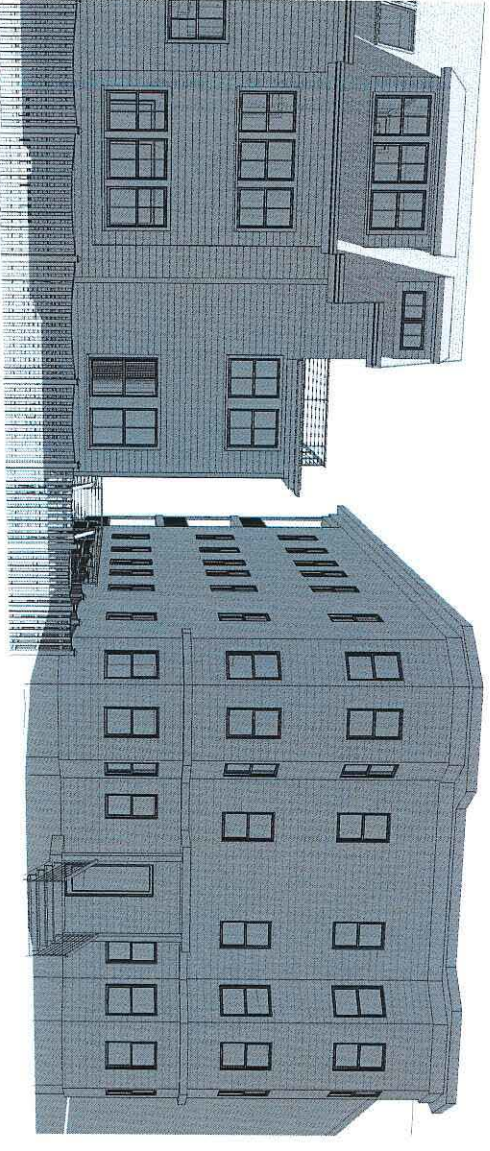
Sun Studies - Winter Solstice - Plan Views



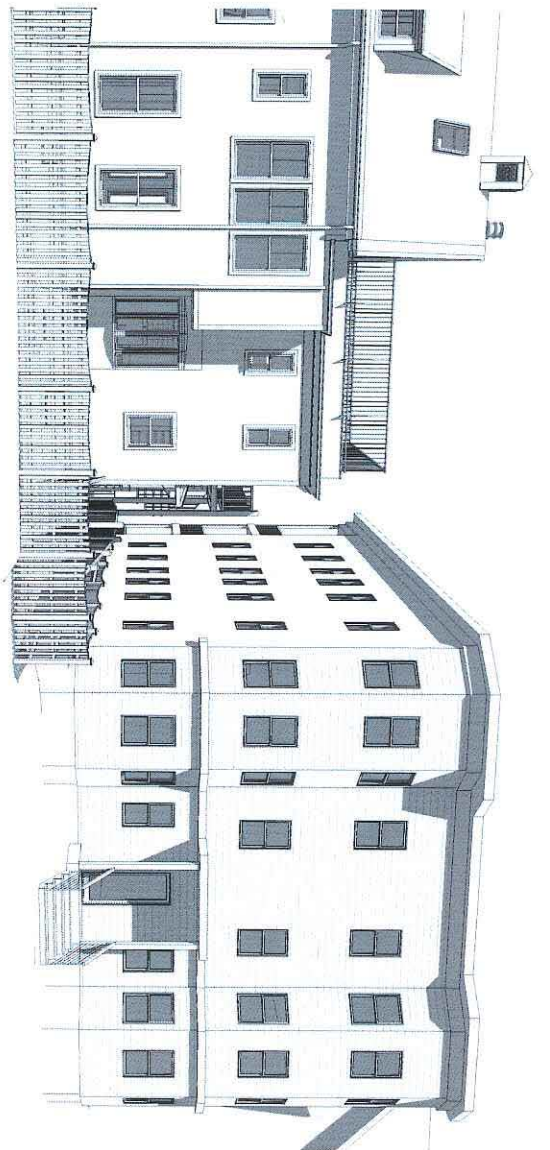
Proposed - Summer Solstice - 9am



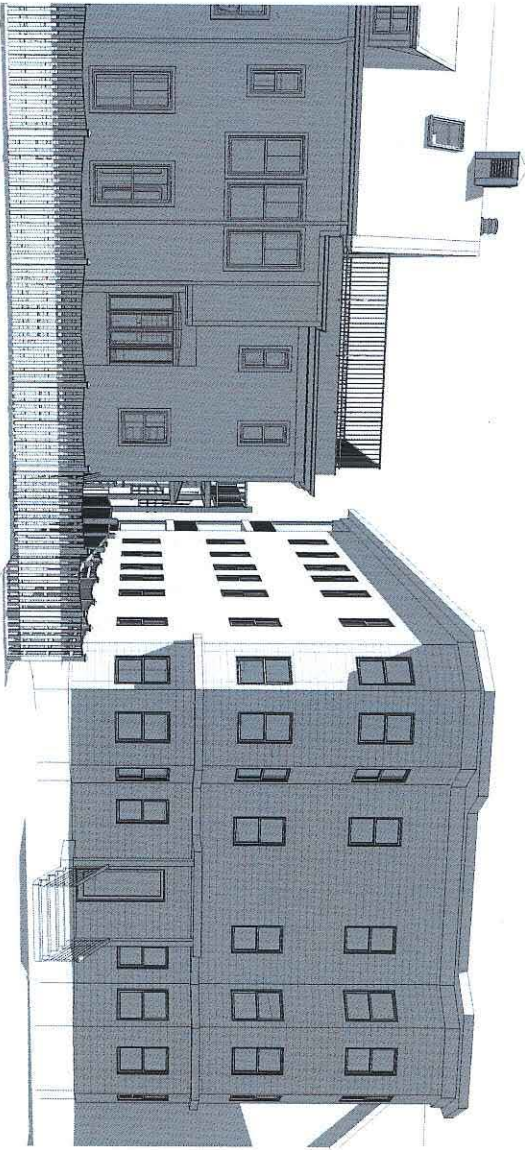
Proposed - Summer Solstice - 12pm



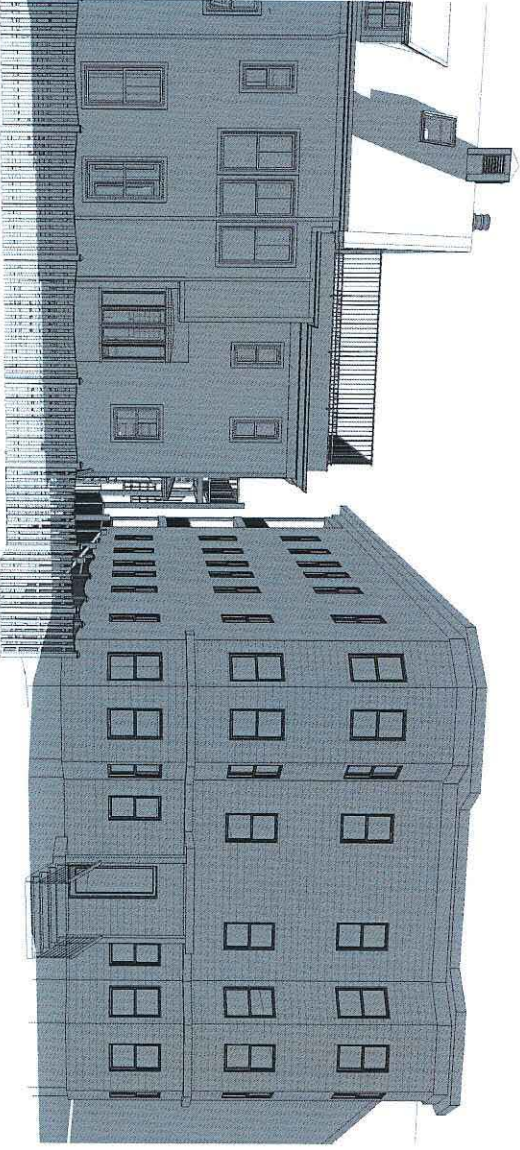
Proposed - Summer Solstice - 3pm



Existing - Summer Solstice - 9am



Existing - Summer Solstice - 12pm



Existing - Summer Solstice - 3pm

SCALE: 12" = 1'-0"

DATE: 01.20.22

DRAWN BY: MLA

A0.12

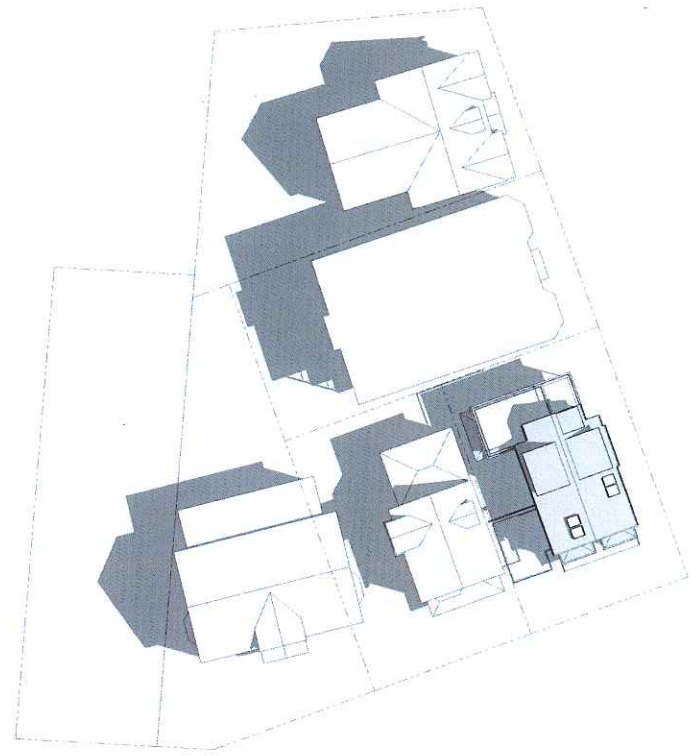
Moskow Linn Architects, Inc.

88 Broad Street Boston, Massachusetts 02110

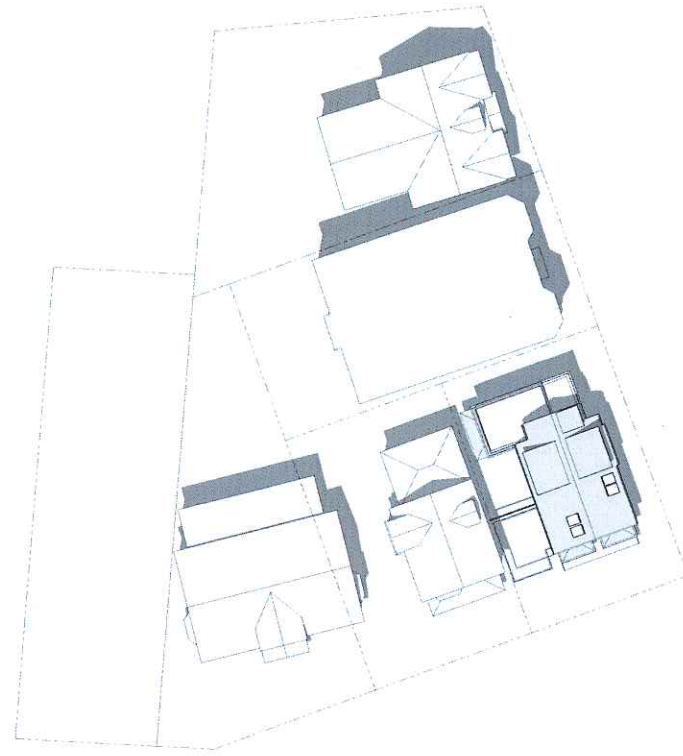
tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

55 Wendell St
Steinberg Muz Residence

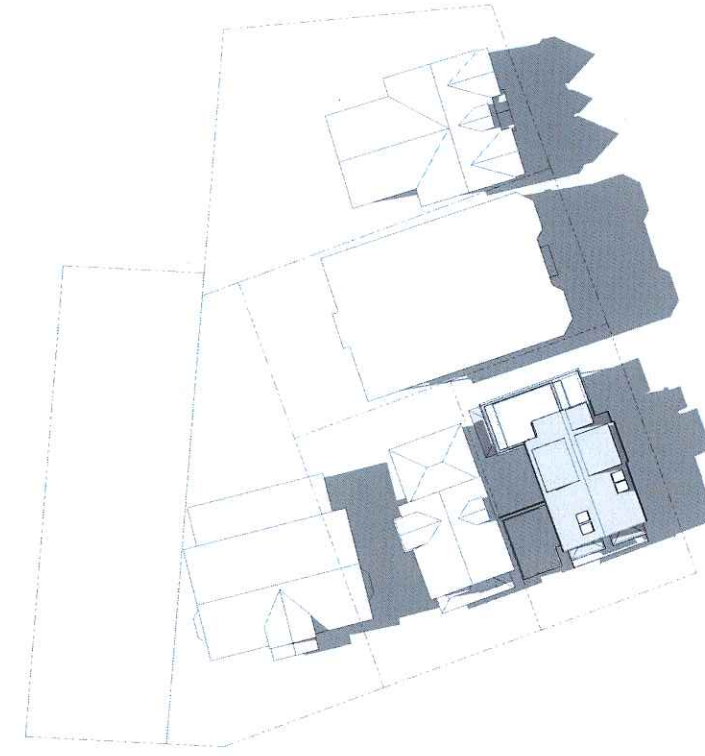
Sun Studies - Summer Solstice - 3D Views



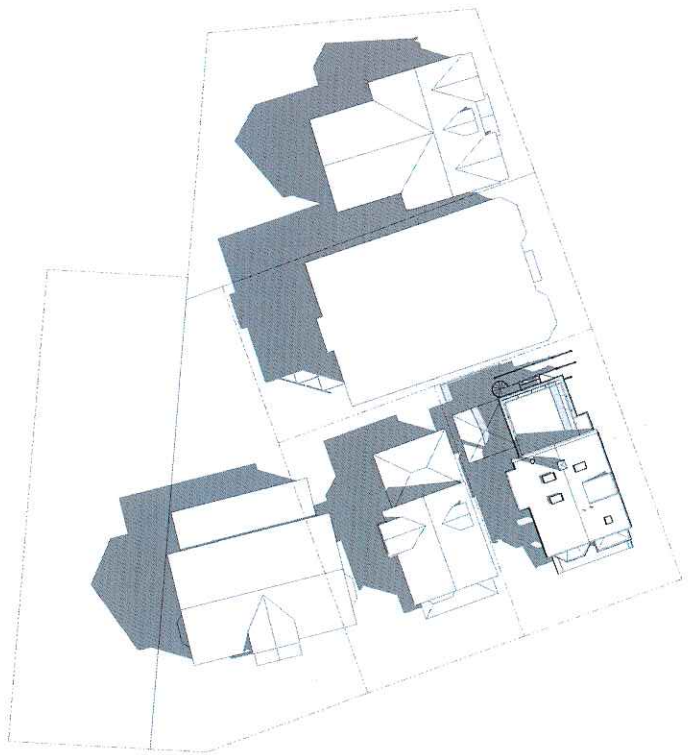
Proposed - Summer Solstice - 9am



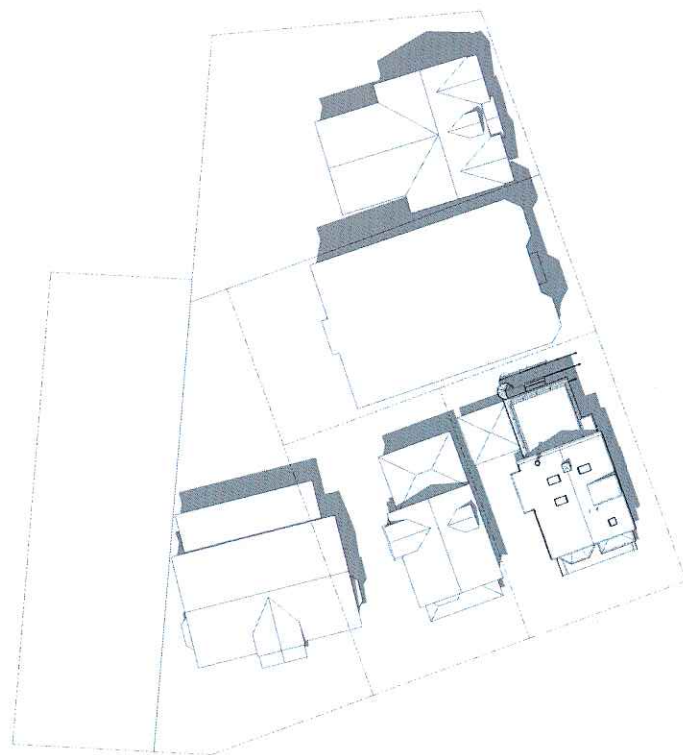
Proposed - Summer Solstice - 12pm



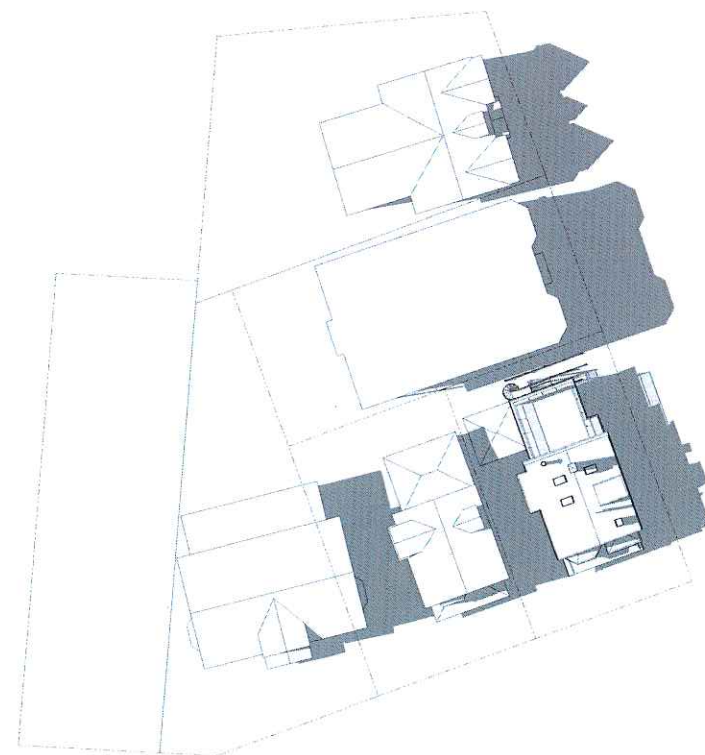
Proposed - Summer Solstice - 3pm



Existing - Summer Solstice - 9am



Existing - Summer Solstice - 12pm



Existing - Summer Solstice - 3pm

55 Wendell St
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Sun Studies - Summer Solstice - Plan Views

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A0.13

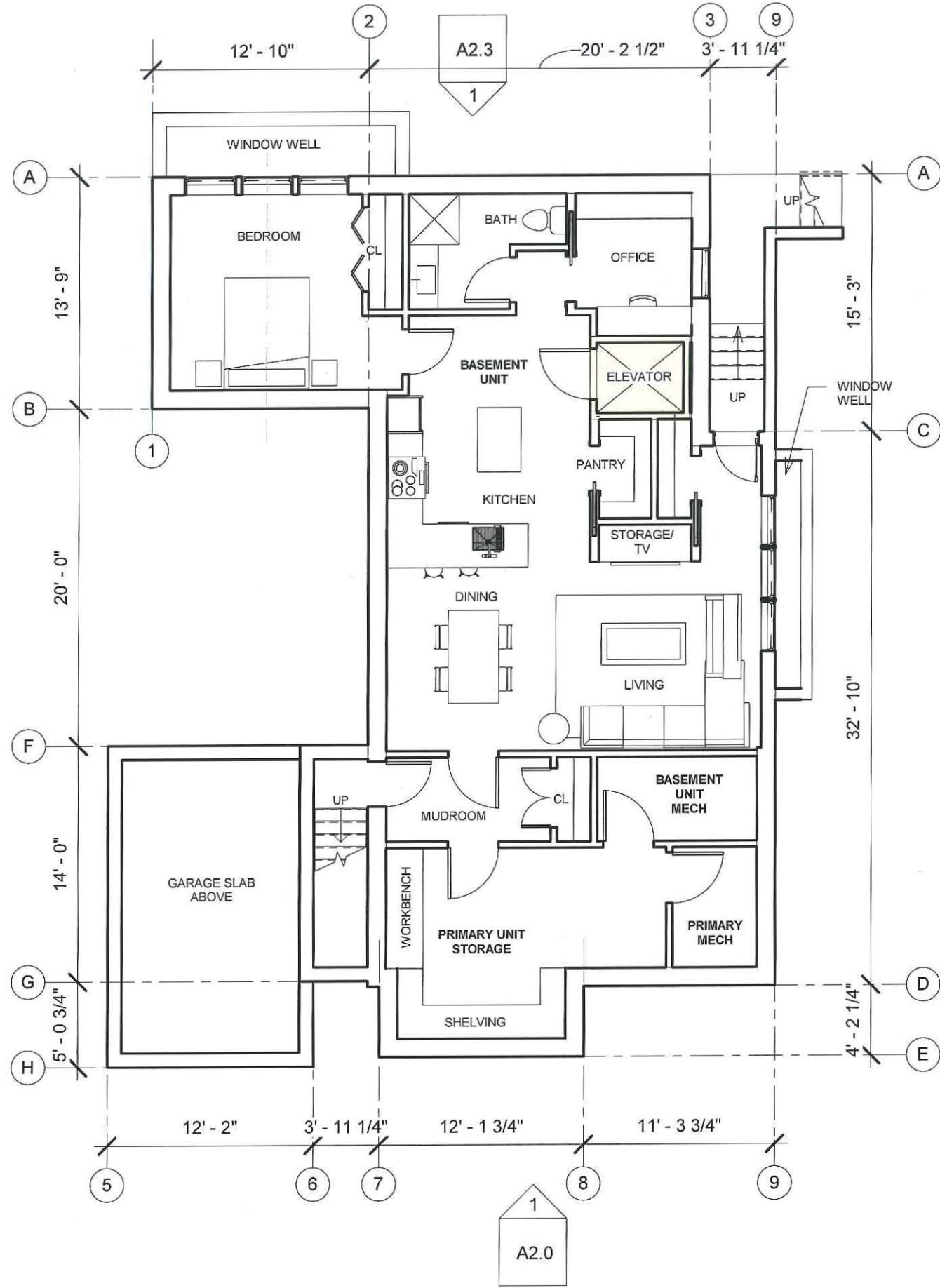
SCALE:

DATE: 01.20.22

DRAWN BY: MLA

C:\Users\sl\Desktop\Wendell\20211102_55 Wendell SL Option 2_reduced.rvt

1 Basement
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

DATE: 01.20.22

DRAWN BY: MLA

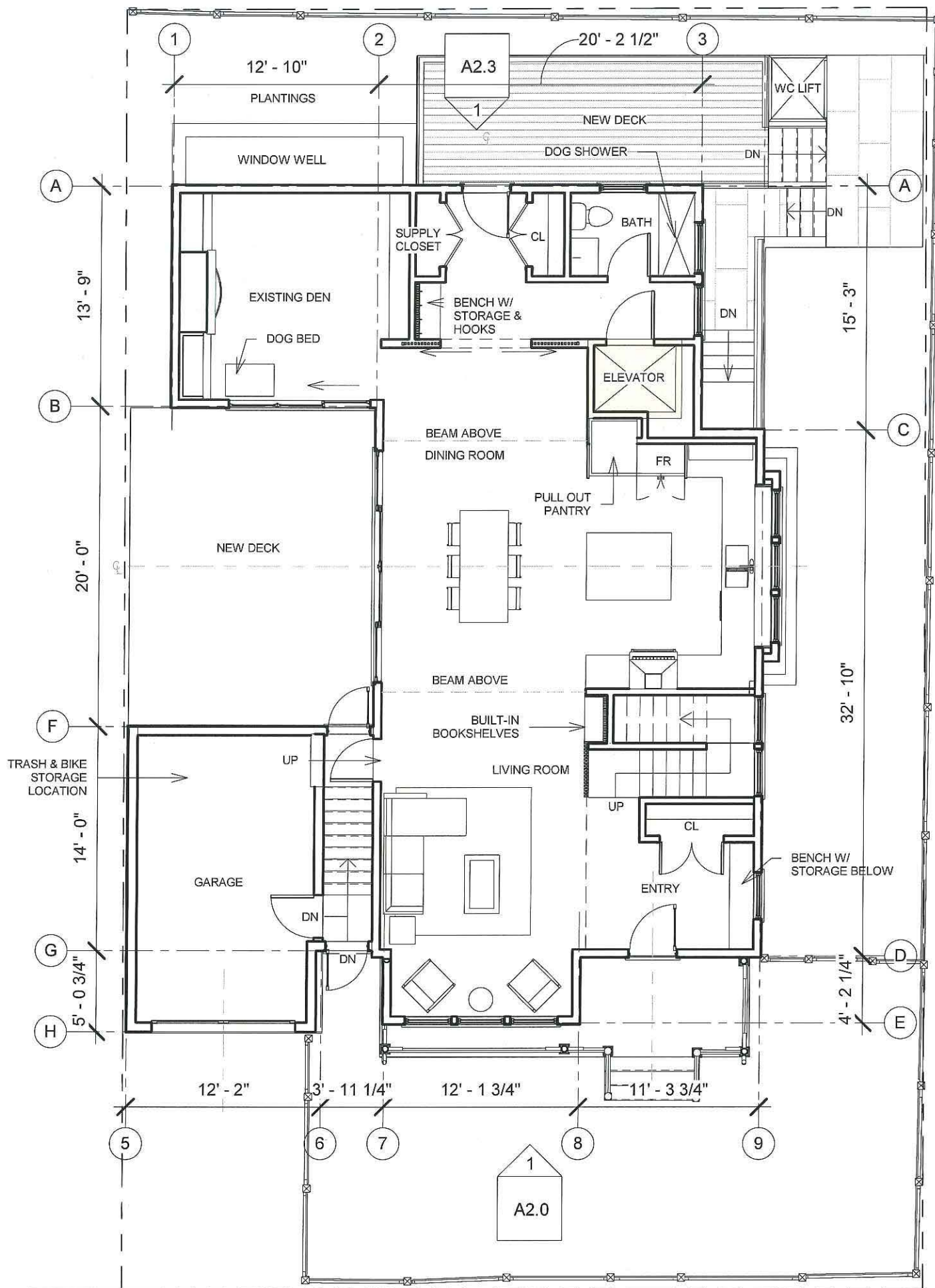
A1.0

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Basement Plan



1 First Floor
1/8" = 1'-0"

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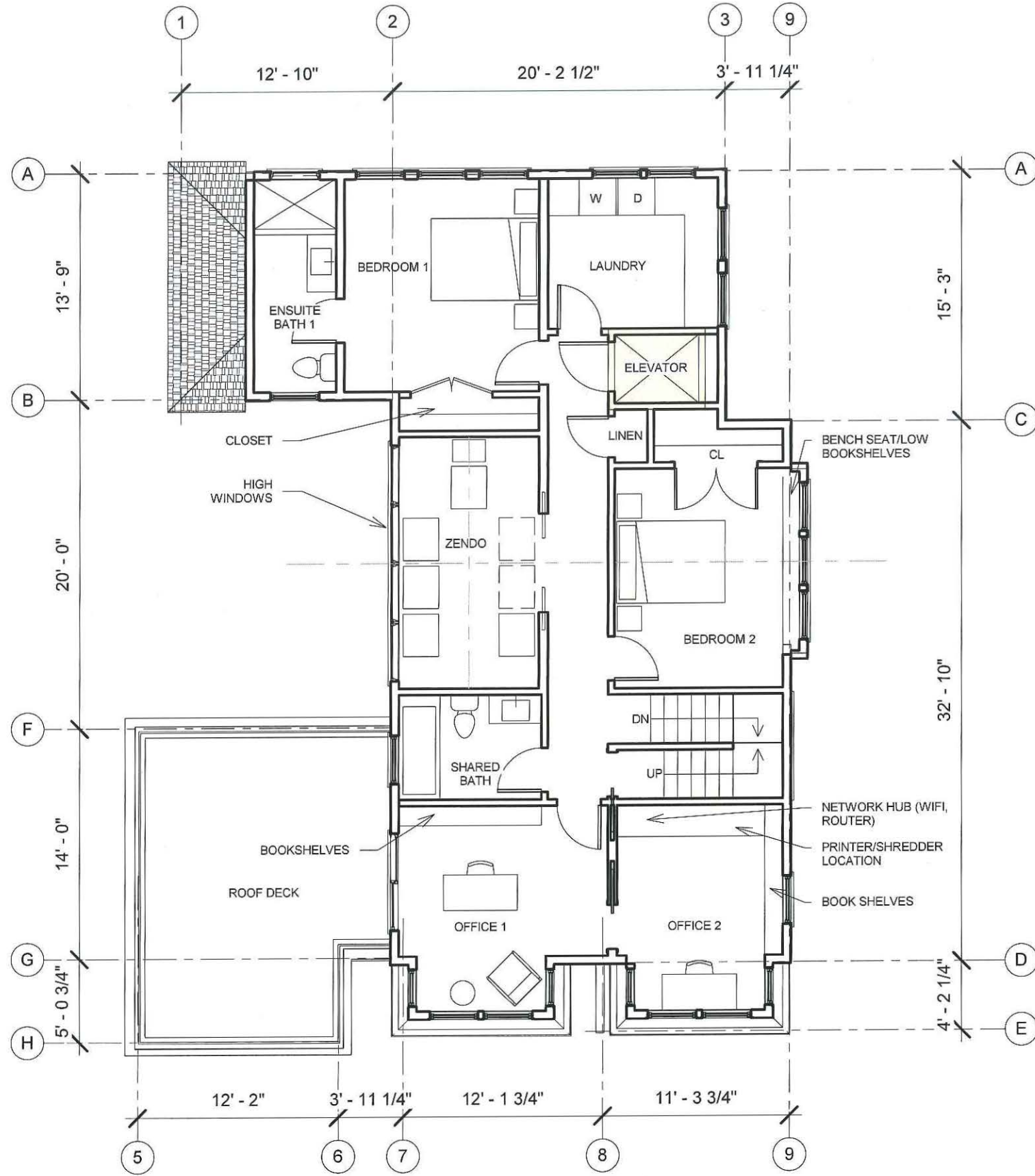
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SCALE: 1/8" = 1'-0"
DATE: 01.20.22
DRAWN BY: MLA

A1.1

C:\Users\sl\Desktop\Wendell\20211102_55 Wendell SL Option 2_reduced.rvt

1 Second Floor
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

DATE: 01.20.22

DRAWN BY: MLA

A1.2

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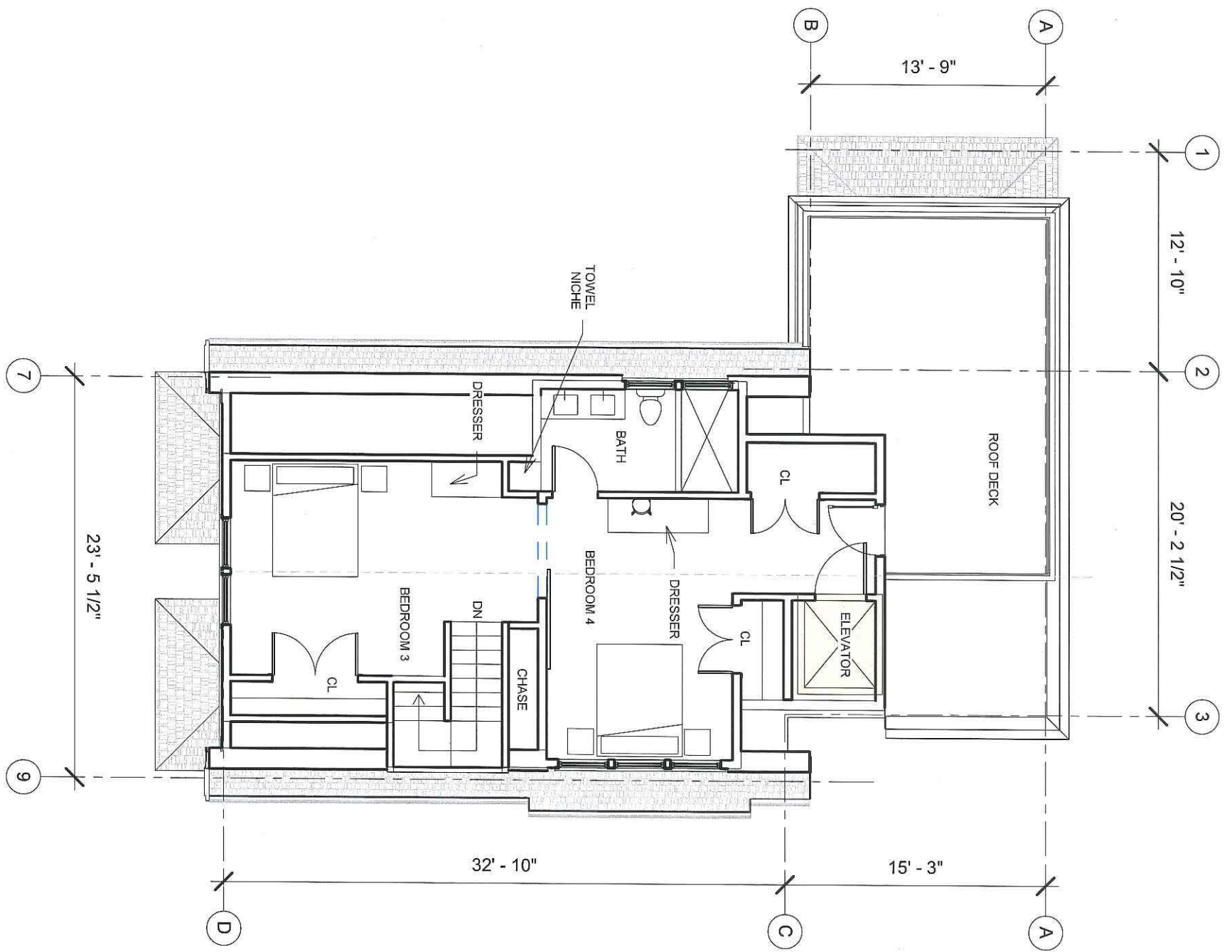
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Second Floor Plan

1 Third Floor
1/8" = 1'-0"



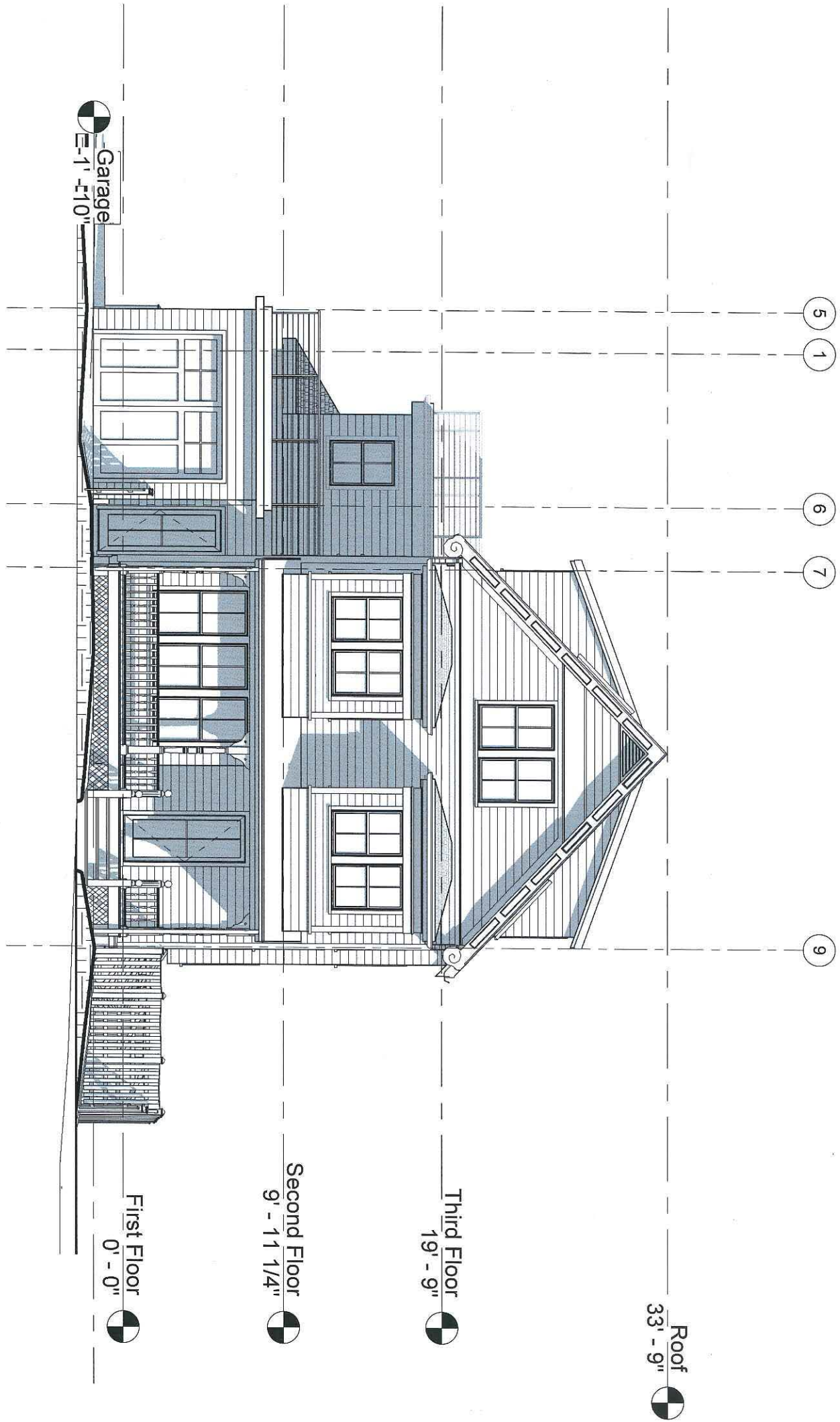
SCALE:	1/8" = 1'-0"
DATE:	01.20.22
DRAWN BY:	MLA

A1.3

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55 Wendell St
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 Third Floor Plan

1 South Elevation
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

DATE: 01.20.22

DRAWN BY: MLA

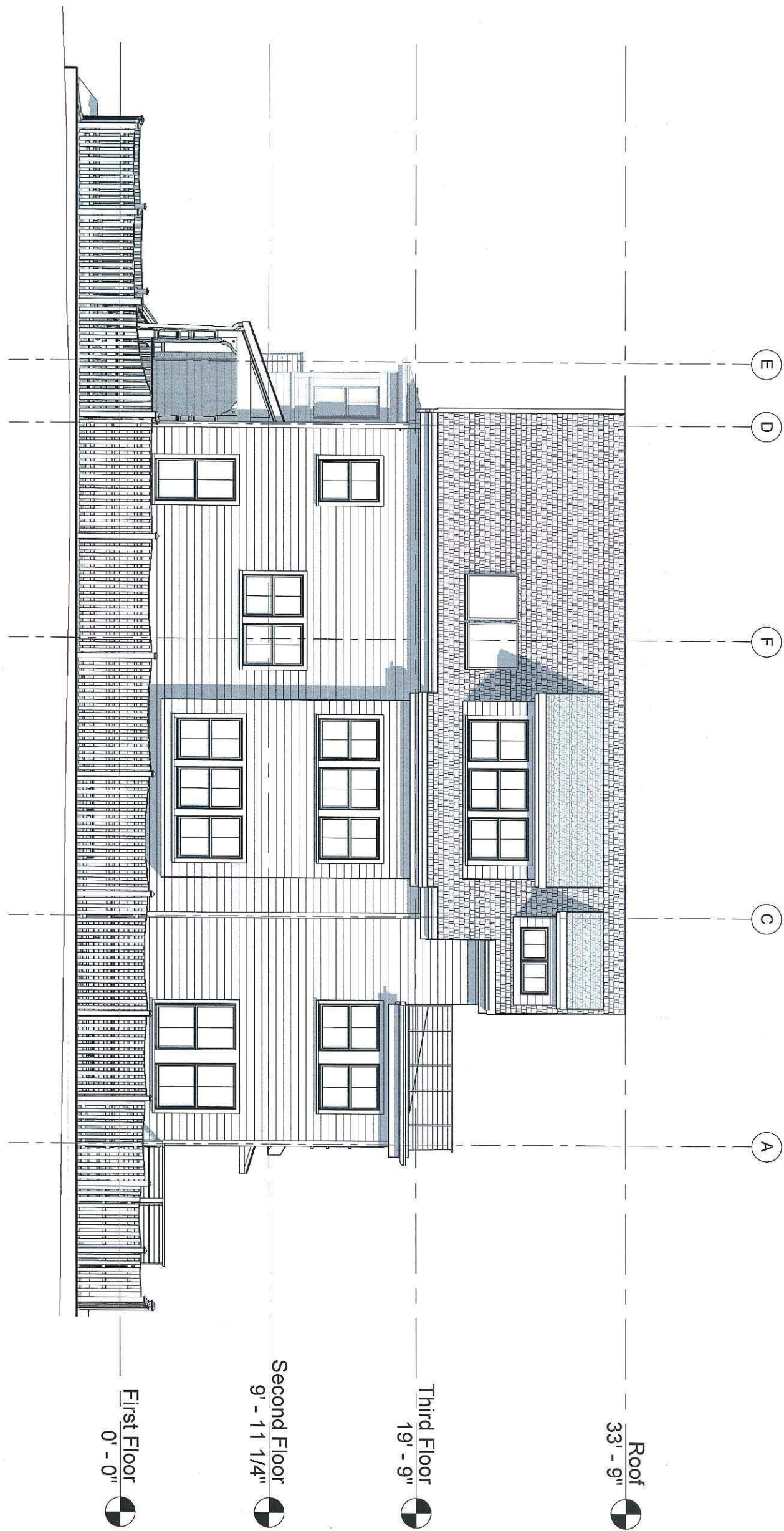
A2.0

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55 Wendell St
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South Elevation

1 East Elevation
1/8" = 1'-0"



SCALE:	1/8" = 1'-0"
DATE:	01.20.22
DRAWN BY:	MLA

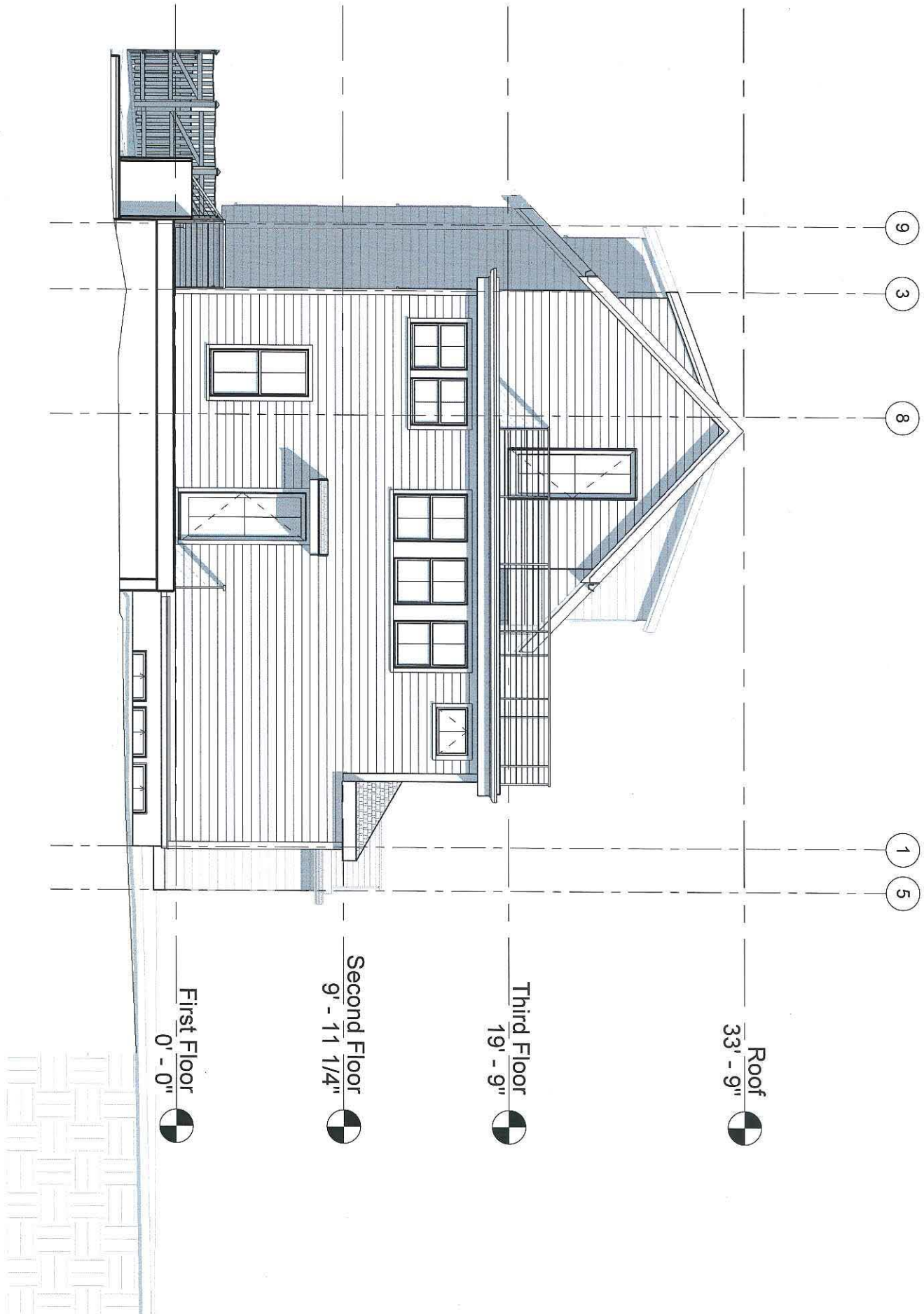
A2.2

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55 Wendell St
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East Elevation

1 North Elevation
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

DATE: 01.20.22

DRAWN BY: MLA

A2.3

Moskow Linn Architects, Inc.

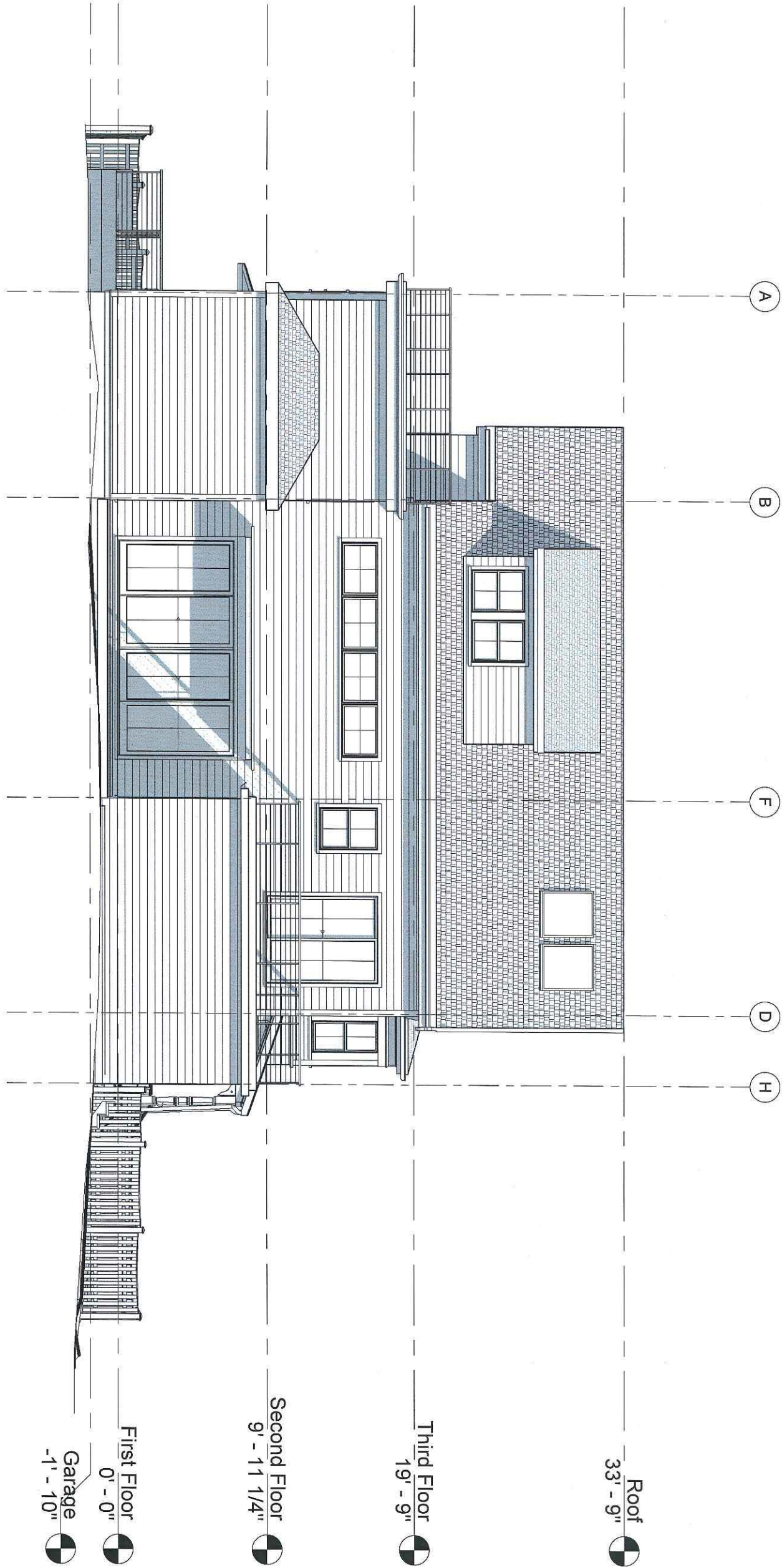
88 Broad Street Boston, Massachusetts 02110

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North Elevation

1 West Elevation
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

DATE: 01.20.22

DRAWN BY: MLA

A2.4

Moskow Linn Architects, Inc.

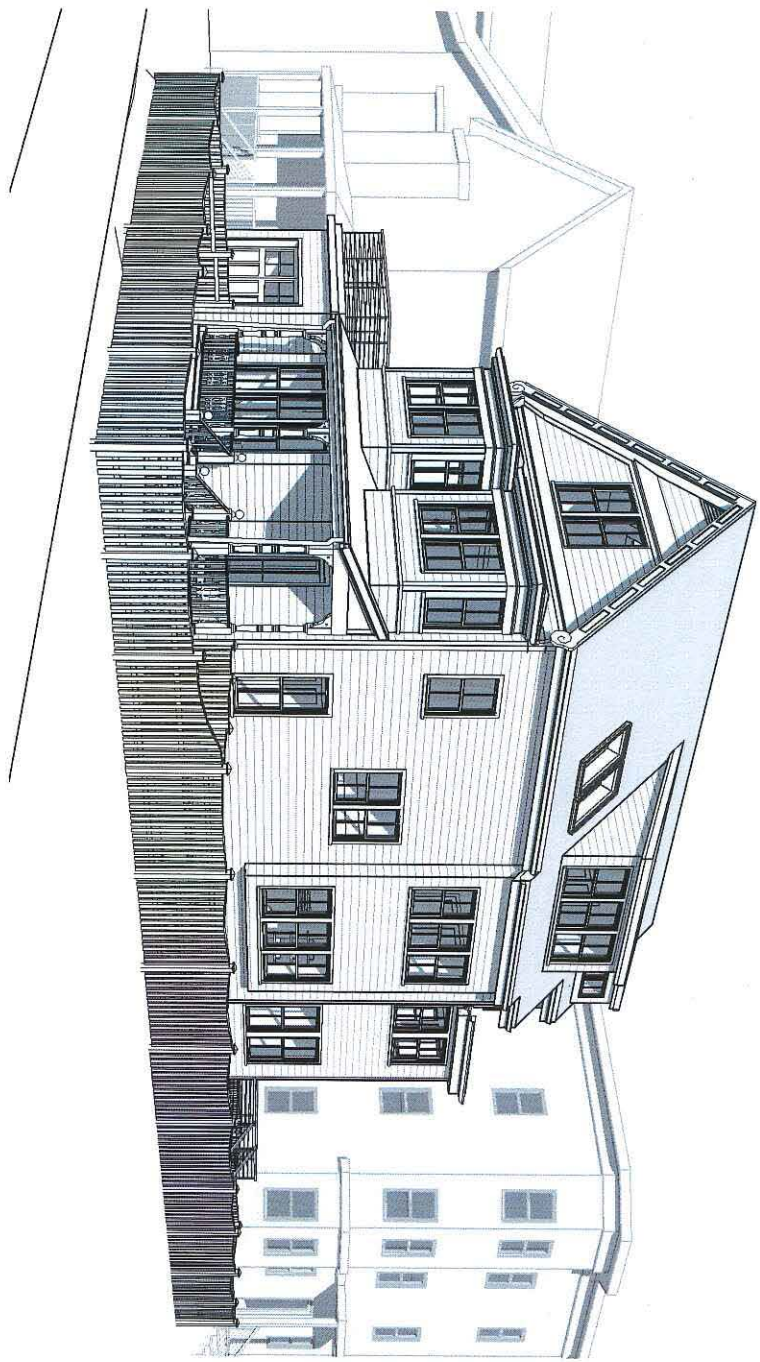
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tel. 617.292.2000 fax. 617.426.4701 www.moskowlinn.com

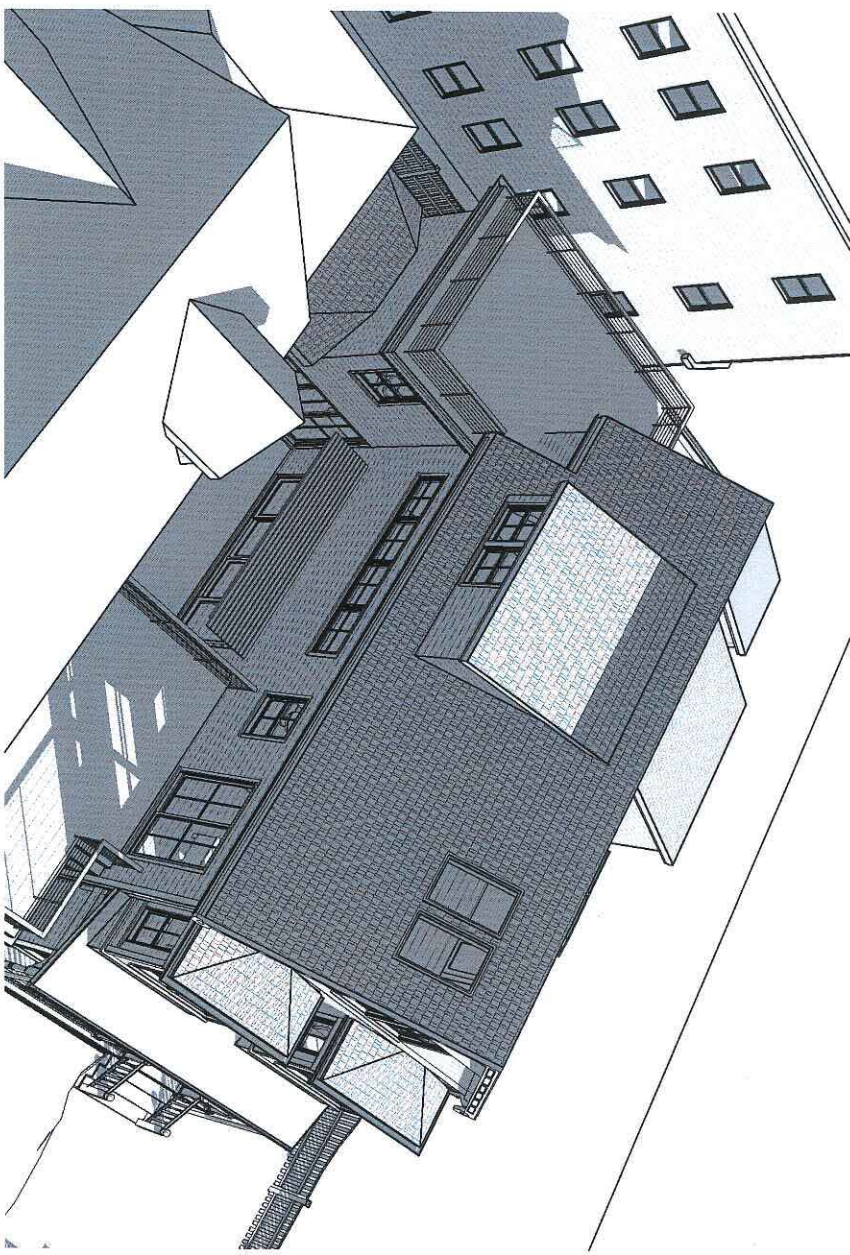
55 Wendell St
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West Elevation

1 Street View



2 Aerial View



SCALE:	
DATE:	01.20.22
DRAWN BY:	MLA

A3.0

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55 Wendell St
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3D Views



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: ROBERT LWIN Date: 1.21.2022
(Print)

Address: 55 Wendell St.

Case No. BZA-157204

Hearing Date: 2/10/22

Thank you,
Bza Members