



# CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

## BZA Application Form

**BZA Number: 245889**

### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: \_\_\_\_\_ Variance:   X   Appeal: \_\_\_\_\_

**PETITIONER:** 3M J Realty C/O Morris Naggar

**PETITIONER'S ADDRESS:** 167 Bow Street, Suite 110, MA, Everett 02149

**LOCATION OF PROPERTY:** 585 Massachusetts Ave., Cambridge, MA

**TYPE OF OCCUPANCY:** Commercial **ZONING DISTRICT:** Business B Zone

**REASON FOR PETITION:**

/Sign/

**DESCRIPTION OF PETITIONER'S PROPOSAL:**

2 Banners 31.4 Sq ft, 31" x 146 on front of bulding on both sides of windows

**SECTIONS OF ZONING ORDINANCE CITED:**

Article: 7.000 Section: 7.16.22.D (Business Sign).

Article: 10.000 Section: 10.30 (Variance).

Original  
Signature(s):

  
\_\_\_\_\_  
(Petitioner (s) / Owner)

Joseph M Naggar  
\_\_\_\_\_  
(Print Name)

Address: \_\_\_\_\_

Tel. No. \_\_\_\_\_

E-Mail Address: Janice@ardonvisual.com

2023 NOV -3 AM 10:56  
OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Joseph M Naggar (OWNER)

Address: 585 Massachusetts Ave, Cambridge MA 02139

State that I/We own the property located at 585 Massachusetts Ave, which is the subject of this zoning application.

The record title of this property is in the name of 3MJ Associates LLC

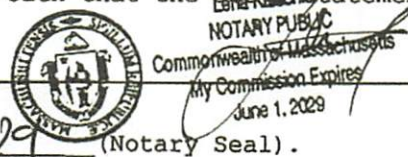
\*Pursuant to a deed of duly recorded in the date 8/1/05, Middlesex South County Registry of Deeds at Book 45765, Page 147; or Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_.

  
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

\*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Joseph M. Naggar personally appeared before me, this 26 of October, 2023, and made oath that the above statement is true.

 Notary

My commission expires June 1, 2029 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

PROPERTY OWNER'S LETTER OF AUTHORIZATION

April 27, 2023

City of Cambridge  
795 Massachusetts Avenue  
Cambridge, MA 02139

RE: Dimagi

To Whom It May Concern:

I Morris M. Naggar of 585 Massachusetts Avenue, Cambridge, MA  
02139 owner of said

property, hereby authorize the above-referenced tenant to obtain new/and or change existing  
signage at the above-referenced address.

I also authorize Ardon Visual Communications and its employees of Woburn, MA 01801 to  
obtain the required and necessary permits, licenses, and approvals, which may be required for  
the installation of said signage and proceed with the installation if in accordance with all the  
governing laws, statutes, and ordinances.

Signature: M. M. Naggar

Printed: Morris M. Naggar

Telephone: (617) 549-0070

E-mail: Morris@3MJrealty.com



Lena Kalachian  
NOTARY PUBLIC  
Commonwealth of Massachusetts  
My Commission Expires  
June 1, 2029

**BZA Application Form**

**SUPPORTING STATEMENT FOR A VARIANCE**

**EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.**

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:
- Unknown
- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:
- Unknown
- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**
- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:
- NA
- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:
- NA

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**



Date: \_\_\_\_\_

## BZA Application Form

### DIMENSIONAL INFORMATION

**Applicant:** 3M J Realty  
**Location:** 585 Massachusetts Ave., Cambridge, MA  
**Phone:**

**Present Use/Occupancy:** Commercial  
**Zone:** Business B Zone  
**Requested Use/Occupancy:** Commercial

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		NA	NA	NA	(max.)
<u>LOT AREA:</u>		NA	N/A	N/A	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u>		1.73	NA	NA	
<u>LOT AREA OF EACH DWELLING UNIT</u>		5,463	NA	NA	
<u>SIZE OF LOT:</u>	WIDTH	NA	NA	NA	
	DEPTH	81x92	NA	NA	
<u>SETBACKS IN FEET:</u>	FRONT	NA	NA	NA	
	REAR	NA	NA	NA	
	LEFT SIDE	N	NA	NA	
	RIGHT SIDE	NA	NA	NA	
<u>SIZE OF BUILDING:</u>	HEIGHT	42	NA	NA	
	WIDTH	NA	NA	NA	
	LENGTH	NA	NA	NA	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		N	NA	NA	
<u>NO. OF DWELLING UNITS:</u>		Unknown	NA	NA	
<u>NO. OF PARKING SPACES:</u>		Unknown	None	NA	
<u>NO. OF LOADING AREAS:</u>		None	None	NA	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		Unknown	NA	NA	

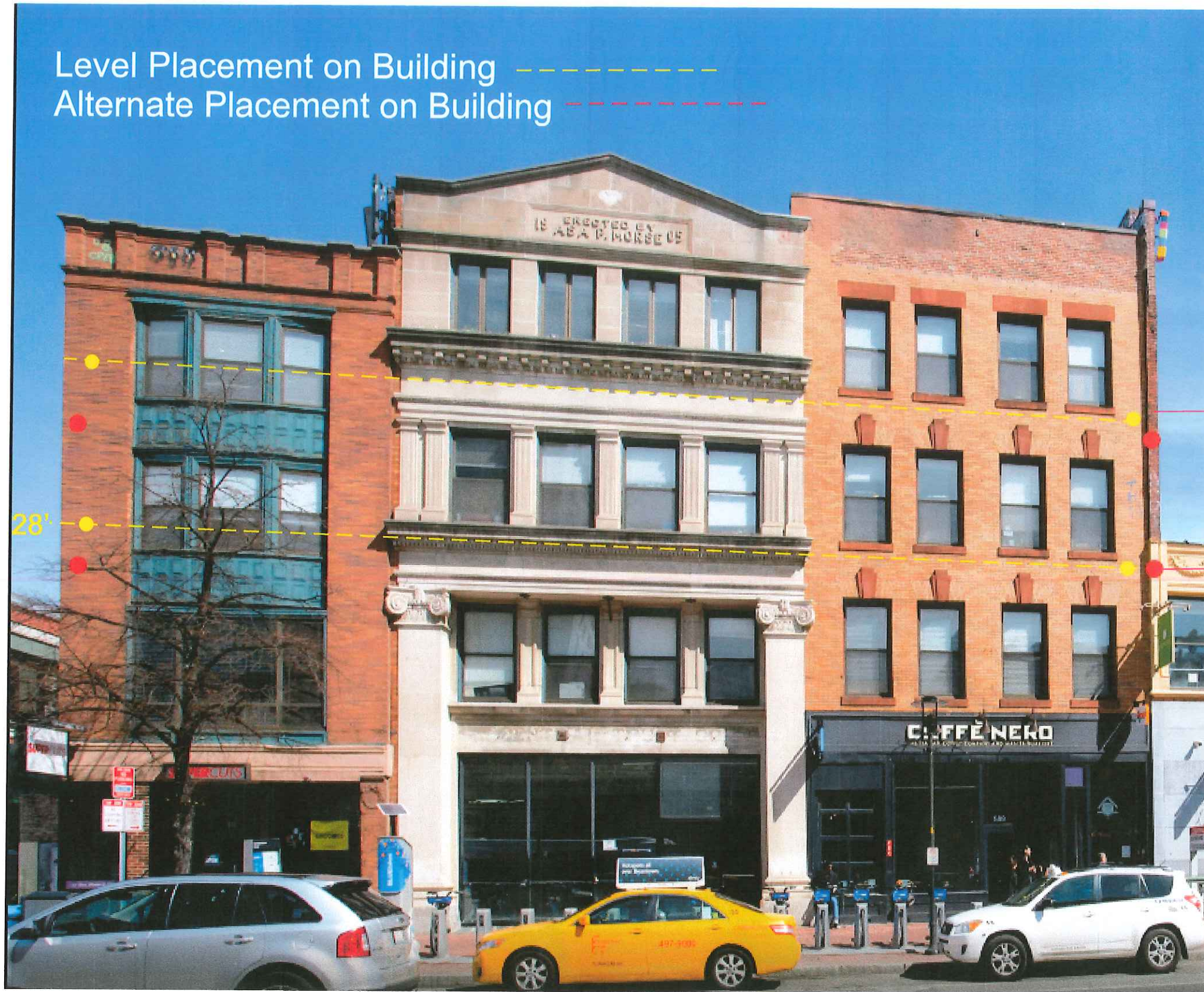
Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

NA

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



Level Placement on Building -----  
 Alternate Placement on Building -----



Top of Banner  
above Grade

Base of Banner  
above Grade

42'

28' Base of Banner  
above Grade

Project Title:  
**Manifold Bio**

Date: 3/20/23

Project Contact  
 Sierra Goodrich

General Sign Specifications  
 Interior  Exterior  
 Single Faced  Double Faced  
 Non-Illuminated  Illuminated  
 UL Labels # \_\_\_\_\_ of \_\_\_\_\_  
 # of UL Sections \_\_\_\_\_ of \_\_\_\_\_  
 Incoming 120 Volts 20 Amps(+/-)  
 Location EXT. Windspeed \_\_\_\_\_

Drawing Revisions

Drawn By	Date	Change
▲ RMB	3/20/23	
▲		
▲		
▲		
▲		
▲		
▲		
▲		
▲		

- Approved, as is
- Approved, w/ changes
- Requires New Layout
- Rejected

Authorized Signature of Approval  
 \_\_\_\_\_  
 Title  
 \_\_\_\_\_  
 Date Signed  
 \_\_\_\_\_

**Electrical**  
 \*SIGN MEETS NEC 600 ELECTRICAL REQUIREMENTS.  
 20 amp weatherproof electrical disconnect required for every 16 amps of signage. Actual number of circuits to be determined by a licensed electrical contractor.  
 Actual location of box may vary.  
 Input voltage - 120V.  
 All signage will be (UL) 485TD compliant.



Proposed View of Porperty



**ARDON VISUAL**  
COMMUNICATIONS  
167 BOW ST. UNIT 110 EVERETT, MA. 02149  
1.888.578.6473  
WWW.ARDONVISUAL.COM

Project Title:  
**Manifold Bio**

Date: 3/20/23

Project Contact  
Sierra Goodrich

General Sign Specifications  
 Interior  Exterior  
 Single Faced  Double Faced  
 Non-Illuminated  Illuminated  
 UL Labels # NA  
 # of UL Sections \_\_\_\_\_ of \_\_\_\_\_  
 Incoming 120 Volts 20 Amps(+/-)  
 Location EXT. Windspeed \_\_\_\_\_

Drawing Revisions

Drawn By	Date	Change
▲ RMB	3/20/23	
▲		
▲		
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▲		
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- Approved, w/ changes
- Requires New Layout
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 \_\_\_\_\_  
 Title  
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 Actual location of box may vary.  
 Input voltage - 120V.  
 All signage will be (U.L.) 48STD compliant.





Proposed View of Property



Existing View of Property



Project Title:  
**Manifold Bio**

Date: 3/20/23

Project Contact  
Sierra Goodrich

General Sign Specifications  
 Interior  Exterior  
 Single Faced  Double Faced  
 Non-Illuminated  Illuminated  
 UL Labels # NA  
 # of UL Sections \_\_\_\_\_ of \_\_\_\_\_  
 Incoming 120 Volts 20 Amps(+/-)  
 Location EXT. Windspeed 110+/-

Drawing Revisions

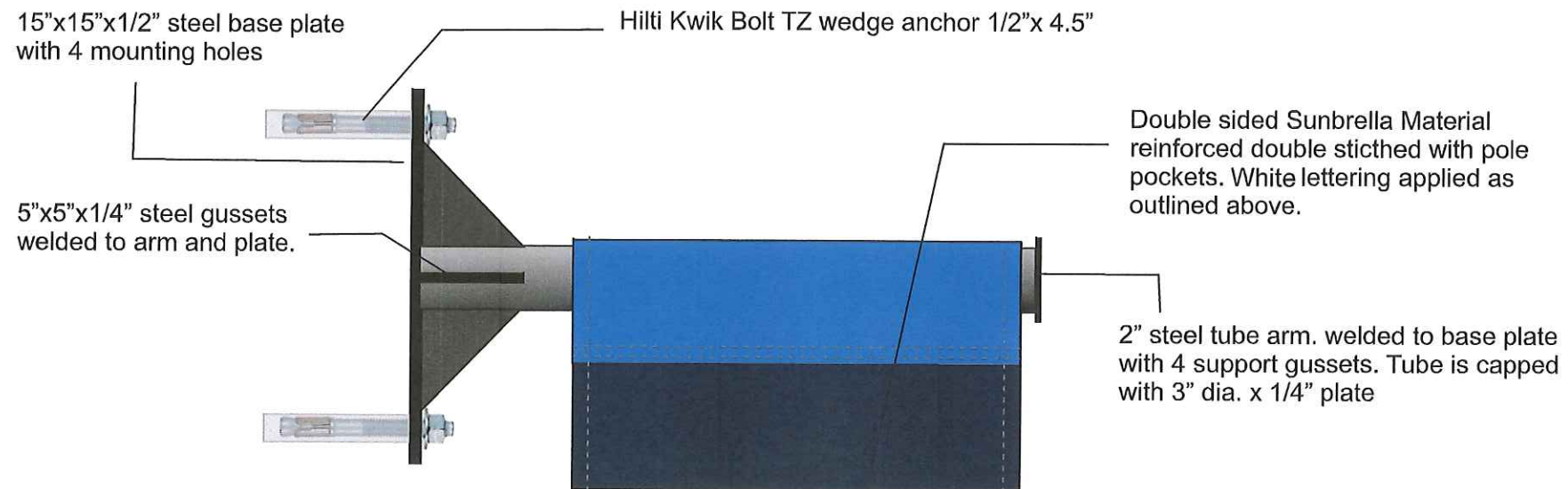
Drawn By	Date	Change
△ RMB	3/20/23	
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Authorized Signature of Approval

Title

Date Signed



See plate details on pg.2



**Electrical**  
 \*SIGN MEETS NEC 600 ELECTRICAL REQUIREMENTS. 20 amp weatherproof electrical disconnect required for every 16 amps of signage. Actual number of circuits to be determined by a licensed electrical contractor. Actual location of box may vary. Input voltage - 120V. All signage will be (U.L.) 48STD compliant.



**Project Title:**  
**Manifold Bio**

**Date:** 3/20/23

**Project Contact**  
Sierra Goodrich

**General Sign Specifications**  
 Interior  Exterior  
 Single Faced  Double Faced  
 Non-Illuminated  Illuminated  
 UL Labels # NA  
 # of UL Sections \_\_\_\_\_ of \_\_\_\_\_  
 Incoming 120 Volts 20 Amps(+/-)  
 Location EXT. Windspeed \_\_\_\_\_

**Drawing Revisions**

Drawn By	Date	Change
▲ RMB	3/20/23	
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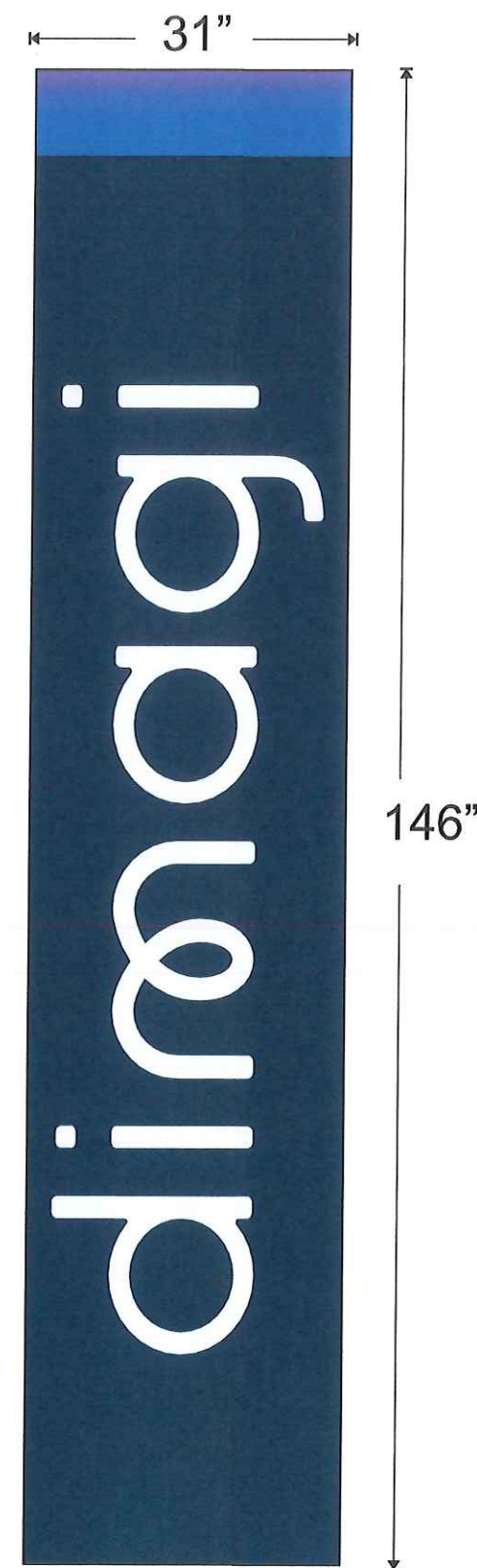
- Approved, as is
- Approved, w/ changes
- Requires New Layout
- Rejected

\_\_\_\_\_  
**Authorized Signature of Approval**

\_\_\_\_\_  
**Title**

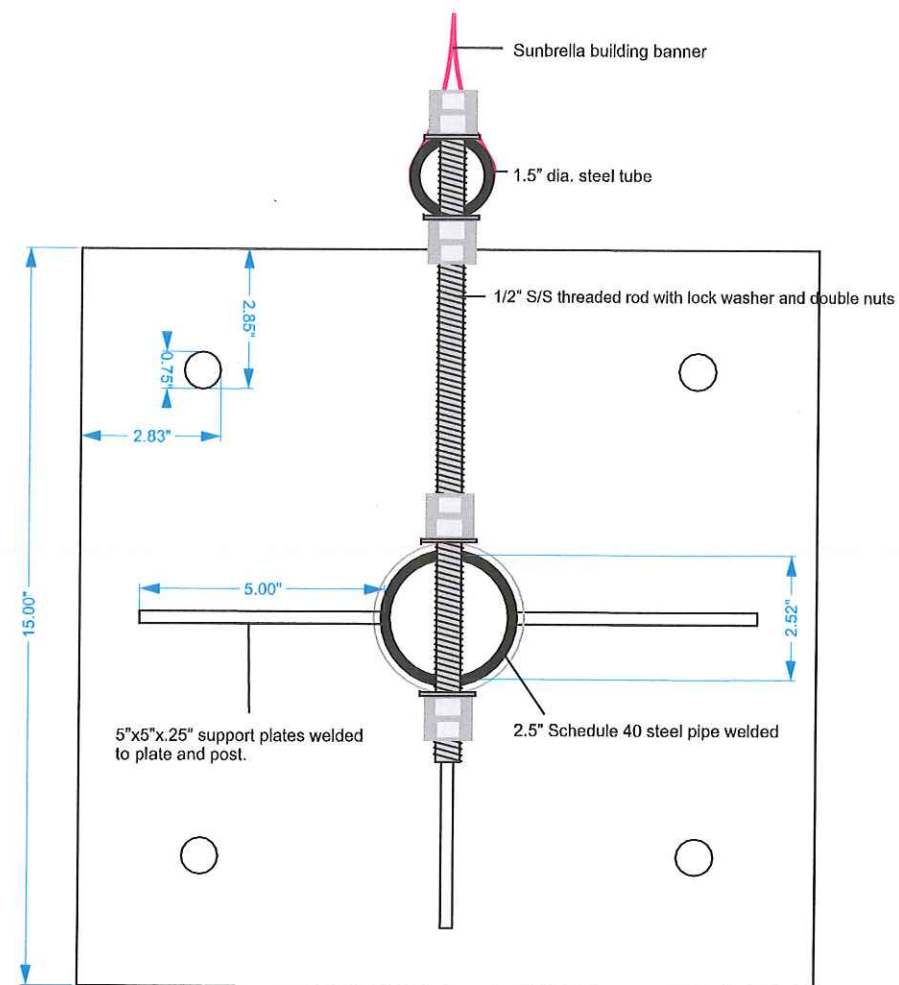
\_\_\_\_\_  
**Date Signed**

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 Input voltage - 120V.  
 All signage will be (U.L.) 48STD compliant.

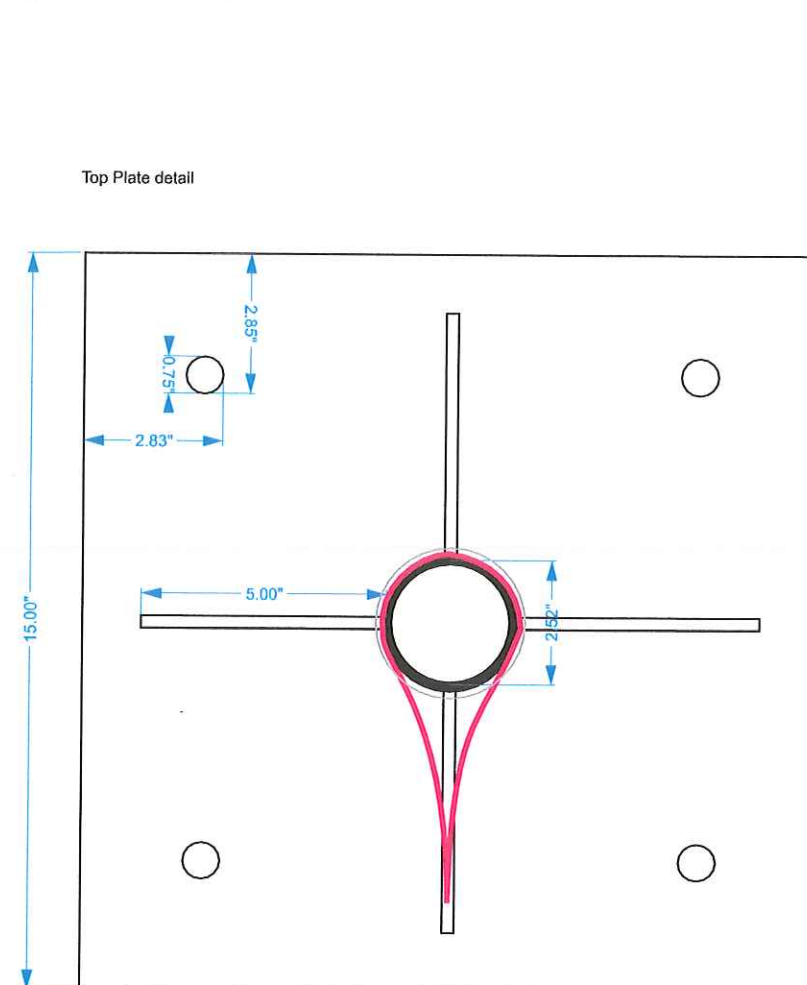


Banner area = 31.4sf

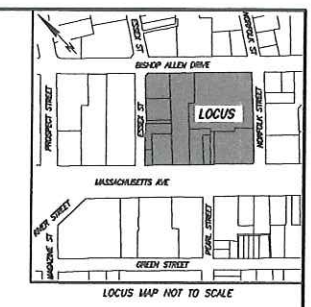
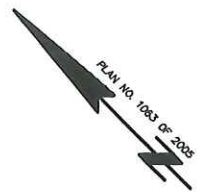
*Bottom Plate detail and tension bar*



*Top Plate detail and tension bar*

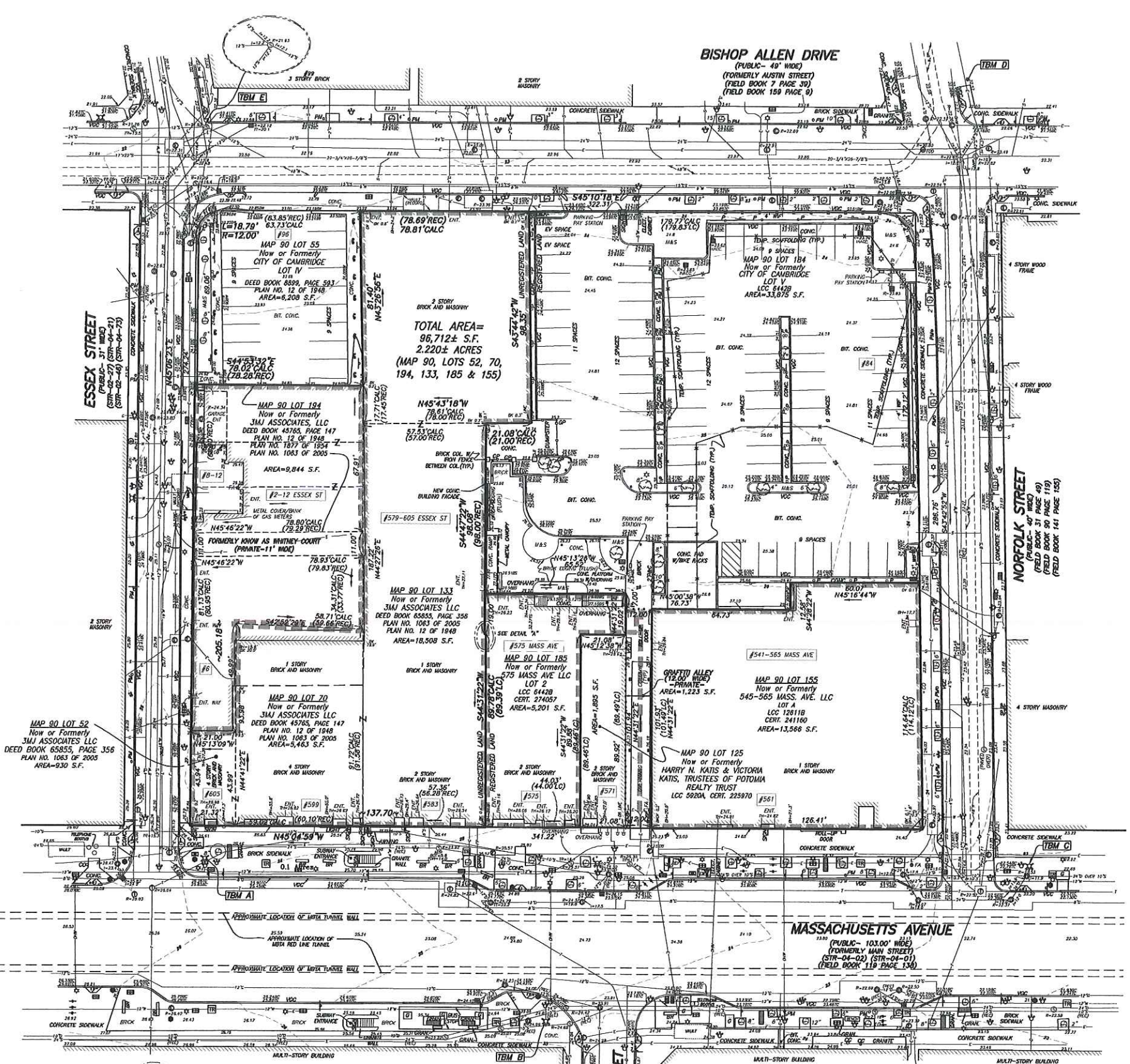






**LEGEND:**

- SEWER MANHOLE
- DRAIN MANHOLE
- ELECTRIC MANHOLE
- WATER MANHOLE
- TELEPHONE MANHOLE
- CABLE TV MANHOLE
- HYDRANT
- WATER SHUT OFF
- GAS SHUT OFF
- CATCH BASIN
- TRAFFIC CONTROL BOX
- TRAFFIC SIGNAL
- UTILITY POLE
- LIGHT POLE
- ELECTRIC HANDHOLE
- BOLLARD
- MAIL BOX
- PM PARKING METER
- IRRIGATION CONTROL VALVE
- CLEAN OUT
- COAL CHUTE
- FIRE ALARM
- STAND PIPE/WAIVER CONNECTION
- ORNAMENTAL LIGHT
- GAS METER
- TRASH RECEPTACLE
- HANDICAP PARKING SPACE
- DECIDUOUS TREE
- HANDICAP RAMP
- BENCH
- BICYCLE RACK
- BICYCLE POST
- GATE POST
- TEMPORARY BENCH MARK
- RECORD
- CALCULATED
- ENT
- FINISH FLOOR ELEVATION
- BUILDING HEIGHT
- OVERHEAD DOOR
- VERTICAL GRANITE CURB
- CONCRETE CURB
- CHAIN LINK FENCE
- WROUGHT IRON FENCE
- LANDSCAPE TIMBER
- RETAINING
- GRANITE
- GRANITE
- BUTENOUS
- CONCRETE
- TOP OF STEPS
- BOTTOM OF STEPS
- TOP OF WALL
- BOTTOM OF WALL
- TOP OF CURB
- BOTTOM OF CURB
- RM ELEVATION
- INVERT ELEVATION
- TOP OF TROUGH
- CENTERLINE OF TROUGH
- BOTTOM ELEVATION
- UNACCESSIBLE
- NO VISIBLE PIPES
- TOP OF WATER
- TOP OF DEBRIS
- FULL OF DEBRIS
- FULL OF WATER
- SQUARE FEET
- MASH & SHRUBS
- LAND COURT CASE
- BACK
- COVER
- THRESHOLD
- GUARD RAIL
- FENCE
- SLOPER
- DOWN
- COMBINED SEWER
- WATER
- GAS
- ELECTRIC
- TELEPHONE
- CABLE TELEVISION
- OVERHEAD WIRES
- FIRE PROTECTION
- INTERIOR PARCEL UNREGISTERED LAND
- INTERIOR PARCEL REGISTERED LAND

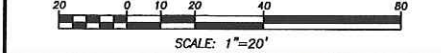


**NOTES:**

- 1) BENCHMARK INFORMATION:  
BENCHMARK USED: CHASED SQUARE ON STONE BOUND WITH DRILL HOLE LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF GREEN STREET AND WESTERN AVENUE. ELEVATION= 27.32  
TAKEN FROM A PLAN ENTITLED "SITE PLAN, 349-357 GREEN STREET, CAMBRIDGE, MA," DATED NOVEMBER 1, 2001 PREPARED BY HODGE-EAST SURVEY. PLAN IS ON FILE WITH CITY OF CAMBRIDGE DEPARTMENT OF PUBLIC WORKS.  
TEMPORARY BENCHMARKS SET:  
TBM A - X CUT ON RIGHT FRONT BOLT OF HYDRANT LOCATED AT THE CORNER OF ESSEX STREET AND MASSACHUSETTS AVENUE, AS SHOWN ON PLAN. ELEVATION= 28.53  
TBM B - X CUT ON RIGHT FRONT BOLT OF HYDRANT LOCATED AT THE CORNER OF PEARL STREET AND MASSACHUSETTS AVENUE, AS SHOWN ON PLAN. ELEVATION= 27.27  
TBM C - X CUT ON RIGHT FRONT BOLT OF HYDRANT LOCATED AT THE CORNER OF NORFOLK STREET AND MASSACHUSETTS AVENUE, AS SHOWN ON PLAN. ELEVATION= 25.41  
TBM D - RIGHT OUTER CORNER OF LOWEST STONE STEP LOCATED AT NO. 48 NORFOLK STREET, AS SHOWN ON PLAN. ELEVATION= 23.11  
TBM E - RIGHT OUTER CORNER OF LOWEST STONE STEP LOCATED AT NO. 59 BISHOP ALLEN DRIVE, AS SHOWN ON PLAN. ELEVATION= 23.48
- 2) ELEVATIONS REFER TO CITY OF CAMBRIDGE DATUM.
- 3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- 4) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFORESAID RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS. SINCE SUB-SURFACE UTILITIES CANNOT BE VISIBLY VERIFIED, BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TELL, FREE, THE DO SAFE CALL CENTER AT 1-888-344-7223 SEVENTY-TWO HOURS PRIOR TO EXCAVATION. THE CABLE TELEVISION PLANS PROVIDED ARE SCHEMATIC AND MAY NOT BE COMPLETE OR ACCURATE.
- 5) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF HARRY R. FELDMAN, INC. ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO HARRY R. FELDMAN, INC.'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY HARRY R. FELDMAN, INC.
- 6) LOCATION OF UNDERGROUND METAL TUNNEL WALLS ARE SHOWN FROM VARIOUS UTILITY PLANS. THERE ARE LIKELY ADDITIONAL WALLS AND UTILITY LINES OWNED BY THE MTA WITHIN MASSACHUSETTS AVENUE TO SUPPORT AND SUPPLY INFRASTRUCTURE TO THE RED LINE. LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE AND FIELD VERIFIED PRIOR TO CONSTRUCTION.
- 7) INVERTS OF SEWER AND DRAIN NOT OBTAINED ON THE EAST SIDE OF MASSACHUSETTS AVENUE FROM LOCUS.
- 8) TO DATE HARRY R. FELDMAN, INC. HAS NOT RECEIVED PLANS SHOWING UNDERGROUND TELEPHONE LINES FROM VERIZON.
- 9) BUILDING HEIGHTS SHOWN ARE FROM THE BACK OF SIDEWALK TO THE TOP OF PARAPET OR ROOF, WHICHEVER CAN BE SEEN FROM THE GROUND.

**EXISTING CONDITIONS PLAN OF LAND  
NO. 541-605 MASSACHUSETTS AVENUE  
NO. 84 NORFOLK STREET  
NO. 96 BISHOP ALLEN DRIVE  
CAMBRIDGE, MASS.**

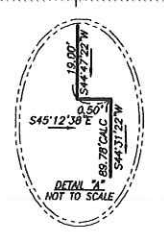
FELDMAN LAND SURVEYORS      NOVEMBER 24, 2020  
152 HAMPDEN STREET      PHONE: (617)357-9740  
BOSTON, MASS. 02119      www.feldmansurveyors.com



RESEARCH	FIELD CHECK	PROJ. MGR.	APPROVED	SHEET NO.
DAVID	DAVID	DAVID	DAVID	1 OF 1

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

*David J. Inville*  
DAVID J. INVILLE, PLS (NOV 40629)  
DJI@FELDMANLANDSURVEYORS.COM





# AS-BUILT DOCUMENTATION

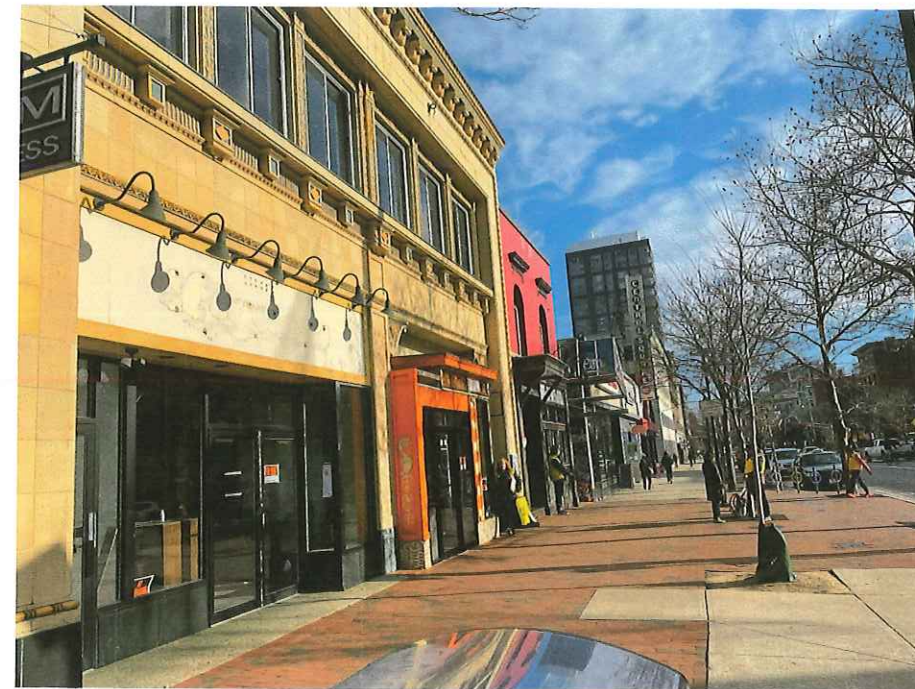
## Essex & Massachusetts Ave Cambridge, MA 02139

### DRAWING INDEX

- 0C1 COVER
- 0SL SYMBOLS LEGEND
- AB-0 BASEMENT
- AB-1 FIRST FLOOR
- AB-2 SECOND FLOOR
- AB-3 THIRD FLOOR
- AB-4 4TH, 5TH, & 6TH FLOORS
- AB-6 ROOF PLAN
- AB-7 3D EXTERIOR ELEVATIONS
- AB-8 3D SECTION
- AB-9 3D ROOF



**ARCHITECTURAL AS BUILT  
Essex & Massachusetts Ave  
Cambridge, MA 02139**



VICINITY MAP

AREA DATA	
Level	AREA
Not Placed	0 SF
Basement	41366 SF
Level 1	52317 SF
Level 2	24534 SF
Level 3	14233 SF
Level 4	14347 SF
Level 5	9304 SF
Level 6	7450 SF
Roof	52628 SF
<b>Grand Total</b>	<b>224108 SF</b>

**100% SUBMITTAL**

**1/29/2021**

**COVER**

**0C1**





# SYMBOLS LEGEND

## RCP

EXH	EXHAUST VENT	VL	TRACK LIGHT OR VANITY LIGHT
L1	CEILING MOUNTED LIGHT FIXTURE	NL	WALL-MOUNTED LIGHT FIXTURE
L	CEILING MOUNTED DIRECTIONAL LIGHT	ES	EMERGENCY EXIT SIGN
RC	RECESSED CAN LIGHT	EL	EMERGENCY EXIT LIGHT
EYE	EYEBALL OR SMALL CAN LIGHT	EEL	EMERGENCY EXIT LIGHT W/ SIGN
HPL	PENDANT LIGHT	STAIR	LIGHTED STAIR SIGN
FL	INDIVIDUAL FLUOR. LAY-IN FIXTURE 4 BULB	F	FLOOD LIGHT
FL2	INDIVIDUAL FLUOR. HANGING FIXTURE 2 BULB	PC	PHOTO CELL
FL3	INDIVIDUAL FLUOR. FLUSH MOUNT FIXTURE 4 BULB	F1	CEILING FAN
C	CAMERA	F1LK	CEILING FAN W/ LIGHT KIT
M	MOTION DET.	7-2-6	CEILING HEIGHT AND TRIM 7-2" ABOVE FLOOR BELOW WITH 6" CROWN MOULDING. NOTE: ALL CEILINGS NOT LABELED ARE PLASTER. CEILINGS SHOWN WITH A GRID ARE LAY IN ACOUSTICAL TILE..
SUP	SUPPLY VENT	J	JUNCTION BOX
SUP2	SUPPLY VENT		
RET	RETURN VENT		
RET2	RETURN VENT		
SPE	SPEAKER		

## ELECTRIC

DAT	DATA OUTLET
TEL	TELEPHONE JACK
S1	ELECTRIC SWITCH
TV	CABLE TELEVISION OUTLET
P1	DUPLEX RECEPTACLE OUTLET
P3	SPECIAL PURPOSE CONNECTION OR OUTLET
PQ	QUADRIPLEX RECEPTACLE OUTLET
PF	FLOOR DUPLEX RECEPTACLE OUTLET
PNL	ELECTRIC PANEL
MTR	ELECTRIC METER
BUT	BUTTON SWITCH
DISC	DISCONNECT SWITCH
LG	GROUND/FLOOR LIGHT
KP	KEY PAD

## FIRE PROTECTION

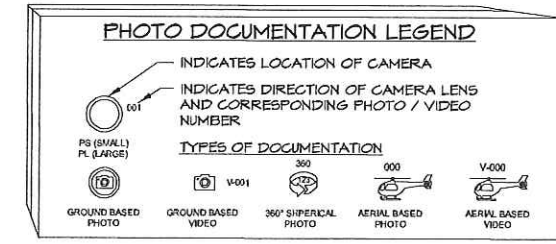
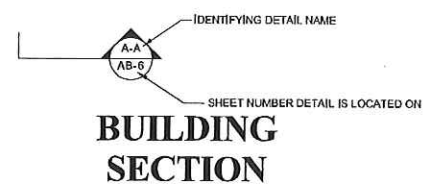
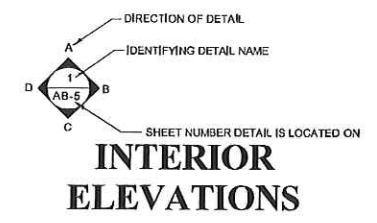
FE	FIRE EXTINGUISHER
FP	FIRE PULL
AS	FIRE ALARM (HORN/STROBE)
SD	SMOKE DETECTOR
SS	SMOKE ALARM SPEAKER
SP	SPRINKLER HEAD CEILING MOUNT
SPW	SPRINKLER HEAD WALL MOUNT

## MEP

TH	THERMOSTAT
FD	FLOOR DRAIN
V	VALVE
HB	HOSE BIB
WS	WATER SUPPLY
HEAT	SUSPENDED GAS HEATER

## MISC

BOLLARD	BOLLARD
ELEVATION SYMBOL	SPOT ELEVATION



**ARCHITECTURAL AS BUILT**  
**Essex & Massachusetts Ave**  
**Cambridge, MA 02139**

## SYMBOLS LEGEND

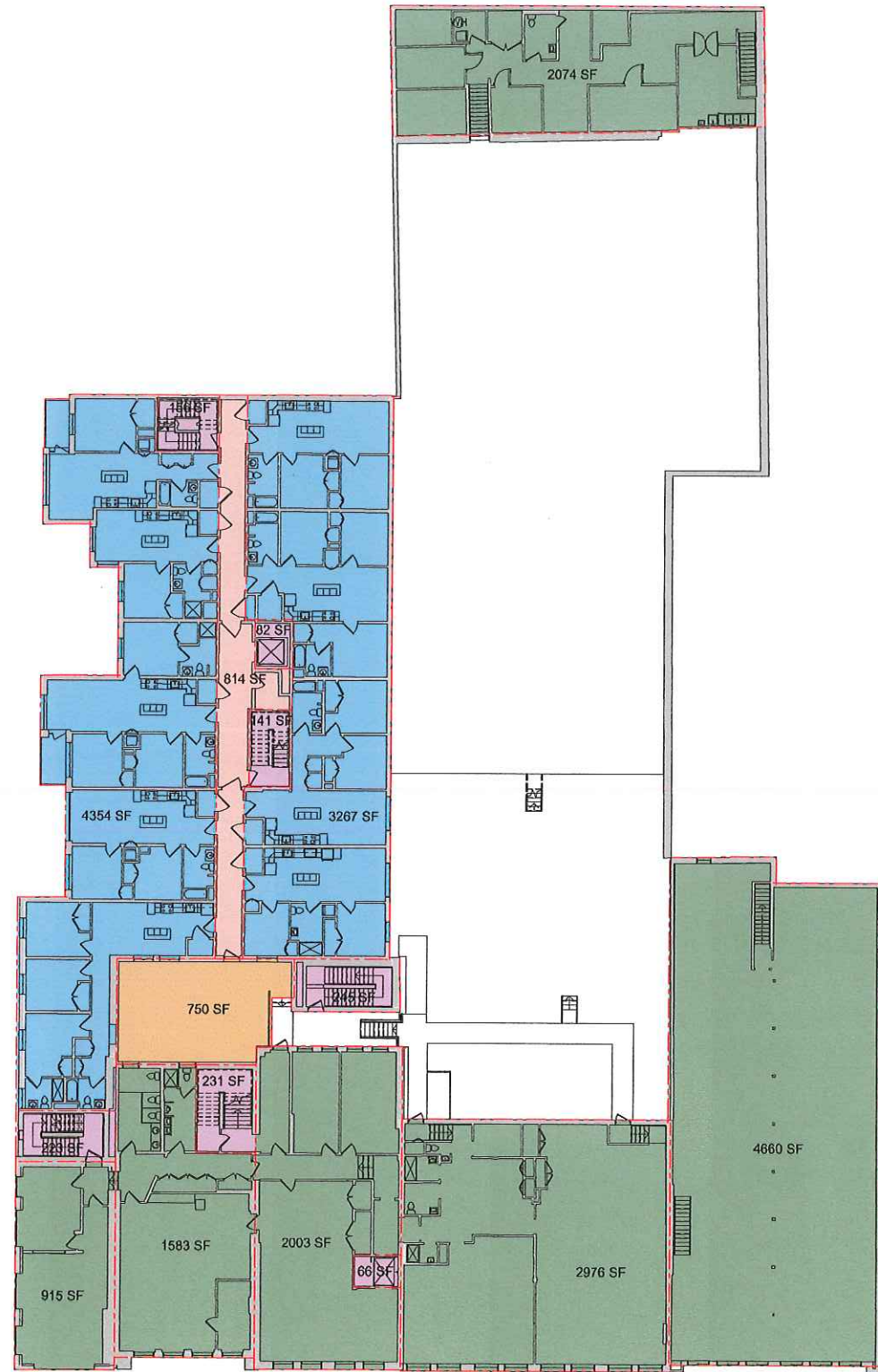
Designer	
Designer	
Project Number	
Date	
Author	
Scale	











ALL AREA CALCULATIONS PER BOMA -  
Standard Methods of Measurement  
(ANSI/BOMA Z65.1-2017)

AREA DATA LEVEL 2	
BUSINESS	14210 SF
COMMON AREA	814 SF
MAJOR VERTICAL PENETRATION	1144 SF
RESIDENTIAL	7621 SF
SHARED AMENITY	750 SF
<b>Grand total</b>	<b>24539 SF</b>

**AREA LEGEND**

<span style="display:inline-block; width:10px; height:10px; background-color:green; border:1px solid black;"></span> BUSINESS
<span style="display:inline-block; width:10px; height:10px; background-color:lightcoral; border:1px solid black;"></span> COMMON AREA
<span style="display:inline-block; width:10px; height:10px; background-color:lightpurple; border:1px solid black;"></span> MAJOR VERTICAL PENETRATION
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue; border:1px solid black;"></span> RESIDENTIAL
<span style="display:inline-block; width:10px; height:10px; background-color:orange; border:1px solid black;"></span> SHARED AMENITY

**AS BUILT PROFESSIONALS**  
www.asbuiltprofessionals.com  
A DIVISION OF:

**AEC**  
CONSULTANTS INC  
844.272.8458  
844 ASBUILT

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**ARCHITECTURAL AS BUILT**  
**Essex & Massachusetts Ave**  
**Cambridge, MA 02139**

DATE	DESCRIPTION

**SECOND FLOOR**

Design by	
Designed by	
Project Number	

**AB-2**

① Level 2  
1/16" = 1'-0"







AREA DATA LEVEL 4	
BUSINESS	4671 SF
COMMON AREA	784 SF
MAJOR VERTICAL PENETRATION	822 SF
RESIDENTIAL	8120 SF
Grand total	14347 SF

AREA DATA LEVEL 5	
COMMON AREA	145 SF
MAJOR VERTICAL PENETRATION	587 SF
RESIDENTIAL	1477 SF
Grand total	2209 SF

ALL AREA CALCULATIONS PER BOMA - Standard Methods of Measurement (ANSI/BOMA Z65.1-2017)

AREA DATA LEVEL 6	
COMMON AREA	748 SF
MAJOR VERTICAL PENETRATION	376 SF
RESIDENTIAL	6825 SF
Grand total	7949 SF

AREA LEGEND

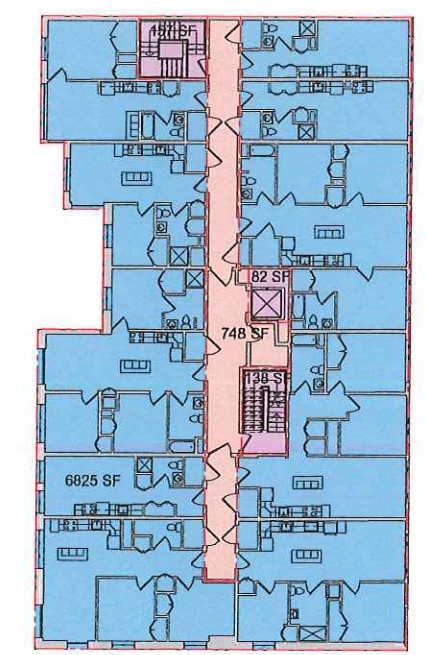
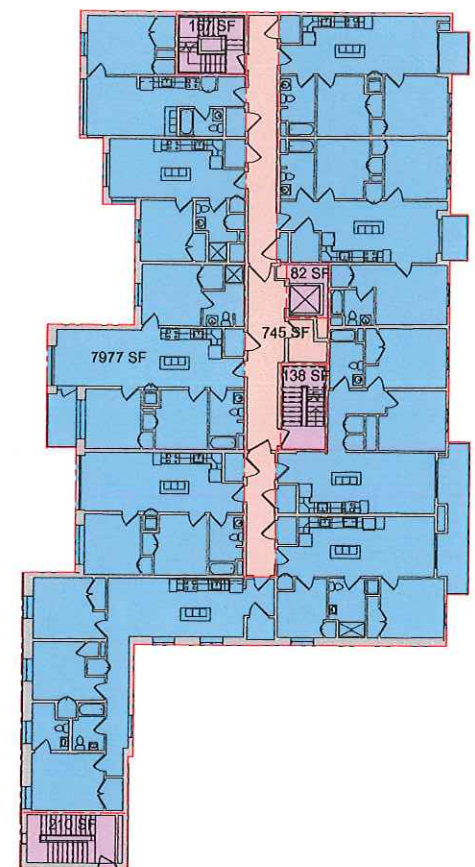
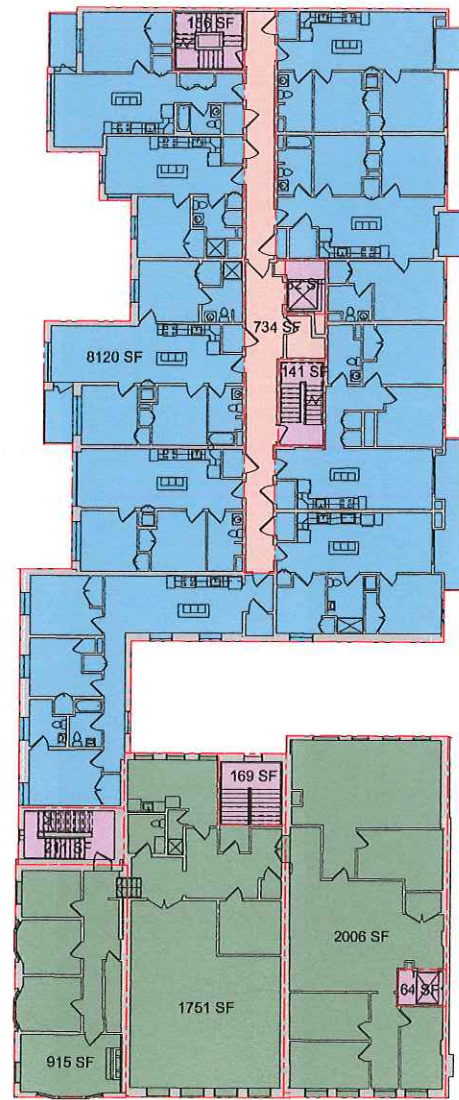
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<span style="display:inline-block; width:10px; height:10px; background-color:lightcoral; border:1px solid black;"></span> COMMON AREA
<span style="display:inline-block; width:10px; height:10px; background-color:lightpink; border:1px solid black;"></span> MAJOR VERTICAL PENETRATION
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue; border:1px solid black;"></span> RESIDENTIAL

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① Level 4  
1/16" = 1'-0"



② Level 5  
1/16" = 1'-0"



③ Level 6  
1/16" = 1'-0"



**ARCHITECTURAL AS BUILT**  
**Essex & Massachusetts Ave**  
**Cambridge, MA 02139**

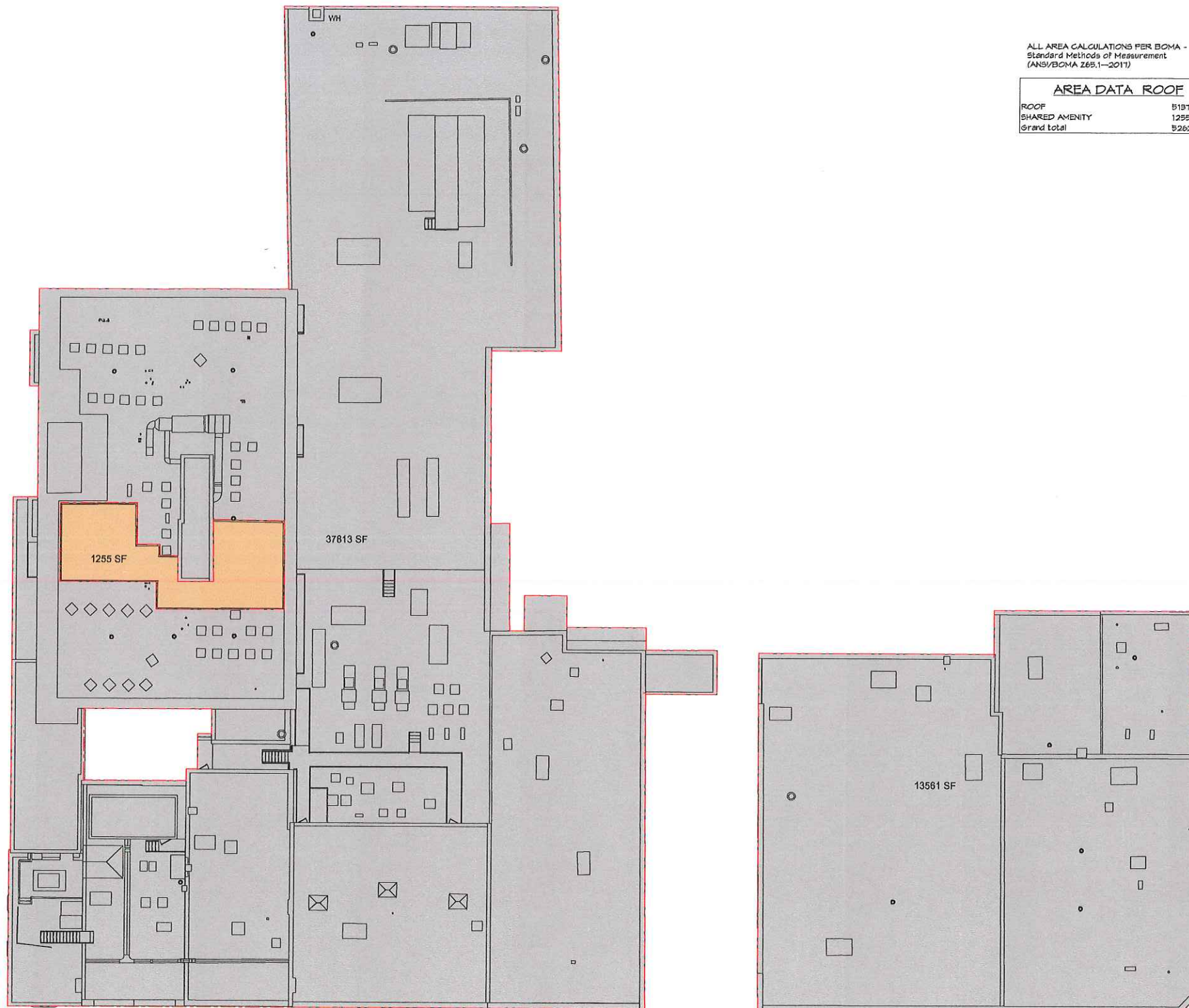
NO.	DATE	DESCRIPTION

**4TH, 5TH, & 6TH FLOORS**

Location	4TH, 5TH, & 6TH FLOORS
Designer	AS BUILT PROFESSIONALS
Project Number	AB-4
Date	08/20/20
Author	DAVE A

**AB-4**





AREA LEGEND  
 [Grey Box] ROOF  
 [Orange Box] SHARED AMENITY

ALL AREA CALCULATIONS PER BOMA -  
 Standard Methods of Measurement  
 (ANSI/BOMA Z65.1-2011)

AREA DATA ROOF	
ROOF	51919 SF
SHARED AMENITY	1255 SF
Grand Total	52620 SF

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**ARCHITECTURAL AS BUILT**  
**Essex & Massachusetts Ave**  
**Cambridge, MA 02139**

NO.	DATE	DESCRIPTION

**ROOF PLAN**

Design by	AEC CONSULTANTS INC
Designed by	PROJECT ARCHITECT
Project Number	2019-001
Date	2020
Author	MARK

**AB-6**

② Roof  
 1/16" = 1'-0"



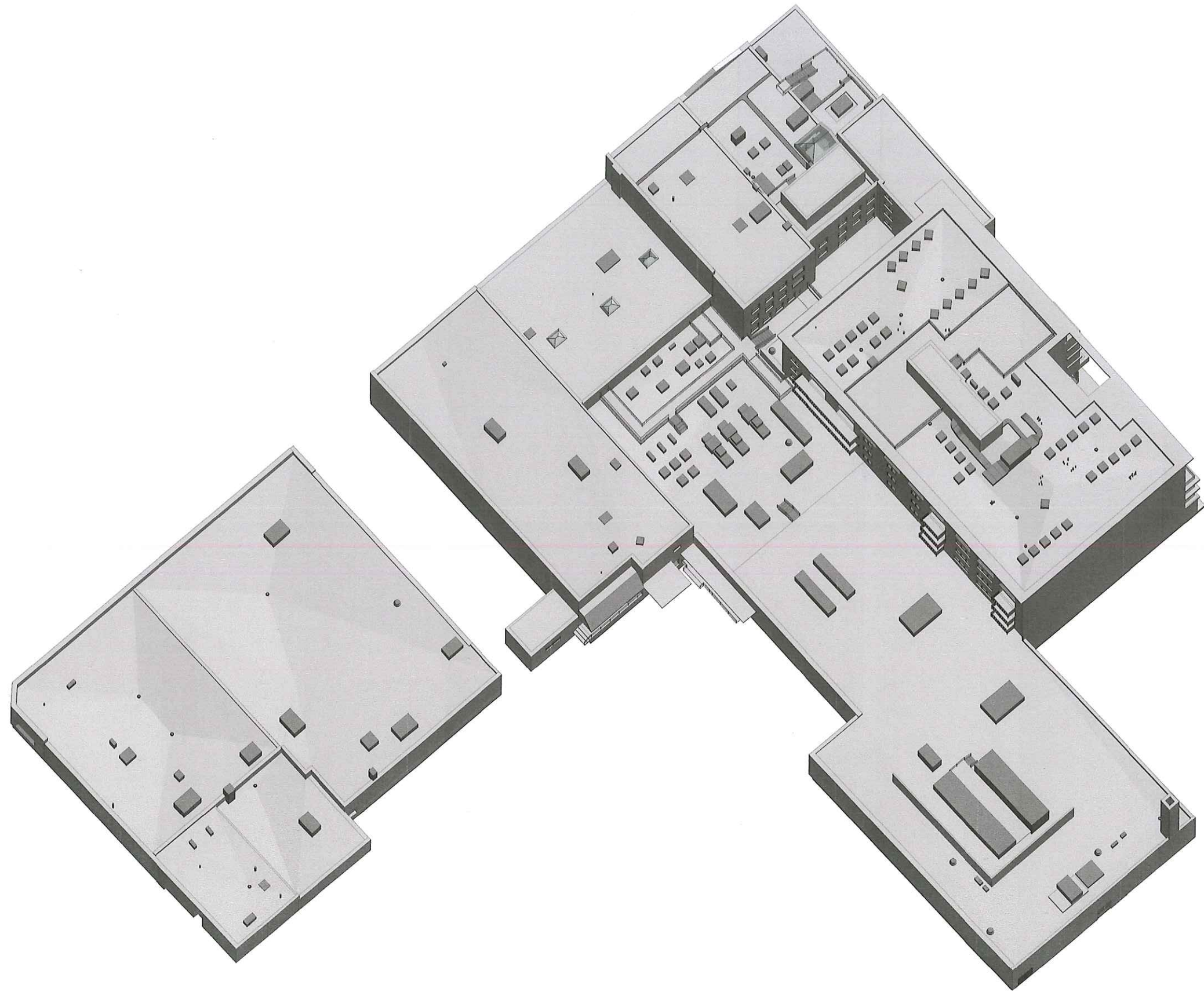












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**ARCHITECTURAL AS BUILT**  
**Essex & Massachusetts Ave**  
**Cambridge, MA 02139**

DATE	10/14/19
BY	DF
APP	DF

**3D ROOF**

Designer	DF
Engineer	DF
Project Number	AB-9
Scale	1:1
Author	DF

**AB-9**

① Roof 3D



Google Maps

585 Massachusetts Ave Cambridge MA

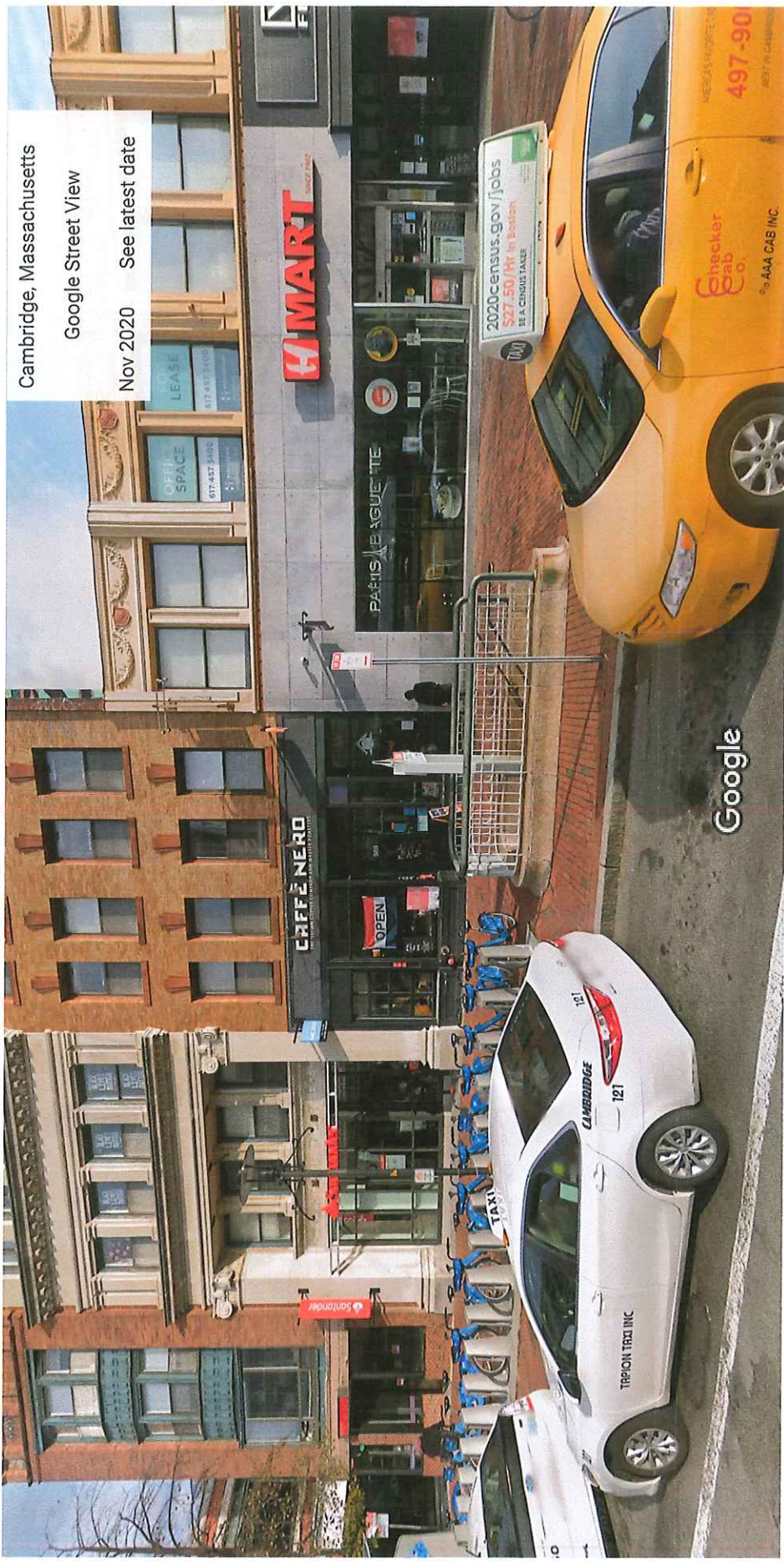
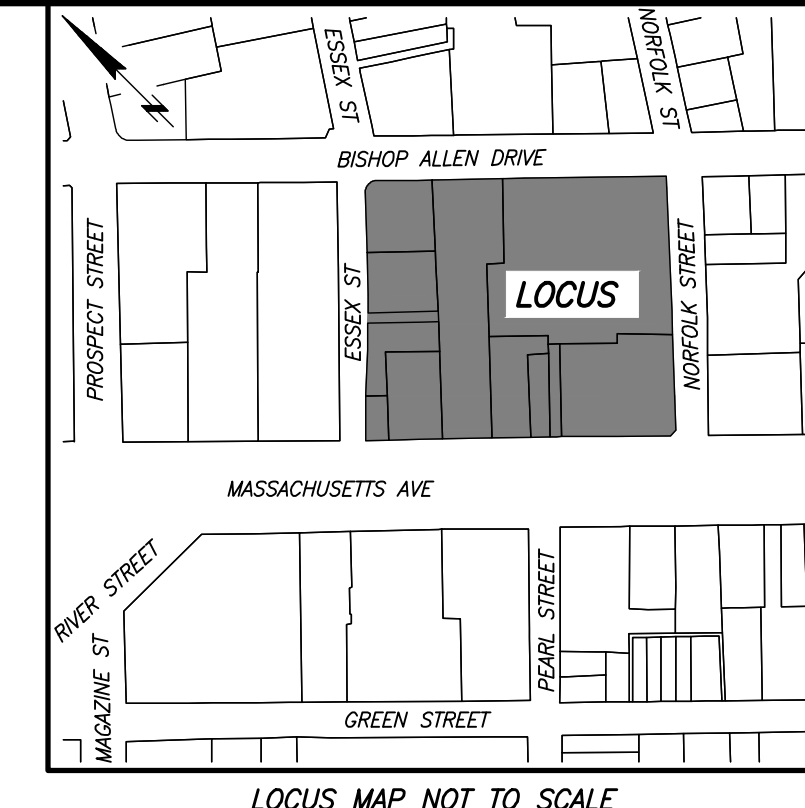
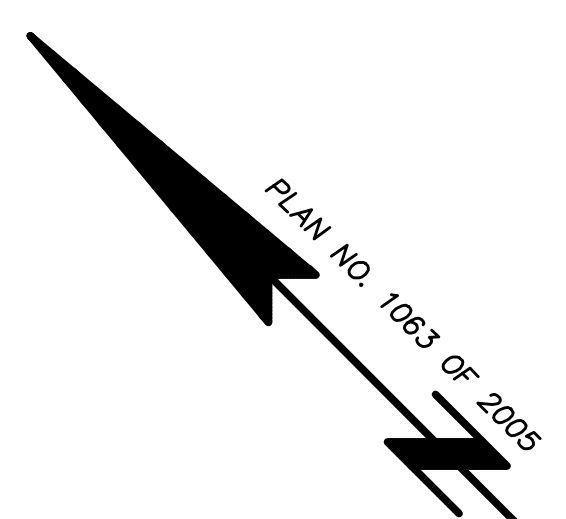


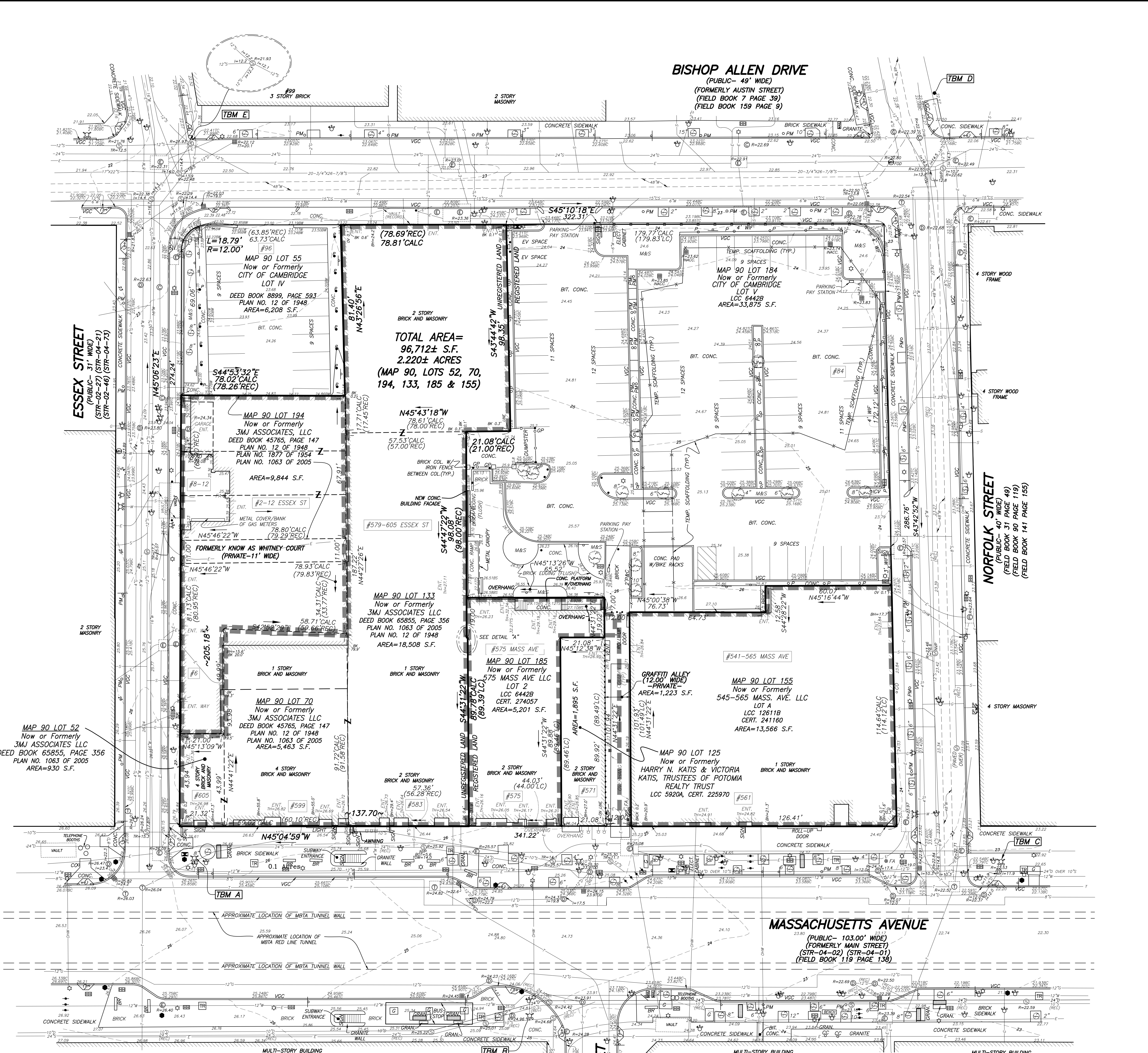
Image capture: Nov 2020 © 2023 Google







- LEGEND:**
- SEWER MANHOLE
  - DRAIN MANHOLE
  - ELECTRIC MANHOLE
  - WATER MANHOLE
  - TELEPHONE MANHOLE
  - CABLE TV MANHOLE
  - MANHOLE
  - HYDRANT
  - WATER SHUT OFF
  - GAS SHUT OFF
  - CATCH BASIN
  - TRAFFIC CONTROL BOX
  - TRAFFIC SIGNAL
  - UTILITY POLE
  - LIGHT POLE
  - ELECTRIC HANDHOLE
  - BOLLARD
  - MAIL BOX
  - SIGN
  - PARKING METER
  - IRRIGATION CONTROL VALVE
  - CLEAN OUT
  - COAL CHUTE
  - FIRE ALARM
  - STAND PIPE/SIAMSE CONNECTION
  - ORNAMENTAL LIGHT
  - GAS METER
  - TRASH RECEPTACLE
  - HANDICAP PARKING SPACE
  - DECIDUOUS TREE
  - HANDICAP RAMP
  - BENCH
  - BICYCLE RACK
  - BICYCLE POST
  - GATE POST
  - TEMPORARY BENCH MARK
  - RECORD
  - CALC
  - ENTRANCE
  - FINISH FLOOR ELEVATION
  - BHD
  - OVERHEAD DOOR
  - VGC
  - CONCRETE CURB
  - CHAIN LINK FENCE
  - WIF
  - LANDSCAPE TIMBER
  - RET
  - GRAN
  - BIT
  - CONC
  - TS
  - BW
  - TC
  - BC
  - Rm
  - IT
  - TR
  - BOT
  - INACC
  - NVP
  - TOW
  - TOD
  - FOD
  - FOW
  - S.F.
  - MAS
  - LOC
  - BK
  - OV
  - TH
  - GUARD RAIL
  - FENCE
  - SEWER
  - DRAIN
  - CS
  - W
  - G
  - E
  - T
  - C
  - OHW
  - FP
  - INTERIOR PARCEL UNREGISTERED LAND
  - INTERIOR PARCEL REGISTERED LAND

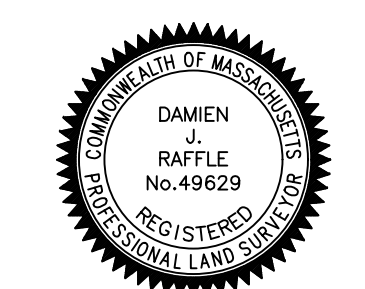


- NOTES:**
- BENCHMARK INFORMATION:
    - BENCHMARK USED: CHISELED SQUARE ON STONE BOUND WITH DRILL HOLE LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF GREEN STREET AND WESTERN AVENUE. ELEVATION= 27.32
    - TAKEN FROM A PLAN ENTITLED "SITE PLAN, 349-357 GREEN STREET, CAMBRIDGE, MA," DATED NOVEMBER 1, 2001 PREPARED BY NORDE-EAST SURVEY, PLAN IS ON FILE WITH CITY OF CAMBRIDGE DEPARTMENT OF PUBLIC WORKS.
    - TEMPORARY BENCHMARKS SET:
      - TBM A - X CUT ON RIGHT FRONT BOLT OF HYDRANT LOCATED AT THE CORNER OF ESSEX STREET AND MASSACHUSETTS AVENUE, AS SHOWN ON PLAN. ELEVATION= 28.53
      - TBM B - X CUT ON RIGHT FRONT BOLT OF HYDRANT LOCATED AT THE CORNER OF PEARL STREET AND MASSACHUSETTS AVENUE, AS SHOWN ON PLAN. ELEVATION= 27.27
      - TBM C - X CUT ON RIGHT FRONT BOLT OF HYDRANT LOCATED AT THE CORNER OF NORFOLK STREET AND MASSACHUSETTS AVENUE, AS SHOWN ON PLAN. ELEVATION= 25.41
      - TBM D - RIGHT OUTER CORNER OF LOWEST STONE STEP LOCATED AT NO. 48 NORFOLK STREET, AS SHOWN ON PLAN. ELEVATION= 23.11
      - TBM E - RIGHT OUTER CORNER OF LOWEST STONE STEP LOCATED AT NO. 89 BISHOP ALLEN DRIVE, AS SHOWN ON PLAN. ELEVATION= 23.48
  - ELEVATIONS REFER TO CITY OF CAMBRIDGE DATUM.
  - CONTOUR INTERVAL EQUALS ONE (1) FOOT.
  - UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFORESAID RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUB-SURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION. THE CABLE TELEVISION PLANS PROVIDED ARE SCHEMATIC AND MAY NOT BE COMPLETE OR ACCURATE.
  - THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF HARRY R. FELDMAN, INC. ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO HARRY R. FELDMAN, INC.'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY HARRY R. FELDMAN, INC.
  - LOCATION OF UNDERGROUND METAL TUNNEL WALLS ARE SHOWN FROM VARIOUS UTILITY PLANS. THERE ARE LIKELY ADDITIONAL WALLS AND UTILITY LINES OWNED BY THE MBTA WITHIN MASSACHUSETTS AVENUE TO SUPPORT AND SUPPLY INFRASTRUCTURE TO THE RED LINE. LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE AND FIELD VERIFIED PRIOR TO CONSTRUCTION.
  - INVERTS OF SEWER AND DRAIN NOT OBTAINED ON THE FAR SIDE OF MASSACHUSETTS AVENUE FROM LOCUS.
  - TO DATE HARRY HARRY R. FELDMAN, INC. HAS NOT RECEIVED PLANS SHOWING UNDERGROUND TELEPHONE LINES FROM VERIZON.
  - BUILDING HEIGHTS SHOWN ARE FROM THE BACK OF SIDEWALK TO THE TOP OF PARAPET OR ROOF, WHICHEVER CAN BE SEEN FROM THE GROUND.

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

*D. Raffle*  
DAMIEN J. RAFFLE, PLS. (MA# 49629)  
DJR@FELDMANSURVEYORS.COM

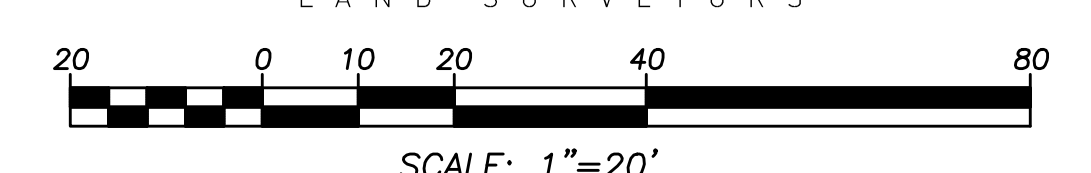
06-08-2021  
DATE



**EXISTING CONDITIONS PLAN OF LAND NO. 541-605 MASSACHUSETTS AVENUE NO. 84 NORFOLK STREET NO. 96 BISHOP ALLEN DRIVE CAMBRIDGE, MASS.**

FELDMAN LAND SURVEYORS  
152 HAMPDEN STREET  
BOSTON, MASS. 02119  
NOVEMBER 24, 2020  
PHONE: (617)357-9740  
www.feldmansurveyors.com

**FELDMAN**  
LAND SURVEYORS



RESEARCH	FELD CHIEF NC	PROJ MGR DJR	APPROVED	SHEET NO. 1 OF 1
CALC	CADD BU/WJK	FIELD CHECKED NC	CRD FILE 17747	JOB NO. 17747
FILENAME: S:\PROJECTS\17700\17747\DWG\17747-EC.dwg				



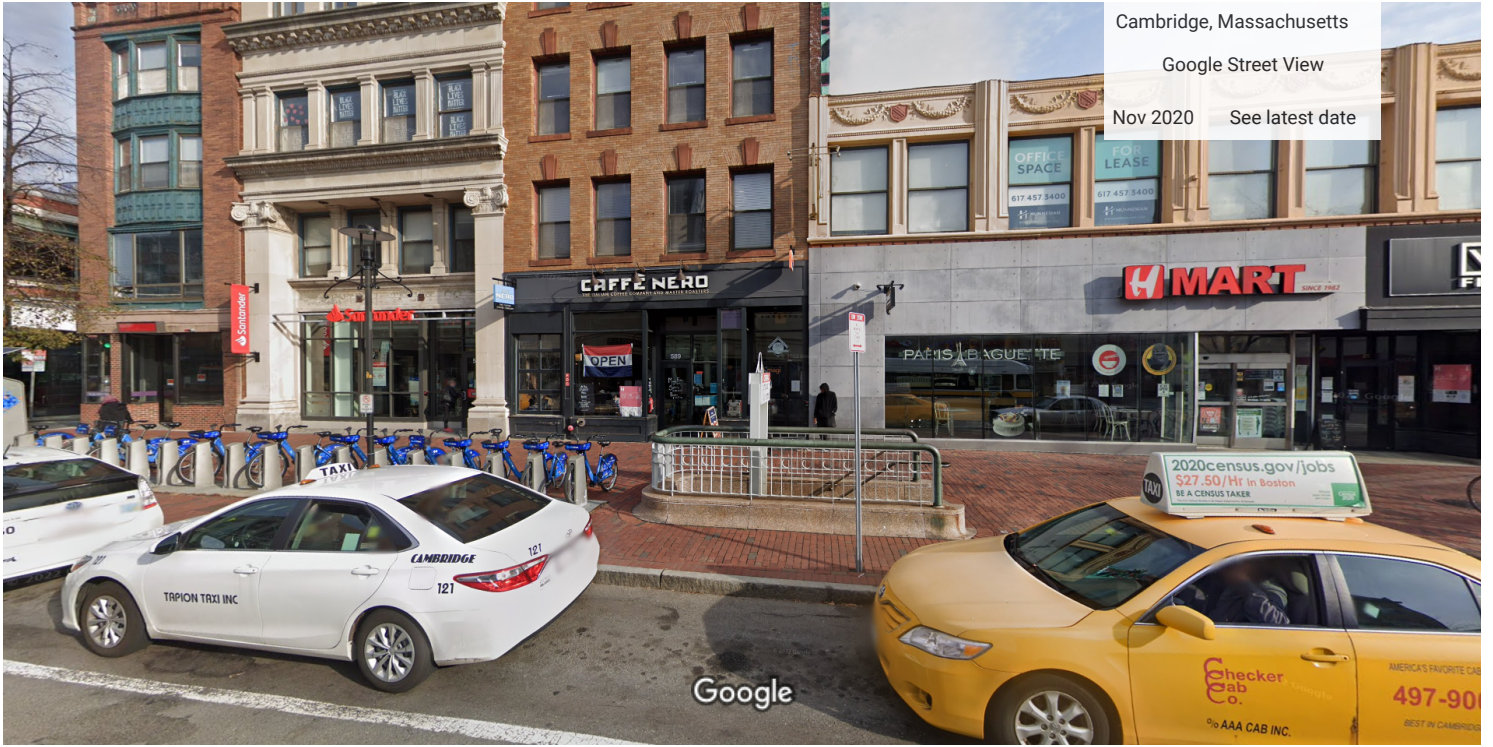
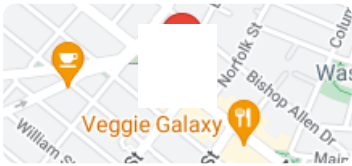


Image capture: Nov 2020 © 2023 Google





PROPERTY OWNER'S LETTER OF AUTHORIZATION

April 27, 2023

City of Cambridge  
795 Massachusetts Avenue  
Cambridge, MA 02139

RE: Dimagi

To Whom It May Concern:

I Morris M. Naggar of 585 Massachusetts Avenue, Cambridge, MA 02139 owner of said property, hereby authorize the above-referenced tenant to obtain new/and or change existing signage at the above-referenced address.

I also authorize Ardon Visual Communications and its employees of Woburn, MA 01801 to obtain the required and necessary permits, licenses, and approvals, which may be required for the installation of said signage and proceed with the installation if in accordance with all the governing laws, statues, and ordinances.

Signature: M. M. Naggar

Printed: Morris M. Naggar

Telephone: (617) 549-0070

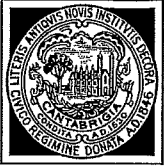
E-mail: Morris@3MJrealty.com



Lena Kalachian  
NOTARY PUBLIC  
Commonwealth of Massachusetts  
My Commission Expires  
June 1, 2029







CITY OF CAMBRIDGE  
Community Development Department

SIGN CERTIFICATION FORM  
COVER SHEET

IRAM FAROOQ  
Assistant City Manager for  
Community Development

SANDRA CLARKE  
Deputy Director  
Chief of Administration

KHALIL MOGASSABI  
Deputy Director  
Chief of Planning

Sign Text: Dimagi

Location of Sign: 585 Massachusetts Ave

Applicant: Janice Ernst

Ardon Visual Communications, 167 Bow Street, Ste. 110, Everett MA 02149

Zoning District: \_\_\_\_\_ Overlay District: \_\_\_\_\_

Area of Special Planning Concern: (Sec. 19.46 & 19.42.1) \_\_\_\_\_

Application Date: 07/21/2023

Sketch of sign enclosed: Yes  No

PLEASE NOTE: All signs must receive a permit from the Inspectional Services Department (ISD) before installation. Community Development Department Certification action does NOT constitute issuance of a permit or certification that all other code requirements have been met. Do not contract for the fabrication of a sign until all permits have been issued including City Council approval, if necessary for signs in the public way\*.

\* Any sign or portion of a sign extending more than six (6) inches into the public way/sidewalk, must receive approval from the Cambridge City Council; a bond must be posted with the City Clerk.

The Sign Ordinance is available online under Article 7.000 at <https://www.cambridgema.gov/CDD/zoninganddevelopment/Zoning/Ordinance>

Contact Liza Paden at 617 349 4647 or [lpaden@cambridgema.gov](mailto:lpaden@cambridgema.gov) for further information.







## Proposed WALL Sign

Area in Square feet: \_\_\_\_\_ Dimensions: \_\_\_\_\_ X \_\_\_\_\_

Illumination: Natural \_\_\_\_\_ Internal \_\_\_\_\_ External \_\_\_\_\_

Height (from ground to the top of the sign): \_\_\_\_\_

---

### 1. COMPLETE WHEN SIGN IS ACCESSORY TO A FIRST FLOOR STORE

Length in feet of store front facing street: (a) \_\_\_\_\_. Area of signs allowed accessory to store: outside (1 x a) \_\_\_\_\_, behind windows (0.5 x a) \_\_\_\_\_. Area of all existing signs on the store front to remain (including any freestanding sign): \_\_\_\_\_. Area of additional signs permitted: \_\_\_\_\_.

---

### 2. COMPLETE FOR ANY OTHER SIGN

Length in feet of building facade facing street: (a) \_\_\_\_\_. Area of signs allowed accessory to the building facade: outside (1 x a) \_\_\_\_\_, behind windows (0.5 x a) \_\_\_\_\_. Area of all existing signs on the building facade to remain (including any freestanding sign): \_\_\_\_\_. Area of additional signs permitted: \_\_\_\_\_.

---

**SUMMARY OF LIMITATIONS FOR WALL SIGNS (see reverse side for more general summary of the sign regulations; review Article 7.000 of the Zoning Ordinance for all zoning requirements.)**

**AREA: 60 square feet maximum. HEIGHT ABOVE THE GROUND: 20 feet but below the sills of second floor windows. ILLUMINATION: Natural or external, or internal illumination with significant limitations. NUMBER: No limit.**

### COMMUNITY DEVELOPMENT DEPARTMENT CERTIFICATION

Sign conforms to requirements of Article 7.000: YES \_\_\_\_\_ NO \_\_\_\_\_

Sign requires a variance from the Board of Zoning Appeal: YES \_\_\_\_\_

Relevant sections: \_\_\_\_\_

COMMENTS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Date: \_\_\_\_\_ CDD Representative \_\_\_\_\_



### Proposed FREESTANDING Sign

Area in Square feet: \_\_\_\_\_ Dimensions: \_\_\_\_\_ X \_\_\_\_\_

Illumination: Natural \_\_\_ Internal \_\_\_ External \_\_\_

Height (from ground to the top of the sign): \_\_\_\_\_

---

#### 1. COMPLETE WHEN SIGN IS ACCESSORY TO A FIRST FLOOR STORE

Length in feet of store front facing street: (a) \_\_\_\_\_. Area of signs allowed accessory to store: outside (1 x a) \_\_\_\_\_, behind windows (0.5 x a) \_\_\_\_\_. Area of all existing signs on the store front to remain (including any freestanding sign): \_\_\_\_\_. Area of additional signs permitted: \_\_\_\_\_.

---

#### 2. COMPLETE FOR ANY OTHER SIGN

Length in feet of building facade facing street: (a) \_\_\_\_\_. Area of signs allowed accessory to the building facade: outside (1 x a) \_\_\_\_\_, behind windows (0.5 x a) \_\_\_\_\_. Area of all existing signs on the building facade to remain (including any freestanding sign): \_\_\_\_\_. Area of additional signs permitted: \_\_\_\_\_.

**SUMMARY OF LIMITATIONS FOR FREESTANDING SIGNS (see reverse side for more general summary of the sign regulations; review Article 7.000 of the Zoning Ordinance for all zoning requirements.)**

**AREA: 30 square feet maximum. HEIGHT ABOVE THE GROUND: 15 feet. ILLUMINATION: Natural or external only. NUMBER: Two per lot (but not exceeding 30 square feet in total area).**

#### COMMUNITY DEVELOPMENT DEPARTMENT CERTIFICATION

Sign conforms to requirements of Article 7.000: YES \_\_\_\_\_ NO \_\_\_\_\_

Sign requires a variance from the Board of Zoning Appeal: YES \_\_\_\_\_

Relevant sections: \_\_\_\_\_

COMMENTS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Date: \_\_\_\_\_ CDD Representative \_\_\_\_\_



**Existing Legally Established NONCONFORMING Sign**

Area in Square feet: \_\_\_\_\_ Dimensions: \_\_\_\_\_ X \_\_\_\_\_

Illumination: Natural  Internal \_\_\_\_\_ External \_\_\_\_\_

Height (from ground to the top of the sign): 83

---

1. TYPE OF SIGN

a. wall \_\_\_\_\_ b. projecting \_\_\_\_\_ c. freestanding \_\_\_\_\_

---

2. REASON FOR NONCONFORMITY

a. dimensions  b. illumination \_\_\_\_\_ c. other \_\_\_\_\_

---

3. NATURE OF ALTERATIONS

a. replacement of plastic face \_\_\_\_\_ b. repainting of face \_\_\_\_\_ c. other

---

**I certify that the above referenced sign was legally erected and in conformance with the requirements of Article 7.000 at that time and further that the alterations now proposed, and any others made within the last three (3) years, do not exceed fifty (50%) percent of the current replacement value of the sign.)**

Date: \_\_\_\_\_ Applicant signature: \_\_\_\_\_

COMMUNITY DEVELOPMENT DEPARTMENT CERTIFICATION

Sign conforms to requirements of Article 7.000: YES \_\_\_\_\_ NO \_\_\_\_\_

Sign requires a variance from the Board of Zoning Appeal: YES

Relevant sections: \_\_\_\_\_

COMMENTS: \_\_\_\_\_

Date: \_\_\_\_\_ CDD Representative \_\_\_\_\_

**SIGN CERTIFICATION FORM  
COMMUNITY DEVELOPMENT DEPARTMENT**

***CERTIFICATION OF EXEMPTION***

**Applicant:** Janice Ernst

Ardon Visual Communications

167 Bow Street, Suite 110 Everett, MA 02149

**Signature** \_\_\_\_\_

**Telephone:** 857-256-4370 **FAX:** \_\_\_\_\_

**Location of Premises:** 585 Massachusetts Ave. Cambridge MA

**Zoning District:** \_\_\_\_\_ **Overlay District:** \_\_\_\_\_

**Date Application Submitted:** 07/21/2023

**Sketch of Sign Enclosed:**  Yes  No

**PLEASE NOTE: Signs, even if exempt under Article 7.000, may require a permit from the Inspectional Services Department (ISD) before installation. Community Development Department (CDD) action does NOT constitute issuance of a permit or certification that all other code requirements have been met. Awnings of any kind projecting over a city sidewalk require City Council approval.**

**REASON FOR EXEMPTION:** *Awning without graphics* \_\_\_\_\_ *Exempt signs in Section 7.16.11 (including directional signs)* \_\_\_\_\_

**Date:** \_\_\_\_\_ **CDD Representative** \_\_\_\_\_

**Copies:** ISD \_\_\_\_\_ City Clerk\* \_\_\_\_\_ CDD \_\_\_\_\_ Applicant \_\_\_\_\_



## Summary of Major Provisions for Office, Business and Industrial Districts

(Please consult Article 7.000 of the Zoning Ordinance for specific requirements)

### Limitations on Total Area of the Signs on a Building

(See definition of sign frontage)

1. **For Ground Floor stores:** Width of store x 1 square foot equals area of all signs permitted on the outside of the storefront
2. **For all signs on a single façade of a building:** (including those in paragraph 1 above): Width of building façade facing a street x 1 square foot equals area of all signs permitted on that façade. \* \*

(Note: An additional 0.5 square feet per foot of sign frontage is permitted for signs located behind the glass of a window).

### Limitations on the Height of Signs Above the Ground

Fifteen (15) for free-standing signs; twenty (20) feet for all other signs with expectation for certain hotel and theater signs.

### Limitations on Area of Individual Signs

1. Wall signs: Sixty (60) Square feet Maximum. \*
2. Projecting Signs: Thirteen (13) square feet maximum. \*
3. Free-standing signs: Thirty (30) Square feet maximum. \*

\* However no sign may exceed that area determined by the formula: sign frontage x 1 square foot.

### Limitations on Number of Signs Permitted

1. No limit
2. Projecting signs: one per ground floor establishment plus one per door serving the remainder of the building.
3. Free-standing Signs: Two per lot.

### Limitations on Kinds of Illumination

1. Projecting (including awning signs) and free-standing signs: Natural and external only.
2. Wall signs: Natural or external without limit. Internal under the following conditions:
  - a. At least one dimension is 30" or less; and
  - b. The sign is located behind window glass or projects no more than 2" from the building face; or the sign consists only of individual letters, or channel letters, or only the letters in a box sign illuminated.

\*\* Where the sign frontage is more than 100 feet from a street the multiplier may be increased to 2 square feet.



---

## City of Cambridge Community Development Department STOREFRONT IMPROVEMENT PROGRAM

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The City of Cambridge Community Development Department (CDD) established the Storefront Improvement Program to provide financial assistance to property owners or retail tenants seeking to **remove architectural barriers**, **renovate the commercial building façade** and **enhance exterior signage**. The Program's objectives are to improve accessibility and physical appearance of retail establishments and enhance commercial districts.

The Program provides a **matching grant for the funding of well-designed improvements** that will coordinate all the important features of the storefront into a more attractive image while creating an accessible entrance for the public. This may include removal of physical barriers, restoration of architectural details, better windows and doors, and well-proportioned signage and lighting. Past matching grants have ranged from \$2,500 to \$35,000 with accessible design upgrades getting 90% reimbursement based on scope of work and available funds. Grants vary each year so contact CDD for further information.

Applicants are responsible for hiring licensed designers, architects, contractors, and sign fabricators. A retail tenant is defined as a commercial establishment selling goods or services directly to members of the public for personal use and whose use is not solely for re-sale purposes (wholesale). Included in this definition are food and creative for-profit businesses.

**Improvements made prior to a signed contract with the City of Cambridge will not be funded.**

The following criteria must be met for participation in the Program:

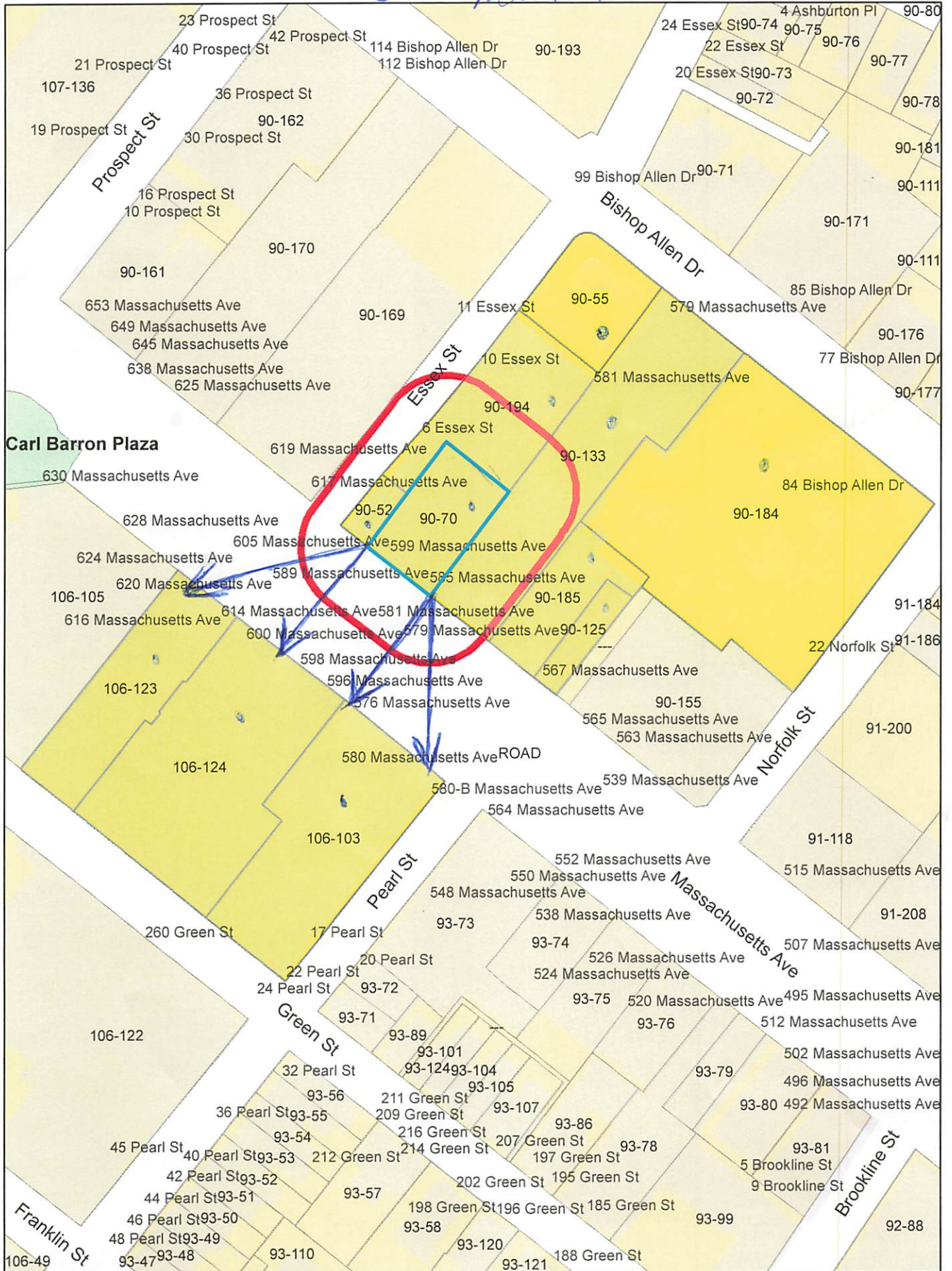
1. Applicants must be property owners or commercial retail tenants whose storefronts face onto a Cambridge street;
2. Commercial retail tenants must offer goods or services that are open to the public;
3. Preference will be given to independent businesses not required by contractual arrangement to maintain standardized décor, architecture, signs or similar features;
4. Preference will be given to commercial retail tenants in a commercial district or corridor;
5. Tenants must have written approval from property owners to participate in program;
6. Billboards on property, if applicable, must be permanently removed as part of the improvement;
7. Property owners must be up to date on all municipal taxes prior to participation in the program;
8. Applicants must comply with all State and local laws and regulations pertaining to licensing, permits, building code and zoning requirements.

The City of Cambridge reserves the right to apply additional criteria before accepting a project if program demand exceeds budgeted resources.

For more information, please contact Christina DiLisio, (617) 349-4601, [cdilisio@cambridgema.gov](mailto:cdilisio@cambridgema.gov)



585 Mass Ave



585 Mass Ave

Petitioner

106-103  
ROTHMAN, GEORGE & ETHEL ROTHMAN,  
C/O FIRST CAMBRIDGE REALTY  
907 MASS AVE  
CAMBRIDGE, MA 02139

106-124  
CIFRINO-MASSACHUSETTS AVENUE REALTY LLC.  
C/O SUPERIOR REALTY CO., INC.  
540 GALLIVAN BOULEVARD  
DORCHESTER, MA 02124

JOSEPH NAGGAR  
585 MASS AVENUE  
CAMBRIDGE, MA 02139

90-52-70-194-133  
3MJ ASSOCIATES LLC  
585 MASSACHUSETTS AVE  
CAMBRIDGE, MA 02139

90-55 & 184  
CITY OF CAMBRIDGE  
C/O TRAFFIC & PARKING

90-55 & 184  
CITY OF CAMBRIDGE  
C/O YI-AN HUANG  
CITY MANAGER

90-55 & 184  
CITY OF CAMBRIDGE  
C/O MEGAN BAYER  
CITY SOLICITOR

106-123  
CARU CAMBRIDGE LLC.  
620 MASSACHUSETTS AVE  
CAMBRIDGE, MA 02139

90-125  
KATIS, HARRY N, & VICTORIA KATIS,  
TRUSTEE OF POTAMIA REALTY TRUST  
720 MASS AVE  
CAMBRIDGE, MA 02139

90-185  
575 MASS AVE LLC  
585 MASSACHUSETTS AVE  
CAMBRIDGE, MA 02139