



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

BZA Application Form

BZA Number: 91137

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance: _____

Appeal: _____

PETITIONER: 57 Pleasant LLC C/O Ronald Buck

PETITIONER'S ADDRESS: 45 Dunham Rd, Billerica, MA 01890

LOCATION OF PROPERTY: 57 Pleasant St., Cambridge, MA

TYPE OF OCCUPANCY: Res

ZONING DISTRICT: Business A-3 Zone/Residence C Zone

REASON FOR PETITION:

/Additions/ /New window openings in wall that is existing, non conforming. volume of addition 12%/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Volume of addition is 12%; Window opening changes in wall that is existing, non-conforming

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).

Article: 8.000 Section: 8.22.2.C (Non-Conforming Structure).

Original
Signature(s):

(Petitioner (s) / Owner)

Ronald Buck

(Print Name)

Address:

Tel. No. 6179085353

E-Mail Address: ron@marshbuilders.com

Date: 9-10-20

2020 SEP 21 AM 11:53
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Ronald Buck, 57 Pleasant LLC
(OWNER)

Address: 45 Dunham Rd Billerica, MA 01821

State that I/We own the property located at 57 Pleasant St Cambridge which is the subject of this zoning application.

The record title of this property is in the name of 57 Pleasant LLC

*Pursuant to a deed of duly recorded in the date 6/26/19, Middlesex South County Registry of Deeds at Book 72830, Page 315; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.



SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

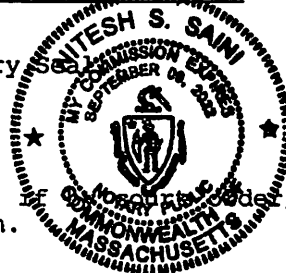
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Ronald D. Buck personally appeared before me, this 4th of Sept., 2020, and made oath that the above statement is true.

Nitesh S. Saini Notary

My commission expires 09/09/2022 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by gift, recent deed, or inheritance, please include documentation.

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 57 Pleasant St., Cambridge, MA (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:
- NA, We are requesting minor changes affecting window layout and volume
- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:
- NA, We are requesting minor changes affecting window layout and volume
- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:
- NA, We are requesting minor changes affecting window layout and volume
- D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:
- NA, We are requesting minor changes affecting window layout and volume
- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:
- The changes will drastically improve the condition and appearance of the home while reducing traffic.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: 57 Pleasant LLC

Present Use/Occupancy: Res

Location: 45 Dunham Rd

Zone: Business A-3 Zone/Residence C Zone

Phone: 6179085353

Requested Use/Occupancy: Res

	Existing Conditions	Requested Conditions	Ordinance Requirements	
TOTAL GROSS FLOOR AREA:	2511.3	2538.3	2544.86	(max.)
LOT AREA:	3461	3461	5000	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	.73	.74	.74	
LOT AREA OF EACH DWELLING UNIT	3461	3461	1500	
SIZE OF LOT: WIDTH	60	60	50	
DEPTH	64.8	64.8	?	
SETBACKS IN FEET: FRONT	60	60	50	
REAR	2.8	2.8	20	
LEFT SIDE	2.7	2.7	10.25	
RIGHT SIDE	28.4	20.8	10.25	
SIZE OF BUILDING: HEIGHT	27.17	27.17	35	
WIDTH	45.75	45.75	44	
RATIO OF USABLE OPEN SPACE TO LOT AREA:	12.8; 18	23; 18	30; 36	
NO. OF DWELLING UNITS:	2	1	2	
NO. OF PARKING SPACES:	2	2	2	
NO. OF LOADING AREAS:	NA	NA	NA	
DISTANCE TO NEAREST BLDG. ON SAME LOT	NA	NA	NA	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

* * * * *

(9:30 p.m.)

Sitting Members: Constantine Alexander, Brendan Sullivan,
Jim Monteverde, Alison Hammer and Jason
Marshall

CONSTANTINE ALEXANDER: The Chair will next call
Case Number case 91137 -- 57 Pleasant Street. Anyone here
wishing to be heard on this matter?

MONTE FRENCH: Good evening.

CONSTANTINE ALEXANDER: Hello.

MONTE FRENCH: This is Monte French, the
architect.

CONSTANTINE ALEXANDER: Yes. You may proceed, but
speak up a little bit because it's very faint.

MONTE FRENCH: Is this better?

CONSTANTINE ALEXANDER: That's much better.

MONTE FRENCH: Good evening. Thank you for taking
the time. We are seeking a variance for windows on the side
wall that are over the setback line.

BRENDAN SULLIVAN: Mr. French, if you could just
introduce yourself for the record and your address.

MONTE FRENCH: Monte French, the architect for the

1 project.

2 CONSTANTINE ALEXANDER: Okay. And what you're
3 seeking is not a variance, but a special permit, according
4 to the application.

5 MONTE FRENCH: My apologies; yes, the special
6 permit.

7 CONSTANTINE ALEXANDER: Okay.

8 MONTE FRENCH: The special permit is for windows
9 located along the side yard and rear of the property, and
10 the nonconforming part of the building that's over the
11 property line.

12 And then the addition that we're proposing on the
13 right side is over the allowance of 10 percent by -- two
14 percent, we're showing 12 percent volume.

15 The volume that's on the -- I'll start with the
16 volume that's on the right. The volume on the right is
17 designed to meet the front yard and rear yard setbacks.

18 The side yard we did do the calculation, but I
19 think through iterations of redesign it grew, and we didn't
20 keep track of it. So it landed at 12 percent. We were
21 hoping to keep it. It fits the interior layout and volume
22 of the building nicely. So we're asking for a special

1 permit on that.

2 And then on the left side of the building and the
3 rear of the building, there were very little windows in the
4 house originally, and to bring more daylight into the house,
5 we added some windows and are asking for a special permit on
6 those as well.

7 CONSTANTINE ALEXANDER: And the proposed addition,
8 it's actually between the garage and the residential
9 structure, is that right?

10 MONTE FRENCH: There is no garage. It's on the
11 right side of the house.

12 CONSTANTINE ALEXANDER: Yep.

13 MONTE FRENCH: It's --

14 CONSTANTINE ALEXANDER: This is a driveway, I'm
15 sorry.

16 MONTE FRENCH: Yeah, the driveway.

17 CONSTANTINE ALEXANDER: The driveway -- I
18 apologize.

19 MONTE FRENCH: Correct. Yes, between the --
20 correct, between the driveway or the surface parking and the
21 existing house.

22 CONSTANTINE ALEXANDER: And the purpose for the

1 additional space?

2 MONTE FRENCH: Is to create an entry and kitchen
3 space and more bedroom space upstairs.

4 CONSTANTINE ALEXANDER: Okay.

5 MONTE FRENCH: We're converting this from a multi-
6 unit house to a single-family house.

7 CONSTANTINE ALEXANDER: All right. Anything else
8 you wish to add?

9 MONTE FRENCH: No. I think that the client has
10 spoken to all the abutters, and I think that they're all
11 agreeable to the proposal. I don't think that there was any
12 opposition to the --

13 CONSTANTINE ALEXANDER: We have one letter in our
14 file.

15 MONTE FRENCH: Okay.

16 CONSTANTINE ALEXANDER: We have two letters -- I'm
17 sorry, two letters -- which I will read into the record.
18 They're in support, as you said. But I'll read them into
19 the record in due course.

20 MONTE FRENCH: Okay. If you want to zoom in on
21 the first floor plan there on the right. So the addition
22 part on the right there is where the kitchen is at. It

1 allowed us to get a proper dining room, living room and a
2 stairwell that circulates to the upstairs and downstairs.
3 Again, this is making it a single-family home.

4 CONSTANTINE ALEXANDER: Okay. Questions from
5 members of the Board?

6 BRENT REYNOLDS: Brendan Sullivan, no questions at
7 this time? J

8 JIM MONTEVERDE: Jim Monteverde, no questions.

9 ALISON HAMMER: Alison Hammer, no questions.

10 JASON MARSHALL: Jason Marshall. No questions,
11 but I would note to maybe ask the petitioner to discuss a
12 little bit that, as already stated, there seems to be a
13 notion of "NA" in the answers. Then the question was
14 answered, and it's just -- appreciate any response. I don't
15 understand the petitioner would really believe that the
16 answer isn't applicable, would you?

17 MARY FLYNN: I'm sorry, you were broken up.

18 JASON MARSHALL: Can you hear me now?

19 MONTE FRENCH: Yeah.

20 JASON MARSHALL: I'm a little confused at some of
21 the response in the supporting statement for the special
22 permit. It seems to list, "N/A" which I understand to be

1 not applicable. Is that meant to be not applicable?

2 MONTE FRENCH: On which questions?

3 JASON MARSHALL: It appears on most of the answers
4 it lists "N/A" before, then providing an answer. Just
5 wanted to get a -- put some clarity in the record around
6 that.

7 MONTE FRENCH: I believe my client filled out the
8 form you're talking about, so I'm not familiar with --

9 JASON MARSHALL: Okay.

10 MONTE FRENCH: -- the answers that you're
11 mentioning.

12 JASON MARSHALL: All right. I would just note --
13 I would understand these responses to be response to the
14 answers, and not -- not responding that they're not
15 applicable, just in the interest of creating a more clear
16 record.

17 CONSTANTINE ALEXANDER: Okay, I'm not sure if I'm
18 following your --

19 BRENDAN SULLIVAN: Brendan Sullivan. No, I think
20 Jason your point is well taken; is that those questions need
21 to elicit a response, and potentially maybe that the
22 applicant either didn't understand the question and/or the

1 seriousness or the need to provide an answer. I think your
2 point is well taken on the application form.

3 CONSTANTINE ALEXANDER: Yeah. This is a special
4 permit request; this is not a --

5 BRENDAN SULLIVAN: Right, right.

6 MONTE FRENCH: Yeah, and Mr. Chair, to be clear, I
7 mean I'm inclined towards support this, so obviously there's
8 a bias in the ordinance toward granting special permits.

9 I just want to note I understand the answers here
10 to be responsive to the questions, given that the applicant
11 has the burden and maybe there was a misunderstanding or a
12 typographical error listing, "N/A" at the beginning. That's
13 all. Just trying to provide a little clarity to the record.

14 CONSTANTINE ALEXANDER: No, I see what you're
15 saying. I had -- when I read it, I had -- those two
16 sentences are inconsistent -- "N/A" and of course they have
17 to be applicable, but then they do give an answer or a
18 response. So -- in my mind, I just disregarded the, "N/A."
19 That's how I analyzed what was submitted.

20 But you're absolutely correct, and you can't say,
21 "N/A" because if you don't -- before you meet these
22 requirements, you don't get the special permit.

1 All right with that, I have no comments beyond
2 what I just said, in response to Jason's very valid point.
3 I'll open the matter up to public testimony.

4 Any member of the public who wishes to speak
5 should now click the icon at the bottom of your Zoom screen
6 that says, "Raise hand." If you are calling in by phone,
7 you can raise your hand by pressing *9 and unmute or mute by
8 pressing *6.

9 I'll wait a few moments to see if anyone does wish
10 to give a comment.

11 SEAN O'GRADY: L.S. Johnson, did you want to talk?

12 LLOYD SHELDON JOHNSON: Yes, I did.

13 SEAN O'GRADY: Go ahead.

14 CONSTANTINE ALEXANDER: I'm sorry, who?

15 LLOYD SHELDON JOHNSON: Okay, you can hear me. My
16 property abuts what's being proposed here on Pleasant
17 Street. I have been -- yes, my name is Dr. Lloyd Sheldon
18 Johnson, and I'm at 148 River Street. My property abuts the
19 property on Pleasant Street.

20 I have not been duly -- I have a document here
21 which is why I have waited so patiently here until this came
22 up on this hearing. I have not -- other than what I am

1 holding in my hand from the city of Cambridge Board of
2 Zoning Appeal, I have not been directly or indirectly
3 contacted about what is taking place at this property, which
4 annoys me.

5 The property has been vacant for many years since
6 Mrs. Toner passed away. I have owned my property for close
7 to 15 years, maybe over 15 years -- Cambridge homeowner and
8 taxpayer.

9 Since that property has been vacant, my property
10 has been invaded with, you know, expensive interventions
11 from me regarding the rodents that have been invading my
12 property, the racoons and all of those things because that
13 property was not attended to for three years.

14 So I have photos to document that. There were
15 neighborhood groups that came over there to clean up all of
16 the debris that was in the yard, all of the overgrown hedges
17 that were harboring this vermin, and nobody paid any
18 attention to it until one day I see a big sign, I come home,
19 they're doing construction on River Street and someone tells
20 me, "A man came by and left a card in your mailbox."

21 You know, I never contacted him because I thought
22 it was a rather crude way to be in touch with someone who's

1 been living in the neighborhood and has been committed to
2 having a neighborhood voice in terms of how, you know, we
3 manage these changes in our neighborhood.

4 You know, I live in an area where there are a lot
5 of college students, who certainly have no respect for the
6 properties of homeowners, and it seems that that was the
7 same thing that was happening behind me.

8 You know, and so, I just have some questions about
9 what is being proposed, how it's going to impact my property
10 and my property line, because we directly abut each other.

11 I don't know -- I have not heard anything other
12 than what I'm seeing here tonight. I've seen nothing else.
13 Nothing has been proposed to me. There is no bid, because
14 there has not been any kind of olive branch or any civil
15 extension of neighborhoodliness or warmth in terms of what
16 was going on there. And I would certainly -- you know,
17 support those things that are going to improve the
18 neighborhood.

19 And you know when I'm wedged in between what used
20 to be Keezer's and then I have this property behind me, and
21 then I have the property next door to me. And I'm going to
22 say this publicly: As an African-American male and

1 homeowner, I have felt so discarded by what's happening
2 around me.

3 So I am just curious about how this property is
4 going to impact the back side of my property, what's going
5 on to happen in terms of how -- you know, the digging up
6 that's happening there, all the things that's going on right
7 now, and all the rats that I'm seeing around my property.

8 I'm going to have to shell out \$3000 to get rid
9 of all of this crap that has been invading my property as a
10 result of what's been digged (sic) up around me.

11 And even next door I had to send two letters to
12 the owners of the Keezer's property because there were
13 bottles out there from the homeless people coming, changing
14 their clothes in the lot there. There were syringes there,
15 condoms, stolen bikes -- all of these things there.

16 And I wrote a letter to the guy who lives in
17 Weston and I said, "I'm certain that your properties, that
18 your home in Weston and your properties in Wellesley do not
19 have to put up with this kind of crap." People see trash on
20 the street and they think it's a garbage pit, and they
21 continue to throw liquor bottles, all of these things there.

22 My concern is how is this going to impact my property,

1 my property line, and what guarantees are there going to be
2 that I'm going to be protected. And I would raise hell here
3 and at City Hall if I don't see something positive here.
4 And I mean it.

5 CONSTANTINE ALEXANDER: Let me try --

6 LLOYD SHELDON JOHNSON: And you can put that on
7 the record, publicly.

8 CONSTANTINE ALEXANDER: Well, it is on the record.
9 We make a record of the hearing. We have a
10 transcriptionist, and every word you've just spoken is on
11 the record and will be as part of our file.

12 Let me just step back for a second, and I can
13 understand your exasperation from what you described. First
14 of all, I guess I'm puzzled why if you have the rat problems
15 and the abuse of the property, why -- did you contact city
16 officials --

17 LLOYD SHELDON JOHNSON: Of course I did.

18 CONSTANTINE ALEXANDER: -- to take some action?

19 LLOYD SHELDON JOHNSON: Inspectional Services came
20 out and looked at the property on Pleasant Street.
21 Inspectional Services came out and looked at the property
22 where Keezer's used to be, which is now Analog Studio. The

1 Inspectional Properties have come out twice over the past
2 year. I spoke to them personally. And yes, they are aware
3 of all of what's going on.

4 But I think for me, that the frustration for me is
5 that, you know, you're in a property for a while -- I didn't
6 have all these problems.

7 And then all of a sudden, I take my dog out, there
8 are rats -- I mean rats, not mice -- rats running around the
9 property. I have a dog, I'm concerned about the dog being
10 bitten, I'm concerned about my own safety.

11 And then I look out, and I see what's happening
12 around me. You know, when you start digging, I don't have
13 to tell you guys -- you know, we start digging, the rats
14 come out. You know, the restaurants are closed, they have
15 no place to eat.

16 The junkies are next door. I've taken photographs
17 of the junkies next door shooting up in the lot. The guy
18 did come over and kind of cleaned -- had someone to clean up
19 all the debris there, but I hadn't seen any of that happen
20 at 57 for years -- for years. Nothing was done, and now we
21 get this glorified plan to gentrify the neighborhood and
22 everything all of a sudden is going to change.

1 The same thing is true for the other property next
2 door to me that I'm going to complain about too at some
3 other point in time. People who rent properties don't care
4 about the properties.

5 It's people like me, the property owners, the
6 people across the street from me who keep our properties
7 nice, who love being in the neighborhood -- the people
8 across the street from me on the corner, who have people
9 come to keep our properties groomed, who are proud residents
10 of living in Cambridge.

11 But when we have people come in who are making
12 these radical changes, a lot of these places are not owner-
13 occupied, and then we have to manage all this crap and spend
14 all this money to improve things that were not a problem
15 before. I mean, I'm really -- that's why I waited so long
16 since 7:00 to hear all this, because I wanted my voice to be
17 heard.

18 CONSTANTINE ALEXANDER: But you've got to
19 understand, sir, that we are a Zoning Board. We're talking
20 about modifications to the structure involved, and whether
21 we should grant the relief.

22 LLOYD SHELDON JOHNSON: I understand. I

1 understand that sir.

2 CONSTANTINE ALEXANDER: Let me finish, please.

3 Please. I know you're worked up about it, and I understand
4 it.

5 But the purpose of this would process is with
6 notice in the mail to abutters and abutters of abutters that
7 the relief being sought, a sign is required to be posted on
8 the property for 14 days.

9 And all of that is for the purpose when we have a
10 public hearing is to allow citizens of the city,
11 particularly neighbors, to comment -- to give us their views
12 whether they support the relief or not.

13 I mean, we're not the vehicle for dealing with
14 people who have been, like yourself, who have been abused by
15 the prior owner of the structure, by lacking of maintaining
16 the property.

17 Although I do think you should have contacted the
18 public health officials, rather than Inspectional Services
19 Department. They're the ones who will deal with rat
20 problems, I would hope, deal with rat problems and also if
21 you complain to the police, I think they would deal with the
22 homeless people or using the property next door to the

1 detriment of your property.

2 Tonight we're talking about --

3 LLOYD SHELDON JOHNSON: Mr. Chairman, in all due
4 respect, I hear everything you're saying, I've complied. I
5 just wanted to voice my opinion.

6 I know this is a Board -- Zoning Board issue --
7 which is why my primary question and concern was about -- if
8 you look at what I said earlier, yes, I've been a little
9 assertive in terms of what I'm saying is my concern.

10 My concern primarily with the zoning issue is how
11 the lines that about my property will affect my property
12 given those other kinds of concerns about distance, about
13 access, about those other things. That's my concern. And
14 for the most part, I would certainly -- you know, had things
15 been different -- support something positive and great
16 coming into the neighborhood. I welcome that.

17 BRENDAN SULLIVAN: This is Brendan.

18 LLOYD SHELDON JOHNSON: So my other venting was me
19 venting, but I do understand it's a hearing about zoning and
20 not about public health, and not about Inspectional
21 Services. I'm clear about that. Thank you very much.

22 BRENDAN SULLIVAN: This is Brendan Sullivan. I

1 hear you and I respect your comments. I also think that you
2 are due at least some courtesy in some respects for the
3 applicant to have reached out to you and have shared their
4 plans with you prior to tonight. And we -- or at least I --
5 feel you are at least due that.

6 And I would actually vote for, or be in favor of
7 continuing this matter to allow the petitioner to reach out
8 to you and to have a discussion with you.

9 LLOYD SHELDON JOHNSON: Thank you so much. I
10 really appreciate your indulgence. It means a lot to me.

11 CONSTANTINE ALEXANDER: Okay, well, and I support
12 what Brendan said about continuing the case to allow you to
13 learn more and to -- well, to vent your spleen about what's
14 gone on in the past and to get assurance that it will not
15 happen going forward.

16 But we have to continue this case to another
17 night. The five of us who are here tonight have to be on
18 the case the next time, because of the way the law works.
19 And I'm not sure how long we have before we have space for
20 this case to be reheard.

21 I know December 10 -- I think I got it right,
22 Sisia -- tenth is maybe -- do we have any space in that

1 time; any -- yeah, space on that date, because I don't know
2 the five that are on the call tonight can make that date.
3 Sisia?

4 BRENDAN SULLIVAN: There were two, and now I think
5 there are three continued cases.

6 SISIA DAGLIAN: Sorry. There are -- yes, there
7 are already three continued cases for that date, I think.

8 CONSTANTINE ALEXANDER: No, I think we can make
9 this a fourth continued case for that night. I think this
10 gentleman has raised some very important issues.

11 I think it's a matter of -- I don't think we'll
12 have to spend a lot of time on this case on December 10. I
13 think it's a matter of communication between the parties and
14 questions asked and answered.

15 The concern -- in my view at least, the relief
16 being sought is modest in nature. So I think at the end of
17 the day, I think there will not be objection to the relief.

18 But there is certainly objection to the way this
19 gentleman has been treated by the neighboring owners. And I
20 think it's time for the now owner to sit down with this
21 gentleman and talk this thing through, make it understood
22 what the impact is going to be on him.

1 So at the end of that speech, I'm going to propose
2 that we continue this case -- first of all, sir, are you
3 available December 10?

4 LLOYD SHELDON JOHNSON: What day of the week is
5 that?

6 BRENDAN SULLIVAN: It's a Thursday. Always a
7 Thursday.

8 LLOYD SHELDON JOHNSON: Absolutely, because where
9 am I going with COVID?

10 CONSTANTINE ALEXANDER: Ha! I don't know. If you
11 know where to go, let me know.

12 LLOYD SHELDON JOHNSON: I will -- believe me, I'm
13 here with my dog. So yes, I'm available.

14 CONSTANTINE ALEXANDER: Okay. The Chair will move
15 that we continue this case as a case heard -- and I'll
16 explain what that means, even for the petitioner -- until
17 7:00 p.m. on December 10 subject to the following
18 conditions.

19 First, the petitioner must sign a waiver of time
20 for decision. Otherwise, the case would be granted
21 automatically. That waiver, which is prepared by the city,
22 it's a very simple document, it just agrees to -- if you

1 will -- extend the time for a decision until December 10.

2 If the petitioner does not sign this waiver by one
3 week from tonight, then the case will be automatically
4 dismissed, and no relief will be granted. As I said, the
5 petitioner should go to the -- contact Inspectional Services
6 Department and obtain a copy of the waiver of time for
7 decision.

8 It is simply that, it's a one-page document; not
9 controversial, it would just mean the case would not be
10 decided until December 10.

11 Second, that a new posting sign has to be put up,
12 reflecting the new date, December 10; the new time, 7:00
13 p.m. And that sign must be maintained for the 14 days, just
14 as the sign for tonight's hearing was maintained for 14
15 days.

16 And then lastly, to the extent it's a result of
17 discussions or whatever, new or modified plans, drawings,
18 dimensional forms, are going to be presented on December 10,
19 those must be in our files no later than 7:00 p.m. on
20 December 10. I'm sorry -- no later than 5:00 p.m. on the
21 Monday before December 10.

22 And I will suggest that if any of those are done,

1 a copy be given to the gentleman who's been speaking
2 tonight. So he has an ability to look at them and ask
3 questions or in advance of that date or at the hearing on
4 December 10.

5 All those in favor?

6 BRENDAN SULLIVAN: Brendan Sullivan, yes to the
7 continuance.

8 JIM MONTEVERDE: Jim Monteverde, yes for the
9 continuance.

10 ALISON HAMMER: Alison Hammer, yes for the
11 continuance.

12 JASON MARSHALL: Jason Marshall, yes for the
13 continuance.

14 CONSTANTINE ALEXANDER: And the Chair votes yes
15 for the continuance as well. So this case has been
16 continued until December 10, 7:00 p.m., subject to the
17 conditions I've just recited. Thank you.

18 BRENDAN SULLIVAN: Mr. French, are you still on
19 the line?

20 MONTE FRENCH: Yes, I am.

21 BRENDAN SULLIVAN: This is Brendan Sullivan. As
22 far as that form to be filled out, if you call Maria at the

1 Inspectional Services in the morning, she can probably send
2 one over to you, to your client to sign and get back. She
3 will have it.

4 CONSTANTINE ALEXANDER: But again, make sure you
5 do it within the next week, because if not, the case is
6 over.

7 MONTE FRENCH: Yes.

8 CONSTANTINE ALEXANDER: I'm sure you'll do it, but
9 I just want to be sure it just doesn't get lost in the
10 shuffle.

11 MONTE FRENCH: Yes, I'll --

12 BRENDAN SULLIVAN: Do you have any other
13 questions, Mr. French, at all?

14 MONTE FRENCH: Nope. I have my notes the way the
15 form needs to be signed within the week.

16 BRENDAN SULLIVAN: Right. And the important thing
17 is the outreach to Dr. Johnson.

18 CONSTANTINE ALEXANDER: Yes.

19 MONTE FRENCH: Correct.

20 BRENDAN SULLIVAN: Yeah, okay, thank you.

21 LLOYD SHELDON JOHNSON: Thank you.

22 MONTE FRENCH: If I could, could I interrupt for a

1 second? Dr. Johnson, is there an e-mail that we can connect
2 after this through --

3 LLOYD SHELDON JOHNSON: Yeah.

4 MONTE FRENCH: -- and set something up?

5 LLOYD SHELDON JOHNSON: Yes. My address is 148
6 River Street. My e-mail is all one word, all lower case
7 lloydsheldonjohnson@gmail.com.

8 CONSTANTINE ALEXANDER: Okay.

9 LLOYD SHELDON JOHNSON: And Lloyd is L-l-o-y-d.
10 And thank you so much. I'm a proud Cantabridgian --
11 originally from Detroit, and I'm about to leave, but thank
12 you guys for all the good work, and I really enjoyed
13 listening to the cases prior. Thank you so much.

14 CONSTANTINE ALEXANDER: Okay, well thank you for
15 taking the time and bringing these things to our attention.

16 MONTE FRENCH: I'm sorry, can I interrupt? I just
17 want to confirm the e-mail, I don't want to get this wrong.
18 lloydsheldonjohnson at - Gmail?

19 LLOYD SHELDON JOHNSON: gmail.com.

20 MONTE FRENCH: Okay. Thank you very much.

21 LLOYD SHELDON JOHNSON: Thank you.

22

ASSESSOR'S DATA



57 Pleasant St

Property Class	TWO-FAM-RES
State Class Code	104
Zoning (Unofficial)	BA-3
Map/Lot	125-74
Land Area (Sq. Ft.)	3,461

Property Value	
Year of Assessment	2019
Tax District	R12
Residential Exemption	Yes
Building Value	\$227,500
Land Value	\$786,100
Assessed Value	\$1,013,600
Sale Price	\$0
Book/Page	30474/ 163
Sale Date	July 29, 1999
Previous Assessed Value	\$890,700
Property Tax Amount	\$6,183.58
	This represents the total FY19 Real Estate Tax including the CPA Surcharge, but not including Residential Exemption or other Personal Exemptions deduction.

Owner Information

Owner(s)	SWEENEY MARYELLEN, THOMAS F SWEENEY JR GERALD P SWEENEY, DENNIS J SWEENEY & KATHLEEN SWEENEY 57 PLEASANT STREET CAMBRIDGE, MA 02139-3835
----------	--

Building Information
RESIDENTIAL BUILDING NUMBER 1, SECTION 1
Exterior

Style	OLD STYLE TWO FAM
Occupancy	TWO-FAM-RES
Number of Stories	2.25
Exterior Wall Type	Asbestos Shingl
Roof Type	Gable
Roof Material	Asphalt Shingl

Interior

Living Area (sq. Ft.)	2,328
Number of Units	2
Total Rooms	10
Bedrooms	4
Kitchens	2
Full Baths	2
Half Baths	0
Fireplaces	0

Systems

Heat Type	Other
Heat Fuel	Gas
Central A/C	No

Condition & Grade

Year Built	1854
Interior Condition	Fair
Overall Condition	Fair
Overall Grade	Fair

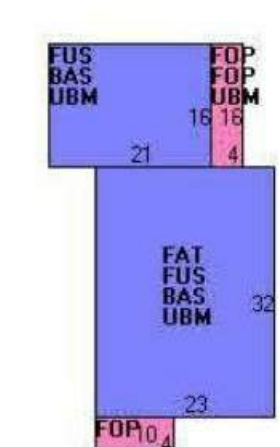
Parking

Open Parking	2
Covered Parking	0

Photos



Sketches



Subareas

Code	Description	Gross Area	Living Area
FOP	Porch, Open	168	0
FUS	Upper Story, Finished	1,072	1,072
BAS	First Floor	1,072	1,072
FAT	Finished Attic	736	184
UBM	Basement	1,136	0
Total:		4,184	2,328

EXISTING PHOTOGRAPHS



LOCUS MAP



PROJECT SUMMARY AND ZONING ANALYSIS

Zoning District:	(90%) BA-3 Neighborhood Business (10%) R-C Multifamily Dwellings
Proposed Use:	Single Family
Lot Area:	3,439 sf

Dimensional Regulations	Regulation	Required	Existing	Proposed	Compliance
	Maximum Ratio of Floor Area to Lot Area	0.74	0.73	0.72	Conforming
	Minimum Lot Area (Sq. Ft.)	5,000	3,461.0	3,461.0	Existing Non-Conforming
	Minimum Lot Area per D.U. (Sq. Ft.)	1,500	1,730.5	3,461.0	Conforming
	Minimum Lot Width (Feet)	50	60	60	Conforming
	Minimum Front Yard (Ft.) (1)	10	6.9	6.9	Existing Non-Conforming
	Minimum Side Yard (Ft)	10.25	2.7	2.7	Existing Non-Conforming
	Minimum Rear Yard (Ft)	20	2.8	2.8	Existing Non-Conforming
	Building Height Maximum: Height (Ft)	35	27.17	27.17	Conforming
	Minimum Ratio of Private Open Space to Lot Area (%)	BA-3 = 30 (928.5 sf)	12.8	23	Existing Non-Conforming
		R-C = 36 (123.8 sf)	18	18	Existing Non-Conforming
	Minimum # of Parking Spaces per Dwelling Unit	1 / D.U. = 1	2	2	Conforming

(1) For buildings of forty (40) feet or less in height the denominator in the yard formulas in the Tables in Section 5.30 may be increased by two subject to the minimum yard requirements set forth in footnotes a, b and c of Tables 5-1 and 5-2.

Building Area - Existing

	Gross Floor Area	FAR Adjusted
Basement	912	0
Ground Floor	1,109.7	1081.7
Second Floor	1081.7	1081.7
Third Floor	398.3	347.9
	3501.7 Unit 1 SF total	2511.3 Unit 1 SF total

Building Area - Proposed

	Gross Floor Area	FAR Adjusted
Basement	1097.9	0
Ground Floor	1397.3	1240.1
Second Floor	1220.3	1220.3
	3715.5 Unit 1 SF total	2460.4 Unit 1 SF total

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WWW.MFDS-BOS.COM

CONSULTANTS:

PERMIT SET

REVISIONS:

4 11/23/20 REDUCED VOL.

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

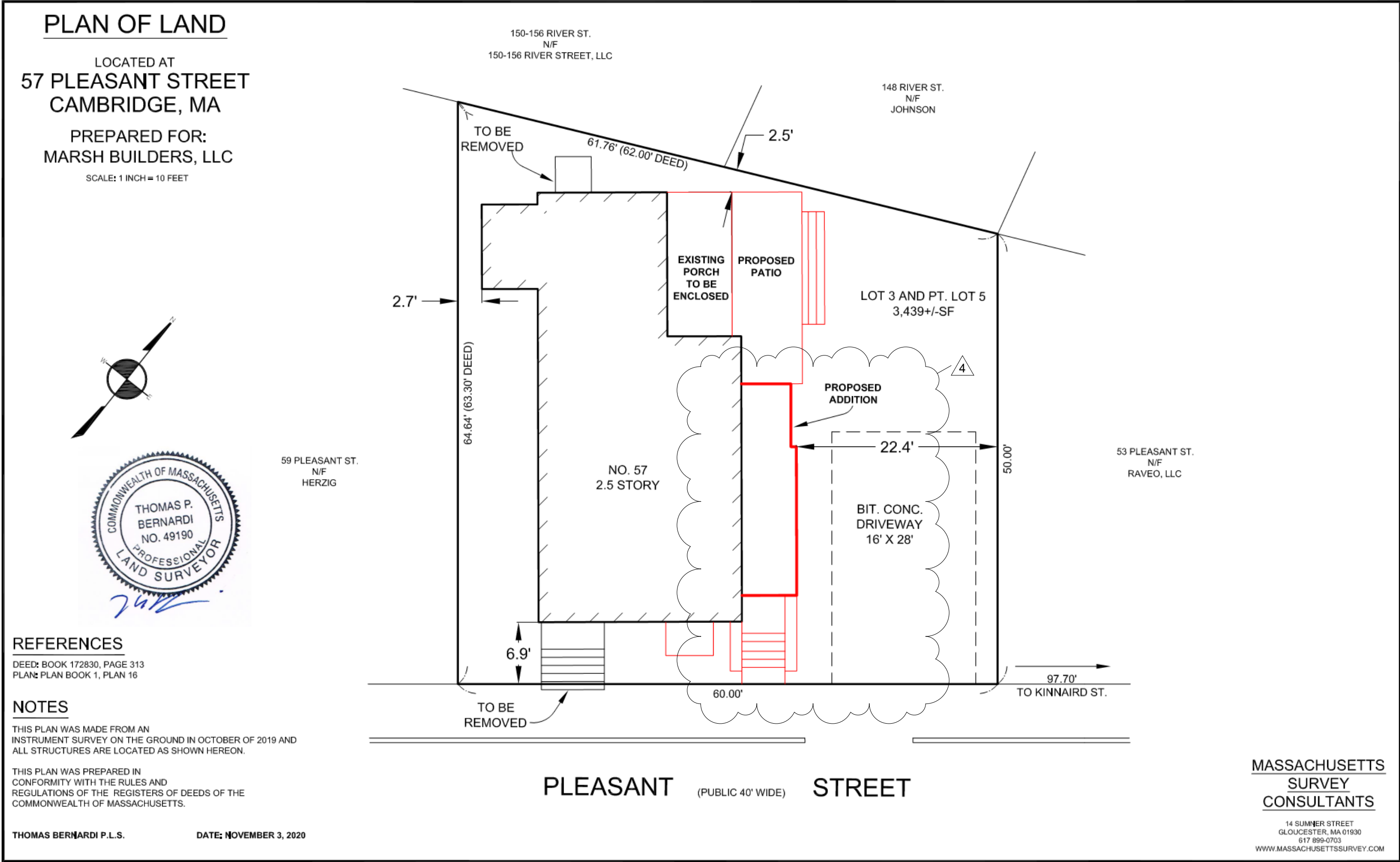
PROJECT #: 19006

SCALE: 1/8" = 1'-0"

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ZONING ANALYSIS

G-002



CONSULTANTS:

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REVISIONS:

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PROJECT NAME:

**57
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DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE:

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PROPOSED PLOT PLAN

PP001

CONSULTANTS:

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REVISIONS:

3	9/02/20	BZA NOTES
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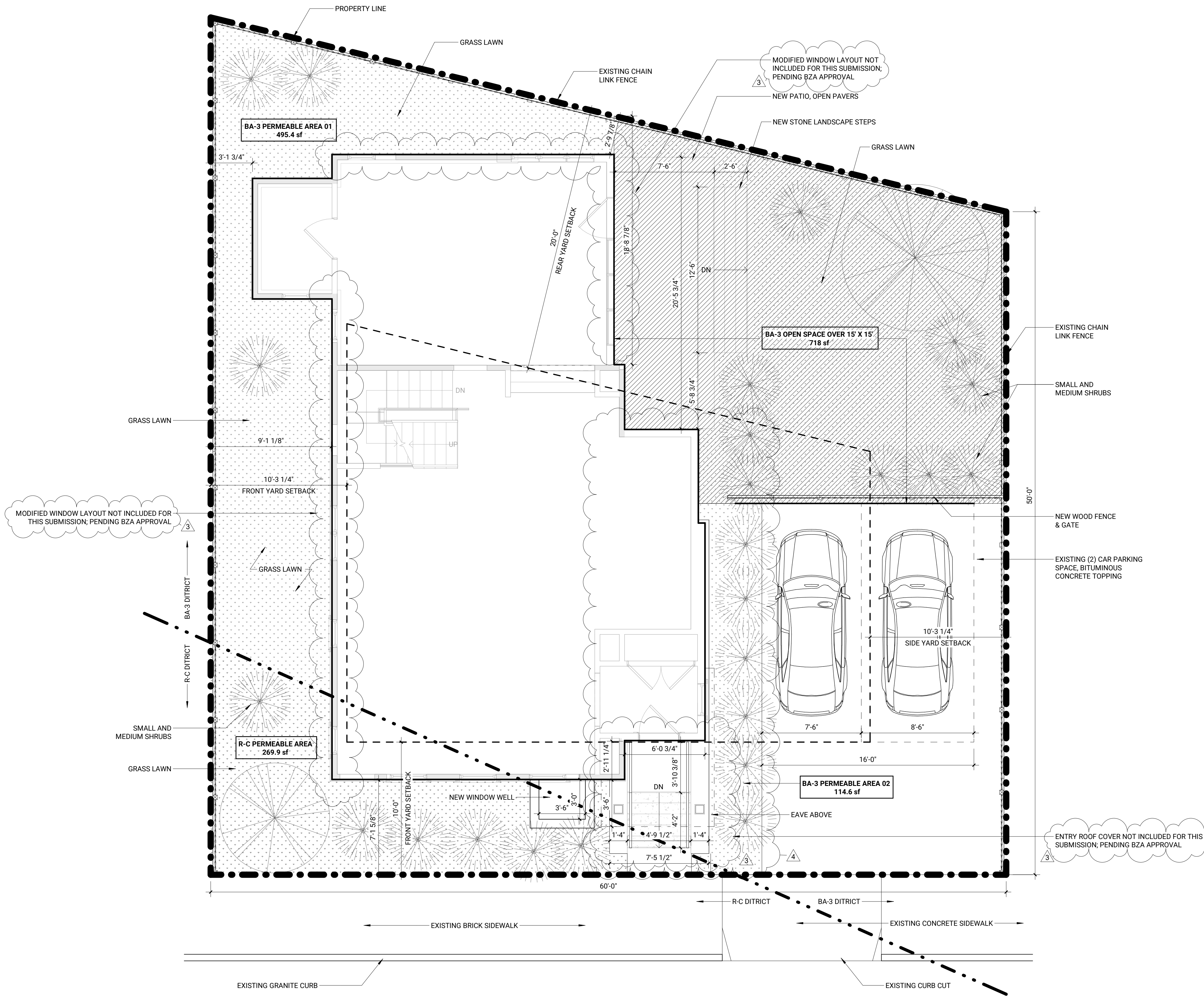
PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

ARCHITECTURAL SITE
PLAN

AS101



- OPEN SPACE, MINIMUM 15' X 15'
- OPEN SPACE, PERMEABLE AREA

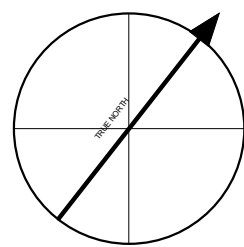
LOT AREA - 57 PLEASANT ST	
TOTAL LOT AREA IN BA-3 NEIGHBORHOOD BUSINESS DISTRICT (90%):	3,095 sf
TOTAL LOT AREA IN R-C MULTIFAMILY DWELLINGS DISTRICT (10%):	344 sf
TOTAL LOT AREA BY SURVEY:	3,439 sf

BA-3 OPEN SPACE ZONING ANALYSIS	
TOTAL LOT AREA IN BA-3 DISTRICT BY SURVEY:	3,095 sf
ZONING BA-3 PRIVATE OPEN SPACE REQUIRED (30%):	928.5 sf
PRIVATE OPEN SPACE AT 15X15 CALCULATION	
PRIVATE OPEN SPACE AT 15X15:	718 sf
TOTAL PRIVATE OPEN SPACE AT 15X15:	718 sf (928.5 sf REQ.)
PERMEABLE OPEN SPACE CALCULATION	
PERMEABLE OPEN AREA 01:	495.4 sf
PERMEABLE OPEN AREA 02:	114.6 sf
TOTAL PRIVATE OPEN SPACE:	610 sf (0 sf REQ.)
TOTAL OPEN SPACE PROVIDED:	1,328 sf

R-C OPEN SPACE ZONING ANALYSIS	
TOTAL LOT AREA IN R-C DISTRICT BY SURVEY:	344 sf
ZONING R-C PRIVATE OPEN SPACE REQUIRED (36%):	123.8 sf
PRIVATE OPEN SPACE AT 15X15 CALCULATION	
PRIVATE OPEN SPACE AT 15X15:	0 sf
TOTAL PRIVATE OPEN SPACE AT 15X15:	0 sf (61.9 REQ.)
PERMEABLE OPEN SPACE CALCULATION	
PERMEABLE OPEN SPACE:	269.9 sf
TOTAL PERMEABLE OPEN SPACE:	269.9 sf (61.9 sf REQ.)
TOTAL OPEN SPACE PROVIDED:	269.9 sf

OPEN SPACE ZONING REQUIRMENTS	EXISTING	PROPOSED
BA-3 DISTRICT		
OPEN SPACE AT 15X15:	397.2 sf	718 sf
PERMEABLE OPEN SPACE:	N/A	N/A
BA-3 OPEN SPACE TOTAL:	397.2 sf (12.8%)	718 sf (23%)
R-C DISTRICT		
OPEN SPACE AT 15X15:	0 sf	0 sf
PERMEABLE OPEN SPACE:	61.9 sf *	61.9 sf *
R-C OPEN SPACE TOTAL:	61.9 sf (18%)	61.9 sf (18%)

*AT LEAST FIFTY (50) PERCENT OF THE REQUIRED PROVATE OPEN SPACE IN THE R-C DISTRICT SHALL MEET ALL OF THE REQUIREMENTS OF SECTION 5.22.1 OF THE CAMBRIDGE ZONING BYLAW. AT LEAST FIFTY (50) PERCENT OF THE REQUIRED PROVATE OPEN SPACE SHALL MEET THE DEFINITION OF PERMEABLE OPEN SPACE AND SHALL NOT BE SUBJECT TO THE DIMENSIONAL LIMITATIONS OF SECTION 5.22.1 AS APPLIED TO PRIVATE OPEN SPACE.



NORTH ARROW

EXISTING PLAN GENERAL NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS. G.C. TO VERIFY, RECORD & COORDINATE ALL EXISTING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, TELE DATA & SECURITY SYSTEMS.



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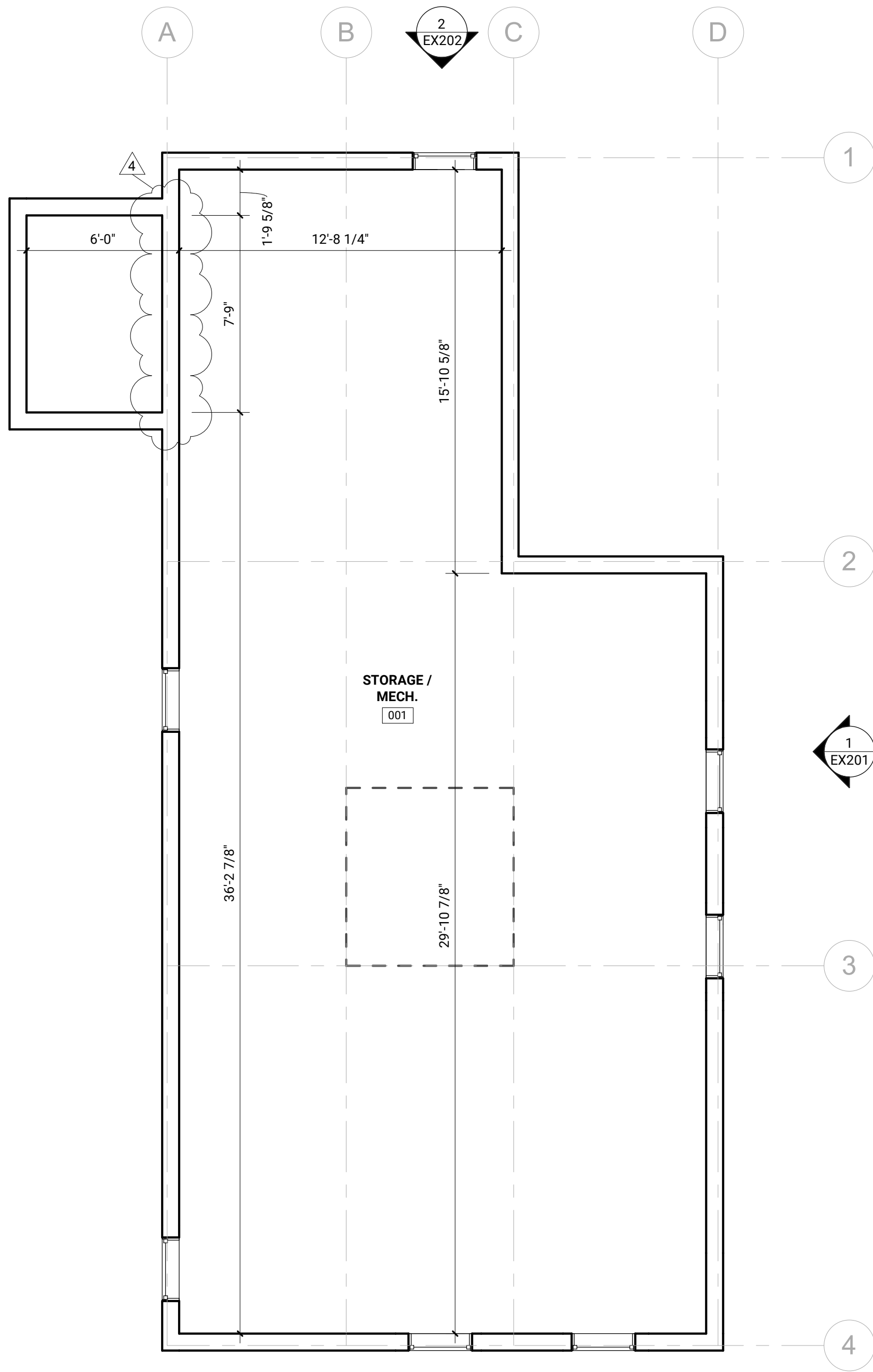
REVISIONS:
4 11/23/20 REDUCED VOL.

PROJECT NAME:
57 PLEASANT ST

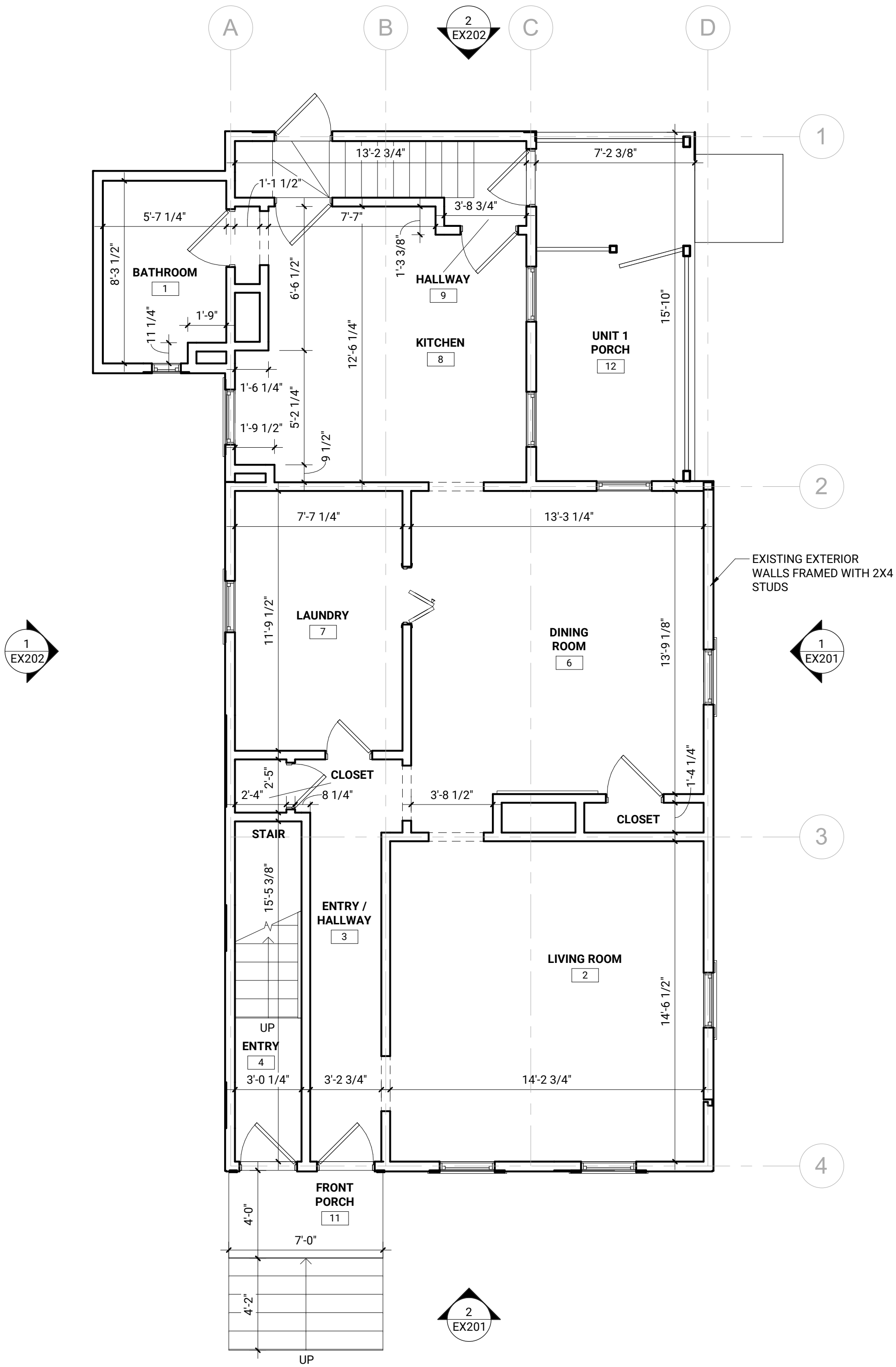
DATE ISSUED: 4/13/2020
PROJECT #: 19006
SCALE: 1/4" = 1'-0"
DRAWN BY: EAD

EXISTING PLANS -
BASEMENT & 1ST FLOOR

EX001



1 BASEMENT - EXISTING CONDITIONS PLAN
SCALE: 1/4" = 1'-0"



2 1ST FLOOR - EXISTING CONDITIONS PLAN
SCALE: 1/4" = 1'-0"

CONSULTANTS:

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REVISIONS:		
4	11/23/20	REDUCED VOL.

PROJECT NAME:
57 PLEASANT ST

DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE: 1/4" = 1'-0"

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DEMOLITION
BASEMENT & 1ST
FLOOR PLAN

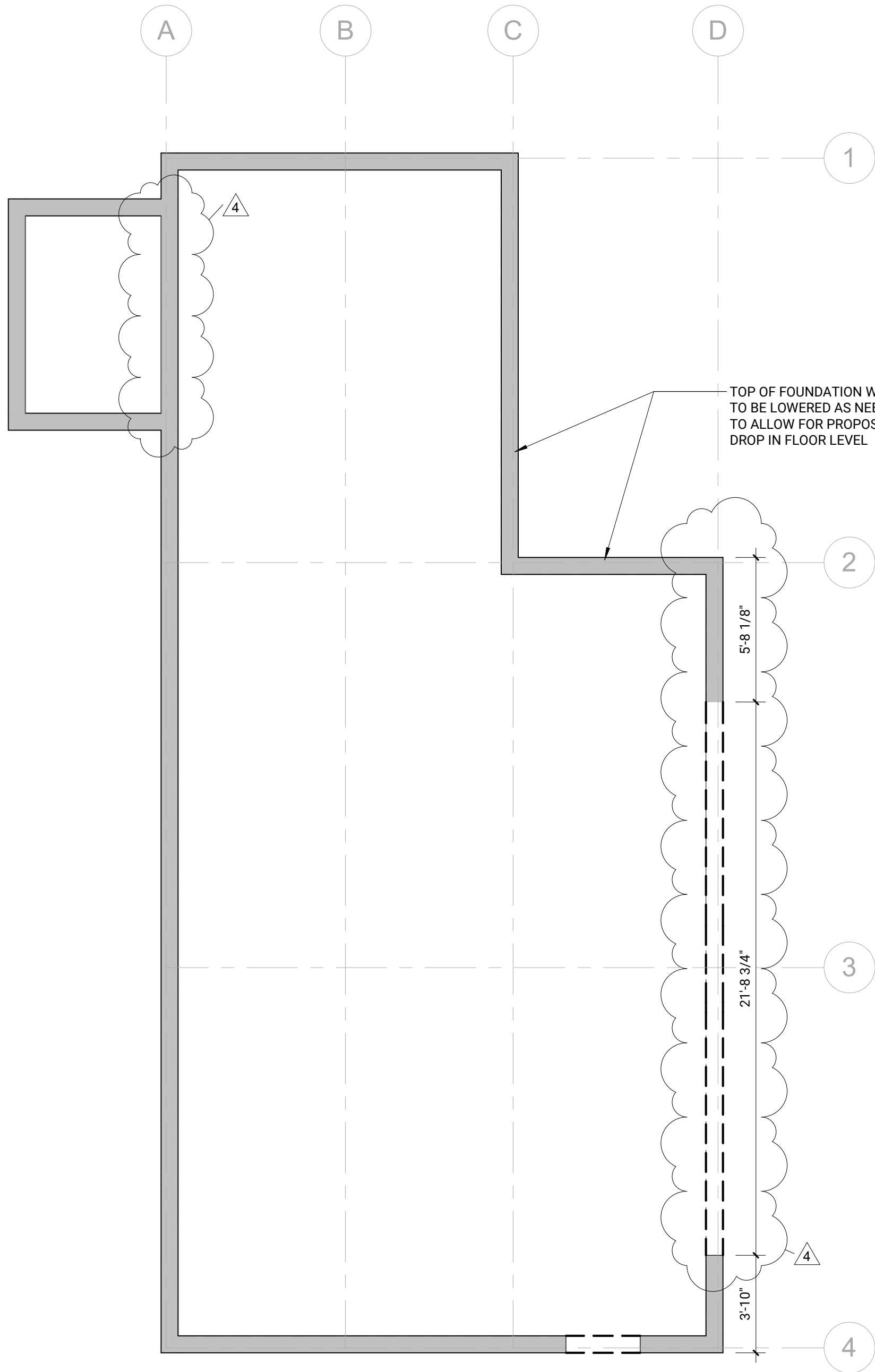
AD101

DEMOLITION PLAN GENERAL NOTES

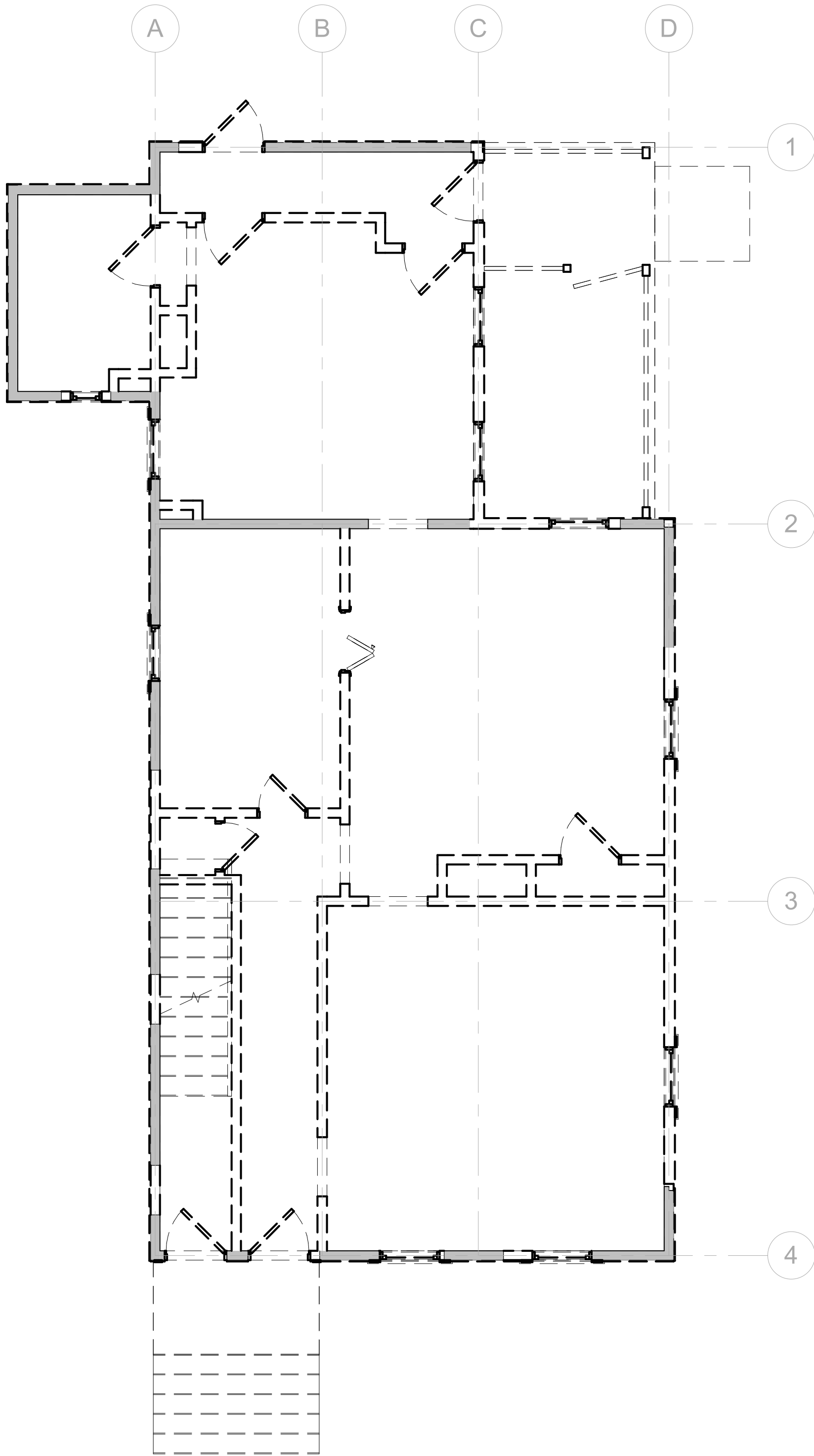
1. I.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
2. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS PRIOR TO PROCEEDING.
3. THESE DEMOLITION DRAWINGS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNCOVER CONDITIONS, NOT SHOWN ON THESE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. SEE ALSO OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL, STRUCTURAL, MEFP, WHICH MAY ENCOMPASS FURTHER WORK REQUIRING DEMOLITION AND REMOVAL AND WHICH ARE HEREBY INCLUDED UNDER THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO PROCEEDING AND VERIFIED THE INFORMATION HEREIN SUPPLIED.
4. CUT ALL EDGES OF MATERIALS DURING DEMOLITION IN A MANNER SUITABLE FOR REPAIR AND MATCHING OF WORK.
5. CAP AND SHUT OFF ALL UNUSED OR RELOCATED UTILITIES. REFER TO MEP DRAWINGS & SPECS.
6. PROTECT ALL EXIST. WALLS, FLOORS, STAIRS, WINDOWS, RAILINGS AND CEILINGS TO REMAIN FROM ANY DAMAGE DURING DEMOLITION & CONSTRUCTION. G.C. RESPONSIBLE FOR ALL REPAIRS.
7. NO FRAMING, STRUCTURAL MEMBERS, OR BEARING ASSEMBLIES ARE TO BE MODIFIED, ALTERED, OR CUT WITHOUT NOTIFYING THE ARCHITECT.
8. SHORE EXISTING STRUCTURE, WHERE REQUIRED, DURING DEMOLITION AND CONSTRUCTION. DO NOT ENDANGER STRUCTURAL STABILITY OF THE BUILDING OR ANY PORTION OF THE BUILDING.
9. ALL LOOSE FURNISHINGS, PLANTS, PLANTERS AND EQUIPMENT LEFT IN PLACE PRIOR TO START OF DEMOLITION SHALL REMAIN THE PROPERTY OF THE OWNERS UNLESS OTHERWISE DIRECTED.
10. WHEN DEMOLITION INTERACTS WITH RATED CONSTRUCTION, USE CAUTION TO MAINTAIN INTEGRITY OF SUCH RATED CONSTRUCTION, PATCH & REPAIR.
11. G.C. TO COORDINATE WITH OWNER FOR ALL EXISTING TELE / DATA CABLING, JACKS, COVER PLATES, MUD RINGS, FLOOR MONUMENTS, & WALL BOXES TO BE REMOVED.
12. LEGALLY DISPOSE ALL ITEMS & DEBRIS REMOVED FROM BUILDING. U.O.N.
13. GENERAL CONTRACTOR TO PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS.
14. MAINTAIN COMPLETE LIFE SAFETY AND EGRESS REQUIREMENTS AT ALL TIMES DURING REMOVAL OPERATIONS. REFER AND COORDINATE WITH PHASING PLANS APPROVED BY OWNER.
15. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS. G.C. TO VERIFY, RECORD & COORDINATE ALL EXISTING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, TELE DATA & SECURITY SYSTEMS.

DEMOLITION PLAN LEGEND

	REMOVE ALL CONSTRUCTION SHOWN DASHED COMPLETE, U.O.N.
	EXISTING WALL OR PARTITION TO REMAIN, TYP U.O.N.
	REMOVE PORTION OF EXISTING WALL. SEE FLOORPLAN FOR LOCATION AND DIMENSION. TYP U.O.N.
	REMOVE EXISTING DOOR & FRAME COMPLETELY.
	EXISTING DOOR TO REMAIN, TYP U.O.N.



1 BASEMENT - DEMO PLAN
SCALE: 1/4" = 1'-0"



2 1ST FLOOR - DEMO PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

1. I.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
2. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS PRIOR TO PROCEEDING.
3. THESE CONSTRUCTION DRAWINGS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNCOVER CONDITIONS, NOT SHOWN ON THESE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. SEE ALSO OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL, STRUCTURAL, MEFP, WHICH MAY ENCOMPASS FURTHER WORK REQUIRING DEMOLITION AND REMOVAL AND WHICH ARE HEREBY INCLUDED UNDER THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO PROCEEDING AND VERIFIED THE INFORMATION HEREIN SUPPLIED.
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CONSULTANTS:

PERMIT SET

REVISIONS:		
3	9/02/20	BZA NOTES
4	11/23/20	REDUCED VOL.

PROJECT NAME:

57
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ST

DATE ISSUED: 4/13/2020

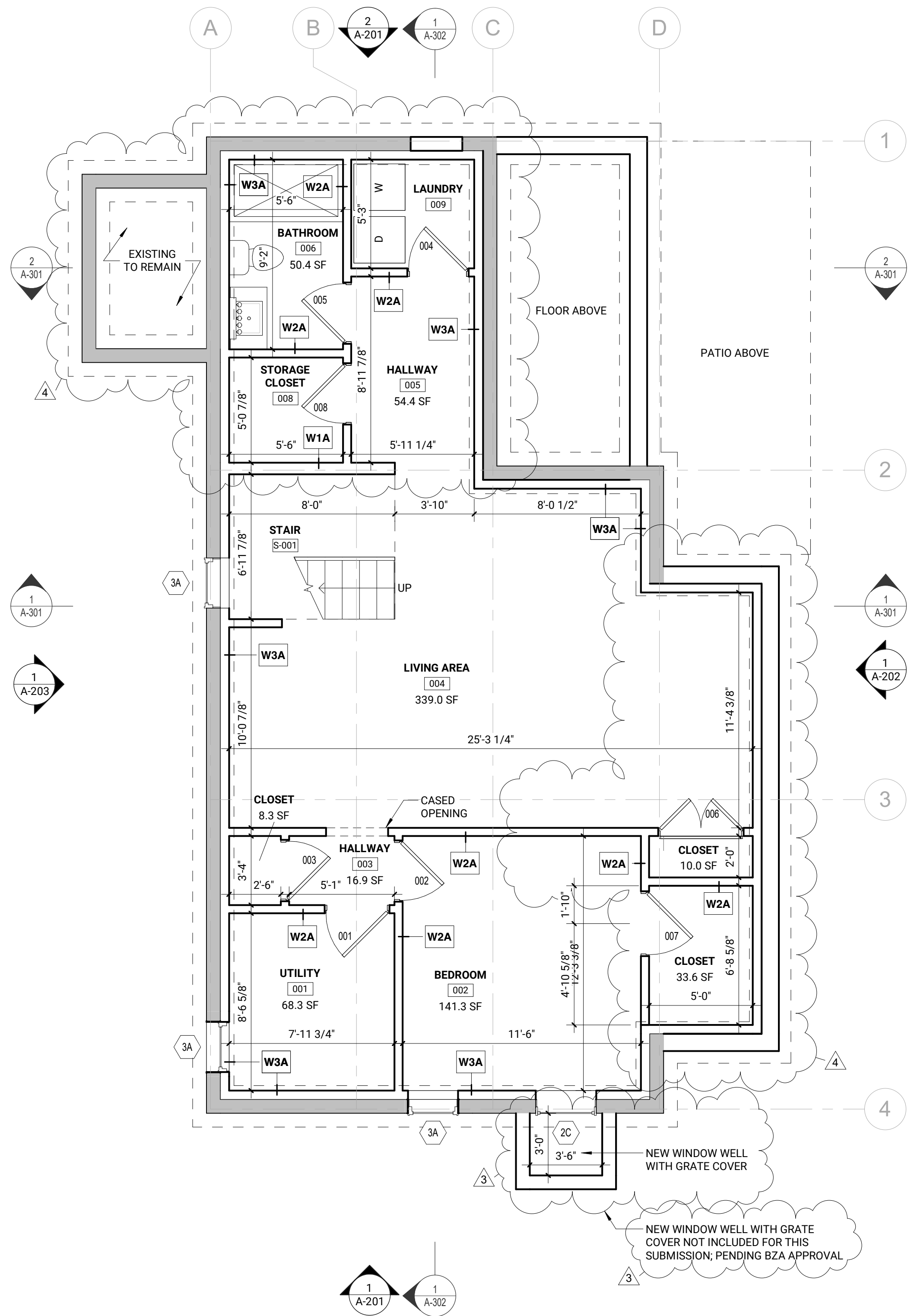
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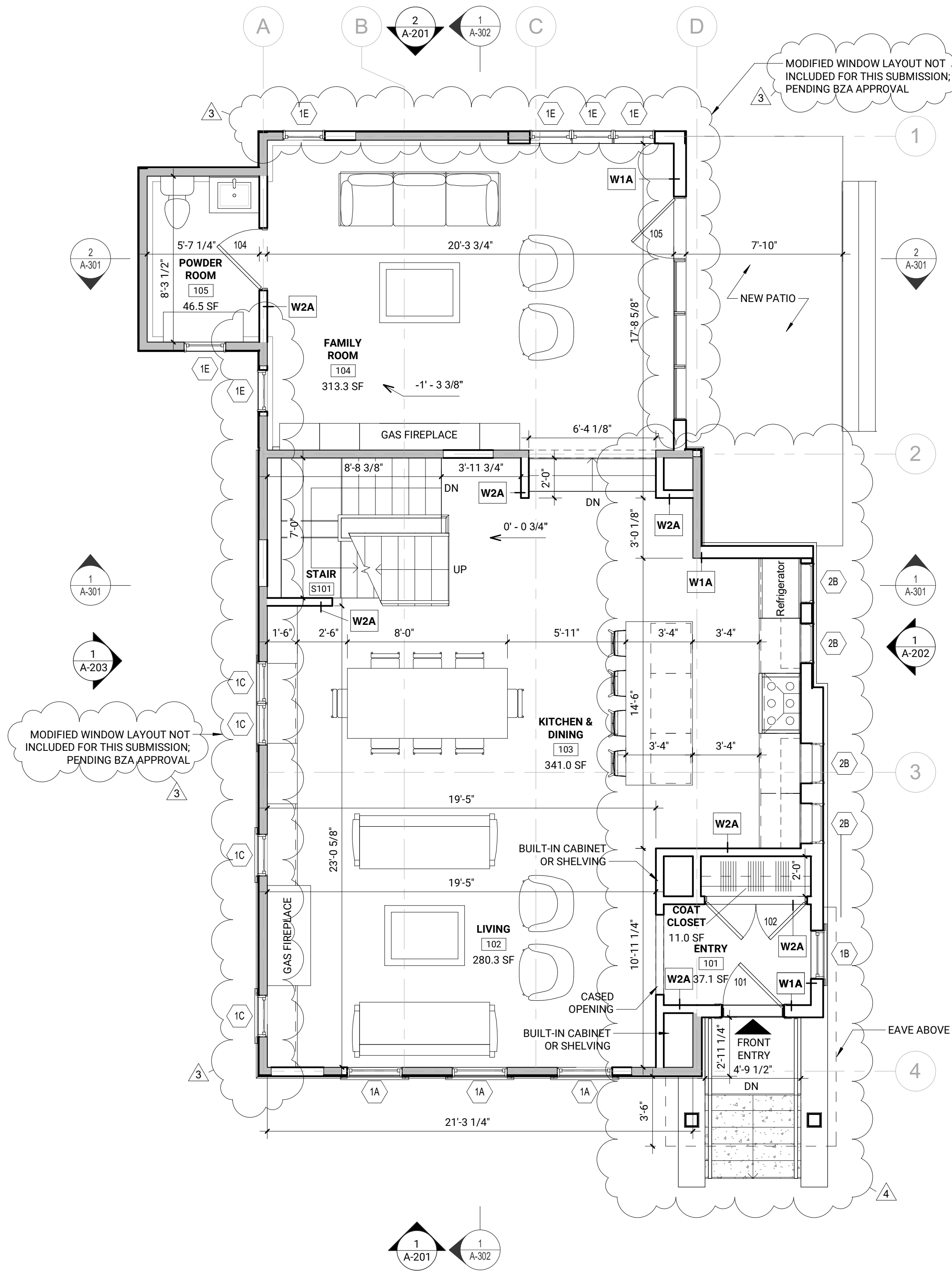
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BASEMENT & 1ST
FLOOR CONSTRUCTION
PLAN

A-101



1 BASEMENT - PROPOSED
SCALE: 1/4" = 1'-0"



2 1ST FLOOR - CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

1. G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
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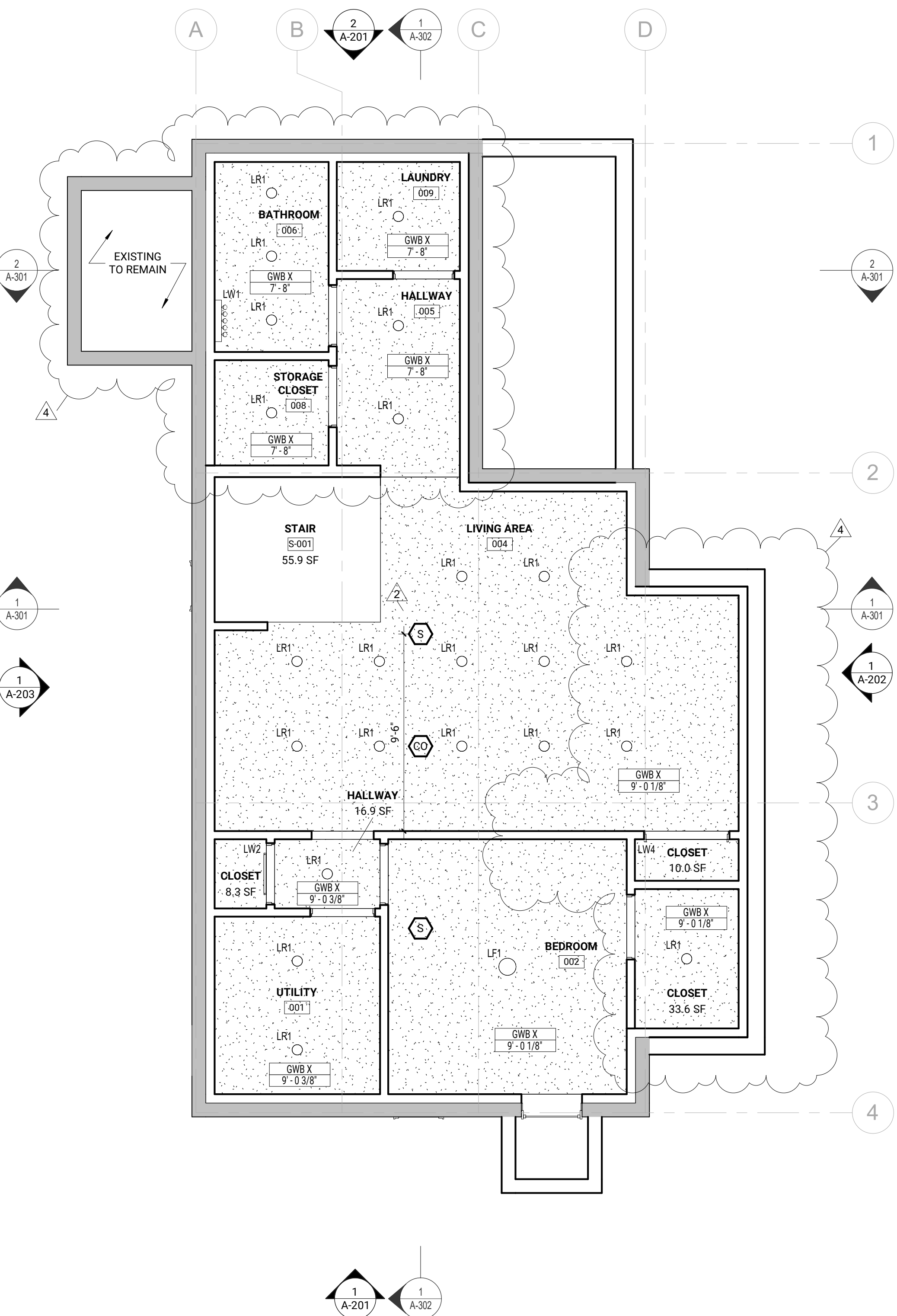
7/07/20	ISD RESPONSE
9/02/20	BZA NOTES
11/23/20	REDUCED VOL.

57
PLEASANT
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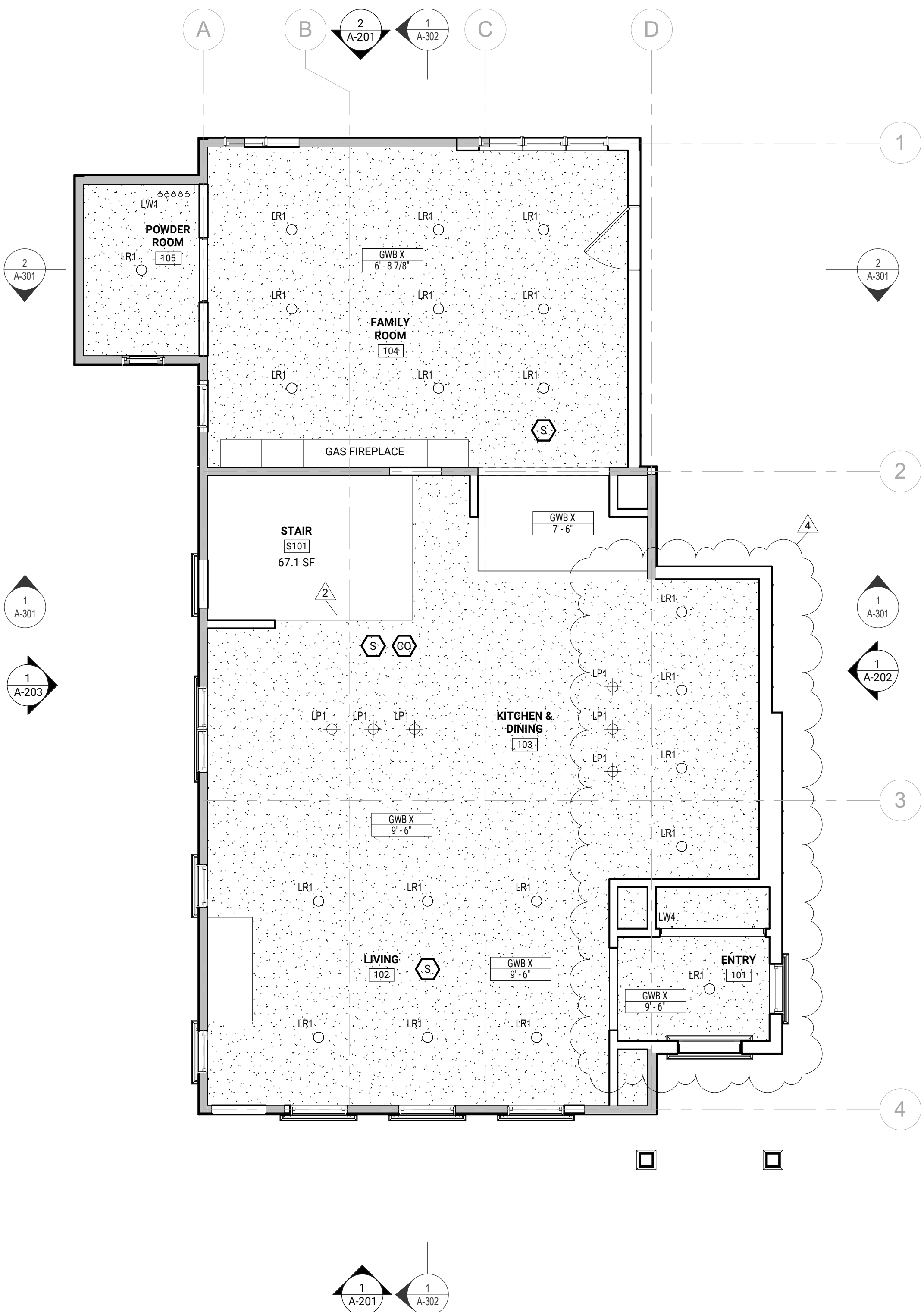
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A-102





1 BASEMENT CEILING PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



2 1ST FLOOR CEILING PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

CEILING PLAN GENERAL NOTES

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SMOKE & CARBON MONOXIDE ALARMS

SMOKE ALARMS

Smoke detection and notification. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.

Smoke detection systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification device(s), it shall become a permanent fixture of the occupancy and owned by the homeowner. The system shall be monitored by an approved supervising station and be maintained in accordance with NFPA 72. Exception: Where smoke alarms are provided meeting the requirements of Section R314.4.

Location. Smoke alarms shall be installed in the following locations:

1. In each sleeping room.
2. Outside each separate sleeping area within 10'-0" of each bedroom door.
3. On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
4. In the immediate vicinity of each gas fireplace
5. At the bottom of each stair
6. A heat sensor shall be provided in each garage space

When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

CARBON MONOXIDE ALARMS

Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

Alarm requirements. Single station carbon monoxide alarms shall be listed as complying with UL 2034 and shall be installed in accordance with this code and the manufacturer's installation instructions.

Where alterations, repairs or additions requiring a permit occur, or where one or more sleeping rooms are added or created in existing dwellings, the individual dwelling unit shall be equipped with carbon monoxide alarms located as required for new dwellings.

CEILING PLAN LEGEND

FIRE PROTECTION AND ALARM FIXTURES:

- SYSTEM SMOKE DETECTOR COMBINATION SMOKE/CARBON MONOXIDE ALARM

REFER TO FIRE PROTECTION OR ALARM DRAWINGS FOR MORE DETAIL

CEILING LEGEND:

- NEW GWB CEILING CEILING HEIGHT TAG (AFF.)
- NO CEILING - EXPOSED TO STRUCTURE (SEE FINISH SCHEDULE FOR EXPOSED ITEMS TO BE PAINTED)

LIGHTING FIXTURES:

- LR1 RECESSED FIXTURE
LP1 PENDNAT FIXTURE
LW1 WALL FIXTURE
X EXIT SIGN CEILING MOUNTED
X EXIT SIGN WALL MOUNTED

LIGHTING FIXTURES, "LR1" REPRESENTS TYPE (REFER TO FIXTURE SCHEDULE) AND "a" REPRESENTS FIXTURE CONTROLLED BY SWITCH "a".

- LIGHTING FIXTURE PROVIDED WITH EMERGENCY BATTERY BALLAST OR WIRED TO EMERGENCY LIGHTING CIRCUIT. "NL" DENOTES UNSWITCHED FIXTURE TO REMAIN ON AS "NIGHT LIGHT".

SWITCHING DESIGNATIONS:

- S SINGLE POLE SWITCH MOUNTED 4'-0" AFF.
S² TWO POLE SWITCH MOUNTED 4'-0" AFF.
S³ THREE WAY SWITCH MOUNTED 4'-0" AFF.
S⁰ DIMMER SWITCH MOUNTED 4'-0" AFF.

SWITCH SYMBOL KEY:

- S³ SWITCH TYPE
S² FIXTURE CONTROL RELATIONSHIP

FIXTURE TYPE KEY:

- LR1 FIXTURE TYPE
MOUNTING TYPE:
R - RECESSED P - PENDNAT
S - SURFACE T - TRACK POST TOP
W - WALL X - EXIT
LAMP TYPE:
F - FLUORESCENT L - LED
H - H.I.D. I - INCANDESCENT

CONSULTANTS:

PERMIT SET

REVISIONS:

	2	7/30/20	ISD RESPONSE
	4	11/23/20	REDUCED VOL.

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

BASEMENT & 1ST
FLOOR REFLECTED
CEILING PLAN

CONSULTANTS:

PERMIT SET

REVISIONS:
4 11/23/20 REDUCED VOL.

PROJECT NAME:
57
PLEASANT
ST

DATE ISSUED: 4/13/2020
PROJECT #: 19006
SCALE: 1/4" = 1'-0"
DRAWN BY: EAD

2ND FLOOR
REFLECTED CEILING
PLAN

A-122

CEILING PLAN GENERAL NOTES

1. I.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
2. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS PRIOR TO PROCEEDING.
3. THESE CONSTRUCTION DRAWINGS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNCOVER CONDITIONS, NOT SHOWN ON THESE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. SEE ALSO OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL, STRUCTURAL, MEFP, WHICH MAY ENCOMPASS FURTHER WORK REQUIRING DEMOLITION AND REMOVAL AND WHICH ARE HEREBY INCLUDED UNDER THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO PROCEEDING AND VERIFIED THE INFORMATION HEREIN SUPPLIED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS. G.C. TO VERIFY, RECORD & COORDINATE ALL EXISTING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, TELE DATA & SECURITY SYSTEMS.

SMOKE & CARBON MONOXIDE ALARMS

SMOKE ALARMS

Smoke detection and notification. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.

Smoke detection systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification device(s), it shall become a permanent fixture of the occupancy and owned by the homeowner. The system shall be monitored by an approved supervising station and be maintained in accordance with NFPA 72. Exception: Where smoke alarms are provided meeting the requirements of Section R314.4.

Location. Smoke alarms shall be installed in the following locations:

1. In each sleeping room.
2. Outside each separate sleeping area within 10'-0" of each bedroom door.
3. On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
4. In the immediate vicinity of each gas fireplace
5. At the bottom of each stair
6. A heat sensor shall be provided in each garage space

When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

CARBON MONOXIDE ALARMS

Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

Alarm requirements. Single station carbon monoxide alarms shall be listed as complying with UL 2034 and shall be installed in accordance with this code and the manufacturer's installation instructions.

Where alterations, repairs or additions requiring a permit occur, or where one or more sleeping rooms are added or created in existing dwellings, the individual dwelling unit shall be equipped with carbon monoxide alarms located as required for new dwellings.


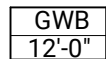
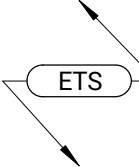
CEILING PLAN LEGEND

FIRE PROTECTION AND ALARM FIXTURES:






-  SYSTEM SMOKE DETECTOR
-  COMBINATION SMOKE/CARBON MONOXIDE ALARM

REFER TO FIRE PROTECTION OR ALARM DRAWINGS FOR MORE DETAIL





CEILING LEGEND:

-  NEW GWB CEILING
-  CEILING HEIGHT TAG (AFF.)
-  NO CEILING - EXPOSED TO STRUCTURE (SEE FINISH SCHEDULE FOR EXPOSED ITEMS TO BE PAINTED)





LIGHTING FIXTURES:

- LR1  RECESSED FIXTURE
- LP1  PENDNAT FIXTURE
- LW1  WALL FIXTURE
- X  EXIT SIGN CEILING MOUNTED
- X  EXIT SIGN WALL MOUNTED

LIGHTING FIXTURES, "LR1" REPRESENTS TYPE (REFER TO FIXTURE SCHEDULE) AND "a" REPRESENTS FIXTURE CONTROLLED BY SWITCH "a".

-  LIGHTING FIXTURE PROVIDED WITH EMERGENCY BATTERY BALLAST OR WIRED TO EMERGENCY LIGHTING CIRCUIT. "NL" DENOTES UNSWITCHED FIXTURE TO REMAIN ON AS "NIGHT LIGHT".
-  NL
-  NL
-  NL


SWITCHING DESIGNATIONS:

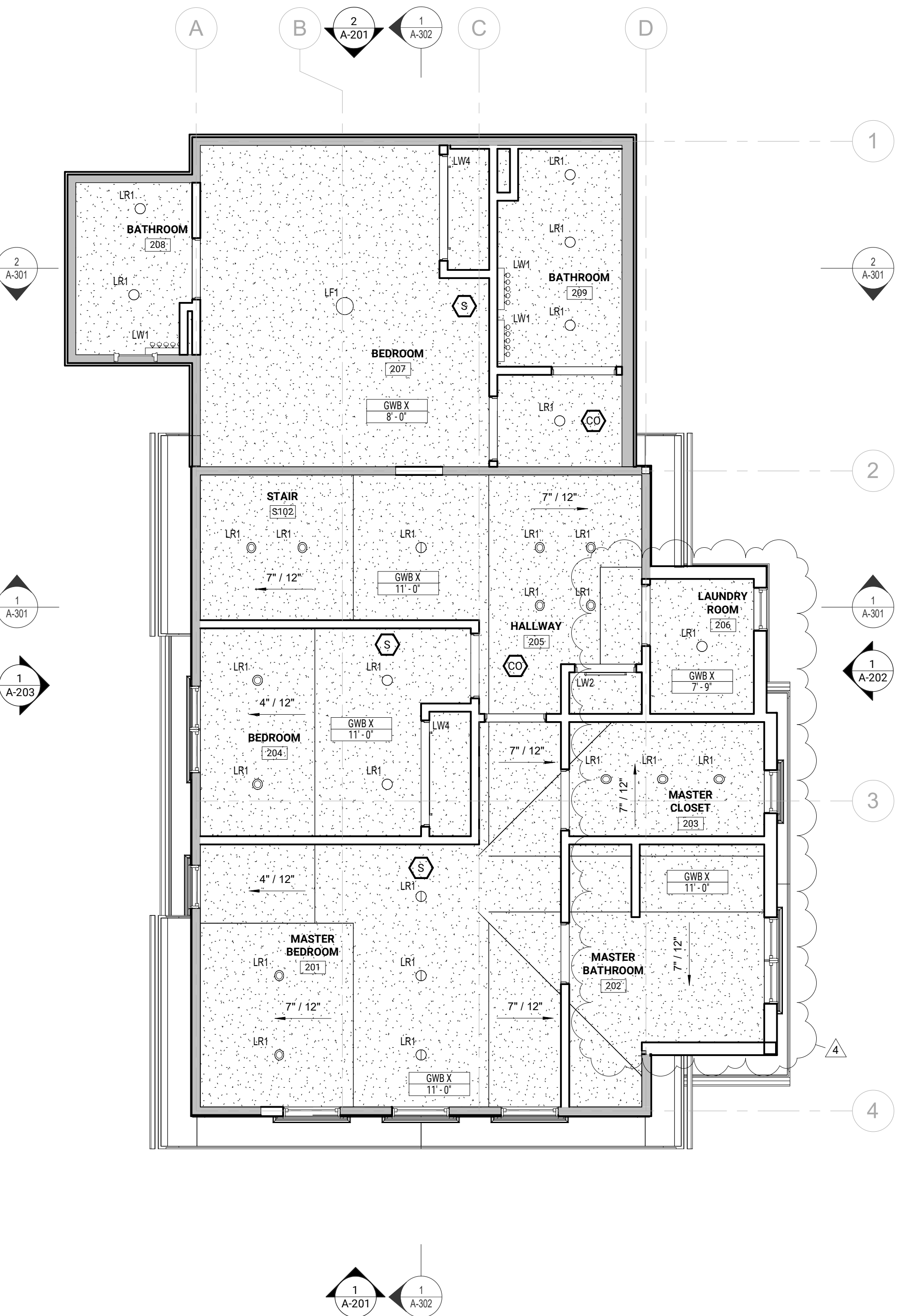
- S  SINGLE POLE SWITCH MOUNTED 4'-0" AFF.
- S²  TWO POLE SWITCH MOUNTED 4'-0" AFF.
- S³  THREE WAY SWITCH MOUNTED 4'-0" AFF.
- S⁰  DIMMER SWITCH MOUNTED 4'-0" AFF.

SWITCH SYMBOL KEY:

- S³  SWITCH TYPE
- S²  FIXTURE CONTROL RELATIONSHIP

FIXTURE TYPE KEY:

- LR1  FIXTURE TYPE
- MOUNTING TYPE:
- R - RECESSED
- S - SURFACE
- W - WALL
- LAMP TYPE:
- F - FLUORESCENT
- H - H.I.D
- P - PENDNAT
- T - TRACK POST TOP
- X - EXIT
- L - LED
- I - INCANDESCENT



1 2ND FLOOR CEILING PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

CONSTRUCTION ELEVATION GENERAL NOTES

1. I.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
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MF
DS
A+P

650 COLUMBUS AVE. STE. A
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T: 617-606-4496
WWW.MFDS-BOS.COM

CONSULTANTS:

PERMIT SET

REVISIONS:

1	7/07/20	ISD RESPONSE
3	9/02/20	BZA NOTES
4	11/23/20	REDUCED VOL.

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

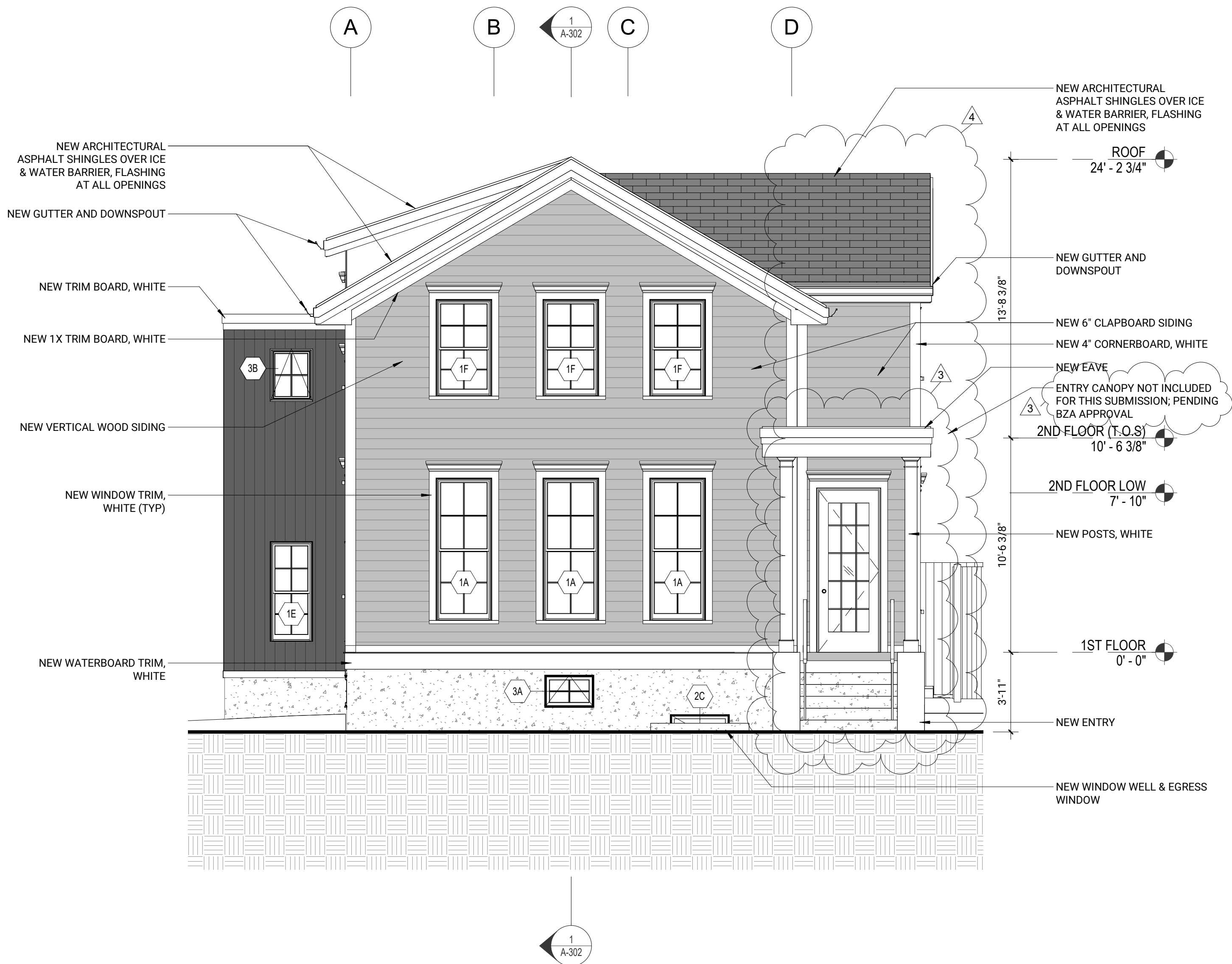
PROJECT #: 19006

SCALE: 1/4" = 1'-0"

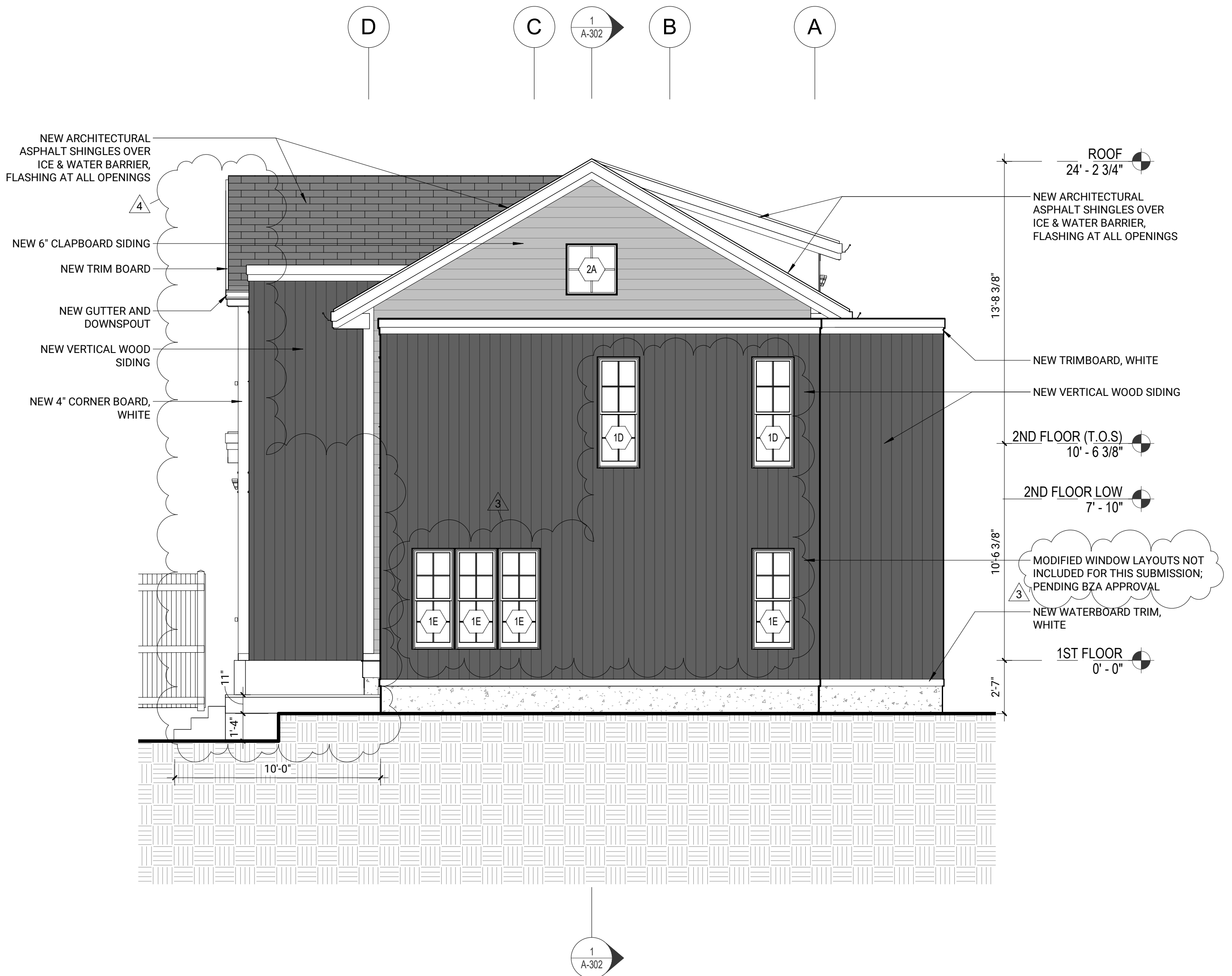
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EAST & WEST
BUILDING ELEVATION

A-201



1 EAST - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"

CONSTRUCTION ELEVATION GENERAL NOTES

1. 1.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
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MF
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CONSULTANTS:

PERMIT SET

REVISIONS:

3	9/02/20	BZA NOTES
4	11/23/20	REDUCED VOL.

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

NORTH BUILDING
ELEVATION

A-202



1 NORTH - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"

CONSULTANTS:

PERMIT SET

REVISIONS:

1	7/07/20	ISD RESPONSE
4	11/23/20	REDUCED VOL.

PROJECT NAME:

**57
PLEASANT
ST**

DATE ISSUED: 4/13/2020

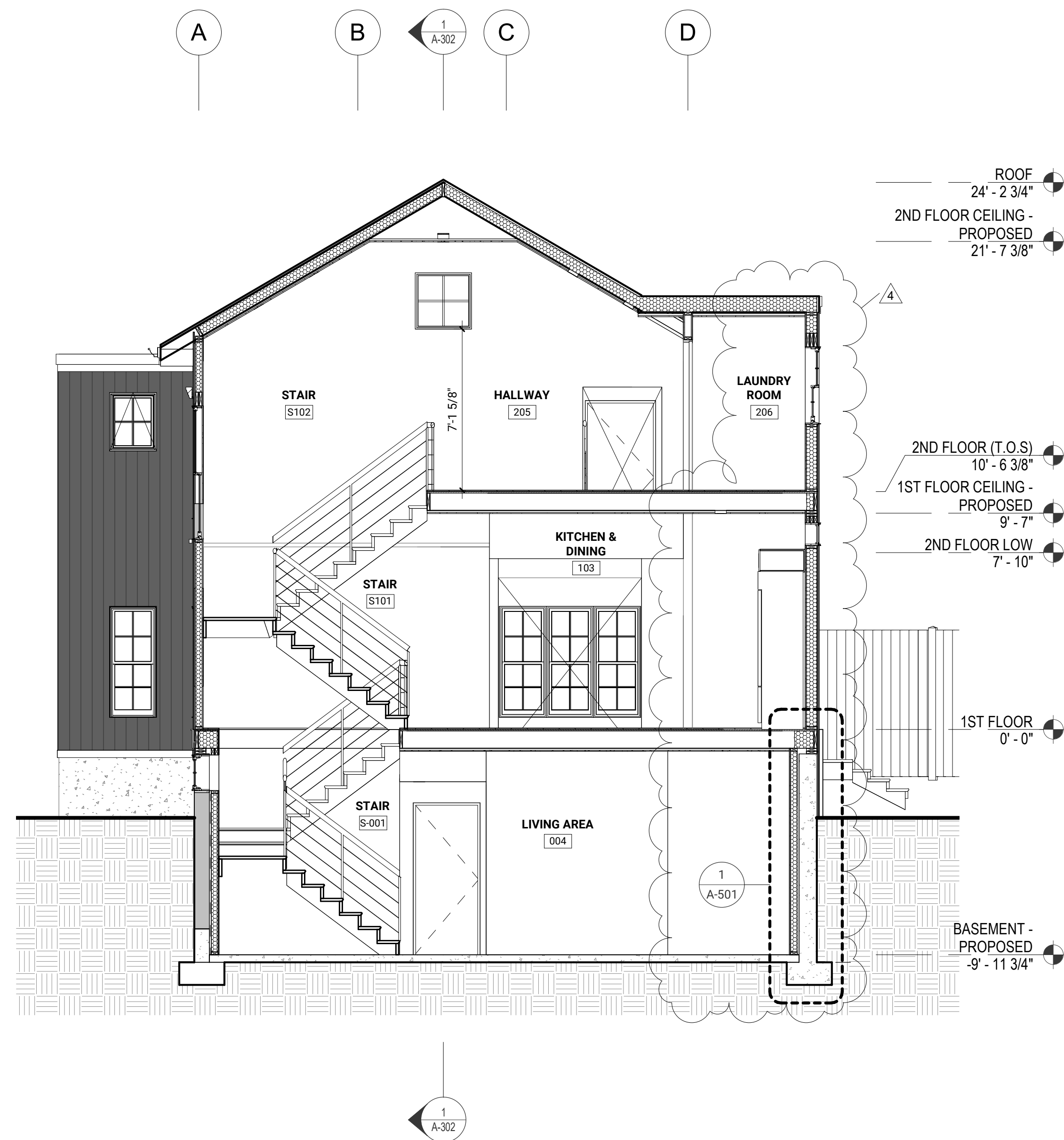
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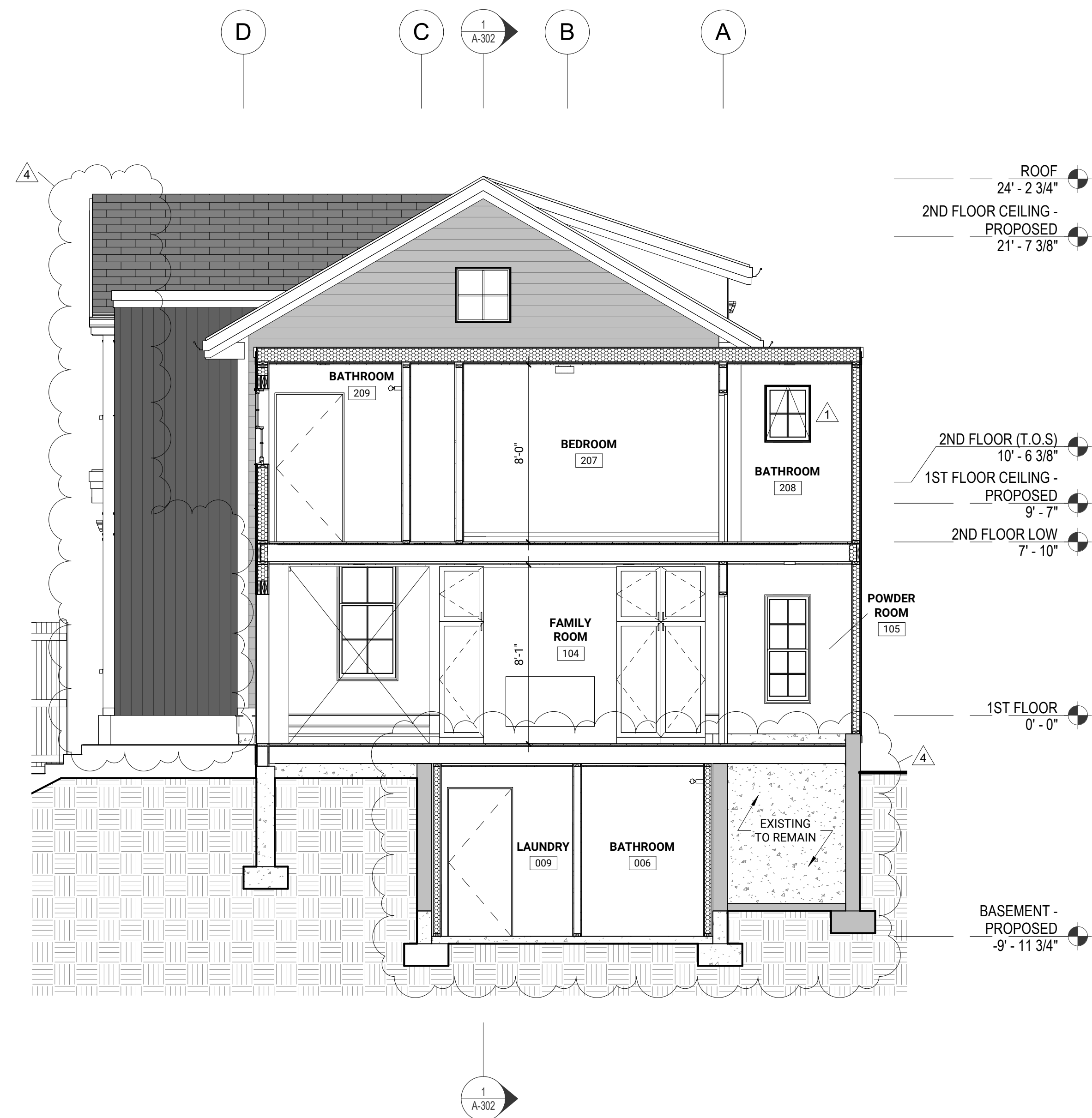
DRAWN BY: EAD

EAST & WEST
BUILDING SECTION

A-301



1 EAST BUILDING SECTION - PROPOSED
SCALE: 1/4" = 1'-0"



2 WEST BUILDING SECTION - PROPOSED
SCALE: 1/4" = 1'-0"

CONSULTANTS:

PERMIT SET

REVISIONS:

4 11/23/20 REDUCED VOL.

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

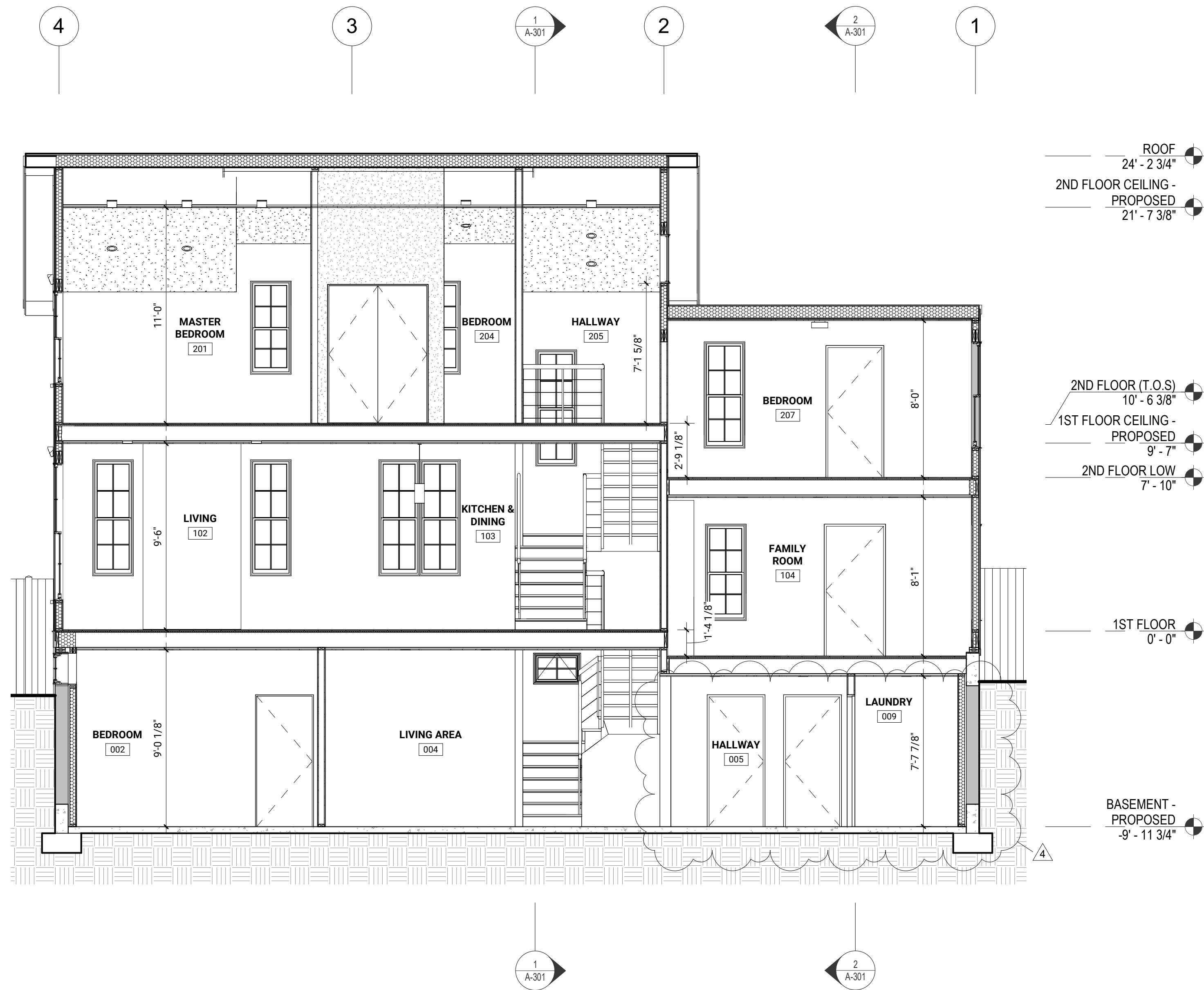
PROJECT #: 19006

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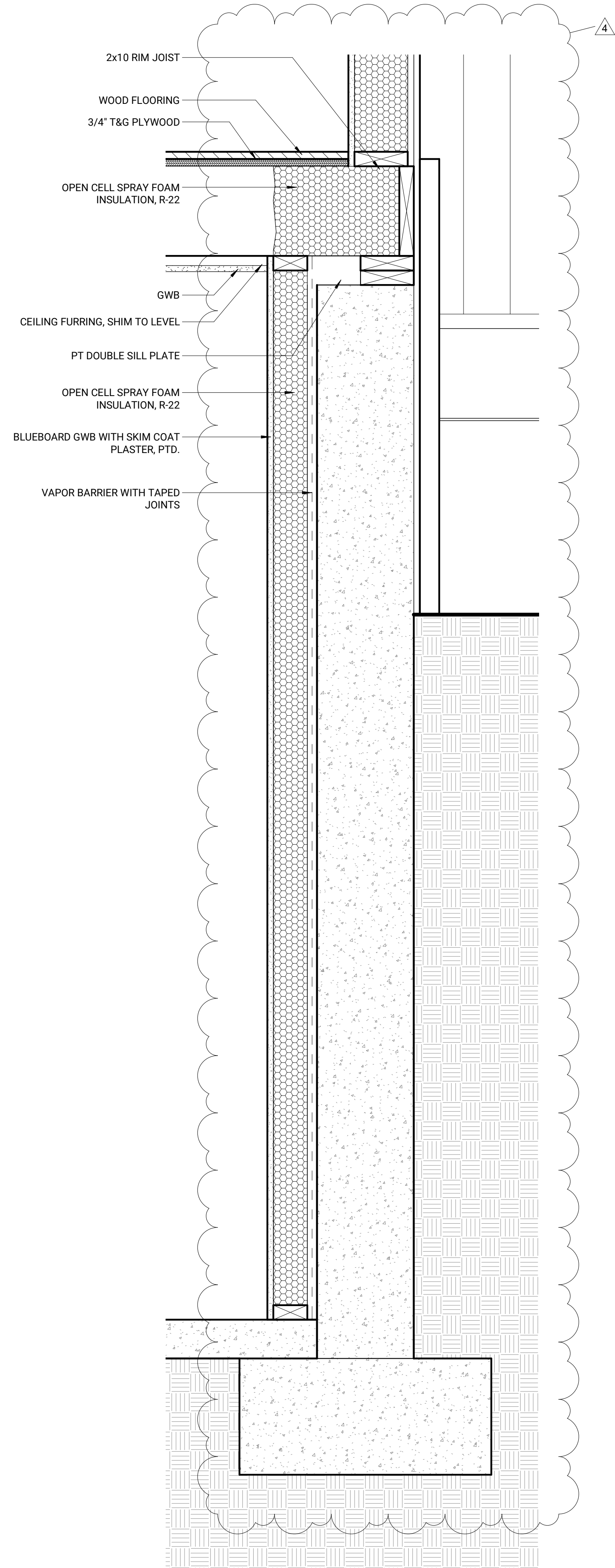
DRAWN BY: EAD

NORTH BUILDING
SECTION

A-302



1 NORTH BUILDING SECTION - PROPOSED
SCALE: 1/4" = 1'-0"



1 FOUNDATION DETAIL
SCALE: 1 1/2" = 1'-0"

CONSULTANTS:

PERMIT SET

REVISIONS:		
4	11/23/20	REDUCED VOL.

PROJECT NAME:
57 PLEASANT ST

DATE ISSUED: 4/13/2020

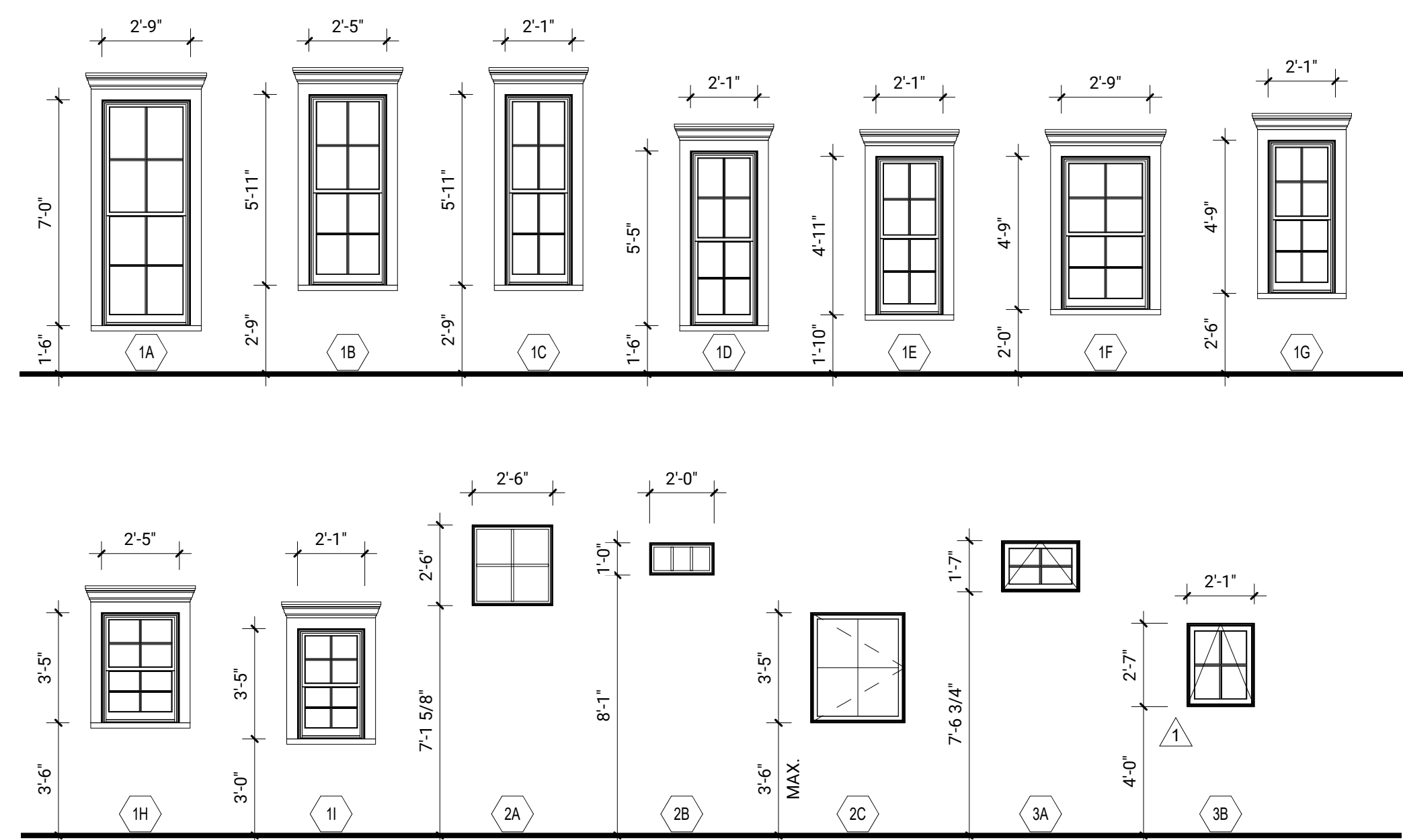
PROJECT #: 19006

SCALE: 1 1/2" = 1'-0"

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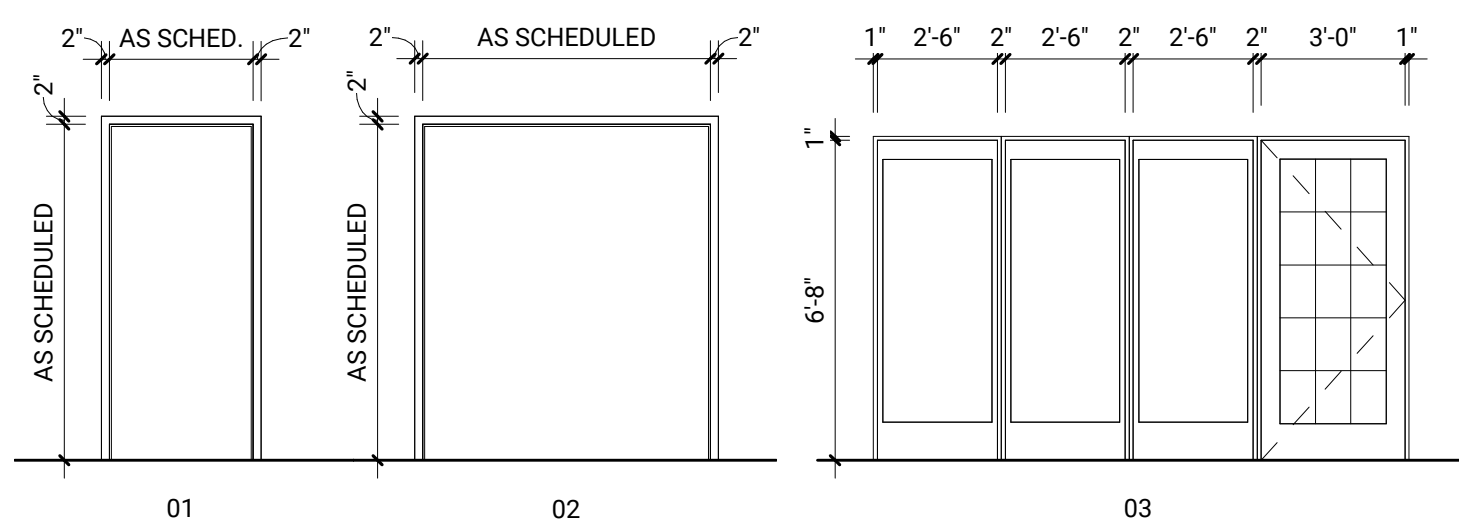
EXTERIOR DETAILS

WINDOW TYPES

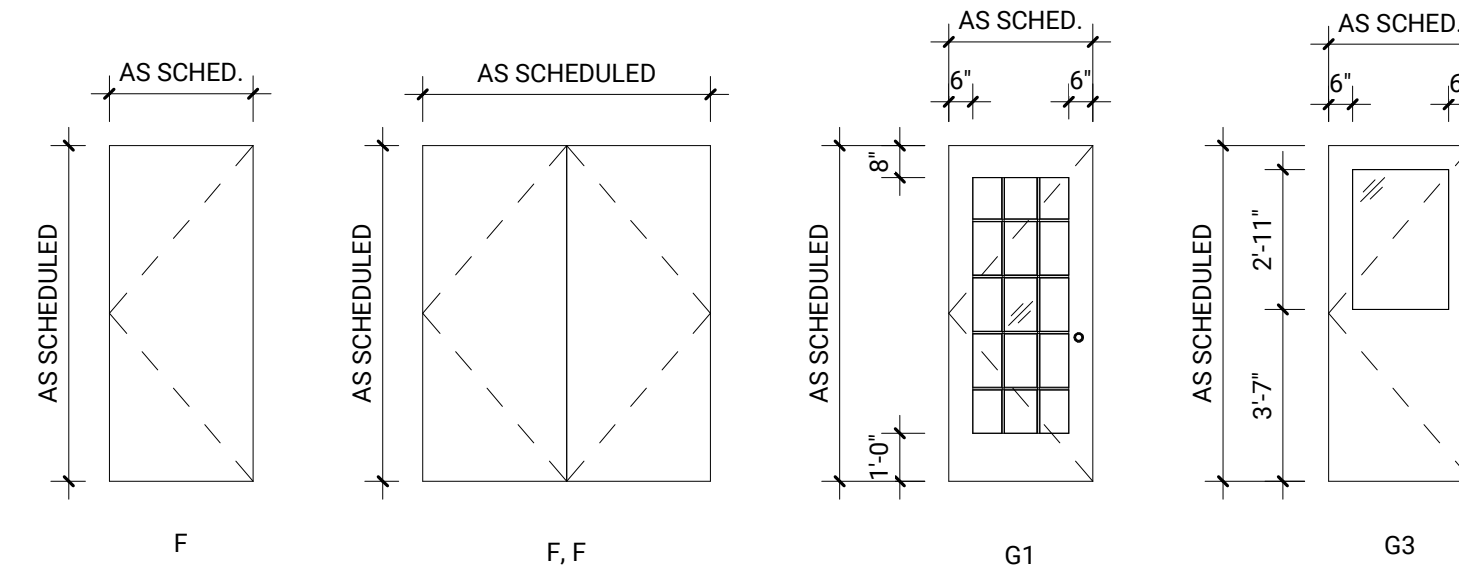


WINDOW SCHEDULE							
TYPE	COUNT	SILL HEIGHT	WIDTH	HEIGHT	MATERIAL	MANUFACTURER	REMARKS
1A	3	1' - 6"	2' - 9"	7' - 0"	WD	Pella	
1B	1	2' - 0"	2' - 5"	5' - 11"	WD	Pella	
1C	4	2' - 9"	2' - 1"	5' - 11"	WD	Pella	
1C	1	8' - 5"	2' - 1"	5' - 11"	WD	Pella	
1D	4	1' - 6"	2' - 1"	5' - 5"	WD	Pella	
1E	6	0' - 5 5/8"	2' - 1"	4' - 11"	WD	Pella	
1F	3	2' - 0"	2' - 9"	4' - 9"	WD	Pella	
1G	3	2' - 6"	2' - 1"	4' - 9"	WD	Pella	
1H	2	3' - 6"	2' - 5"	3' - 5"	WD	Pella	
1I	4	3' - 0"	2' - 1"	3' - 5"	WD	Pella	
2A	1	7' - 1 5/8"	2' - 6"	2' - 6"	WD	Pella	
2B	4	8' - 1"	2' - 0"	1' - 0"	WD	Pella	
2C	1	3' - 6"	2' - 11"	3' - 5"	WD	Pella	
3A	3	7' - 3 1/4"	2' - 5"	1' - 7"	WD	Pella	
3B	1	1' - 9 5/8"	2' - 1"	2' - 7"	WD	Pella	
TOTAL WINDOWS: 41							

WOOD FRAME TYPES



PANEL TYPES



DOOR SCHEDULE												
MARK	LOCATION		FRAME DETAILS			DOOR DETAILS				FIRE RATING	HDWR SET	REMARKS
	FROM	TO	MATL	TYPE	PANEL	MATL	WIDTH	HEIGHT	THK			
BASEMENT - PROPOSED												
001	HALLWAY	UTILITY	WD	01	F	WD	3' - 0"	6' - 8"				
002	HALLWAY	BEDROOM	WD	01	F	WD	2' - 10"	6' - 8"				
003	CLOSET	HALLWAY	WD	01	F	WD	2' - 10"	6' - 8"				
004	HALLWAY	LAUNDRY	WD	01	F	WD	2' - 10"	6' - 8"				
005	HALLWAY	BATHROOM	WD	01	F	WD	2' - 10"	6' - 8"				
006	CLOSET	LIVING AREA	WD	01	F, F	WD	4' - 0"	6' - 8"				
007	BEDROOM	CLOSET	WD	01	F	WD	3' - 0"	6' - 8"				
008	HALLWAY	STORAGE CLOSET	WD	01	F	WD	2' - 10"	6' - 8"				
1ST FLOOR												
101		ENTRY	WD	01	G1	WD	3' - 0"	8' - 0"				
102	COAT CLOSET	ENTRY	WD	01	F, F	WD	5' - 0"	7' - 0"				
104	FAMILY ROOM	POWDER ROOM	WD	01	F	WD	3' - 0"	6' - 8"				
105	FAMILY ROOM		WD	03		WD	3' - 0"	6' - 8"				
2ND FLOOR (T.O.S)												
201	MASTER BEDROOM	MASTER BATHROOM	WD	01	F	WD	2' - 10"	6' - 8"				
202	MASTER BEDROOM	MASTER CLOSET	WD	01	F	WD	2' - 10"	6' - 8"				
203	HALLWAY	MASTER BEDROOM	WD	01	F	WD	2' - 10"	6' - 8"				
204	HALLWAY	BEDROOM	WD	01	F	WD	3' - 0"	6' - 8"				
205	CLOSET	BEDROOM	WD	01	F, F	WD	5' - 0"	7' - 0"				
206	LINEN CLOSET	HALLWAY	WD	01	F	WD	2' - 10"	6' - 8"				
207	HALLWAY	LAUNDRY ROOM	WD	01	F	WD	2' - 10"	6' - 8"				
208	HALLWAY	BEDROOM	WD	01	F	WD	3' - 0"	6' - 8"				
209	HALLWAY		WD	01	F	WD	3' - 0"	6' - 8"				
210	CLOSET	BEDROOM	WD	01	F, F	WD	5' - 0"	7' - 0"				
211	BEDROOM	BATHROOM	WD	01	F	WD	2' - 10"	6' - 8"				

MFDS
A+P

650 COLUMBUS AVE. STE. A
BOSTON MA, 02118
T: 617-606-4496
WWW.MFDS-BOS.COM

CONSULTANTS:

PERMIT SET

REVISIONS:		
1	7/07/20	ISD RESPONSE
4	11/23/20	REDUCED VOL.

PROJECT NAME:
57 PLEASANT ST

DATE ISSUED: 4/13/2020

PROJECT #: 19006

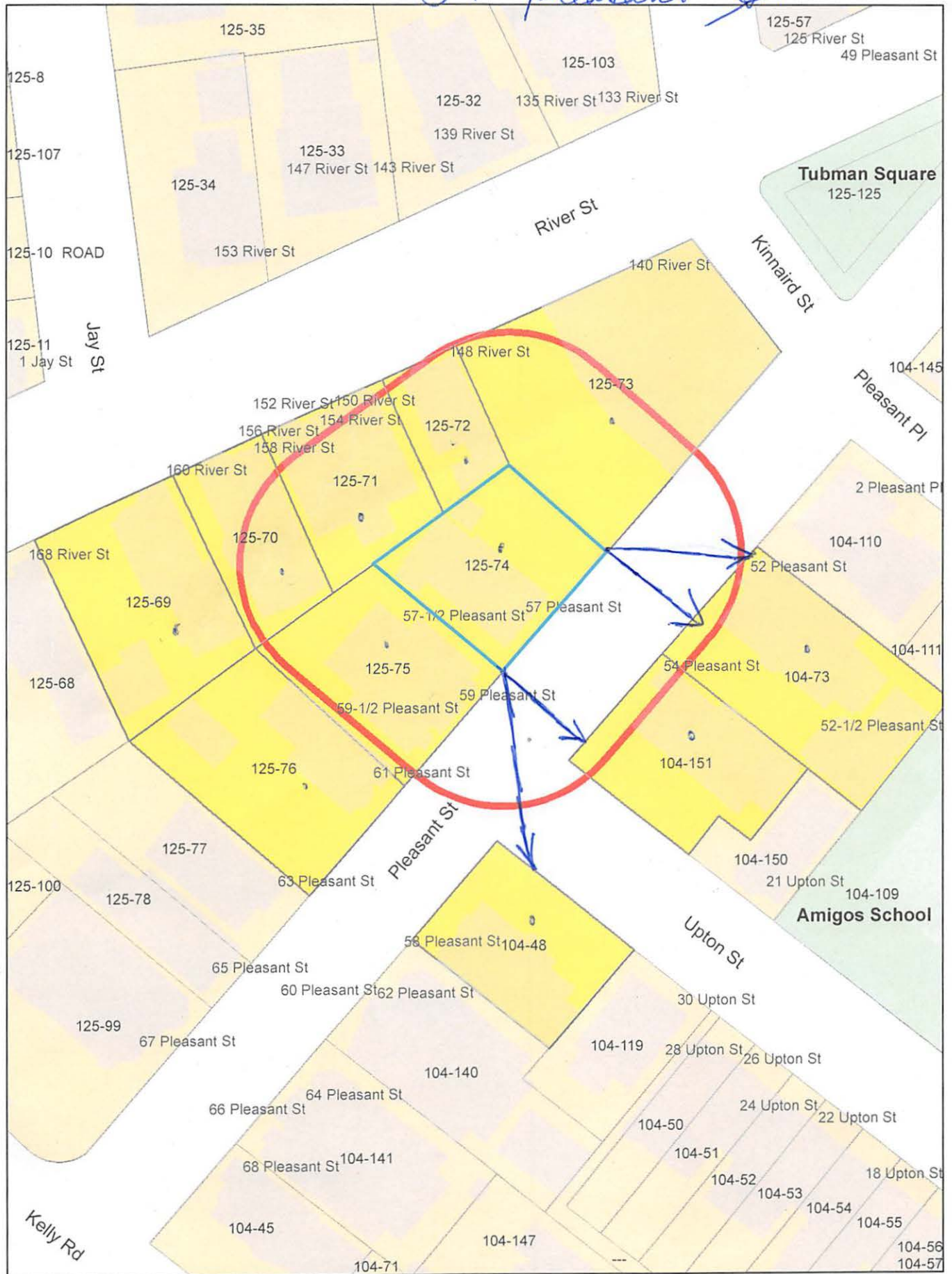
SCALE: As indicated

DRAWN BY: EAD

DOOR & WINDOW
TYPES AND SCHEDULE

A-702

57 Pleasant St.



57 Pleasant St.

Pettibone

104-151
GENTY, LOUIS O. & GERALTA GENTY
54 PLEASANT ST
CAMBRIDGE, MA 02139

104-48
SALOMON, DAVID J.
TR. OF 58 PLEASANT STREET NOMINEE TR.
9 KINNAIRD ST #1
CAMBRIDGE, MA 02139-3837

57 PLEASANT LLC
C/O RONALD BUCK
45 DURNHAM RD.
BILLERICA, MA 01890

104-73
PEETERMANS, JOYCE & SETH FRADEN
21 TARLETON RD
NEWTON, MA 02458

104-73
LAVIGNE, COURTNEY L. &
CHRISTOPHER R. LAVIGNE
52 PLEASANT ST., #52.5
CAMBRIDGE, MA 02139

104-73
LEDERER, BRUCE & SANDRA MACHSON
52A PLEASANT ST
CAMBRIDGE, MA 02139

125-71
150-156 RIVER STREET, LLC.
31 PHILEMON ST
ARLINGTON, MA 02474

125-70
HU, CHIEN CHEN,
TRUSTEE THE CHIEN CHEN HU LIV TR
8 PERRY RD APT 2
AUBURNDAL, MA 02466

125-72
JOHNSON, LLOYD SHELDON
148 RIVER ST
CAMBRIDGE, MA 02139

125-73
RAVEO, LLC
1188 CENTRE ST
NEWTON, MA 02459

125-76
BOSEA, LLC
1188 CENTRE ST
NEWTON CENTRE, MA 02459

125-75
HERZIG, SHOSHANA J.
59 PLEASANT ST, # 59
CAMBRIDGE, MA 02139

125-75
SLATER, SARAH E.
59 PLEASANT ST. #59 1/2
CAMBRIDGE, MA 02139

125-69
SURATI, RAJEEV J. AUBHA K. SACHETI
160 RIVER ST
CAMBRIDGE, MA 02139

125-74
MARSH BUILDERS, LLC
45 DUNHAM RD
BILLERICA, MA 01821

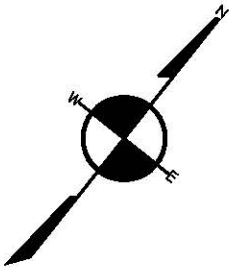
104-73
FENN, ETHAN
52.5-52 PLEASANT ST., #52B
CAMBRIDGE, MA 02139

PLAN OF LAND

LOCATED AT
57 PLEASANT STREET
CAMBRIDGE, MA

PREPARED FOR:
MARSH BUILDERS, LLC

SCALE: 1 INCH = 10 FEET



59 PLEASANT ST.
N/F
HERZIG

150-156 RIVER ST.
N/F
150-156 RIVER STREET, LLC

148 RIVER ST.
N/F
JOHNSON

LOT 3 AND PT. LOT 5
3,439+/-SF

53 PLEASANT ST.
N/F
RAVEO, LLC

REFERENCES

DEED: BOOK 172830, PAGE 313
PLAN: PLAN BOOK 1, PLAN 16

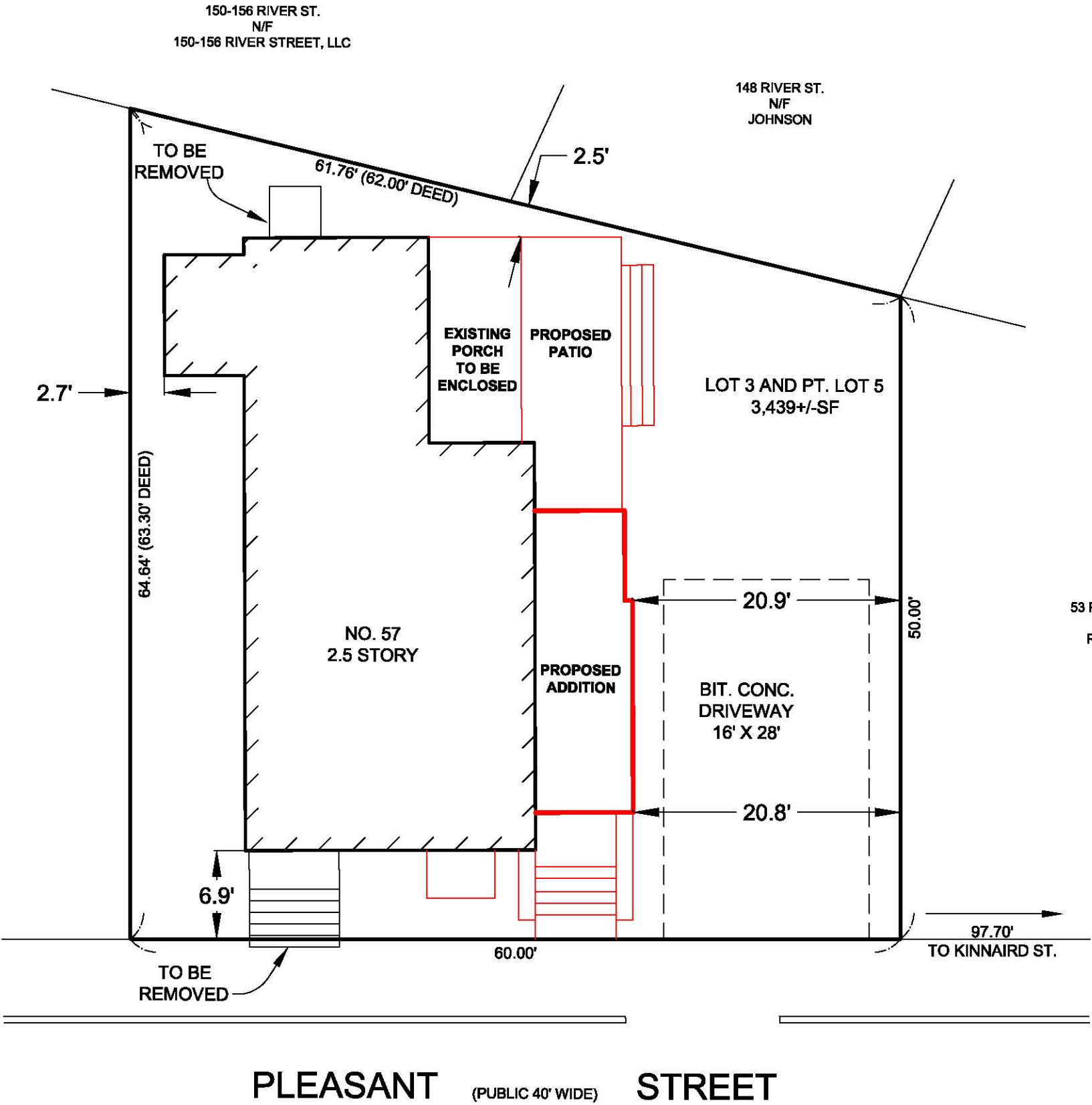
NOTES

THIS PLAN WAS MADE FROM AN
INSTRUMENT SURVEY ON THE GROUND IN OCTOBER OF 2019 AND
ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

THIS PLAN WAS PREPARED IN
CONFORMITY WITH THE RULES AND
REGULATIONS OF THE REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

THOMAS BERNARDI P.L.S.

DATE: APRIL 2, 2020



MASSACHUSETTS
SURVEY
CONSULTANTS

14 SUMNER STREET
GLOUCESTER, MA 01930
617 899-0703
WWW.MASSACHUSETTSSURVEY.COM

57 PLEASANT ST

CAMBRIDGE, MA



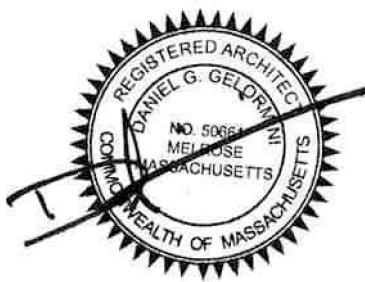
DRAWING LIST		
NUMBER	NAME	PERMIT SET
GENERAL		
G-001	COVER	●
G-002	ZONING ANALYSIS	●
EC001	EXISTING CONDITIONS SURVEY	●
PP001	PROPOSED PLOT PLAN	●
AS101	ARCHITECTURAL SITE PLAN	●
ARCHITECTURAL		
EX001	EXISTING PLANS - BASEMENT & 1ST FLOOR	●
EX002	EXISTING PLANS - 2ND FLOOR & ATTIC	●
EX003	EXISTING PLANS - ROOF	●
EX201	EXISTING NORTH & EAST BUILDING ELEVATIONS	●
EX202	EXISTING SOUTH & WEST BUILDING ELEVATIONS	●
AD101	DEMOLITION BASEMENT & 1ST FLOOR PLAN	●
AD102	DEMOLITION 2ND & 3RD FLOOR PLAN	●
A-101	BASEMENT & 1ST FLOOR CONSTRUCTION PLAN	●
A-102	2ND FLOOR & ROOF CONSTRUCTION PLAN	●
A-121	BASEMENT & 1ST FLOOR REFLECTED CEILING PLAN	●
A-122	2ND FLOOR REFLECTED CEILING PLAN	●
A-201	EAST & WEST BUILDING ELEVATION	●
A-202	NORTH BUILDING ELEVATION	●
A-203	SOUTH BUILDING ELEVATION	●
A-301	EAST & WEST BUILDING SECTION	●
A-302	NORTH BUILDING SECTION	●
A-501	EXTERIOR DETAILS	●
A-701	PARTITION, FLOOR, AND ROOF TYPES	●
A-702	DOOR & WINDOW TYPES AND SCHEDULE	●

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CONSULTANTS:

PERMIT SET



REVISIONS:

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE:

DRAWN BY: EAD

COVER

G-001

ASSESSOR'S DATA



57 Pleasant St

Property Information	
Property Class	TWO-FAM-RES
State Class Code	104
Zoning (Unofficial)	BA-3
Map/Lot	125-74
Land Area (Sq. Ft.)	3,461

Property Value	
Year of Assessment	2019
Tax District	R12
Residential Exemption	Yes
Building Value	\$227,500
Land Value	\$786,100
Assessed Value	\$1,013,600
Sale Price	\$0
Book/Page	30474/ 163
Sale Date	July 29, 1999
Previous Assessed Value	\$890,700
Property Tax Amount	\$6,183.58
This represents the total FY19 Real Estate Tax including the CPA Surcharge, but not including Residential Exemption or other Personal Exemptions deduction.	

Owner Information

Owner(s)	SWEENEY MARYELLEN, THOMAS F SWEENEY JR GERALD P SWEENEY, DENNIS J SWEENEY & KATHLEEN SWEENEY 57 PLEASANT STREET CAMBRIDGE, MA 02139-3835
----------	--

Building Information
RESIDENTIAL BUILDING NUMBER 1, SECTION 1
Exterior

Style	OLD STYLE TWO FAM
Occupancy	TWO-FAM-RES
Number of Stories	2.25
Exterior Wall Type	Asbestos Shingl
Roof Type	Gable
Roof Material	Asphalt Shingl

Interior

Living Area (sq. Ft.)	2,328
Number of Units	2
Total Rooms	10
Bedrooms	4
Kitchens	2
Full Baths	2
Half Baths	0
Fireplaces	0

Systems

Heat Type	Other
Heat Fuel	Gas
Central A/C	No

Condition & Grade

Year Built	1854
Interior Condition	Fair
Overall Condition	Fair
Overall Grade	Fair

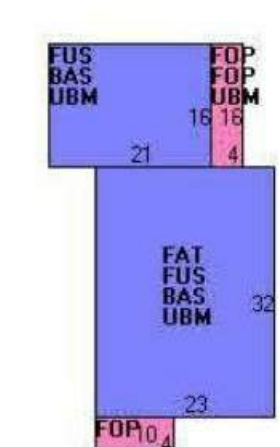
Parking

Open Parking	2
Covered Parking	0

Photos



Sketches



Subareas

Code	Description	Gross Area	Living Area
FOP	Porch, Open	168	0
FUS	Upper Story, Finished	1,072	1,072
BAS	First Floor	1,072	1,072
FAT	Finished Attic	736	184
UBM	Basement	1,136	0
Total:		4,184	2,328

EXISTING PHOTOGRAPHS



LOCUS MAP



PROJECT SUMMARY AND ZONING ANALYSIS

Zoning District:	(90%) BA-3 Neighborhood Business (10%) R-C Multifamily Dwellings
Proposed Use:	Single Family
Lot Area:	3,439 sf

Dimensional Regulations	Regulation	Required	Existing	Proposed	Compliance
	Maximum Ratio of Floor Area to Lot Area	0.74	0.73	0.74	Conforming
	Minimum Lot Area (Sq. Ft.)	5,000	3,461.0	3,461.0	Existing Non-Conforming
	Minimum Lot Area per D.U. (Sq. Ft.)	1,500	1,730.5	3,461.0	Conforming
	Minimum Lot Width (Feet)	50	60	60	Conforming
	Minimum Front Yard (Ft.) (1)	10	6.9	6.9	Existing Non-Conforming
	Minimum Side Yard (Ft.)	10.25	2.7	2.7	Existing Non-Conforming
	Minimum Rear Yard (Ft.)	20	2.8	2.8	Existing Non-Conforming
	Building Height Maximum: Height (Ft.)	35	27.17	27.17	Conforming
	Minimum Ratio of Private Open Space to Lot Area (%)	BA-3 = 30 (928.5 sf)	12.8	23	Existing Non-Conforming
		R-C = 36 (123.8 sf)	18	18	Existing Non-Conforming
	Minimum # of Parking Spaces per Dwelling Unit	1 / D.U. = 1	2	2	Conforming

(1) For buildings of forty (40) feet or less in height the denominator in the yard formulas in the Tables in Section 5.30 may be increased by two subject to the minimum yard requirements set forth in footnotes a, b and c of Tables 5-1 and 5-2.

Building Area - Existing

	Gross Floor Area	FAR Adjusted
Basement	966.5	0
Ground Floor	1,109.7	1081.7
Second Floor	1081.7	1081.7
Third Floor	398.3	347.9
	3556.2	2511.3
	Unit 1 SF total	Unit 2 SF total

Building Area - Proposed

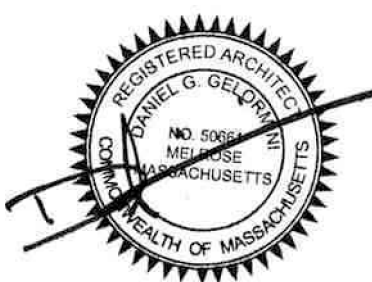
	Gross Floor Area	FAR Adjusted
Basement	966.5	0
Ground Floor	1440	1282.8
Second Floor	1255.5	1255.5
	3662	2538.3
	Unit 1 SF total	Unit 2 SF total

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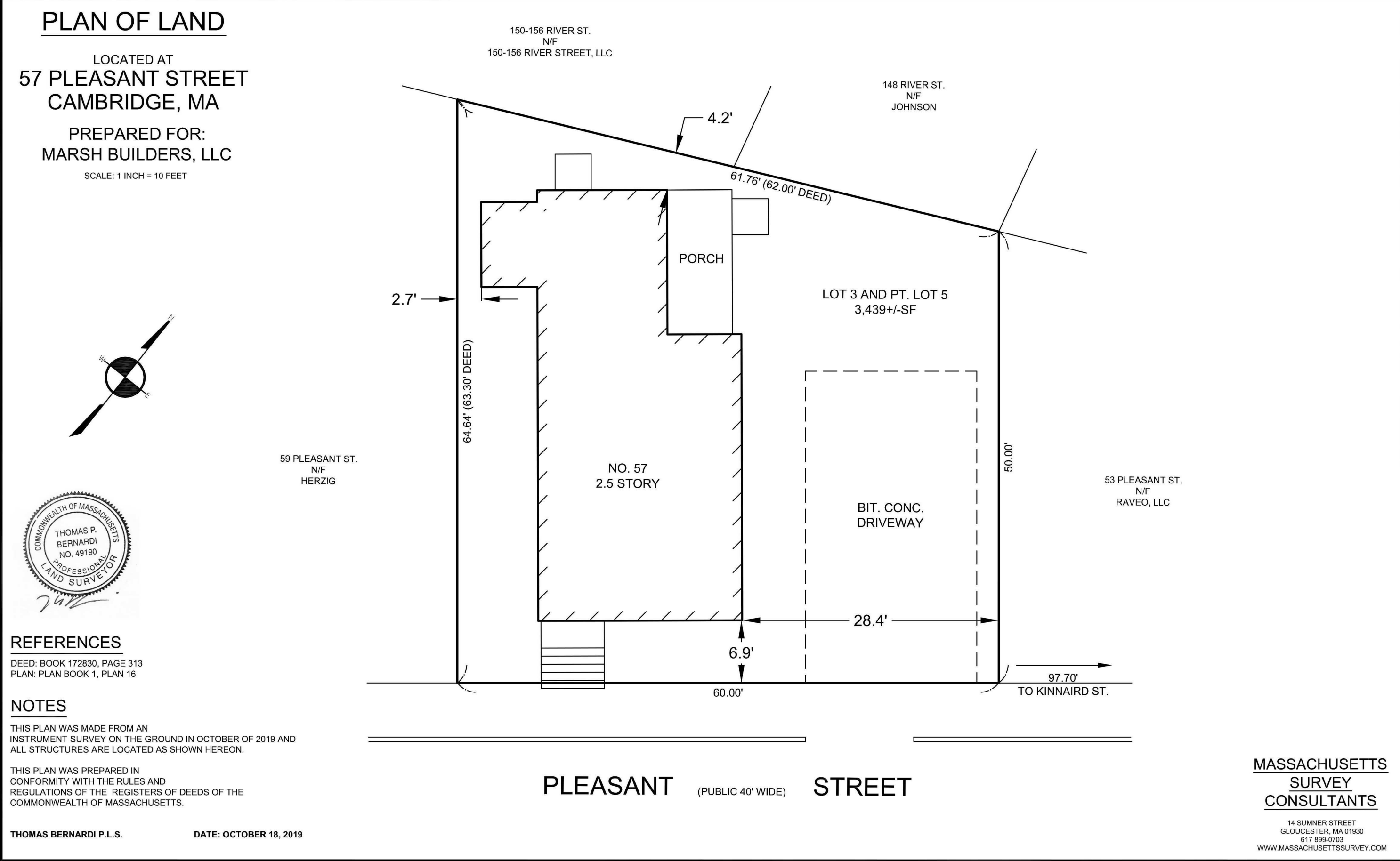
PROJECT #: 19006

SCALE: 1/8" = 1'-0"

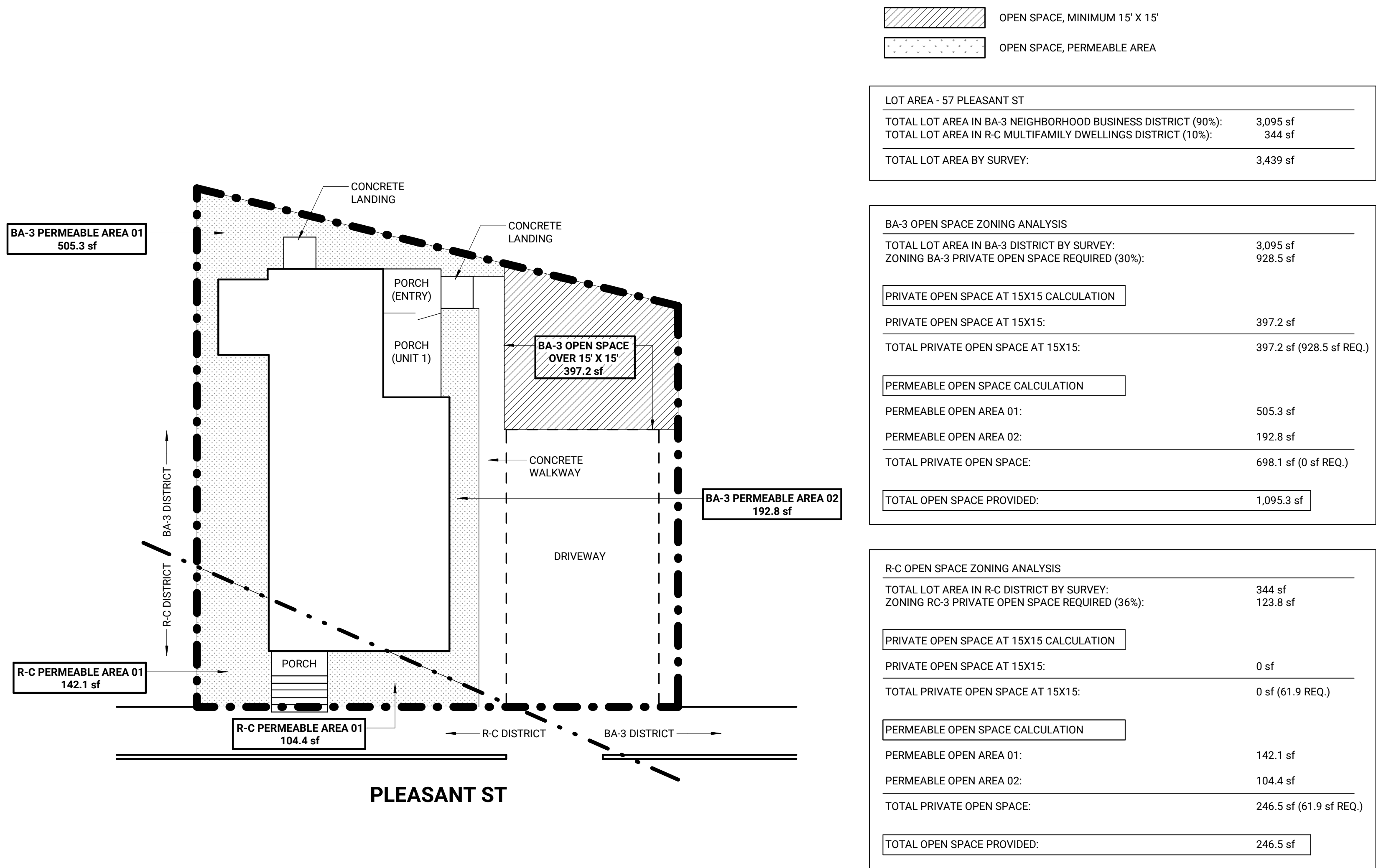
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ZONING ANALYSIS

G-002



EXISTING OPEN SPACE ANALYSIS



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REVISIONS:

PROJECT NAME:

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DATE ISSUED: 4/13/2020

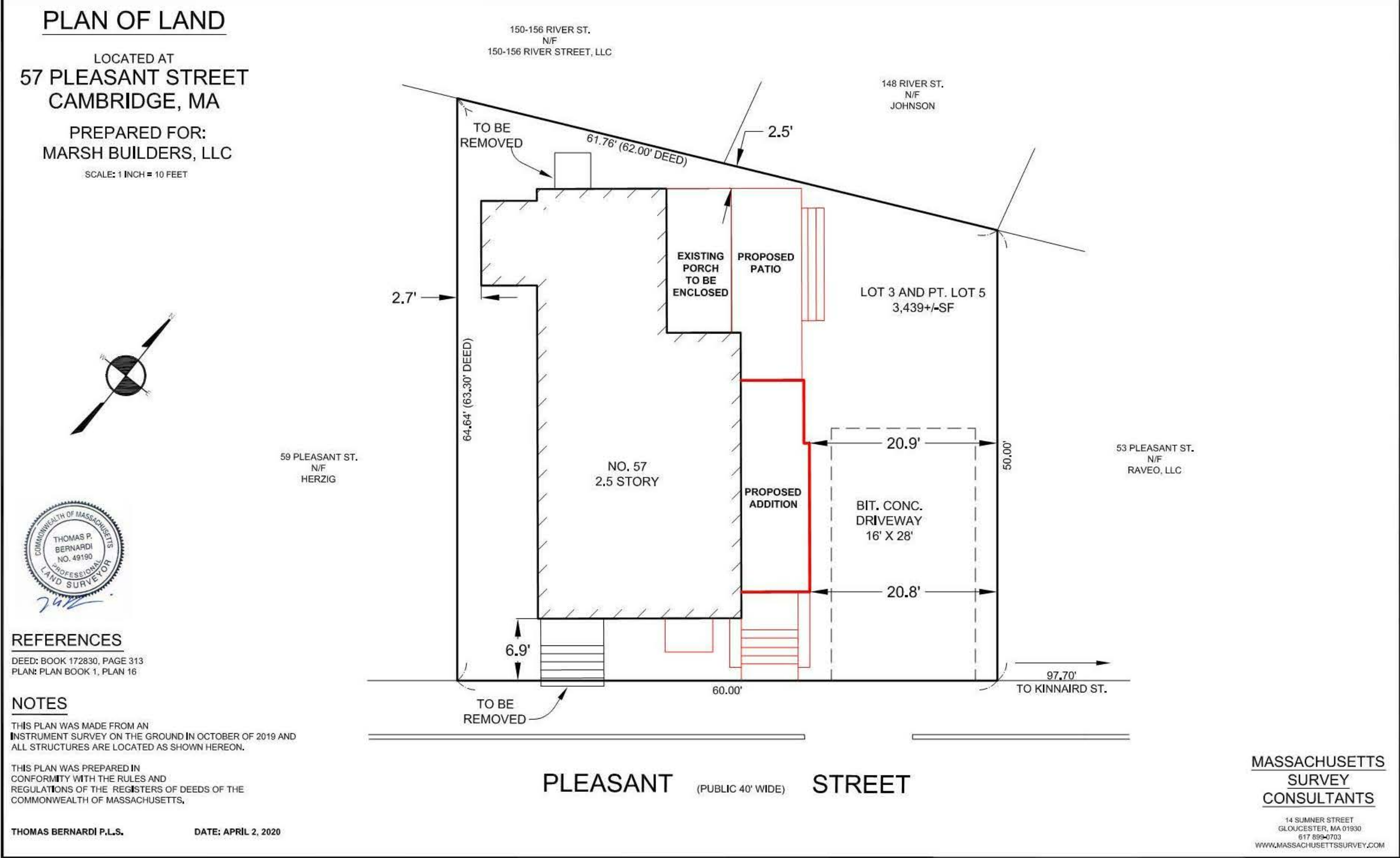
PROJECT #: 19006

SCALE: As indicated

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EXISTING CONDITIONS SURVEY

EC001



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SCALE:

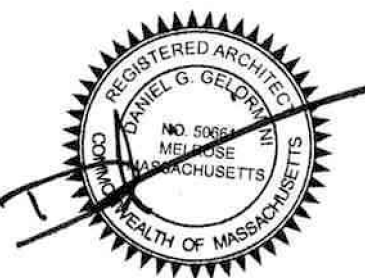
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PROPOSED PLOT PLAN

PP001

CONSULTANTS:

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DATE ISSUED: 4/13/2020

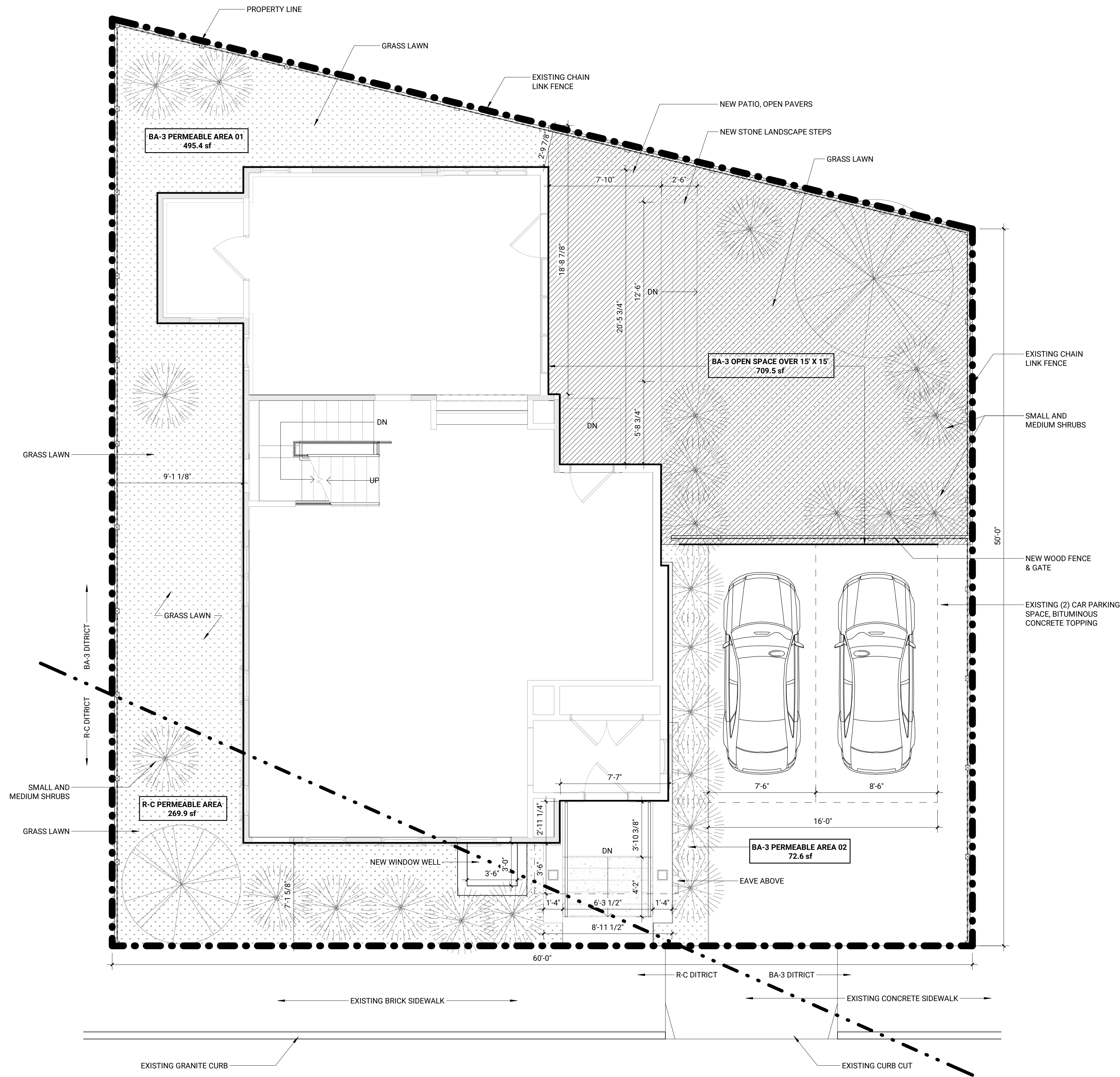
PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

ARCHITECTURAL SITE
PLAN

AS101



- OPEN SPACE, MINIMUM 15' X 15'
- OPEN SPACE, PERMEABLE AREA

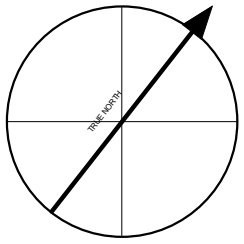
LOT AREA - 57 PLEASANT ST	
TOTAL LOT AREA IN BA-3 NEIGHBORHOOD BUSINESS DISTRICT (90%):	3,095 sf
TOTAL LOT AREA IN R-C MULTIFAMILY DWELLINGS DISTRICT (10%):	344 sf
TOTAL LOT AREA BY SURVEY:	3,439 sf

BA-3 OPEN SPACE ZONING ANALYSIS	
TOTAL LOT AREA IN BA-3 DISTRICT BY SURVEY:	3,095 sf
ZONING BA-3 PRIVATE OPEN SPACE REQUIRED (30%):	928.5 sf
PRIVATE OPEN SPACE AT 15X15 CALCULATION	
PRIVATE OPEN SPACE AT 15X15:	709.5 sf
TOTAL PRIVATE OPEN SPACE AT 15X15:	709.5 sf (928.5 sf REQ.)
PERMEABLE OPEN SPACE CALCULATION	
PERMEABLE OPEN AREA 01:	495.4 sf
PERMEABLE OPEN AREA 02:	72.6 sf
TOTAL PRIVATE OPEN SPACE:	568 sf (0 sf REQ.)
TOTAL OPEN SPACE PROVIDED:	1,277.5 sf

R-C OPEN SPACE ZONING ANALYSIS	
TOTAL LOT AREA IN R-C DISTRICT BY SURVEY:	344 sf
ZONING R-C PRIVATE OPEN SPACE REQUIRED (36%):	123.8 sf
PRIVATE OPEN SPACE AT 15X15 CALCULATION	
PRIVATE OPEN SPACE AT 15X15:	0 sf
TOTAL PRIVATE OPEN SPACE AT 15X15:	0 sf (61.9 REQ.)
PERMEABLE OPEN SPACE CALCULATION	
PERMEABLE OPEN SPACE:	269.9 sf
TOTAL PERMEABLE OPEN SPACE:	269.9 sf (61.9 sf REQ.)
TOTAL OPEN SPACE PROVIDED:	269.9 sf

OPEN SPACE ZONING REQUIRMENTS	EXISTING	PROPOSED
BA-3 DISTRICT		
OPEN SPACE AT 15X15:	397.2 sf	709.5 sf
PERMEABLE OPEN SPACE:	N/A	N/A
BA-3 OPEN SPACE TOTAL:	397.2 sf (12.8%)	709.5 sf (23%)
R-C DISTRICT		
OPEN SPACE AT 15X15:	0 sf	0 sf
PERMEABLE OPEN SPACE:	61.9 sf *	61.9 sf *
R-C OPEN SPACE TOTAL:	61.9 sf (18%)	61.9 sf (18%)

*AT LEAST FIFTY (50) PERCENT OF THE REQUIRED PROVATE OPEN SPACE IN THE R-C DISTRICT SHALL MEET ALL OF THE REQUIREMENTS OF SECTION 5.22.1 OF THE CAMBRIDGE ZONING BYLAW. AT LEAST FIFTY (50) PERCENT OF THE REQUIRED PROVATE OPEN SPACE SHALL MEET THE DEFINITION OF PERMEABLE OPEN SPACE AND SHALL NOT BE SUBJECT TO THE DIMENSIONAL LIMITATIONS OF SECTION 5.22.1 AS APPLIED TO PRIVATE OPEN SPACE.



NORTH ARROW

EXISTING PLAN GENERAL NOTES

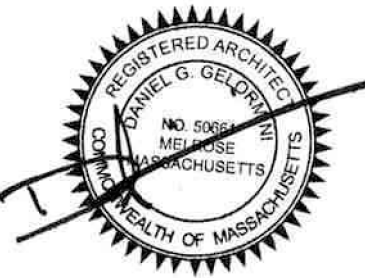
1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS. G.C. TO VERIFY, RECORD & COORDINATE ALL EXISTING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, TELE DATA & SECURITY SYSTEMS.



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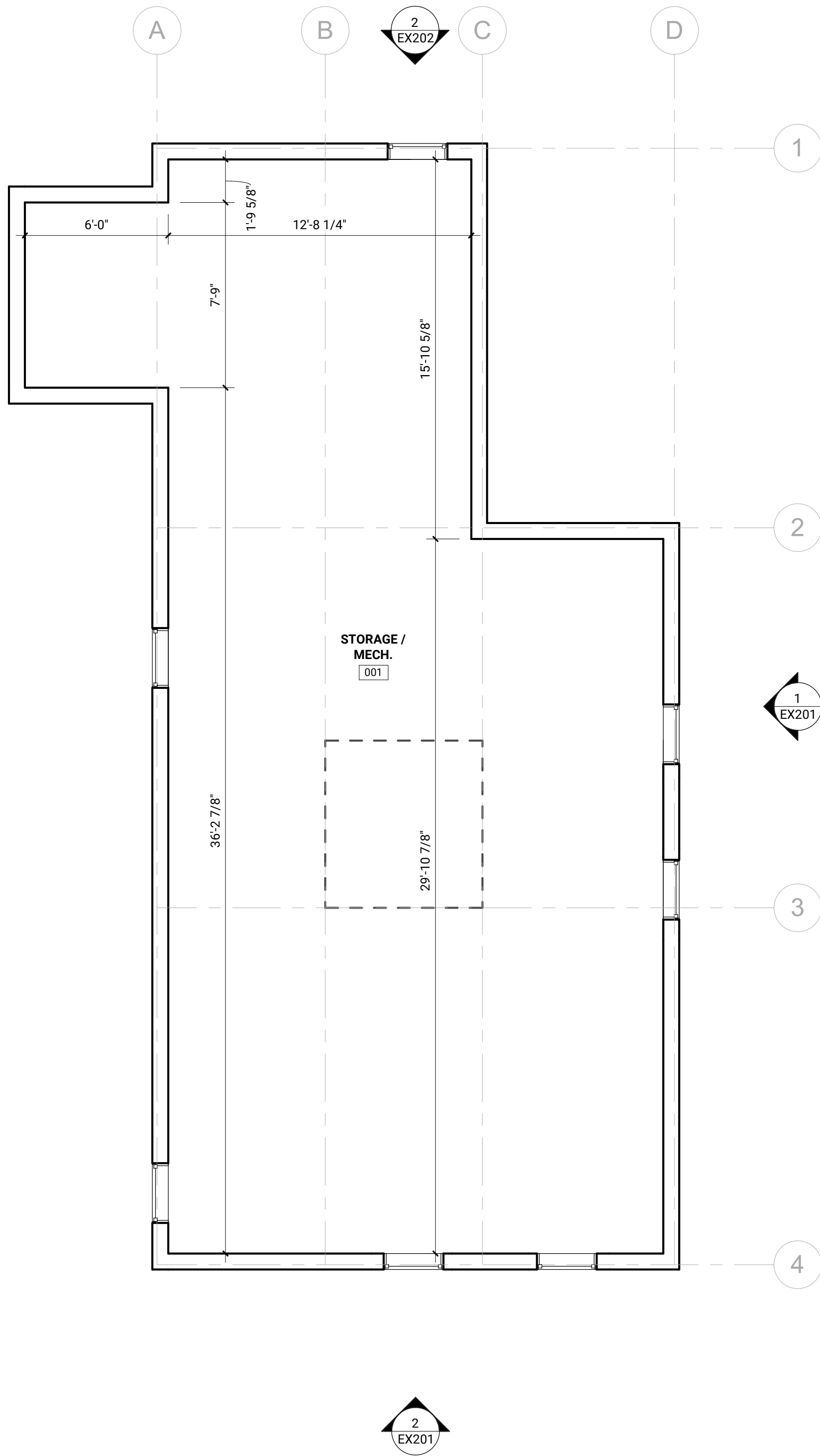
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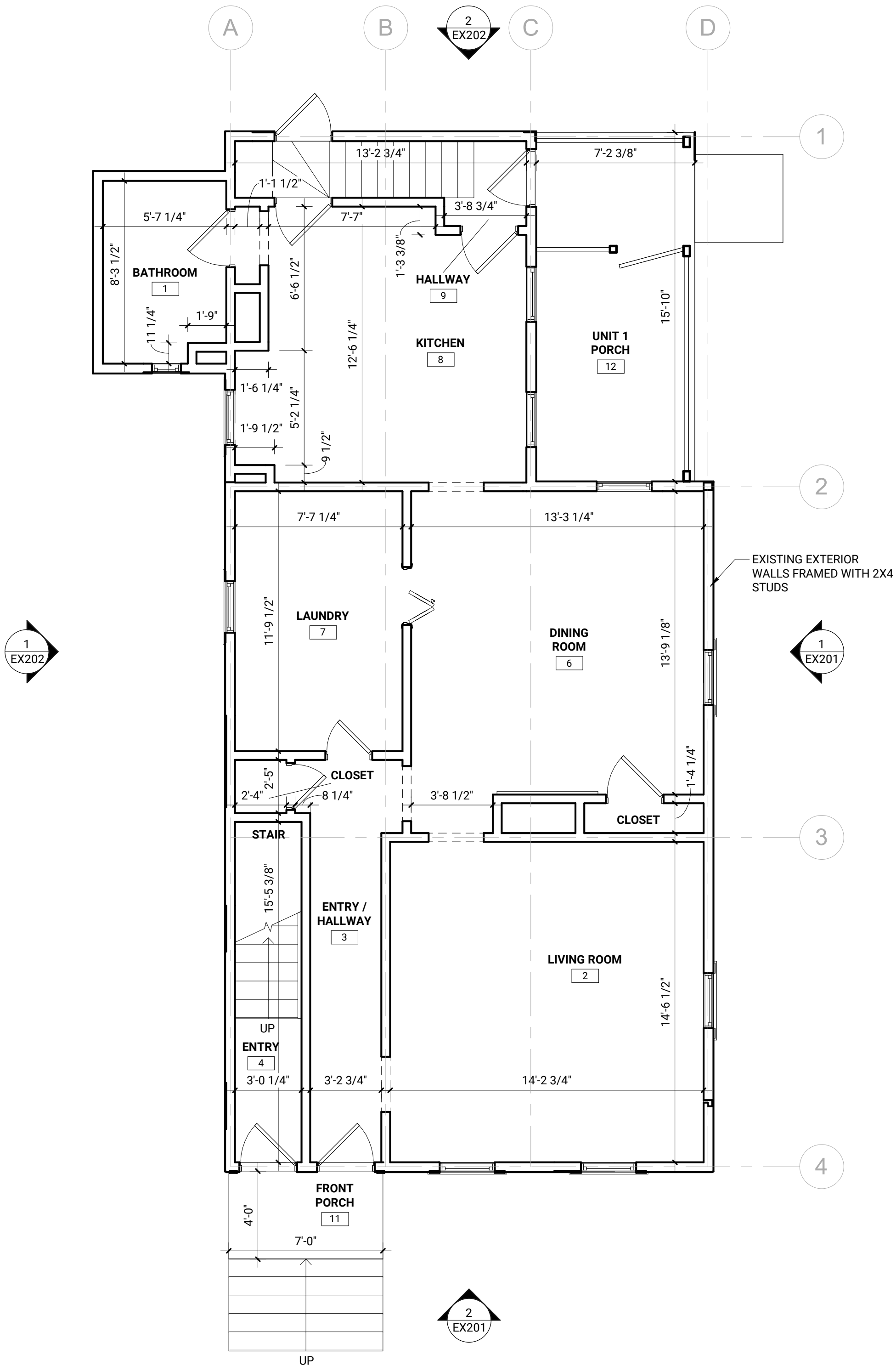
EXISTING PLANS -
BASEMENT & 1ST
FLOOR

EX001



1 BASEMENT - EXISTING CONDITIONS PLAN

SCALE: 1/4" = 1'-0"

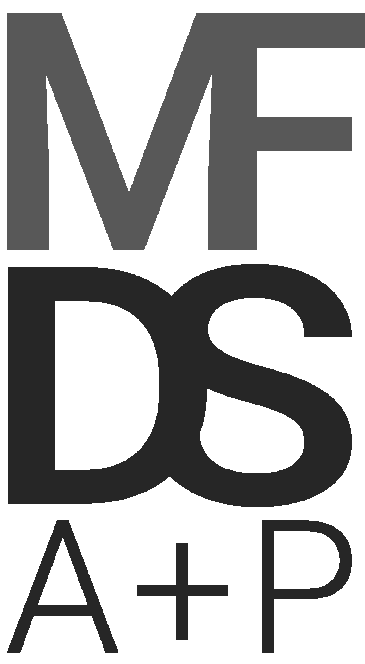


2 1ST FLOOR - EXISTING CONDITIONS PLAN

SCALE: 1/4" = 1'-0"

EXISTING PLAN GENERAL NOTES

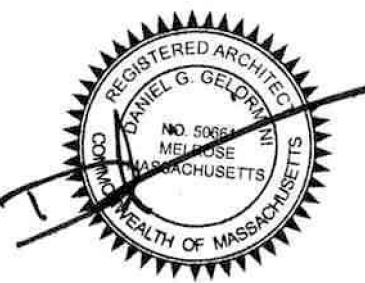
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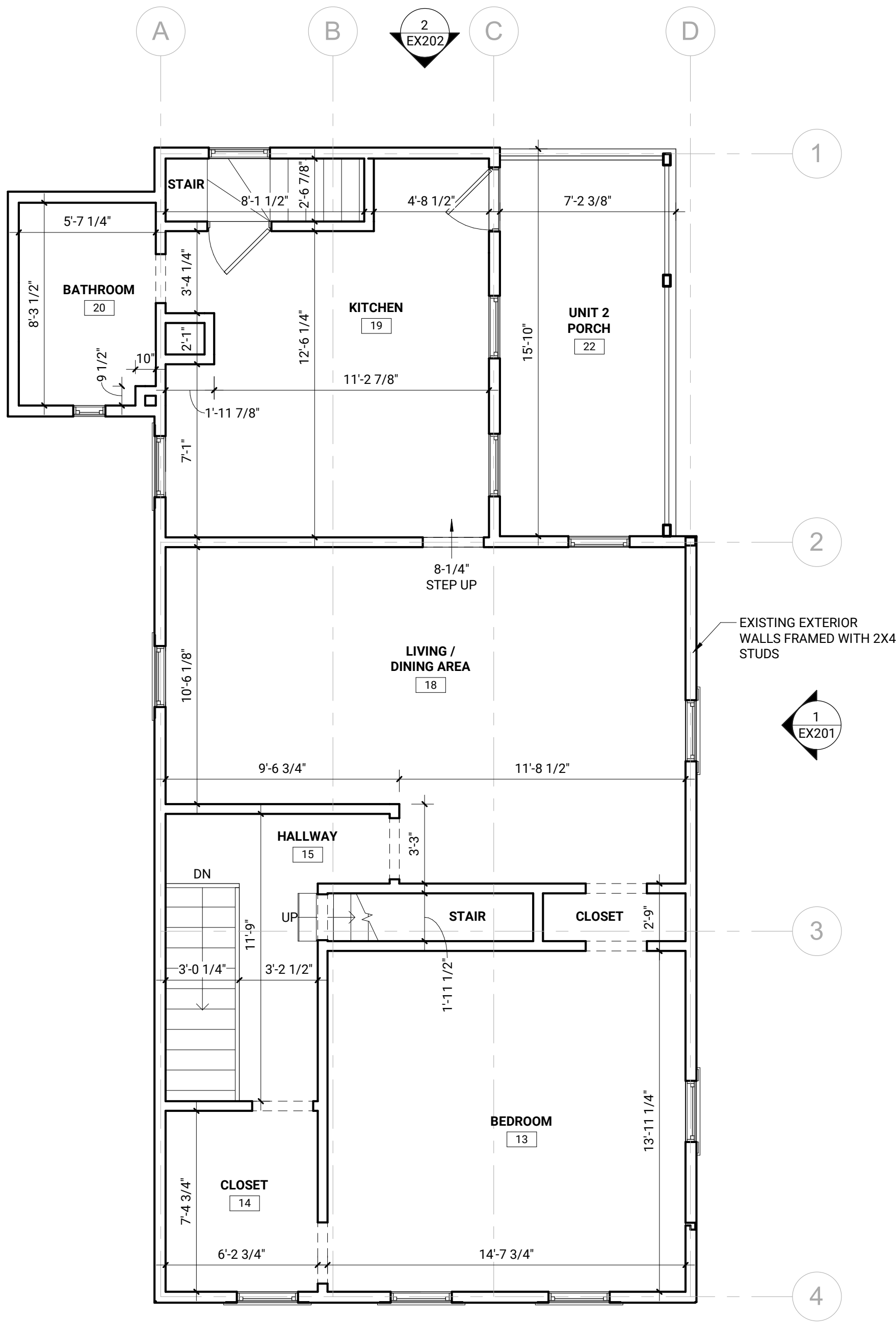
PROJECT #: 19006

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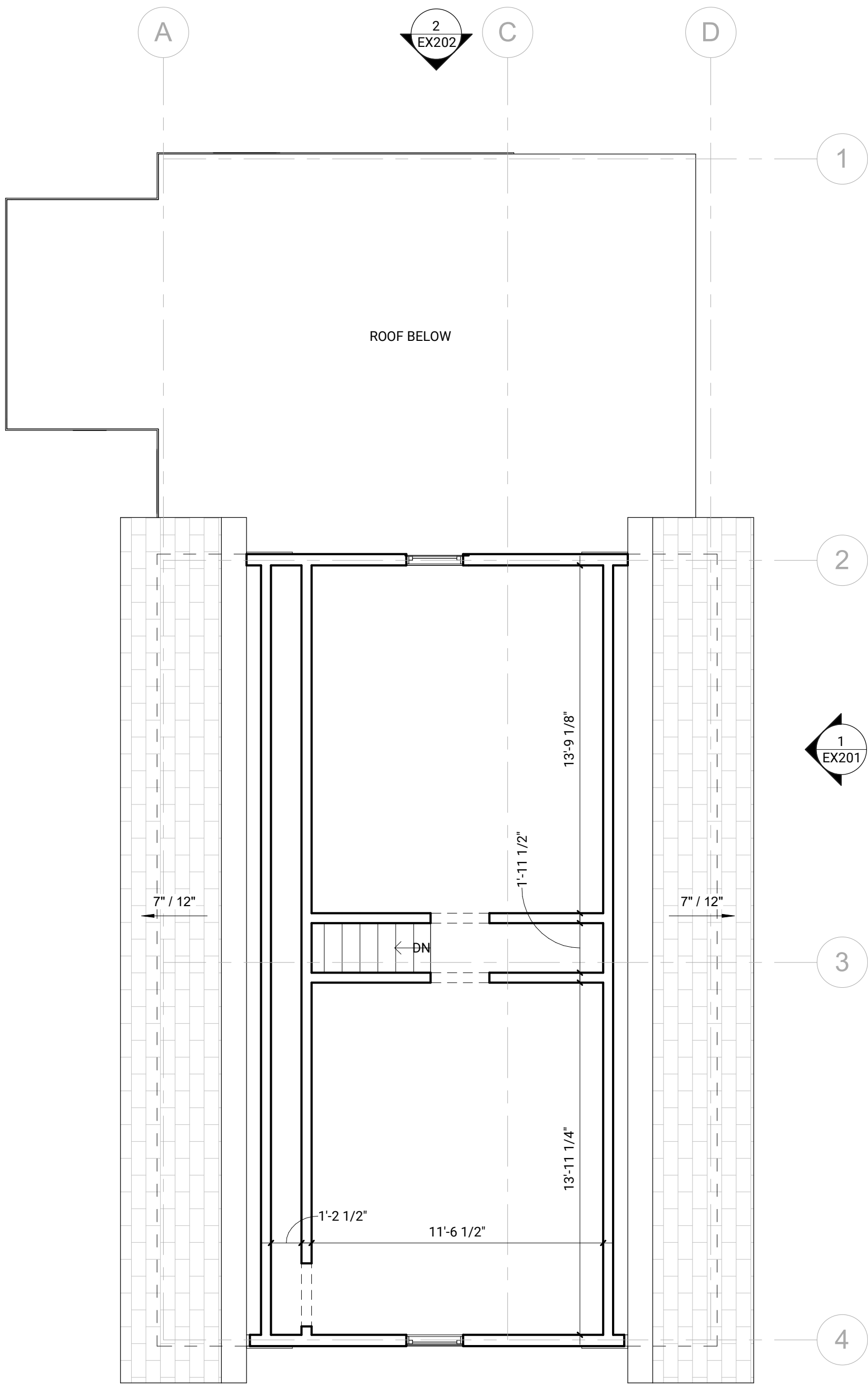
DRAWN BY: EAD

EXISTING PLANS - 2ND
FLOOR & ATTIC

EX002



1 2ND FLOOR - EXISTING CONDITIONS PLAN
SCALE: 1/4" = 1'-0"



2 3RD FLOOR - EXISTING CONDITIONS PLAN
SCALE: 1/4" = 1'-0"

EXISTING PLAN GENERAL NOTES

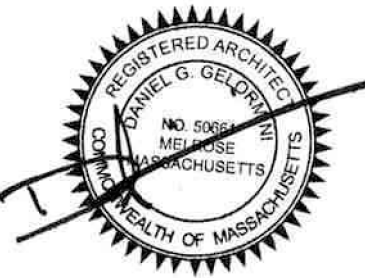
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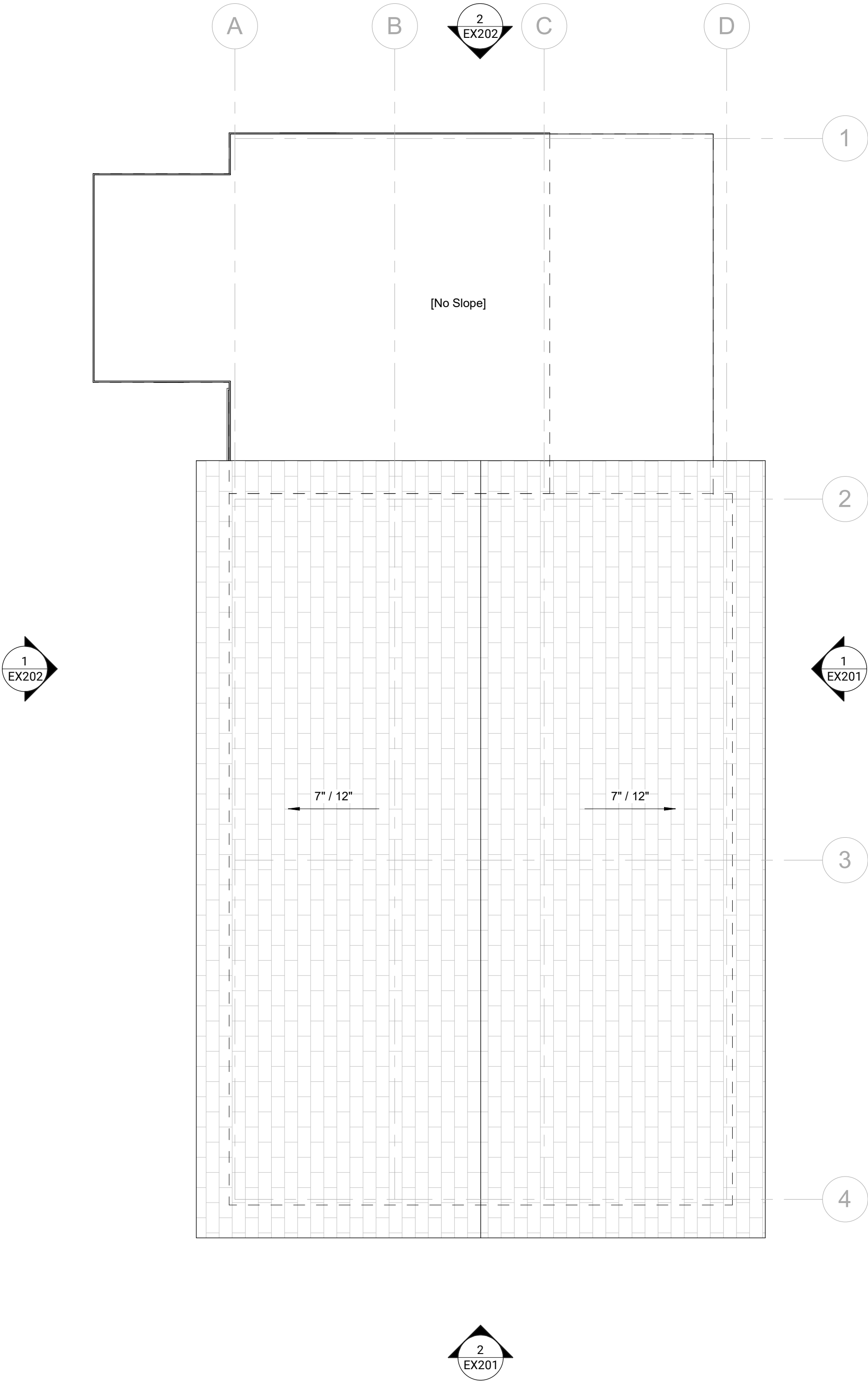
PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

EXISTING PLANS -
ROOF

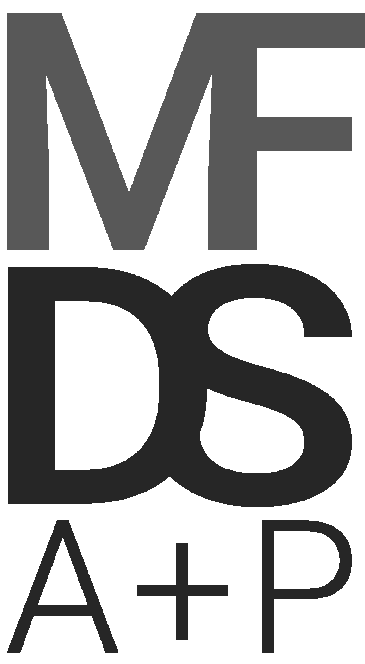
EX003



1 ROOF - EXISTING CONDITIONS PLAN
SCALE: 1/4" = 1'-0"

EXISTING PLAN GENERAL NOTES

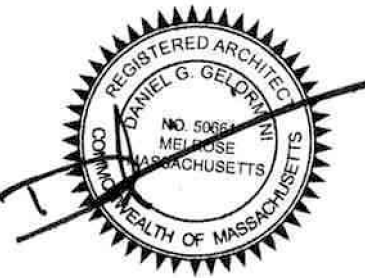
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SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

EXISTING NORTH &
EAST BUILDING
ELEVATIONS

EX201



1 NORTH - EXISTING ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST - EXISTING ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING PLAN GENERAL NOTES

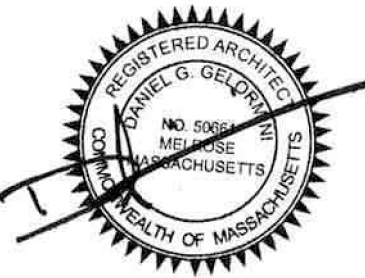
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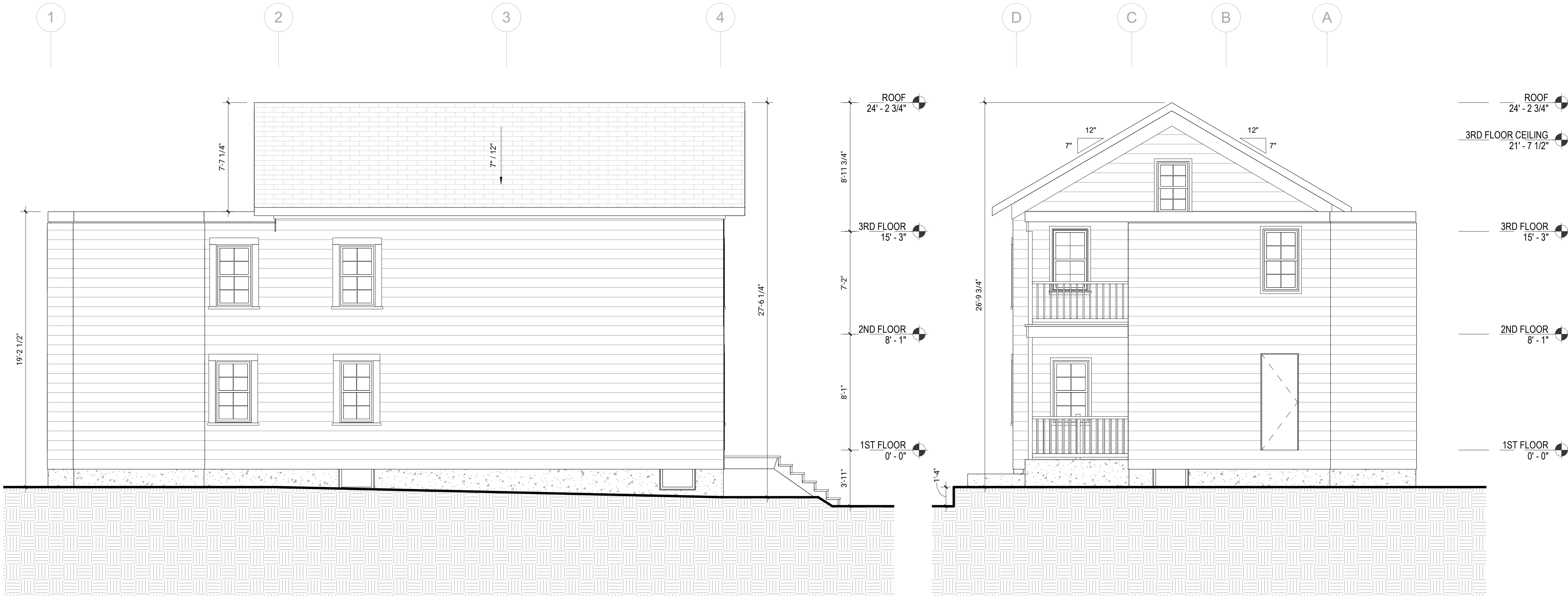
PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

EXISTING SOUTH &
WEST BUILDING
ELEVATIONS

EX202

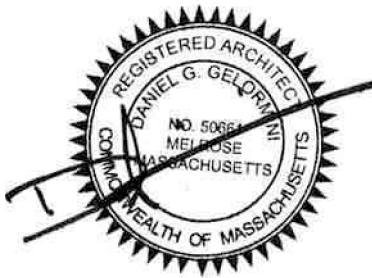


1 SOUTH - EXISTING ELEVATION
SCALE: 1/4" = 1'-0"

2 WEST - EXISTING ELEVATION
SCALE: 1/4" = 1'-0"

CONSULTANTS:

PERMIT SET



REVISIONS:

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PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

DEMOLITION
BASEMENT & 1ST
FLOOR PLAN

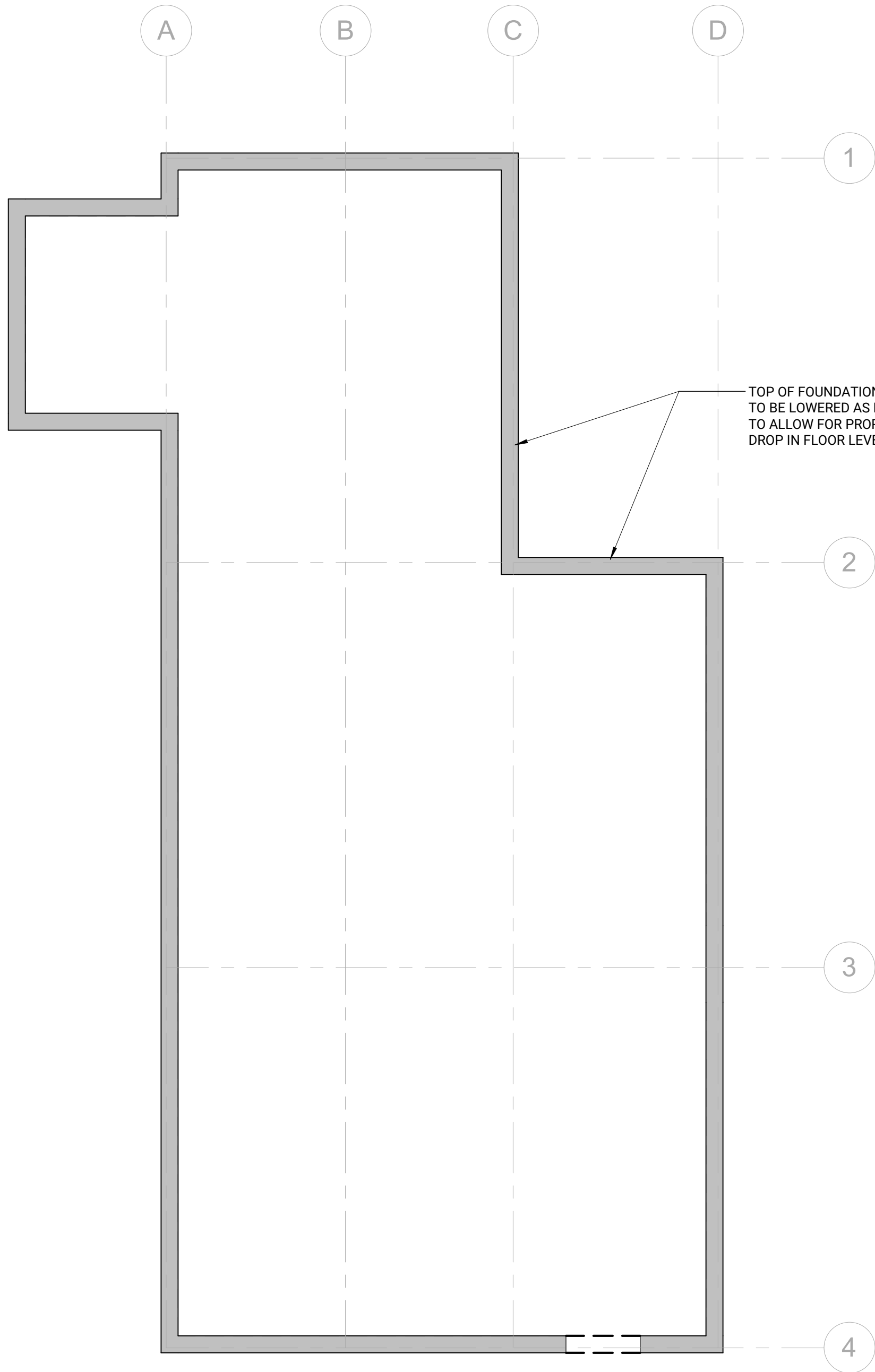
AD101

DEMOLITION PLAN GENERAL NOTES

1. I.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
2. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS PRIOR TO PROCEEDING.
3. THESE DEMOLITION DRAWINGS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNCOVER CONDITIONS, NOT SHOWN ON THESE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. SEE ALSO OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL, STRUCTURAL, MEFP, WHICH MAY ENCOMPASS FURTHER WORK REQUIRING DEMOLITION AND REMOVAL AND WHICH ARE HEREBY INCLUDED UNDER THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO PROCEEDING AND VERIFIED THE INFORMATION HEREIN SUPPLIED.
4. CUT ALL EDGES OF MATERIALS DURING DEMOLITION IN A MANNER SUITABLE FOR REPAIR AND MATCHING OF WORK.
5. CAP AND SHUT OFF ALL UNUSED OR RELOCATED UTILITIES. REFER TO MEP DRAWINGS & SPECS.
6. PROTECT ALL EXIST. WALLS, FLOORS, STAIRS, WINDOWS, RAILINGS AND CEILINGS TO REMAIN FROM ANY DAMAGE DURING DEMOLITION & CONSTRUCTION. G.C. RESPONSIBLE FOR ALL REPAIRS.
7. NO FRAMING, STRUCTURAL MEMBERS, OR BEARING ASSEMBLIES ARE TO BE MODIFIED, ALTERED, OR CUT WITHOUT NOTIFYING THE ARCHITECT.
8. SHORE EXISTING STRUCTURE, WHERE REQUIRED, DURING DEMOLITION AND CONSTRUCTION. DO NOT ENDANGER STRUCTURAL STABILITY OF THE BUILDING OR ANY PORTION OF THE BUILDING.
9. ALL LOOSE FURNISHINGS, PLANTS, PLANTERS AND EQUIPMENT LEFT IN PLACE PRIOR TO START OF DEMOLITION SHALL REMAIN THE PROPERTY OF THE OWNERS UNLESS OTHERWISE DIRECTED.
10. WHEN DEMOLITION INTERACTS WITH RATED CONSTRUCTION, USE CAUTION TO MAINTAIN INTEGRITY OF SUCH RATED CONSTRUCTION, PATCH & REPAIR.
11. G.C. TO COORDINATE WITH OWNER FOR ALL EXISTING TELE / DATA CABLING, JACKS, COVER PLATES, MUD RINGS, FLOOR MONUMENTS, & WALL BOXES TO BE REMOVED.
12. LEGALLY DISPOSE ALL ITEMS & DEBRIS REMOVED FROM BUILDING, U.O.N.
13. GENERAL CONTRACTOR TO PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS.
14. MAINTAIN COMPLETE LIFE SAFETY AND EGRESS REQUIREMENTS AT ALL TIMES DURING REMOVAL OPERATIONS. REFER AND COORDINATE WITH PHASING PLANS APPROVED BY OWNER.
15. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS. G.C. TO VERIFY, RECORD & COORDINATE ALL EXISTING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, TELE DATA & SECURITY SYSTEMS.

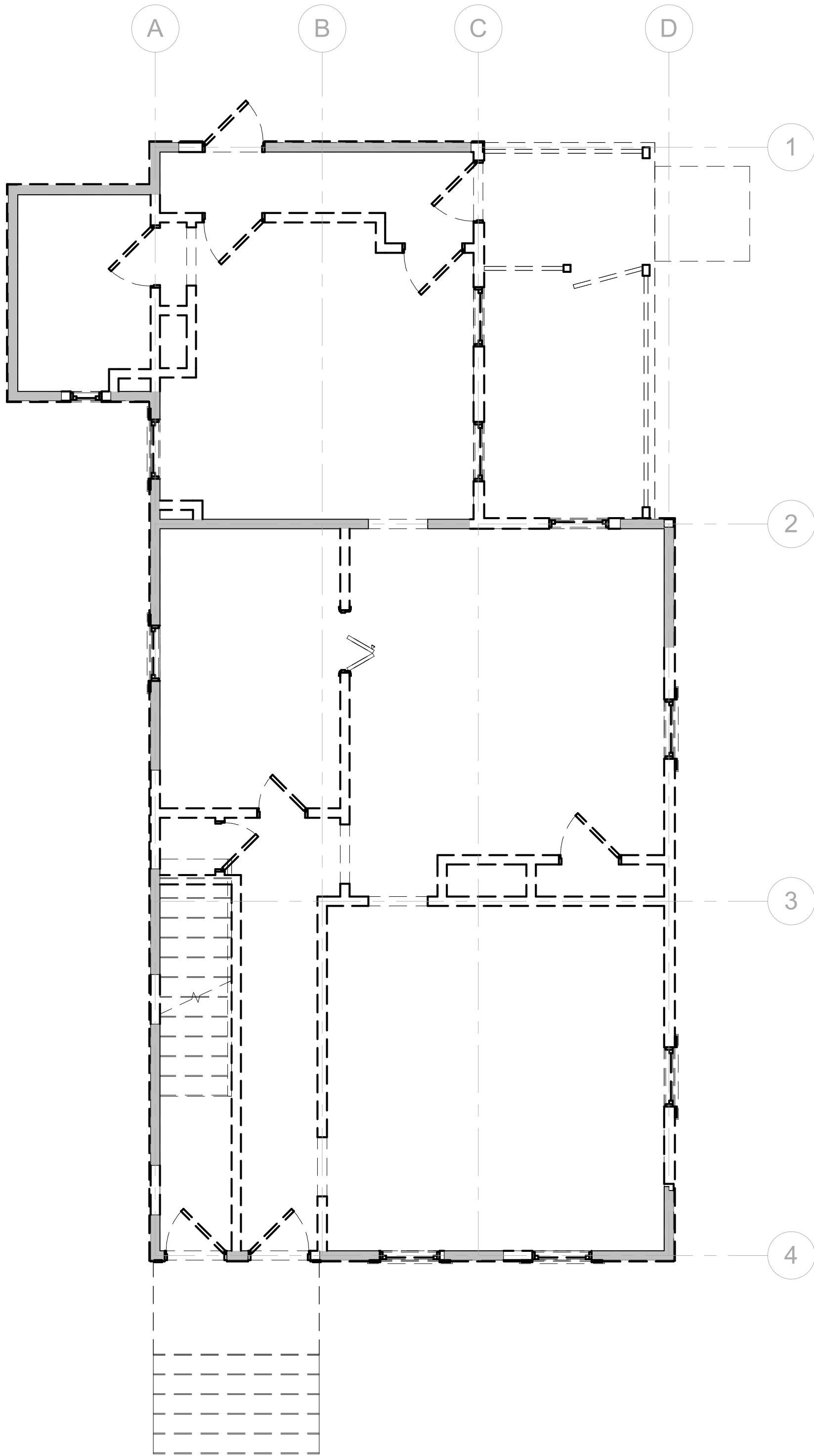
DEMOLITION PLAN LEGEND

- | | |
|--|---|
| | REMOVE ALL CONSTRUCTION SHOWN DASHED COMPLETE, U.O.N. |
| | EXISTING WALL OR PARTITION TO REMAIN, TYP U.O.N. |
| | REMOVE PORTION OF EXISTING WALL. SEE FLOORPLAN FOR LOCATION AND DIMENSION. TYP U.O.N. |
| | REMOVE EXISTING DOOR & FRAME COMPLETELY. |
| | EXISTING DOOR TO REMAIN, TYP U.O.N. |



1 BASEMENT - DEMO PLAN

SCALE: 1/4" = 1'-0"

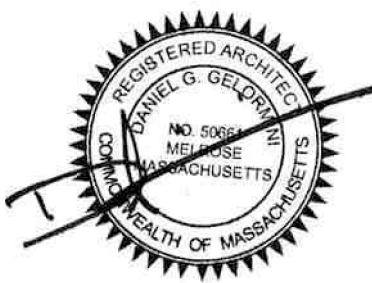


2 1ST FLOOR - DEMO PLAN

SCALE: 1/4" = 1'-0"

CONSULTANTS:

PERMIT SET



REVISIONS:

NO.	DESCRIPTION

PROJECT NAME:
57 PLEASANT ST

DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

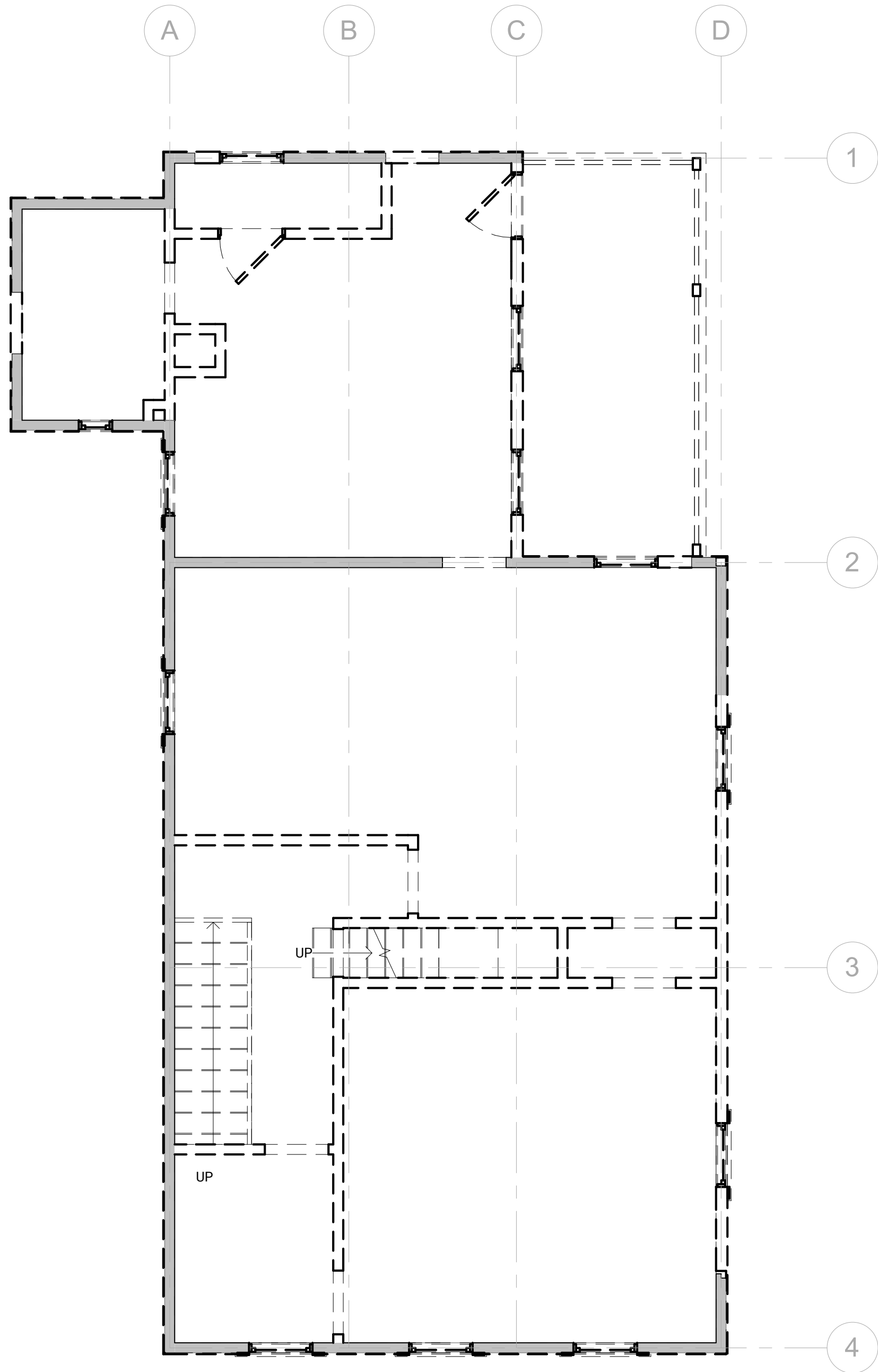
DEMOLITION 2ND & 3RD FLOOR PLAN

DEMOLITION PLAN GENERAL NOTES

1. I.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
2. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS PRIOR TO PROCEEDING.
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4. CUT ALL EDGES OF MATERIALS DURING DEMOLITION IN A MANNER SUITABLE FOR REPAIR AND MATCHING OF WORK.
5. CAP AND SHUT OFF ALL UNUSED OR RELOCATED UTILITIES. REFER TO MEP DRAWINGS & SPECS.
6. PROTECT ALL EXIST. WALLS, FLOORS, STAIRS, WINDOWS, RAILINGS AND CEILINGS TO REMAIN FROM ANY DAMAGE DURING DEMOLITION & CONSTRUCTION. G.C. RESPONSIBLE FOR ALL REPAIRS.
7. NO FRAMING, STRUCTURAL MEMBERS, OR BEARING ASSEMBLIES ARE TO BE MODIFIED, ALTERED, OR CUT WITHOUT NOTIFYING THE ARCHITECT.
8. SHORE EXISTING STRUCTURE, WHERE REQUIRED, DURING DEMOLITION AND CONSTRUCTION. DO NOT ENDANGER STRUCTURAL STABILITY OF THE BUILDING OR ANY PORTION OF THE BUILDING.
9. ALL LOOSE FURNISHINGS, PLANTS, PLANTERS AND EQUIPMENT LEFT IN PLACE PRIOR TO START OF DEMOLITION SHALL REMAIN THE PROPERTY OF THE OWNERS UNLESS OTHERWISE DIRECTED.
10. WHEN DEMOLITION INTERACTS WITH RATED CONSTRUCTION, USE CAUTION TO MAINTAIN INTEGRITY OF SUCH RATED CONSTRUCTION, PATCH & REPAIR.
11. G.C. TO COORDINATE WITH OWNER FOR ALL EXISTING TELE / DATA CABLING, JACKS, COVER PLATES, MUD RINGS, FLOOR MONUMENTS, & WALL BOXES TO BE REMOVED.
12. LEGALLY DISPOSE ALL ITEMS & DEBRIS REMOVED FROM BUILDING. U.O.N.
13. GENERAL CONTRACTOR TO PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS.
14. MAINTAIN COMPLETE LIFE SAFETY AND EGRESS REQUIREMENTS AT ALL TIMES DURING REMOVAL OPERATIONS. REFER AND COORDINATE WITH PHASING PLANS APPROVED BY OWNER.
15. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS. G.C. TO VERIFY, RECORD & COORDINATE ALL EXISTING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, TELE DATA & SECURITY SYSTEMS.

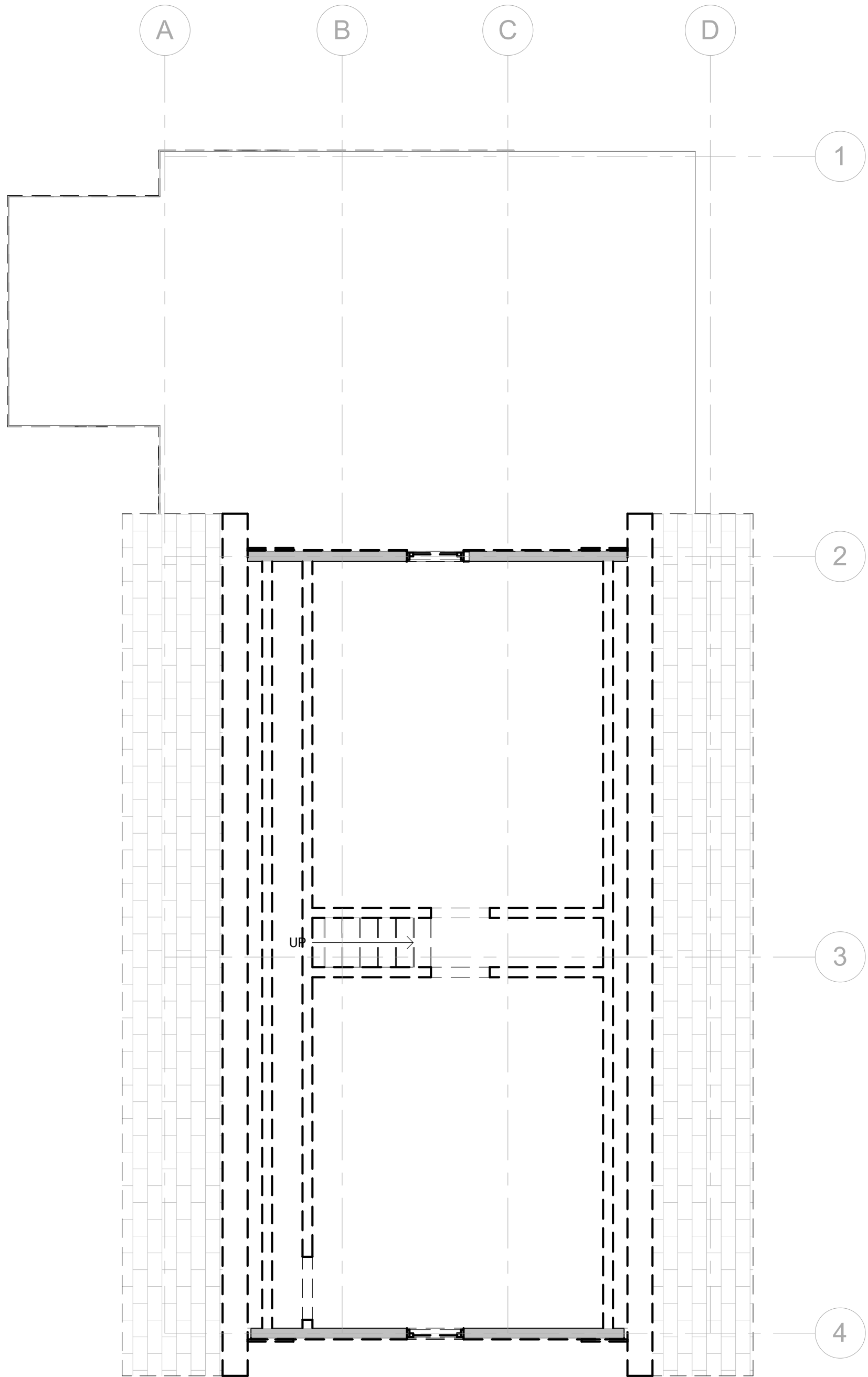
DEMOLITION PLAN LEGEND

- | | |
|--|---|
| | REMOVE ALL CONSTRUCTION SHOWN DASHED COMPLETE, U.O.N. |
| | EXISTING WALL OR PARTITION TO REMAIN, TYP U.O.N. |
| | REMOVE PORTION OF EXISTING WALL. SEE FLOORPLAN FOR LOCATION AND DIMENSION. TYP U.O.N. |
| | REMOVE EXISTING DOOR & FRAME COMPLETELY. |
| | EXISTING DOOR TO REMAIN, TYP U.O.N. |



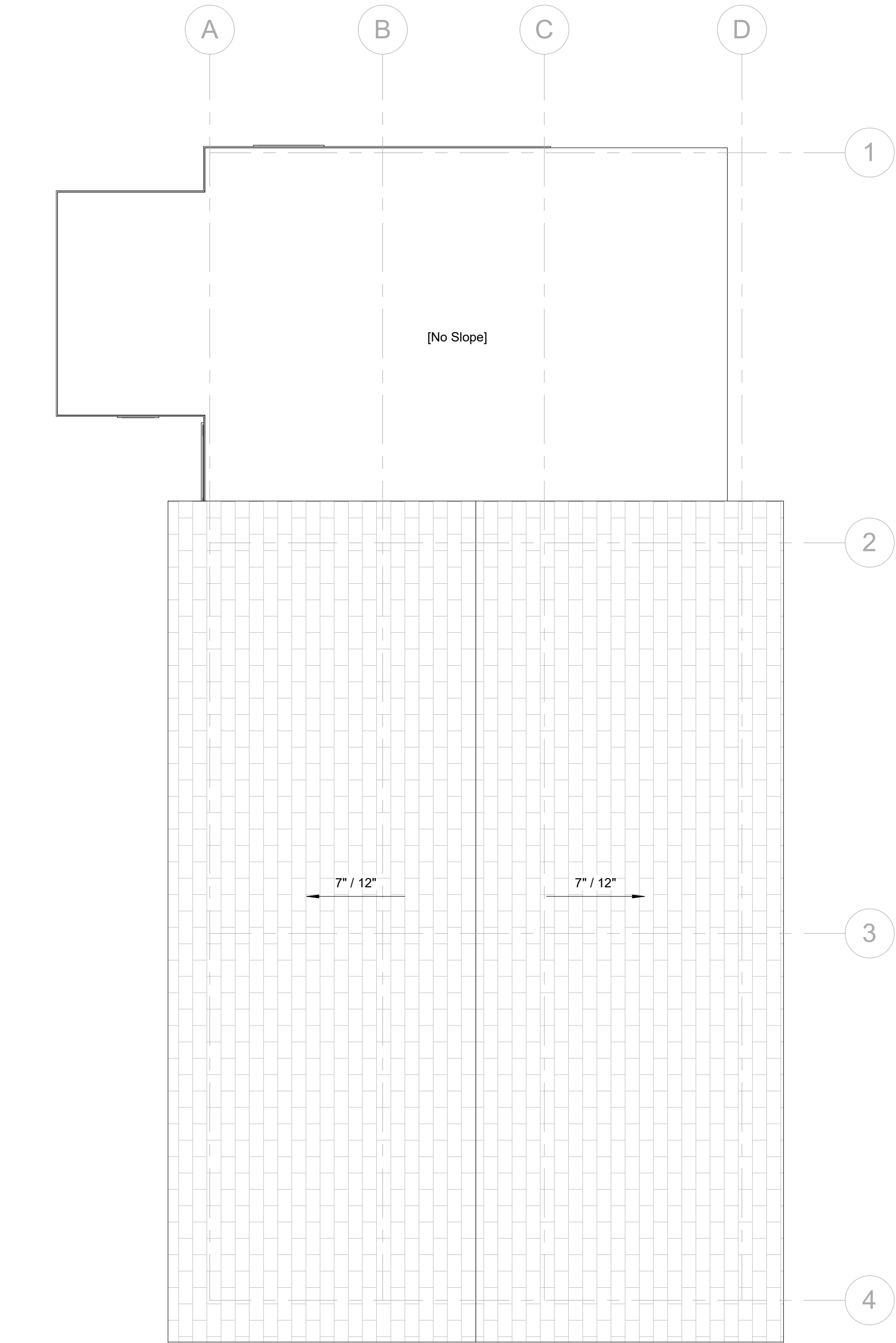
1 2ND FLOOR - DEMO PLAN

SCALE: 1/4" = 1'-0"



2 3RD FLOOR - DEMO PLAN

SCALE: 1/4" = 1'-0"



1 ROOF - DEMO PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN GENERAL NOTES

- 1. 1.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
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- 11. G.C. TO COORDINATE WITH OWNER FOR ALL EXISTING TELE / DATA CABLING, JACKS, COVER PLATES, MUD RINGS, FLOOR MONUMENTS, & WALL BOXES TO BE REMOVED.
- 12. LEGALLY DISPOSE ALL ITEMS & DEBRIS REMOVED FROM BUILDING, U.O.N.
- 13. GENERAL CONTRACTOR TO PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS.
- 14. MAINTAIN COMPLETE LIFE SAFETY AND EGRESS REQUIREMENTS AT ALL TIMES DURING REMOVAL OPERATIONS. REFER AND COORDINATE WITH PHASING PLANS APPROVED BY OWNER.
- 15. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS. G.C. TO VERIFY, RECORD & COORDINATE ALL EXISTING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, TELE DATA & SECURITY SYSTEMS.

DEMOLITION PLAN LEGEND

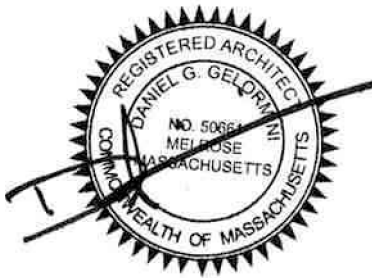
- REMOVE ALL CONSTRUCTION SHOWN DASHED COMPLETE, U.O.N.
- [Solid Line] EXISTING WALL OR PARTITION TO REMAIN, TYP U.O.N.
- [Dashed Line] REMOVE PORTION OF EXISTING WALL. SEE FLOORPLAN FOR LOCATION AND DIMENSION. TYP U.O.N.
- [Solid Line with Arc] REMOVE EXISTING DOOR & FRAME COMPLETELY.
- [Solid Line with Arc] EXISTING DOOR TO REMAIN, TYP U.O.N.

MFDS
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CONSULTANTS:

PERMIT SET



REVISIONS:

PROJECT NAME:
57 PLEASANT ST

DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

ROOF DEMOLITION PLAN

AD103

CONSTRUCTION PLAN GENERAL NOTES

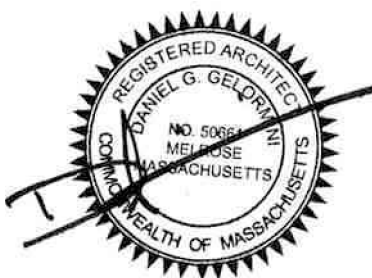
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CONSULTANTS:

PERMIT SET



REVISIONS:

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

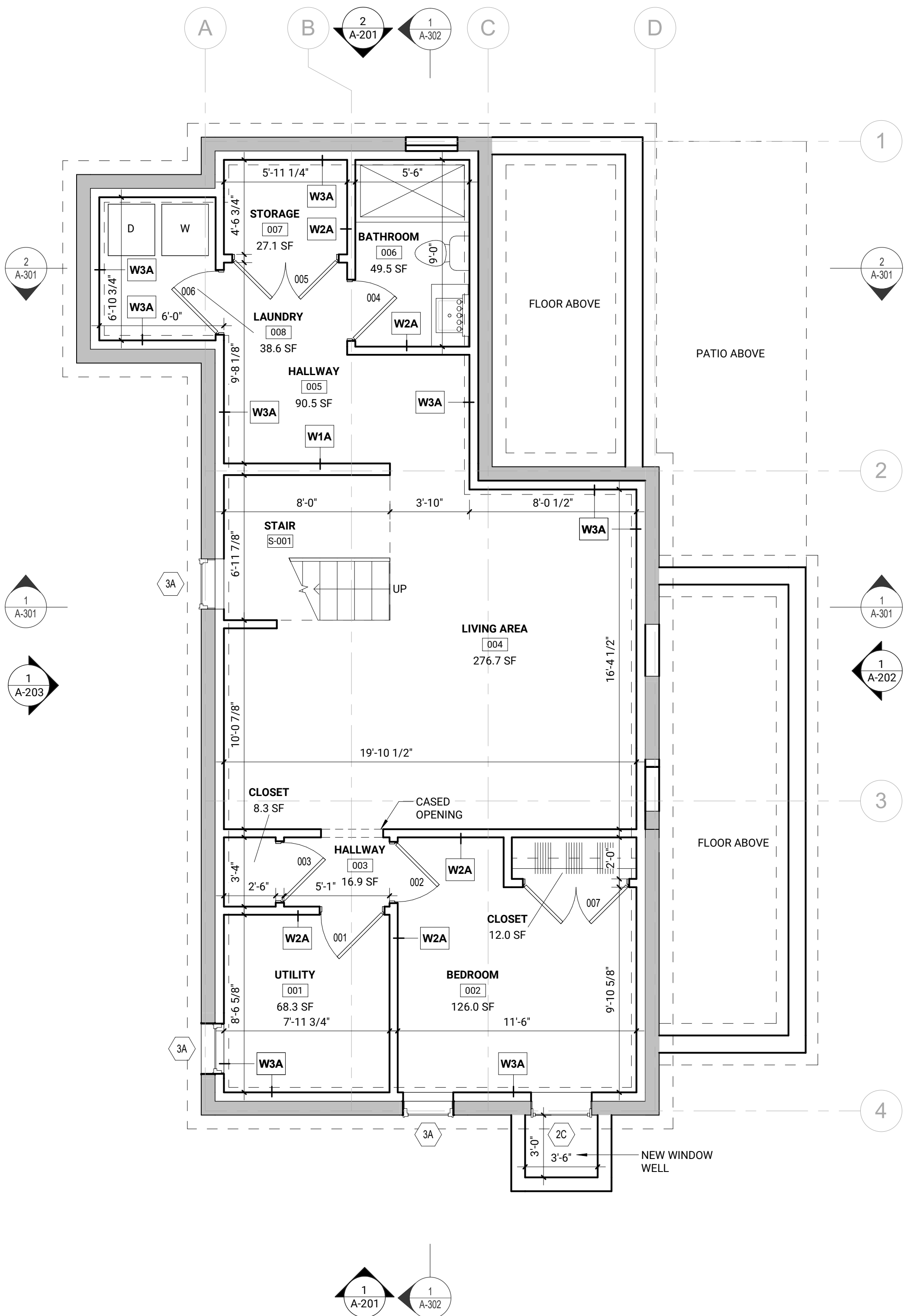
PROJECT #: 19006

SCALE: 1/4" = 1'-0"

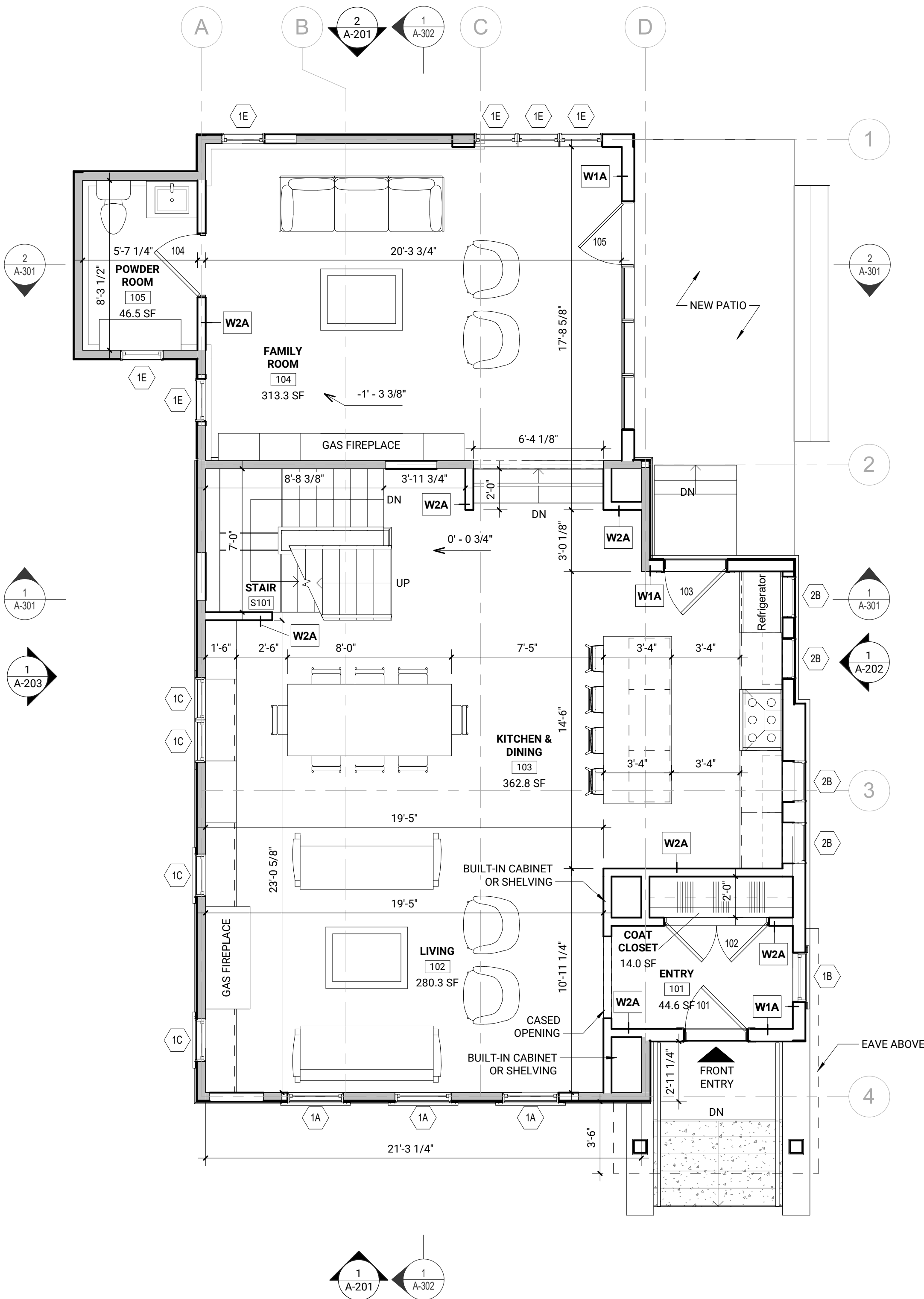
DRAWN BY: EAD

BASEMENT & 1ST
FLOOR CONSTRUCTION
PLAN

A-101



1 BASEMENT - PROPOSED
SCALE: 1/4" = 1'-0"



2 1ST FLOOR - CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

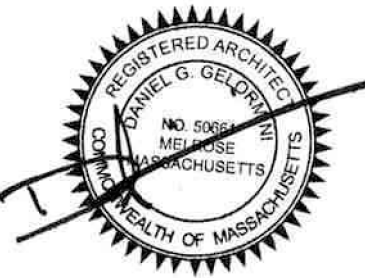
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CONSULTANTS:

PERMIT SET



REVISIONS:

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

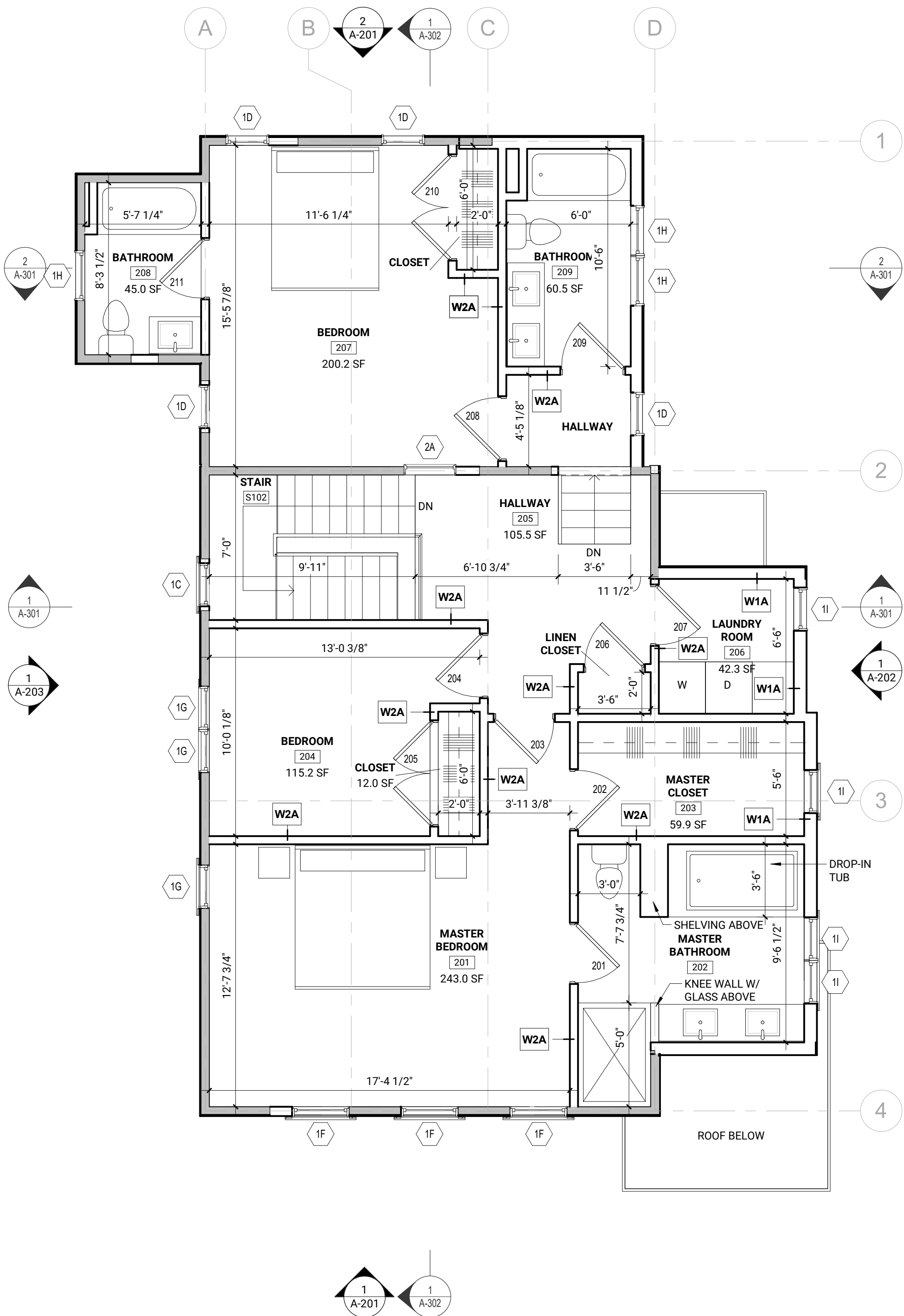
PROJECT #: 19006

SCALE: 1/4" = 1'-0"

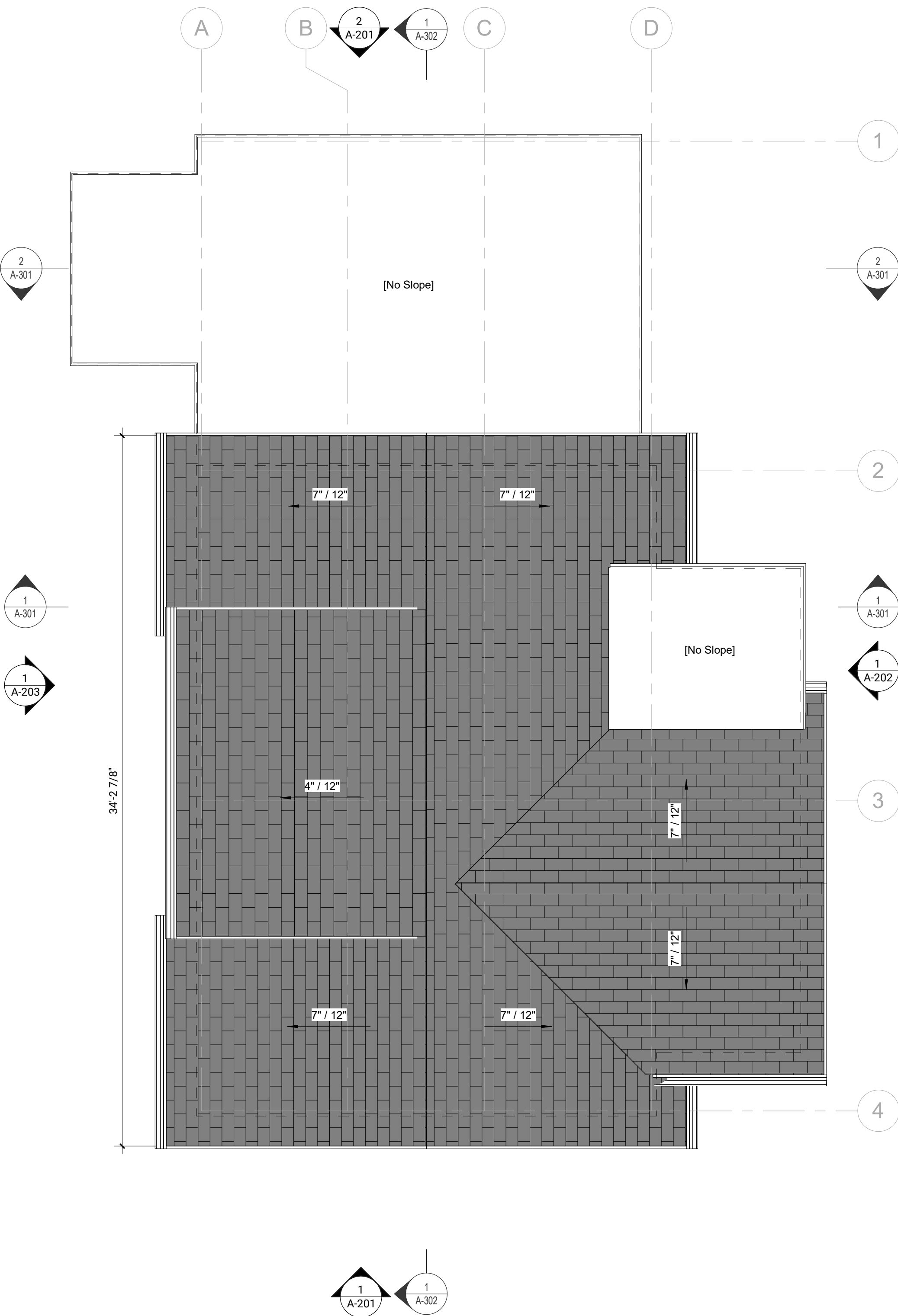
DRAWN BY: EAD

2ND FLOOR & ROOF
CONSTRUCTION PLAN

A-102



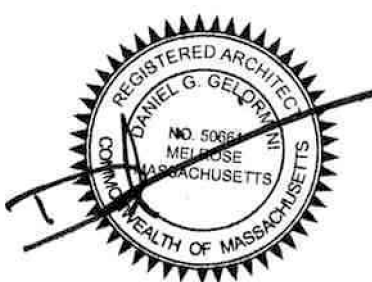
1 2ND FLOOR (T.O.S) - PROPOSED
SCALE: 1/4" = 1'-0"



2 ROOF - CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

CONSULTANTS:

PERMIT SET



REVISIONS:

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

BASEMENT & 1ST
FLOOR REFLECTED
CEILING PLAN

A-121

CEILING PLAN GENERAL NOTES

1. I.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
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SMOKE & CARBON MONOXIDE ALARMS

SMOKE ALARMS

Smoke detection and notification. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.

Smoke detection systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification device(s), it shall become a permanent fixture of the occupancy and owned by the homeowner. The system shall be monitored by an approved supervising station and be maintained in accordance with NFPA 72. Exception: Where smoke alarms are provided meeting the requirements of Section R314.4.

Location. Smoke alarms shall be installed in the following locations:

1. In each sleeping room.
2. Outside each separate sleeping area within 10'-0" of each bedroom door.
3. On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
4. In the immediate vicinity of each gas fireplace
5. At the bottom of each stair
6. A heat sensor shall be provided in each garage space

When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

CARBON MONOXIDE ALARMS

Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

Alarm requirements. Single station carbon monoxide alarms shall be listed as complying with UL 2034 and shall be installed in accordance with this code and the manufacturer's installation instructions.

Where alterations, repairs or additions requiring a permit occur, or where one or more sleeping rooms are added or created in existing dwellings, the individual dwelling unit shall be equipped with carbon monoxide alarms located as required for new dwellings.

CEILING PLAN LEGEND

FIRE PROTECTION AND ALARM FIXTURES:

- SYSTEM SMOKE DETECTOR COMBINATION SMOKE/CARBON MONOXIDE ALARM

REFER TO FIRE PROTECTION OR ALARM DRAWINGS FOR MORE DETAIL

CEILING LEGEND:

- NEW GWB CEILING CEILING HEIGHT TAG (AFF.)
- NO CEILING - EXPOSED TO STRUCTURE (SEE FINISH SCHEDULE FOR EXPOSED ITEMS TO BE PAINTED)

LIGHTING FIXTURES:

- LR1 RECESSED FIXTURE
LP1 PENDNAT FIXTURE
LW1 WALL FIXTURE
X EXIT SIGN CEILING MOUNTED
X EXIT SIGN WALL MOUNTED

LIGHTING FIXTURES, "LR1" REPRESENTS TYPE (REFER TO FIXTURE SCHEDULE) AND "a" REPRESENTS FIXTURE CONTROLLED BY SWITCH "a".

- LIGHTING FIXTURE PROVIDED WITH EMERGENCY BATTERY BALLAST OR WIRED TO EMERGENCY LIGHTING CIRCUIT. "NL" DENOTES UNSWITCHED FIXTURE TO REMAIN ON AS "NIGHT LIGHT".

SWITCHING DESIGNATIONS:

- S SINGLE POLE SWITCH MOUNTED 4'-0" AFF.
S² TWO POLE SWITCH MOUNTED 4'-0" AFF.
S³ THREE WAY SWITCH MOUNTED 4'-0" AFF.
S⁰ DIMMER SWITCH MOUNTED 4'-0" AFF.

SWITCH SYMBOL KEY:

- S³ SWITCH TYPE
S² FIXTURE CONTROL RELATIONSHIP

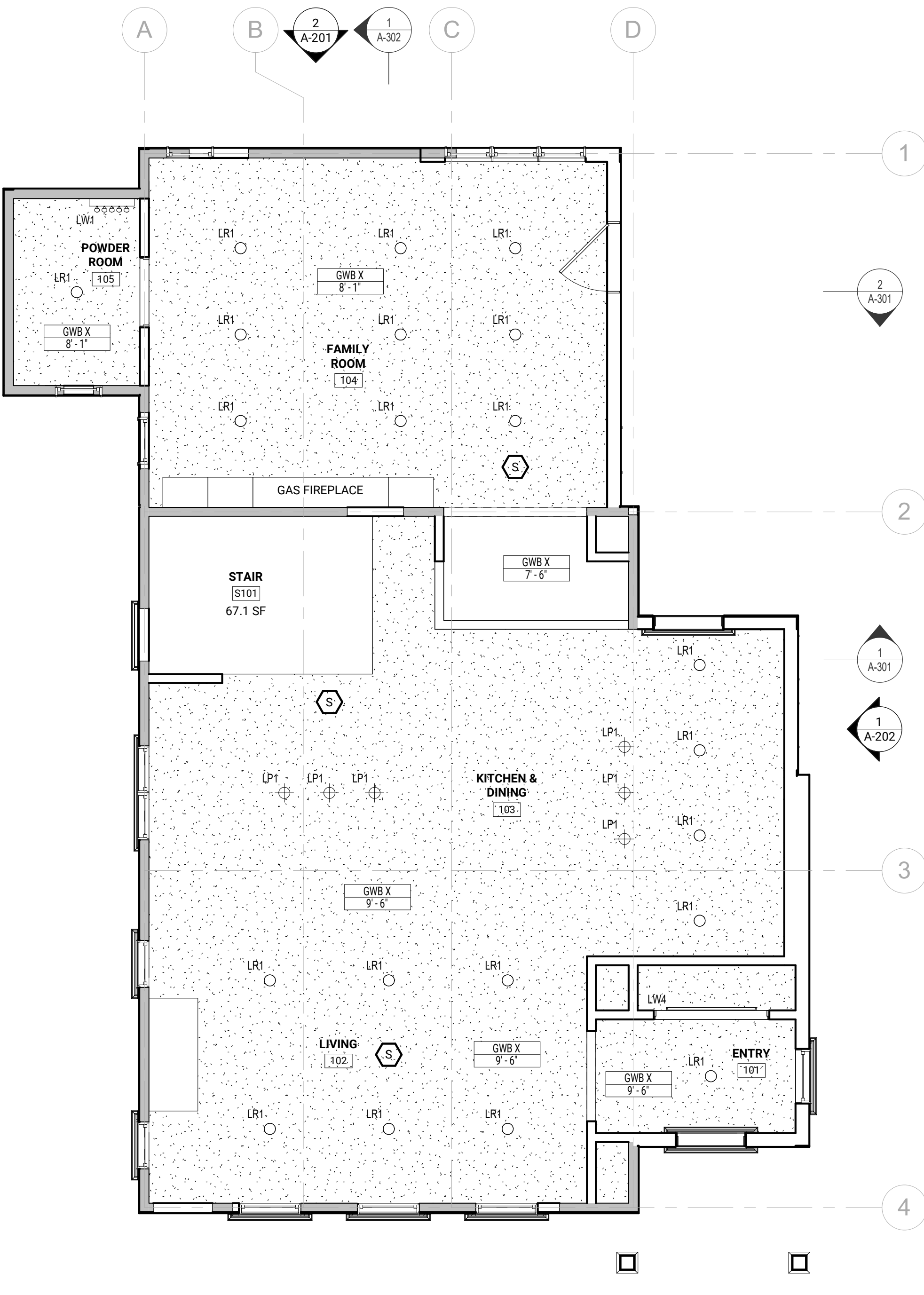
FIXTURE TYPE KEY:

- LR1 FIXTURE TYPE
MOUNTING TYPE:
R - RECESSED
S - SURFACE
W - WALL
LAMP TYPE:
F - FLUORESCENT
H - H.I.D.
P - PENDNAT
T - TRACK POST TOP
X - EXIT
L - LED
I - INCANDESCENT



1 BASEMENT CEILING PLAN - PROPOSED

SCALE: 1/4" = 1'-0"

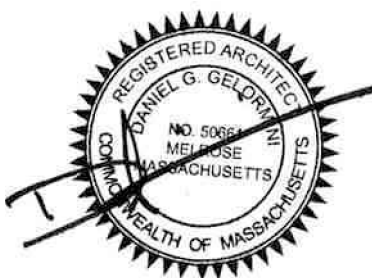


2 1ST FLOOR CEILING PLAN - PROPOSED

SCALE: 1/4" = 1'-0"

CONSULTANTS:

PERMIT SET



REVISIONS:

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

2ND FLOOR
REFLECTED CEILING
PLAN

A-122

CEILING PLAN GENERAL NOTES

1. I.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
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SMOKE & CARBON MONOXIDE ALARMS

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4. In the immediate vicinity of each gas fireplace
5. At the bottom of each stair
6. A heat sensor shall be provided in each garage space

When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

CARBON MONOXIDE ALARMS

Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

Alarm requirements. Single station carbon monoxide alarms shall be listed as complying with UL 2034 and shall be installed in accordance with this code and the manufacturer's installation instructions.

Where alterations, repairs or additions requiring a permit occur, or where one or more sleeping rooms are added or created in existing dwellings, the individual dwelling unit shall be equipped with carbon monoxide alarms located as required for new dwellings.

CEILING PLAN LEGEND

FIRE PROTECTION AND ALARM FIXTURES:

- SYSTEM SMOKE DETECTOR COMBINATION SMOKE/CARBON MONOXIDE ALARM

REFER TO FIRE PROTECTION OR ALARM DRAWINGS FOR MORE DETAIL

CEILING LEGEND:

- NEW GWB CEILING CEILING HEIGHT TAG (AFF.)
- NO CEILING - EXPOSED TO STRUCTURE (SEE FINISH SCHEDULE FOR EXPOSED ITEMS TO BE PAINTED)

LIGHTING FIXTURES:

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X EXIT SIGN CEILING MOUNTED
X EXIT SIGN WALL MOUNTED

LIGHTING FIXTURES, "LR1" REPRESENTS TYPE (REFER TO FIXTURE SCHEDULE) AND "a" REPRESENTS FIXTURE CONTROLLED BY SWITCH "a".

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SWITCHING DESIGNATIONS:

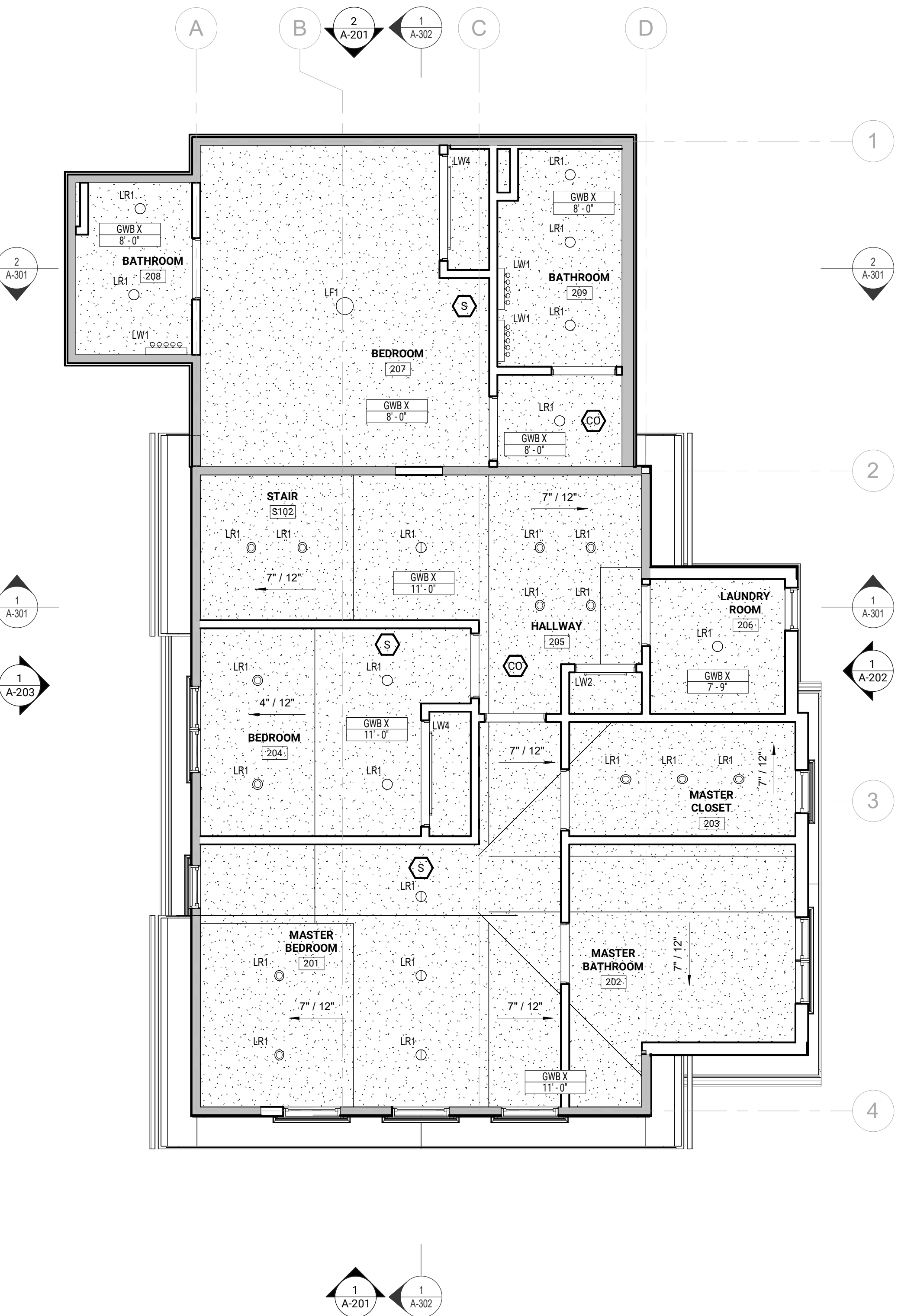
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SWITCH SYMBOL KEY:

- S³ SWITCH TYPE
S² FIXTURE CONTROL RELATIONSHIP

FIXTURE TYPE KEY:

- LR1 FIXTURE TYPE
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W - WALL
LAMP TYPE:
F - FLUORESCENT
H - H.I.D.
- P - PENDNAT
T - TRACK POST TOP
X - EXIT
L - LED
I - INCANDESCENT



1 2ND FLOOR CEILING PLAN - PROPOSED

SCALE: 1/4" = 1'-0"

CONSTRUCTION ELEVATION GENERAL NOTES

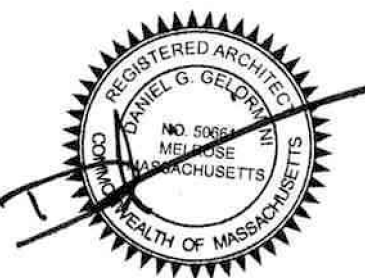
1. I.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
2. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS PRIOR TO PROCEEDING.
3. THESE CONSTRUCTION DRAWINGS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNCOVER CONDITIONS, NOT SHOWN ON THESE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. SEE ALSO OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL, STRUCTURAL, MEFP, WHICH MAY ENCOMPASS FURTHER WORK REQUIRING DEMOLITION AND REMOVAL AND WHICH ARE HEREBY INCLUDED UNDER THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO PROCEEDING AND VERIFIED THE INFORMATION HEREIN SUPPLIED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS. G.C. TO VERIFY, RECORD & COORDINATE ALL EXISTING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, TELE DATA & SECURITY SYSTEMS.

MF
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A+P

650 COLUMBUS AVE. STE. A
BOSTON MA, 02118
T: 617-606-4496
WWW.MFDS-BOS.COM

CONSULTANTS:

PERMIT SET



REVISIONS:

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

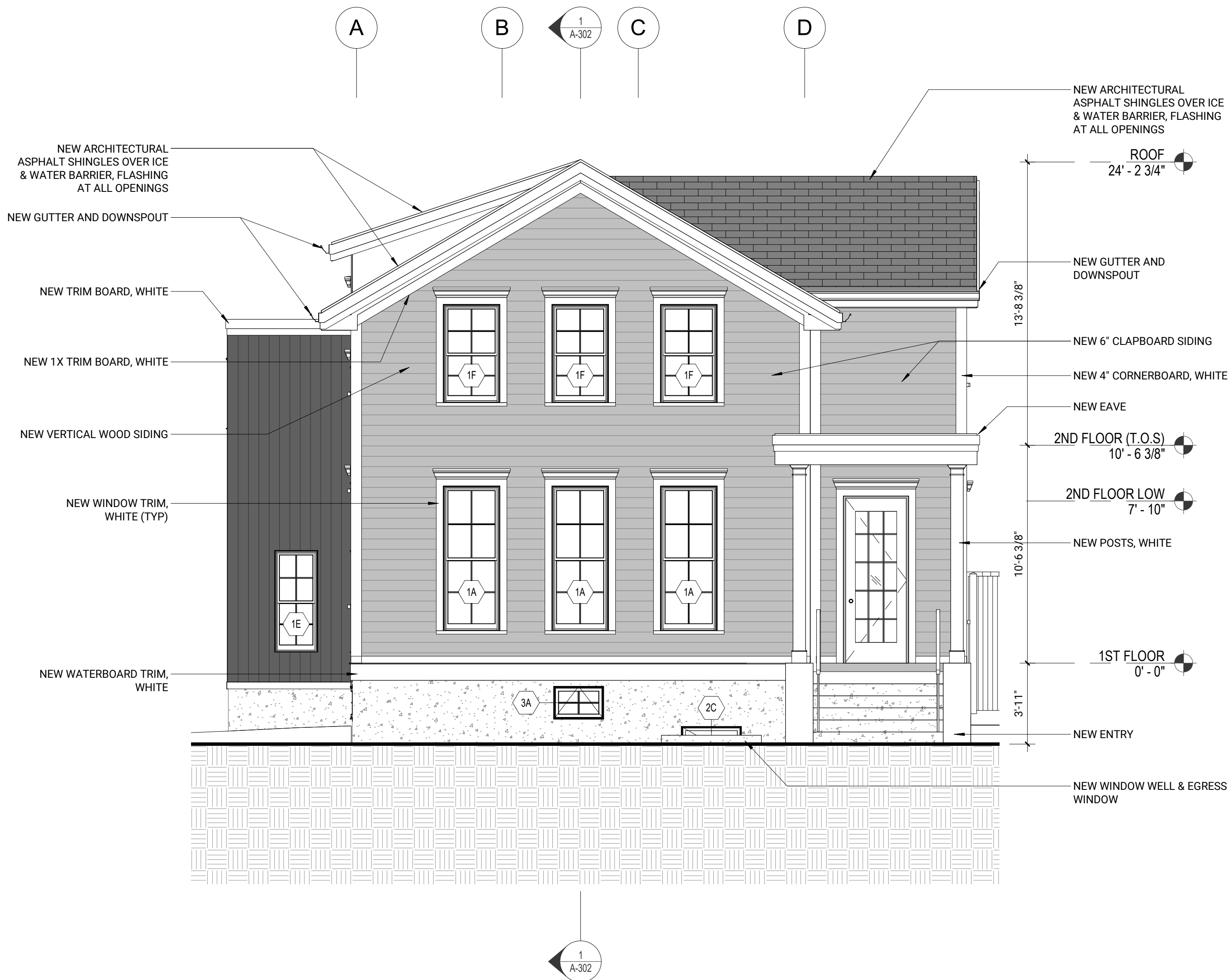
PROJECT #: 19006

SCALE: 1/4" = 1'-0"

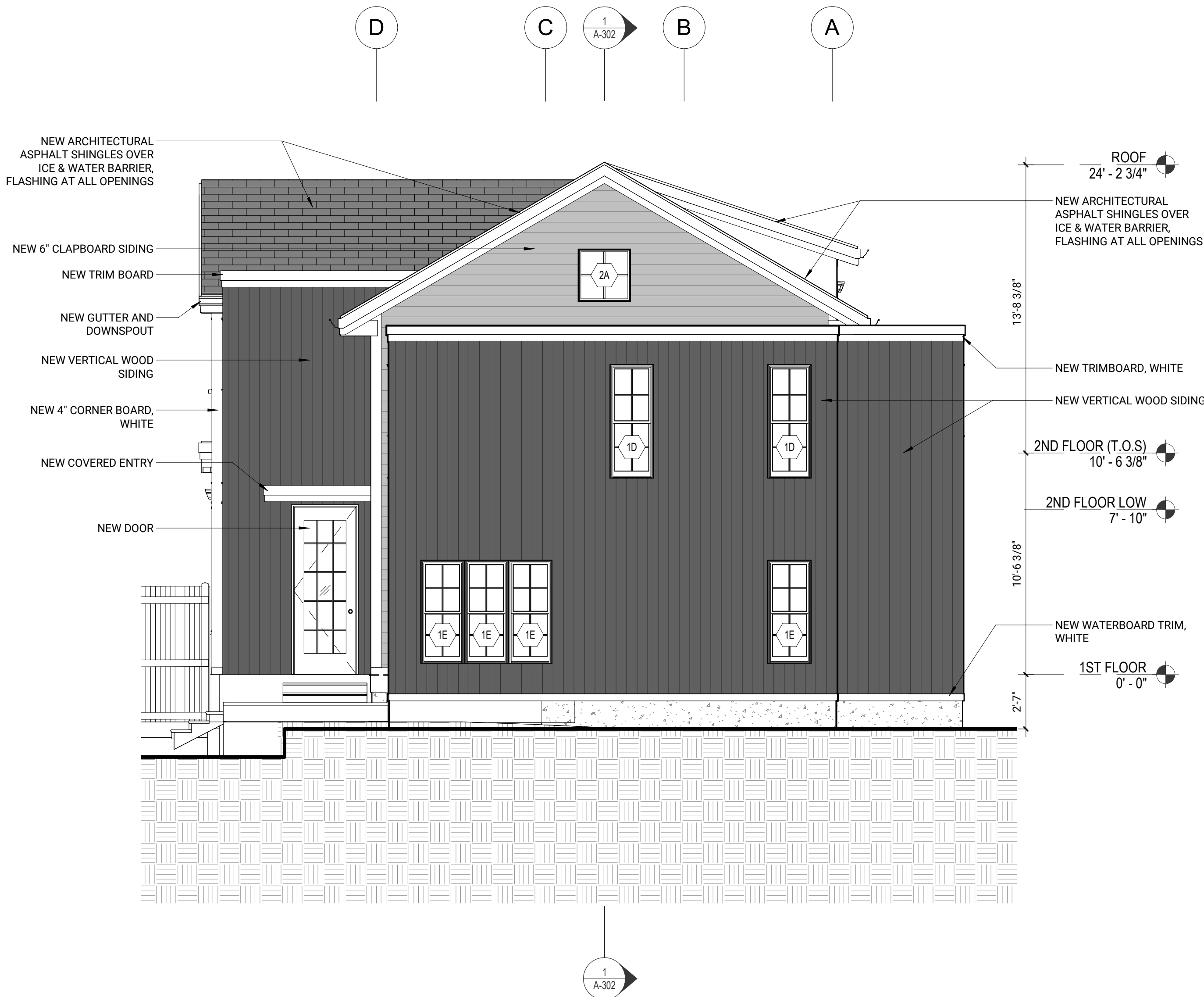
DRAWN BY: EAD

EAST & WEST
BUILDING ELEVATION

A-201



1 EAST - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"

CONSTRUCTION ELEVATION GENERAL NOTES

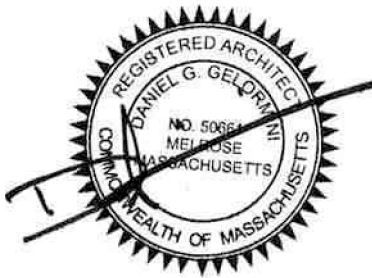
1. 1.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
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CONSULTANTS:

PERMIT SET



REVISIONS:

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

NORTH BUILDING
ELEVATION

A-202



1 NORTH - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"

CONSTRUCTION ELEVATION GENERAL NOTES

1. 1.G.C. TO REFER TO ALL DRAWINGS AND OTHER DOCUMENTS TO DETERMINE AND DEVELOP SEQUENCING, PHASING, AND DEMOLITION PROCEDURES FOR OWNER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH DEMOLITION.
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CONSULTANTS:

PERMIT SET



REVISIONS:

PROJECT NAME:

57
PLEASANT
ST

DATE ISSUED: 4/13/2020

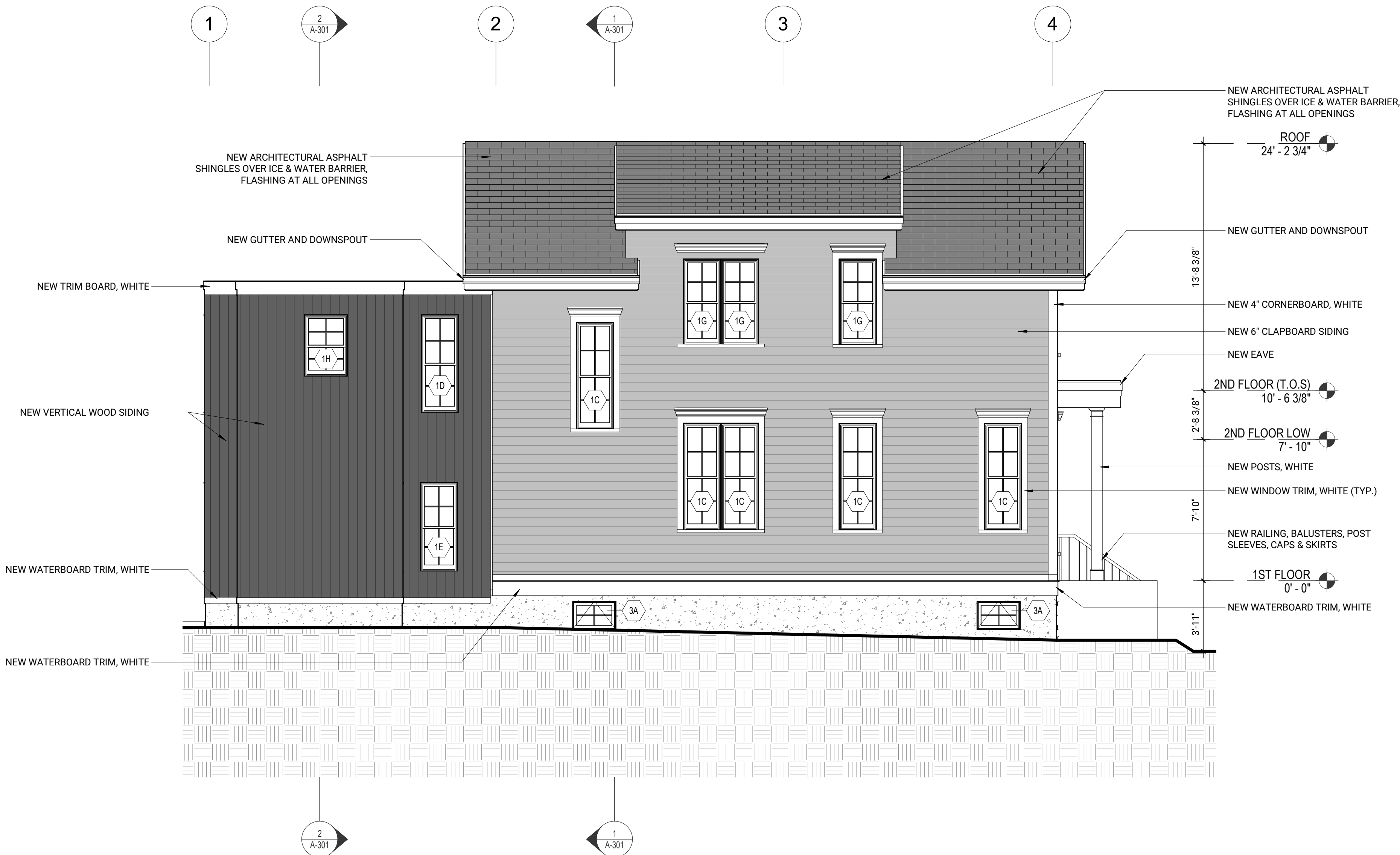
PROJECT #: 19006

SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

SOUTH BUILDING
ELEVATION

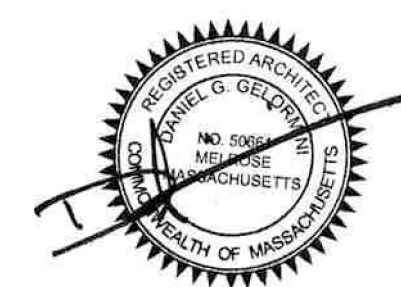
A-203



1 SOUTH - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"

CONSULTANTS:

PERMIT SET



REVISIONS:

PROJECT NAME:

**57
PLEASANT
ST**

DATE ISSUED: 4/13/2020

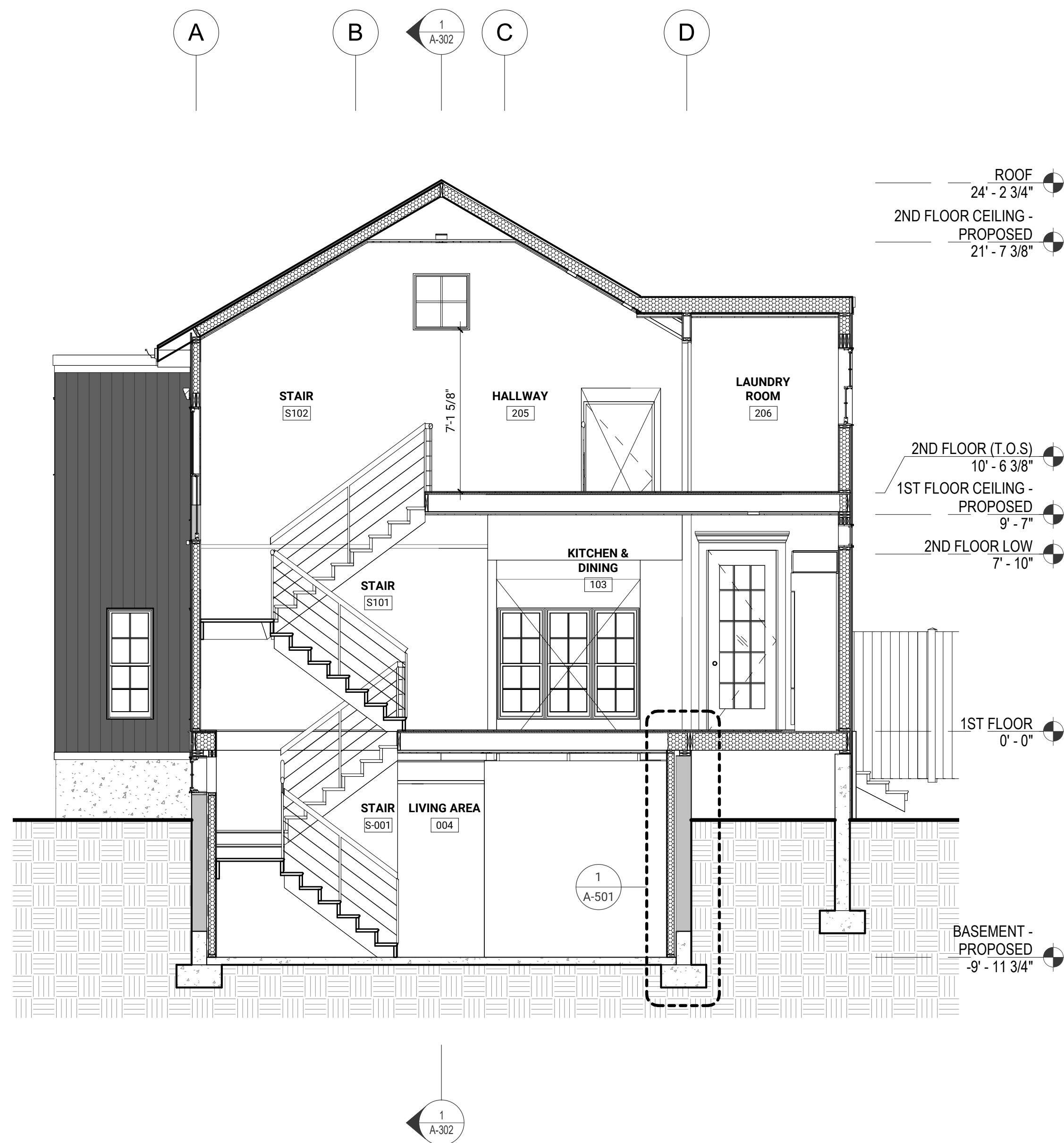
PROJECT #: 19006

SCALE: 1/4" = 1'-0"

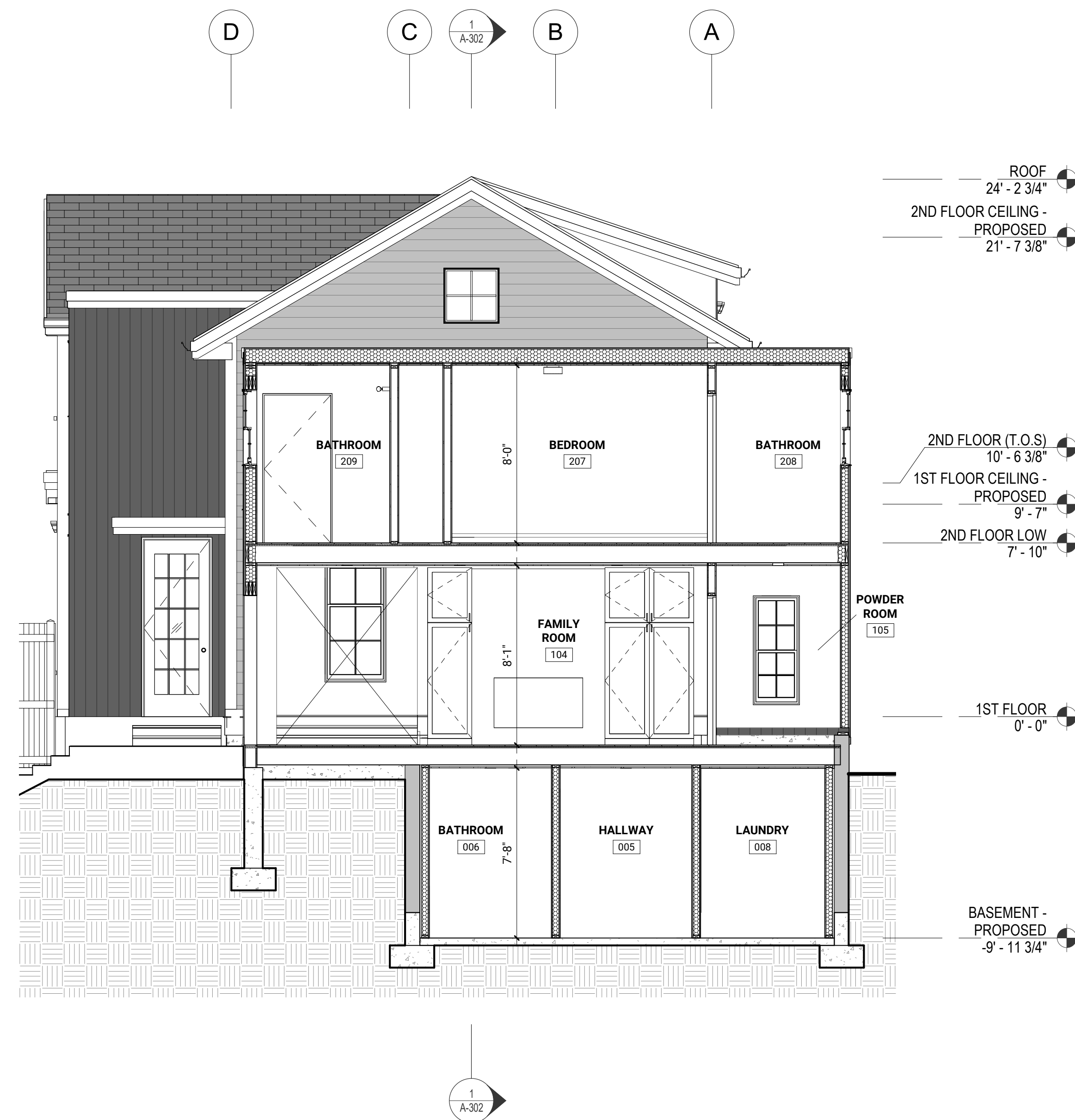
DRAWN BY: EAD

EAST & WEST
BUILDING SECTION

A-301



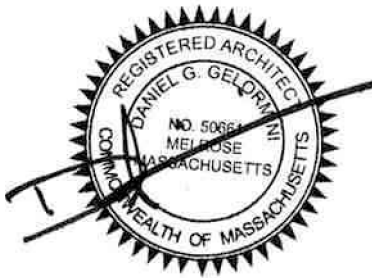
1 EAST BUILDING SECTION - PROPOSED
SCALE: 1/4" = 1'-0"



2 WEST BUILDING SECTION - PROPOSED
SCALE: 1/4" = 1'-0"

CONSULTANTS:

PERMIT SET



REVISIONS:

NO.	DESCRIPTION

PROJECT NAME:
**57
PLEASANT
ST**

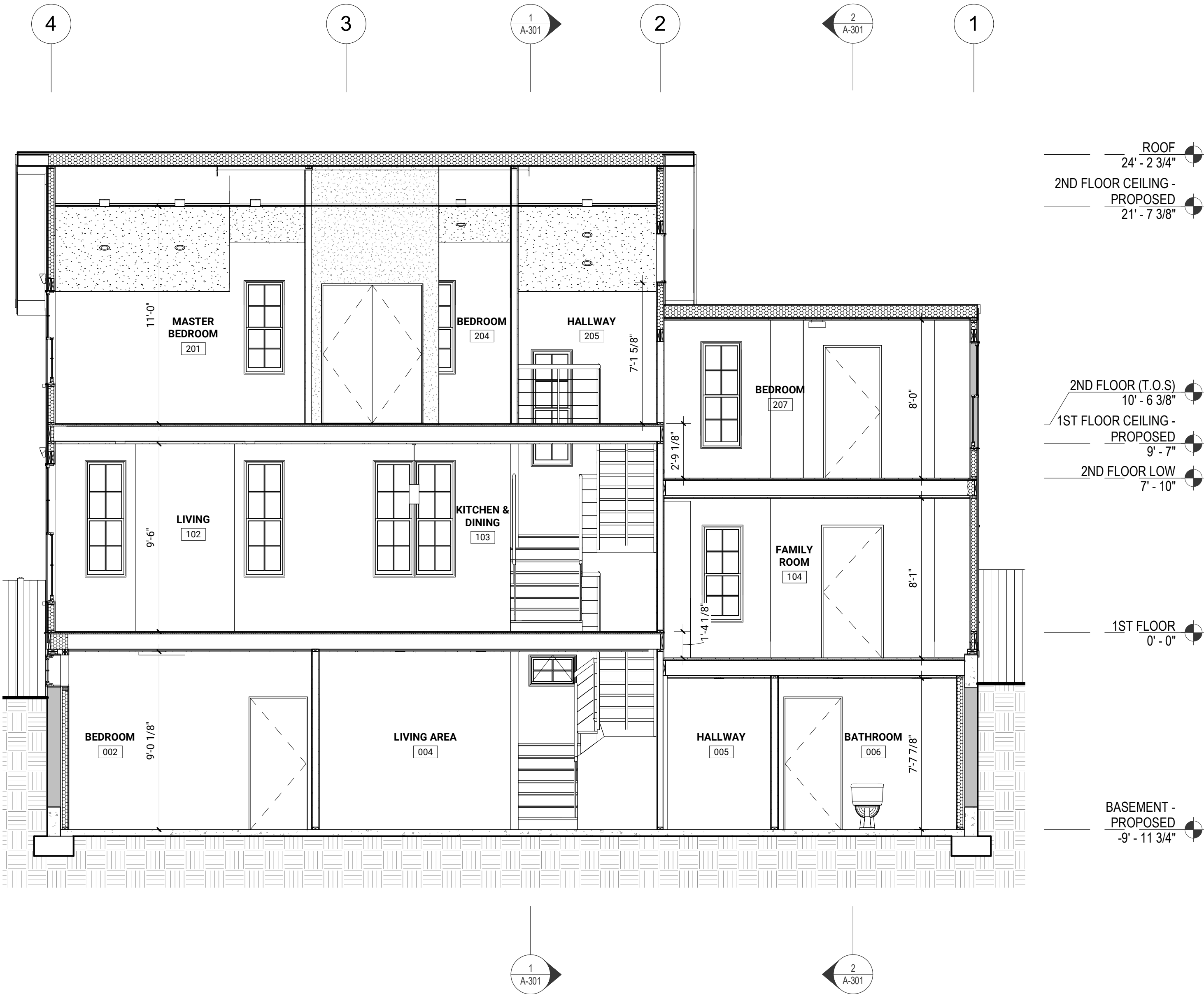
DATE ISSUED: 4/13/2020

PROJECT #: 19006

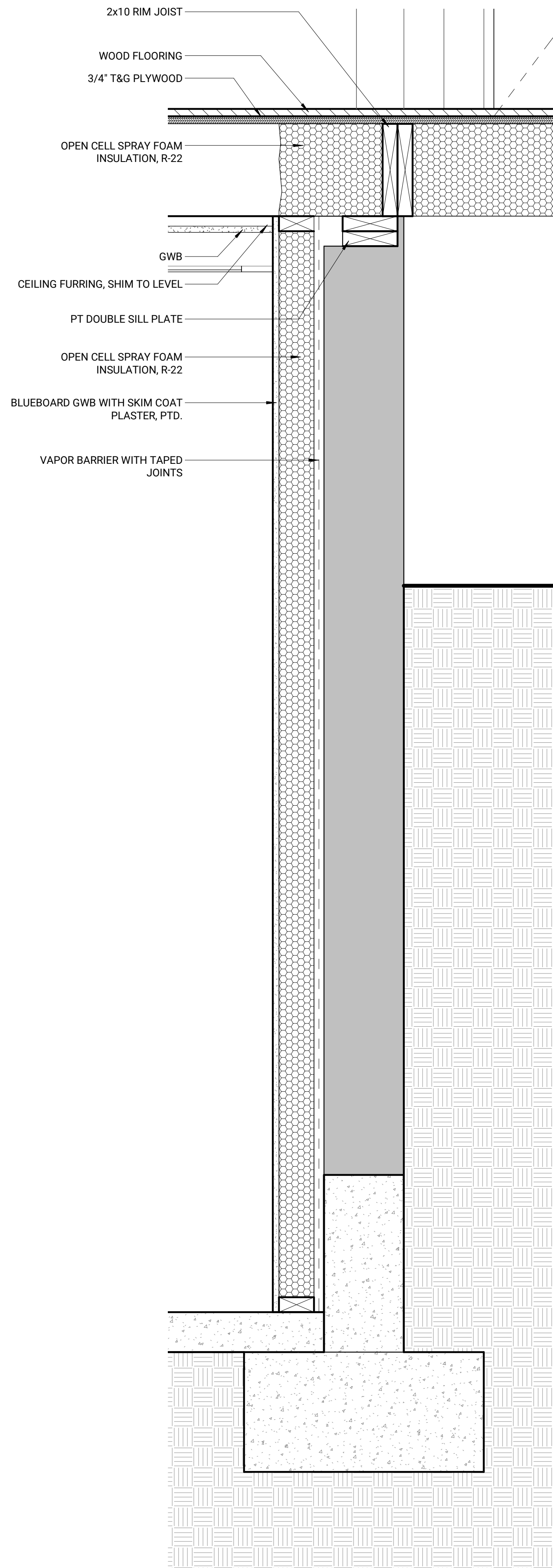
SCALE: 1/4" = 1'-0"

DRAWN BY: EAD

NORTH BUILDING
SECTION



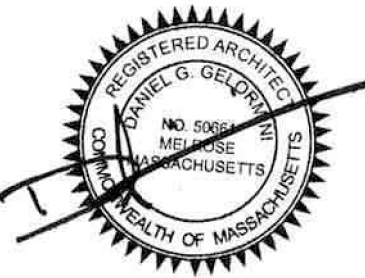
1 NORTH BUILDING SECTION - PROPOSED
SCALE: 1/4" = 1'-0"



1 FOUNDATION DETAIL
SCALE: 1 1/2" = 1'-0"

CONSULTANTS:

PERMIT SET



REVISIONS:

PROJECT NAME:
57 PLEASANT ST

DATE ISSUED: 4/13/2020

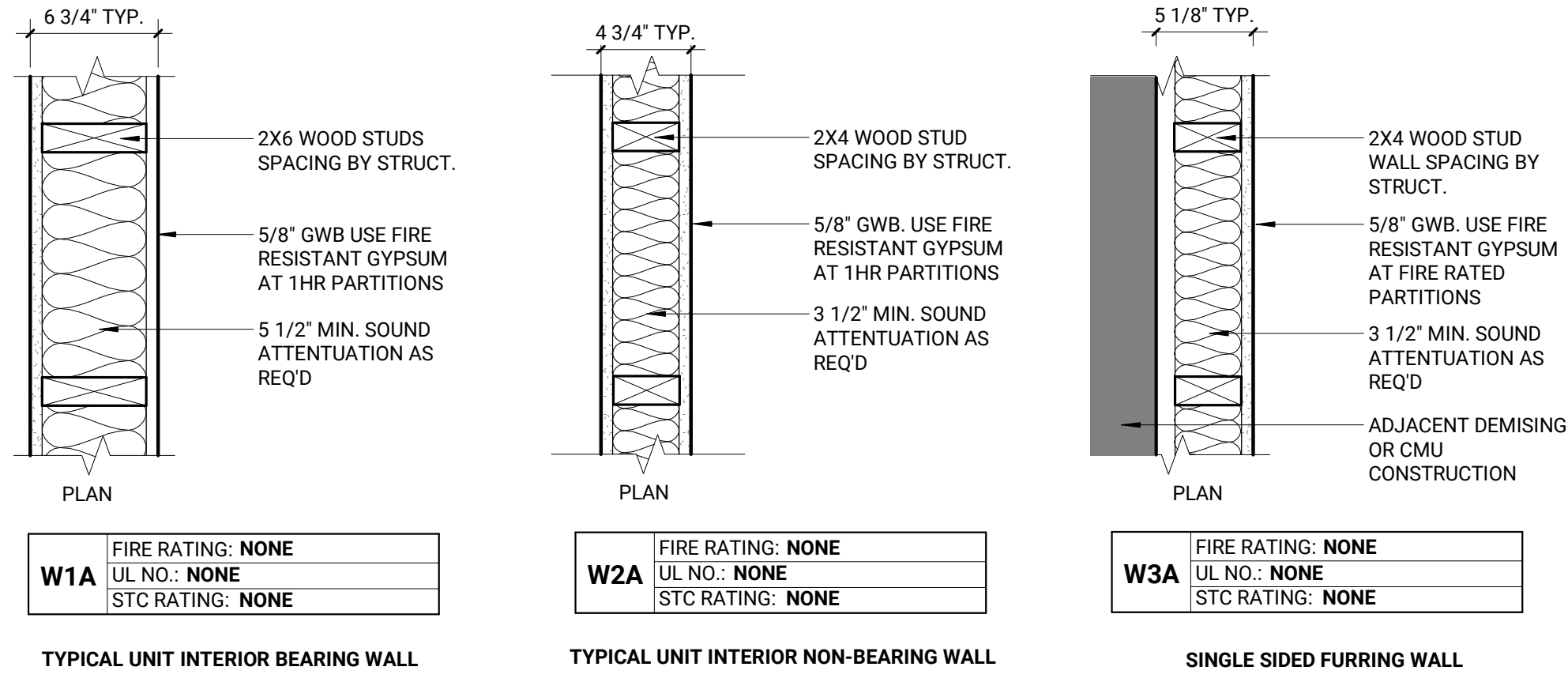
PROJECT #: 19006

SCALE: 1 1/2" = 1'-0"

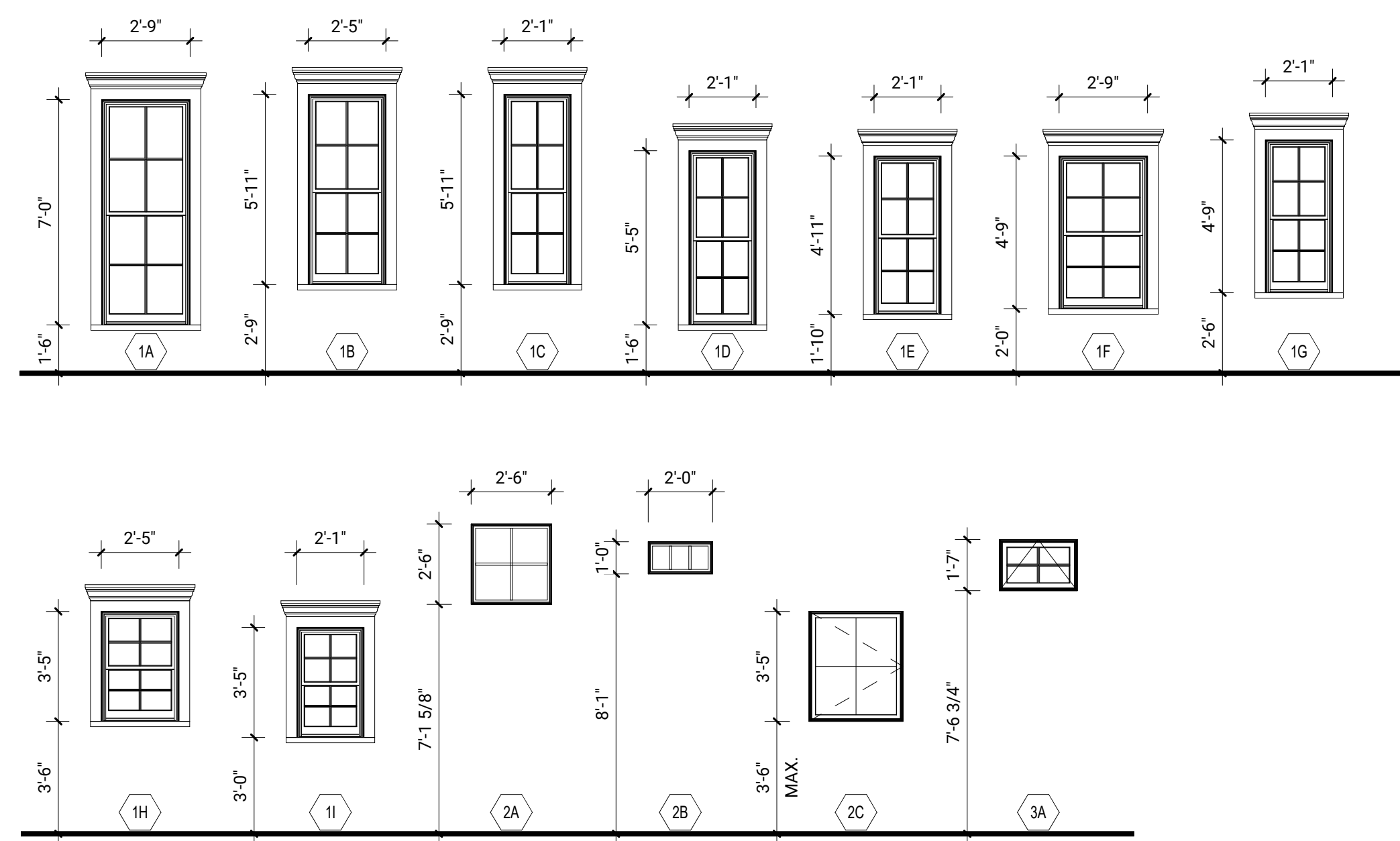
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EXTERIOR DETAILS

WOOD PARTITIONS

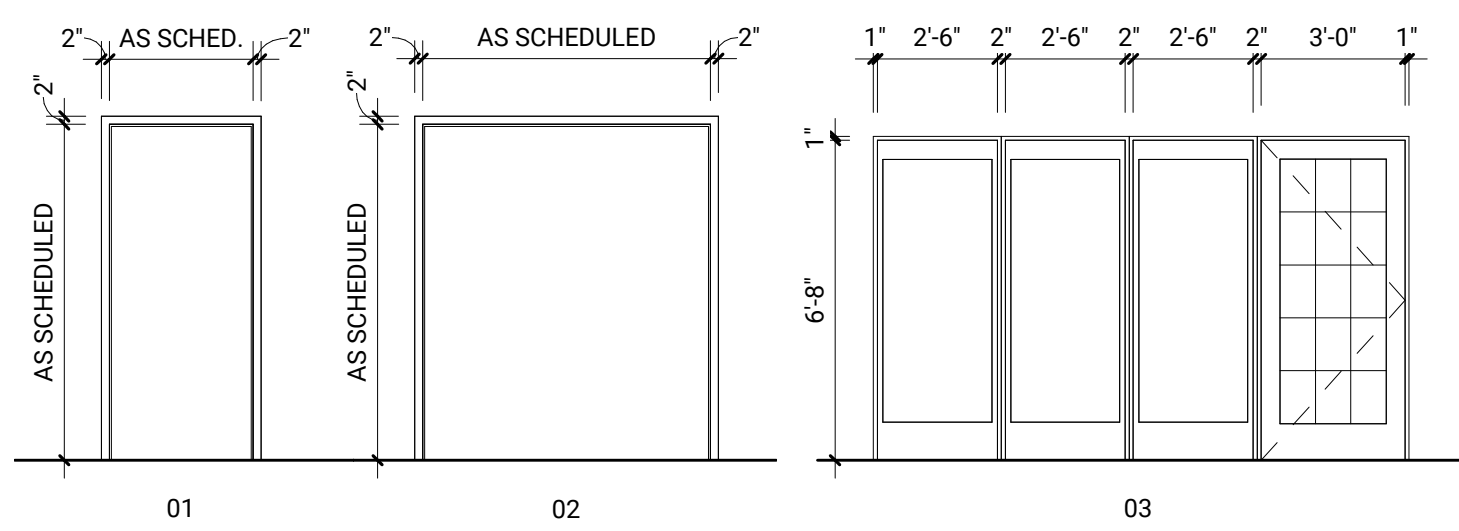


WINDOW TYPES

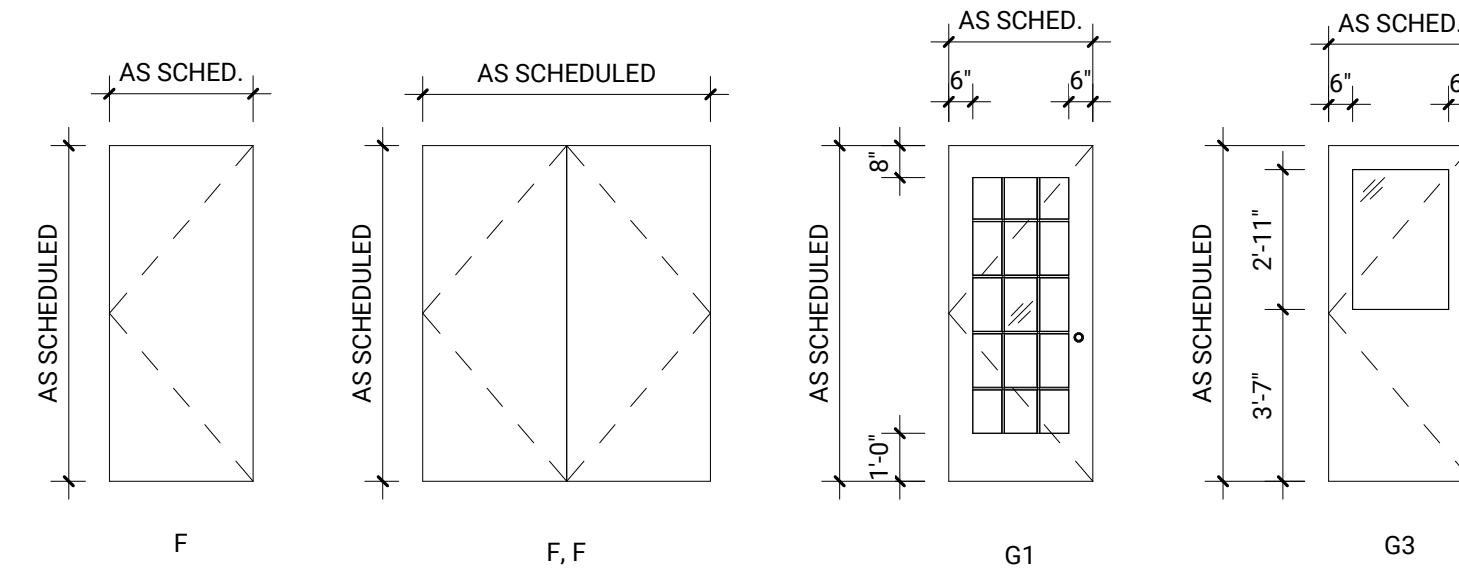


WINDOW SCHEDULE							
TYPE	COUNT	SILL HEIGHT	WIDTH	HEIGHT	MATERIAL	MANUFACTURER	REMARKS
1A	3	1'-6"	2'-9"	7'-0"	WD	Pella	
1B	1	2'-0"	2'-5"	5'-11"	WD	Pella	
1C	4	2'-9"	2'-1"	5'-11"	WD	Pella	
1C	1	8'-5"	2'-1"	5'-11"	WD	Pella	
1D	4	1'-6"	2'-1"	5'-5"	WD	Pella	
1E	6	0'-5 5/8"	2'-1"	4'-11"	WD	Pella	
1F	3	2'-0"	2'-9"	4'-9"	WD	Pella	
1G	3	2'-6"	2'-1"	4'-9"	WD	Pella	
1H	3	3'-6"	2'-5"	3'-5"	WD	Pella	
1I	4	3'-0"	2'-1"	3'-5"	WD	Pella	
2A	1	7'-1 5/8"	2'-6"	2'-6"	WD	Pella	
2B	4	8'-1"	2'-0"	1'-0"	WD	Pella	
2C	1	3'-6"	2'-11"	3'-5"	WD	Pella	
3A	3	7'-3 1/4"	2'-5"	1'-7"	WD	Pella	
TOTAL WINDOWS: 41							

WOOD FRAME TYPES



PANEL TYPES



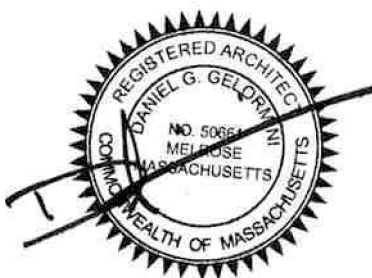
DOOR SCHEDULE												
MARK	LOCATION		FRAME DETAILS			DOOR DETAILS				FIRE RATING	HWR SET	REMARKS
	FROM	TO	MATL	TYPE	PANEL	MATL	WIDTH	HEIGHT	THK			
BASEMENT - PROPOSED												
001	HALLWAY	UTILITY	WD	01	F	WD	3' - 0"	6' - 8"				
002	HALLWAY	BEDROOM	WD	01	F	WD	2' - 10"	6' - 8"				
003	CLOSET	HALLWAY	WD	01	F	WD	2' - 10"	6' - 8"				
004	HALLWAY	BATHROOM	WD	01	F	WD	2' - 10"	6' - 8"				
005	STORAGE	HALLWAY	WD		F, F	WD	5' - 0"	7' - 0"				
006	HALLWAY	LAUNDRY	WD	01	F	WD	3' - 0"	6' - 8"				
007	CLOSET	BEDROOM	WD		F, F	WD	5' - 0"	7' - 0"				
1ST FLOOR												
101		ENTRY	WD	01	G1	WD	3' - 0"	8' - 0"				
102	COAT CLOSET	ENTRY	WD		F, F	WD	5' - 0"	7' - 0"				
103		KITCHEN & DINING	WD	01	G1	WD	3' - 0"	8' - 0"				
104	FAMILY ROOM	POWDER ROOM	WD	01	F	WD	3' - 0"	6' - 8"				
105	FAMILY ROOM		WD	03		WD	3' - 0"	6' - 8"				
2ND FLOOR (T.O.S)												
201	MASTER BEDROOM	MASTER BATHROOM	WD	01	F	WD	2' - 10"	6' - 8"				
202	MASTER BEDROOM	MASTER CLOSET	WD	01	F	WD	2' - 10"	6' - 8"				
203	HALLWAY	MASTER BEDROOM	WD	01	F	WD	2' - 10"	6' - 8"				
204	HALLWAY	BEDROOM	WD	01	F	WD	3' - 0"	6' - 8"				
205	CLOSET	BEDROOM	WD		F, F	WD	5' - 0"	7' - 0"				
206	LINEN CLOSET	HALLWAY	WD	01	F	WD	2' - 10"	6' - 8"				
207	HALLWAY	LAUNDRY ROOM	WD	01	F	WD	2' - 10"	6' - 8"				
208	HALLWAY	BEDROOM	WD	01	F	WD	3' - 0"	6' - 8"				
209	HALLWAY		WD	01	F	WD	3' - 0"	6' - 8"				
210	CLOSET	BEDROOM	WD		F, F	WD	5' - 0"	7' - 0"				
211	BEDROOM	BATHROOM	WD	01	F	WD	2' - 10"	6' - 8"				

MFDS A+P

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CONSULTANTS:

PERMIT SET



REVISIONS:

PROJECT NAME:

57 PLEASANT ST

DATE ISSUED: 4/13/2020

PROJECT #: 19006

SCALE: As indicated

DRAWN BY: EAD

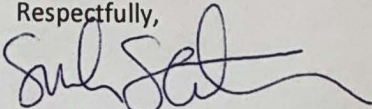
DOOR & WINDOW
TYPES AND SCHEDULE

A-702

Dear Cambridge B.Z.A.,

We, as the closest and most immediate neighbors impacted by the proposed "reconfigured window layout" directly adjacent to us, as well as facing our property, fully support the proposed changes to the home at 57 Pleasant St. Cambridge. We are excited for construction to begin on the home, which has fallen into severe disrepair over the years. We have reviewed proposed plan and hold the opinion that the reconstruction of the home will positively affect the neighborhood.

Respectfully,

A handwritten signature in dark ink, appearing to read 'Sarah Slater', with a long, sweeping horizontal line extending to the right.

Sarah Slater

59 Pleasant St.

Cambridge, MA

October 20, 2020

Dear Cambridge B.Z.A.,

We, as the closest and most immediate neighbors impacted by the proposed “reconfigured window layout” directly adjacent to us, as well as facing our property, fully support the proposed changes to the home at 57 Pleasant St. Cambridge. We are excited for construction to begin on the home, which has fallen into severe disrepair over the years. We have reviewed proposed plan and hold the opinion that the reconstruction of the home will positively affect the neighborhood.

Respectfully,

A handwritten signature in black ink, appearing to read "S. Herzig MD". The signature is fluid and cursive, with a large "S" and a distinct "MD" at the end.

Shoshana Herzig

59 Pleasant St.

Cambridge, MA



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: _____

(Print)

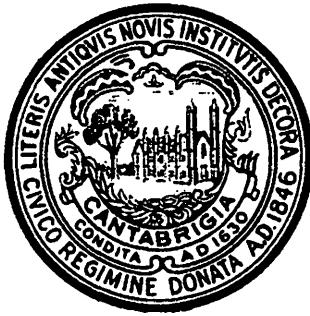
Date: _____

Address: _____

Case No. _____

Hearing Date: _____

Thank you,
Bza Members



CITY OF CAMBRIDGE, MASSACHUSETTS

PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

October 22, 2020

To: The Board of Zoning Appeal

From: The Planning Board

RE: BZA cases to be heard on October 22, 2020

The Planning Board did not review any cases on the October 22, 2020 agenda.



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2020 OCT 26 PM 2:54

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

RE: Case # BZA-91137

Address: 57 Pleasant St.

☐ Owner, ☐ Petitioner, or ☐ Representative: Ronald Buck
(Print Name)

hereby waives the required time limits for holding a public hearing as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A. The ☐ Owner, ☐ Petitioner, or ☐ Representative further hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: 10-21-20

Ronald Buck
Signature