



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

BZA Application Form

BZA Number: 117050

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: _____ Appeal: _____

PETITIONER: Marsh Builders LLC C/O Ronald Buck

PETITIONER'S ADDRESS: 400 W Cummings Pk, Woburn, MA 01801

LOCATION OF PROPERTY: 57 Pleasant St., Cambridge, MA

TYPE OF OCCUPANCY: SF

ZONING DISTRICT: Business A-3 Zone/Residence C Zone

REASON FOR PETITION:

/During construction work that we were permitted for, the existing roof collapsed. We have been stopped by ISD and need a special permit to reconstruct the roof as approved on our building permit /

DESCRIPTION OF PETITIONER'S PROPOSAL:

Reconstruct collapsed roof structure, reconstruct badly deteriorated rear portion of building and raise roof by 12" in flat roof, rear section. ADD Overhang at front door

SECTIONS OF ZONING ORDINANCE CITED:

Article: 8.000 Section: 8.22.2.C (Non-Conforming Structure).

Original
Signature(s):

(Petitioner (s) / Owner)

Ronald Buck

(Print Name)

Address:

Tel. No. 6179085353

E-Mail Address: ron@marshbuilders.com

Date: 4-26-21

2021 APR 28 PM 3:50
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Ronald Buck, 57 Pleasant LLC
(OWNER)

Address: 45 Dunham Rd Bellevue, MA 01821

State that I/We own the property located at 57 Pleasant St Cambridge
which is the subject of this zoning application.

The record title of this property is in the name of 57 Pleasant LLC

*Pursuant to a deed of duly recorded in the date 6/26/19, Middlesex South
County Registry of Deeds at Book 72830, Page 315; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.



SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

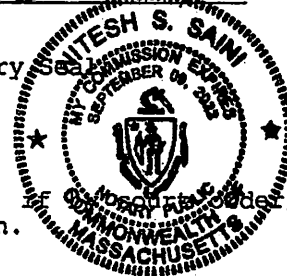
***Written evidence of Agent's standing to represent petitioner may be requested.**

Commonwealth of Massachusetts, County of Middlesex

The above-name Ronald D. Buck personally appeared before me,
this 4th of Sept, 2020, and made oath that the above statement is true.

Nitesh S. Saini Notary

My commission expires 09/09/2022 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if deed, or inheritance, please include documentation.

BZA Application Form**SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 57 Pleasant St , Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The existing roof collapsed due to rot, insect damage, poor care when we began our approved modifications

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

No change in use

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

No change in use

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No change in use

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

No change in use, use is allowed

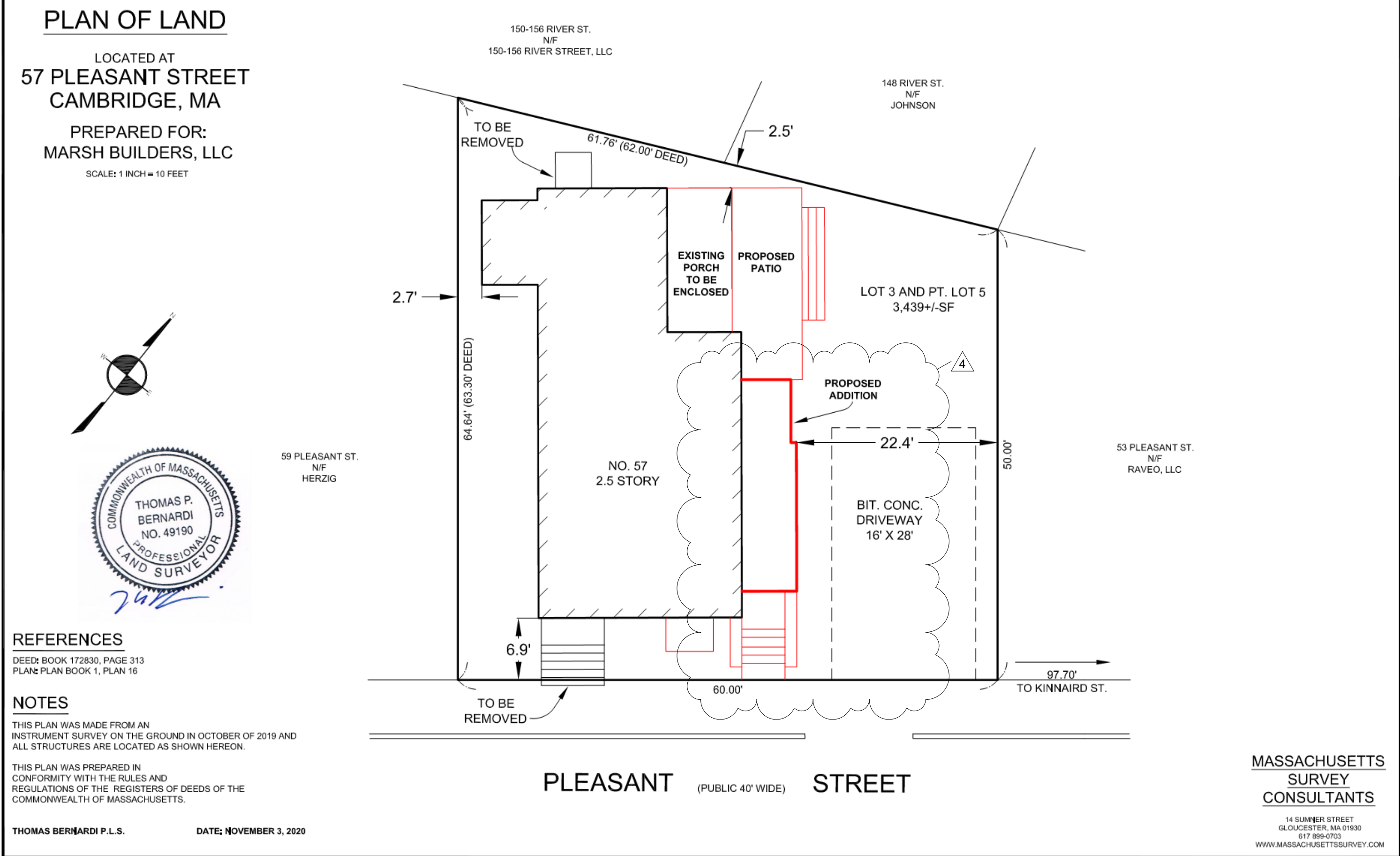
***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form**DIMENSIONAL INFORMATION****Applicant:** Marsh Builders LLC**Location:** 400 W Cummings Pk**Phone:** 6179085353**Present Use/Occupancy:** SF**Zone:** Business A-3 Zone/Residence C Zone**Requested Use/Occupancy:** SF

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	2538	2538	2561	(max.)
<u>LOT AREA:</u>	3439	3439	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>	2538	2538	2561	
<u>LOT AREA OF EACH DWELLING UNIT</u>	3461	3461	1500	
<u>SIZE OF LOT:</u>				
WIDTH	60	60	50	
DEPTH	57	57	50	
<u>SETBACKS IN FEET:</u>				
FRONT	6.9	6.9	10	
REAR	2.8	2.8	20	
LEFT SIDE	2.7	2.7	10.25	
RIGHT SIDE	20.8	20.8	10.25	
<u>SIZE OF BUILDING:</u>				
HEIGHT	27.17	27.17	35	
WIDTH	45'8"	45'8"	NA	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	12%	28%	NA	
<u>NO. OF DWELLING UNITS:</u>	1	1	2 allowed	
<u>NO. OF PARKING SPACES:</u>	2	2	1	
<u>NO. OF LOADING AREAS:</u>	NA	NA	NA	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	NA	NA	NA	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



650 COLUMBUS AVE. STE. A
BOSTON MA, 02118
T: 617-606-4496
WWW.MFDS-BOS.COM

CONSULTANTS:

PERMIT SET

REVISIONS:
4 11/23/20 REDUCED VOL.

PROJECT NAME:
57 PLEASANT ST

DATE ISSUED: 4/13/2020
PROJECT #: 19006
SCALE:
DRAWN BY: EAD

PROPOSED PLOT PLAN

PP001

CONSULTANTS:

PERMIT SET

REVISIONS:

3	9/02/20	BZA NOTES
4	11/23/20	REDUCED VOL.

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

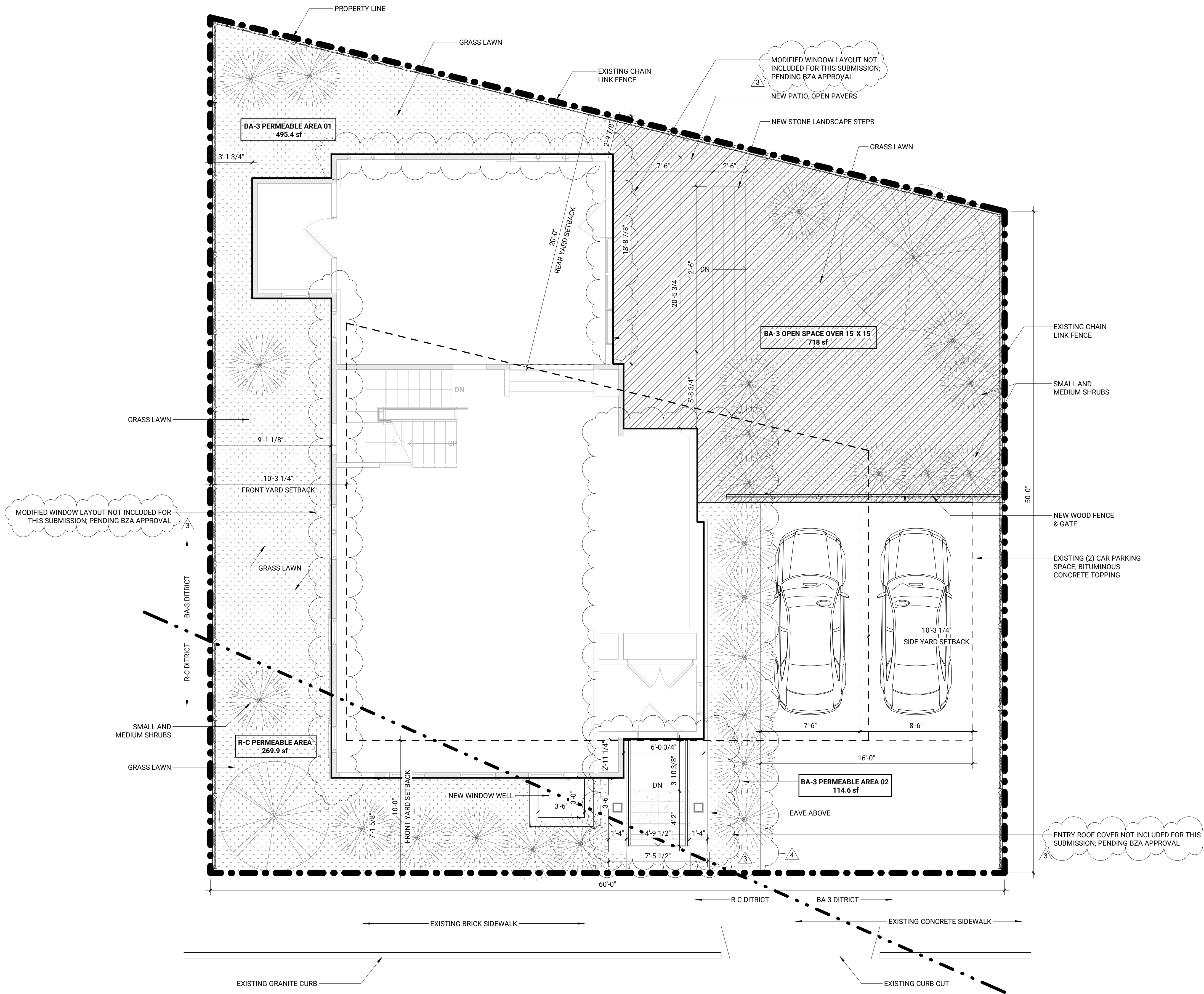
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SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

ARCHITECTURAL SITE
PLAN

AS101



	OPEN SPACE, MINIMUM 15' X 15'
	OPEN SPACE, PERMEABLE AREA

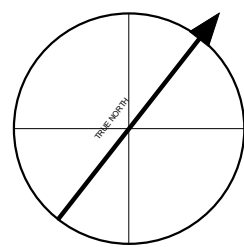
LOT AREA - 57 PLEASANT ST	
TOTAL LOT AREA IN BA-3 NEIGHBORHOOD BUSINESS DISTRICT (90%):	3,095 sf
TOTAL LOT AREA IN R-C MULTIFAMILY DWELLINGS DISTRICT (10%):	344 sf
TOTAL LOT AREA BY SURVEY:	3,439 sf

BA-3 OPEN SPACE ZONING ANALYSIS	
TOTAL LOT AREA IN BA-3 DISTRICT BY SURVEY:	3,095 sf
ZONING BA-3 PRIVATE OPEN SPACE REQUIRED (30%):	928.5 sf
PRIVATE OPEN SPACE AT 15X15 CALCULATION	
PRIVATE OPEN SPACE AT 15X15:	718 sf
TOTAL PRIVATE OPEN SPACE AT 15X15:	718 sf (928.5 sf REQ.)
PERMEABLE OPEN SPACE CALCULATION	
PERMEABLE OPEN AREA 01:	495.4 sf
PERMEABLE OPEN AREA 02:	114.6 sf
TOTAL PRIVATE OPEN SPACE:	610 sf (0 sf REQ.)
TOTAL OPEN SPACE PROVIDED:	1,328 sf

R-C OPEN SPACE ZONING ANALYSIS	
TOTAL LOT AREA IN R-C DISTRICT BY SURVEY:	344 sf
ZONING R-C PRIVATE OPEN SPACE REQUIRED (36%):	123.8 sf
PRIVATE OPEN SPACE AT 15X15 CALCULATION	
PRIVATE OPEN SPACE AT 15X15:	0 sf
TOTAL PRIVATE OPEN SPACE AT 15X15:	0 sf (61.9 REQ.)
PERMEABLE OPEN SPACE CALCULATION	
PERMEABLE OPEN SPACE:	269.9 sf
TOTAL PERMEABLE OPEN SPACE:	269.9 sf (61.9 sf REQ.)
TOTAL OPEN SPACE PROVIDED:	269.9 sf

OPEN SPACE ZONING REQUIRMENTS	EXISTING	PROPOSED
BA-3 DISTRICT		
OPEN SPACE AT 15X15:	397.2 sf	718 sf
PERMEABLE OPEN SPACE:	N/A	N/A
BA-3 OPEN SPACE TOTAL:	397.2 sf (12.8%)	718 sf (23%)
R-C DISTRICT		
OPEN SPACE AT 15X15:	0 sf	0 sf
PERMEABLE OPEN SPACE:	61.9 sf *	61.9 sf *
R-C OPEN SPACE TOTAL:	61.9 sf (18%)	61.9 sf (18%)

*AT LEAST FIFTY (50) PERCENT OF THE REQUIRED PROVATE OPEN SPACE IN THE R-C DISTRICT SHALL MEET ALL OF THE REQUIREMENTS OF SECTION 5.22.1 OF THE CAMBRIDGE ZONING BYLAW. AT LEAST FIFTY (50) PERCENT OF THE REQUIRED PROVATE OPEN SPACE SHALL MEET THE DEFINITION OF PERMEABLE OPEN SPACE AND SHALL NOT BE SUBJECT TO THE DIMENSIONAL LIMITATIONS OF SECTION 5.22.1 AS APPLIED TO PRIVATE OPEN SPACE.



NORTH ARROW

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS. G.C. TO VERIFY, RECORD & COORDINATE ALL EXISTING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, TELE DATA & SECURITY SYSTEMS.

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BOSTON MA, 02118
T: 617-606-4496
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PROJECT #: 19006

SCALE: 1/4" = 1'-0"

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EX001



EXISTING EXTERIOR
WALLS FRAMED WITH 2X4
STUDS

CONSULTANTS:

PERMIT SET

REVISIONS:

4 11/23/20 REDUCED VOL.

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE: 1/4" = 1'-0"

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DEMOLITION
BASEMENT & 1ST
FLOOR PLAN

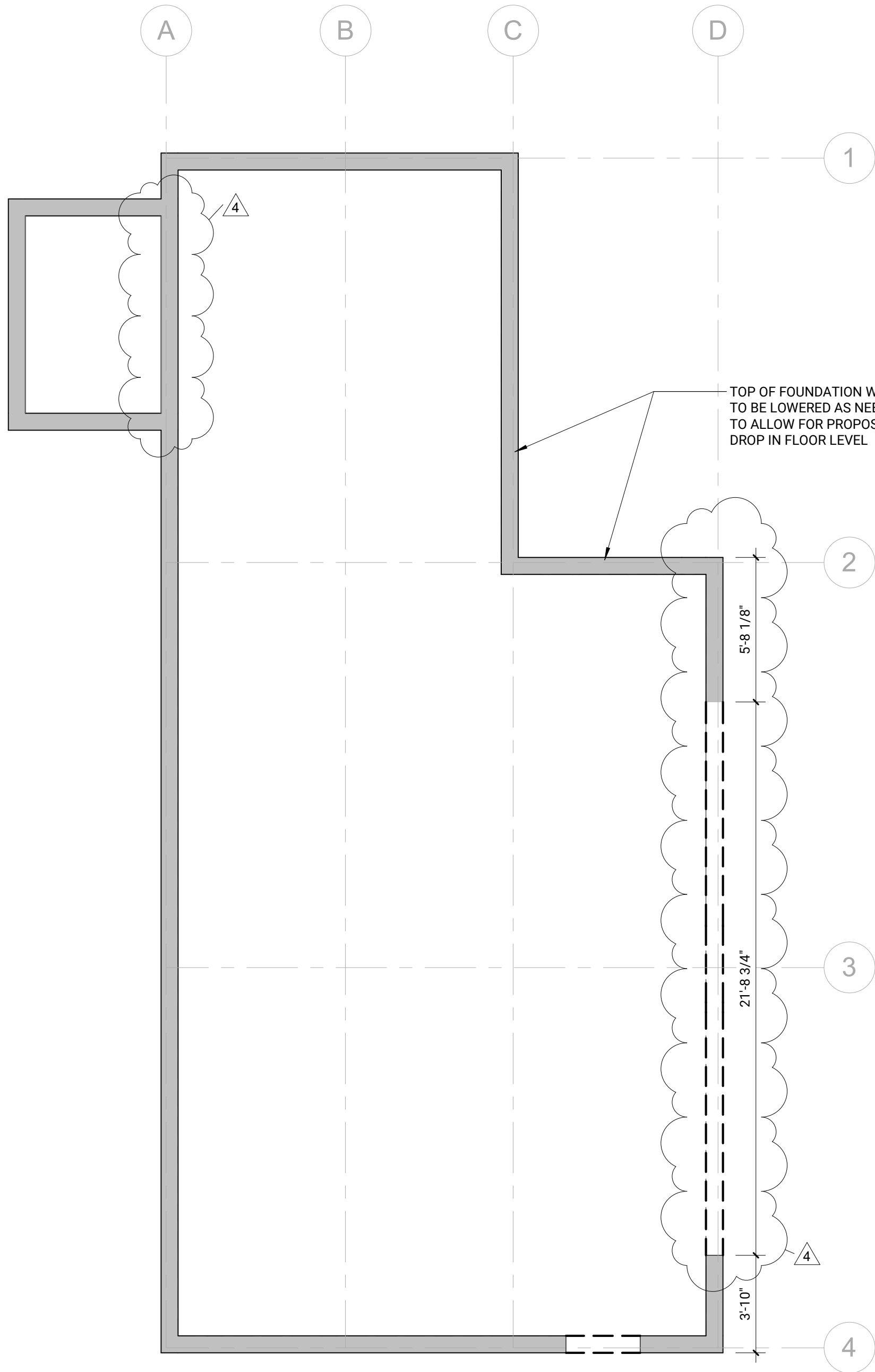
AD101

DEMOLITION PLAN GENERAL NOTES

1. I.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
2. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS PRIOR TO PROCEEDING.
3. THESE DEMOLITION DRAWINGS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNCOVER CONDITIONS, NOT SHOWN ON THESE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. SEE ALSO OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL, STRUCTURAL, MEFP, WHICH MAY ENCOMPASS FURTHER WORK REQUIRING DEMOLITION AND REMOVAL AND WHICH ARE HEREBY INCLUDED UNDER THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO PROCEEDING AND VERIFIED THE INFORMATION HEREIN SUPPLIED.
4. CUT ALL EDGES OF MATERIALS DURING DEMOLITION IN A MANNER SUITABLE FOR REPAIR AND MATCHING OF WORK.
5. CAP AND SHUT OFF ALL UNUSED OR RELOCATED UTILITIES. REFER TO MEP DRAWINGS & SPECS.
6. PROTECT ALL EXIST. WALLS, FLOORS, STAIRS, WINDOWS, RAILINGS AND CEILINGS TO REMAIN FROM ANY DAMAGE DURING DEMOLITION & CONSTRUCTION. G.C. RESPONSIBLE FOR ALL REPAIRS.
7. NO FRAMING, STRUCTURAL MEMBERS, OR BEARING ASSEMBLIES ARE TO BE MODIFIED, ALTERED, OR CUT WITHOUT NOTIFYING THE ARCHITECT.
8. SHORE EXISTING STRUCTURE, WHERE REQUIRED, DURING DEMOLITION AND CONSTRUCTION. DO NOT ENDANGER STRUCTURAL STABILITY OF THE BUILDING OR ANY PORTION OF THE BUILDING.
9. ALL LOOSE FURNISHINGS, PLANTS, PLANTERS AND EQUIPMENT LEFT IN PLACE PRIOR TO START OF DEMOLITION SHALL REMAIN THE PROPERTY OF THE OWNERS UNLESS OTHERWISE DIRECTED.
10. WHEN DEMOLITION INTERACTS WITH RATED CONSTRUCTION, USE CAUTION TO MAINTAIN INTEGRITY OF SUCH RATED CONSTRUCTION, PATCH & REPAIR.
11. G.C. TO COORDINATE WITH OWNER FOR ALL EXISTING TELE / DATA CABLING, JACKS, COVER PLATES, MUD RINGS, FLOOR MONUMENTS, & WALL BOXES TO BE REMOVED.
12. LEGALLY DISPOSE ALL ITEMS & DEBRIS REMOVED FROM BUILDING. U.O.N.
13. GENERAL CONTRACTOR TO PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS.
14. MAINTAIN COMPLETE LIFE SAFETY AND EGRESS REQUIREMENTS AT ALL TIMES DURING REMOVAL OPERATIONS. REFER AND COORDINATE WITH PHASING PLANS APPROVED BY OWNER.
15. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS. G.C. TO VERIFY, RECORD & COORDINATE ALL EXISTING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, TELE DATA & SECURITY SYSTEMS.

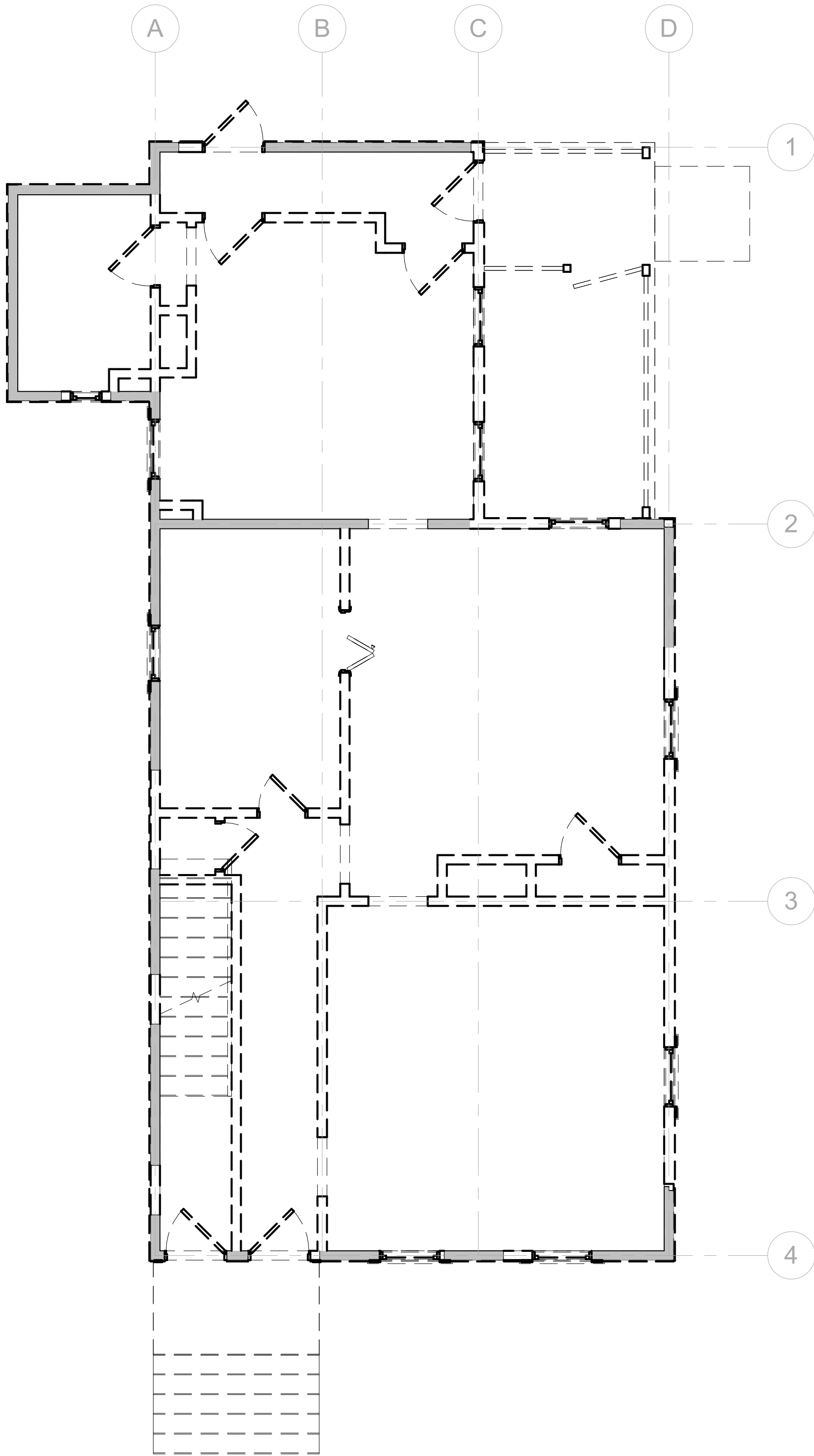
DEMOLITION PLAN LEGEND

- | | |
|--|---|
| | REMOVE ALL CONSTRUCTION SHOWN DASHED COMPLETE, U.O.N. |
| | EXISTING WALL OR PARTITION TO REMAIN, TYP U.O.N. |
| | REMOVE PORTION OF EXISTING WALL. SEE FLOORPLAN FOR LOCATION AND DIMENSION. TYP U.O.N. |
| | REMOVE EXISTING DOOR & FRAME COMPLETELY. |
| | EXISTING DOOR TO REMAIN, TYP U.O.N. |



1 BASEMENT - DEMO PLAN

SCALE: 1/4" = 1'-0"



2 1ST FLOOR - DEMO PLAN

SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

1. I.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
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MF
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A+P

650 COLUMBUS AVE. STE. A
BOSTON MA, 02118
T: 617-606-4496
WWW.MFDS-BOS.COM

CONSULTANTS:

PERMIT SET

REVISIONS:

3	9/02/20	BZA NOTES
4	11/23/20	REDUCED VOL.

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

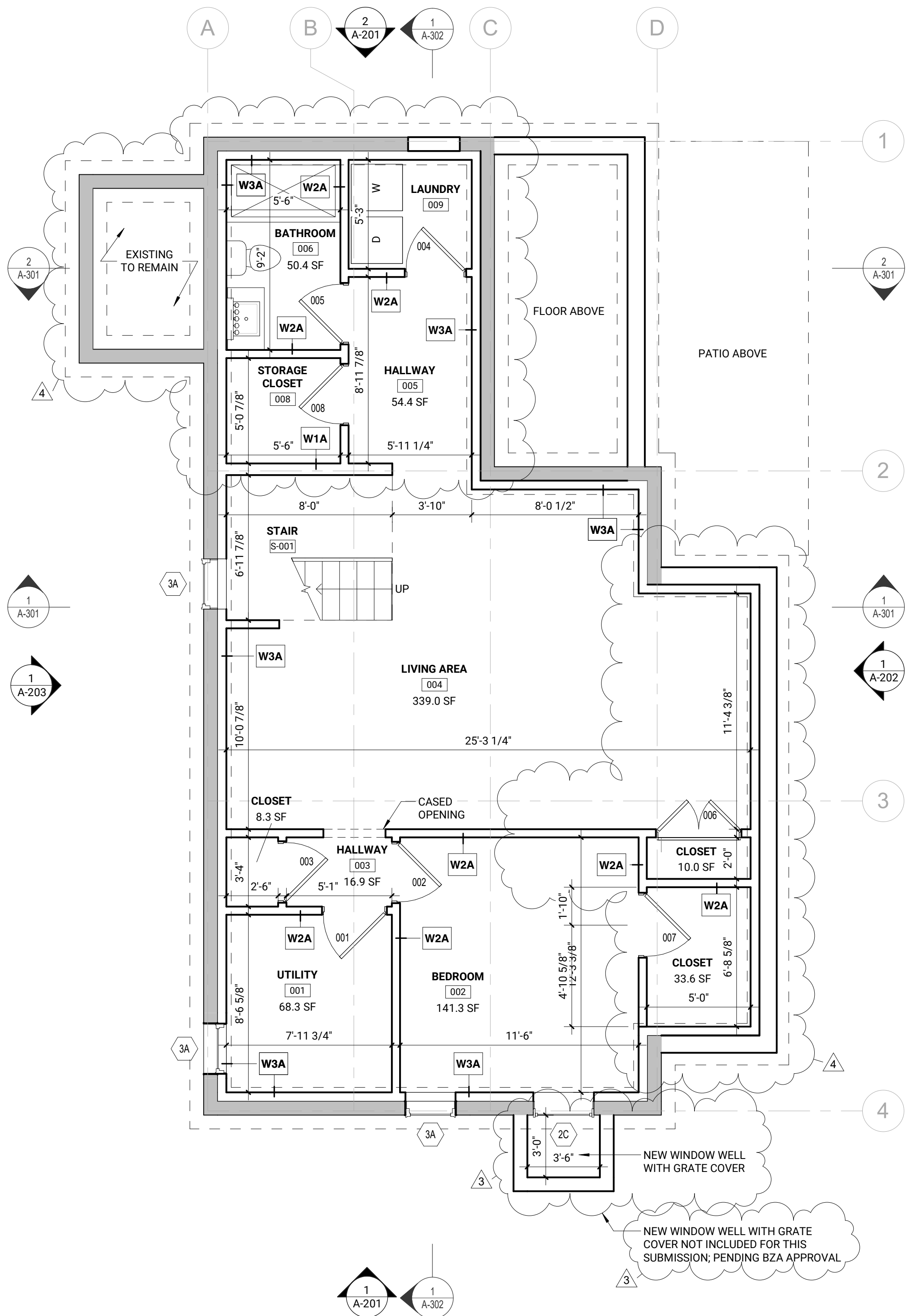
PROJECT #: 19006

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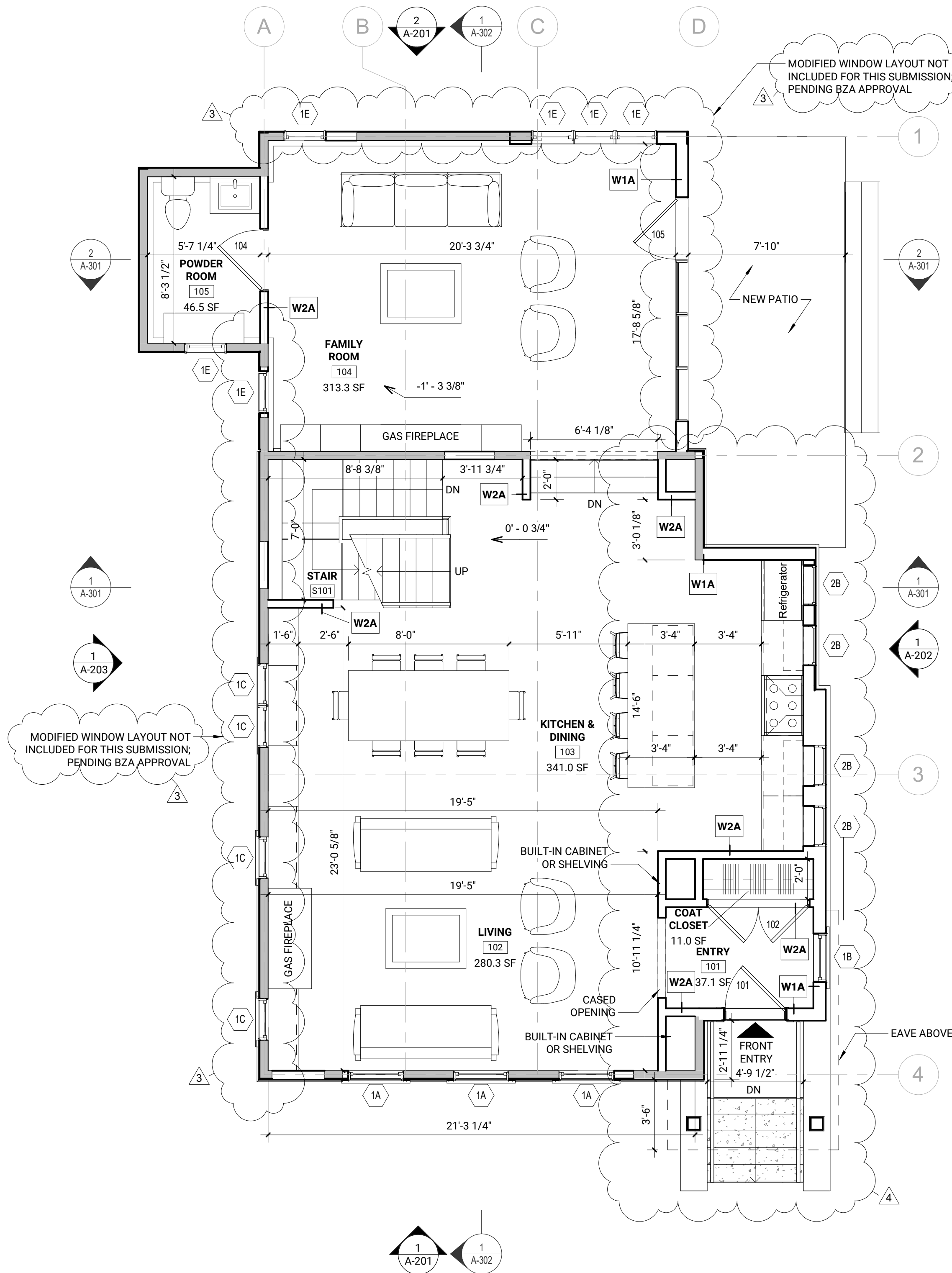
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BASEMENT & 1ST
FLOOR CONSTRUCTION
PLAN

A-101



1 BASEMENT - PROPOSED
SCALE: 1/4" = 1'-0"



2 1ST FLOOR - CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

1. I.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
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650 COLUMBUS AVE. STE. A
BOSTON MA, 02118
T: 617-606-4496
WWW.MFDS-BOS.COM

CONSULTANTS:

PERMIT SET

REVISIONS:

1	7/07/20	ISD RESPONSE
3	9/02/20	BZA NOTES
4	11/23/20	REDUCED VOL.

PROJECT NAME:

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DATE ISSUED: 4/13/2020

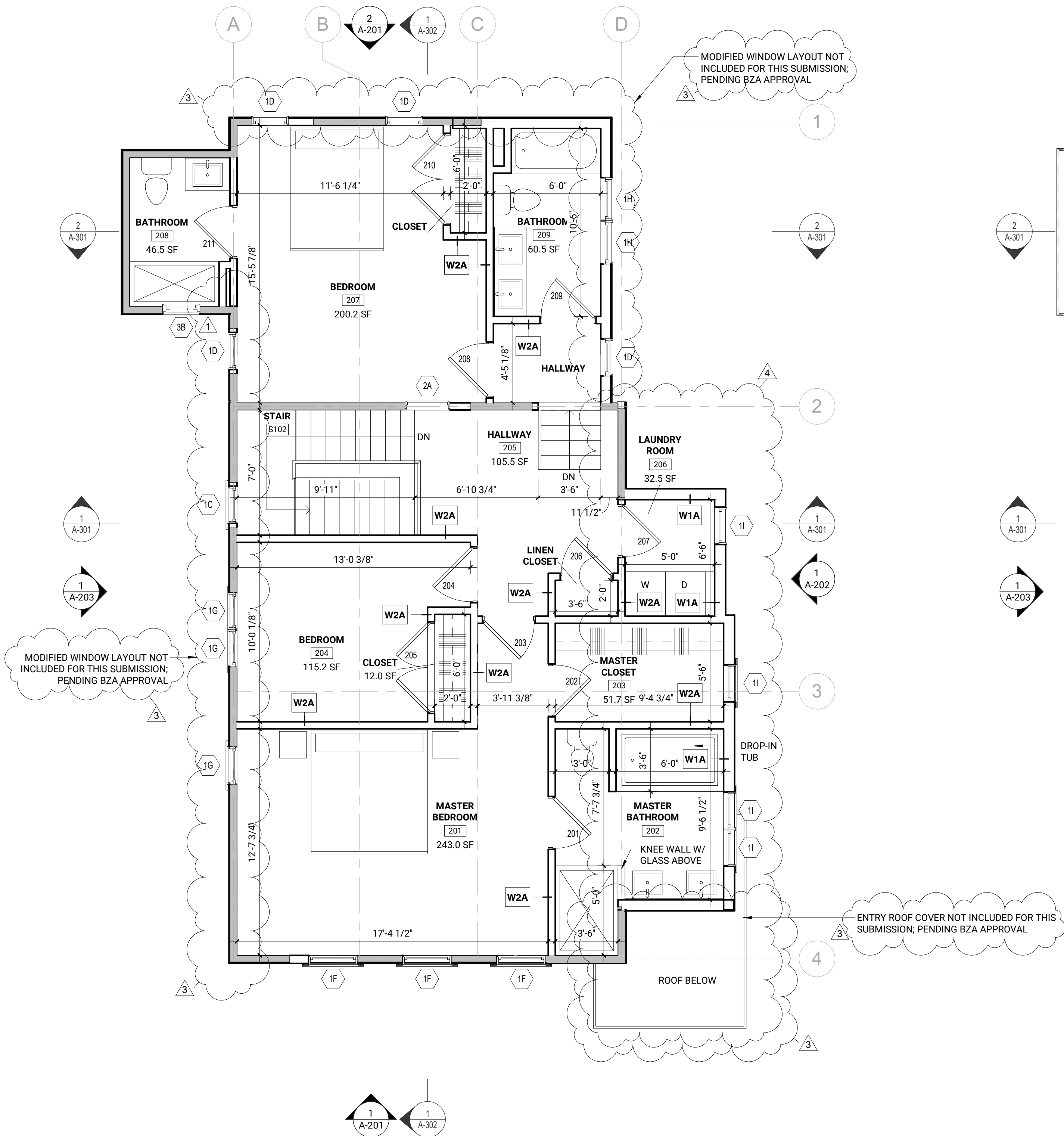
PROJECT #: 19006

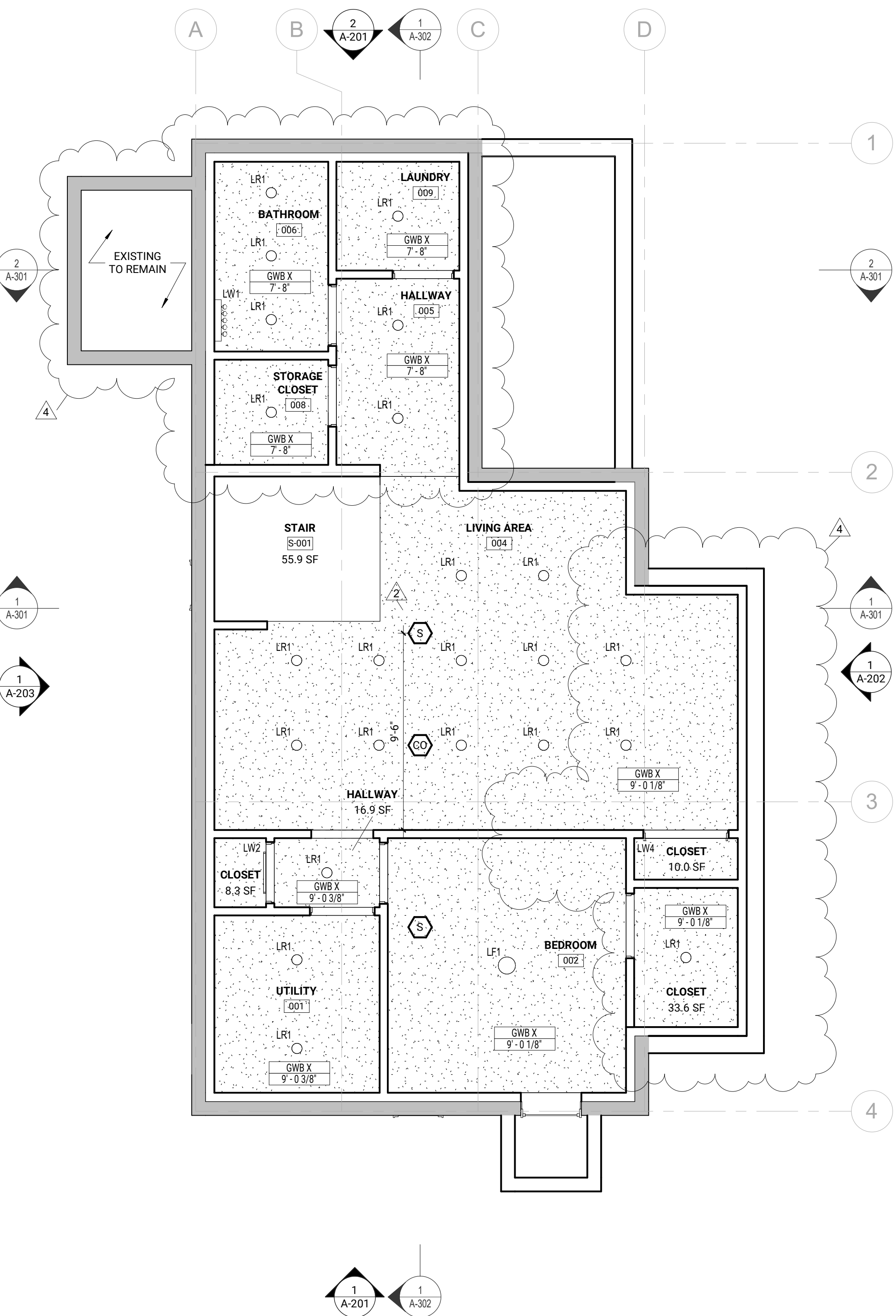
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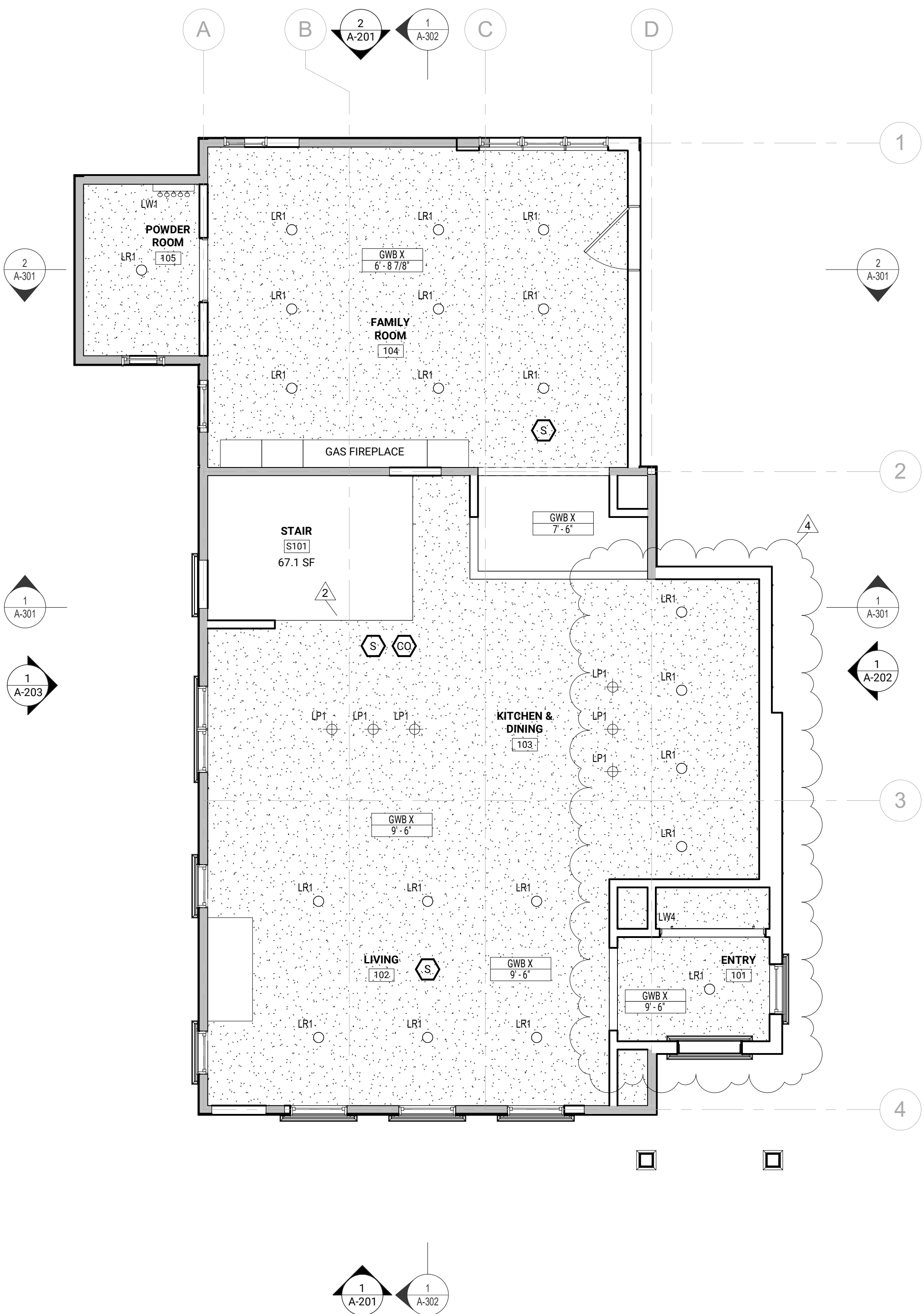
2ND FLOOR & ROOF
CONSTRUCTION PLAN

A-102





1 BASEMENT CEILING PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



2 1ST FLOOR CEILING PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

CEILING PLAN GENERAL NOTES

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SMOKE & CARBON MONOXIDE ALARMS

SMOKE ALARMS

Smoke detection and notification. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.

Smoke detection systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification device(s), it shall become a permanent fixture of the occupancy and owned by the homeowner. The system shall be monitored by an approved supervising station and be maintained in accordance with NFPA 72. Exception: Where smoke alarms are provided meeting the requirements of Section R314.4.

Location. Smoke alarms shall be installed in the following locations:

1. In each sleeping room.
2. Outside each separate sleeping area within 10'-0" of each bedroom door.
3. On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
4. In the immediate vicinity of each gas fireplace
5. At the bottom of each stair
6. A heat sensor shall be provided in each garage space

When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

CARBON MONOXIDE ALARMS

Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

Alarm requirements. Single station carbon monoxide alarms shall be listed as complying with UL 2034 and shall be installed in accordance with this code and the manufacturer's installation instructions.

Where alterations, repairs or additions requiring a permit occur, or where one or more sleeping rooms are added or created in existing dwellings, the individual dwelling unit shall be equipped with carbon monoxide alarms located as required for new dwellings.




CEILING PLAN LEGEND

FIRE PROTECTION AND ALARM FIXTURES:

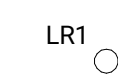
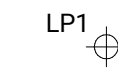
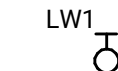

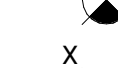
-  SYSTEM SMOKE DETECTOR  COMBINATION SMOKE/CARBON MONOXIDE ALARM

REFER TO FIRE PROTECTION OR ALARM DRAWINGS FOR MORE DETAIL


CEILING LEGEND:

-  NEW GWB CEILING  CEILING HEIGHT TAG (AFF.)
-  NO CEILING - EXPOSED TO STRUCTURE (SEE FINISH SCHEDULE FOR EXPOSED ITEMS TO BE PAINTED)

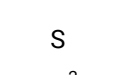
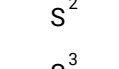
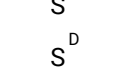

LIGHTING FIXTURES:

- LR1  RECESSED FIXTURE
LP1  PENDNAT FIXTURE
LW1  WALL FIXTURE
X  EXIT SIGN CEILING MOUNTED
X  EXIT SIGN WALL MOUNTED

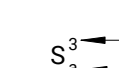
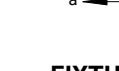
LIGHTING FIXTURES, "LR1" REPRESENTS TYPE (REFER TO FIXTURE SCHEDULE) AND "a" REPRESENTS FIXTURE CONTROLLED BY SWITCH "a".

-  LIGHTING FIXTURE PROVIDED WITH EMERGENCY BATTERY BALLAST OR WIRED TO EMERGENCY LIGHTING CIRCUIT. "NL" DENOTES UNSWITCHED FIXTURE TO REMAIN ON AS "NIGHT LIGHT".


SWITCHING DESIGNATIONS:

- S  SINGLE POLE SWITCH MOUNTED 4'-0" AFF.
S²  TWO POLE SWITCH MOUNTED 4'-0" AFF.
S³  THREE WAY SWITCH MOUNTED 4'-0" AFF.
S⁰  DIMMER SWITCH MOUNTED 4'-0" AFF.

SWITCH SYMBOL KEY:

- S³  SWITCH TYPE
S²  FIXTURE CONTROL RELATIONSHIP

FIXTURE TYPE KEY:

- LR1  FIXTURE TYPE
MOUNTING TYPE:
R - RECESSED
S - SURFACE
W - WALL
LAMP TYPE:
F - FLUORESCENT
H - H.I.D.
P - PENDNAT
T - TRACK POST TOP
X - EXIT
L - LED
I - INCANDESCENT

CONSULTANTS:

PERMIT SET

REVISIONS:

2	7/30/20	ISD RESPONSE
4	11/23/20	REDUCED VOL.

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

BASEMENT & 1ST
FLOOR REFLECTED
CEILING PLAN



1. I, G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
2. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS PRIOR TO PROCEEDING.
3. THESE CONSTRUCTION DRAWINGS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNCOVER CONDITIONS, NOT SHOWN ON THESE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. SEE ALSO OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO, THE ADVERTISED WORKSHEET, WHICH MAY ENCOMPASS ADDITIONAL FURTHER WORK REQUIRING DEMOLITION AND REMOVAL AND WHICH ARE HEREBY INCLUDED UNDER THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO PROCEEDING AND VERIFIED THE INFORMATION HEREIN SUPPLIED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS, I, G.C. TO VERIFY RECORD & COORDINATE ALL EXISTING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, TELE DATA & SECURITY SYSTEMS.

SMOKE ALARMS

Smoke detection and notification. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.

Smoke detection systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification device(s), it shall become a part of the fire alarm system, occupancy and owned by the homeowner. The system shall be monitored by an approved supervising station and be maintained in accordance with NFPA 72. Exception: Where smoke alarms are provided meeting the requirements of Section R314.4.

Location. Smoke alarms shall be installed in the following locations

1. In each sleeping room.
2. Outside each separate sleeping area within 10'-0" of each bedroom door.
3. On each additional story of the dwelling, including basements and habitable attics but not including garages and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
4. In the immediate vicinity of each gas fireplace
5. At the bottom of each stair
6. A heat sensor shall be provided in each garage space

When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

CARBON MONOXIDE ALARMS

Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

Alarm requirements. Single station carbon monoxide alarms shall be listed as complying with UL 2034 and shall be installed in accordance with this code and the manufacturer's installation instructions.

Where alterations, repairs or additions requiring a permit occur, or where one or more sleeping rooms are added or created in existing dwellings, the individual dwelling unit shall be equipped with carbon monoxide alarms located as required for new dwellings.

FIRE PROTECTION AND ALARM FIXTURES:


 SYSTEM SMOKE
DETECTOR


 COMBINATION SMOKE/CARBON MONOXIDE
ALARM

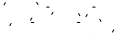
REFER TO FIRE PROTECTION OR ALARM DRAWINGS FOR MORE DETAIL

CEILING LEGEND:






CEILING ACCESSORY

 NEW GWB CEILING

 CEILING HEIGHT TAG (AFF.)

 NO CEILING - EXPOSED TO STRUCTURE (SEE FINISH SCHEDULE FOR EXPOSED ITEMS TO BE PAINTED)

LIGHTING FIXTURES:

LR1		RECESSED FIXTURE
LP1		PENDNAT FIXTURE
LW1		WALL FIXTURE
X		EXIT SIGN CEILING MOUNTED
X		EXIT SIGN WALL MOUNTED

SWITCHING DESIGNATIONS:

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S² TWO POLE SWITCH MOUNTED 4'-0" AFF.
S³ THREE WAY SWITCH MOUNTED 4'-0" AFF.
S^D DIMMER SWITCH MOUNTED 4'-0" AFF.

SWITCH SYMBOL KEY:

S₃ ← SWITCH TYPE
S_a ← FIXTURE CONTROL RELATIONSHIP

FIXTURE TYPE KEY:

LIGHTING FIXTURES, "LR1"
 REPRESENTS TYPE (REFER TO FIXTURE
 SCHEDULE) AND "a" REPRESENTS
 FIXTURE CONTROLLED BY SWITCH "a".

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 PROVIDED WITH
 EMERGENCY BATTERY
 BALLAST OR WIRED TO
 EMERGENCY LIGHTING
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 UNSWITCHED FIXTURE TO
 REMAIN ON AS "NIGHT
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LR1
 FIXTURE TYPE
 MOUNTING TYPE:
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 LAMP TYPE:
 F - FLUORESCENT
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 H - H.I.D.
 P - PENDNAT
 T - TRACK POST TOP
 X - EXIT
 L - LED
 I - INCANDESCENT

650 COLUMBUS AVE, STE. A
BOSTON MA, 02118
T: 617-606-4496
WWW.MFDS-BOS.COM

CONSULTANTS

PERMIT SET

REVISIONS

4 11/23/20 REDUCED VOL

PROJECT NAME:

**57
PLEASANT
ST**

DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

2ND FLOOR
REFLECTED CEILING
PLAN

A-122

CONSTRUCTION ELEVATION GENERAL NOTES

1. I.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
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MF
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A+P

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T: 617-606-4496
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CONSULTANTS:

PERMIT SET

REVISIONS:

1	7/07/20	ISD RESPONSE
3	9/02/20	BZA NOTES
4	11/23/20	REDUCED VOL.

PROJECT NAME:

57
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DATE ISSUED: 4/13/2020

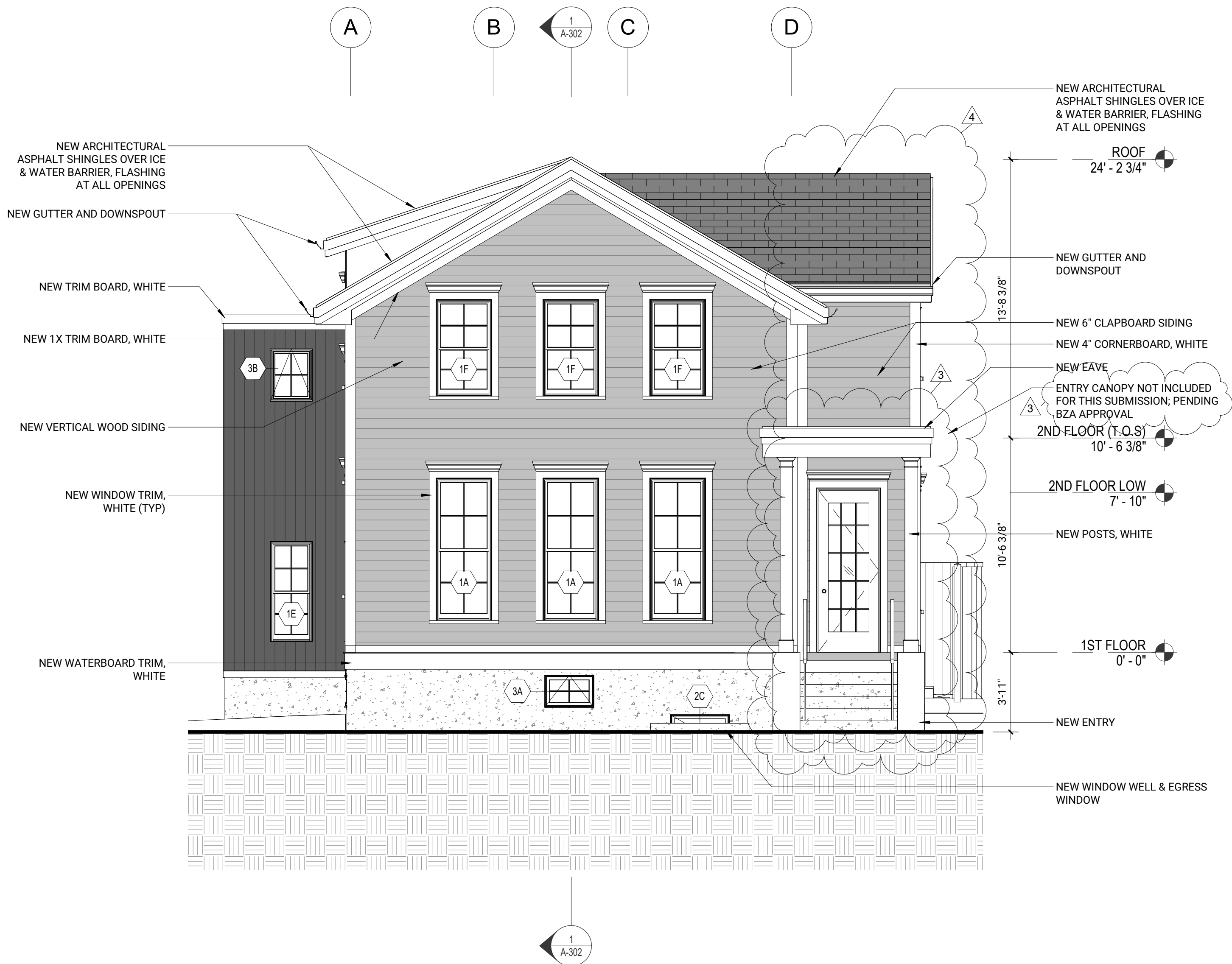
PROJECT #: 19006

SCALE: 1/4" = 1'-0"

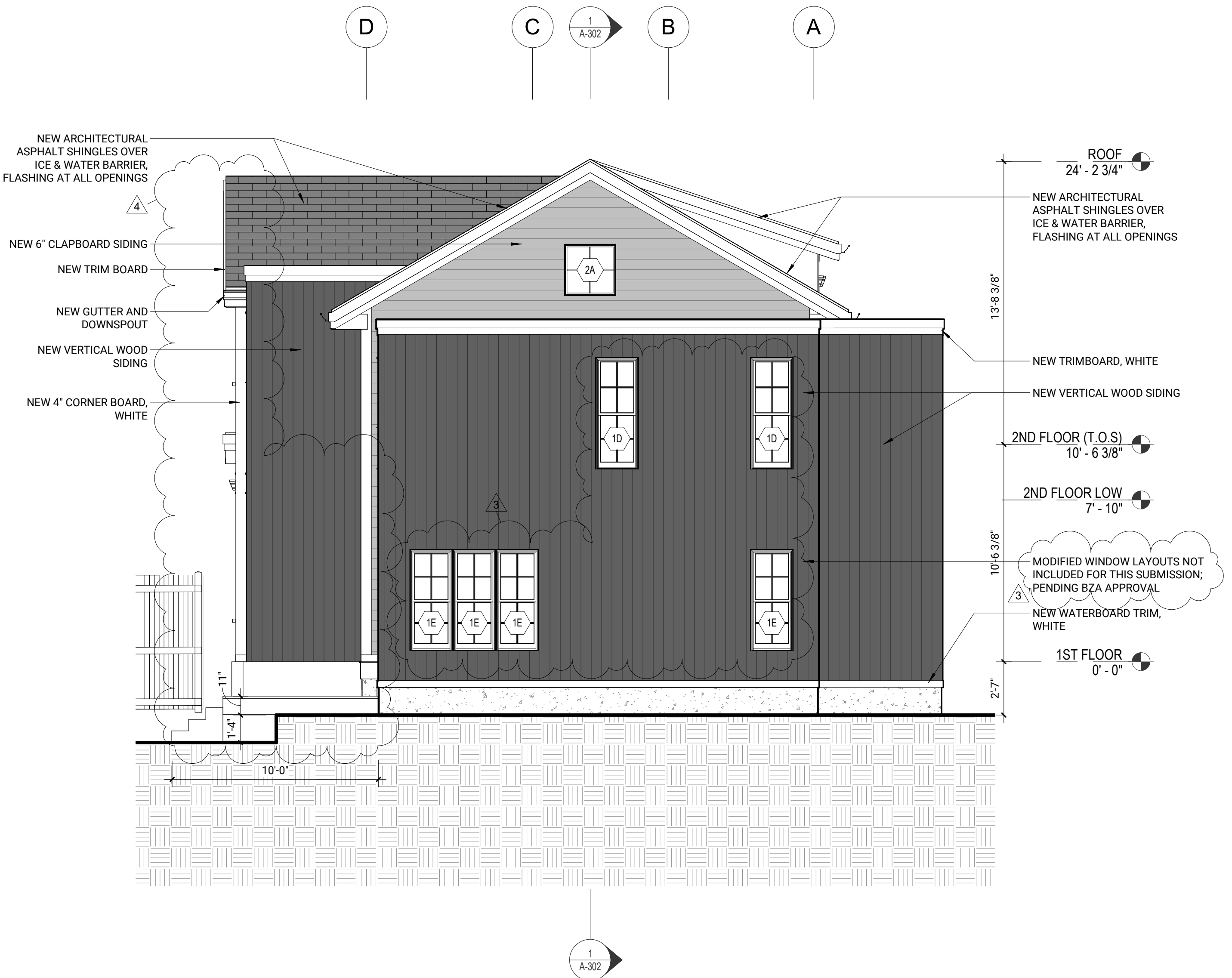
DRAWN BY: EAD

EAST & WEST
BUILDING ELEVATION

A-201



1 EAST - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"

CONSTRUCTION ELEVATION GENERAL NOTES

1. 1.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
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CONSULTANTS:

PERMIT SET

REVISIONS:

3	9/02/20	BZA NOTES
4	11/23/20	REDUCED VOL.

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

NORTH BUILDING
ELEVATION

A-202



1 NORTH - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"

CONSULTANTS:

PERMIT SET

REVISIONS:

1	7/07/20	ISD RESPONSE
4	11/23/20	REDUCED VOL.

PROJECT NAME:

**57
PLEASANT
ST**

DATE ISSUED: 4/13/2020

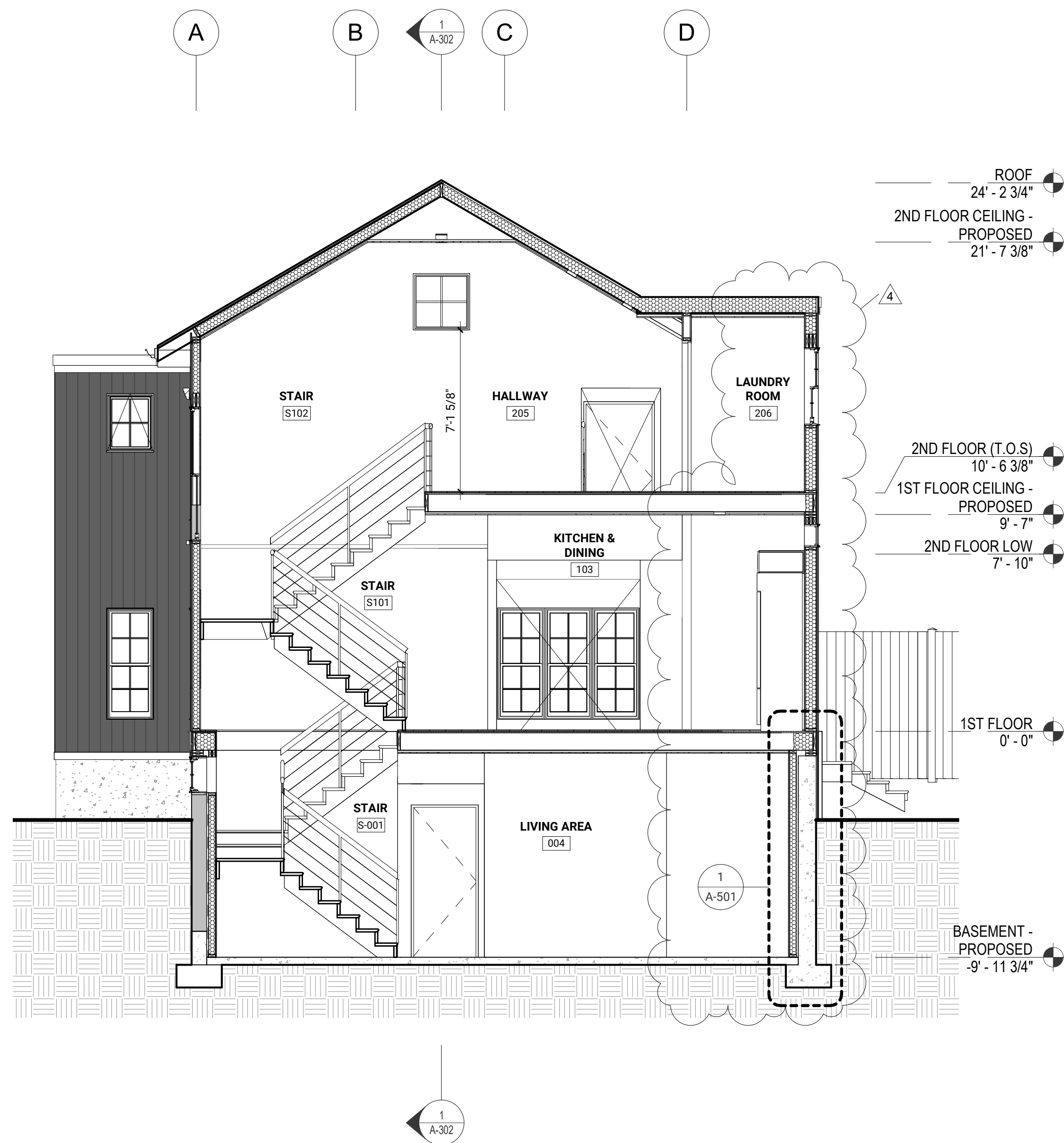
PROJECT #: 19006

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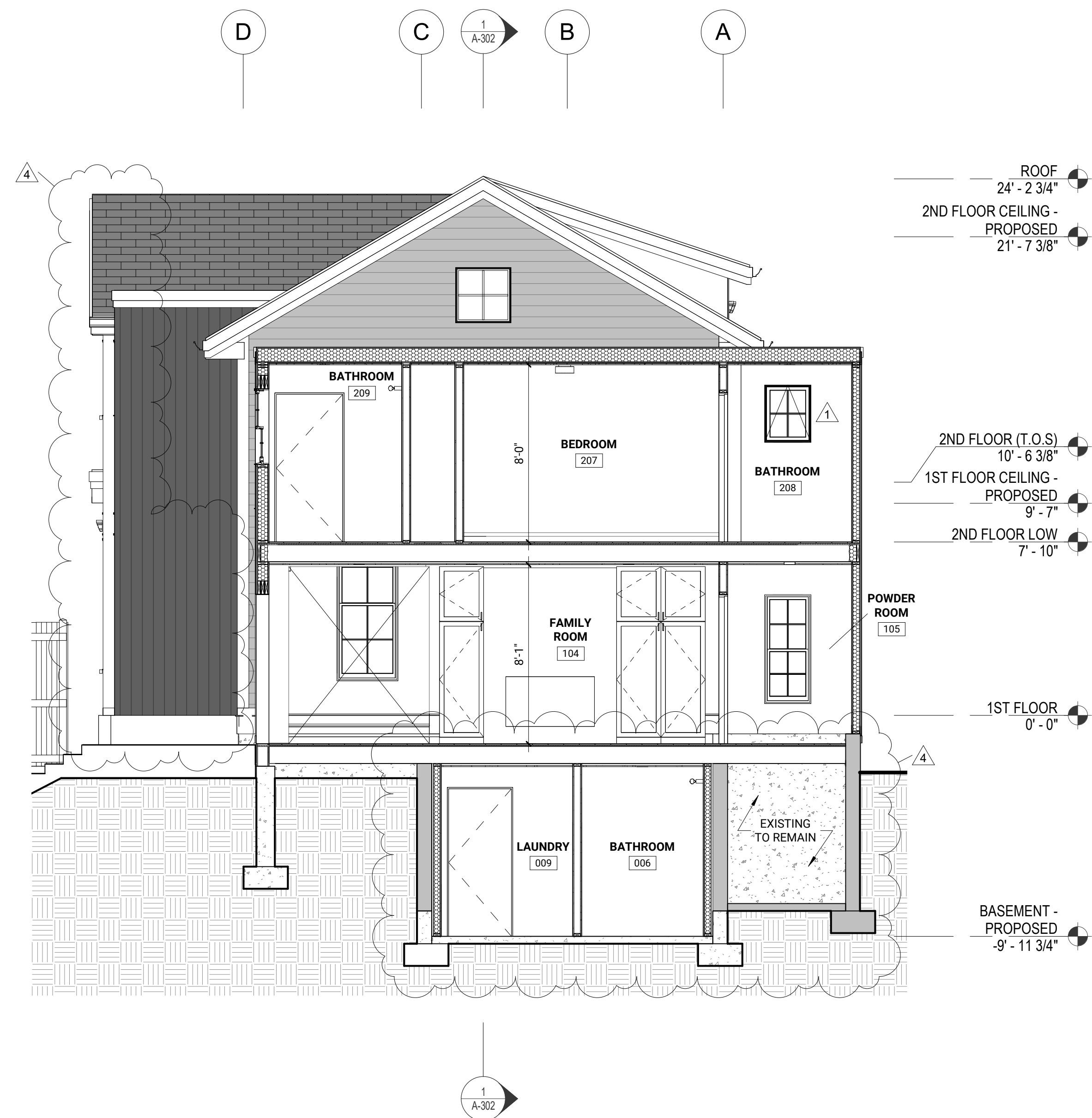
DRAWN BY: EAD

EAST & WEST
BUILDING SECTION

A-301



1 EAST BUILDING SECTION - PROPOSED
SCALE: 1/4" = 1'-0"



2 WEST BUILDING SECTION - PROPOSED
SCALE: 1/4" = 1'-0"

CONSULTANTS:

PERMIT SET

REVISIONS:

4 11/23/20 REDUCED VOL.

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

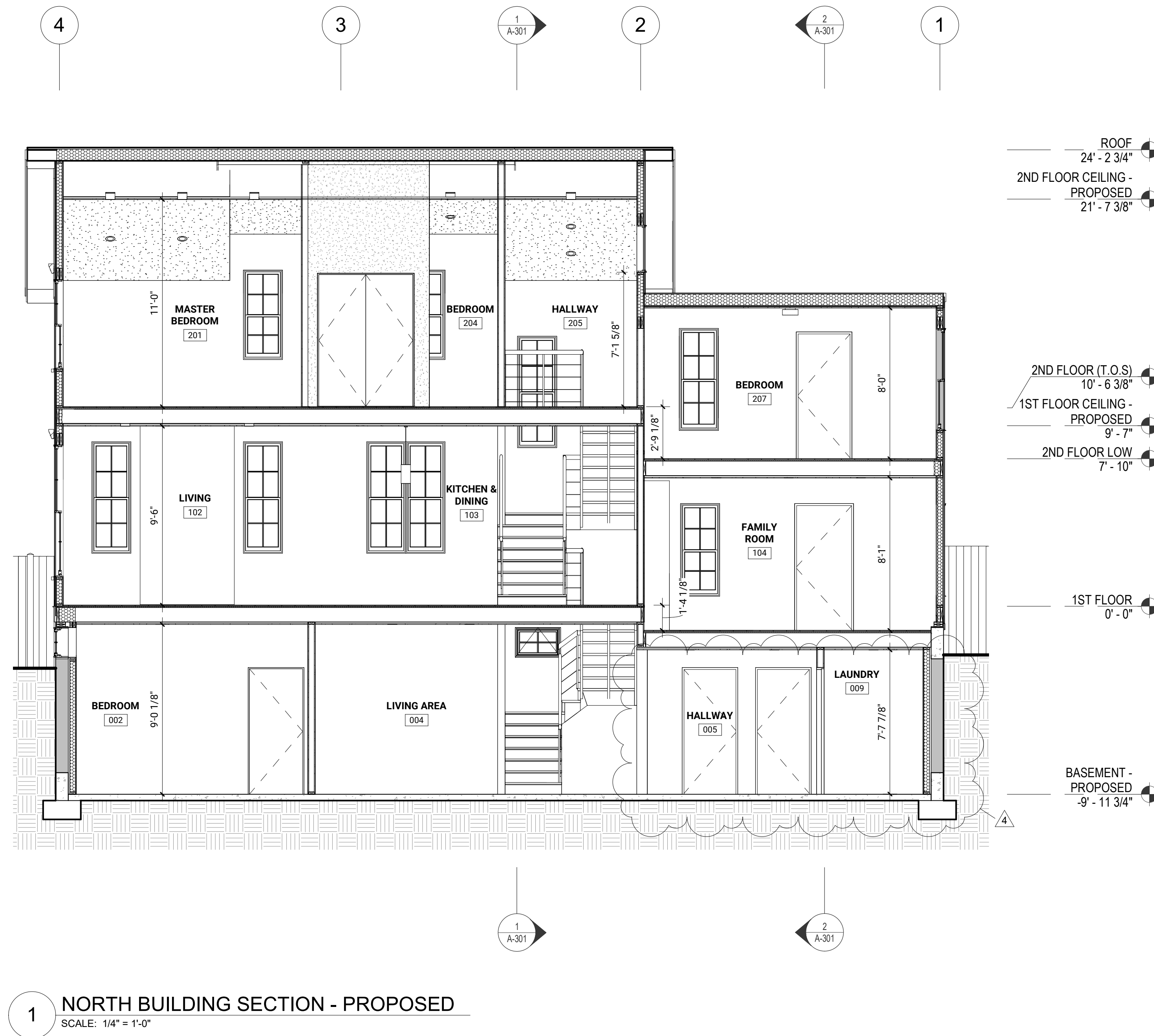
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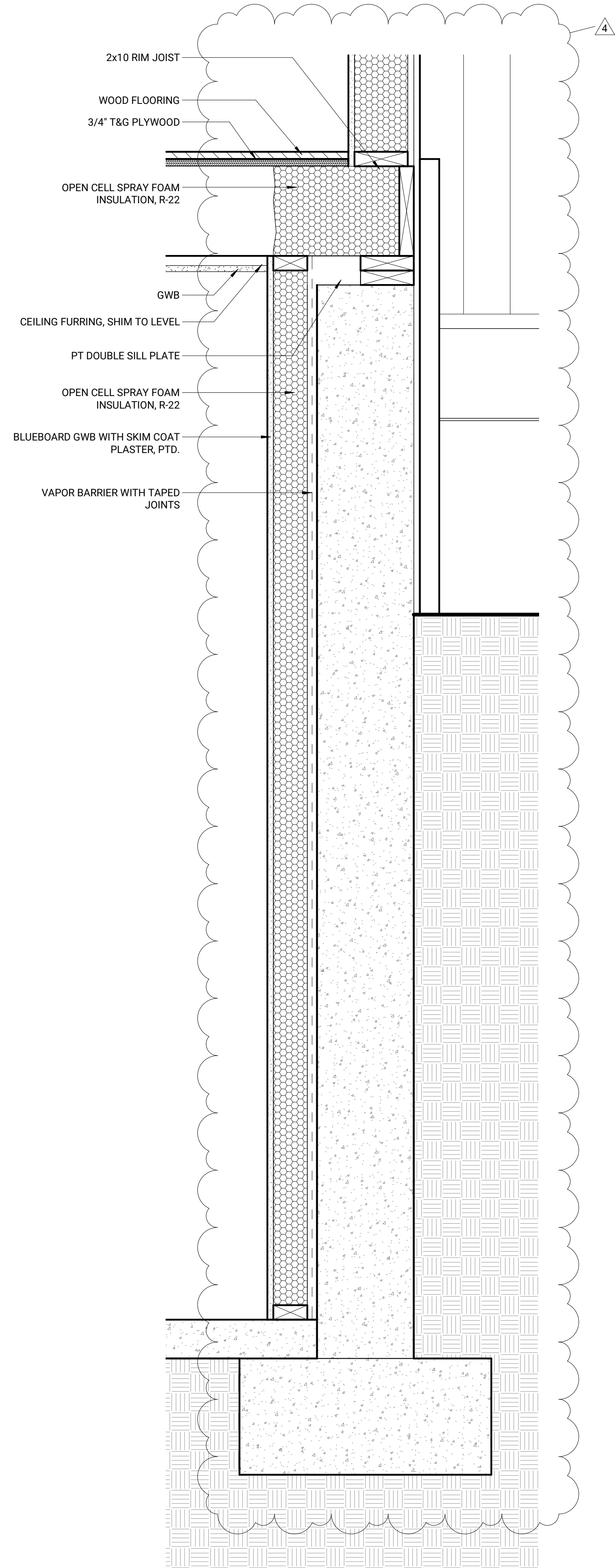
SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

NORTH BUILDING
SECTION

A-302





1 FOUNDATION DETAIL
SCALE: 1 1/2" = 1'-0"

CONSULTANTS:

PERMIT SET

REVISIONS:		
4	11/23/20	REDUCED VOL.

PROJECT NAME:
57 PLEASANT ST

DATE ISSUED: 4/13/2020

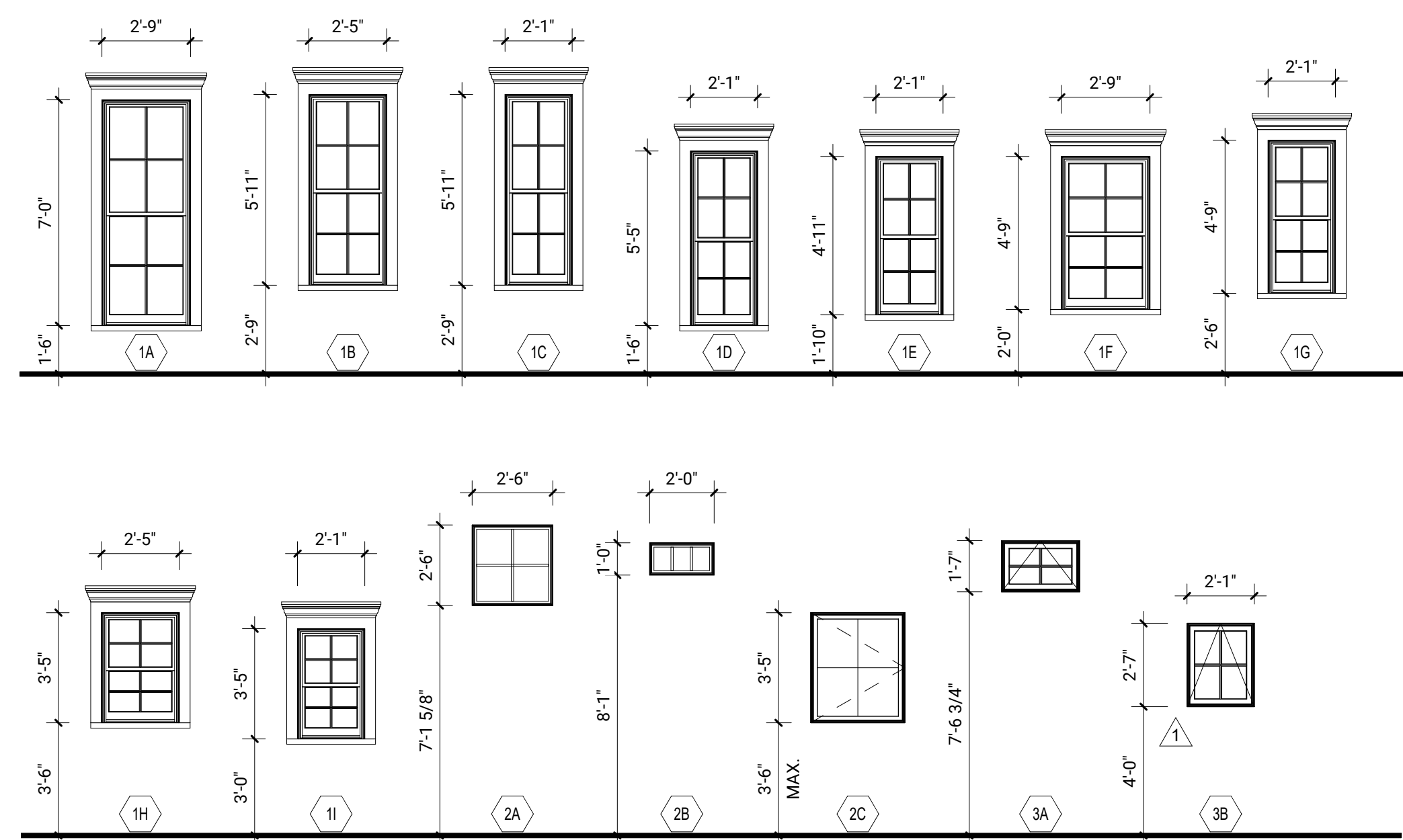
PROJECT #: 19006

SCALE: 1 1/2" = 1'-0"

DRAWN BY: EAD

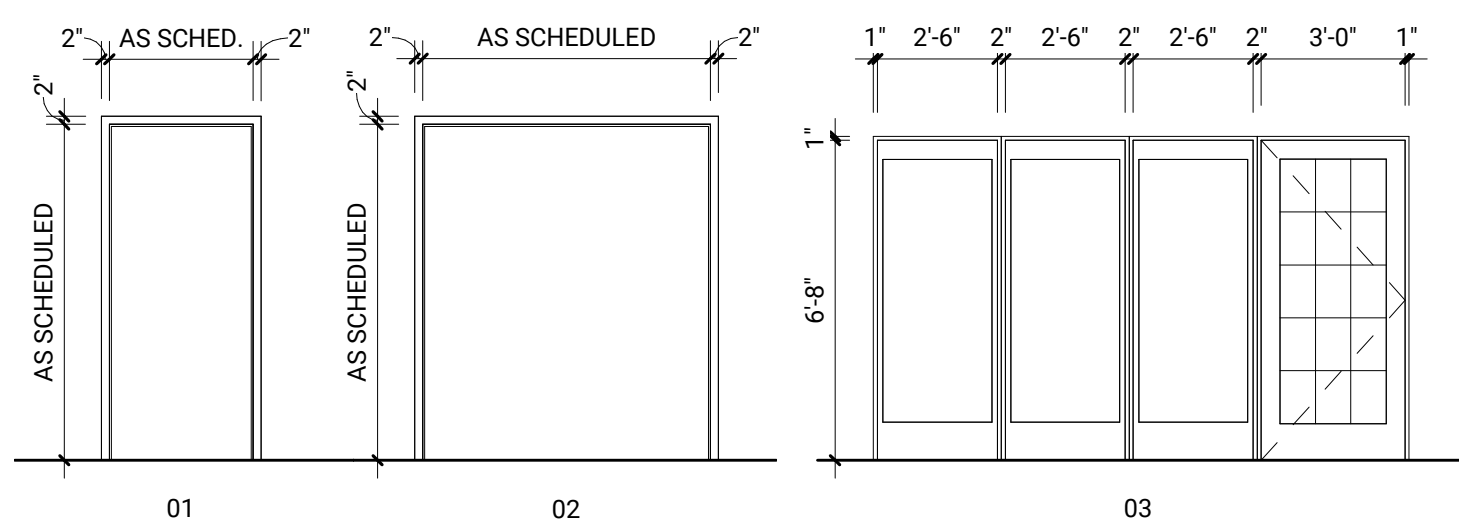
EXTERIOR DETAILS

WINDOW TYPES

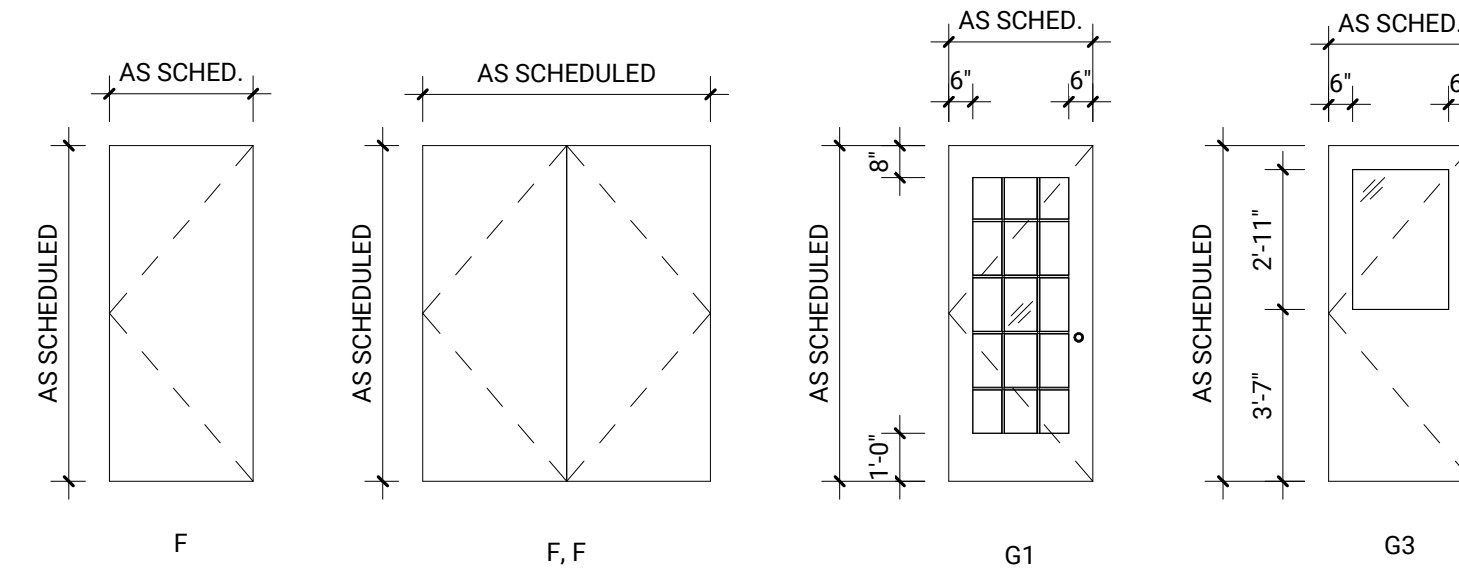


WINDOW SCHEDULE							
TYPE	COUNT	SILL HEIGHT	WIDTH	HEIGHT	MATERIAL	MANUFACTURER	REMARKS
3	1A	3	1' - 6"	2' - 9"	7' - 0"	WD	Pella
1	1B	1	2' - 0"	2' - 5"	5' - 11"	WD	Pella
1	1C	4	2' - 9"	2' - 1"	5' - 11"	WD	Pella
1	1C	1	8' - 5"	2' - 1"	5' - 11"	WD	Pella
5	1D	4	1' - 6"	2' - 1"	5' - 5"	WD	Pella
4	1E	6	0' - 5 5/8"	2' - 1"	4' - 11"	WD	Pella
6	1F	3	2' - 0"	2' - 9"	4' - 9"	WD	Pella
3	1G	3	2' - 6"	2' - 1"	4' - 9"	WD	Pella
3	1H	2	3' - 6"	2' - 5"	3' - 5"	WD	Pella
2	1I	4	3' - 0"	2' - 1"	3' - 5"	WD	Pella
4	2A	1	7' - 1 5/8"	2' - 6"	2' - 6"	WD	Pella
1	2B	4	8' - 1"	2' - 0"	1' - 0"	WD	Pella
4	2C	1	3' - 6"	2' - 11"	3' - 5"	WD	Pella
1	3A	3	7' - 3 1/4"	2' - 5"	1' - 7"	WD	Pella
3	3B	1	1' - 9 5/8"	2' - 1"	2' - 7"	WD	Pella
1	TOTAL WINDOWS: 41						

WOOD FRAME TYPES



PANEL TYPES



DOOR SCHEDULE												
MARK	LOCATION		FRAME DETAILS			DOOR DETAILS				FIRE RATING	HDWR SET	REMARKS
	FROM	TO	MATL	TYPE	PANEL	MATL	WIDTH	HEIGHT	THK			
BASEMENT - PROPOSED												
001	HALLWAY	UTILITY	WD	01	F	WD	3' - 0"	6' - 8"				
002	HALLWAY	BEDROOM	WD	01	F	WD	2' - 10"	6' - 8"				
003	CLOSET	HALLWAY	WD	01	F	WD	2' - 10"	6' - 8"				
004	HALLWAY	LAUNDRY	WD	01	F	WD	2' - 10"	6' - 8"				
005	HALLWAY	BATHROOM	WD	01	F	WD	2' - 10"	6' - 8"				
006	CLOSET	LIVING AREA	WD	01	F, F	WD	4' - 0"	6' - 8"				
007	BEDROOM	CLOSET	WD	01	F	WD	3' - 0"	6' - 8"				
008	HALLWAY	STORAGE CLOSET	WD	01	F	WD	2' - 10"	6' - 8"				
1ST FLOOR												
101		ENTRY	WD	01	G1	WD	3' - 0"	8' - 0"				
102	COAT CLOSET	ENTRY	WD	01	F, F	WD	5' - 0"	7' - 0"				
104	FAMILY ROOM	POWDER ROOM	WD	01	F	WD	3' - 0"	6' - 8"				
105	FAMILY ROOM		WD	03		WD	3' - 0"	6' - 8"				
2ND FLOOR (T.O.S)												
201	MASTER BEDROOM	MASTER BATHROOM	WD	01	F	WD	2' - 10"	6' - 8"				
202	MASTER BEDROOM	MASTER CLOSET	WD	01	F	WD	2' - 10"	6' - 8"				
203	HALLWAY	MASTER BEDROOM	WD	01	F	WD	2' - 10"	6' - 8"				
204	HALLWAY	BEDROOM	WD	01	F	WD	3' - 0"	6' - 8"				
205	CLOSET	BEDROOM	WD	01	F, F	WD	5' - 0"	7' - 0"				
206	LINEN CLOSET	HALLWAY	WD	01	F	WD	2' - 10"	6' - 8"				
207	HALLWAY	LAUNDRY ROOM	WD	01	F	WD	2' - 10"	6' - 8"				
208	HALLWAY	BEDROOM	WD	01	F	WD	3' - 0"	6' - 8"				
209	HALLWAY		WD	01	F	WD	3' - 0"	6' - 8"				
210	CLOSET	BEDROOM	WD	01	F, F	WD	5' - 0"	7' - 0"				
211	BEDROOM	BATHROOM	WD	01	F	WD	2' - 10"	6' - 8"				

MFDS A+P

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CONSULTANTS:

PERMIT SET

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PROJECT NAME:

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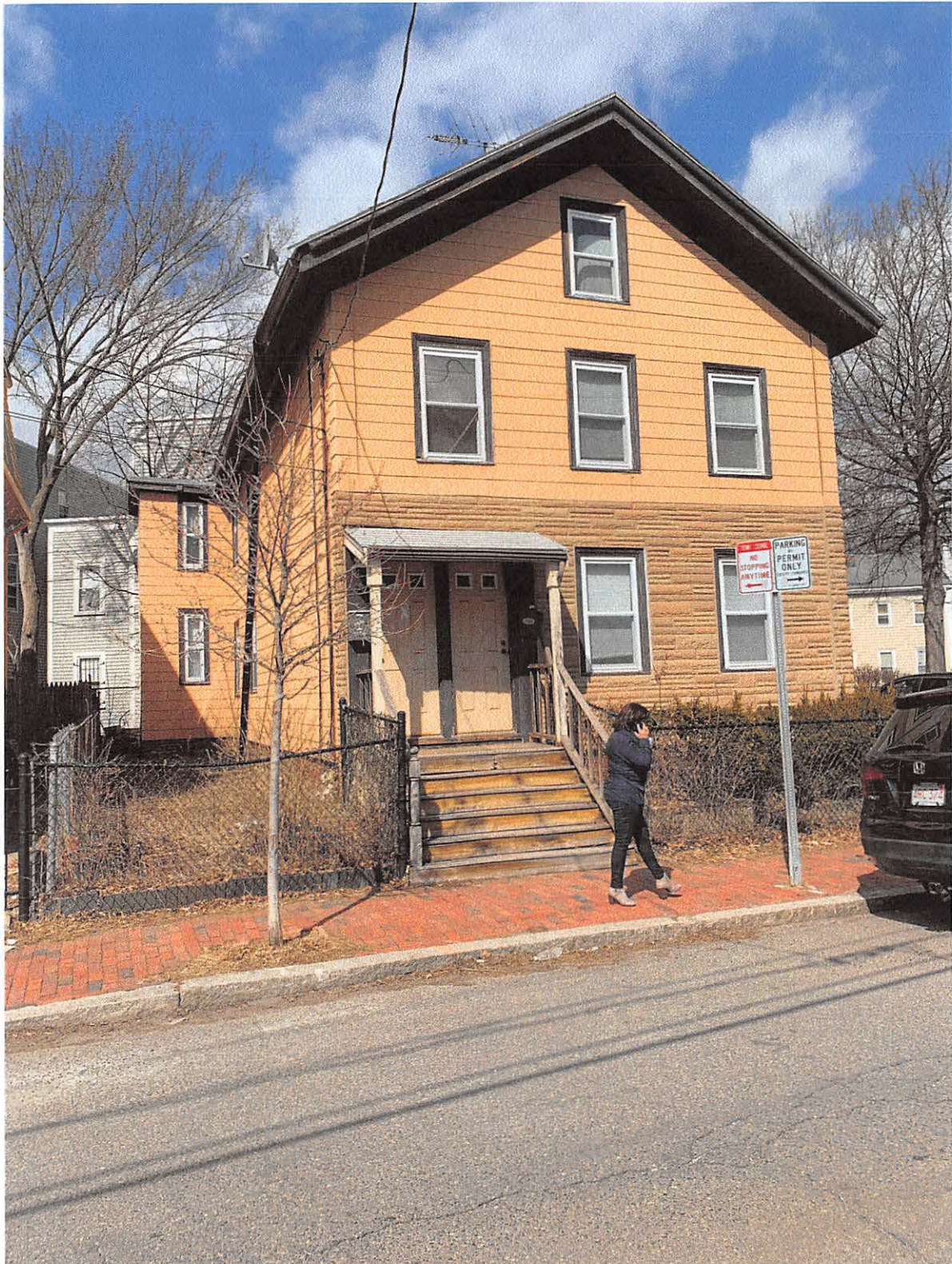
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DRAWN BY: EAD

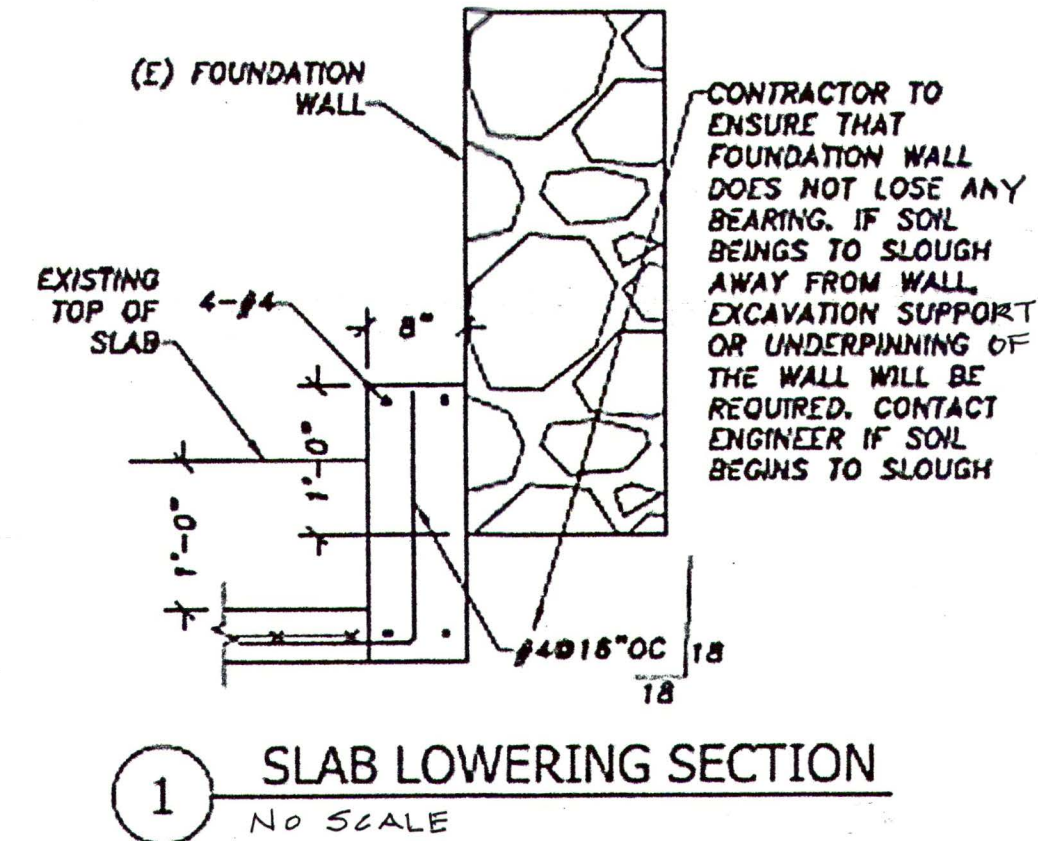
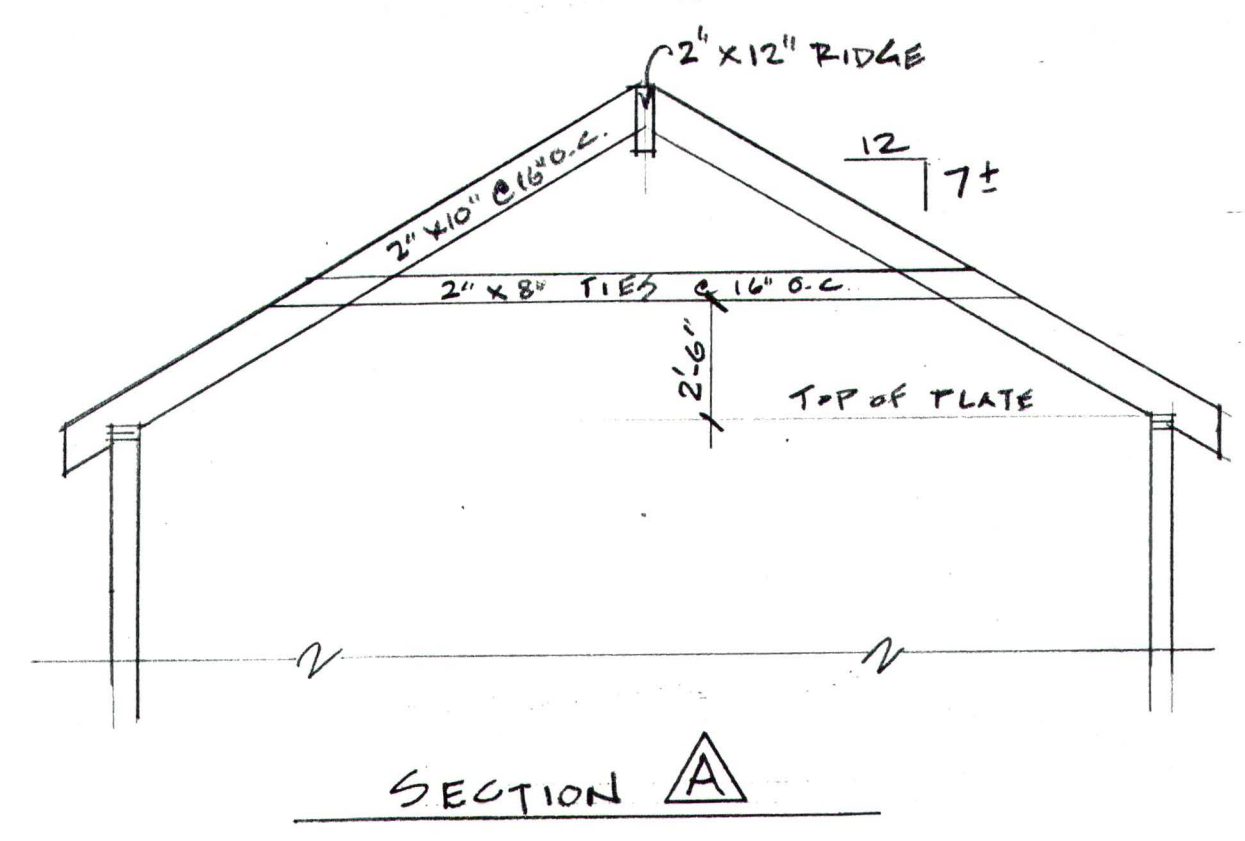
DOOR & WINDOW
TYPES AND SCHEDULE

A-702

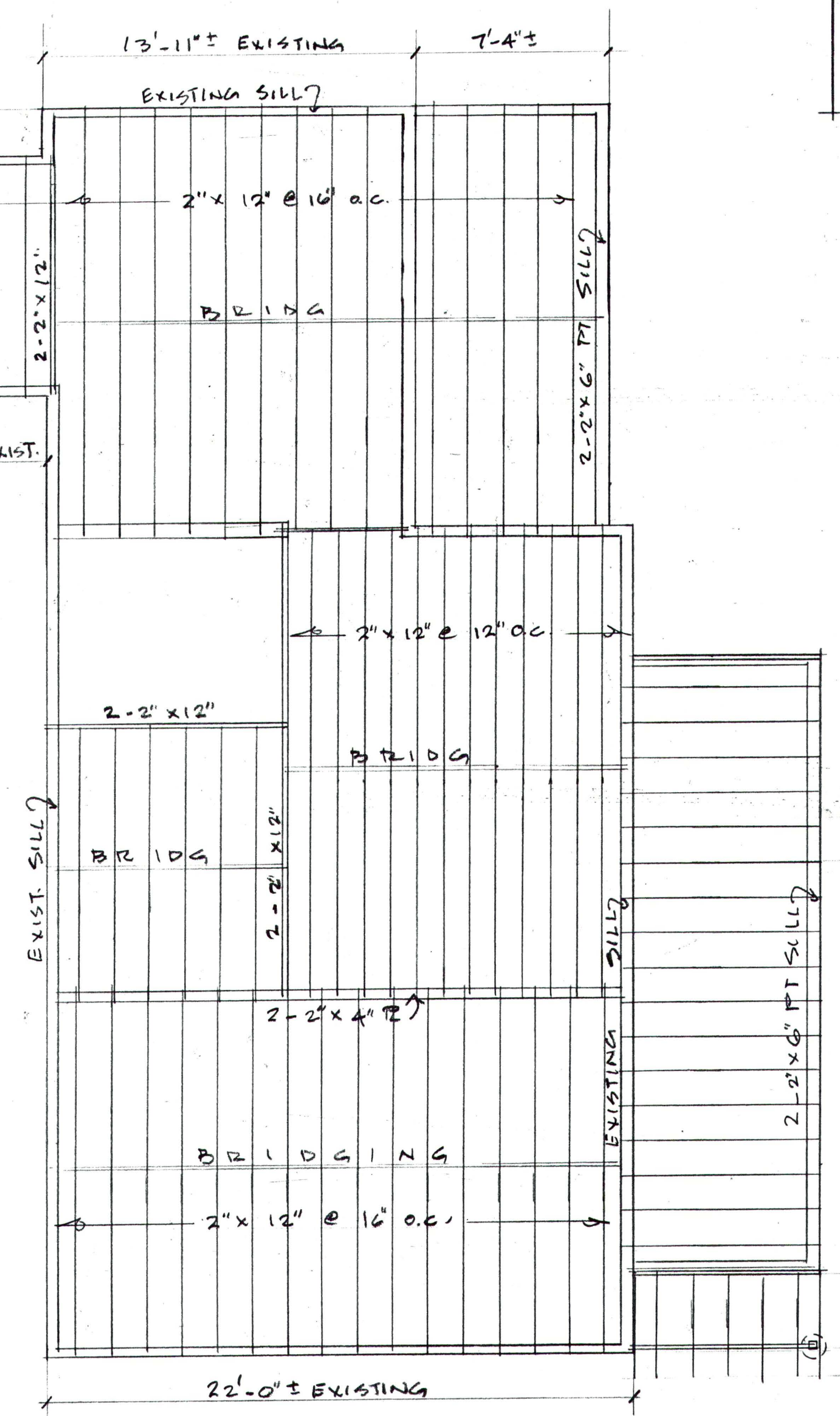
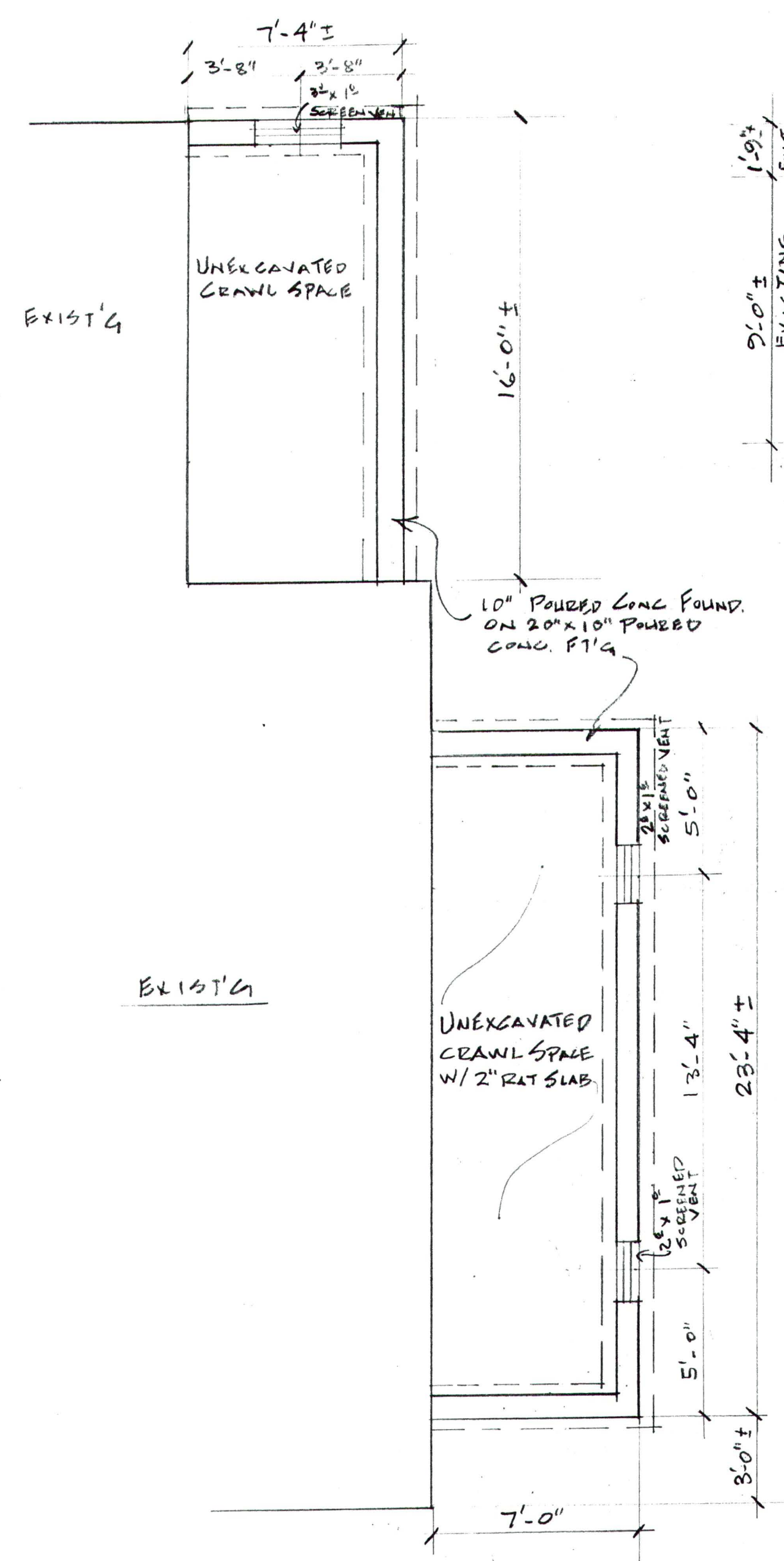
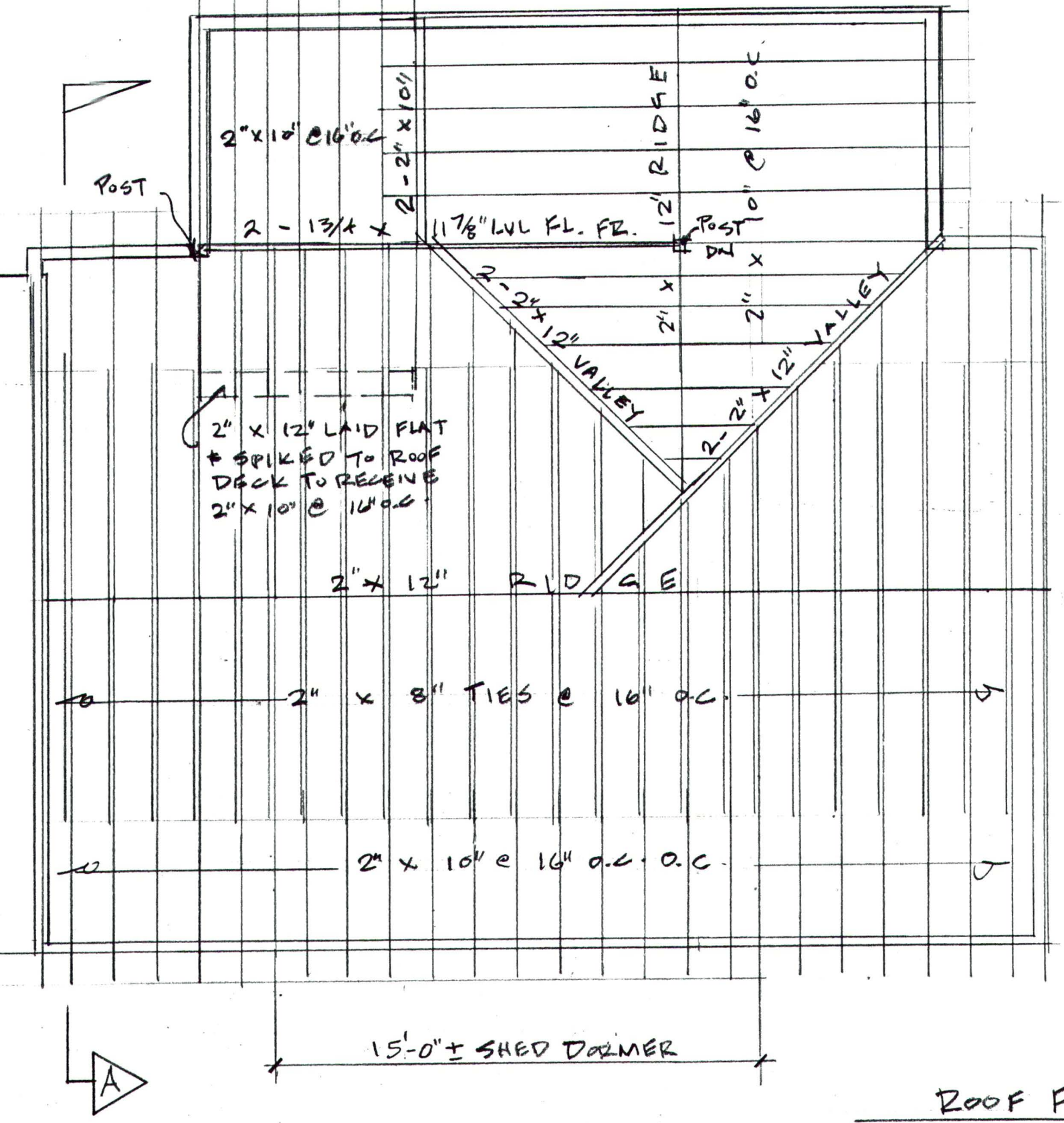




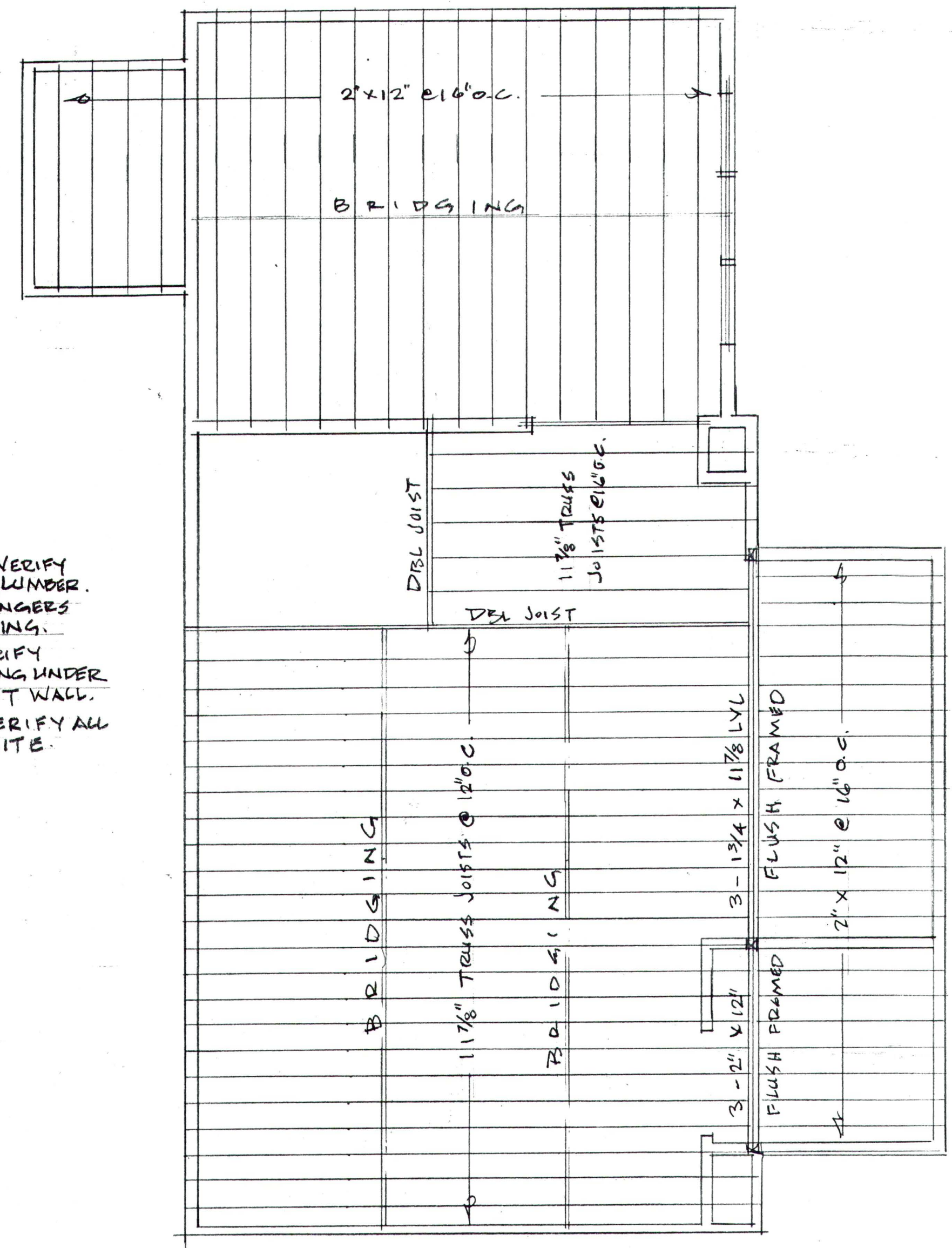




EXISTING FLAT ROOF



- NOTES:
1. MANUFACTURER TO VERIFY ALL ENGINEERED LUMBER.
 2. USE 16GA GALV HANGERS @ ALL FLUSH FRAMING.
 3. CONTRACTOR TO VERIFY ADEQUATE BEARING UNDER BASEMENT SUPPORT WALL.
 4. CONTRACTOR TO VERIFY ALL DIMENSIONS @ SITE.



Re: 57 Pleasant St
117050

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Marsh Builders LLC

Location: 400 W Cummings Pk

Phone: 6179085353

Present Use/Occupancy: SF

Zone: Business A-3 Zone/Residence

C Zone

Requested Use/Occupancy: SF

	<u>Existing</u> <u>Conditions</u>	<u>Requested</u> <u>Conditions</u>	<u>Ordinance</u> <u>Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	2538	2538	2581	(max.)
<u>LOT AREA:</u>	3439	3439	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u>	0.73	0.74	0.74	needs to be decimal #
<u>LOT AREA OF EACH DWELLING UNIT:</u>	3461	3461	1500	
<u>SIZE OF LOT:</u>				
WIDTH	60	60	50	
DEPTH	57	57	50	
<u>SETBACKS IN FEET:</u>				
FRONT	6.9	6.9	10	
REAR	2.8	2.8	20	
LEFT SIDE	2.7	2.7	10.25	
RIGHT SIDE	20.8	20.8	10.25	
<u>SIZE OF BUILDING:</u>				
HEIGHT	27.17	27.17	35	
WIDTH	45'8"	45'8"	NA	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	12%	28%	NA	
<u>NO. OF DWELLING UNITS:</u>	1	1	2 allowed	
<u>NO. OF PARKING SPACES:</u>	2	2	1	
<u>NO. OF LOADING AREAS:</u>	NA	NA	NA	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	NA	NA	NA	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Bob MARQUES Date: 5/11/21
(Print)

Address: 57 Pleasant St.

Case No. BZA-117050

Hearing Date: 5/27/21

Thank you,
Bza Members