



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 AUG -4 PM 1:54
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 187324

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: X Appeal:

PETITIONER: Bryce Carey and Leah CohenC/O Christopher J. Alphen, Esq.

PETITIONER'S ADDRESS: 9 Damonmill Square, Concord, MA 02144

LOCATION OF PROPERTY: 60 Rindge Ave , Cambridge, MA

TYPE OF OCCUPANCY: Single-Family Residential **ZONING DISTRICT:** Residence B Zone

REASON FOR PETITION:

/Additions/ /Parking/

DESCRIPTION OF PETITIONER'S PROPOSAL:

To provide parking in the front yard setback

To enlarge existing non-conforming structure.

SECTIONS OF ZONING ORDINANCE CITED:

| | |
|-----------------|--|
| Article: 5.000 | Section: 5.31 (Table of Dimensional Requirements). |
| Article: 8.000 | Section: 8.22.2.d (Non-Conforming Structure). |
| Article: 8.000 | Section: 8.22.3 (Non-Conforming Structure). |
| Article: 6.000 | Section: 6.44.1.c (Front Yard Setback). |
| Article: 10.000 | Section: 10.30 (Variance). & Sec. 10.40 (Special Permit) |

Bryce Carey and Leah Cohen By:

Original
Signature(s):

Christopher J. Alphen, Esq. (*Petitioner (s) / Owner*)
Blatman, Bobrowski, Haverty & Silverstein, LLC
9 Damonmill Square, Ste. 4A4
Concord, MA 01742
chris@bbhslaw.net

(Print Name)

Address:
Tel. No.

(978) 761-9576

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Christopher J. Alphen, Esq. Attorney for Bryce Carey and Leah Cohen
(OWNER)

Address: Blatman, Bobrowski, Haverty & Silverstein, LLC, 9 Damonmill Square, Ste. 4A4
Concord, MA 01742

State that I/We own the property located at 60 Rindge Avenue, Cambridge, MA,
which is the subject of this zoning application.

The record title of this property is in the name of _____
Bryce Carey and Leah Cohen

*Pursuant to a deed of duly recorded in the date 5/16/2022, Middlesex South
County Registry of Deeds at Book 1588, Page 186; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.



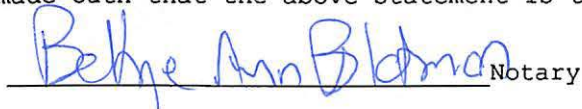
**SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT***

Christopher J. Alphen, Esq.

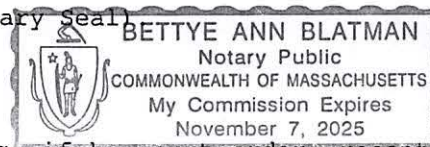
**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of Middlesex

The above-name Christopher J. Alphen personally appeared before me,
this 28th of July, 2022, and made oath that the above statement is true.


 Notary

My commission expires _____ (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

MASSACHUSETTS EXCISE TAX
Southern Middlesex District ROD # 001
Date: 05/19/2022 02:29 PM
Ctrl# 358539 08909 Doc# 01914267
Fee: \$7,706.40 Cons: \$1,889,800.00


2022 01914267
Bk: 1588 Pg: 188 Cert#: 279344
Doc: DEED 05/19/2022 02:29 PM

QUITCLAIM DEED

We, DANIEL J. HAYES, III of Framingham, Middlesex County, Massachusetts and JOHN G. HAYES of Cambridge, Middlesex County, Massachusetts, Trustees of the HAYES RINDGE AVE TRUST, under a Declaration of Trust dated February 13, 2013 registered with Middlesex County Land Registration Office on May 5, 2015 as Document 1698173 with Certificate of Title No. 259205

For consideration paid and in full consideration of ONE MILLION SIX HUNDRED EIGHTY-NINE THOUSAND EIGHT HUNDRED (\$1,689,800.00) DOLLARS and NO CENTS

Grant to BRYCE CAREY and LEAH COHEN as husband and wife, tenants by the entirety, of 20 Adrian Street, Somerville, MA 02143

With quitclaim covenants

That certain parcel of land situated in Cambridge in the County of Middlesex and said Commonwealth of Massachusetts, bounded and described as follows:

Westerly by the Easterly line of Haskell Street, thirty-nine and 20/100 feet;

Northwesterly by the Southeasterly line forming the junction of said Haskell Street and Rindge Avenue, thirty-six and 58/100 feet;

Northerly by Southerly line of Rindge Avenue, sixty-three and 07/100 feet; and

Southerly by lot C2 on said plan, eighty-seven feet.

Said parcel is shown as lots C1 and 5B on said plan No. 9005B.

All of said boundaries are determined by the Court to be located as shown on a subdivision plan, as approved by the Court, filed in the Land Registration Office, a copy of which is filed in the Registry of Deed for the South Registry District of Middlesex County in Registration Book 106, Page 221, with Certificate 15731.

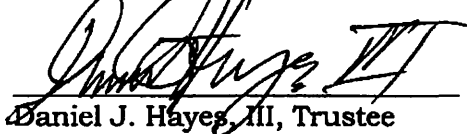
The Grantors hereby voluntarily release and relinquish any and all rights of Homestead to the within premises, if any, as set forth in M.G.L.

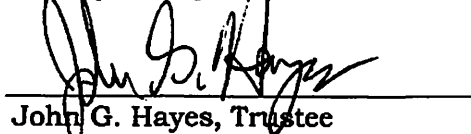
259205

60 Rindge Ave
Cambridge

The Grantors hereby voluntarily release and relinquish any and all rights of Homestead to the within premises, if any, as set forth in M.G.L. Chapter 188. The Grantors further state under the pains and penalties of perjury that there are no other persons, including but not limited to a spouse, former spouse, or any family member entitled to any homestead rights to the within premises.

Witness our hands and seals this 18th day of May, 2022.


Daniel J. Hayes, III, Trustee


John G. Hayes, Trustee

THE COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss:

On this 18th day of May, 2022, before me, the undersigned notary public, personally appeared Daniel J. Hayes III, Trustee aforesaid and John G. Hayes, Trustee aforesaid who are personally known to me and whose identities were proved to me through satisfactory evidence of identification, which were Massachusetts drivers licenses, to be the persons whose names are signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.


Frank J. Frisoli
Notary Public

My commission expires: 6/1/2023

1914267

DOCUMENT 01914267

Southern Middlesex LAND COURT

REGISTRY DISTRICT

RECEIVED FOR REGISTRATION

On: May 19, 2022 at 02:29P

Document Fee: 155.00
Receipt Total: \$8,206.40

NEW: CERT 279344 BK 01588 PG 186

OLD: CERT 259205 BK 1470 PG 93

BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The premises is currently improved with an existing two-car garage. The petitioners propose to demolish the garage and place two parking spaces at the right front area of the premises. The premises is a corner lot and has access to the public street in a location near the proposed parking spaces. Without relief the petitioners would not be able to place parking spaces in a suitable location that meets the dimensional requirements of 6.44.1(b).

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The lot is a corner lot with the location of the existing dwelling the Premises lacks the space to provide new parking areas that meet the dimensional requirement. Because of the location of the existing dwelling and the old condition of the existing garage the Petitioners have a hardship related to the shape of the land and structures.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

Placing the two parking spaces in a new location and demolishing the existing nonconforming garage will not be substantial detriment to the public good. The Petitioners propose a well-designed site plan that will replace their existing garage. The proposal of the nonconforming setback in place of the nonconforming garage is de minimis.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Placing the two parking spaces in a new location and demolishing the existing nonconforming garage will not derogate from the intent or purpose of the Ordinance. The Petitioners propose a well-designed site plan that will replace their existing garage. The proposal of the nonconforming setback in place of the nonconforming garage is de minimis.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 60 Rindge Ave., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

1. Changes, extension or alteration of a pre-existing nonconforming structure. Premises is located in a residential district, the proposes alterations and/or enlargement of the detached one or two-family dwelling only increases the preexisting dimensional nonconformity but does not create a new dimensional nonconformity.
2. The proposed renovations include the demolition of the existing garage. A driveway for 2 open parking spaces are located withing five feet of the side setback line in violation of Section 6.44.1(b). Section 6.44.1(g) provides "[t]he Board of Zoning Appeal may grant a special permit to allow for modification of the requirements in 6.44.1 (a) or (b) if site specific factors favor such modification."

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed alterations will not cause any additional traffic.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The proposed alterations and additions to the dwelling will meet the characteristics of the neighborhood. The residential home will have a minimal visual impact on the surrounding neighborhood.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The proposed alterations will not cause a nuisance or hazards.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The renovations to the dwelling have been aesthetically designed to blend in with the existing neighborhood. The renovations will improve to the neighborhood without substantially derogating from the requirement of the Ordinance.

E-Mail Address: chris@bbhslaw.net

Date: August 3, 2022**BZA Application Form****DIMENSIONAL INFORMATION**

Applicant: Bryce Carey and Leah Cohen
Location: 60 Rindge Ave, Cambridge, MA
Phone: (978) 761-9576

Present Use/Occupancy: Single-Family Residential
Zone: Residence B Zone
Requested Use/Occupancy: Single-Family Residential

| | | <u>Existing Conditions</u> | <u>Requested Conditions</u> | <u>Ordinance Requirements</u> | |
|---|------------|-----------------------------------|------------------------------------|--------------------------------------|--------|
| <u>TOTAL GROSS FLOOR AREA:</u> | | 2,201 | 2,305 | 2,305 | (max.) |
| <u>LOT AREA:</u> | | 4,610 | 4,610 | 5,000 | (min.) |
| <u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u> | | .47 | .50 | .50 | |
| <u>LOT AREA OF EACH DWELLING UNIT</u> | | 4,610 | 4,610 | 2,500 | |
| <u>SIZE OF LOT:</u> | WIDTH | 87 | 87 | N/A | |
| | DEPTH | 46'4" | 46'4" | N/A | |
| <u>SETBACKS IN FEET:</u> | FRONT | 16'5" | 16'5" | 15' | |
| | REAR | 4'2" | 4'2" | 7'6" | |
| | LEFT SIDE | 30'9" | 30'9" | 12'-6"/SUM 20 | |
| | RIGHT SIDE | 15'1" | 15'1" | 15' | |
| <u>SIZE OF BUILDING:</u> | HEIGHT | 30'1.5" | 32'6" | 35' | |
| | WIDTH | 30'2.25" | N/A | N/A | |
| <u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u> | | 60% | 67% | 40% | |
| <u>NO. OF DWELLING UNITS:</u> | | 1 | 1 | 2 | |
| <u>NO. OF PARKING SPACES:</u> | | 2 | 2 | 1 | |
| <u>NO. OF LOADING AREAS:</u> | | N/A | N/A | N/A | |
| <u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u> | | N/A | N/A | N/A | |

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

Existing wood fram to renovated. Renovation includes expansion of existing bump out on the north elevation, the addition of 2 dormers and rasing of the roof to 32'6".

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATION.
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: LEAH COHEN & BRYCE CAREY

PRESENT USE/OCCUPANCY: Residential

LOCATION: 60 Rindge. Cambridge, MA 02140

ZONE: District B

PHONE: _____

REQUESTED USE/OCCUPANCY: Residential

| | <u>EXISTING</u> <u>CONDITIONS</u> | <u>REQUESTED</u> <u>CONDITIONS</u> | <u>ORDINANCE</u> <u>REQUIREMENTS</u> ¹ |
|---|--------------------------------------|---------------------------------------|--|
| TOTAL GROSS FLOOR AREA: | 2,201 sf. | 2,305 sf. | 2,305 sf. (max.) |
| LOT AREA: | 4,610 sf. | | 5,000 sf. (min.) |
| RATIO OF GROSS FLOOR AREA TO LOT AREA: ² | 0.47 | 0.50 | 0.50 (max.) |
| LOT AREA FOR EACH DWELLING UNIT: | 2,409 sf. | 2,305 sf. | 2,500 sf. (min.) |
| SIZE OF LOT: | | | |
| WIDTH | 87' - 0" | | (min.) |
| DEPTH | 46' - 4" | | |
| Setbacks in | | | |
| Feet: <u>Corner lot</u> | | | |
| FRONT | 16'-5" | 16'-5" | 15' - 0" (min.) |
| REAR | 4' - 2" | 4' - 2" | 7' - 6"/SUM 20 (min.) |
| LEFT SIDE | 30 - 9" | 30 - 9" | 12'- 6"/SUM 20 (min.) |
| RIGHT SIDE | 15' - 1" | 15' - 1" | 15'- 0" (min.) |
| Secondary front yard | | | |
| SIZE OF BLDG.: | | | |
| HEIGHT | 30' - 1 1/2" | 32' - 6" | 35' - 0" (max.) |
| LENGTH | 30' - 2 1/4" | | |
| WIDTH | 40' - 9 1/4" | | |
| RATIO OF USABLE OPEN SPACE TO LOT AREA: ³ | 60% | 67% | 40% (min.) |
| NO. OF DWELLING UNITS: | 2 | 2 | (max.) |
| NO. OF PARKING SPACES: | 2 | 2 | (min. /max) |
| NO. OF LOADING AREAS: | N/A | N/A | N/A (min.) |
| DISTANCE TO NEAREST BLDG. ON SAME LOT: | N/A | N/A | N/A (min.) |

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

EXISTING WOOD FRAME TO BE RENOVATED. RENOVATION INCLUDES EXPANSION OF EXISTING BUMP OUT ON THE NORTH ELEVATION, THE ADDITION OF 2 DORMERS AND RAISING THE ROOF to 32'-6"

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS) .
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

From: [Bryce Carey](#)
To: [Leah Cohen](#); [Karina Melo](#); [Chris Alphen](#)
Subject: Fwd: Plans for 60 Rindge Ave
Date: Monday, September 19, 2022 1:32:05 PM

Here is a note of support from David.

Bryce

Sent from my iPhone

Begin forwarded message:

From: David Albert <albert@educonsultant.com>
Date: September 19, 2022 at 10:53:28 AM EDT
To: Bryce Carey <bwcarey@gmail.com>
Subject: Re: Plans for 60 Rindge Ave

You have my support for everything in the variance and special permit.

My only concern is the fence, which is not part of the permit. Just hoping it will stay as open and short as possible out at the sidewalk. I'm sure you will want a taller one for the backyard part where the garage now is where your kids will be playing and that is of course not a problem.

Sent from my iPhone

On Sep 19, 2022, at 10:24 AM, Bryce Carey <bwcarey@gmail.com> wrote:

Hi David,

Great feedback. Thank you so much for bringing this to our attention. It makes a ton of sense, indeed our kids use that crosswalk daily as well. We will work with our architect to develop some ideas around that corner in particular. No pressure, but it would be great to have your support at the BZA. Please let me know, we have a 5p deadline today.

Look forward to meeting you soon!

Best,
Bryce

On Sun, Sep 18, 2022 at 9:49 PM David Albert

<albert@educonsultant.com> wrote:

Hi Bryce,

Thanks for the plans. The design for the house looks very nice, no issue at all with the garage or parking as shown on the plans, and definitely hope to meet sometime soon.

My only potential concern, and I know you can probably do it completely by right, is the fence. Would it be taller than the existing fence? Especially at the corner of Haskell into Rindge, I am wondering if it would make the turn onto Rindge from Haskell any harder from a vision perspective. But in general along the road scape I'm hoping we will still be able to see the house, and around the corner, as we walk along Rindge. The current fence of course is dilapidated, but the height and openness are very nice from a visual and safety perspective, and none of us have high or enclosed front-facing fences on this block. Will it be similar to the existing when completed?

Thanks again for the quick reply,
David

Sent from my iPad

> On Sep 18, 2022, at 8:26 PM, Bryce Carey
> <bwcarey@gmail.com> wrote:

>

>

> Hello David,

>

> It is nice to meet you! Thanks for reaching out regarding the plans for Rindge Ave. We are happy to provide them (see attached). It has been great getting to know Jean since moving in about a month ago - but we need to go farther - we hope to meet you in person soon as well.

>

> In addition to the plans I am attaching a short letter regarding our project, the last page of which you can sign if you wish. We do appreciate any support from the neighborhood. We have spoken with and received support from both Jean and on our Haskell side, Reena and Dan. Please let us know if you have any questions or concerns.

>

> All the best,

> Bryce and Leah

>

>



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name:

Sean W

(Print)

Date:

9/2/22

Address:

60 Rindge Ave

Case No.

BZA-187324

Hearing Date:

9/22/22

Thank you,
Bza Members

BLATMAN, BOBROWSKI, HAVERTY & SILVERSTEIN, LLC

ATTORNEYS AT LAW

9 DAMONMILL SQUARE, SUITE 4A4
CONCORD, MA 01742
PHONE 978.371.2226
FAX 978.371.2296

CHRISTOPHER J. ALPHEN, ESQ.
Chris@bbhslaw.net

September 14, 2022

Via ViewPoint Cloud
City of Cambridge
Board of Zoning Appeals
831 Massachusetts Avenue
Cambridge MA 02139

RE: Special Permit/Variance No. 187324
Bryce Carey and Leah Cohen– 60 Rindge Avenue, Cambridge, Massachusetts

Dear Board:

Please be informed that this office represents Bryce Carey and Leah Cohen of 60 Ridge Avenue, Cambridge, Massachusetts (the “Applicants”). The Applicants are the owners of the property known as 60 Rindge Avenue, Cambridge, Massachusetts (the “Property”).

The Applicants hereby request a special permit for proposed renovations to their existing dwelling and a variance to replace the existing garage with two parking spaces at the front of the Property. The renovations are shown on the set of plans entitled “Carey Cohen Residence, 60 Rindge Ave, Cambridge, MA 02138” by Sam Kachmar Architects (the “Plans”).

The Applicants seek to renovate the lower level, expand the kitchen, add two dormers, and replace the existing detached garage with two-parking spaces (the “Proposed Renovations”).

Special Permit – Renovations to Dwelling

The Property is in the “Residence B” zoning district. Pursuant to Section 5.31 and the table of dimension requirements, the minimum lot area is 5,000 square feet. The Property contains 4,610 square feet. The existing dwelling provides a 4’-3” rear side setback where a 7’-6” side setback is required. Accordingly, the existing dwelling is pre-existing nonconforming structure.

The Proposed Renovations expand the kitchen contained in the nonconforming side setback. The Proposed Renovations also alter the structure contained in the nonconforming side setback. Otherwise, the Proposed Renovations to the dwelling do not create any new dimensional nonconformities. Accordingly, the Applicants seek a special permit for the Proposed Renovations to the dwelling pursuant to Section 8.22.2.d of the Cambridge Zoning Ordinance (the “Ordinance”).

The proposed extensions or alterations will not be substantially more detrimental to the neighborhood than the existing nonconforming structure. The proposed renovations to the dwelling have been aesthetically designed to blend in with the existing neighborhood. The renovations will improve to the neighborhood without substantially derogating from the requirement of the Ordinance.

Variance – Addition of Parking Spaces

The Applicants propose to demolish the existing nonconforming detached garage. The existing garage is outdated and in poor condition. To replace the parking spaces provided by the garage, the Applicants propose two parking spaces located in the southwest corner of the Property.

Pursuant to Section 6.44.1 of the Ordinance “No on grade open parking space shall be located within a required front yard setback.” Accordingly, the Applicants require a variance to permit the two parking spaces as shown on the Plans.

Section 10.30 of the Ordinance along with G.L. ch. 40A, § 10 provide the criteria for a variance. Section 10.30 states in pertinent:

A variance from the specific requirements of this Ordinance... may be authorized by the Board of Zoning Appeal with respect to particular land or structure. Such variance shall be granted only in cases where the Board finds all of the following: (a) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise to the petitioner or appellant. (b) The hardship is owing to circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structure but not affecting generally the zoning district in which it is located. (c) Desirable relief may be granted without either: (1) Substantial detriment to the public good; or (2) Nullifying or substantially derogating from the intent or purpose of this Ordinance.

As set forth below, the Applicants meet the criteria for a variance.

A. A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise to the petitioner or appellant

The existing garage is in poor condition and is required to be replaced. See Existing Photographs as Exhibit A. The removal of the garage will eliminate an existing nonconformity. In its place, the Applicants propose additional green space.

With a literal enforcement of the Ordinance, the Applicants would not be allowed to replace the nonconforming garage with the proposed parking spaces. With a literal enforcement of the Ordinance, the Applicants would be stuck with the pre-existing nonconforming impaired garage.

With a literal enforcement of the Ordinance the Applicants would be left with the nonconforming garage which size and condition are not harmonized with the surrounding neighborhood. The proposal will improve the Property and provide a benefit to the neighborhood.

B. The hardship is owing to circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structure but not affecting generally the zoning district in which it is located.

A hardship exists due to the unique shape of the Property and the location of the existing structures. The Property is located at the corner of Rindge Avenue and Haskell Street. Due to the location of the dwelling, the proposed parking spaces cannot be placed in area that meets all the setback requirements. The Applicants investigated alternative parking plans but there was no logical parking location that would be permitted as-of-right.

C. Desirable relief may be granted without either: (1) Substantial detriment to the public good; or (2) Nullifying or substantially derogating from the intent or purpose of this Ordinance.

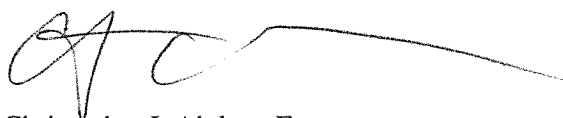
Permitting the removal of a pre-existing nonconforming structure and allowing the proposed parking spaces will not be substantial detriment to the public good or derogate from the

intent or purpose of the Ordinance. The Applicants propose a well-designed site plan that will replace their outdated nonconforming existing garage with well-designed parking spaces. The proposed parking spaces will have a de minimis impact on the surrounding area.

The proposed parking spaces are designed to make the Property more aesthetically appealing. The nonconforming setback of the parking spaces will not cause a detriment to the residential characteristics of the neighborhood.

The Proposed Renovations meet the purpose and intent of the Cambridge Zoning Ordinance. We look forward to working with the Board.

Very truly yours,

A handwritten signature in black ink, appearing to read 'C. Alphen', with a long horizontal flourish extending to the right.

Christopher J. Alphen, Esq.

EXHIBIT A

Google Maps 53 Rindge Ave



Cambridge, Massachusetts

Google

Street View - Nov 2020

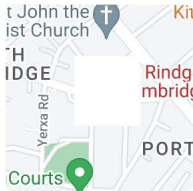


Image capture: Nov 2020 © 2022 Google

Google Maps 55 Rindge Ave



Image capture: Nov 2020 © 2022 Google

Cambridge, Massachusetts

Google

Street View - Nov 2020







BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: LEAH COHEN & BRYCE CAREY **PRESENT USE/OCCUPANCY:** Residential

LOCATION: 60 Rindge Ave. Cambridge, MA 02140 **ZONE:** District B

PHONE: _____ **REQUESTED USE/OCCUPANCY:** Residential

| | <u>EXISTING</u> <u>CONDITIONS</u> | <u>REQUESTED</u> <u>CONDITIONS</u> | <u>ORDINANCE</u> <u>REQUIREMENTS</u> ¹ |
|--|--------------------------------------|---------------------------------------|--|
| <u>TOTAL GROSS FLOOR AREA:</u> | <u>2,048 sf.</u> | <u>2,285sf.</u> | <u>2,305 sf.</u> (max.) |
| <u>LOT AREA:</u> | <u>4,610 sf.</u> | | <u>5,000</u> (min.) |
| <u>RATIO OF GROSS FLOOR AREA</u> <u>TO LOT AREA:</u> ² | <u>0.44</u> | <u>0.49</u> | <u>0.50</u> (max.) |
| <u>LOT AREA FOR EACH DWELLING UNIT:</u> | <u>2,569 sf.</u> | <u>2,325 sf.</u> | <u>2,305 sf.</u> (min.) |
| <u>SIZE OF LOT:</u> | | | |
| <u>WIDTH</u> | <u>87' - 0"</u> | | (min.) |
| <u>DEPTH</u> | <u>46' - 4"</u> | | |
| <u>Setbacks in</u> | | | |
| <u>Feet:</u> Corner lot | | | |
| <u>FRONT</u> | <u>16'-7"</u> | <u>16'-7"</u> | <u>15' - 0"</u> (min.) |
| <u>REAR</u> | <u>4' - 3"</u> | <u>4' - 3"</u> | <u>7' - 6"/SUM</u> ²⁰ (min.) |
| <u>LEFT SIDE</u> | <u>31' - 1"</u> | <u>31' - 1"</u> | <u>12'- 6"/SUM</u> ²⁰ (min.) |
| <u>RIGHT SIDE</u> | <u>15' - 3"</u> | <u>15' - 3"</u> | <u>15'- 0"</u> (min.) |
| <u>Secondary front yard</u> | | | |
| <u>SIZE OF BLDG.:</u> | | | |
| <u>HEIGHT</u> | <u>30' - 7 "</u> | <u>32' - 11"</u> | <u>35' - 0"</u> (max.) |
| <u>LENGTH</u> | <u>30' - 2 "</u> | | |
| <u>WIDTH</u> | <u>40' - 9 "</u> | | |
| <u>RATIO OF USABLE OPEN SPACE</u> <u>TO LOT AREA:</u> ³⁾ | <u>60%</u> | <u>67%</u> | <u>40%</u> (min .) |
| <u>NO. OF DWELLING UNITS:</u> | <u>2</u> | <u>1</u> | <u>2</u> (max.) |
| <u>NO. OF PARKING SPACES:</u> | <u>2</u> | <u>2</u> | <u>1</u> (min. /max) |
| <u>NO. OF LOADING AREAS:</u> | <u>N/A</u> | <u>N/A</u> | <u>N/A</u> (min.) |
| <u>DISTANCE TO NEAREST BLDG.</u> <u>ON SAME LOT:</u> | <u>N/A</u> | <u>N/A</u> | <u>N/A</u> (min.) |

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

EXISTING INTERIOR WOOD FRAME TO BE RENOVATED. RENOVATION INCLUDES EXPANSION OF EXISTING BUMP OUT ON THE SOUTH ELEVATION, THE ADDITION OF 2 DORMERS AND RAISING THE ROOF TO 32'-11"

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS) .
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15' .



Cambridge, Massachusetts

Google

Street View - Nov 2020

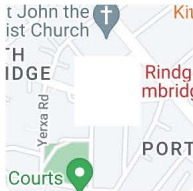


Image capture: Nov 2020 © 2022 Google

Google Maps 55 Rindge Ave



Image capture: Nov 2020 © 2022 Google

Cambridge, Massachusetts

Google

Street View - Nov 2020





Cambridge, Massachusetts

Google

Street View - Nov 2020

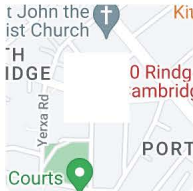
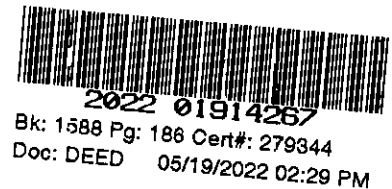


Image capture: Nov 2020 © 2022 Google









QUITCLAIM DEED

We, DANIEL J. HAYES, III of Framingham, Middlesex County, Massachusetts and JOHN G. HAYES of Cambridge, Middlesex County, Massachusetts, Trustees of the HAYES RINDGE AVE TRUST, under a Declaration of Trust dated February 13, 2013 registered with Middlesex County Land Registration Office on May 5, 2015 as Document 1698173 with Certificate of Title No. 259205

For consideration paid and in full consideration of ONE MILLION SIX HUNDRED EIGHTY-NINE THOUSAND EIGHT HUNDRED (\$1,689,800.00) DOLLARS and NO CENTS

Grant to BRYCE CAREY and LEAH COHEN as husband and wife, tenants by the entirety, of 20 Adrian Street, Somerville, MA 02143

With quitclaim covenants

That certain parcel of land situated in Cambridge in the County of Middlesex and said Commonwealth of Massachusetts, bounded and described as follows:

- Westerly by the Easterly line of Haskell Street, thirty-nine and 20/100 fee;
- Northwesterly by the Southeasterly line forming the junction of said Haskell Street and Rindge Avenue, thirty-six and 58/100 feet;
- Northerly by Southerly line of Rindge Avenue, sixty-three and 07/100 feet; and
- Southerly by lot C2 on said plan, eighty-seven feet.

Said parcel is shown as lots C1 and 5B on said plan No. 9005B.

All of said boundaries are determined by the Court to be located as shown on a subdivision plan, as approved by the Court, filed in the Land Registration Office, a copy of which is filed in the Registry of Deed for the South Registry District of Middlesex County in Registration Book 106, Page 221, with Certificate 15731.

The Grantors hereby voluntarily release and relinquish any and all rights of Homestead to the within premises, if any, as set forth in M.G.L.

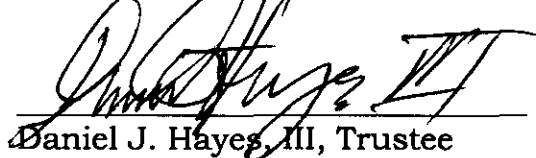
259205

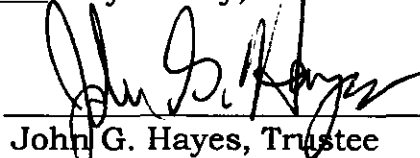
60 Rindge Ave
Cambridge

The Grantors hereby voluntarily release and relinquish any and all rights of Homestead to the within premises, if any, as set forth in M.G.L. Chapter 188. The Grantors further state under the pains and penalties of perjury that there are no other persons, including but not limited to a spouse, former spouse, or any family member entitled to any homestead rights to the within premises.

Witness our hands and seals this

18th day of May, 2022.

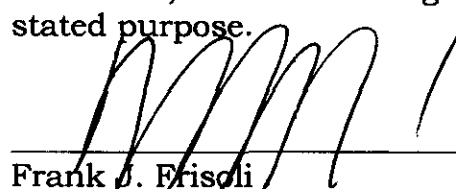

Daniel J. Hayes, III, Trustee


John G. Hayes, Trustee

THE COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss:

On this 18th day of May, 2022, before me, the undersigned notary public, personally appeared Daniel J. Hayes III, Trustee aforesaid and John G. Hayes, Trustee aforesaid who are personally known to me and whose identities were proved to me through satisfactory evidence of identification, which were Massachusetts drivers licenses, to be the persons whose names are signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.


Frank J. Frisoli
Notary Public

My commission expires: 6/1/2023

DOCUMENT 01914267

Southern Middlesex LAND COURT

REGISTRY DISTRICT

RECEIVED FOR REGISTRATION

On: May 19, 2022 at 02:29P

| | |
|----------------|------------|
| Document Fee: | 155.00 |
| Receipt Total: | \$8,206.40 |

NEW: CERT 279344 BK 01588 PG 186

OLD: CERT 259205 BK 1470 PG 93

1914267

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: LEAH COHEN & BRYCE CAREY **PRESENT USE/OCCUPANCY:** Residential

LOCATION: 60 Rindge. Cambridge, MA 02140 **ZONE:** District B

PHONE: _____ **REQUESTED USE/OCCUPANCY:** Residential

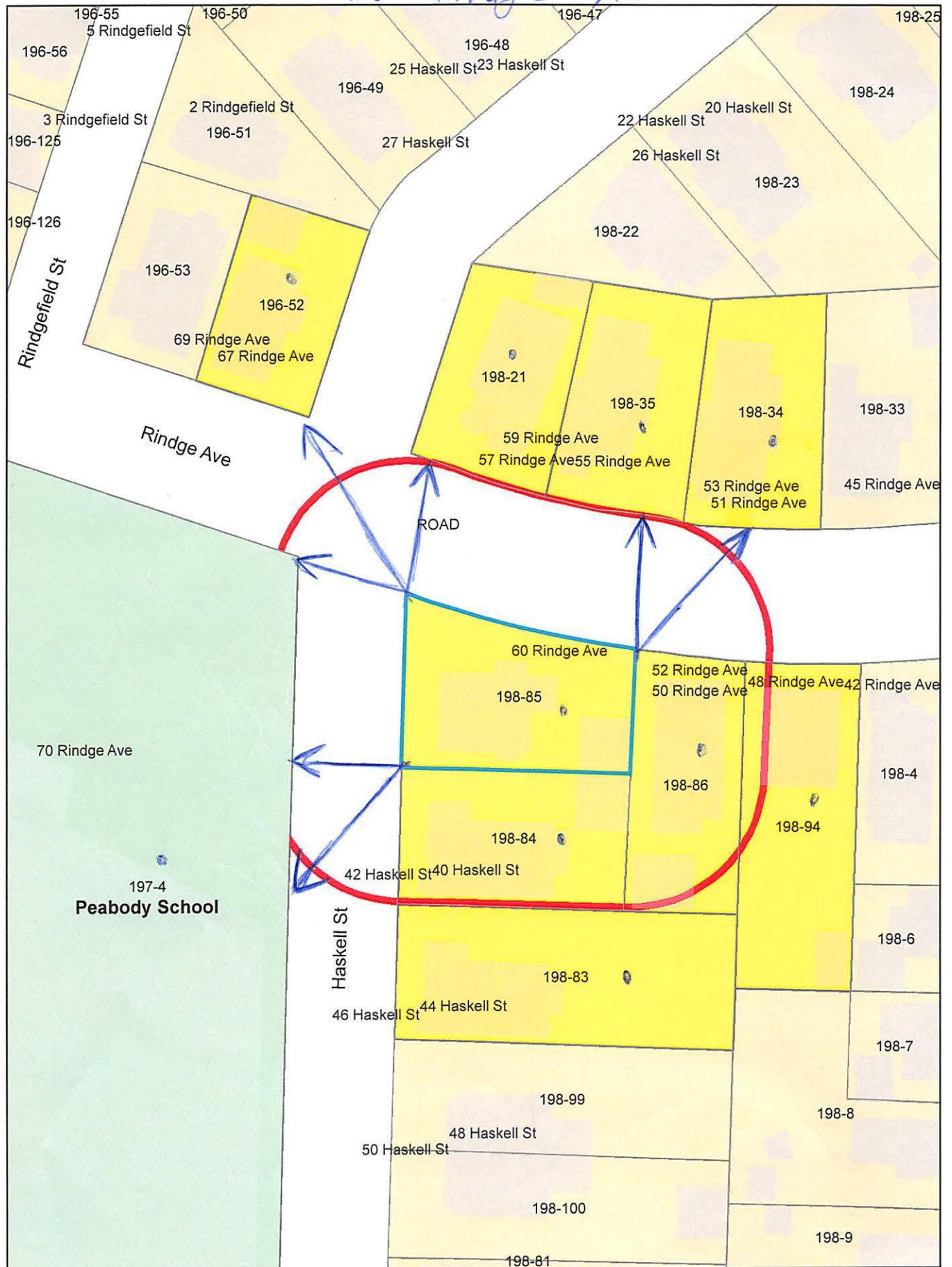
| | <u>EXISTING</u> <u>CONDITIONS</u> | <u>REQUESTED</u> <u>CONDITIONS</u> | <u>ORDINANCE</u> <u>REQUIREMENTS</u> ¹ |
|---|--------------------------------------|---------------------------------------|--|
| <u>TOTAL GROSS FLOOR AREA:</u> | <u>2,201 sf.</u> | <u>2,305 sf.</u> | <u>2,305 sf.</u> (max.) |
| <u>LOT AREA:</u> | <u>4,610 sf.</u> | | <u>5,000 sf.</u> (min.) |
| <u>RATIO OF GROSS FLOOR AREA</u> <u>TO LOT AREA:</u> ² | <u>0.47</u> | <u>0.50</u> | <u>0.50</u> (max.) |
| <u>LOT AREA FOR EACH DWELLING UNIT:</u> | <u>2,409 sf.</u> | <u>2,305 sf.</u> | <u>2,500 sf.</u> (min.) |
| <u>SIZE OF LOT:</u> | | | |
| <u>WIDTH</u> | <u>87' - 0"</u> | | <u> </u> (min.) |
| <u>DEPTH</u> | <u>46' - 4"</u> | | |
| <u>Setbacks in</u> | | | |
| <u>Feet:</u> Corner lot | | | |
| <u>FRONT</u> | <u>16'-5"</u> | <u>16'-5"</u> | <u>15' - 0"</u> (min.) |
| <u>REAR</u> | <u>4' - 2"</u> | <u>4' - 2"</u> | <u>7' - 6"/SUM 20</u> (min.) |
| <u>LEFT SIDE</u> | <u>30 - 9"</u> | <u>30 - 9"</u> | <u>12'- 6"/SUM 20</u> (min.) |
| <u>RIGHT SIDE</u> | <u>15' - 1"</u> | <u>15' - 1"</u> | <u>15'- 0"</u> (min.) |
| <u>Secondary front yard</u> | | | |
| <u>SIZE OF BLDG.:</u> | | | |
| <u>HEIGHT</u> | <u>30' - 1 1/2"</u> | <u>32' - 6"</u> | <u>35' - 0"</u> (max.) |
| <u>LENGTH</u> | <u>30' - 2 1/4"</u> | | |
| <u>WIDTH</u> | <u>40' - 9 1/4"</u> | | |
| <u>RATIO OF USABLE OPEN SPACE</u> <u>TO LOT AREA:</u> ³ | <u>60%</u> | <u>67%</u> | <u>40%</u> (min.) |
| <u>NO. OF DWELLING UNITS:</u> | <u>2</u> | <u>2</u> | <u> </u> (max.) |
| <u>NO. OF PARKING SPACES:</u> | <u>2</u> | <u>2</u> | <u> </u> (min. /max) |
| <u>NO. OF LOADING AREAS:</u> | <u>N/A</u> | <u>N/A</u> | <u>N/A</u> (min.) |
| <u>DISTANCE TO NEAREST BLDG.</u> <u>ON SAME LOT:</u> | <u>N/A</u> | <u>N/A</u> | <u>N/A</u> (min.) |

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

EXISTING WOOD FRAME TO BE RENOVATED. RENOVATION INCLUDES EXPANSION OF EXISTING BUMP OUT ON THE NORTH ELEVATION, THE ADDITION OF 2 DORMERS AND RAISING THE ROOF to 32'-6"

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS) .
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15' .

60 Rindge Ave



60 Rindge Ave

Petitioner

198-83
HORGAN, MARY ANN
44 HASKELL ST
CAMBRIDGE, MA 02140

198-84
REENA FREEDMAN & DANIEL B. RILES TRUSTEES
42 HASKELL ST
CAMBRIDGE, MA 02140

BLATMAN, BOBROWSKI, HAVERTY & SILVERSTEIN, LLC
C/O CHRISTOPHER J. ALPHEN, ESQ.
9 DAMONMILL SQUARE – STE. 4A4
CONCORD, MA 01742

198-34
LI, HONGYING & YANG HUA LIU
86 ARBORWAY
JAMAICA PLAIN, MA 02130

198-35
DALEY, WILLIAM E. JR. &
PATRICIA C. A LIFE ESTATE
57 RINDGE AVE
CAMBRIDGE, MA 02140

BRYCE CAREY & LEAH COHEN
60 RINDGE AVENUE
CAMBRIDGE, MA 02140

198-86
FLYNN, JOHN, JEAN LIBITZ FLYNN,
JOSEPH F. RUDGIS & KAREN RUDGIS
50-52 RINDGE AVE
CAMBRIDGE, MA 02140

198-94
ALBERT, DAVID & EMILY LYONS
48 RINDGE AVE
CAMBRIDGE, MA 02140-1914

198-21
CHIU MICHAEL YIH CHIH ANN
285 3RD ST - UNIT 531
CAMBRIDGE, MA 02142

196-52
MUIR STEPHEN & KATHERINE BECKER
67 RINDGE AVE
CAMBRIDGE, MA 02140

197-4
CAMBRIDGE CITY OF SCHOOL DEPT
159 THORNDIKE ST
CAMBRIDGE, MA 02141

197-4
CITY OF CAMBRIDGE
C/O NANCY GLOWA
CITY SOLICITOR

197-4
CITY OF CAMBRIDGE
C/O CITY MANAGER

198-85
HAYES, JOHN G. & DANIEL J. HAYES III,
TR THE HAYES RINDGE AVE TRUST
3A DAY ST
CAMBRIDGE, MA 02140

CAREY COHEN RESIDENCE

BRYCE CAREY & LEAH COHEN

60 Rindge Ave
Cambridge, MA 02138

BZA SET
09/15/22



PROJECT #: 2205-0060

ARCHITECT:

SAM KACHMAR
ARCHITECTS
(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138



CLIENTS:

**BRYCE CAREY &
LEAH COHEN**

GENERAL CONTRACTOR:



STRUCTURAL ENGINEER:

N / A

ZONING LAWYER:



PROJECT NARRATIVE:

THE CAREY COHEN RESIDENCE CONSISTS OF RENOVATING THE FIRST, SECOND AND THIRD FLOOR OF THE FAMILY HOME. THE BASEMENT INCLUDES PREPPING MECHANICAL ROOM FOR NEW HVAC SYSTEM AND ELECTRICAL UPGRADE FOR A SOLAR POWERED HOME. THE 1ST FLOOR INCLUDES RENOVATING THE KITCHEN AND ADDING A POWDER ROOM. THE 2ND FLOOR INCLUDES DESIGNING A HOME OFFICE AND A NEW BATHROOM. THE THIRD FLOOR INCLUDES RAISING THE ROOF AND DESIGN TWO SHED DORMERS, THE EXTERIOR PROPOSED WORK INCLUDES DEMOLISHING THE GARAGE AND RECONFIGURING THE DRIVEWAY FOR 2 PARKING SPACES.

| BZA SHEET LIST | | |
|----------------|-------------------------|-------------|
| Sheet Number | Sheet Name | Designed By |
| BZA-000 | COVER | SKA |
| BZA-001 | GENERAL NOTES | SKA |
| BZA-003 | AREA PLANS | SKA |
| BZA-004 | SITE AXONS | SKA |
| BZA-005 | EXISTING SITE PLAN | SKA |
| BZA-006 | PROPOSED - SITE PLAN | SKA |
| BZA-008 | SHADOW STUDIES | SKA |
| BZA-100 | LEVEL 0 - PLAN | SKA |
| BZA-101 | LEVEL 1 - PLAN | SKA |
| BZA-102 | LEVEL 2 - PLAN | SKA |
| BZA-103 | LEVEL 3 - PLAN | SKA |
| BZA-104 | PROPOSED ROOF PLAN | SKA |
| BZA-200 | ELEVATION NORTH (FRONT) | SKA |
| BZA-201 | ELEVATION EAST | SKA |
| BZA-202 | ELEVATION SOUTH (REAR) | SKA |
| BZA-203 | ELEVATION WEST | SKA |
| BZA-401 | PLOT PLAN | SKA |

ABBREVIATIONS

| | | | |
|--------|---|---------|-----------------------------|
| # | NUMBER OR POUND | L | LENGTH |
| AND | AND | LAM | LAMINATE, LAMINATED |
| AT | AT | LB | POUND |
| ADJ | ADJUSTABLE | LGMF | LIGHT GAGE METAL FRAMING |
| AFF | ABOVE FINISH FLOOR | LT | LIGHT |
| ALUM | ALUMINUM | LT WT | LIGHT WEIGHT |
| APPROX | APPROXIMATELY | MAX | MAXIMUM |
| ARCH | ARCHITECTURAL | MDF | MEDIUM DENSITY FIBER |
| AVB | AIR AND VAPOR BARRIER | MECH | MECHANICAL |
| BD | BOARD | MED | MEDIUM |
| BIT | BITUMINOUS | MFR | MANUFACTURER |
| BLDG | BUILDING | MIN | MINIMUM |
| BSMT | BASEMENT | MISC | MISCELLANEOUS |
| BTWN | BETWEEN | MTD | MOUNTED |
| CF | CUBIC FEET | MTL | METAL |
| CJ | CUBIC INCHES | N | NORTH |
| CL | CONTROL JOINT | N/A | NOT APPLICABLE |
| CLG | CENTERLINE | NIC | NOT IN CONTRACT |
| CLD | CEILING | NOM | NOMINAL |
| CLR | CLEAR OR CLEARANCE | NTS | NOT TO SCALE |
| CMU | CONCRETE MASONRY UNIT | OC | ON CENTER |
| COL | COLUMN | OD | OUTSIDE DIAMETER |
| CONC | CONCRETE | OH | OPPOSITE HAND |
| CONT | CONTINUOUS | OPP | OPPOSITE |
| CORR | CORRIDOR, CORRUGATED | OSB | ORIENTED STRANDBOARD |
| CTR | CENTER | OVHD | OVERHEAD |
| D | DEPTH, DEEP | OZ | OUNCE (S) |
| DBL | DOUBLE | PATT | PATTERN (ED) |
| DEMO | DEMOLISH, DEMOLITION | PERF | PERFORATED |
| DIA | DIAMETER | PERP | PERPENDICULAR |
| DIM | DIMENSION | PLAM | PLASTIC LAMINATE |
| DN | DOWN | PLYWD | PLYWOOD |
| DTL | DETAIL | PNT | PAINT, PAINTED |
| DW | DISHWASHER | PR | PAIR |
| E | EAST | PREFAB | PREFABRICATE, PREFABRICATED |
| EA | EXPANSION JOINT | QTY | QUANTITY |
| EJ | ELEVATION (GRADE) | RAD | RADIUS |
| EL | ELEVATION (GRADE) | RBR | RUBBER |
| ELEC | ELECTRICAL | RD | ROOF DRAIN |
| ELEV | ELEVATION (FACE) | REF | REFERENCE |
| EOS | EDGE OF SLAB | REFR | REFRIGERATE, REFRIGERATOR |
| EQ | EQUAL, EQUIPMENT, EQUIP | REINF | REINFORCE, REINFORCED |
| ETR | EXISTING TO REMAIN | REQ | REQUIRE |
| EXG | EXISTING | REV | REVISION, REVISE, REVISED |
| EXP | EXPOSED | RM | ROOM |
| EXT | EXTERIOR | RO | ROUGH OPENING |
| FAB | FABRICATE, FABRICATION | S | SOUTH |
| FD | FLOOR DRAIN | SCHED | SCHEDULE |
| FF | FINISHED FLOOR | SF | SQUARE FEET |
| FL | FLOOR | SI | SQUARE INCHES |
| FOW | FACE OF WALL | SIM | SIMILAR |
| FT | FEET, FOOT | SPEC | SPECIFICATION |
| GA | GAUGE | SG | SQUARE |
| GALV | GALVANIZED | SS, SST | STAINLESS STEEL |
| GL | GLASS, GLAZING, GLAZED | STC | SOUND TRANSMISSION CLASS |
| GWB | GYP SUM WALLBOARD, BACKING BOARD | STL | STEEL |
| GYP | GYP SUM | STOR | STORAGE |
| H | HIGH | STR | STAIR |
| HDWD | HARDWOOD | T.O. | TOP OF |
| HM | HOLLOW METAL | U.O. | UNDERSIDE OF |
| HORIZ | HORIZONTAL | UON | UNLESS OTHERWISE NOTED |
| HVAC | HEATING, VENTILATING & AIR CONDITIONING | WD | WOOD |
| IN | INCH, INCHES | WT | WEIGHT |
| INCL | INCLUDE, INCLUDED | X | INDICATES TIMES OR BY |
| INT | INTERIOR | | |
| JT | JOINT | | |

MATERIALS

| | |
|--|--|
| | EARTH |
| | CONCRETE |
| | GRAVEL |
| | SAND |
| | GYPSUM BOARD OR SHEATHING |
| | MASONRY - BRICK |
| | MASONRY - CONCRETE BLOCK |
| | WOOD - FINISH - END GRAIN |
| | WOOD - FINISH - FACE |
| | WOOD - ROUGH - BLOCKING (CONTINUOUS MEMBERS) |
| | WOOD - ROUGH - BLOCKING (INTERMEDIATE MEMBERS) |
| | INSULATION - RIGID |
| | INSULATION - BATT OR MINERAL WOOL |
| | ACOUSTIC TILE, PANEL, OR PLANK |
| | PLYWOOD |
| | CUT STONE |
| | PARTICLE BOARD OR FIBERBOARD |

SYMBOLS

| | | | |
|--|---------------------------------|---|--------------------|
| | VIEW NAME | SCALE: 1/4" = 1'-0" | DRAWING TITLE |
| | EXTERIOR ELEVATION KEY | | |
| | INTERIOR ELEVATION KEY | | |
| | BUILDING SECTION MARKER | | |
| | WALL SECTION MARKER | | |
| | DETAIL AREA MARKER | | |
| | DETAIL SECTION MARKER | | |
| | GRID LINE | | |
| | VERTICAL ELEVATION KEY (ELEV) | | |
| | SPOT ELEVATION W/ TARGET (PLAN) | | |
| | SPOT ELEVATION NO TARGET (PLAN) | | |
| | REVISION CLOUD AND REVISION TAG | | |
| | ROOM TAG | ROOM NAME, ROOM # | CENTERLINE |
| | AREA TAG | AREA NAME, AREA | MATCH LINE |
| | DOOR TAG | DOOR # | HINGE SIDE OF DOOR |
| | WINDOW TAG | WINDOW # | ALIGN SURFACES |
| | FINISH TAG | ROOM NAME, ROOM #, FLOOR, BASE, WALL, CEILING | |

GENERAL NOTES

- ALL WORK SHALL BE CONSIDERED NEW, UNLESS OTHERWISE INDICATED.
- DO NOT SCALE DRAWINGS.
- VERIFY DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION AND IMMEDIATELY REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- TO THE EXTENT PRACTICABLE, VERIFY DIMENSIONS AND FIELD CONDITIONS AT THE SITE PRIOR TO THE BID SUBMISSION. CONFLICTS, OMISSIONS AND DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED IN WRITING TO THE ARCHITECT, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PRIOR TO THE BID SUBMISSION. THE CONTRACTOR WARRANTS, BY TENDERING HIS BID, THAT THE WORK IS BUILDABLE AS SHOWN.
- LAYOUT ALL WORK WITHIN THE CONFINES OF EXISTING CONSTRUCTION AND RESOLVE DISCREPANCIES PRIOR TO INITIATION OF NEW WORK.
- ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION THAT IS STARTED PRIOR TO PERMIT BEING ISSUED.
- DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTION OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE HAND PLANS SECTIONS OR DETAILS, UNLESS NOTED OTHERWISE.
- TYPICAL OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONE TIME, WHEN THEY FIRST OCCUR.
- IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN PROJECT MANUAL, LARGE SCALE DRAWINGS, SMALL SCALE DRAWINGS AND DETAILS. THE CONTRACTOR SHALL NOT PROCEED WITH AFFECTED WORK UNTIL ARCHITECT PROVIDES CLARIFICATION.
- PARTITIONS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO MASONRY ARE TO ACTUAL FINISHED FACE, UNLESS OTHERWISE NOTED.
- VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMMUNICATING AND DISTRIBUTING ALL CONSTRUCTION DOCUMENT UPDATES TO ALL TRADES.
- WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE STATE, FEDERAL AND CITY/COUNTY CODES. STATE AND FEDERAL CODES ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS. IF ANY DISCREPANCY IS NOTED, IMMEDIATELY INFORM THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.
- FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT PERMITS, CONTROLLED INSPECTIONS, OTHER AGENCY APPROVALS AND PERMITS WHERE REQUIRED, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. COPIES OF TRANSACTIONS SHALL BE FORWARDED TO THE OWNER OR OWNER'S REPRESENTATIVE.
- EXECUTE INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
- WORK AREA SHALL BE MAINTAINED, CLEAN AND FREE OF DEBRIS AT ALL TIMES.
- PATCH ALL SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES.
- PATCH, REPAIR AND FINISH ALL SURFACES IN AREAS OUTSIDE OF THE EXISTING SCOPE THAT ARE DISTURBED AS A RESULT OF THE WORK.
- COORDINATE AND PROVIDE BLOCKING AND STRAPPING WITHIN PARTITIONS FOR MILLWORK AND OTHER WALL ATTACHED ITEMS.
- APPLY, INSTALL, CONNECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- GLASS 18" OR LESS FROM FLOOR LINE OR ADJACENT TO A DOOR SWING SHALL BE SAFETY GLASS AS REQUIRED BY APPLICABLE CODE(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "SAFETY GLASS, UNLESS OTHERWISE NOTED, TO COMPLY WITH BUILDING AND LIFE SAFETY CODES, INDUSTRY STANDARDS AND OTHER APPLICABLE FEDERAL AND STATE CODES.
- FLASHING AT EXTERIOR WALLS SHALL BE INSTALLED WITH SEALED JOINTS, SEALED PENETRATIONS AND ENDS TURNED UP. IT SHALL BE FABRICATED AND INSTALLED TO ENSURE THAT MOISTURE IN WALLS WILL BE DIRECTED TO WICKS AND WEEP HOLES.
- COORDINATE ALL DIMENSIONS CONCERNING DOORS/PANELS/WINDOWS, STAIRS AND THEIR OPENINGS WITH PRODUCT MANUFACTURERS PRIOR TO FABRICATION AND CONSTRUCTION.
- PROVIDE WEATHERSTRIP AT EXTERIOR DOORS.
- PROVIDE FLASHING AND/OR SEALANT AT OPENINGS IN ROOF OR WALLS TO ENSURE A WEATHERTIGHT BUILDING.
- LOCATE THERMOSTATS ADJACENT TO SWITCH PLATES WHERE POSSIBLE. VERIFY LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION TO AVOID CONFLICTS WITH BUILT-INS OR SYSTEMS FURNITURE OR DESIGN ELEMENTS.
- ALIGN OUTLETS, WALL SWITCHES, TEL-DATA JACKS, ETC., INDICATED TO BE MOUNTED AT NEAR EQUIVALENT ELEVATIONS.
- ALL DOORS SHALL BE LOCATED 6" OFF THE ADJACENT PARTITION, OR ONE MASONRY COURSE AT CMU PARTITIONS, UNLESS NOTED OTHERWISE.
- DURING DEMOLITION AND CONSTRUCTION PROTECT ALL EXISTING FINISHES TO REMAIN.
- ALL WOOD SHALL BE FSC CERTIFIED.
- ALL WOOD FRAMING SIZES ARE BASED ON SPF-SS.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED (P.T.).
- CORRECT ALL DEFECTS FOUND IN EXISTING BUILDING WHICH INTERFERE WITH NEW CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO UNEVEN SURFACES AND FINISHES AT GWB.



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REGISTRATIONS:

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GENERAL NOTES

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CAREY COHEN RESIDENCE

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Cambridge, MA 02138

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| Project Status | BZA SET |
| Project number | 2205-0060 |
| Date | 09/15/22 |
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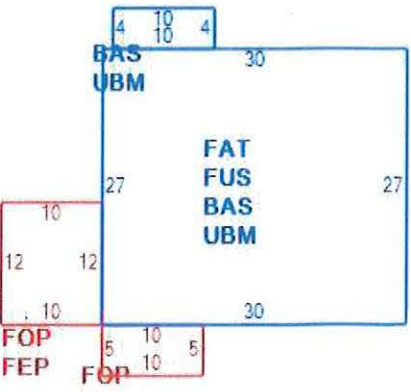
BZA-001

Scale 1 1/2" = 1'-0"



1 MATERIALS
1 1/2" = 1'-0"

UBM
FBM
(425 sf)



3 SYMBOLS
1 1/2" = 1'-0"

1 GENERAL NOTES
1 1/2" = 1'-0"

ZONING DISTRICT - B

LOT AREA = 4,610 SF

FAR CALCULATIONS

OPEN SPACE CALCULATIONS

EXISTING BUILDING HEIGHT:
30' - 7"

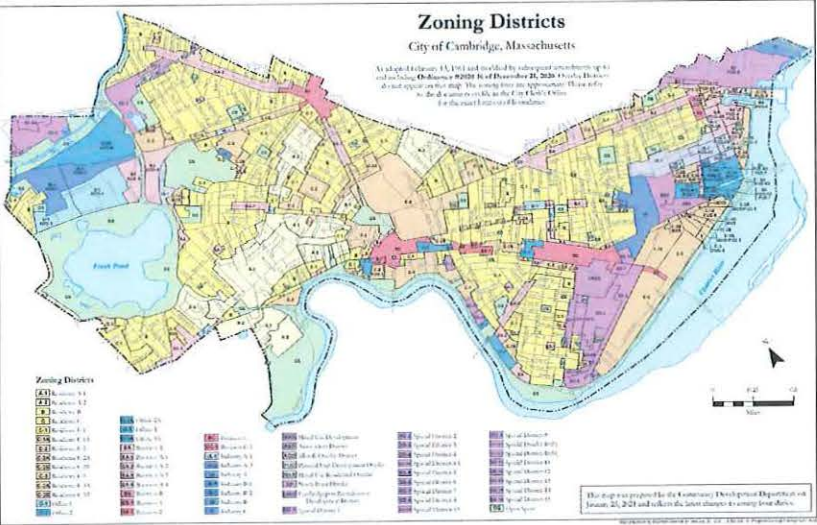
EXISTING FAR = 0.44
PROPOSED FAR = 0.49

EXISTING OPEN SPACE = 60%
PROPOSED OPEN SPACE = 67%

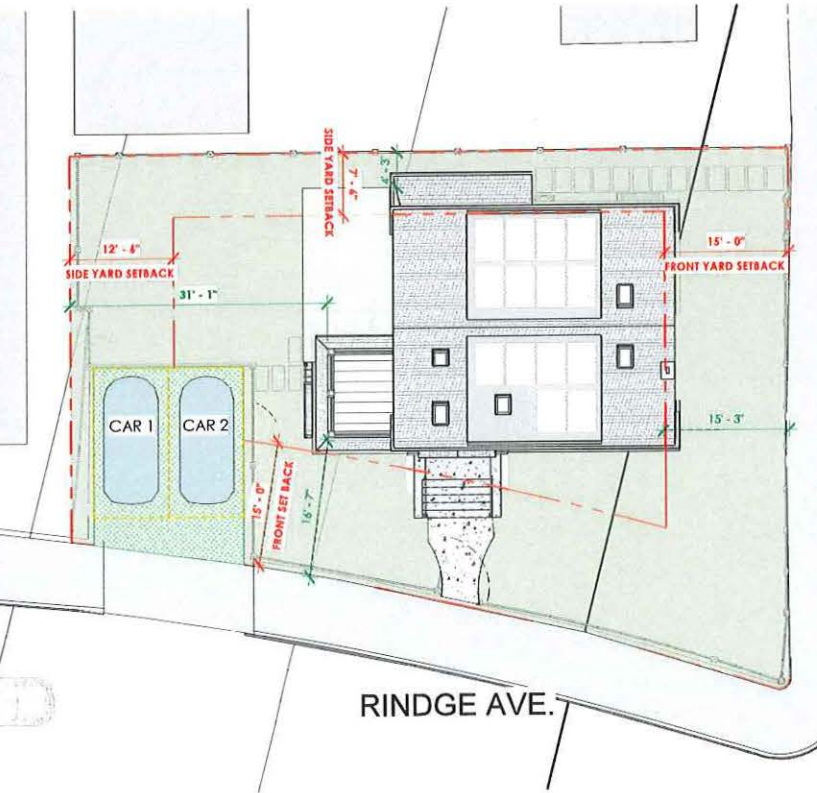
PROPOSED BUILDING HEIGHT:
32' - 11"

REQUIRED FAR = 0.50

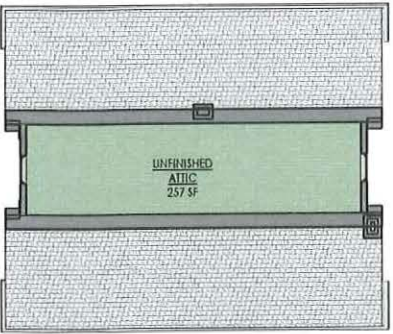
REQUIRED OPEN SPACE = 40%



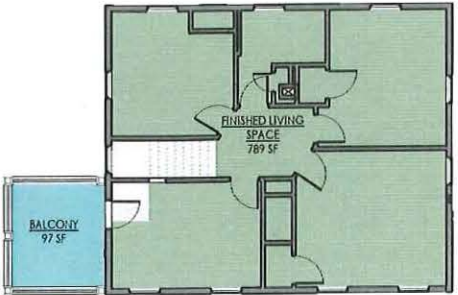
| EXISTING AREA | | | PROPOSED AREA | | |
|------------------|-----------------------|---------|------------------|-----------------------|---------|
| Level | Name | Area | Level | Name | Area |
| EXISTING LEVEL 1 | FINISHED LIVING SPACE | 948 SF | EXISTING LEVEL 1 | FINISHED LIVING SPACE | 959 SF |
| EXISTING LEVEL 1 | COVERED PORCH | 54 SF | EXISTING LEVEL 1 | COVERED PORCH | 26 SF |
| EXISTING LEVEL 2 | FINISHED LIVING SPACE | 789 SF | EXISTING LEVEL 2 | LIVING SPACE | 779 SF |
| EXISTING LEVEL 3 | UNFINISHED ATTIC | 257 SF | EXISTING LEVEL 3 | FINISHED LIVING SPACE | 521 SF |
| | | 2048 SF | | | 2285 SF |



1 SITE - AREA PLAN
3/32" = 1'-0"



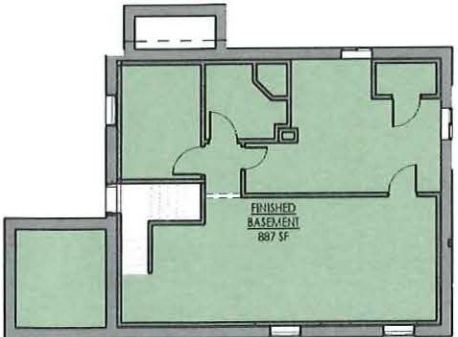
7 EXISTING LEVEL 3
1/8" = 1'-0"



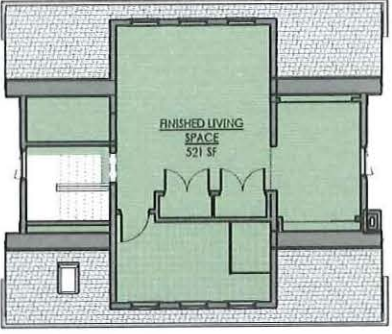
6 EXISTING LEVEL 2
1/8" = 1'-0"



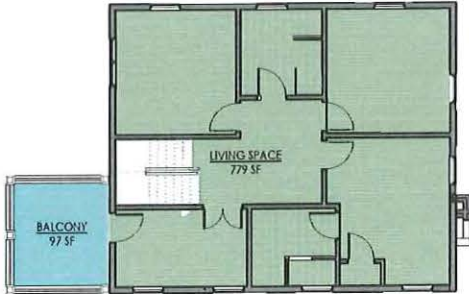
3 EXISTING LEVEL 1
1/8" = 1'-0"



5 EXISTING LEVEL 0
1/8" = 1'-0"



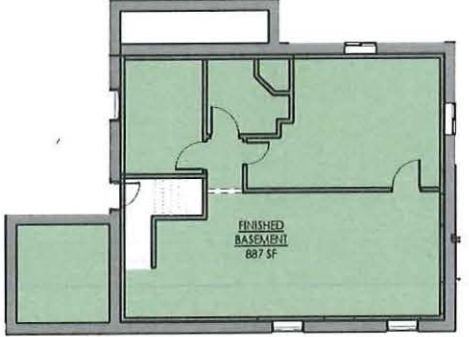
9 EXISTING LEVEL 3
1/8" = 1'-0"



8 EXISTING LEVEL 2
1/8" = 1'-0"



4 EXISTING LEVEL 1
1/8" = 1'-0"



2 EXISTING LEVEL 0
1/8" = 1'-0"



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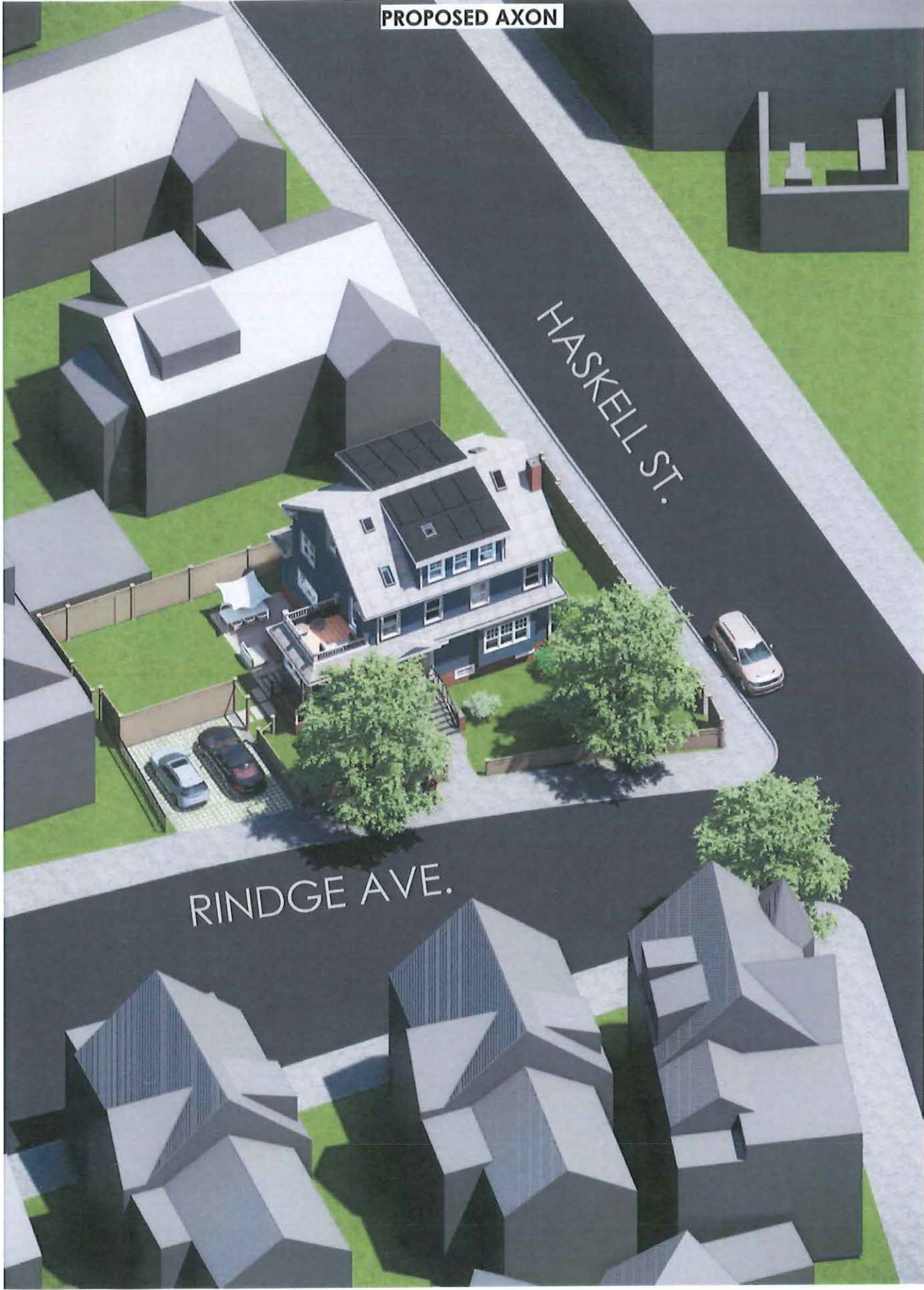
REGISTRATIONS:

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AREA PLANS

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| Project Status | BZA SET |
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| BZA-003 | |
| Scale | As indicated |



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BZA-004

Scale



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EXISTING SITE PLAN

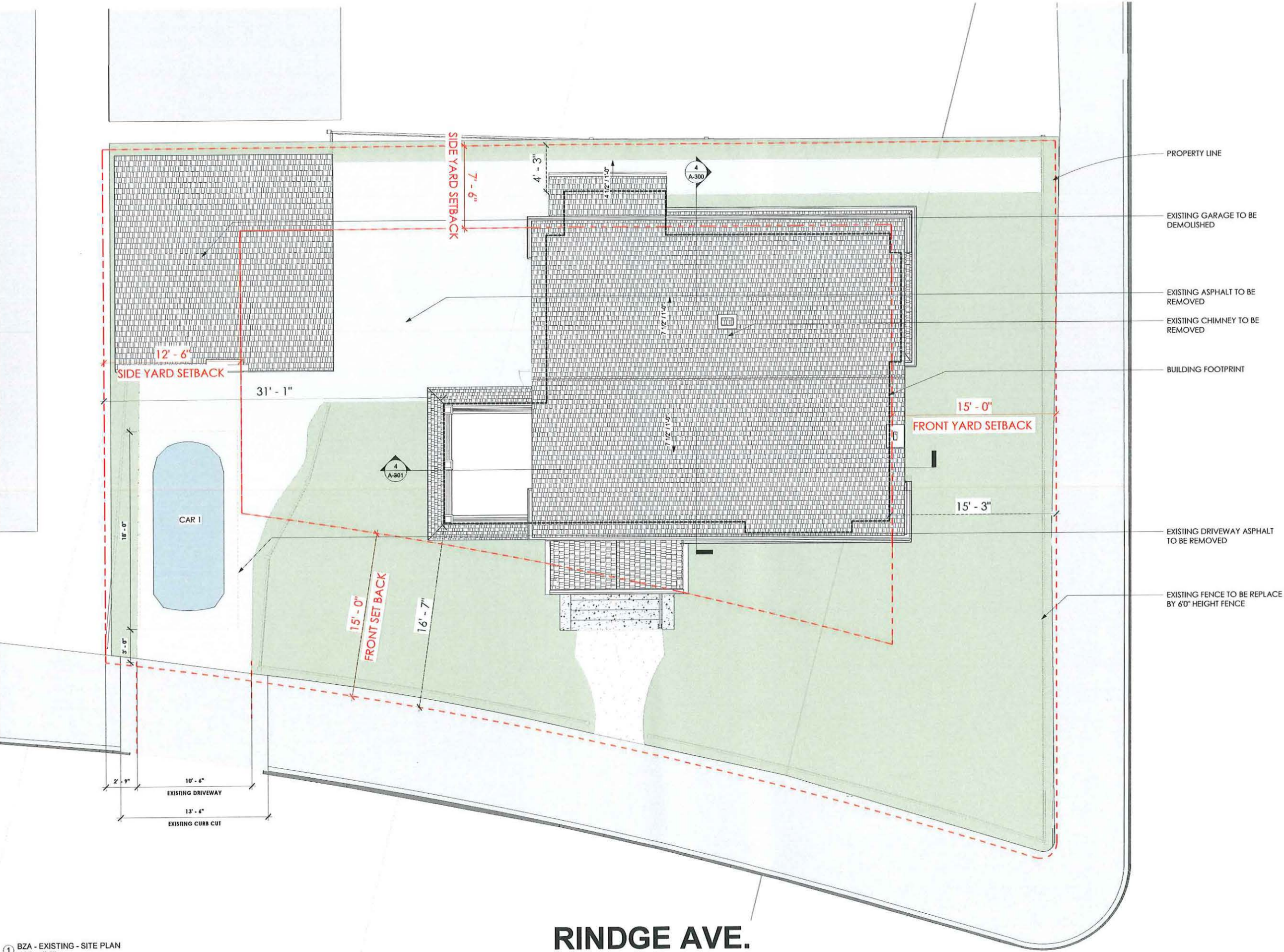
BRYCE CAREY & LEAH COHEN
CAREY COHEN RESIDENCE
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Project Status BZA SET
Project number 2205-0060
Date 09/15/22
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BZA-005

Scale 1/4" = 1'-0"

9/15/2022 11:01:17 AM



RINDGE AVE.

HASKELL ST.



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PROPOSED - SITE PLAN

BRYCE CAREY & LEAH COHEN

CAREY COHEN RESIDENCE

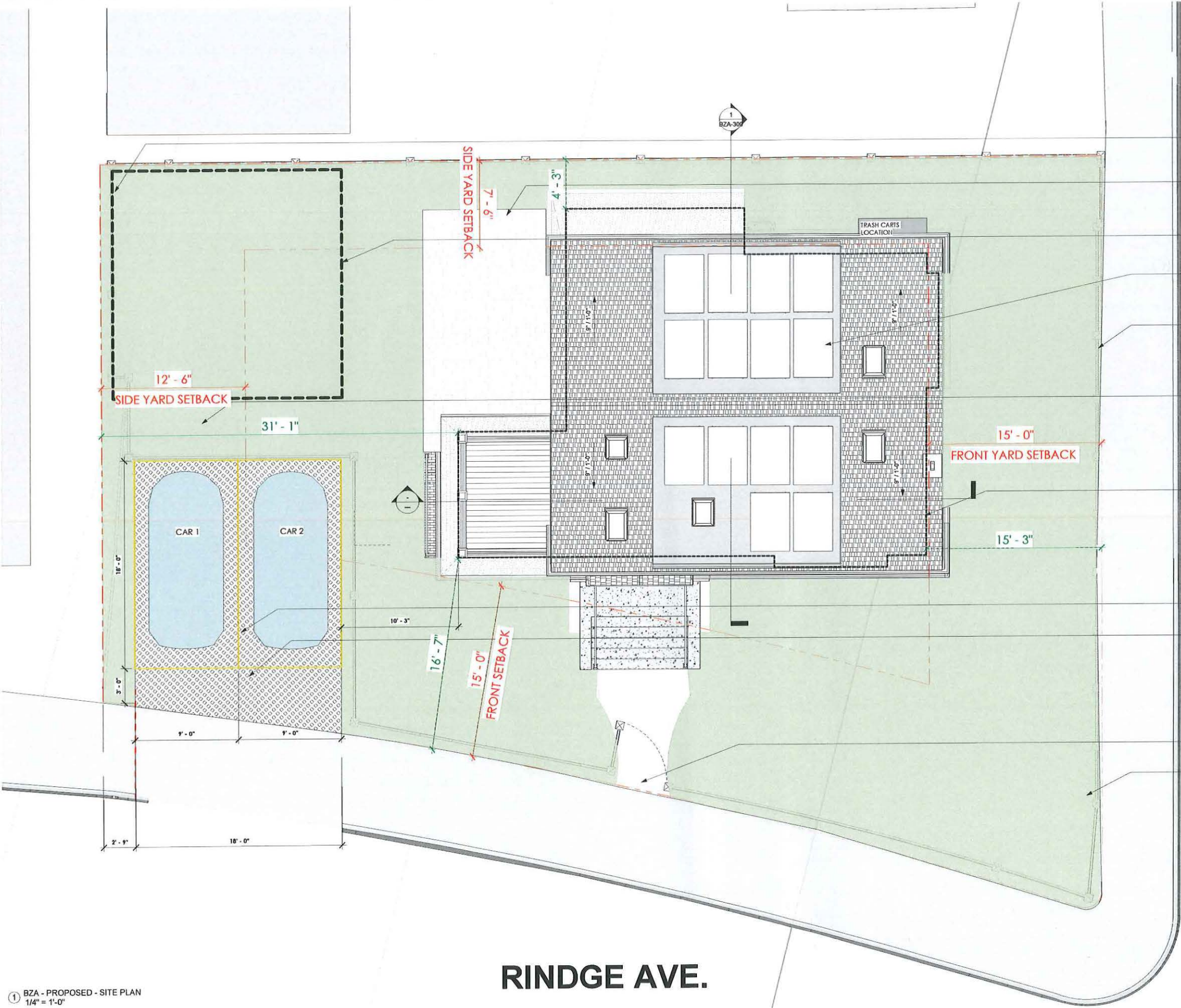
60 Rindge Ave
Cambridge, MA 02138

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|----------------|-----------|
| Project Status | BZA SET |
| Project number | 2205-0060 |
| Date | 09/15/22 |
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BZA-006

Scale 1/4" = 1'-0"

9/15/2022 11:01:19 AM

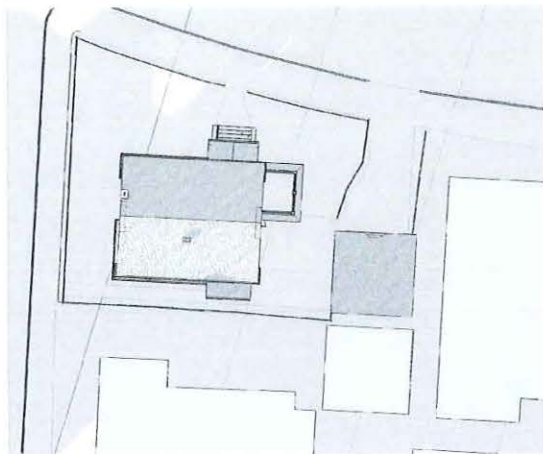


RINDGE AVE.

HASKELL ST.

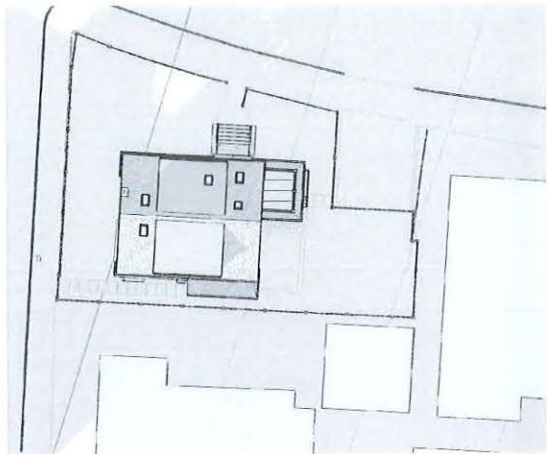
AFTERNOON - 3PM

WINTER SOLSTICE - EXISTING



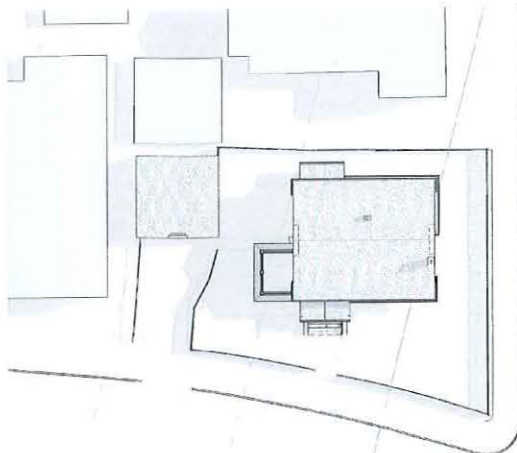
③ SOLOR STUDY - 3PM WINTER SOLSTICE - EXISTING
3/64" = 1'-0"

WINTER SOLSTICE - PROPOSED



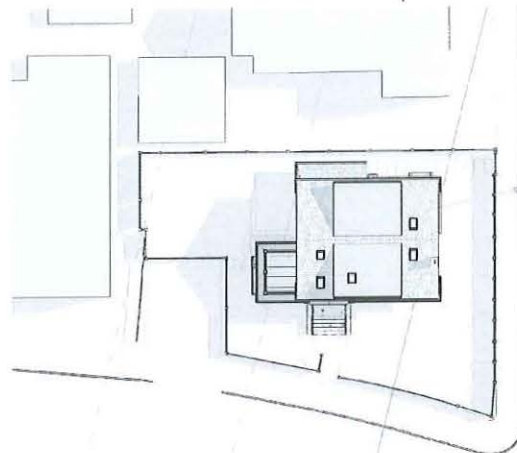
④ SOLOR STUDY - 3PM WINTER SOLSTICE - PROPOSED
3/64" = 1'-0"

SUMMER SOLSTICE - EXISTING



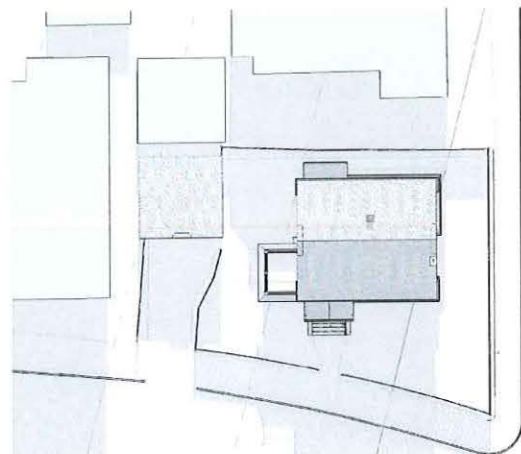
① SOLOR STUDY - 3PM SUMMER SOLSTICE - EXISTING
3/64" = 1'-0"

SUMMER SOLSTICE - PROPOSED

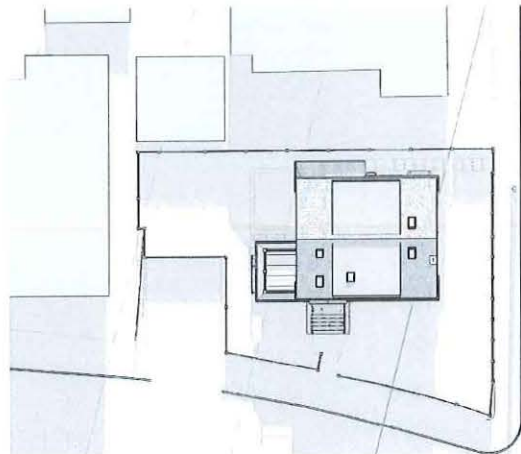


② SOLOR STUDY - 3PM SUMMER SOLSTICE - PROPOSED
3/64" = 1'-0"

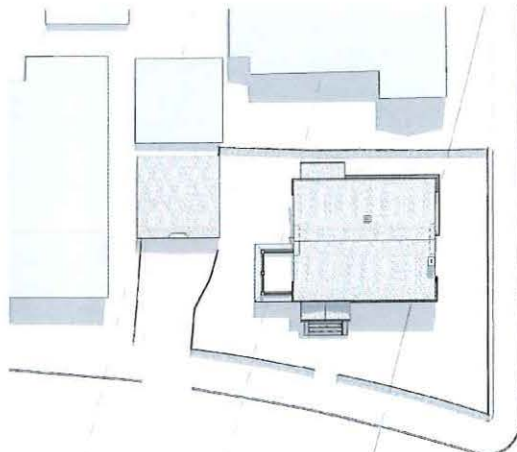
NOON - 12PM



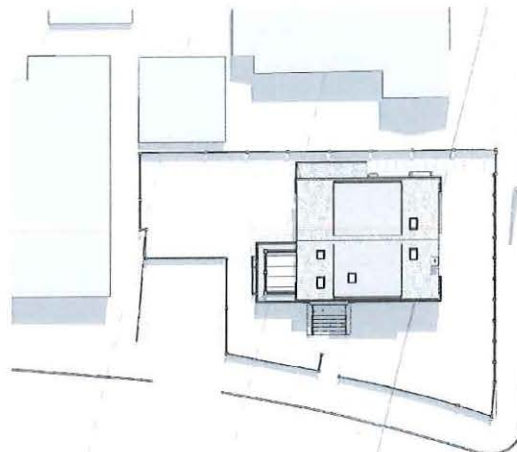
⑪ SOLOR STUDY - 12PM WINTER SOLSTICE - EXISTING
3/64" = 1'-0"



⑫ SOLOR STUDY - 12PM WINTER SOLSTICE - PROPOSED
3/64" = 1'-0"

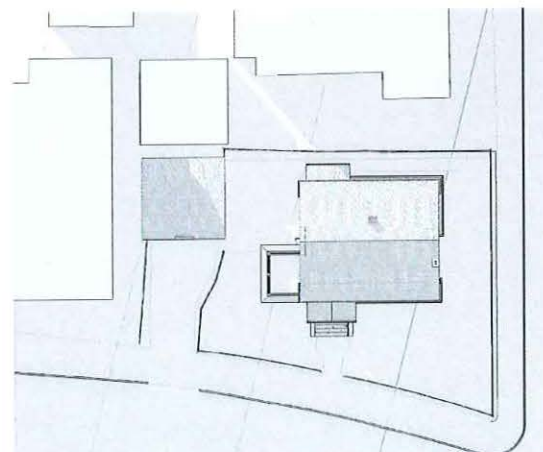


⑨ SOLOR STUDY - 12PM SUMMER SOLSTICE - EXISTING
3/64" = 1'-0"

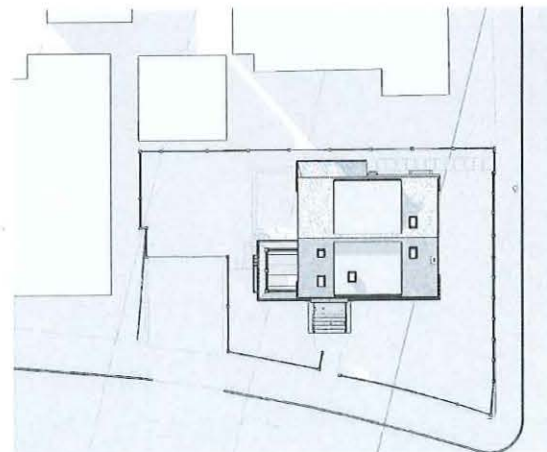


⑩ SOLOR STUDY - 12PM SUMMER SOLSTICE - PROPOSED
3/64" = 1'-0"

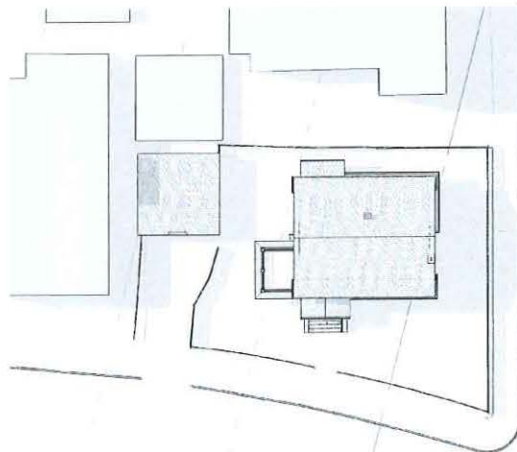
MORNING - 9AM



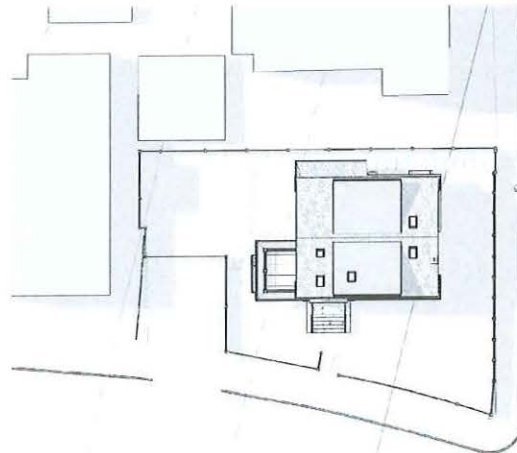
⑦ SOLOR STUDY - 9PM WINTER SOLSTICE - EXISTING
3/64" = 1'-0"



⑧ SOLOR STUDY - 9PM WINTER SOLSTICE - PROPOSED
3/64" = 1'-0"



⑤ SOLOR STUDY - 9PM SUMMER SOLSTICE - EXISTING
3/64" = 1'-0"



⑥ SOLOR STUDY - 9PM SUMMER SOLSTICE - PROPOSED
3/64" = 1'-0"



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BZA-008

Scale 3/64" = 1'-0"

EXISTING STREETSCAPE - RINDGE AVE.



PROPOSED STREETSCAPE - RINDGE AVE.



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STREETSCAPE - RINDGE
AVE.

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| Project number | 2205-0060 |
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BZA-009

Scale

EXISTING STREETScape - HASKELL ST.



PROPOSED STREETScape - HASKELL ST.



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STREET SCAPE- HASKELL ST.

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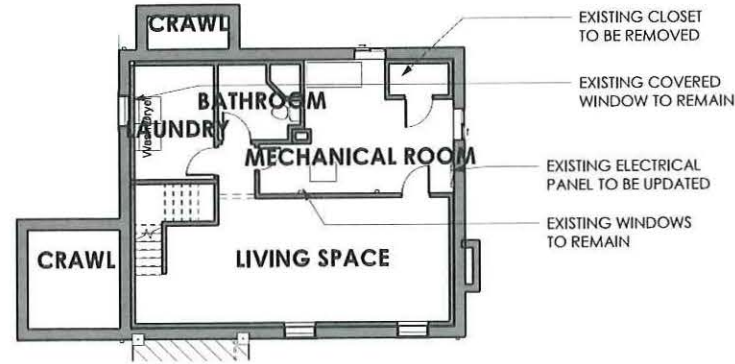
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| Project Status | BZA SET |
| Project number | 2205-0060 |
| Date | 09/15/22 |
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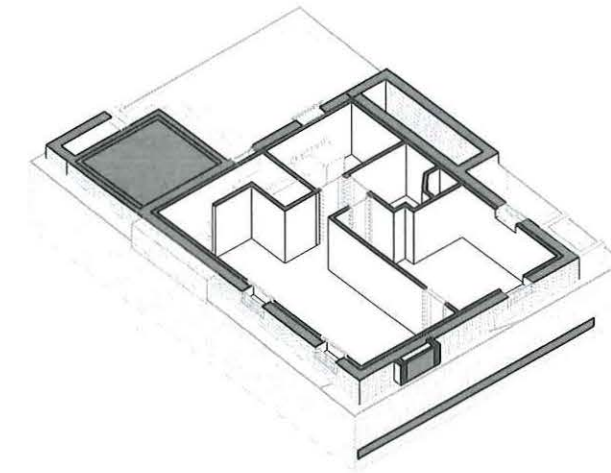
BZA-010

Scale

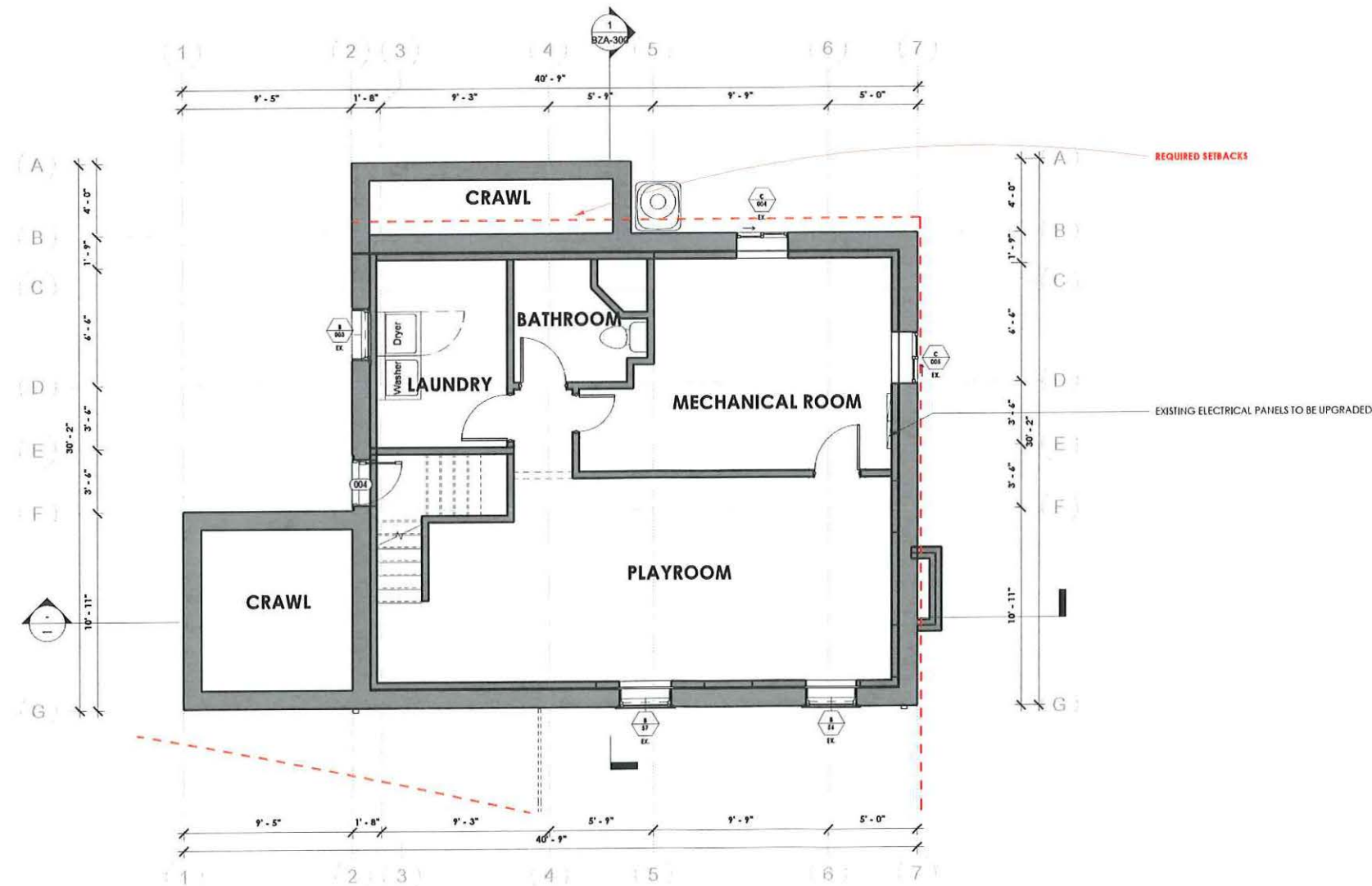
BZA-100 LEVEL 0 - PLAN



① BZA - EXISTING LEVEL 0
1/8" = 1'-0"



③ BZA - AXON - LEVEL 0



② BZA - PROPOSED LEVEL 0
1/4" = 1'-0"



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LEVEL 0 - PLAN

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| Project Status | BZA SET |
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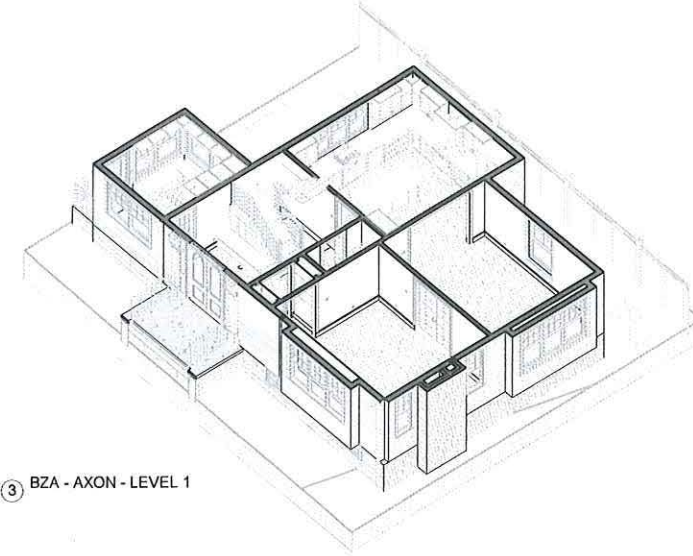
BZA-100

Scale As Indicated

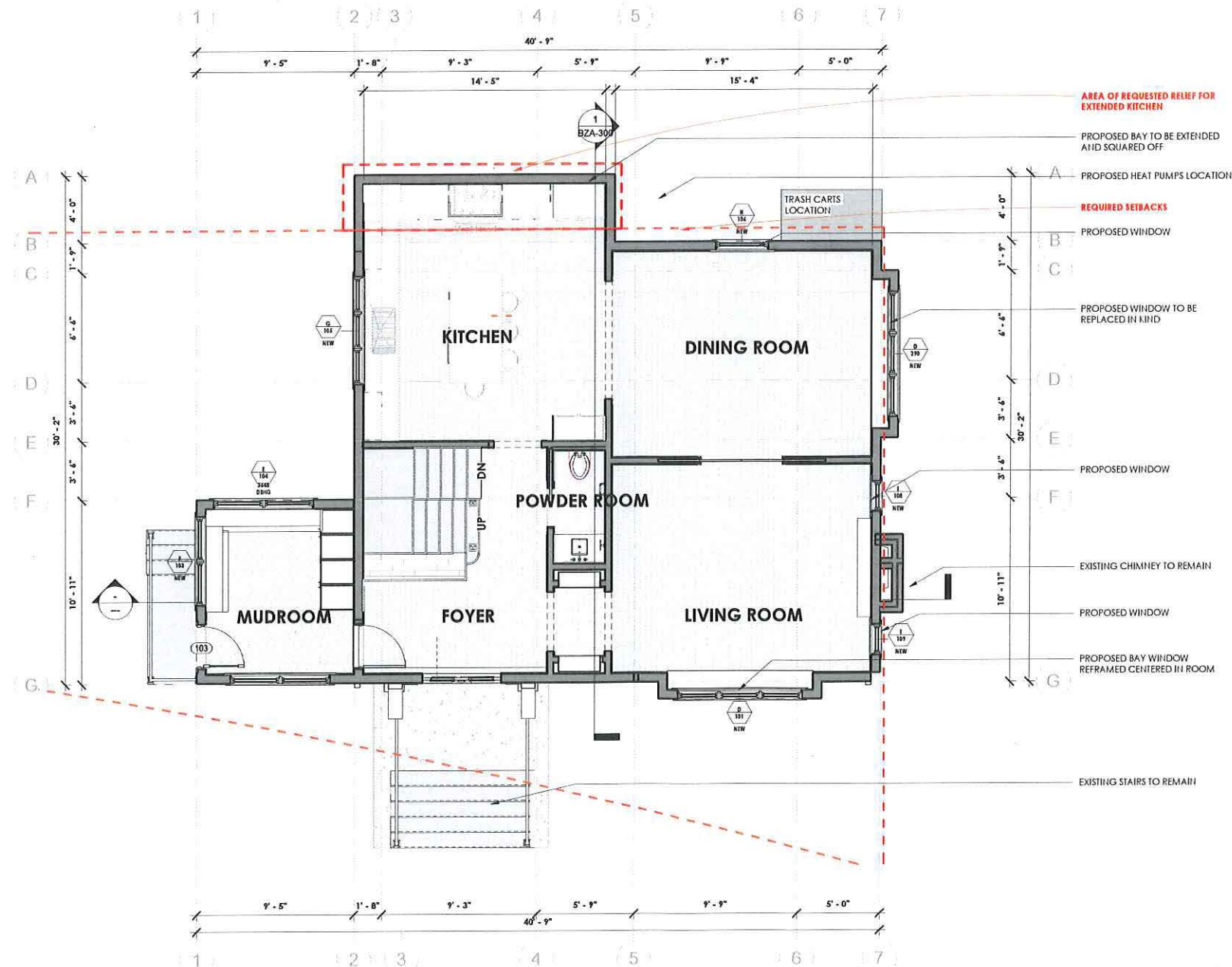
BZA-101 LEVEL 1 - PLAN



① BZA - EXISTING LEVEL 1
1/8" = 1'-0"



③ BZA - AXON - LEVEL 1



② BZA - PROPOSED - LEVEL 1
1/4" = 1'-0"



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LEVEL 1 - PLAN

BRYCE CAREY & LEAH COHEN

CAREY COHEN RESIDENCE

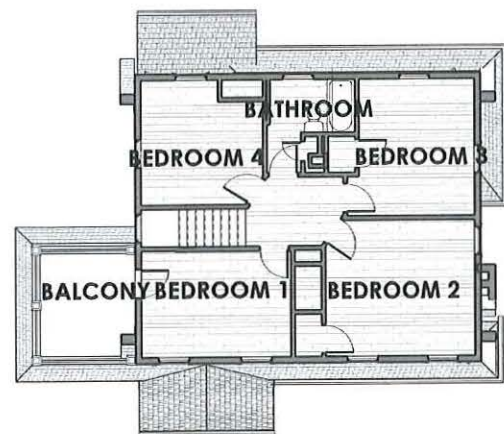
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| Project Status | BZA SET |
| Project number | 2205-0060 |
| Date | 09/15/22 |
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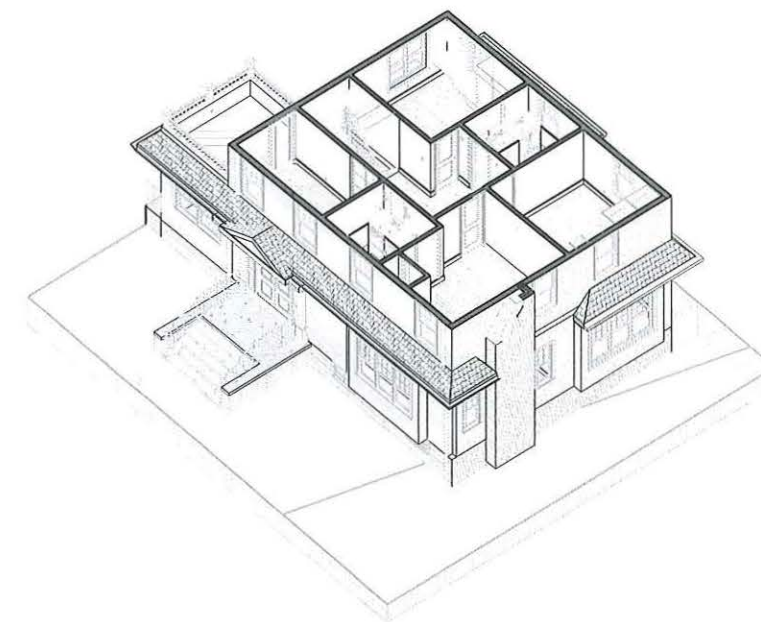
BZA-101

Scale As Indicated

BZA-102 LEVEL 2 - PLAN



① BZA - EXISTING LEVEL 2
1/8" = 1'-0"



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LEVEL 2 - PLAN

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CAREY COHEN RESIDENCE

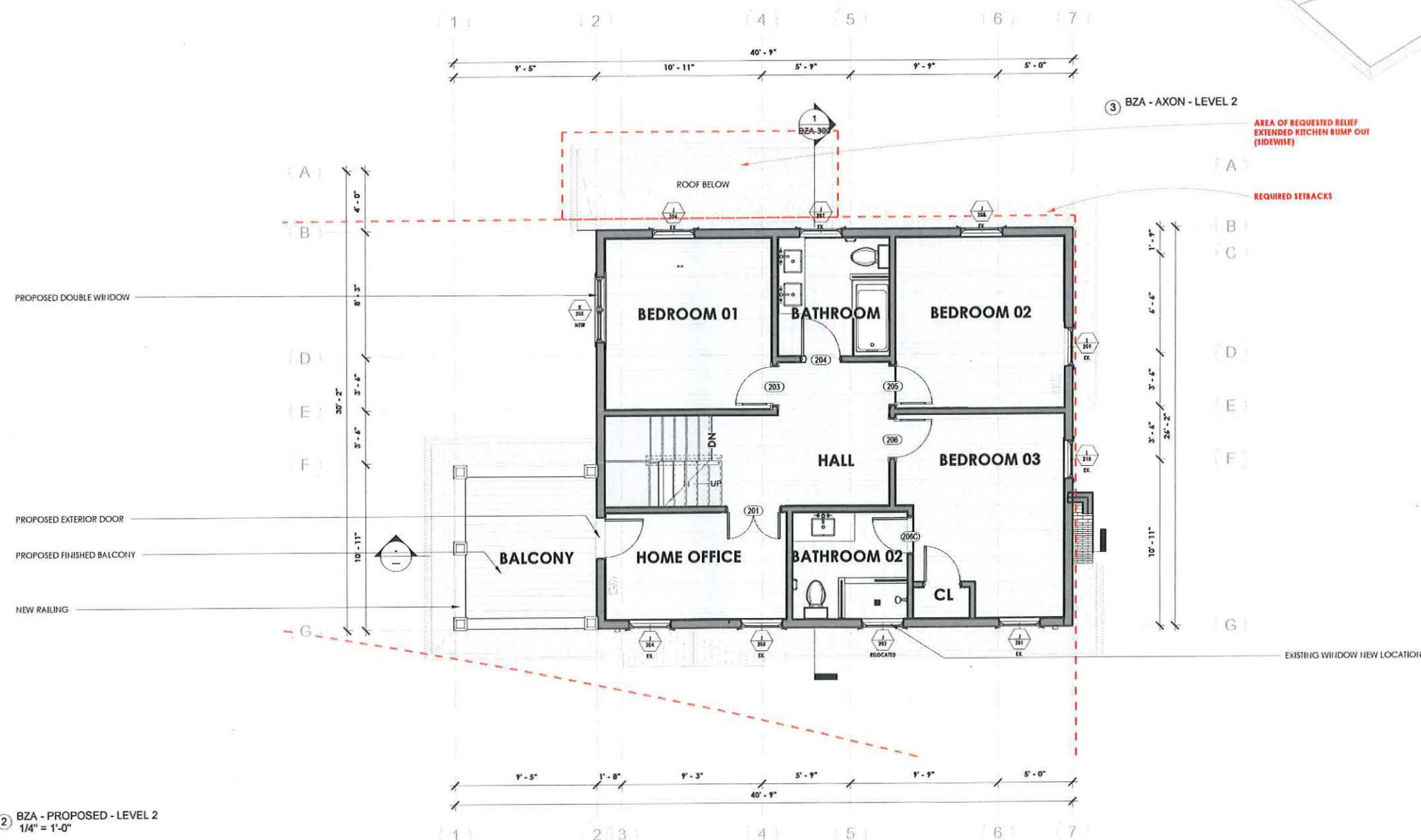
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| Project Status | BZA SET |
| Project number | 2205-0060 |
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BZA-102

Scale As indicated

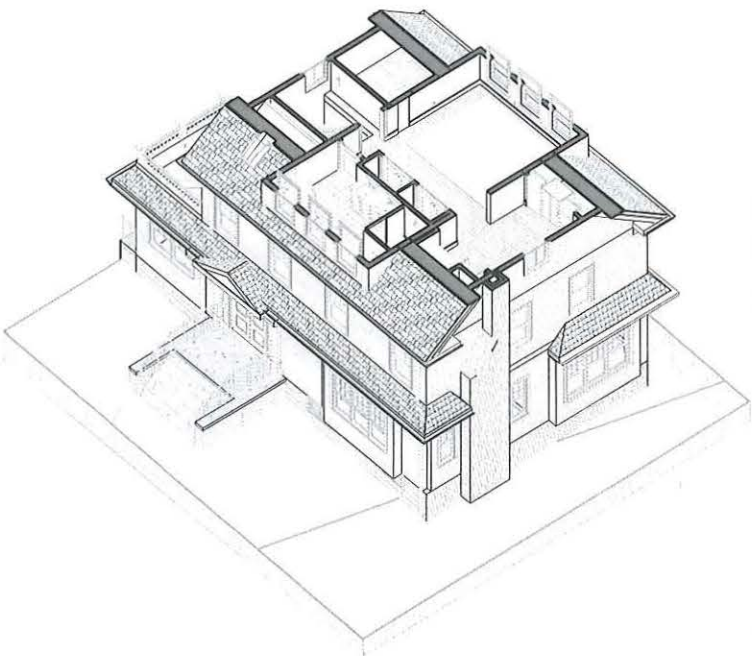
9/15/2022 11:09 AM



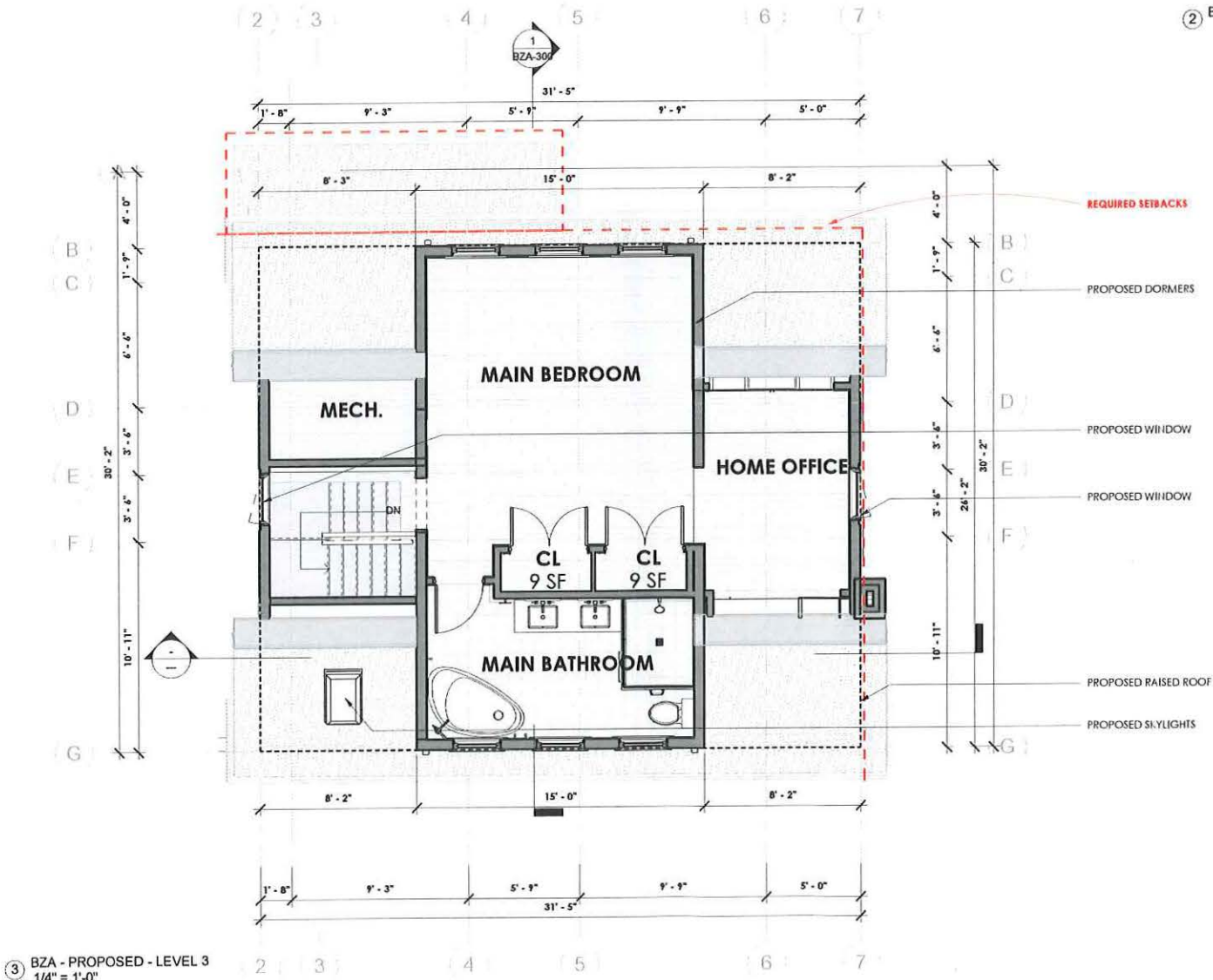
② BZA - PROPOSED - LEVEL 2
1/4" = 1'-0"



1 BZA - EXISTING - LEVEL 3
1/8" = 1'-0"



2 BZA - AXON - LEVEL 3



3 BZA - PROPOSED - LEVEL 3
1/4" = 1'-0"



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LEVEL 3 - PLAN

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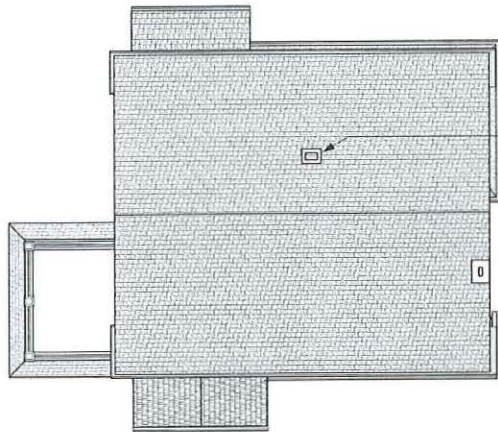
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| Project Status | BZA SET |
| Project number | 2205-0060 |
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BZA-103

Scale As indicated

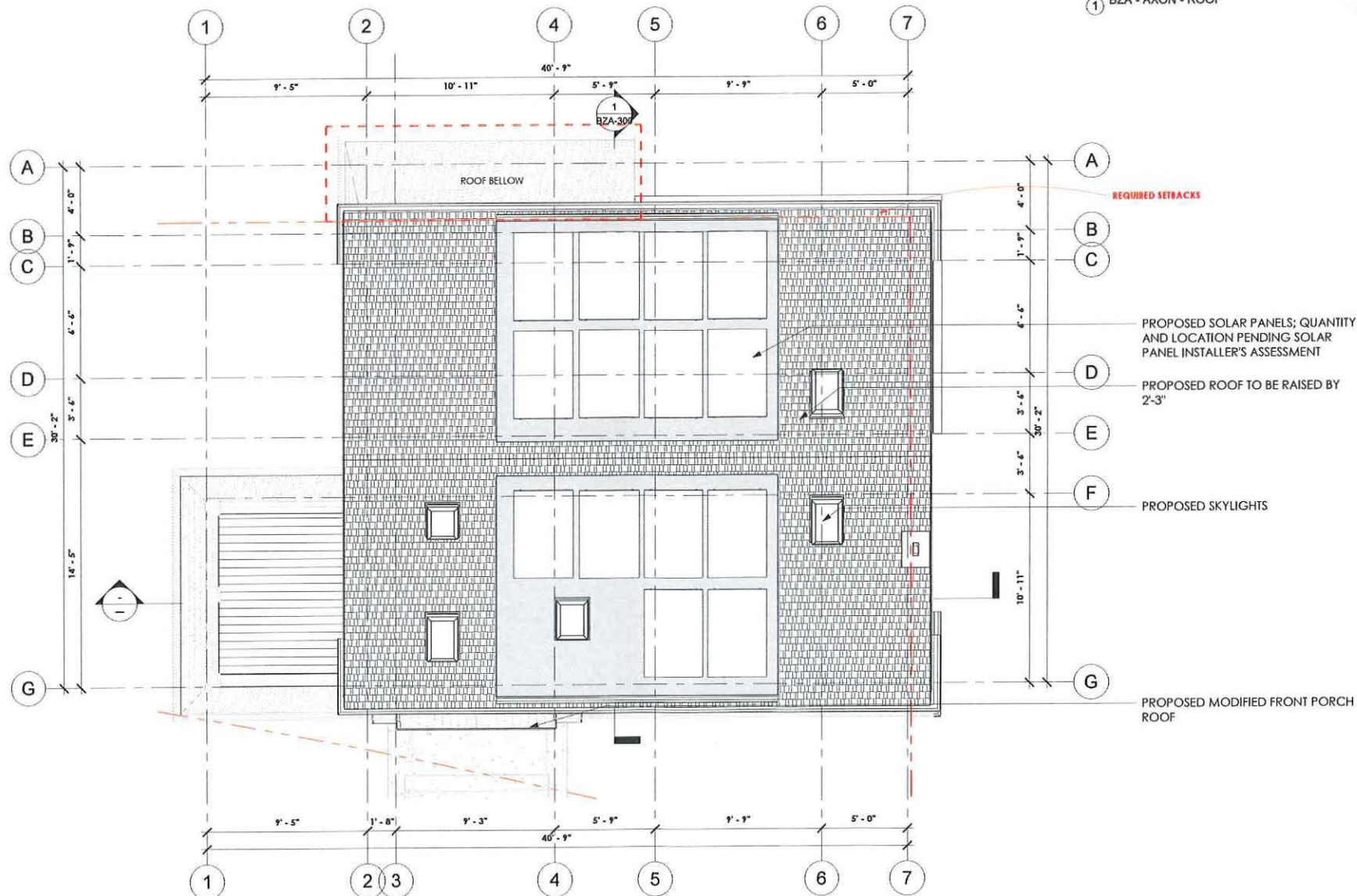
BZA-104PROPOSED ROOF PLAN



3 BZA - EXISTING - ROOF RIDGE
1/8" = 1'-0"



1 BZA - AXON - ROOF



2 BZA - PROPOSED - ROOF RIDGE
1/4" = 1'-0"



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PROPOSED ROOF PLAN

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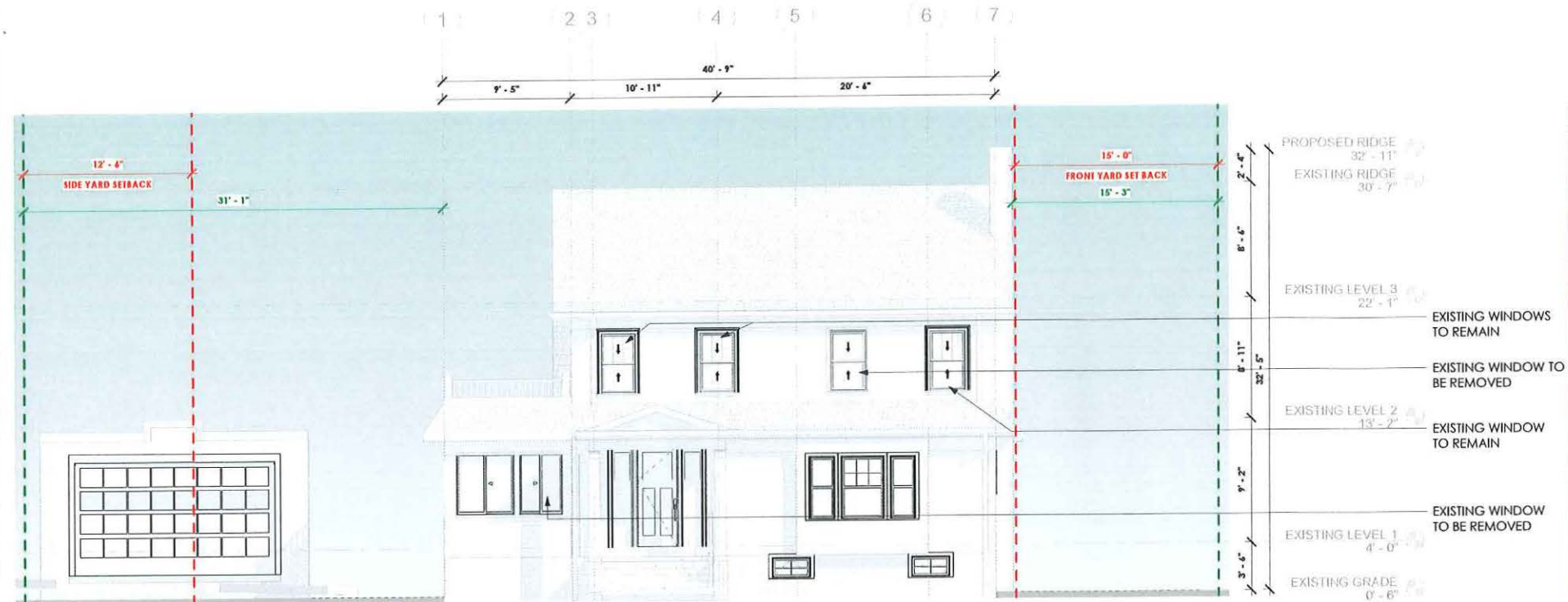
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Project number 2205-0060
Date 09/15/22
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Checked by Checker

BZA-104

Scale As indicated

BZA-200ELEVATION NORTH (FRONT)



EXISTING - NORTH ELEVATION
(FRONT)
3/16" = 1'-0"

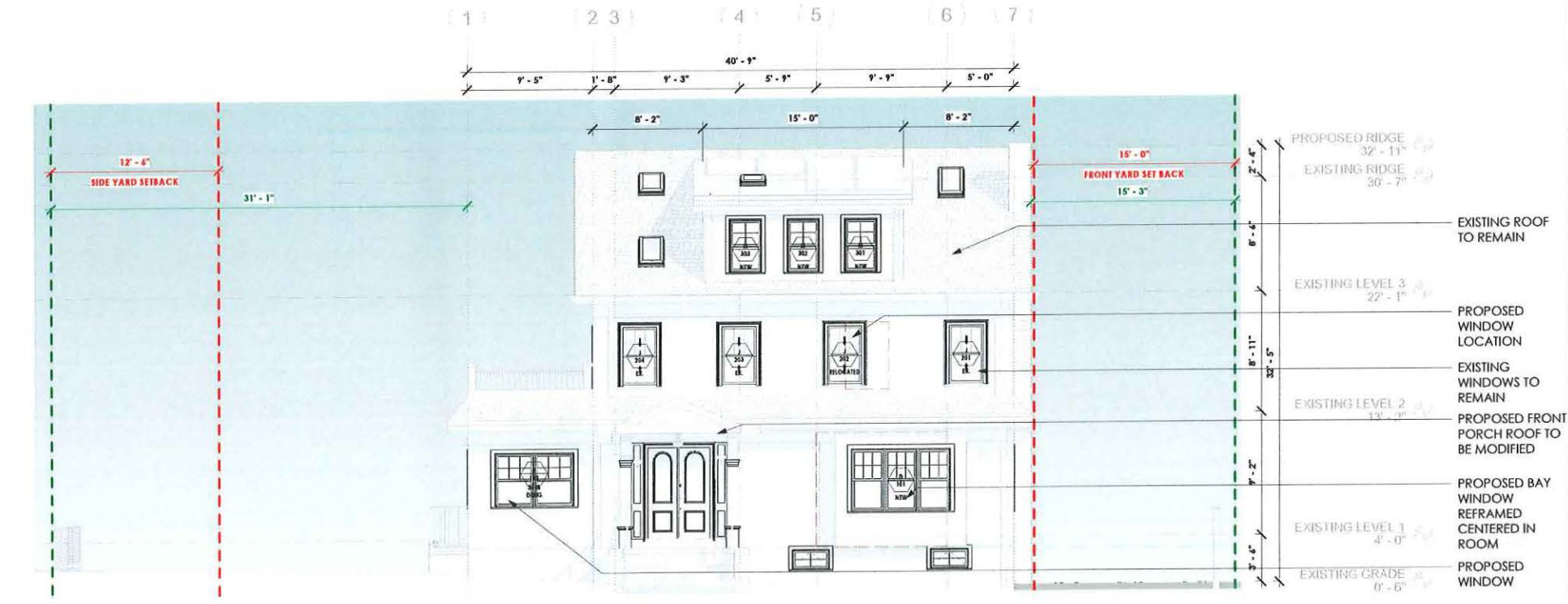


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REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

ELEVATION NORTH
(FRONT)



PROPOSED - NORTH ELEVATION
(FRONT)
3/16" = 1'-0"

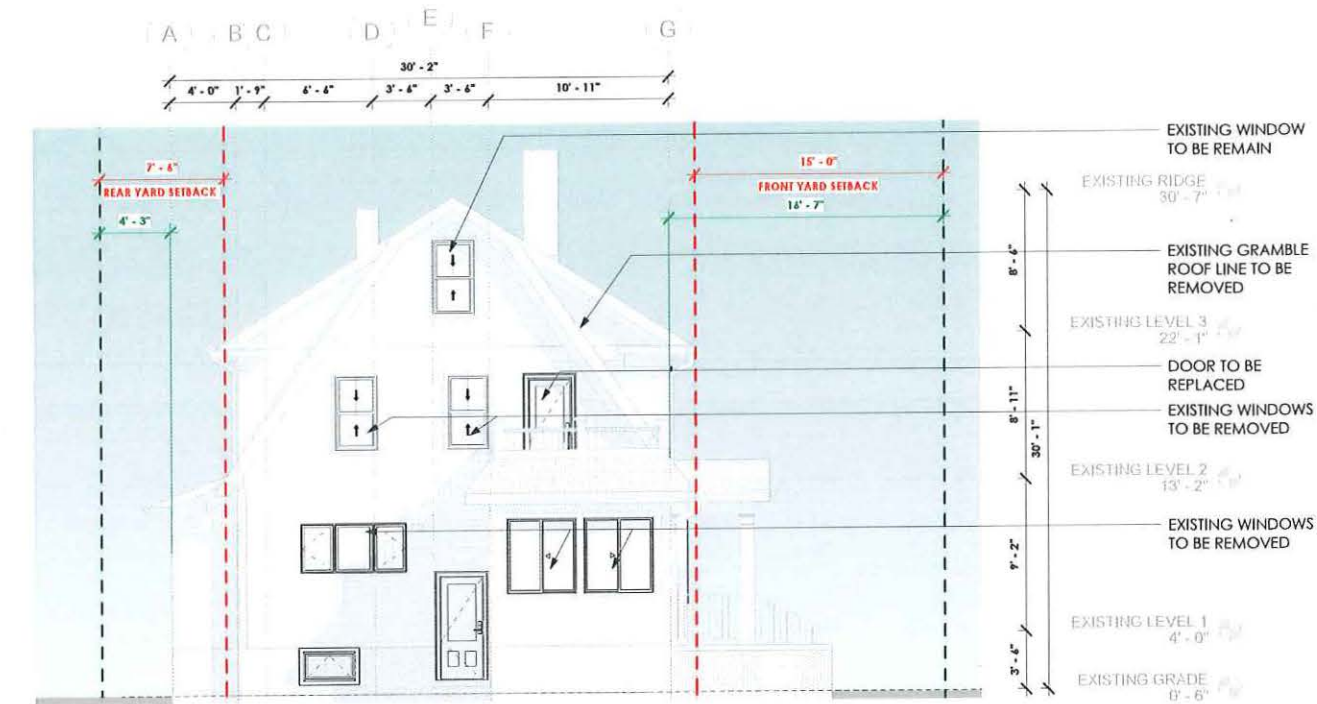
BRYCE CAREY & LEAH COHEN
CAREY COHEN RESIDENCE
60 Rindge Ave
Cambridge, MA 02138

Project Status: BZA SET
Project number: 2205-0060
Date: 09/15/22
Drawn by: SKA
Checked by: Checker

BZA-200

Scale: 3/16" = 1'-0"

BZA-201 ELEVATION EAST



① EXISTING - EAST ELEVATION
3/16" = 1'-0"



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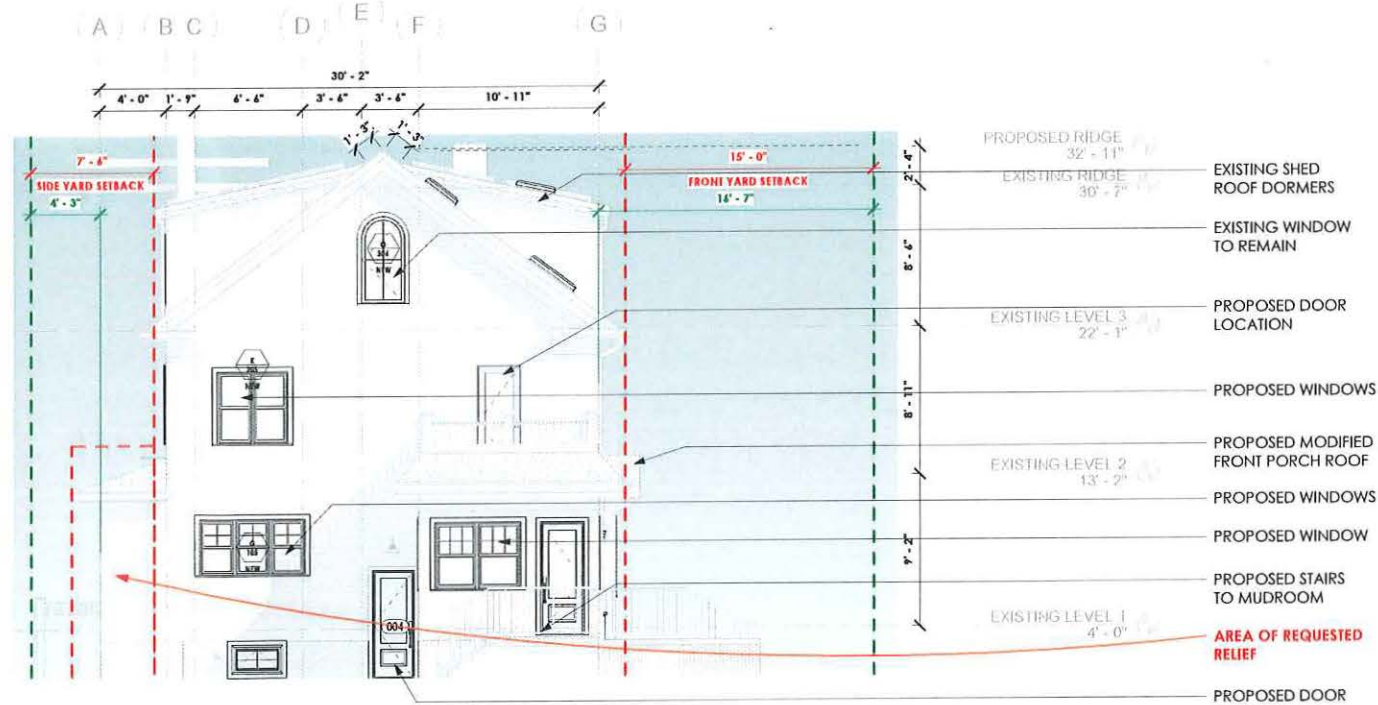
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REGISTRATIONS:

NOT FOR
CONSTRUCTION



② PROPOSED - EAST ELEVATION
3/16" = 1'-0"

ELEVATION EAST

BRYCE CAREY & LEAH COHEN

CAREY COHEN RESIDENCE

60 Rindge Ave
Cambridge, MA 02138

| | |
|----------------|-----------|
| Project Status | BZA SET |
| Project number | 2205-0060 |
| Date | 09/15/22 |
| Drawn by | SKA |
| Checked by | Checker |

BZA-201

Scale 3/16" = 1'-0"

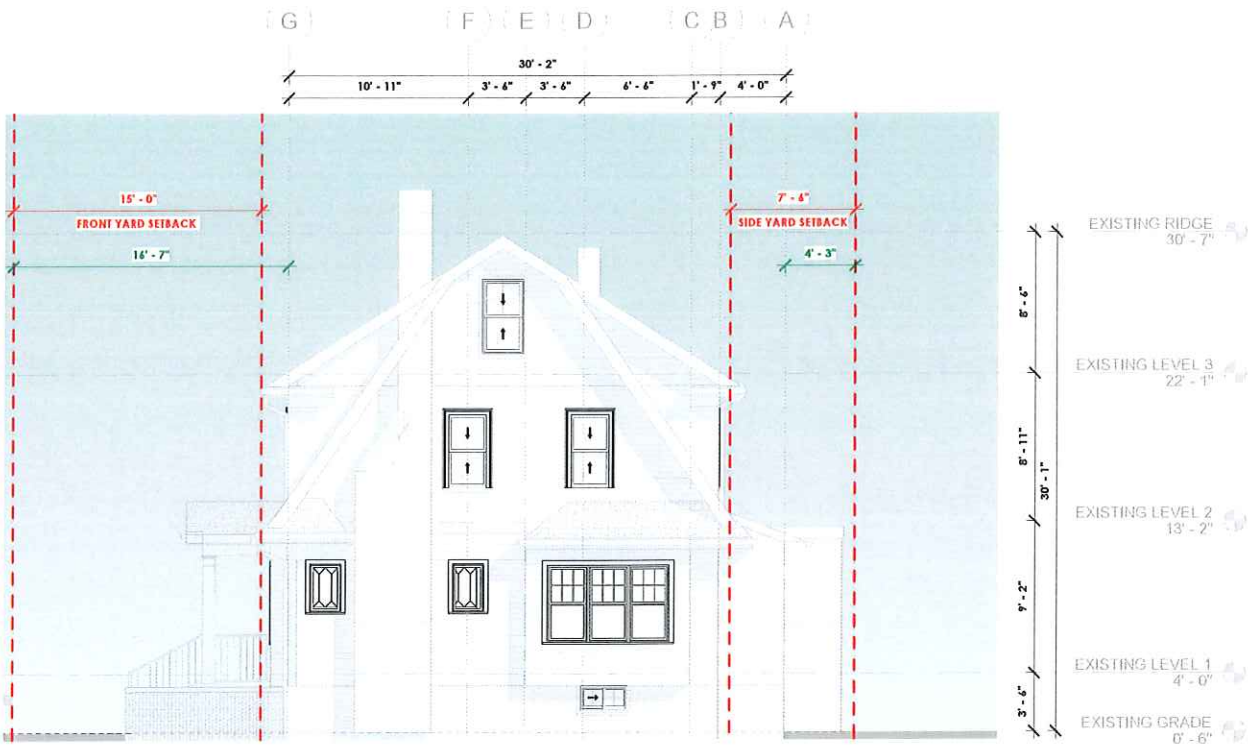
9/15/2022 11:11:06 AM



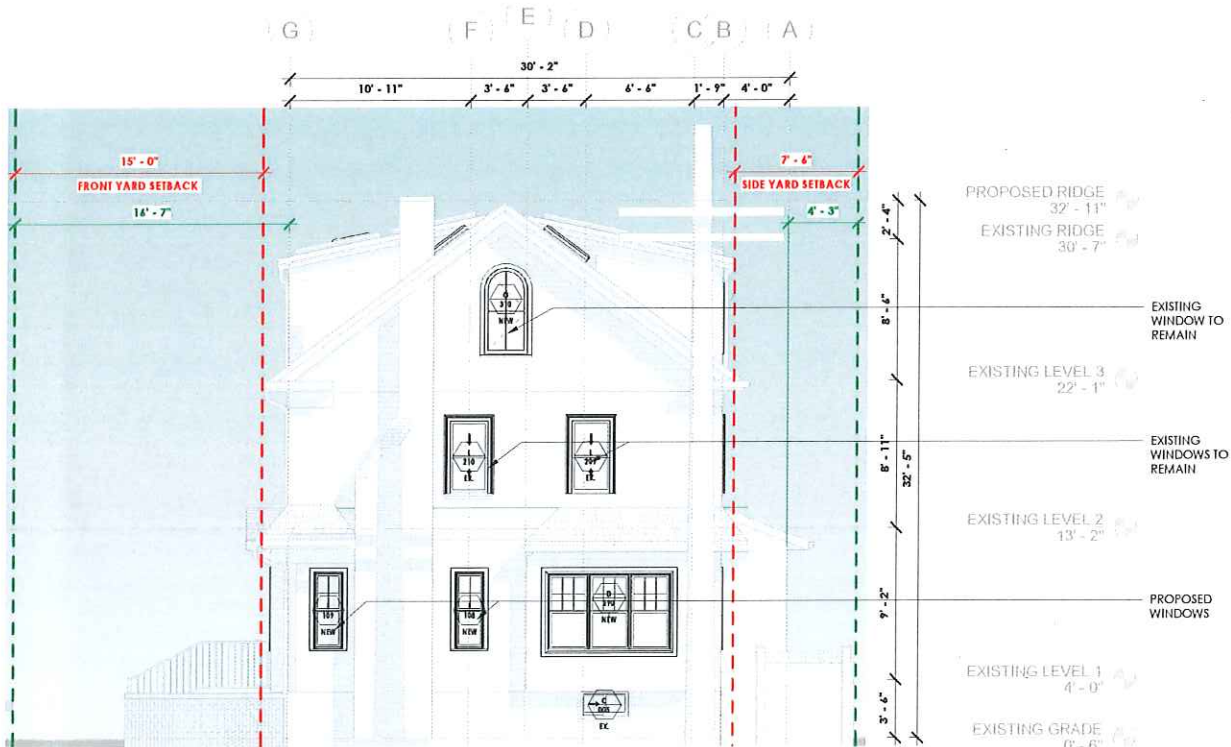
A photograph of a two-story blue house with a grey roof and a dormer, viewed from the street behind a fence. The house has white-trimmed windows and a small dormer with three windows. The sky is blue with white clouds. A grey fence is in the foreground.



Scale $3/16" = 1'-0"$



① EXISTING - WEST ELEVATION
3/16" = 1'-0"



② PROPOSED - WEST ELEVATION
3/16" = 1'-0"



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REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

ELEVATION WEST

BRYCE CAREY & LEAH COHEN
CAREY COHEN RESIDENCE
60 Rindge Ave
Cambridge, MA 02138

| | |
|----------------|-----------|
| Project Status | BZA SET |
| Project number | 2205-0060 |
| Date | 09/15/22 |
| Drawn by | SKA |
| Checked by | Checker |

BZA-203
Scale 3/16" = 1'-0"



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REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

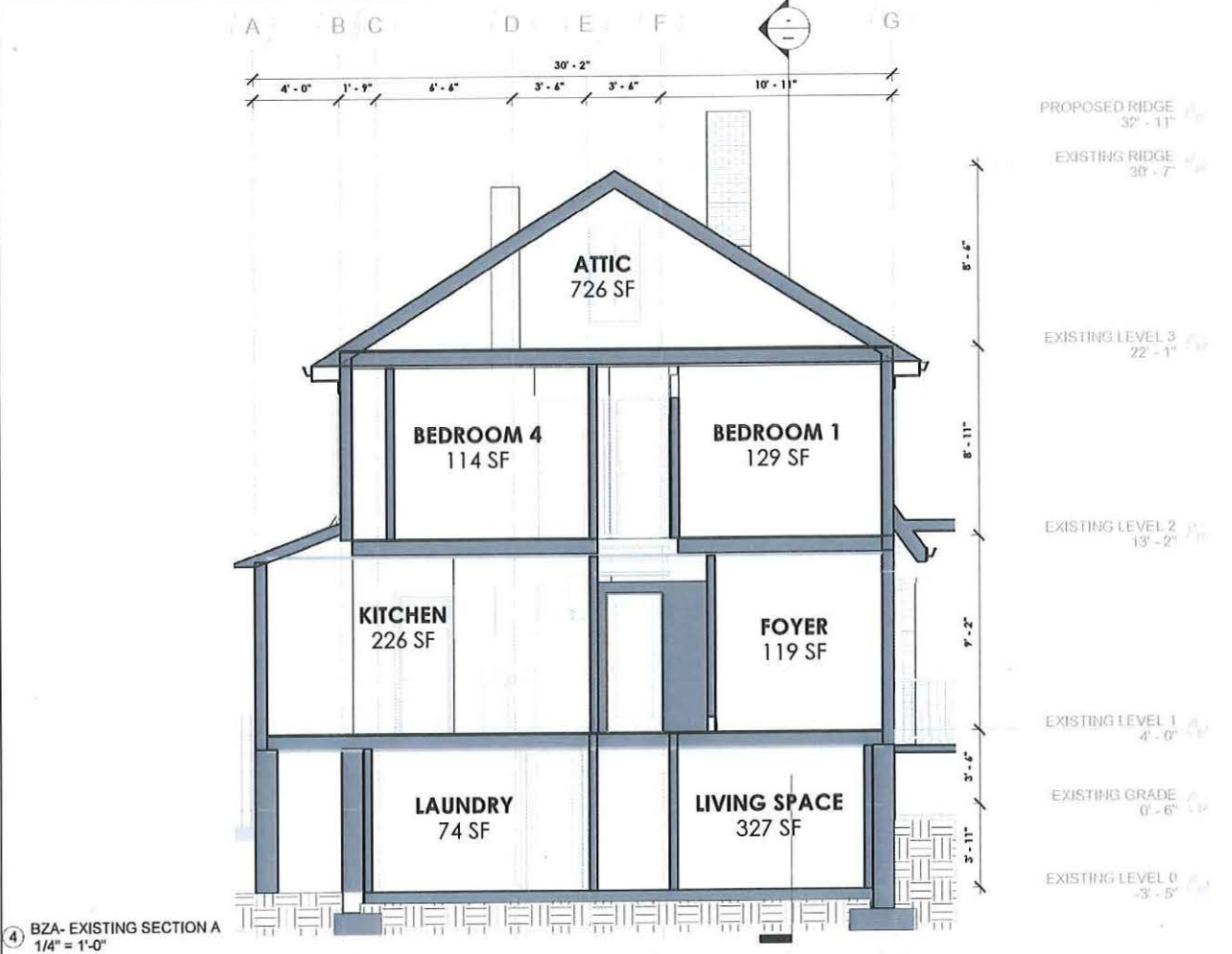
SECTIONS

BRYCE CAREY & LEAH COHEN
CAREY COHEN RESIDENCE
60 Rindge Ave
Cambridge, MA 02138

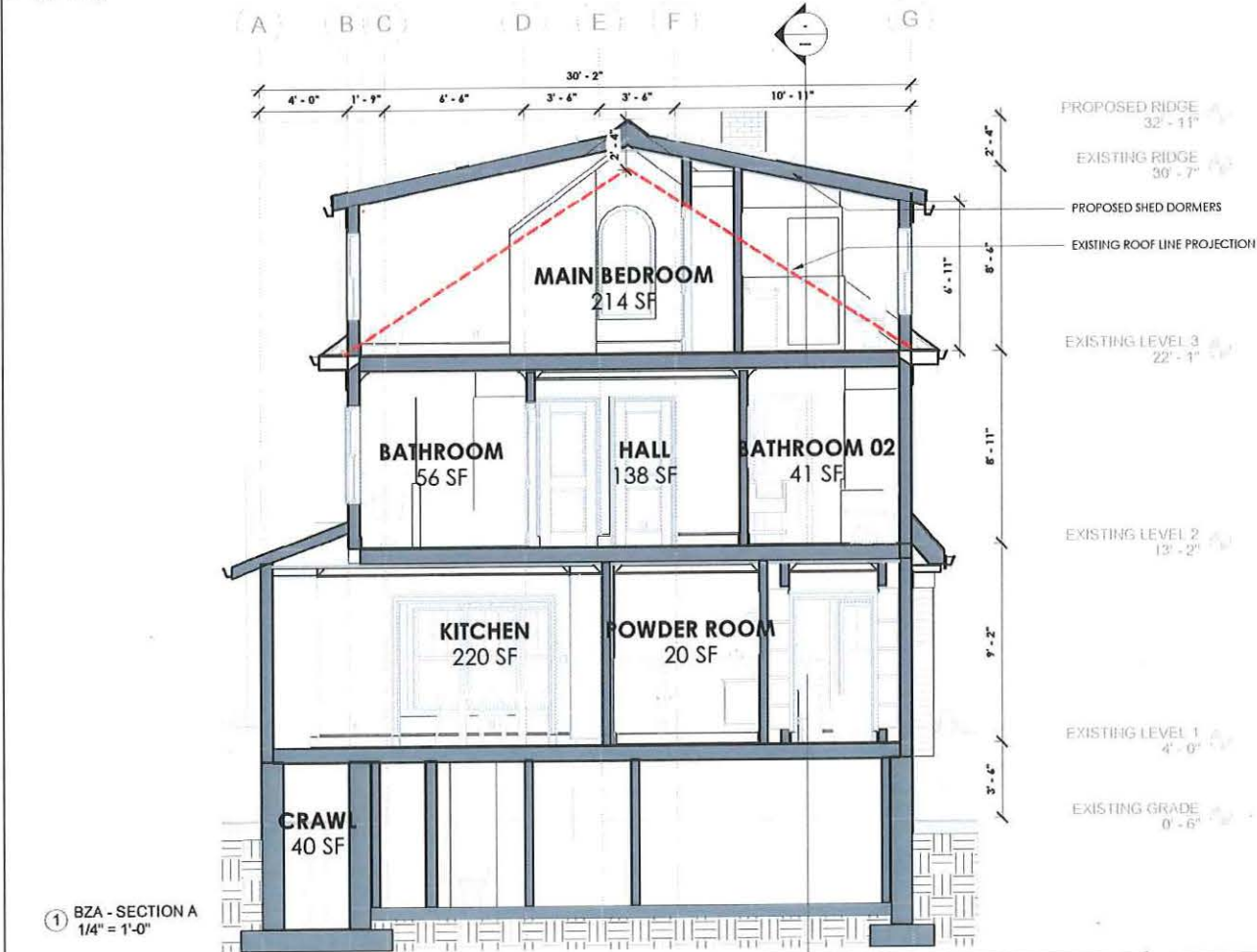
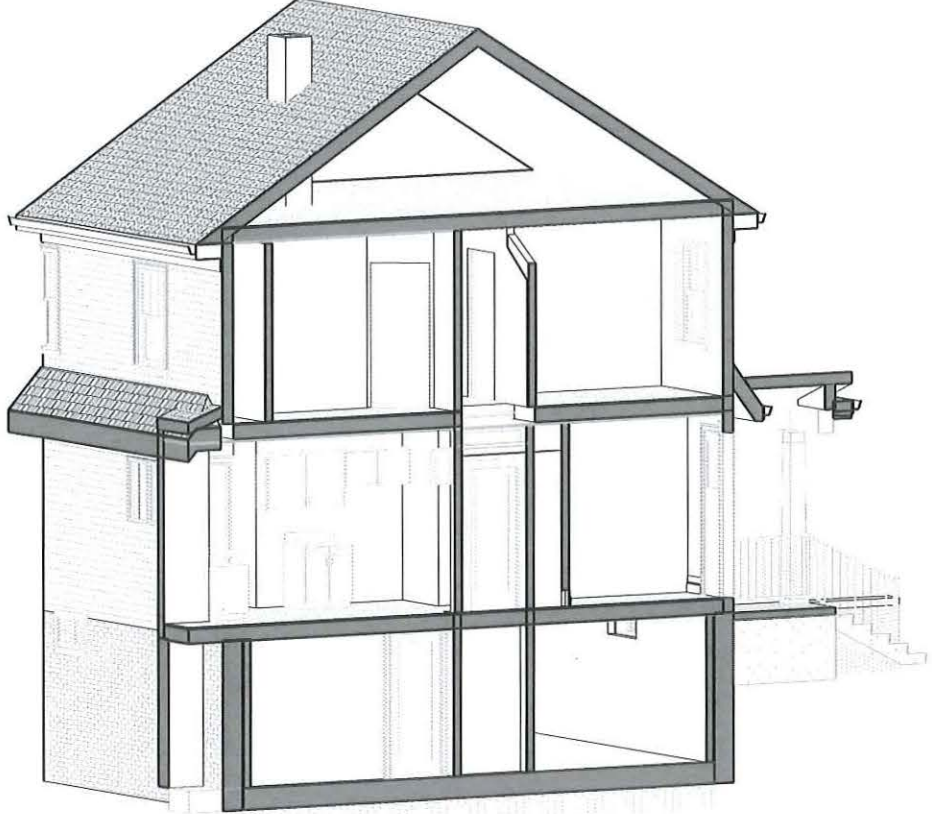
| | |
|----------------|-----------|
| Project Status | BZA SET |
| Project number | 2205-0060 |
| Date | 09/15/22 |
| Drawn by | Author |
| Checked by | Checker |

BZA-300

Scale 1/4" = 1'-0"



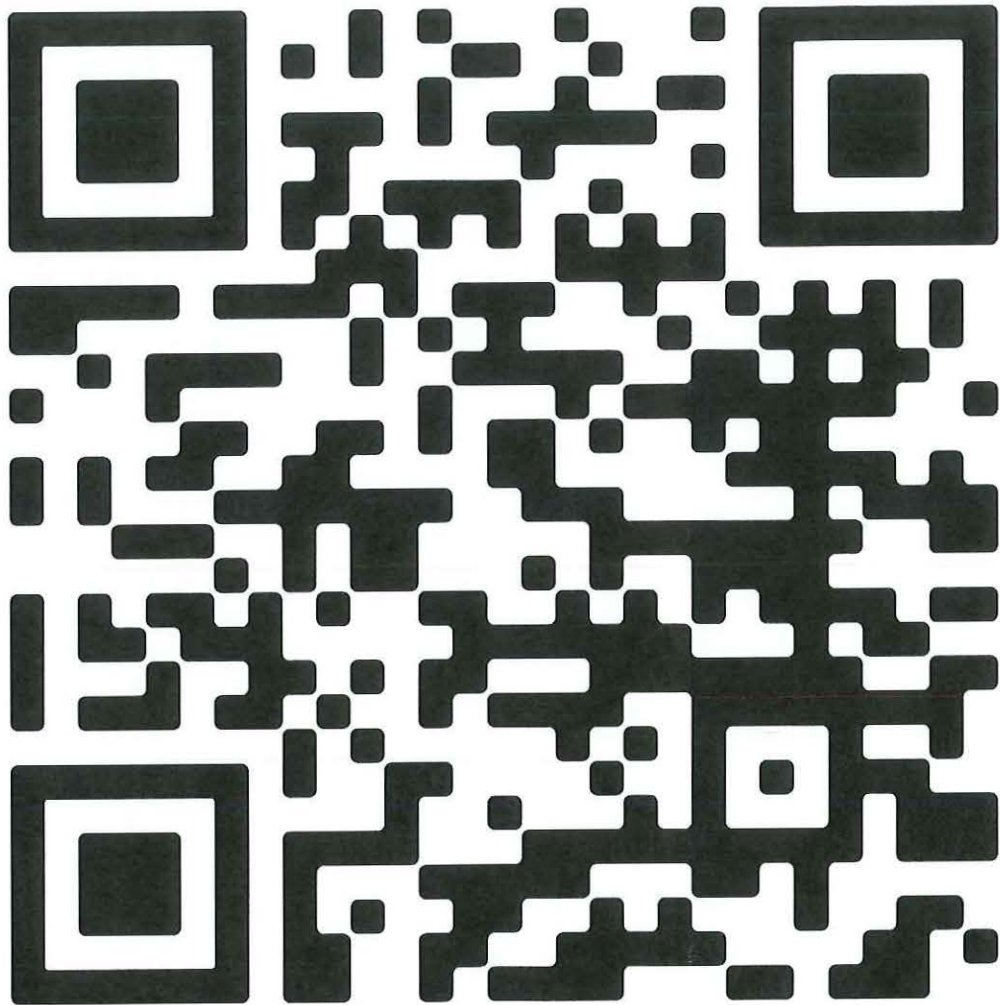
3 -EXISTING SECTION A - AXON



2 -SECTION A - AXON



END OF PRESENTATION



SCAN QR CODE FOR AN EXTERIOR VIDEO RENDER OF THE PROPOSED WORK

SUPPLEMENTARY SHEETS FOR REFERENCE BELOW



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ADDITIONAL

BRYCE CAREY & LEAH COHEN
CAREY COHEN RESIDENCE
60 Rindge Ave
Cambridge, MA 02138

| | |
|----------------|-----------|
| Project Status | BZA SET |
| Project number | 2205-0060 |
| Date | 09/15/22 |
| Drawn by | Author |
| Checked by | Checker |

BZA-400

Scale

NOTES: 1) ELEVATIONS SHOWN HEREON REFER TO CAMBRIDGE CITY BASE. PROJECT SOURCE BENCHMARK IS CITY BENCHMARK (B.M.#31); CHISELED SQUARE ON N.W. CORNER OF CATCHBASIN. TOP CURB ON EAST SIDE OF HASKELL STREET AT N.W. END OF PVT. GERARD F. BERGIN PLAYGROUND 9 FT. SOUTH OF POLE CEL/NTET #16; ELEVATION 31.34.
2) UTILITIES SHOWN HEREON ARE FROM SURFACE EVIDENCE ONLY. NO UNDERGROUND UTILITIES HAVE BEEN MAPPED AS PART OF THIS SURVEY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.

ASSESSORS: MAP 198, LOT 85
REFERENCES: L.C.Cert.#259205
LCC 9005 B
RECORD OWNER:
THE HAYES RINDGE AVE TRUST

60-62
RINDGE
AVENUE

Cambridge, Massachusetts

PREPARED FOR:

LEAH
COHEN

60 Rindge Avenue
Danvers, Massachusetts 02140

HANCOCK
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923
VOICE (978) 777-3050, FAX (978) 774-7816
WWW.HANCOCKASSOCIATES.COM

REGISTRATIONS:

NOT FOR
CONSTRUCTION

PLOT PLAN

BRYCE CAREY & LEAH COHEN

CAREY COHEN RESIDENCE

60 Rindge Ave
Cambridge, MA 02138

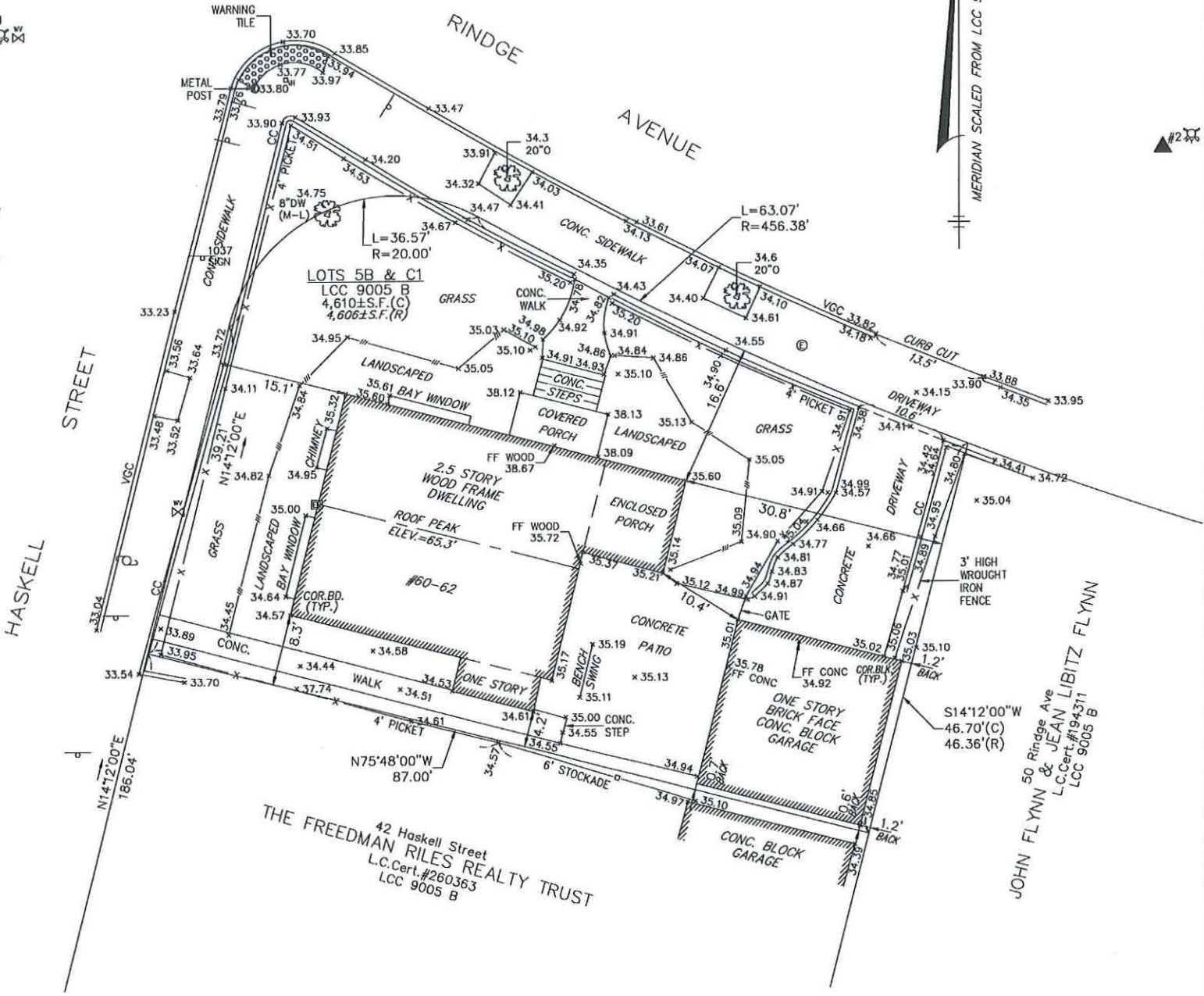
Project Status BZA SET
Project number 2205-0060
Date 09/15/22
Drawn by SKA
Checked by Checker

BZA-401

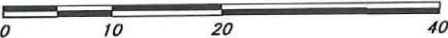
Scale

LEGEND

- WOOD PICKET FENCE
- WOOD STOCKADE FENCE
- WROUGHT IRON FENCE
- CURB WITH TOP AND BOTTOM CURB ELEVATION
- EDGE OF LAWN / LANDSCAPING
- WATER GATE & FIRE HYDRANT
- UTILITY POLE & OVERHEAD WIRES
- SPOT ELEVATION
- DECIDUOUS TREE WITH ELEVATION SIZE AND SPECIES
- OAK TREE
- DOGWOOD TREE
- MULTI-LIMB
- ELECTRIC MANHOLE
- SIGN
- RECORD
- CALCULATED
- CORNER BOARD
- CORNER BLOCK
- VERTICAL GRANITE CURB
- CONCRETE CURB
- UTILITY HANDHOLE
- ENTRY WOOD THRESHOLD ELEV.
- CONCRETE SLAB ELEVATION



SCALE: 1" = 10'



ELEVATION BENCH MARKS
DATUM: CAMBRIDGE CITY BASE

| NO. | DESCRIPTION | ELEV. |
|-----|---|-------|
| 1. | HYDRANT; X-CUT AT BOLT OVER MAIN OUTLET | 36.40 |
| 2. | HYDRANT; TOP SPINDLE (2.5' A.G.) | 37.69 |

TOPOGRAPHIC
PLOT PLAN
OF LAND IN
CAMBRIDGE, MA

PLOT DATE: Jul 05, 2022 3:02 pm
PATH: F:\CIVIL 3D Projects\26229 Cohen - Cambridge\Sur\DWG\

DWG: 26229SV.dwg

LAYOUT: EC

SHEET: 1 OF 1

PROJECT NO.: 26229

BZA APPLICATION FORM
DIMENSIONAL INFORMATION

APPLICANT: LEAH COHEN & BRYCE CAREY PRESENT USE/OCCUPANCY: Residential

LOCATION: 60 Rindge Ave. Cambridge, MA 02140 ZONE: District B

PHONE: REQUESTED USE/OCCUPANCY: Residential

| | EXISTING CONDITIONS | REQUESTED CONDITIONS | ORDINANCE REQUIREMENTS ¹ | |
|--|---|-------------------------|--|-----------------------|
| TOTAL GROSS FLOOR AREA: | 2,048 sf. | 2,285sf. | 2,305 sf. | (max.) |
| LOT AREA: | 4,610 sf. | | 5,000 | (min.) |
| RATIO OF GROSS FLOOR AREA TO LOT AREA: ² | 0.44 | 0.49 | 0.50 | (max.) |
| LOT AREA FOR EACH DWELLING UNIT: | 2,569 sf. | 2,325 sf. | 2,305 sf. | (min.) |
| SIZE OF LOT: | WIDTH | 87' - 0" | | (min.) |
| | DEPTH | 46' - 4" | | |
| Setbacks in Feet: Corner lot | FRONT | 16'-7" | 16'-7" | 15' - 0" (min.) |
| | REAR Side yard | 4' - 3" | 4' - 3 | 7' - 6"/SUM 20 (min.) |
| | LEFT SIDE Side yard | 31 - 1" | 31 - 1" | 12'- 6"/SUM 20 (min.) |
| | RIGHT SIDE Secondary front yard | 15' - 3" | 15' - 3" | 15'- 0" (min.) |
| SIZE OF BLDG.: | HEIGHT | 30' - 7 " | 32' - 11" | 35' - 0" (max.) |
| | LENGTH | 30'- 2 " | | |
| | WIDTH | 40'- 9 " | | |
| RATIO OF USABLE OPEN SPACE TO LOT AREA: ³⁾ | 60% | 67% | 40% | (min .) |
| NO. OF DWELLING UNITS: | 2 | 1 | 2 | (max.) |
| NO. OF PARKING SPACES: | 2 | 2 | 1 | (min. /max) |
| NO. OF LOADING AREAS: | N/A | N/A | N/A | (min.) |
| DISTANCE TO NEAREST BLDG. ON SAME LOT: | N/A | N/A | N/A | (min.) |

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

EXISTING INTERIOR WOOD FRAME TO BE RENOVATED. RENOVATION INCLUDES EXPANSION OF EXISTING BUMP OUT ON THE SOUTH ELEVATION, THE ADDITION OF 2 DORMERS AND RAISING THE ROOF TO 32'-11"

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS) .
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15' .



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REGISTRATIONS:

NOT FOR
CONSTRUCTION

DIMENSIONAL TABLE

BRYCE CAREY & LEAH COHEN
CAREY COHEN RESIDENCE
60 Rindge Ave
Cambridge, MA 02138

| | |
|----------------|-----------|
| Project Status | BZA SET |
| Project number | 2205-0060 |
| Date | 09/15/22 |
| Drawn by | Author |
| Checked by | Checker |

BZA-403

Scale

Pacheco, Maria

From: Jean and John <cat52j@aol.com>
Sent: Saturday, September 3, 2022 6:04 PM
To: Pacheco, Maria
Subject: Case no. BZA-187324 60 Rindge Ave
Attachments: IMG_0577.jpeg; IMG_0579.jpeg; IMG_0588.jpeg; IMG_0577.jpeg

Hi Maria,

Please let me start as I do not oppose what work is to be performed at 60 Rindge Ave., when I spoke with Brice the owner of 60 Rindge Ave., he told me he was not sure what work was going to be done. The demolish of the garage is listed in BZA-187324 so I wanted to send you my comments/concerns.

My comments/concerns are:

Before the demolish of the garage will the garage be tested for asbestos, on occasion the concrete and cinder block years ago had asbestos mixed in to prevent cracking and loosing.

I would like the contractor that is doing the demolish of the garage if possible to cover my windows (on the side were the garage would be demolished at 60 Rindge Ave.) at 50 - 52 Rindge Ave., with plastics to prevent concrete dust from getting in our home. Would like the contract to clear and clean my side yard of any concrete dust and debris on daily basis after working on the demolish of the garage, I do not want to contend with concrete debris or contaminated concrete dust. I do not want any damage done to my property, house, windows, fence, yard and my thirty year old dog wood tree.

I attached pictures of my side yard so you can understand my concerns and to show no damage is on our house, if any questions please do not hesitate to contact me by phone, text or email.

Thank you for your time.

Best regards

Jean Libitz-Flynn
50 - 52 Rindge Ave
617-491-0073

[Sent from the all new AOL app for iOS](#)







