



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2023 MAR -3 AM 10:18
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 212734

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: X Appeal:

PETITIONER: Susan Kale C/O James J. Rafferty

PETITIONER'S ADDRESS: 907 Massachusetts Avenue, Cambridge, MA 02139

LOCATION OF PROPERTY: 5 Foch St , Cambridge, MA

TYPE OF OCCUPANCY: single family

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Petitioner seeks to expand existing single family dwelling by constructing second and third floor additions that will increase the roof height and provide code compliant access to third floor living space.

Add windows within the setback.

SECTIONS OF ZONING ORDINANCE CITED:

- Article: 5.000 Section: 5.31 Table of Dimensional Requirements
- Article: 8.000 Section: 8.22.3 (Non-Conforming Structure).
- Article: 8.000 Section: 8.22.2.c (Non-Conforming Structure).
- Article: 10.000 Section: 10.30 (Variance). & Sec. 10.40 (Special Permit).

Original
Signature(s):



(Petitioner (s) / Owner)

James J. Rafferty, Attorney for Petitioner

(Print Name)

Address: 907 Massachusetts Avenue, Suite 300
Cambridge, MA 02139
 Tel. No. 617.492.4100
 E-Mail Address: jrafferty@adamsrafferty.com

OWNERSHIP INFORMATION FOR BOARD OF ZONING APPEAL RECORD

To be completed by OWNER, signed and returned to Secretary of Board of Appeal

Susan Kale
(Owner or Petitioner)

Address: c/o James J. Rafferty 907 Massachusetts Avenue, Cambridge MA 02139

Location of Premises: 5 Foch Street


the record title standing in the name of Susan and Carol Kale

whose address is 5 Foch Street, Cambridge MA
(Street) (City or Town) (State & Zip Code)

by a deed duly recorded in the Middlesex South County Registry of Deeds in

Book 26683 Page 444 or _____ Registry

District of Land Court Certificate No. _____ Book _____ Page _____


(Owner)

=====

On this 8th day of December 2022, before me, the undersigned notary public, personally appeared Susan Kale proved to me through satisfactory evidence of identification, which were ma lic 500414421, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.




Notary Public

My commission expires: **ALICE M. TRIFONE**
Notary Public
Commonwealth of Massachusetts
My Commission Expires
June 1, 2023



BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the Ordinance would prevent the Petitioner from expanding the attic and creating building code compliant access and egress.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The hardship is directly related to the shape and size of the lot and the slope of the existing roof.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

1) Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The home will continue to conform to the height, lot area per dwelling unit and open space requirements of the Residence B zoning district. Furthermore, the provided setbacks will not be altered as a result of this application.

2) Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The proposed addition will result in a home that is consistent with the size and use of surrounding structures in the neighborhood.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 5 Foch St., Cambridge, MA (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:
Article 8.22.2(c) permits the creation of windows on non-conforming walls when, as in this case, there are no further violations of the dimensional requirements of Article 5.000.
- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:
There will not be any change in traffic patterns as a result of adding windows.
- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:
Adjacent uses will not be affected since the use of the property as a single family dwelling will not be changed.
- D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:
Adding windows will benefit the health, safety, and welfare of the occupants of this dwelling.
- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:
The proposed windows will not change the use of the property and are consistent with the residential uses in the district.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

Date: 3/1/23

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Susan Kale
Location: 5 Foch St., Cambridge, MA
Phone: 617.492.4100

Present Use/Occupancy: single family
Zone: Residence B Zone
Requested Use/Occupancy: single family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		1,757 sf	2,302 sf	2,040 sf	(max.)
<u>LOT AREA:</u>		4,080 sf	no change	5,000 sf	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		.43	.564	.50	
<u>LOT AREA OF EACH DWELLING UNIT</u>		4,080	no change	2,500	
<u>SIZE OF LOT:</u>	WIDTH	45'	no change	50'	
	DEPTH	88.87'	no change	N/A	
<u>SETBACKS IN FEET:</u>	FRONT	15'	no change	15'	
	REAR	29'	no change	25'	
	LEFT SIDE	4.1'	no change	7'6" (sum of 20)	
	RIGHT SIDE	16.6'	no change	7'7" (sum of 20)	
<u>SIZE OF BUILDING:</u>	HEIGHT	32'	35'	35'	
	WIDTH	44.8'	no change	N/A	
	LENGTH	24.5'	no change	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		46%	no change	40%	
<u>NO. OF DWELLING UNITS:</u>		1	no change	1	
<u>NO. OF PARKING SPACES:</u>		2	no change	0	
<u>NO. OF LOADING AREAS:</u>		N/A	no change	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

- N/A
- SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
 - TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
 - OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

CONSTRUCTION NOTES

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- CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM PROJECT SITE AND SHALL PROVIDE DUMPSTERS ETC. AS REQUIRED. REMOVE ALL DEBRIS ON A DAILY BASIS.
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WALL LEGEND

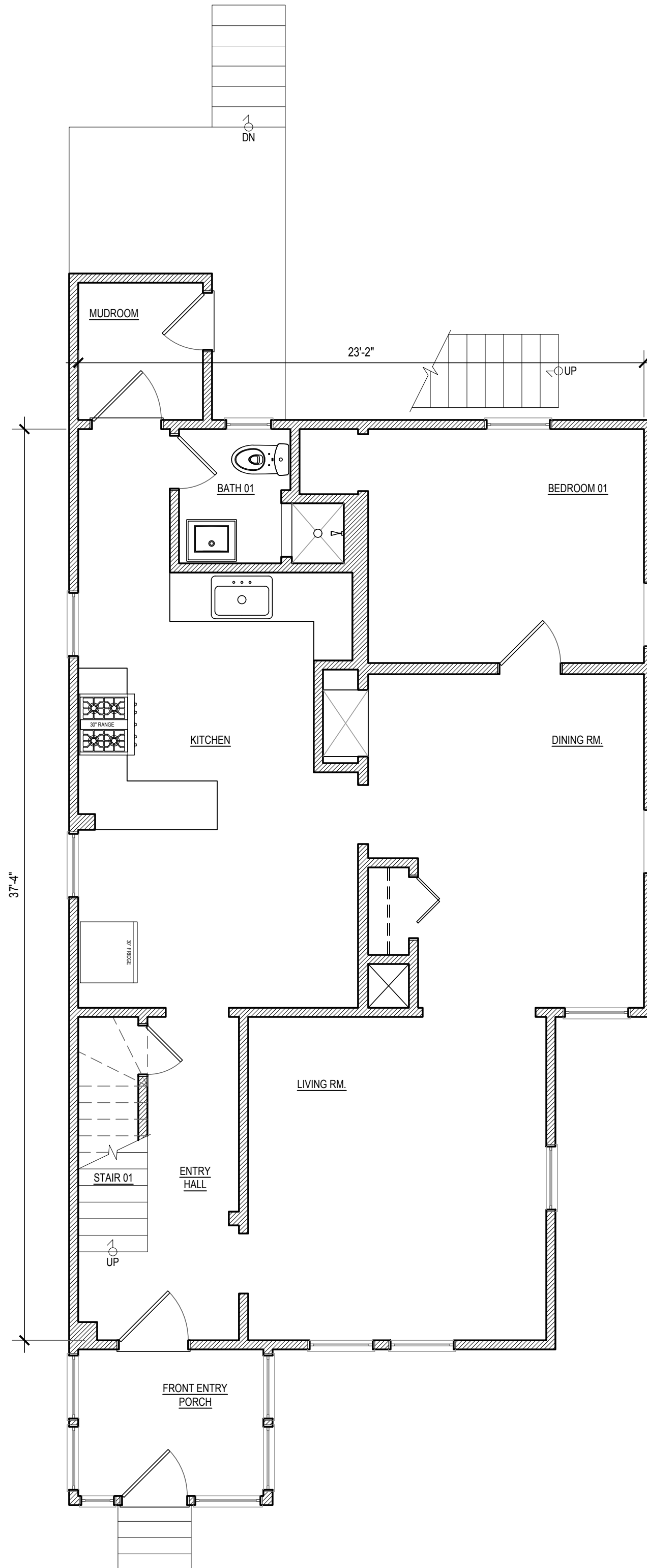
	WALL TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL

ENERGY CODE INFO.

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FENESTRATION: 0.32	CEILING/ROOF - R49
SKYLIGHTS: 0.32	WALLS - R20
WINDOW GLAZING: 0.27	FLOORS - R30
DOORS: 0.30	BASEMENT WALLS - R15 (CONT.) OR R19 (IN STUD CAVITIES)
	CRAWLSPACE WALLS - R15 (CONT.) OR R19 (IN STUD CAVITIES)
	SLAB: R10 TO 24" DEPTH

REFER TO 2015 IECC TABLE R402.1.2 FOR FURTHER INFORMATION IF NECESSARY.



PRIVATE RESIDENCE
5 FOCH ST.,
CAMBRIDGE, MA 02140

General Notes:

ZONING
REVIEW
SET

Drawing Information:

PROJECT NUMBER: 2020-01
DRAWN BY: J R K
CHECKED BY: J R K
DATE: 02/15/2023
SCALE:
SHEET REFERENCE:

TITLE:
FIRST
FLOOR:
EXISTING

SHEET NUMBER:
A110

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WALL LEGEND

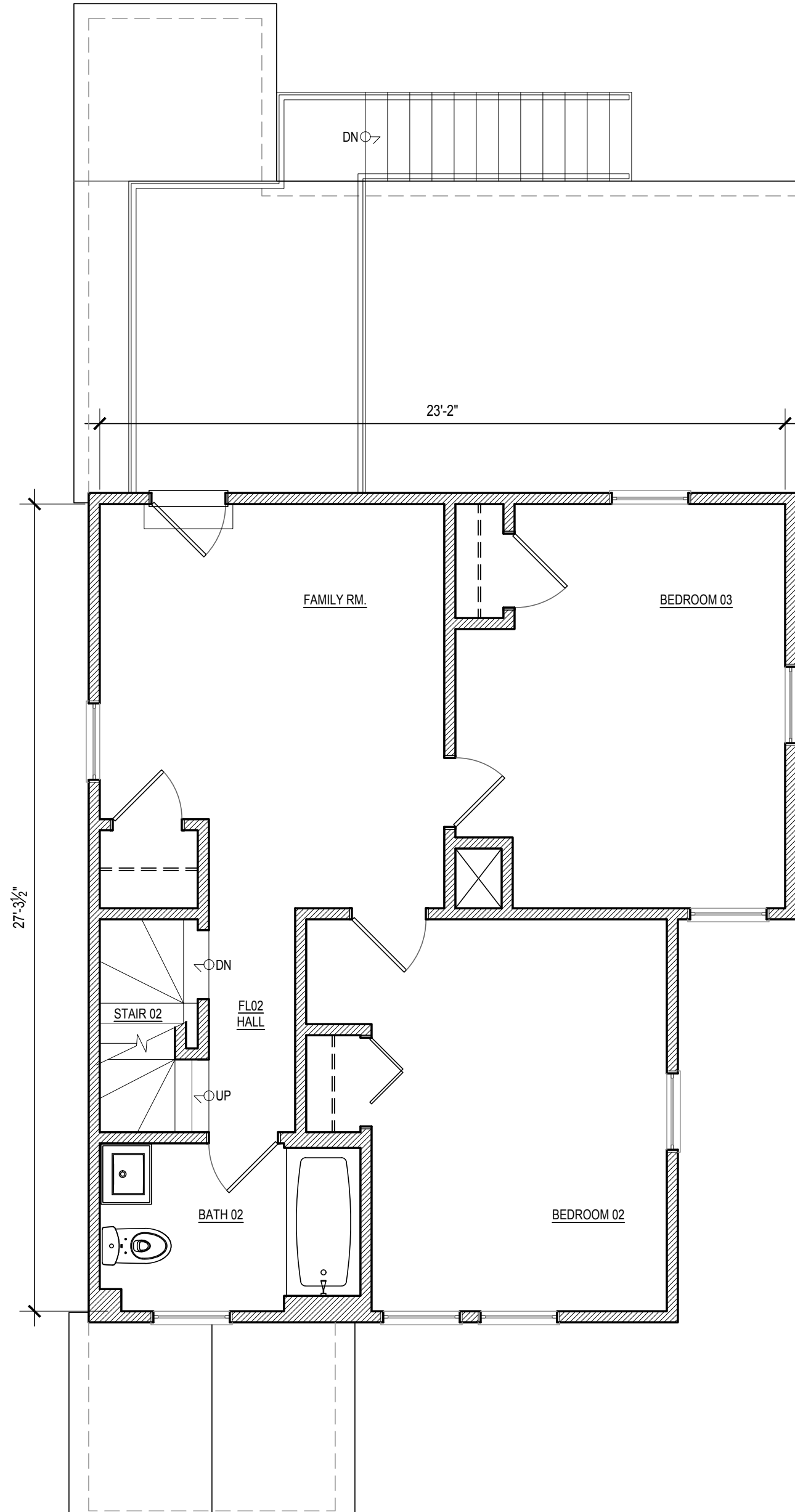
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General Notes:

ZONING
REVIEW
SET

Drawing Information:

PROJECT NUMBER: 2020-01
DRAWN BY: J R K
CHECKED BY: J R K
DATE: 02/15/2023
SCALE:
SHEET REFERENCE:

TITLE:

SECOND
FLOOR:
EXISTING

SHEET NUMBER:

A120

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- PAINTING FOR GYPSUM BOARD AND WOOD CONSTRUCTION PROVIDE TWO (2) FINISH COATS OF PREMIUM GRADE PAINT OVER SINGLE COAT OF COMPATIBLE PRIMER, PROMAR 200 SERIES BY SHERWIN WILLIAMS, CLEVELAND, OHIO OR APPROVED EQUAL. ALL PAINT BY SINGLE MANUFACTURER.
- GC TO VERIFY ALL WINDOW LOCATIONS AND SIZES FOR REPLACEMENT SCOPE. ANY LOCATIONS/SIZES IN CONFLICT WITH NEW CONSTRUCTION ASSEMBLIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION, IN WRITING, IMMEDIATELY.
- THE OWNER AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ARCHITECT/DESIGNER FROM AND AGAINST CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK, PROVIDED THAT SUCH CLAIM, DAMAGE, LOSS OR EXPENSE IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE OR DEATH, OR TO INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY, BUT ONLY TO THE EXTENT CAUSED BY THE NEGLIGENT ACTS OR OMISSIONS OF THE CONTRACTOR, A SUBCONTRACTOR, OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY OR ANYONE FOR WHOM ACTS THEY MAY BE LIABLE.

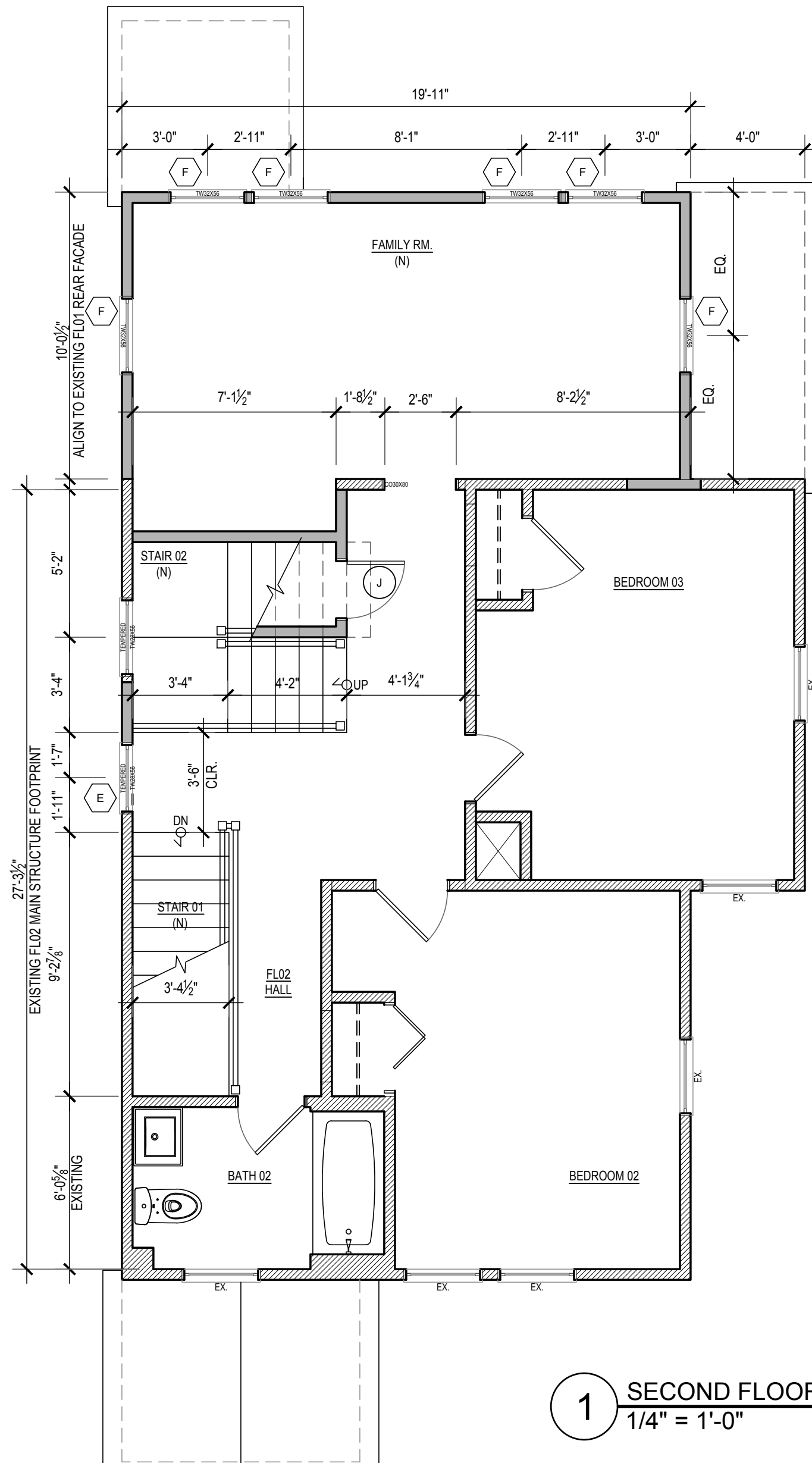
WALL LEGEND	
	WALL TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL

ENERGY CODE INFO.

THE FOLLOWING ARE ENERGY CODE REQUIREMENTS BASED ON THE 2015 IECC. REFER DIRECTLY TO THE LOCAL GOVERNING AGENCY TO ENSURE THE R-VALUES BELOW ARE SUFFICIENT PRIOR TO INITIATING ANY WORK.

U-FACTORS:	R-VALUES:
FENESTRATION: 0.32	CEILING/ROOF - R49
SKYLIGHTS: 0.32	WALLS - R20
WINDOW GLAZING: 0.27	FLOORS - R30
DOORS: 0.30	BASEMENT WALLS - R15 (CONT.) OR R19 (IN STUD CAVITIES)
	CRAWLSPACE WALLS - R15 (CONT.) OR R19 (IN STUD CAVITIES)
	SLAB: R10 TO 24" DEPTH

REFER TO 2015 IECC TABLE R402.1.2 FOR FURTHER INFORMATION IF NECESSARY.



WINDOW SCHED. (ANDERSEN 400 SERIES OR EQ.)
UNIT: QTY:

E	TW2442	1
F	TW2642	6

DOOR SCHED. (REFER TO PLAN FOR HANDING)

LEAF SIZE:	QTY:	MANU.:	MODEL:	HW TYPE:
J	LH24X80	1	BROSCO PR44 OVOLO	PASSAGE

GFA AREA BREAKDOWN

FLOOR:	EXISTING	PROPOSED ADD	TOTAL BY FLOOR
FL00	EXCLUDED	0 SF	EXCLUDED
FL01	945 SF	0 SF	945 SF
FL02	616 SF	200 SF	816 SF
FL03	196 SF	345 SF	541 SF
TOTALS	1757 SF	545 SF	2302 SF

1 SECOND FLOOR PLAN: NEW

1/4" = 1'-0"

NOTE:
- DIMENSIONS ARE TO FINISH WALL FACE/SURFACES U.O.N.;
REDUCE BY THE APPROVED WALL SHEATHING THICKNESS
TO ATTAIN ROUGH FRAME DIMENSION/LOCATION.

PRIVATE RESIDENCE
5 FOCH ST.,
CAMBRIDGE, MA 02140

General Notes:
**ZONING
REVIEW
SET**

Drawing Information:

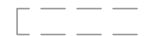


PROJECT NUMBER:	2020-01
DRAWN BY:	JRK
CHECKED BY:	JRK
DATE:	02/15/2023
SCALE:	
SHEET REFERENCE:	

TITLE:
**SECOND
FLOOR:
NEW**

SHEET NUMBER:
A122

CONSTRUCTION NOTES

- DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TAKEN FROM FACE OF MASONRY OR ROUGH FRAMING. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL INSURE ALL WORK IS IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE LATEST EDITIONS OF THE MASS. UNIFORM FIRE PREVENTION AND BUILDING CODE, MASS. ENERGY CONSERVATION CODE, MASS. PLUMBING CODE, NATIONAL ELECTRIC CODE, AND ALL OTHER FEDERAL, STATE AND LOCAL AGENCY REGULATIONS HAVING JURISDICTION OVER THIS PROJECT. IN THE EVENT OF ANY DISCREPANCIES BETWEEN AGENCY REQUIREMENTS, THE CONTRACTOR SHALL OBSERVE THE MORE STRINGENT OF REQUIREMENTS.
- ALL WORK SHALL COMPLY WITH THE STANDARDS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS (NBFI), INDUSTRIAL RISK INSURANCE UNDERWRITERS (IRI), FACTORY MUTUAL (FM), OR THE APPLICABLE RATING BUREAU, THE NATIONAL ELECTRIC CODE (NEC), THE AMERICAN GAS ASSOCIATION (AGA), AND THE AMERICAN SOCIETY OF HEATING AND AIR CONDITIONING ENGINEERS (ASHRAE), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), APPLICABLE STATE AND CITY BUILDING CODES AND THE REQUIREMENTS OF ALL PUBLIC UTILITY COMPANIES SERVING THE PROJECT SITE.
- CONTRACTOR (AND HIS SUBCONTRACTORS) SHALL BE LICENSED BY THE STATE IN WHICH THE PROJECT IS LOCATED AND APPROVED IN ADVANCE BY THE OWNER.
- CONTRACTOR SHALL FILE ALL APPLICATIONS, PAY FOR ALL NECESSARY PERMITS AND SECURE CERTIFICATES OF OCCUPANCY FOR THE PROJECT.
- ALL WORK IS TO BE COORDINATED WITH THE OWNER. THE CONTRACTOR IS TO MEET WITH THE OWNER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR WILL PRESENT THE BUILDING PERMIT AND INSURANCE CERTIFICATES TO THE OWNER PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ANY NECESSARY MEASURES TO PROTECT THE WORKERS AND OTHER PERSONS DURING CONSTRUCTION.
- CHECK WITH THE OWNER FOR COORDINATION OF THE WORK UNDER THIS CONTRACT WITH WORK OF OTHER TRADES. OWNER'S REGULATIONS GOVERN ALL ASPECTS OF OUTSIDE CONTRACTORS WORKING ON THE PROPERTY.
- CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM PROJECT SITE AND SHALL PROVIDE DUMPSTERS ETC. AS REQUIRED. REMOVE ALL DEBRIS ON A DAILY BASIS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING BUILDINGS AND OTHER INSTALLATIONS THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK. PROVIDE AND MAINTAIN FIRE EXTINGUISHERS ON PROJECT SITE DURING CONSTRUCTION.
- UNLESS INDICATED OTHERWISE, ALL MATERIAL FURNISHED AND INCORPORATED INTO THE WORK SHALL BE NEW, UNUSED AND OF QUALITY STANDARD TO THE INDUSTRY FOR FIRST CLASS WORK OF SIMILAR NATURE AND CHARACTER. INSTALL ALL MATERIALS TO THE MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARD OF THE TRADES INVOLVED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES ON DRAWINGS.
- THE CONTRACTOR AND ALL SUBCONTRACTORS MUST VISIT THE SITE TO VERIFY EXISTING CONDITIONS PRIOR TO ANY WORK. EXISTING CONCEALED CONDITIONS AND CONNECTIONS ARE BASED UPON INFORMATION TAKEN FROM LIMITED FIELD INVESTIGATIONS. CONTRACTOR SHALL MAKE REQUIRED ADJUSTMENTS TO SYSTEM COMPONENTS AS NECESSITATED BY ACTUAL FIELD CONDITIONS AT NO ADDITIONAL COST TO OWNER OR ARCHITECT. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT BEFORE CONSTRUCTION BEGINS.
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- CONTRACTOR TO OBTAIN AND PROVIDE OWNER WITH COLOR SAMPLES FOR PROPER COLOR SELECTION AND FINAL APPROVAL OF ALL FINISHES PRIOR TO INSTALLATION.
- INTERIOR FINISHES SHALL BE CLASS C (SURFACE FLAME SPREAD RATING OF 76200) MINIMUM IN CONFORMITY WITH GENERALLY ACCEPTED STANDARDS. CARPETING SHALL BE CLASS 2 WITH A MINIMUM CRITICAL RADIANT FLUX OF 22WATTS PER SQUARE CENTIMETER.
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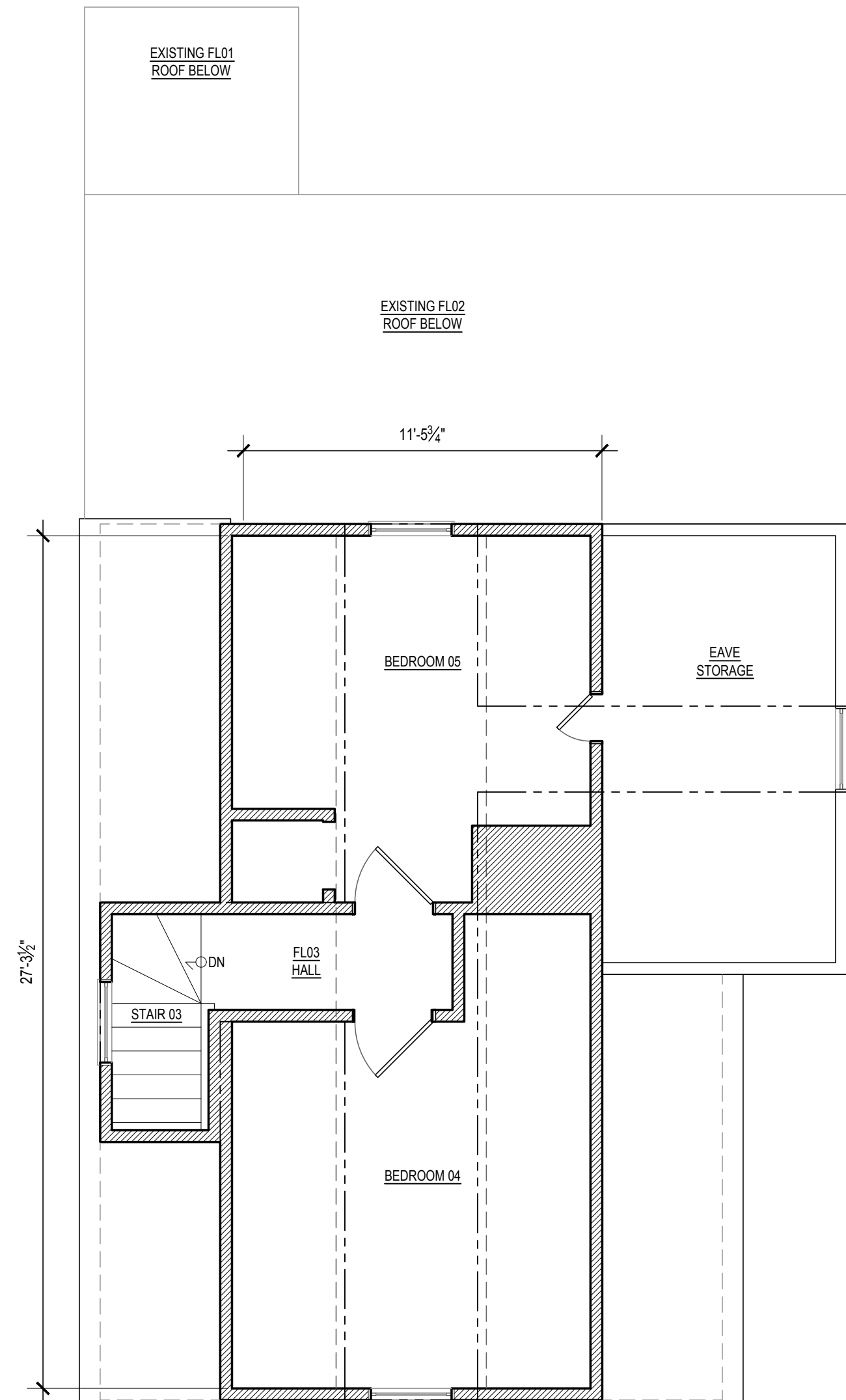
WALL LEGEND	
	WALL TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL

ENERGY CODE INFO.

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U-FACTORS:	R-VALUES:
FENESTRATION: 0.32	CEILING/ROOF - R49
SKYLIGHTS: 0.32	WALLS - R20
WINDOW GLAZING: 0.27	FLOORS - R30
DOORS: 0.30	BASEMENT WALLS - R15 (CONT.) OR R19 (IN STUD CAVITIES)
	CRAWLSPACE WALLS - R15 (CONT.) OR R19 (IN STUD CAVITIES)
	SLAB: R10 TO 24" DEPTH

REFER TO 2015 IECC TABLE R402.1.2 FOR FURTHER INFORMATION IF NECESSARY.



PRIVATE RESIDENCE
5 FOCH ST.,
CAMBRIDGE, MA 02140

General Notes:

ZONING
REVIEW
SET

Drawing Information:

PROJECT NUMBER: 2020-01
DRAWN BY: J R K
CHECKED BY: J R K
DATE: 02/15/2023
SCALE:
SHEET REFERENCE:

TITLE:

THIRD
FLOOR:
EXISTING

SHEET NUMBER:

A130

CONSTRUCTION NOTES

- DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TAKEN FROM FACE OF MASONRY OR ROUGH FRAMING. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
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WALL LEGEND

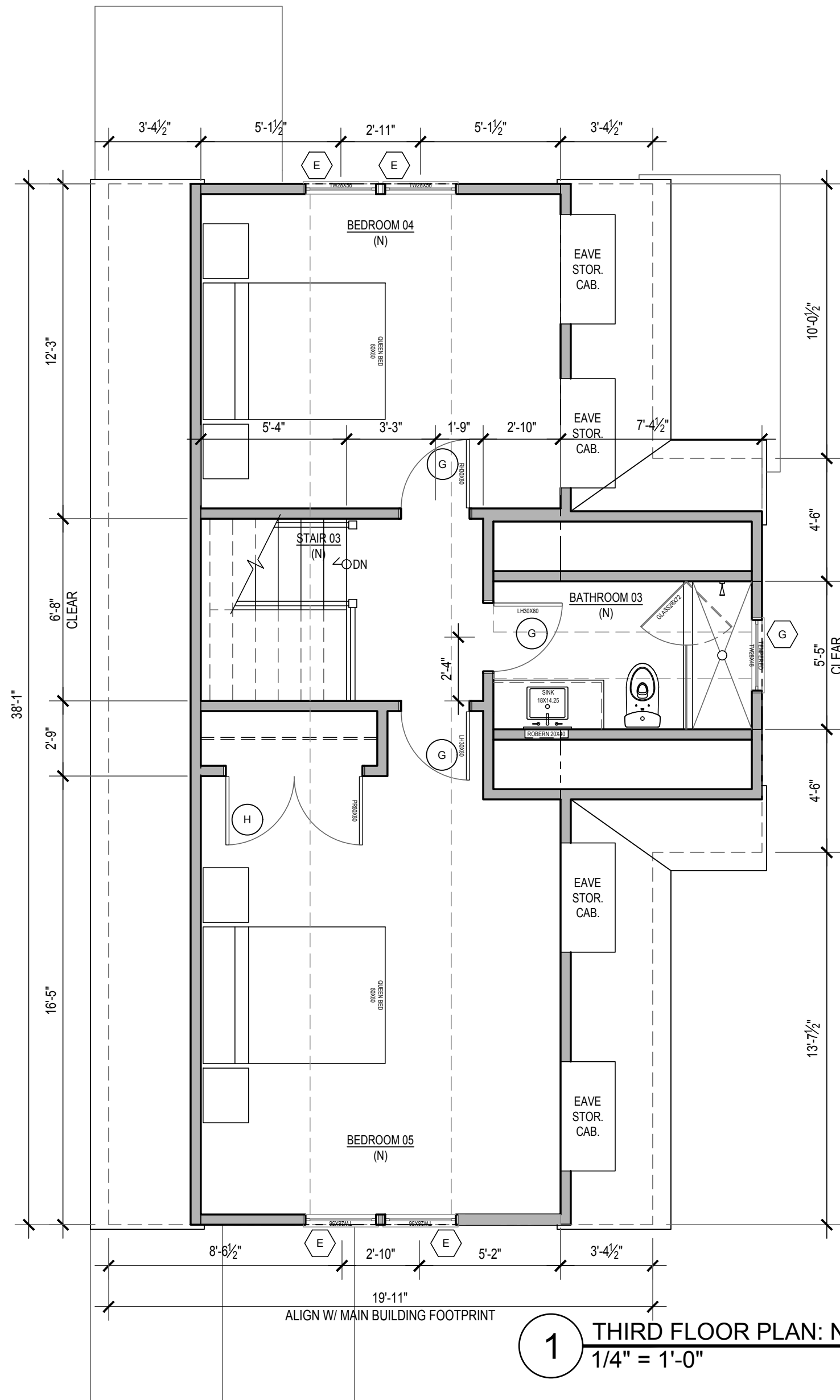
	WALL TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL

ENERGY CODE INFO.

THE FOLLOWING ARE ENERGY CODE REQUIREMENTS BASED ON THE 2015 IECC. REFER DIRECTLY TO THE LOCAL GOVERNING AGENCY TO ENSURE THE R-VALUES BELOW ARE SUFFICIENT PRIOR TO INITIATING ANY WORK.

U-FACTORS:	R-VALUES:
FENESTRATION: 0.32	CEILING/ROOF - R49
SKYLIGHTS: 0.32	WALLS - R20
WINDOW GLAZING: 0.27	FLOORS - R30
DOORS: 0.30	BASEMENT WALLS - R15 (CONT.) OR R19 (IN STUD CAVITIES)
	CRAWLSPACE WALLS - R15 (CONT.) OR R19 (IN STUD CAVITIES)
	SLAB: R10 TO 24" DEPTH

REFER TO 2015 IECC TABLE R402.1.2 FOR FURTHER INFORMATION IF NECESSARY.



WINDOW SCHED. (ANDERSEN 400 SERIES OR EQ.)
UNIT: QTY:

E	TW2442	9
G	TW24310	1

DOOR SCHED. (REFER TO PLAN FOR HANDING)
LEAF SIZE: QTY: MANU.: MODEL: HW TYPE:

G	30X80	3	BROSCO	PR44 OVOLO	PRIVACY
H	PR48X80	1	BROSCO	PR44 OVOLO	PASSAGE/DUMMY

GFA AREA BREAKDOWN

FLOOR:	EXISTING	PROPOSED ADD	TOTAL BY FLOOR
FL00	EXCLUDED	0 SF	EXCLUDED
FL01	945 SF	0 SF	945 SF
FL02	616 SF	200 SF	816 SF
FL03	196 SF	345 SF	541 SF
TOTALS	1757 SF	545 SF	2302 SF

1 THIRD FLOOR PLAN: NEW
1/4" = 1'-0"

NOTE:
- DIMENSIONS ARE TO FINISH WALL FACE/SURFACES U.O.N.;
REDUCE BY THE APPROVED WALL SHEATHING THICKNESS
TO ATTAIN ROUGH FRAME DIMENSION/LOCATION.

PRIVATE RESIDENCE
5 FOCH ST.,
CAMBRIDGE, MA 02140

General Notes:
**ZONING
REVIEW
SET**

Drawing Information:

PROJECT NUMBER:	2020-01
DRAWN BY:	JRK
CHECKED BY:	JRK
DATE:	02/15/2023
SCALE:	
SHEET REFERENCE:	

TITLE:
**THIRD
FLOOR:
NEW**

SHEET NUMBER:
A132



1 EXISTING EXTERIOR ELEVATION: FRONT
 1/4" = 1'-0" SOUTH FACING

PRIVATE RESIDENCE
 5 FOCH ST.,
 CAMBRIDGE, MA 02140

General Notes:

ZONING
 REVIEW
 SET

Drawing Information:

PROJECT NUMBER:	2020-01
DRAWN BY:	J R K
CHECKED BY:	J R K
DATE:	02/15/2023
SCALE:	
SHEET REFERENCE:	

TITLE:

EXTERIOR
 ELEVATIONS

SHEET NUMBER:

A201



TYPICAL GABLE ROOF ASSEMBLY:
 - FINISH ROOF CLADDING: 30YR ARCH. ASPHALT SHINGLE
 ENSURE MIN. HEADLAP PER MANU. REQ.
 COLOR: TBD PER CLIENT SELECTION
 - ROOF UNDERLAYMENT:
 GRACE ICE & WATERSHIELD - FULL ROOF AREA
 CLAD FULL CHEEK WALL AREAS IN ICE & WATERSHIELD
 - ROOF SHEATHING: 5/8" ZIP SYSTEM SHEATHING
 - ROOF FRAME: 2X10 RAFTERS @ 16" O.C.
 REFER TO STRUCTURAL FRAME DWGS.
 - CLOSE CELL SPRAY FOAM INSULATION W/IN ALL RAFTER CAVITIES TO R-49 MIN.
 APPLY INTUMESCENT COATING TO EXPOSED FOAM FACES
 - REFER STRUCTURAL FRAME DWGS FOR ALL BRACKETS, TIE DOWNS
 AND OTHER NECESSARY CONNECTION DETAILS

TYPICAL EXTERIOR WALL ASSEMBLY
 - FINISH WALL CLADDING: CEDAR CLAPBOARD
 MATCH EXISTING EXPOSURE
 PTD. FIN. COLOR: TBD PER CLIENT SELECTION
 - WALL SHEATHING: 1/2" ZIP WALL SYSTEM
 - WALL FRAME: 2X6 WOOD STUDS @ 16" O.C.
 - CAVITY INSULATION: CLOSE CELL SPRAY FOAM
 INSULATION TO R-21 MIN.
 - FINISH INTERIOR WALL SHEATHING: 1/2" BLUEBOARD
 W/ 1/8" PLASTER COAT PTD.
 FIN. COLOR: REFER TO FINISH SCHEDULE
 - REFER STRUCTURAL FRAME DWGS FOR ALL BRACKETS,
 TIE DOWNS AND OTHER NECESSARY CONNECTION
 DETAILS

TYPICAL WINDOW ASSEMBLY:
 CLAD WOOD UNITS,
 REFER TO WINDOW SCHEDULE
 FINISH COLORS PER CLIENT
 SELECTION

PVC FASCIA TRIM TO
 MATCH EXISTING
 PROFILE/DIMENSIONS

1 NEW EXTERIOR ELEVATION: FRONT
 1/4" = 1'-0" SOUTH FACING

PRIVATE RESIDENCE
 5 FOCH ST.,
 CAMBRIDGE, MA 02140

General Notes:

**ZONING
 REVIEW
 SET**

Drawing Information:

PROJECT NUMBER:	2020-01
DRAWN BY:	J R K
CHECKED BY:	J R K
DATE:	02/15/2023
SCALE:	
SHEET REFERENCE:	

TITLE:

**EXTERIOR
 ELEVATIONS**

SHEET NUMBER:

A202

NOTE:

- ALL FRAMING MEMBER SIZING PROVIDED HEREIN IS FOR DESIGN INTENT PURPOSES ONLY. SIZE SHALL NOT BE ASSUMED SUFFICIENT FOR CONSTRUCTION. ALL FRAMING AND ASSOCIATED CONNECTIONS AND/OR DETAILS ARE TO BE PROVIDED SEPARATELY BY A LICENSED PROFESSIONAL STRUCTURAL ENGINEER VIA A STAMPED DRAWING SET ISSUED BY SAID ENGINEER
 - DUE TO INTRICACIES OF CONSTRUCTION DETAILS, FIELD REQUIRED MODIFICATIONS AND COMPATIBILITY OF BUILDING COMPONENTRY; IT IS THE GC'S SOLE RESPONSIBILITY TO CONSTRUCT AND MAINTAIN A WATER-TIGHT BUILDING ENVELOP UTILIZING INDUSTRY APPROVED MATERIALS, MEANS AND METHODS.
 - CURRENT IECC PRESCRIBED INSULATION LEVELS MAY BE ATTAINED UTILIZING VARIED MATERIALS AND METHODS. CLOSED CELL SPRAY FOAM INSULATION HAS BEEN SPECIFIED W/IN FOR THE SAKE OF SIMPLICITY. IN THE EVENT THAT ALTERNATE METHODS ARE ENACTED FOR ANY REASON IT IS THE GC'S RESPONSIBILITY TO MODIFY ASSEMBLIES ACCORDINGLY (I.E. INSTALLING VAPOR BARRIERS/RETARDERS IN APPROPRIATE WALL ASSEMBLY PLANES) FAILURE TO DO SO MAY CAUSE MOISTURE INDUCED DAMAGES TO BUILDING COMPONENTS AND/OR OCCUPANT RELATED HEALTH ISSUES (I.E. ALLERGEN PROPAGATING CONDITIONS)

PRIVATE RESIDENCE
5 FOCH ST.,
CAMBRIDGE, MA 02140

ZONING
REVIEW
SET

General Notes:
Drawing Information:
PROJECT NUMBER: 2020-01
DRAWN BY: J R K
CHECKED BY: J R K
DATE: 02/15/2023
SCALE:
SHEET REFERENCE:

TITLE:
EXTERIOR
ELEVATIONS

SHEET NUMBER:
A203



1 EXISTING EXTERIOR ELEVATION: RIGHT
1/4" = 1'-0" EAST FACING

PRIVATE RESIDENCE
5 FOCH ST.,
CAMBRIDGE, MA 02140

ZONING
REVIEW
SET

Drawing Information:

PROJECT NUMBER:	2020-01
DRAWN BY:	J R K
CHECKED BY:	J R K
DATE:	02/15/2023
SCALE:	
SHEET REFERENCE:	

TITLE:

EXTERIOR
ELEVATIONS

SHEET NUMBER:

A204



1 NEW EXTERIOR ELEVATION: RIGHT
1/4" = 1'-0" EAST FACING

NOTE:
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1 EXISTING EXTERIOR ELEVATION: REAR
 1/4" = 1'-0" NORTH FACING

PRIVATE RESIDENCE
 5 FOCH ST.,
 CAMBRIDGE, MA 02140

General Notes:

ZONING
 REVIEW
 SET

Drawing Information:

PROJECT NUMBER:	2020-01
DRAWN BY:	J R K
CHECKED BY:	J R K
DATE:	02/15/2023
SCALE:	
SHEET REFERENCE:	

TITLE:

EXTERIOR
 ELEVATIONS

SHEET NUMBER:

A205



1 NEW EXTERIOR ELEVATION: REAR
 1/4" = 1'-0" NORTH FACING

PRIVATE RESIDENCE
 5 FOCH ST.,
 CAMBRIDGE, MA 02140

General Notes:

ZONING
 REVIEW
 SET

Drawing Information:

PROJECT NUMBER:	2020-01
DRAWN BY:	J R K
CHECKED BY:	J R K
DATE:	02/15/2023
SCALE:	
SHEET REFERENCE:	

TITLE:

EXTERIOR
 ELEVATIONS

SHEET NUMBER:

A206

/Users/jrknapp7/Work/2020_2020-01-5F-con/DWG/2020-01-A206rev02.dwg 2/15/2023 12:10:46 PM

NOTE:

- ALL FRAMING MEMBER SIZING PROVIDED HEREIN IS FOR DESIGN INTENT PURPOSES ONLY. SIZE SHALL NOT BE ASSUMED SUFFICIENT FOR CONSTRUCTION. ALL FRAMING AND ASSOCIATED CONNECTIONS AND/OR DETAILS ARE TO BE PROVIDED SEPARATELY BY A LICENSED PROFESSIONAL STRUCTURAL ENGINEER VIA A STAMPED DRAWING SET ISSUED BY SAID ENGINEER
 - DUE TO INTRICACIES OF CONSTRUCTION DETAILS, FIELD REQUIRED MODIFICATIONS AND COMPATIBILITY OF BUILDING COMPONENTRY; IT IS THE GC'S SOLE RESPONSIBILITY TO CONSTRUCT AND MAINTAIN A WATER-TIGHT BUILDING ENVELOP UTILIZING INDUSTRY APPROVED MATERIALS, MEANS AND METHODS.
 - CURRENT IECC PRESCRIBED INSULATION LEVELS MAY BE ATTAINED UTILIZING VARIED MATERIALS AND METHODS. CLOSED CELL SPRAY FOAM INSULATION HAS BEEN SPECIFIED W/IN FOR THE SAKE OF SIMPLICITY. IN THE EVENT THAT ALTERNATE METHODS ARE ENACTED FOR ANY REASON IT IS THE GC'S RESPONSIBILITY TO MODIFY ASSEMBLIES ACCORDINGLY (I.E. INSTALLING VAPOR BARRIERS/RETARDERS IN APPROPRIATE WALL ASSEMBLY PLANES) FAILURE TO DO SO MAY CAUSE MOISTURE INDUCED DAMAGES TO BUILDING COMPONENTS AND/OR OCCUPANT RELATED HEALTH ISSUES (I.E. ALLERGEN PROPAGATING CONDITIONS)



1 EXISTING EXTERIOR ELEVATION: LEFT
 1/4" = 1'-0" WEST FACING

PRIVATE RESIDENCE
 5 FOCH ST.,
 CAMBRIDGE, MA 02140

General Notes:

ZONING
 REVIEW
 SET

Drawing Information:

PROJECT NUMBER: 2020-01
 DRAWN BY: J R K
 CHECKED BY: J R K
 DATE: 02/15/2023
 SCALE:
 SHEET REFERENCE:

TITLE:

EXTERIOR
 ELEVATIONS

SHEET NUMBER:

A207



1 NEW EXTERIOR ELEVATION: LEFT
 1/4" = 1'-0" WEST FACING

NOTE:
 - ALL FRAMING MEMBER SIZING PROVIDED HEREIN IS FOR DESIGN INTENT PURPOSES ONLY. SIZE SHALL NOT BE ASSUMED SUFFICIENT FOR CONSTRUCTION. ALL FRAMING AND ASSOCIATED CONNECTIONS AND/OR DETAILS ARE TO BE PROVIDED SEPARATELY BY A LICENSED PROFESSIONAL STRUCTURAL ENGINEER VIA A STAMPED DRAWING SET ISSUED BY SAID ENGINEER
 - DUE TO INTRICACIES OF CONSTRUCTION DETAILS, FIELD REQUIRED MODIFICATIONS AND COMPATIBILITY OF BUILDING COMPONENTRY; IT IS THE GC'S SOLE RESPONSIBILITY TO CONSTRUCT AND MAINTAIN A WATER-TIGHT BUILDING ENVELOP UTILIZING INDUSTRY APPROVED MATERIALS, MEANS AND METHODS.
 - CURRENT IECC PRESCRIBED INSULATION LEVELS MAY BE ATTAINED UTILIZING VARIED MATERIALS AND METHODS. CLOSED CELL SPRAY FOAM INSULATION HAS BEEN SPECIFIED W/IN FOR THE SAKE OF SIMPLICITY. IN THE EVENT THAT ALTERNATE METHODS ARE ENACTED FOR ANY REASON IT IS THE GC'S RESPONSIBILITY TO MODIFY ASSEMBLIES ACCORDINGLY (I.E. INSTALLING VAPOR BARRIERS/RETARDERS IN APPROPRIATE WALL ASSEMBLY PLANES) FAILURE TO DO SO MAY CAUSE MOISTURE INDUCED DAMAGES TO BUILDING COMPONENTS AND/OR OCCUPANT RELATED HEALTH ISSUES (I.E. ALLERGEN PROPAGATING CONDITIONS)

PRIVATE RESIDENCE
 5 FOCH ST.,
 CAMBRIDGE, MA 02140

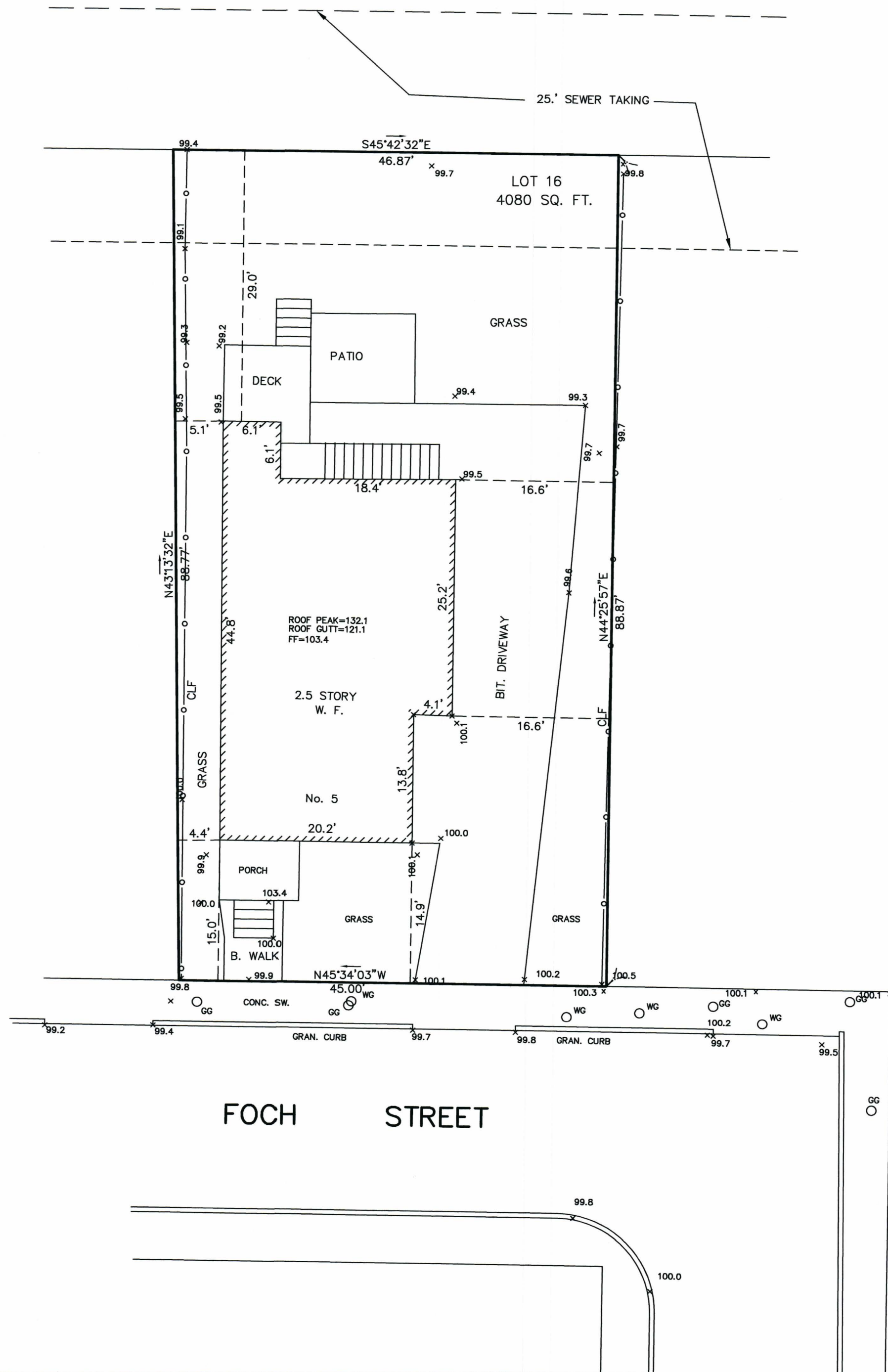
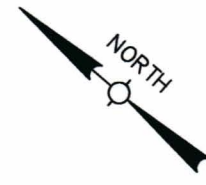
General Notes:
 ZONING
 REVIEW
 SET

Drawing Information:

PROJECT NUMBER:	2020-01
DRAWN BY:	JRK
CHECKED BY:	JRK
DATE:	02/15/2023
SCALE:	
SHEET REFERENCE:	

TITLE:
 EXTERIOR
 ELEVATIONS

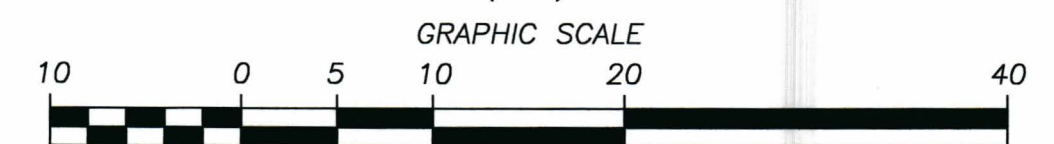
SHEET NUMBER:
 A208



Antoni Gerszsunowicz

PLOT PLAN
 5 FOCH STREET
CAMBRIDGE, MASS.

SCALE : 1" = 10' JANUARY 4, 2023
AGH ENGINEERING
 166 WATER STREET STOUGHTON, MA 02072
 PHONE: (781)344-2386



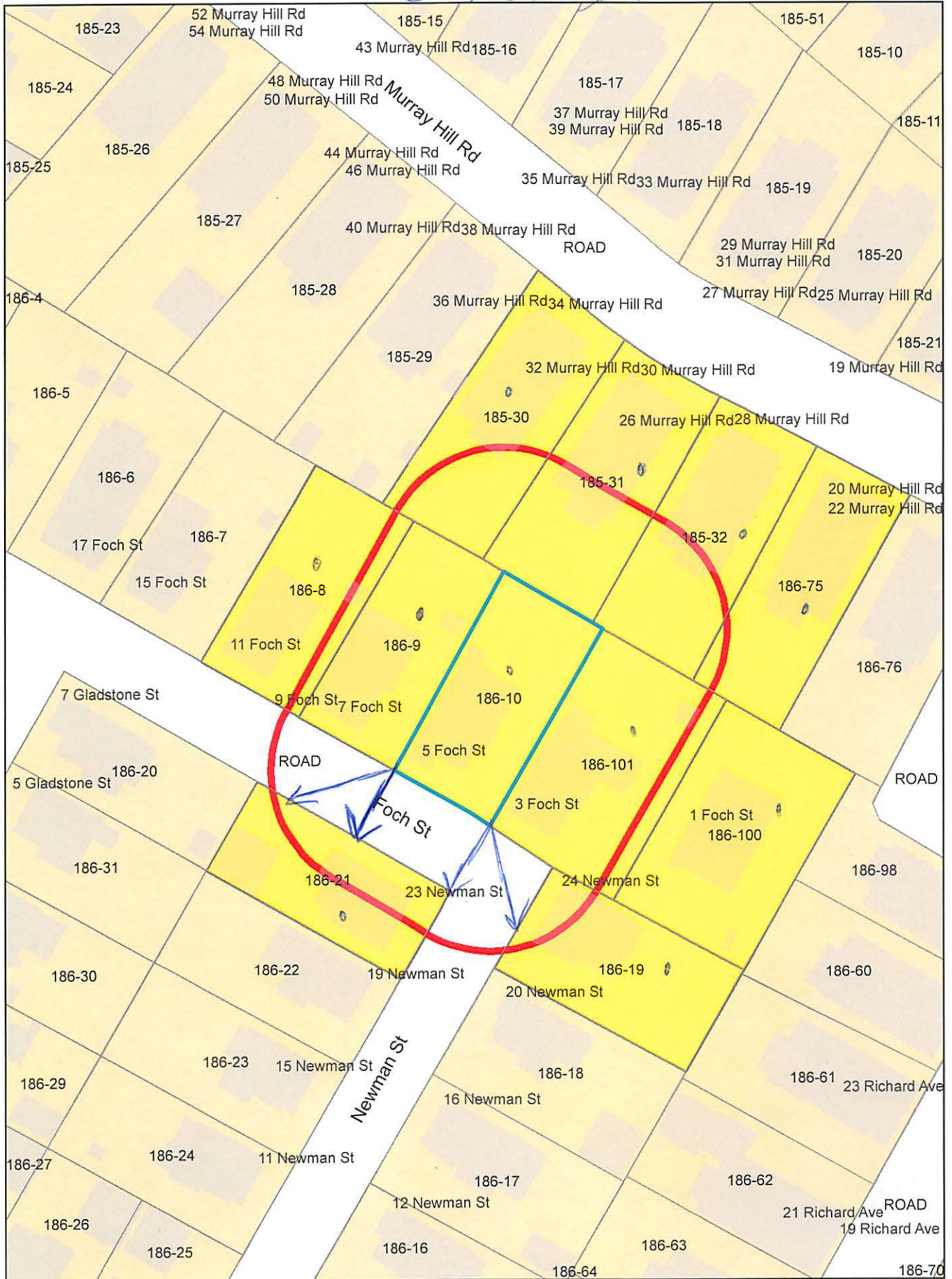








5 Foch St.



5 Foch St.

Petitioner

186-9
KALE, SUSAN & CAROL KALE
7 FOCH ST
CAMBRIDGE, MA 02138

186-75
BREDIN, MARGARET ELIZABETH &
SIOBHAN P. BREDIN
20 MURRAY HILL RD
CAMBRIDGE, MA 02140-1011

JAMES J. RAFFERTY, ESQ.
907 MASS AVENUE – SUITE 300
CAMBRIDGE, MA 02139

186-19
CONNELLY, SUSAN TYLER &
PAUL FRANCIS TONER
24 NEWMAN STREET
CAMBRIDGE, MA 02140-1013

185-30
WOODS, ERIC C. & BONNIE T. LE
36 MURRAY HILL RD
CAMBRIDGE, MA 02140

186-10
KALE, CAROL A. & SUSAN M. KALE
5 FOCH ST
CAMBRIDGE, MA 02140-1002

186-8
CARSON, W. JAMES & JEANIE COOPER CARSON
11 FOCH ST
CAMBRIDGE, MA 02140

186-21
CAMPBELL, CATARINA D. & JASON D. ARROYO
23 NEWMAN ST
CAMBRIDGE, MA 02140

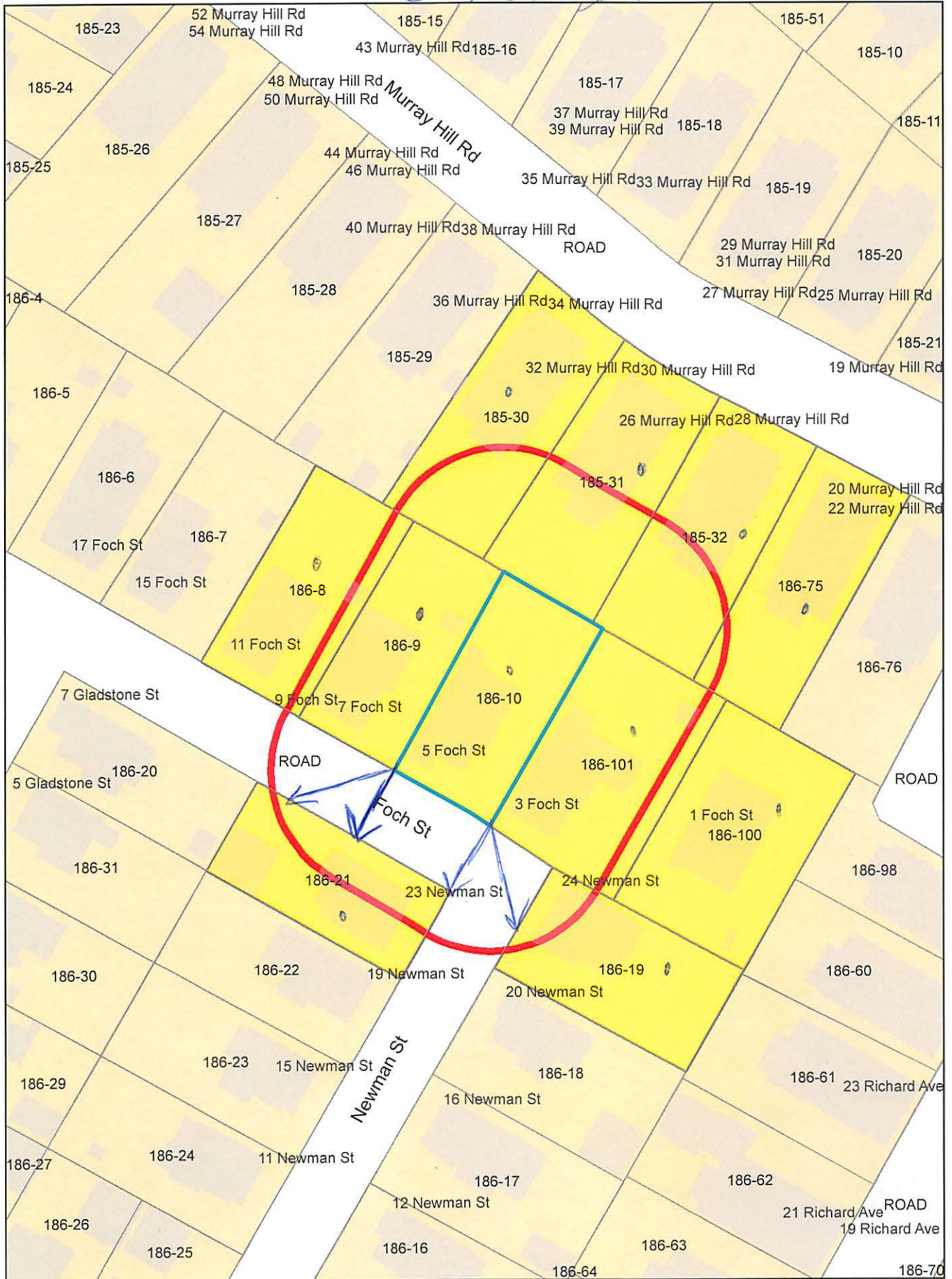
185-32
BARKER, IAIN W. & KATHLEEN FITZGERALD
26-28 MURRAY HILL RD
CAMBRIDGE, MA 02139

186-100
EDWARDS, WILLIAM S. & DOROTHEA E. REES
1 FOCH ST
CAMBRIDGE, MA 02140

186-101
DUNBAR, ANNIE B. & THOMAS R. DUNBAR
3 FOCH ST
CAMBRIDGE, MA 02140

185-31
COLUCI ALBERT W. SANDRA A. COLUCI
32 MURRAY HILL RD
CAMBRIDGE, MA 02140

5 Foch St.



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CAMBRIDGE, MA 02140

To: Board of Zoning Appeal
831 Mass Ave
Cambridge, MA

Case No: BZA-212734 Location: 5 Foch St, Cambridge, MA

Petitioner: Susan Kale

We are in support of the petition submitted by our neighbor, Susan Kale, to the Board of Zoning Appeal

Name	Address	Signature
Annie Dunbar	3 Foch Street # 1	
Thomas Dunbar	3 Foch Street # 2	
Dorothea Rees	1 Foch St.	
Sandy & Wanda Calace	30 Murray Hill ROAD	
Juan Cincely PAUL Toner	24 Newman St.	
Eric Coffey Woods	36 Murray Hill Rd	
Carol Kale	7-9 FOCH ST	



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: David Kale Date: 3-23-2023
(Print)

Address: 5 Foch St

Case No. BZA-212734

Hearing Date: 4/13/23

Thank you,
Bza Members