



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2025 MAY 19 PM 2:25

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 1165560

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance: _____

Appeal: _____

PETITIONER: Wendy Stone

PETITIONER'S ADDRESS: 610 Green Street, Cambridge, MA 02139

LOCATION OF PROPERTY: 610 Green St, Cambridge, MA

TYPE OF OCCUPANCY: Two Family

ZONING DISTRICT: Residential C-1 Zone

REASON FOR PETITION:

DESCRIPTION OF PETITIONER'S PROPOSAL:

To build a code compliant front entry stair to replace an existing dangerous nonconforming entry stair.

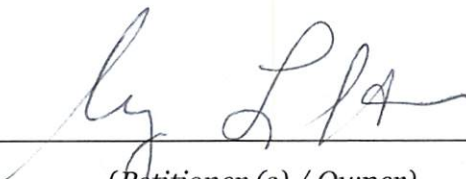
SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).

Article: 8.000 Section: 8.22.2d (Non-Conforming Structure).

Article: 10.000 Section: 10.40 (Special Permit)

Original
Signature(s):


(Petitioner (s) / Owner)

Wendy L. Stone
(Print Name)

Address:

610 Green St Cambridge 02139

Tel. No.

6173548313

E-Mail Address:

wstone11@gmail.com

Date: 5.16.25

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Wendy Stone (OWNER)

Address: 610 Green St Cambridge MA 02139


State that I/We own the property located at 608-610 Green St, which is the subject of this zoning application.

The record title of this property is in the name of (Wendy L. Stone)
Wendy Stone Living Trust

*Pursuant to a deed of duly recorded in the date 4/24/2018, Middlesex South County Registry of Deeds at Book 70923, Page 420; or

Middlesex Registry District of Land Court, Certificate No. _____

Book _____ Page _____


SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

***Written evidence of Agent's standing to represent petitioner may be requested.**

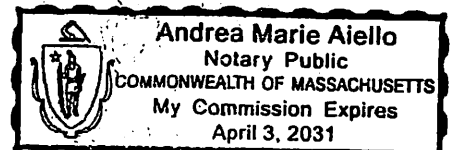
Commonwealth of Massachusetts, County of Middlesex

The above-name Wendy Stone personally appeared before me, this 16th of May, 2025, and made oath that the above statement is true.

Andrea Marie Aiello Notary

My commission expires 4/3/2031 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 610 Green St., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

This structure is existing non-conforming 2 Family, and the only condition of the ordinance that cannot be met is the front yard setback requirement. This proposal will create a code compliant front entry stair that will be safer for the all people.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

No increase in traffic generated.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

Continuing existing two family use.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No, it is going to increase the safety of the neighborhood because it will not egress straight on the sidewalk.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

Continuing your two family use and providing a code compliant safe stair. And it is in-line with the design of other homes throughout the neighborhood.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Wendy Stone
Location: 610 Green St., Cambridge, MA
Phone: 6173548313

Present Use/Occupancy: Two Family
Zone: Residential C-1 Zone
Requested Use/Occupancy: Two Family

		<u>Existing Conditions</u>		<u>Requested Conditions</u>		<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		5600		5600		-	(max.)
<u>LOT AREA:</u>		4500		4500		-	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		-		-		-	
<u>LOT AREA OF EACH DWELLING UNIT</u>		-		-		-	
<u>SIZE OF LOT:</u>	WIDTH	45		45		-	
	DEPTH	100		100		-	
<u>SETBACKS IN FEET:</u>	FRONT	0'		2'5"		10	
	REAR	-		-		-	
	LEFT SIDE	-		-		-	
	RIGHT SIDE	-		-		-	
<u>SIZE OF BUILDING:</u>	HEIGHT	-		-		-	
	WIDTH	-		-		-	
	LENGTH	-		-		-	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		45%		50%		30%	
<u>NO. OF DWELLING UNITS:</u>		2		2		-	
<u>NO. OF PARKING SPACES:</u>		1		1		-	
<u>NO. OF LOADING AREAS:</u>		-		-		-	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		-		-		-	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

Stone and brick foundation, and wood structure

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.




























Wendy Stone Residence

Entry Stairs Replacement

610 Green Street, MA 02139

Owner: Wendy Stone

Architect: Baron+Associates, Inc.

REFERENCE KEY	
 ROOM NUMBER NUMBER	 EXISTING TO REMAIN
 DRAWING DETAIL REFERENCE SHEET NUMBER	 EXISTING TO BE REMOVED
 LETTER BUILDING SECTIONS	 NEW WALL OR PARTITION
 DRAWING WALL SECTIONS SHEET NUMBER	 WALL SWITCH
 DRAWING INTERIOR ELEVATIONS SHEET NUMBER	 3-WAY WALL SWITCH
 DOOR NUMBER	 RHEOSTAT WALL SWITCH (DIMMER)
 WINDOW TYPE	 DUPLEX RECEPTACLE
 FLOOR ELEVATIONS ON SECTIONS AND DETAILS	 QUADRUPLEX RECEPTACLE
 REVISION NUMBER	 GROUND FAULT RECEPTACLE
 DIMENSION LINES	 WATERPROOF RECEPTACLE
 GLASS TYPE	 TELEPHONE JACK
	 COAXIAL CABLE RECEPTACLE
	 SMOKE DETECTOR, HARD WIRED
	 THERMOSTAT
	 LIGHT FIXTURE JUNCTION BOX
	 FAN/LIGHT CEILING FIXTURE

DRAWING LIST	
Cover Sheet	
A-0	General Notes and Specifications
A-1	Existing, Demo. & New Stair Plans
A-2	Elevations, Sections and Details
A-3	Miscellaneous Details

WENDY STONE RESIDENCE GENERAL NOTES AND SPECIFICATIONS
610 GREEN STREET, CAMBRIDGE, MA

Additional notes and specifications are provided on the Drawings, therefore, the following list should NOT be considered all-inclusive.

Division 1: General Conditions

A. The Contractor shall supervise and direct the execution of the work and have control over construction means and methods. Unless otherwise noted, the Contractor shall pay for all labor, materials, equipment and tools for the proper execution and completion of the work.

B. The Contract for Construction shall be the AIA Document A-101, Agreement Between the Owner and Contractor, Stipulated Sum, current Edition and The AIA General Conditions, A-201, current Edition or equivalent approved by the Architect.

C. All communications with the Owners shall be through the Architect unless of an emergency nature.

D. All work to be performed in accordance with all applicable building codes and laws governing each and all trades. All work shall be performed in a professional, workmanlike manner.

E. The Contractor shall secure and pay for all permits required by the City of Cambridge and all government agencies with authority over the construction of the project.

F. The Contractor shall verify all dimensions in the field and inform the Architect of any significant discrepancy before proceeding with the work. No additional compensation will be allowed because of differences between actual dimensions and measurements indicated on the Drawings.

G. All dimensions shown are finished dimensions unless otherwise noted. If the Contract Documents indicate discrepancies, the Contractor shall advise the Architect in writing prior to the execution of the Contract for Construction. The Architect's interpretation of the Documents shall otherwise be final, and no additional compensation shall be paid owing to such discrepancies.

H. All work and materials shall be as shown on the Contract Documents. Any substitutions shall be permitted after prior written approval of the Architect and the Owner, whose decisions shall be final.

I. The Owner will be occupying the house during construction. All debris may be temporarily stored in a dumpster prior to removal from the property by the Contractor and disposed of in a licensed landfill. Temporary access to the work shall be through the rear door of the house.

J. The Contractor shall attend weekly meetings at the site with the Architect and other participants the Architect may wish to have present. Any decisions that require the Owners' input shall allow no less than 48 hours for response from the Architect.

K. It is the intent of these Documents that all required components and materials whether or not indicated or specified, shall be provided in such a manner as to make the entire project (including HVAC, Plumbing and Electrical systems) complete and operational in all respects.

L. The Contractor shall store materials under cover in a dry and well-ventilated location secure from damage or theft. The Contractor shall protect the premises at all times including protecting the Owners' property during construction.

M. The Contractor shall be enforcing a no-smoking policy for all workers on site and in the building during construction.

N. The Owner shall be responsible for providing water and electricity during construction. The Contractor shall provide sanitary facilities, temporary enclosures, lighting, staging, scaffolding, storage facilities, dust and noise controls and fire protection.

O. The Contractor shall provide all necessary blocking, fasteners, and miscellaneous framing required for a complete project, as shown on drawings and as required by the field conditions.

P. The Contractor shall provide a one-year written guarantee of the general construction at the time of substantial completion and will provide to the Owners all guarantees and warranties of prefabricated components at the time of substantial completion.

Division Two: Demolition and Site Work

1. Demolish and remove materials from the project as shown on the Drawings. All demolition materials shall be disposed of in a licensed landfill as required by the City of Cambridge and Massachusetts regulations.

Division 3: Concrete

Provide 3000 psi concrete, with re-bar at entry porch foundation as shown on the Drawings.

Division 4: Masonry & Division 5: Metals

Not applicable

Division 6: Wood and Plastics

Provide pressure treated 4x4 post, 2x8 framing and 2" x 12" pressure treated stringers and additional framing as shown on the Drawings.

Exterior trim and shall be 5/4 white by Azek in the dimensions shown on the Drawings. Azek decking and stair treads shall be 1 x 5 1/2", color to be selected by the Owner.

Railing system and post wraps shall be Azek railing system with classic caps and 1-1/4" balusters spaced equally at approximately 5" on center.

Existing deck boards to remain if possible. Contractor to assess the potential to reuse the existing treads at the new stairs.

Handrail shall be mahogany in profile as shown on the Drawings, painted. Provide trim at skylights as shown on the Drawings.

Division 7: Thermal & Moisture

Not applicable.

Division 8: Doors and Windows

Not applicable.

Division 9: Finishes

Prime wood with latex primer. Provide two finish coats of semi-gloss exterior latex paint by Benjamin Moore.

Division 10: Specialties, Division 11: Equipment, Division 12: Furnishings, Division 13: Special Construction and Division 14: Conveying Systems

Not applicable.

Division 15: Mechanical

Plumbing. Not applicable.

Heating and Air Conditioning

Redirect boiler exhausts under porch to exterior. Contractor shall review the routing with the Architect before the start of construction.

Division 16: Electrical

Furnish and install motion activated exterior light fixtures as shown on the drawings. Provide \$800 allowance.

All mechanical and electrical work shall be provided by the Contractor on a design/build basis.

BARON+ASSOCIATES, INC.

174 Garden Street
Cambridge, MA 02138

TITLE: GENERAL NOTES & SPECIFICATIONS

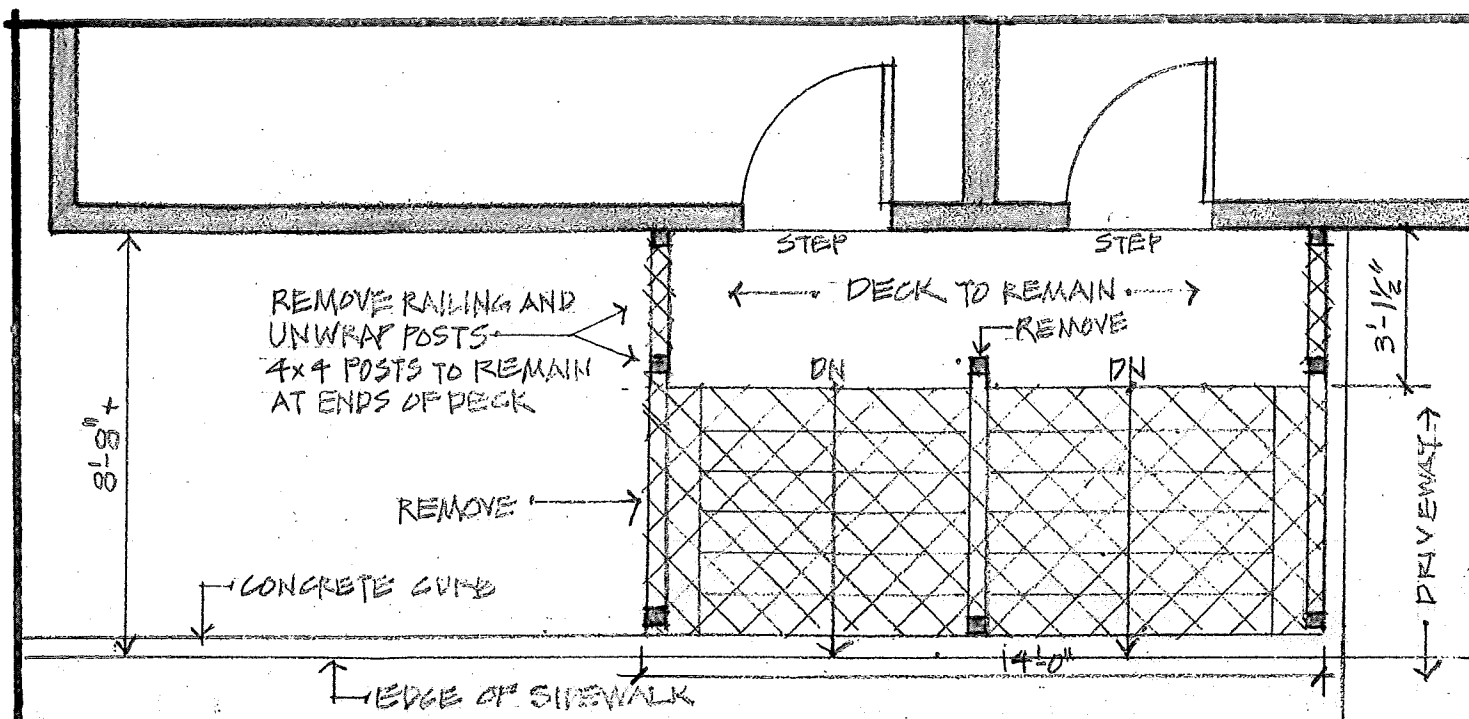
DATE: February 28, 2025

SCALE: None

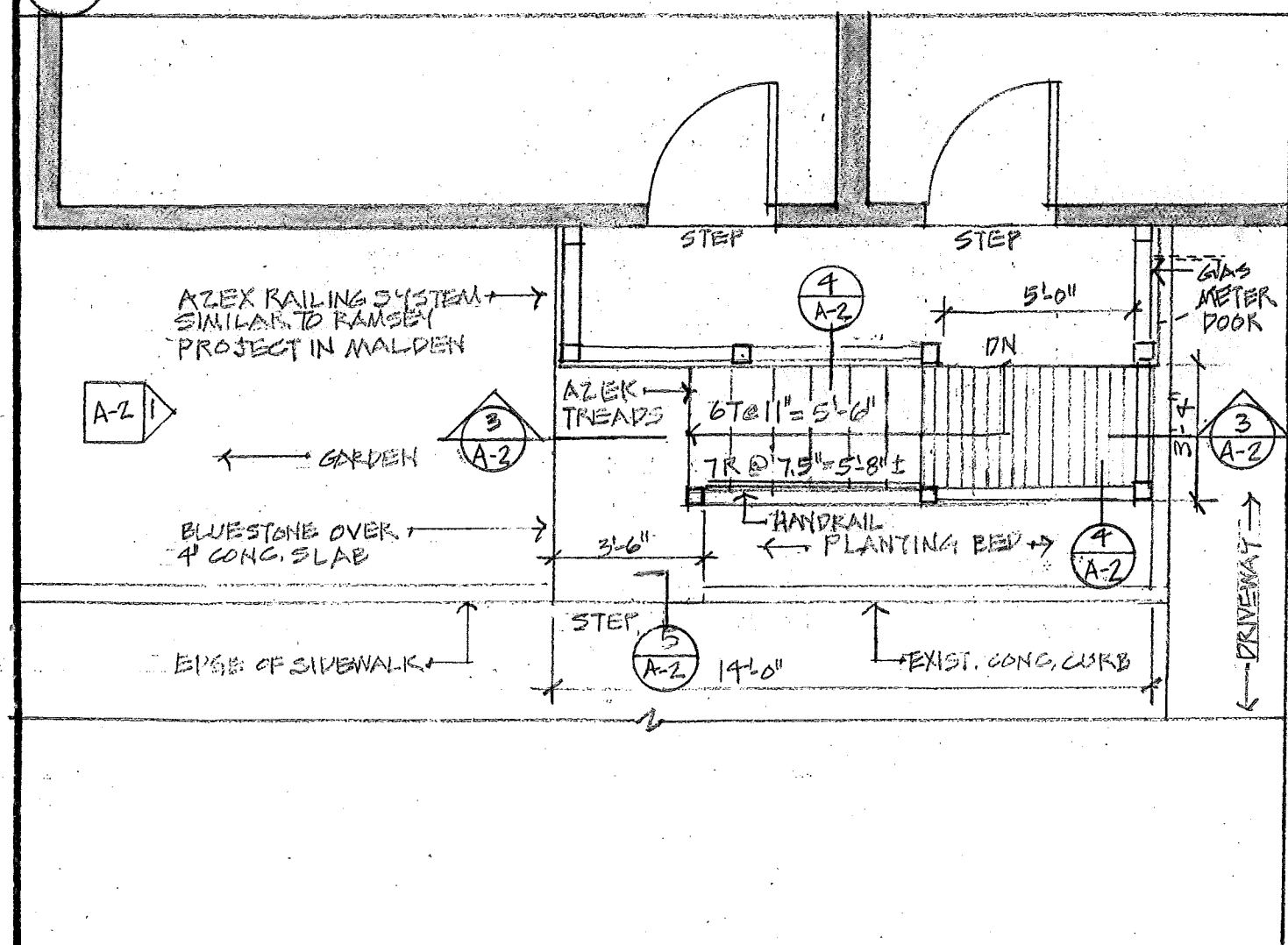
STONE RESIDENCE

610 GREEN STREET
CAMBRIDGE, MA 02139

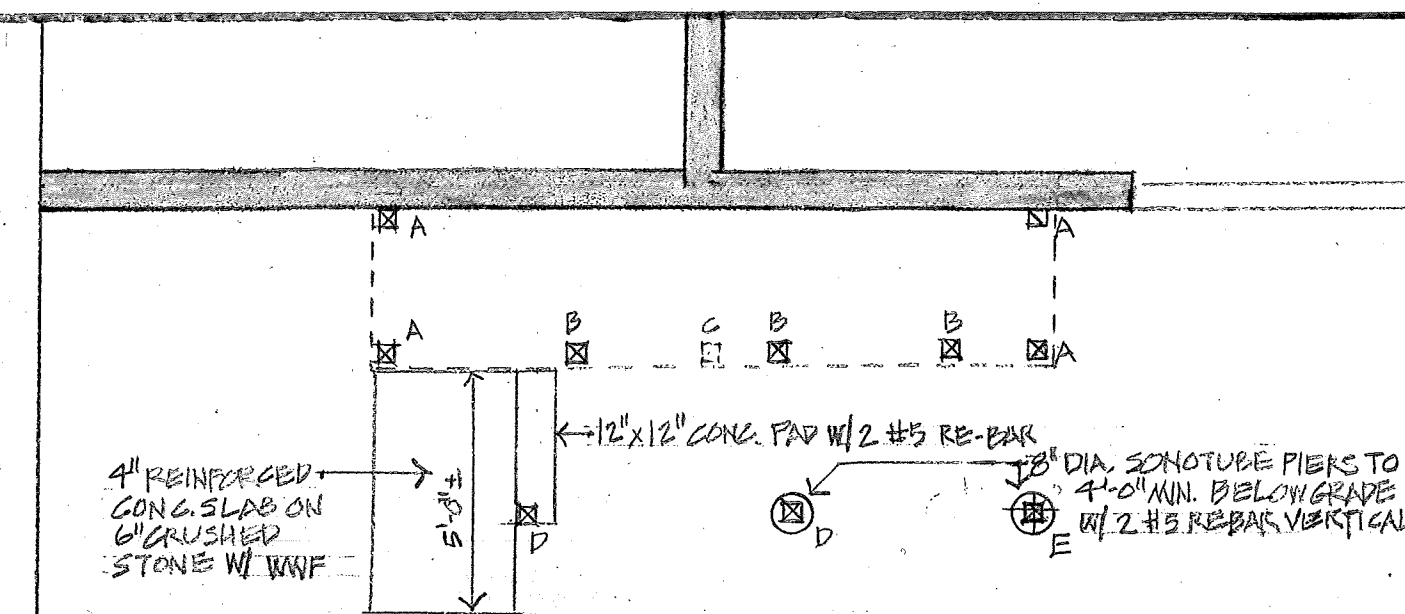
A-0



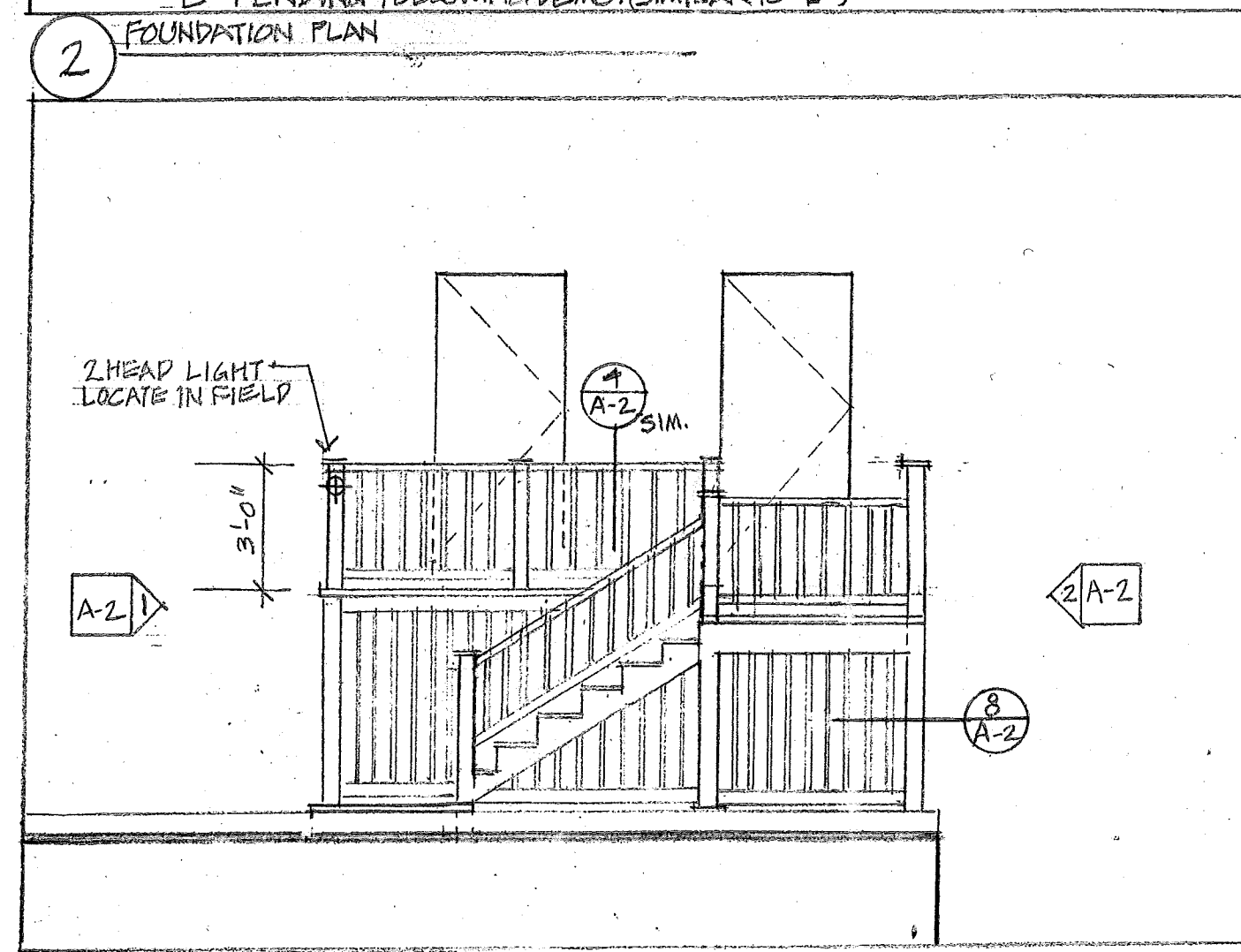
1 EXISTING AND DEMOLITION PLAN



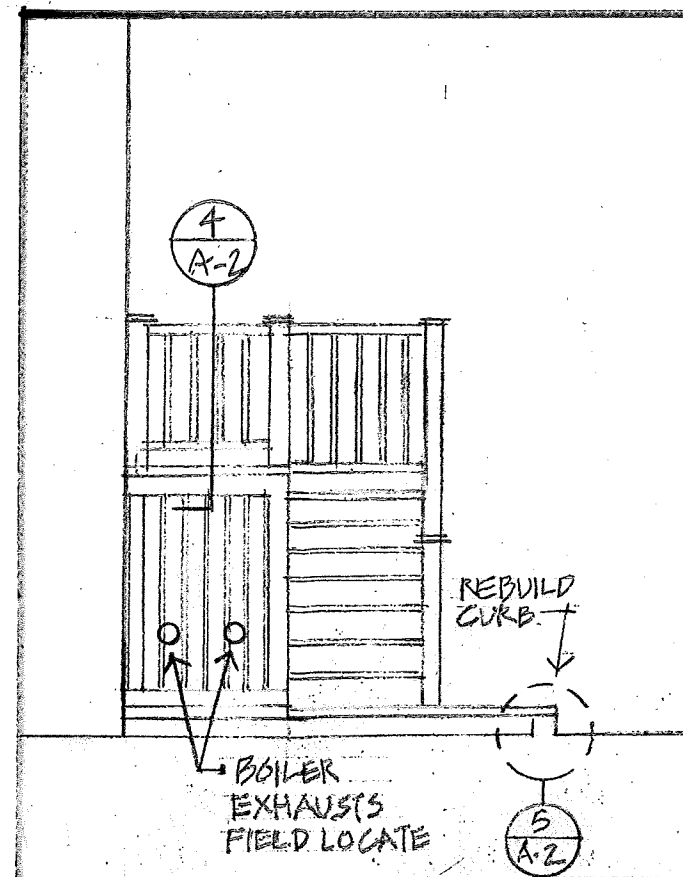
3 PROPOSED PLAN



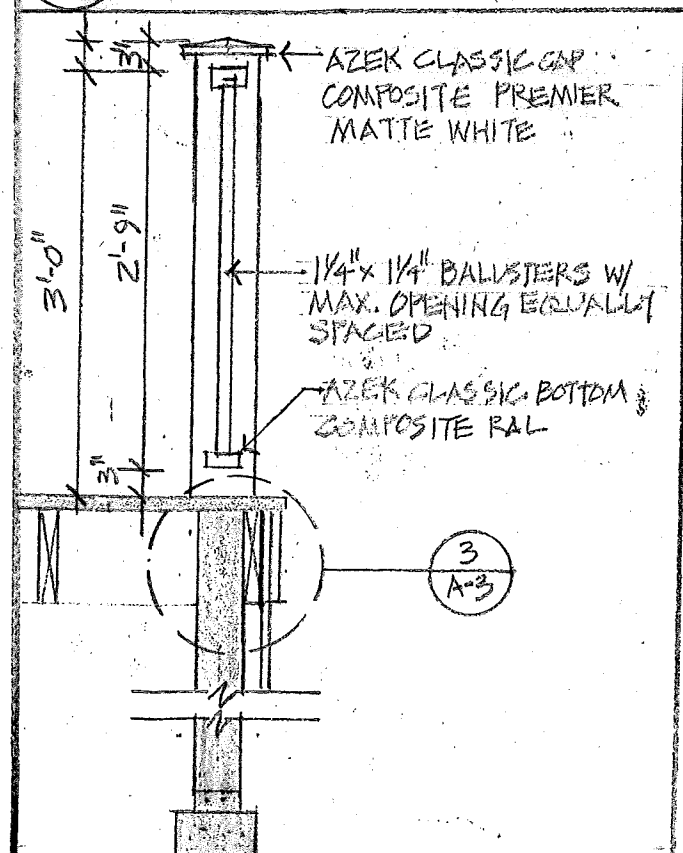
2 FOUNDATION PLAN



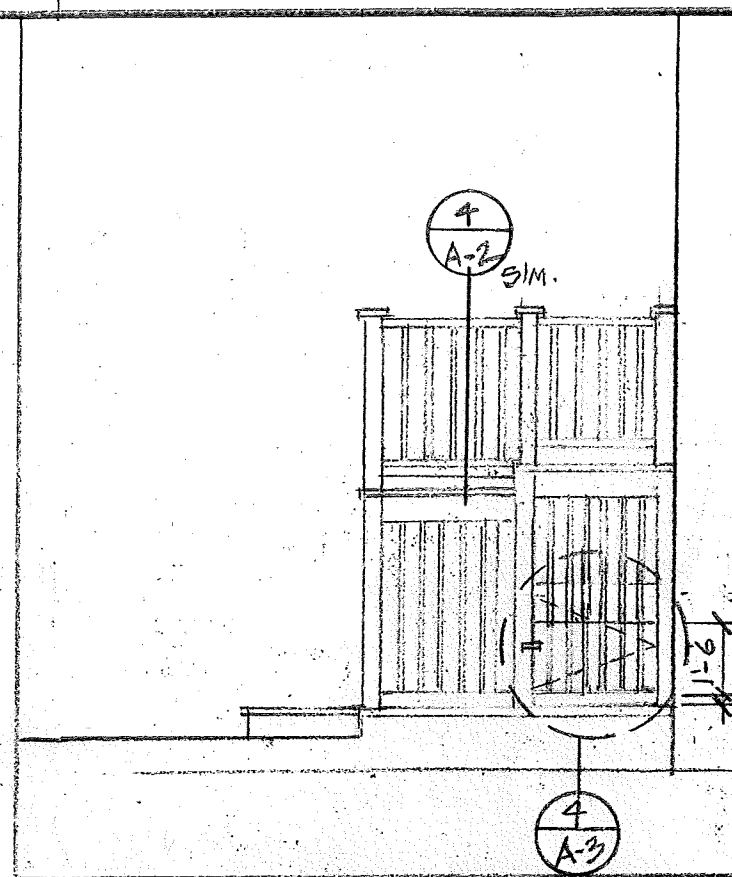
4 FRONT ELEVATION



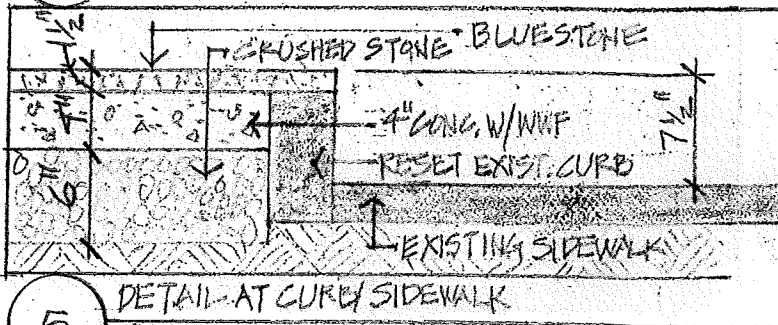
1 GARDEN SIDE ELEVATION
1/4" = 1'-0"



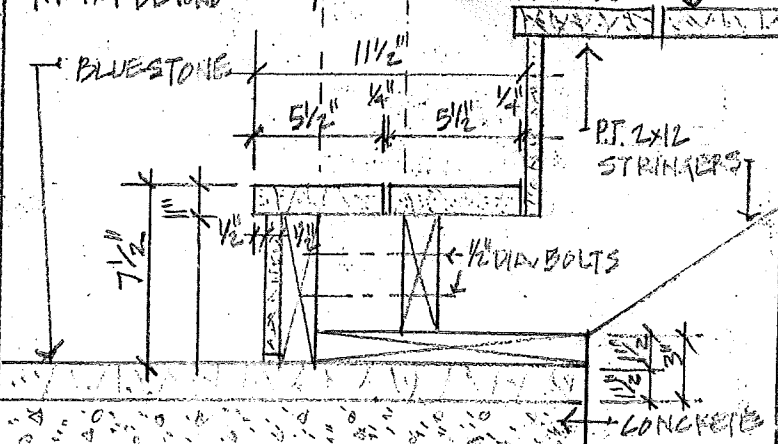
4 RAILING AND DECK EDGE DETAIL
3/4" = 1'-0"



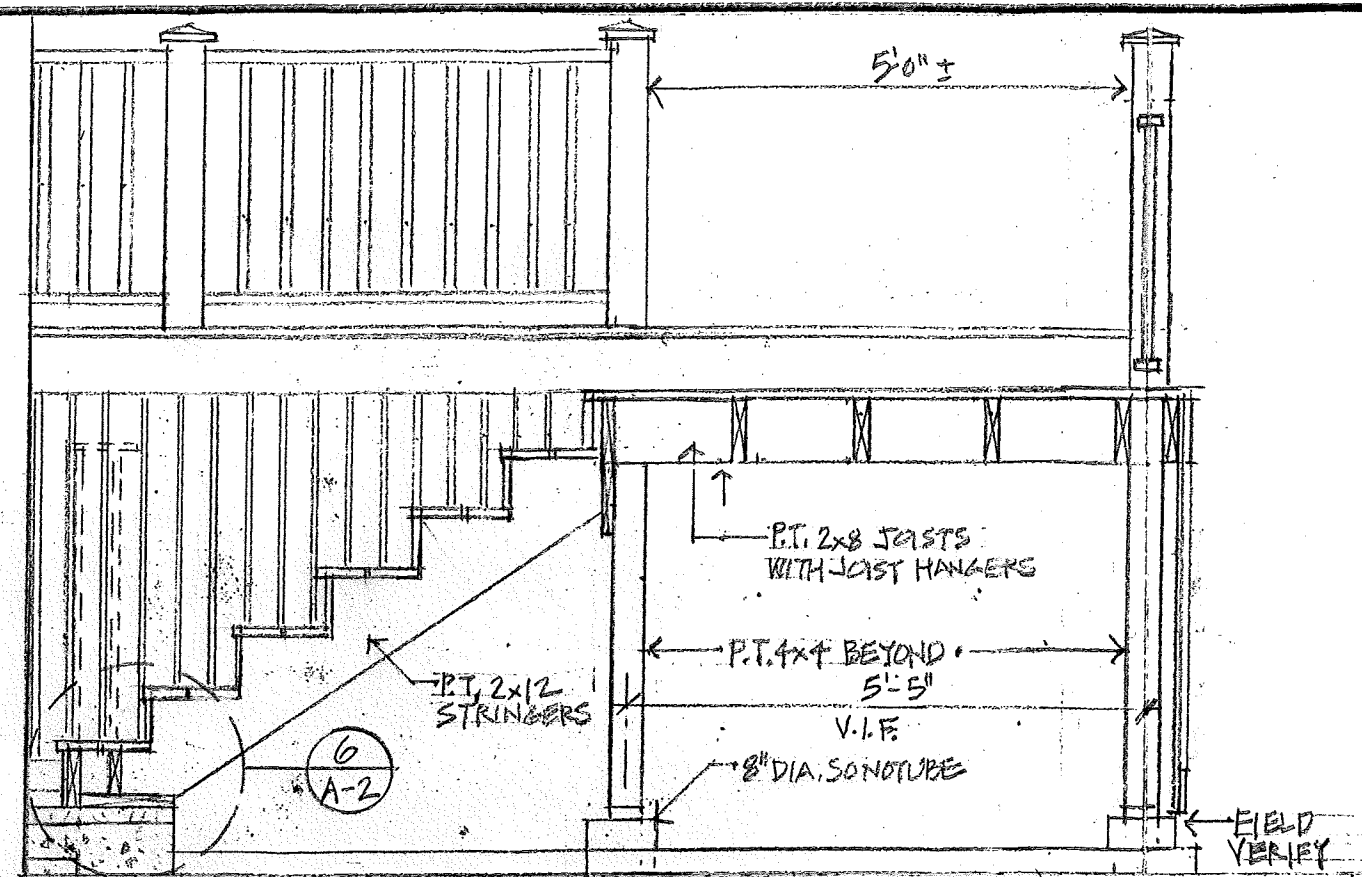
2 DRIVEWAY SIDE ELEVATION
1/4" = 1'-0"



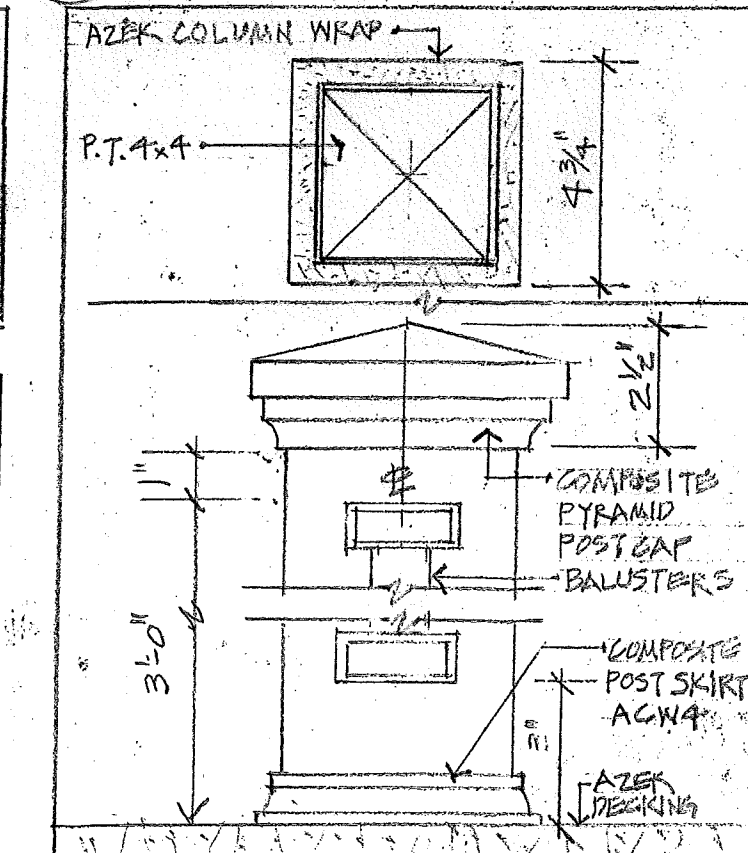
5 DETAIL AT CURB SIDEWALK
1" = 1'-0"



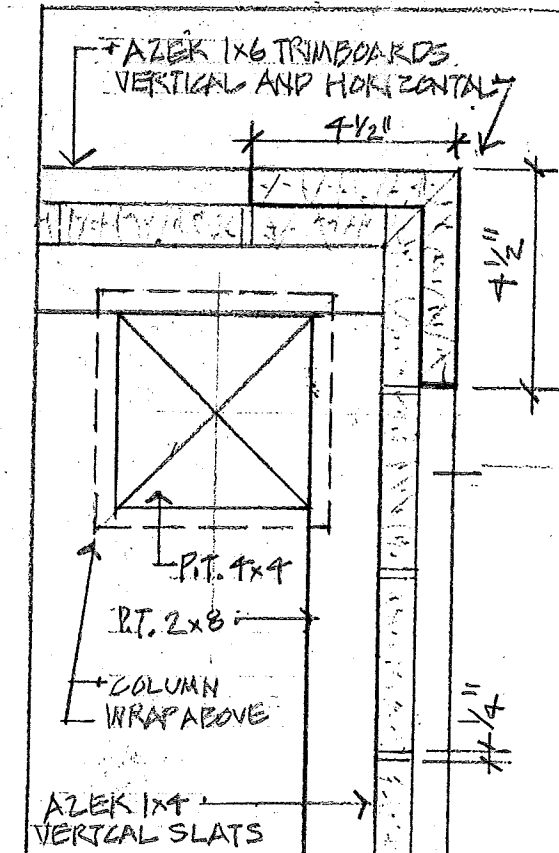
6 STAIR DETAIL AT LOWER LANDING
1 1/2" = 1'-0"



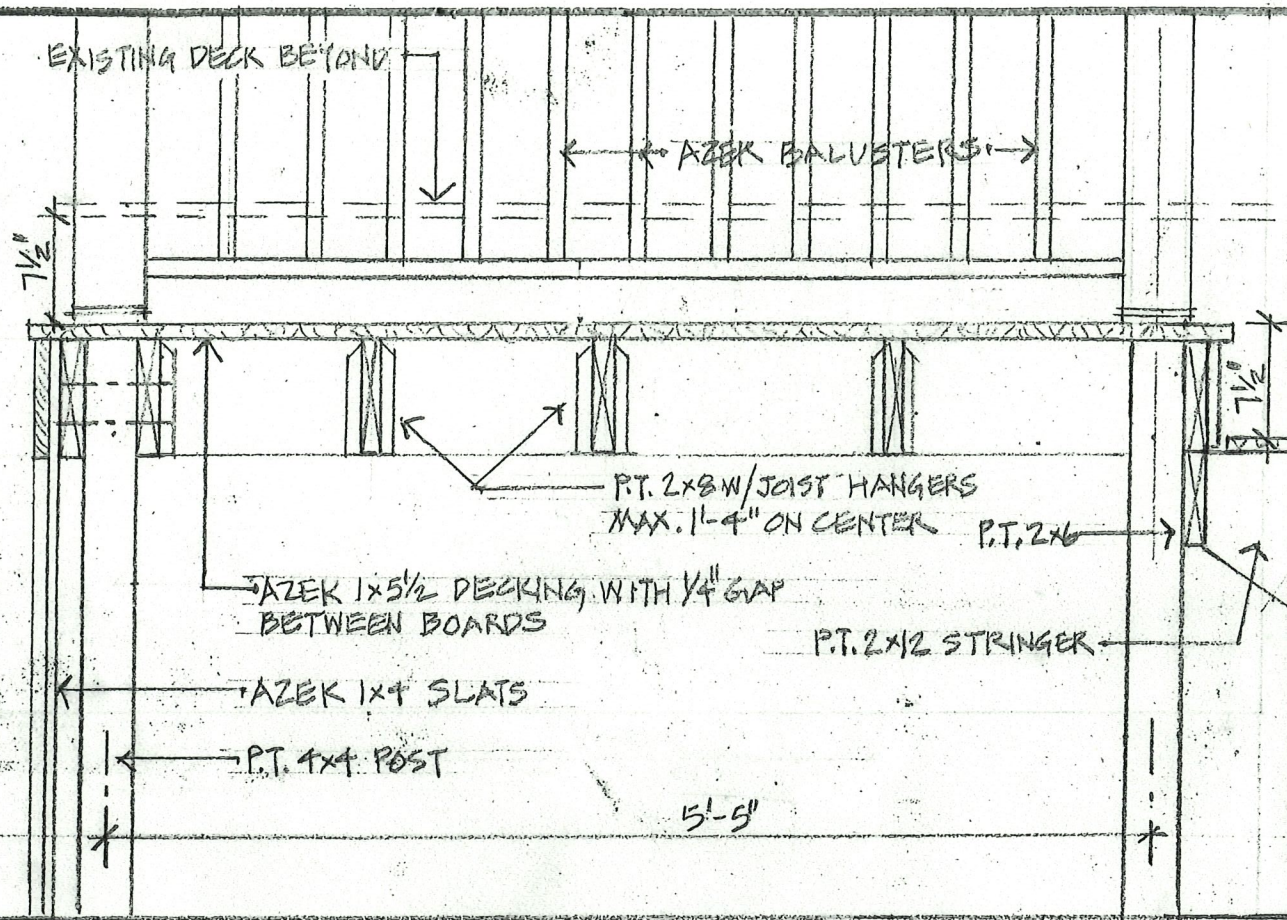
3 SECTION THRU STAIRS
1/2" = 1'-0"



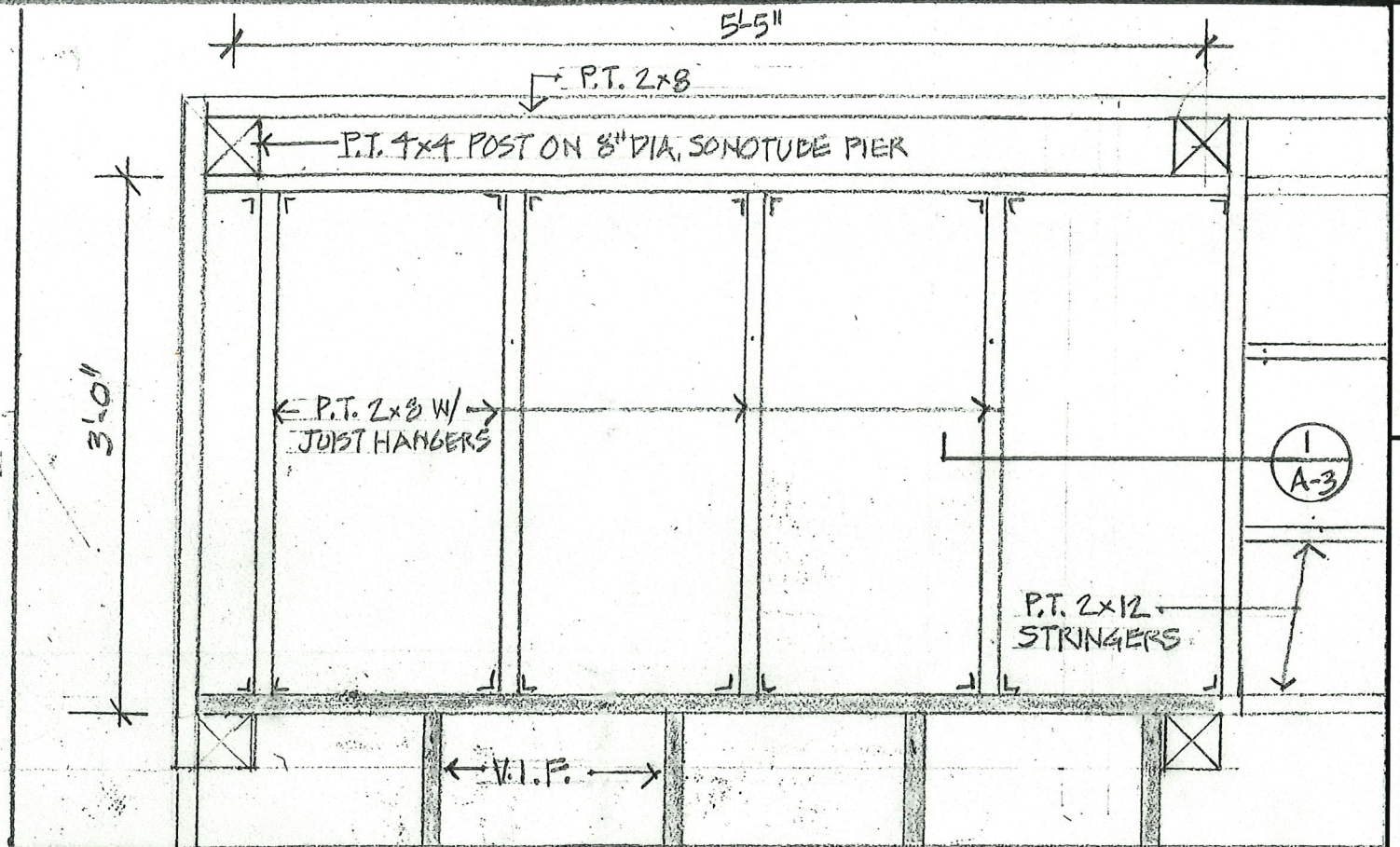
7 POST CAP AND BASE DETAILS
3/4" = 1'-0"



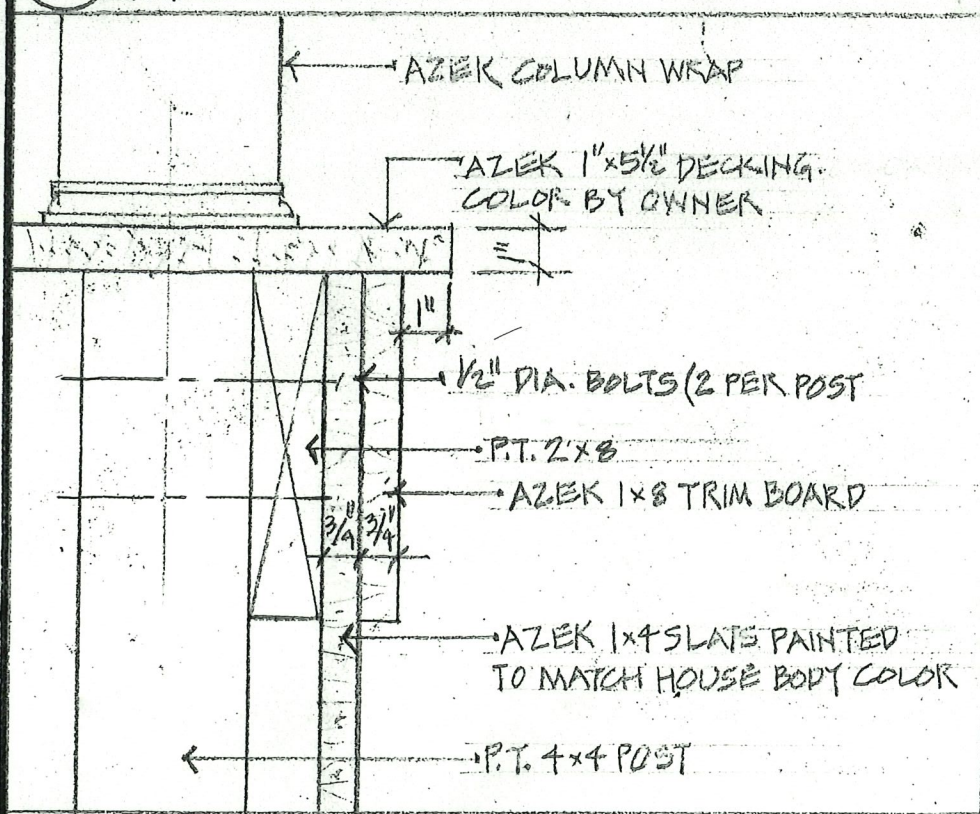
8 POST CROSS SECTION
3/4" = 1'-0"



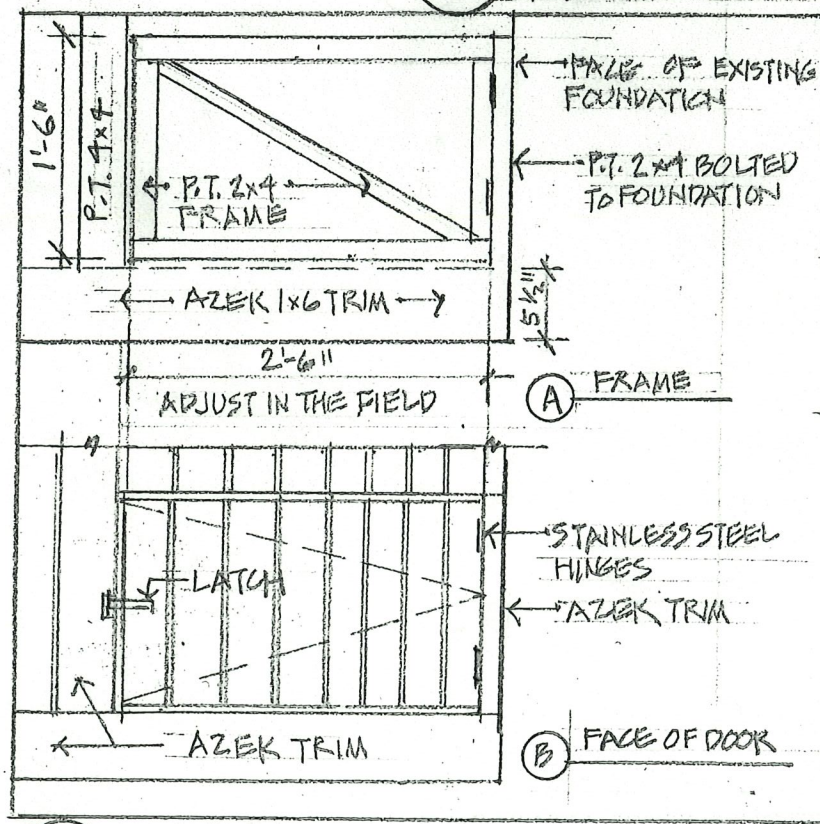
1 SECTION AT STAIR UPPER LANDING
1" = 1'-0"



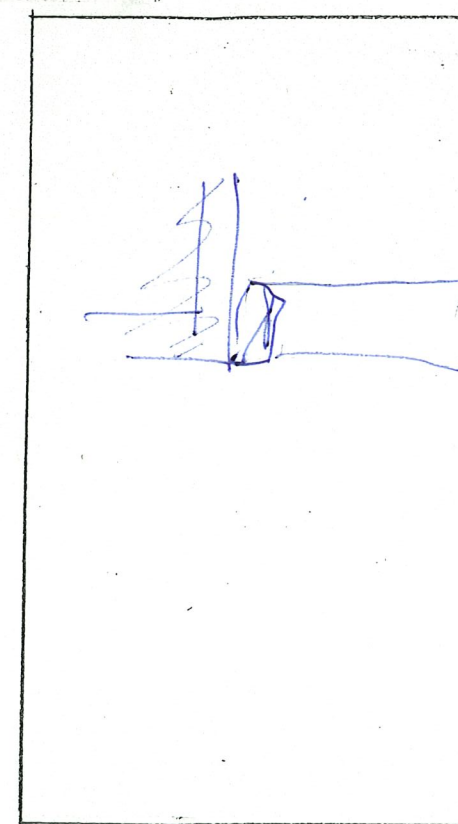
2 FRAMING AT UPPER STAIR LANDING
1" = 1'-0"



3 DECK EDGE DETAIL
3" = 1'-0"



4 GAS METER DOOR DETAILS
3/4" = 1'-0"



5 SKYLIGHT TRIM



This map illustrates the Green Street Neighborhood Garden, a large urban green space in Boston. The garden is highlighted in yellow and is bounded by a red line. It is situated between Massachusetts Ave to the north and Franklin St to the south. Green St runs diagonally through the center of the garden. The map shows numerous individual lots and street addresses within the garden area, as well as surrounding streets and neighborhoods. A blue line with arrows indicates a path or road within the garden. The text 'Green Street Neighborhood Garden' is prominently displayed in the center-right of the map.

610 Green St.

Petitioner

121-35
MELLINS, WILLIAM W & NANCY BERLINER
545 FRANKLIN STREET
CAMBRIDGE, MA 02139-2923

121-114
MARSH, ELEANOR H.
609 GREEN STREET
CAMBRIDGE, MA 02139

121-22
STONE, WENDY L.
TR. OF THE WENDY STONE LIVING TRUST
610 GREEN ST
CAMBRIDGE, MA 02139

121-21
WELSH, CHARLES W. , RIKA OLSON WELSH
616 GREEN ST
CAMBRIDGE, MA 02139

121-25
EMANUEL, BESS R. & JOHN T. VYHNANEK
600 GREEN ST
CAMBRIDGE, MA 02139-2926

121-114
LANDIS, JONATHAN
607 GREEN STREET UNIT T607
CAMBRIDGE, MA 02139

121-34
COHEN, ALLAN L
541 FRANKLIN ST
CAMBRIDGE, MA 02139

121-114
1008 MASSACHUSETTS AVENUE LLC.
C/O BOSTON RESIDENTIAL GROUP
221 MASSACHUSETTS AVE - STE 402
BOSTON, MA 02115

121-20
WALSH, JOHN J., A LIFE ESTATE
622 GREEN ST
CAMBRIDGE, MA 02139-2926

121-114
CHUANG, DANIEL B. & KATHY CHUANG
611 GREEN ST UNIT T611
CAMBRIDGE, MA 02139

121-128
BAUMANN, HILLARY
620 GREEN ST
CAMBRIDGE, MA 02139

121-114
LIU, SHENG & LUCY C. JEN
615 GREEN ST UNIT T615
CAMBRIDGE, MA 02139

121-114
WARREN, DONALD R.
617 GREEN ST. UNIT T617
CAMBRIDGE, MA 02139

121-114
LIU, SHENG & LUCY C. JEN
615 GREEN ST
CAMBRIDGE, MA 02139

121-115
DONOVAN, SUSAN E.
551 FRANKLIN ST UNIT 1
CAMBRIDGE, MA 02139

121-130
MILLER, JOHN F.
65 DOLLIVER NECK RD
GLOUCESTER, MA 01930

121-129
NUTHULAGANTI, TEJ DILIP NUTHULAGANTI
454 GREEN ST
CAMBRIDGE, MA 02139

121-114
WALSH CONOR J DERAVI LEILA
613 GREEN ST - UNIT- T613
CAMBRIDGE, MA 02139

121-115
ROBINSON BRIAN RICHARD & JAY THOMAS
TRS ROBINSON LECLAIRE LIVING TRUST
551 FRANKLIN ST
CAMBRIDGE, MA 02139

121-34
ALLIK, SANDRA TRS THE SANDRA ALLIK TR
539 FRANKLIN ST
CAMBRIDGE, MA 02139

121-39
LI YE & YUNHUA WANG
136 CEDAR ST
LEXINGTON, MA 02421

121-24
WOLDEMARIAM, SILESHI ELIZABETH SNOW
602 GREEN ST
CAMBRIDGE, MA 02139

121-116
DILANNI, DENISE L.
TRS ROSS M. MILLER TRS
19 PERRY ST
CAMBRIDGE, MA 02139

121-115
O'SULLIVAN SHANE T. & CIAN A.
518-520 PUTNAM AVE UNIT 4
CAMBRIDGE, MA 02139

121-23
CHANG EDWARD H.
604 GREEN ST
CAMBRIDGE, MA 02139