



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

BZA Application Form

BZA Number: 113723

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____

Variance: X

Appeal: _____

PETITIONER: Lauren Stewart C/O James Sullivan (rjames renovations llc)

PETITIONER'S ADDRESS: 63 Orchard st, cambridge, ma 02140

LOCATION OF PROPERTY: 63 Orchard St., Cambridge, MA

TYPE OF OCCUPANCY: Residential single family

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

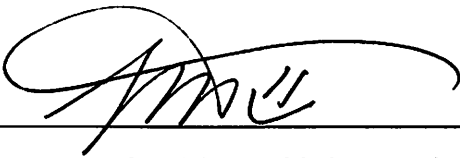
Construct a 5' X 19' 7" 1 story addition which will push us over FAR

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).

Article: 10.000 Section: 10.30 (Variance).

Original
Signature(s):


(Petitioner (s) / Owner)

JAMES SULLIVAN
(Print Name)

Address:

Tel. No.

617 480 1312

E-Mail Address:

jim@rjamesrenovations.com

Date: 4-8-21

2021 APR -9 AM 10:57
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Lauren Stewart
(OWNER)

Address: 63 Orchard St, Cambridge MA 02140

State that I/We own the property located at 63 Orchard St., which is the subject of this zoning application.

The record title of this property is in the name of Lauren Stewart + Ben Rigoda

*Pursuant to a deed of duly recorded in the date 10/31/19, Middlesex South County Registry of Deeds at Book 73570, Page 244; or Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

Lauren Stewart
SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Lauren Stewart personally appeared before me, this 26th of March, 2021, and made oath that the above statement is true.

[Signature] Notary

My commission expires Aug. 5, 2025 (Notary Seal).



JASON V. SIMONS
Notary Public
Commonwealth of Massachusetts
My Commission Expires August 05, 2025

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

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to... 27...

AMERICAN

to... 7...

PI 18 01
445

43240

78 MARCH

1934

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:
- First floor addition needed for 1/2 bathroom and entry closet. No room for it in design/layouts of existing footprint. This is owners primary residence and goal is to create a functional first floor plan which includes 1/2 bath and entry closet.
- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:
- We are asking for .01 more FAR which we believe is minimal and not affecting any setbacks which would affect direct neighbors or take away in a negative way from the neighborhood.
- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**
- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:
- Architecturally addition will blend in with house and neighborhood creating a seamless design. We care about house and neighborhoods history.
- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:
- All details from original house will be replicated, scale is appropriate to original house and neighborhood, Goal is to have a seamless design that looks like has been there for 100+ years.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Lauren Stewart

Present Use/Occupancy: Residential single family

Location: 63 Orchard st

Zone: Residence B Zone

Phone: 617 480 1312

Requested Use/Occupancy: Residential single family

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	2860	2956	68.5	(max.)
<u>LOT AREA:</u>	5775	0	0	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>	0.495	0.51	.01	
<u>LOT AREA OF EACH DWELLING UNIT</u>	N/A	N/A	N/A	
<u>SIZE OF LOT:</u>				
WIDTH	58	N/A	N/A	
DEPTH	99.88	N/A	N/A	
<u>SETBACKS IN FEET:</u>				
FRONT	N/A	N/A	N/A	
REAR	N/A	N/A	N/A	
LEFT SIDE	N/A	N/A	N/A	
RIGHT SIDE	N/A	N/A	N/A	
<u>SIZE OF BUILDING:</u>				
HEIGHT	N/A	N/A	N/A	
WIDTH	N/A	N/A	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	N/A	N/A	N/A	
<u>NO. OF DWELLING UNITS:</u>	N/A	N/A	N/A	
<u>NO. OF PARKING SPACES:</u>	N/A	N/A	N/A	
<u>NO. OF LOADING AREAS:</u>	N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

Pacheco, Maria

From: Levy, Sharon <Sharon.Levy@childrens.harvard.edu>
Sent: Thursday, May 20, 2021 4:19 PM
To: Pacheco, Maria
Subject: Zoning variance

Dear Maria,

This note is in SUPPORT of the zoning variance requested by Lauren Stewart at 63 Orchard Street in Cambridge, MA. I own the house next door, at 65 Orchard Street. I have no questions or concerns about the request and I believe it will be a wonderful addition to the house.

Please don't hesitate to contact me at this email address if I can be of further assistance.

Sincerely,

Sharon Levy

Sharon Levy, MD, MPH
Director, Adolescent Substance Use and Addiction Program
Boston Children's Hospital

Associate Professor of Pediatrics
Harvard Medical School



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Jared Batchelder Date: 5-10-21
(Print)

Address: 63 Orchard St.

Case No. BZA-113723

Hearing Date: 5/27/21

Thank you,
Bza Members

✓

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Lauren Stewart

Location: 63 Orchard st

Phone: 617 480 1312

Present Use/Occupancy: Residential single family

Zone: Residence B Zone

Requested Use/Occupancy: Residential single family

	<u>Existing</u> <u>Conditions</u>	<u>Requested</u> <u>Conditions</u>	<u>Ordinance</u> <u>Requirements</u>	
<u>TOTAL GROSS</u> <u>FLOOR AREA:</u>	2860	2956	68.5 <u>2887.5</u>	(max.) <u>NA</u>
<u>LOT AREA:</u>	5775	0 <u>5775</u>	0 <u>5000</u>	(min.)
<u>RATIO OF GROSS</u> <u>FLOOR AREA TO</u> <u>LOT AREA: ²</u>	0.495	0.51	<u>0.15</u>	
<u>LOT AREA OF EACH</u> <u>DWELLING UNIT</u>	N/A <u>2606</u>	N/A <u>2702</u>	N/A <u>2500 min.</u>	
<u>SIZE OF LOT:</u>				
WIDTH	58'	N/A <u>58'</u>	N/A <u>50'</u>	
DEPTH	99.88	N/A <u>99.88</u>	<u>(N/A)</u>	
<u>SETBACKS IN FEET:</u>				
FRONT	N/A <u>18'</u>	N/A <u>18'</u>	N/A <u>15'</u>	
REAR	N/A <u>22.5'</u>	N/A <u>22.5'</u>	N/A <u>25'</u>	
LEFT	N/A <u>14.7'</u>	N/A <u>13.6'</u>	N/A <u>7.5 sum of 20'</u>	
SIDE				
RIGHT	N/A <u>10.14</u>	N/A <u>10.14</u>	N/A <u>7.5 sum of 20''</u>	
SIDE				
<u>SIZE OF BUILDING:</u>				
HEIGHT	N/A <u>34.9</u>	N/A <u>34.9</u>	N/A <u>35'</u>	
WIDTH	N/A <u>32.61</u>	N/A <u>33.61</u>	<u>(N/A)</u>	
<u>RATIO OF USABLE</u> <u>OPEN SPACE TO</u> <u>LOT AREA:</u>	N/A <u>73.35%</u>	N/A <u>71.69%</u>	N/A <u>40%</u>	
<u>NO. OF DWELLING</u> <u>UNITS:</u>	N/A <u>1</u>	N/A <u>1</u>	N/A <u>2.</u>	
<u>NO. OF PARKING</u> <u>SPACES:</u>	N/A <u>2</u>	N/A <u>2</u>	N/A <u>1</u>	
<u>NO. OF LOADING</u> <u>AREAS:</u>	<u>(N/A)</u>	<u>(N/A)</u>	<u>(N/A)</u>	
<u>DISTANCE TO</u> <u>NEAREST BLDG.</u> <u>ON SAME LOT</u>	<u>(N/A)</u>	<u>(N/A)</u>	<u>(N/A)</u>	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA Application Form



BOSTON
SURVEY, INC.
UNIT C-4 SHIPWAY PLACE
CHARLESTOWN, MA 02129
(617) 242-1313

PROFILE
NOT TO SCALE

PEAK: 535.11

MANSARD PEAK: 525.80

34.9'

25.6'

1ST FL: 504.51

AVE GRADE: 500.20

ADDITION

No. 9 MILLER AVE
N/F
ELISHA H. ATKINS &
MAUREEN A. COLTON
BK 19541; PG 98

No. 6-8 TENNEY ST
N/F
DONALD K. BUTT
BK 12903; PG 567

No. 65 ORCHARD ST
N/F
OFER LEVER &
SHARON LEVY
BK 66217; PG 260

AREA 5,775±SF

No. 63
2 STORY
W/F
PROPOSED 1 STORY
ADDITION
1ST FL: 504.51
PEAK: 525.80
COPULA: 535.11

CERTIFIED PLOT PLAN
LOCATED AT
63 ORCHARD STREET
CAMBRIDGE, MA
SCALE: 1.0 INCH = 10.0 FEET

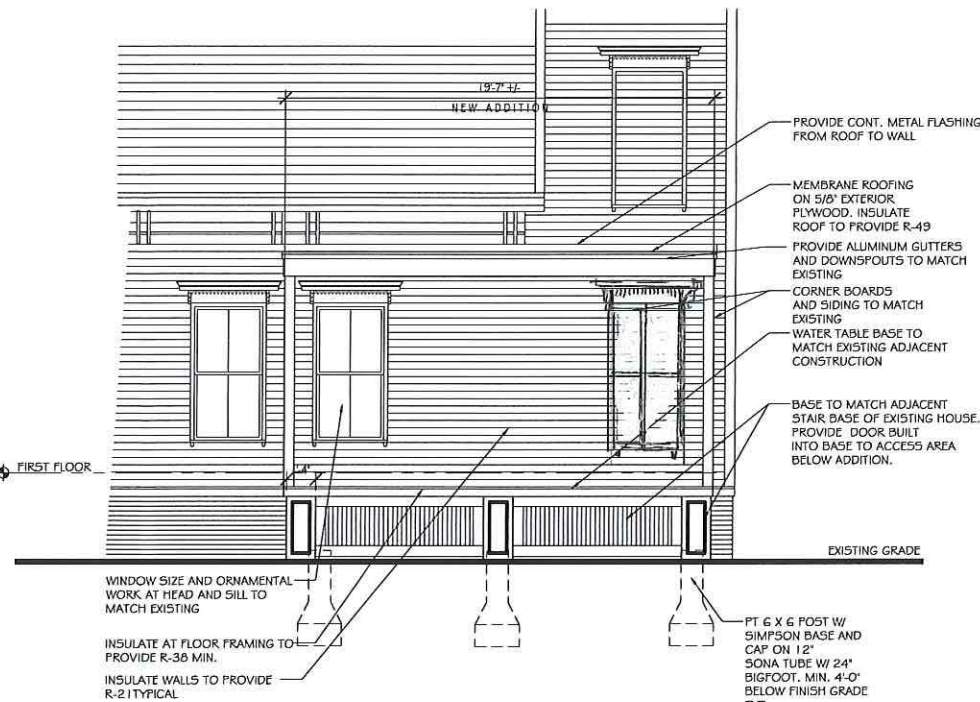
MILLER AVENUE
(PUBLIC ~ 24.0' WIDE)

ORCHARD STREET
(PUBLIC ~ 40.0' WIDE)

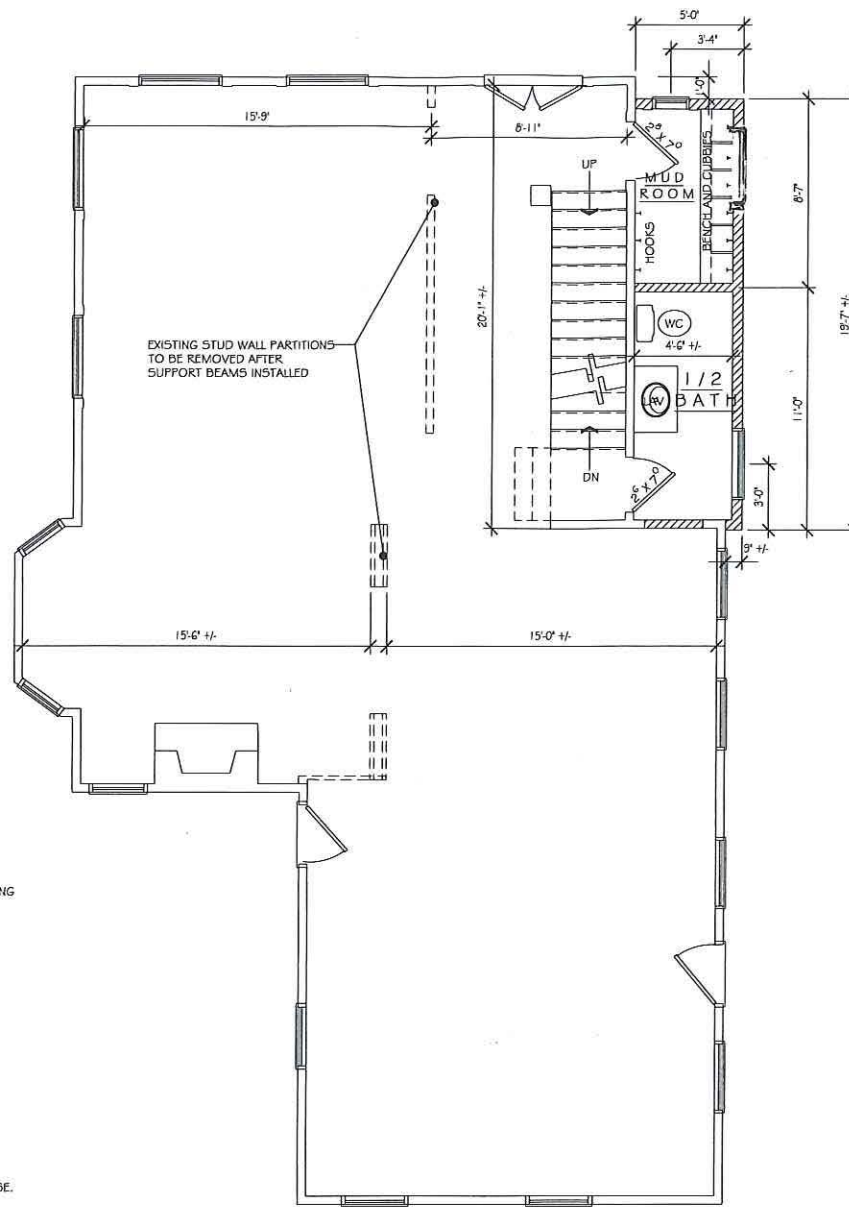
FIELD:	MO
DRAFT:	RAP
CHECK:	GCC
DATE:	03/30/21
JOB #	20-00653



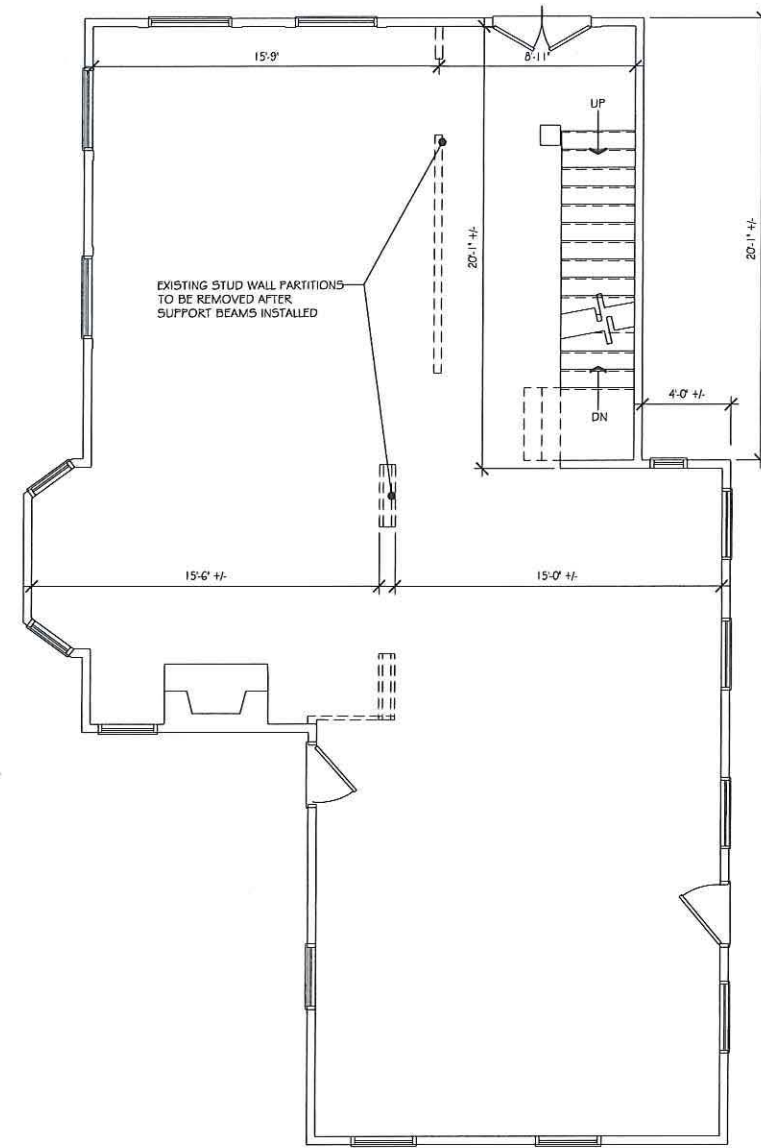
PARTIAL EXISTING SIDE ELEVATION 3
1/4" = 1'-0"



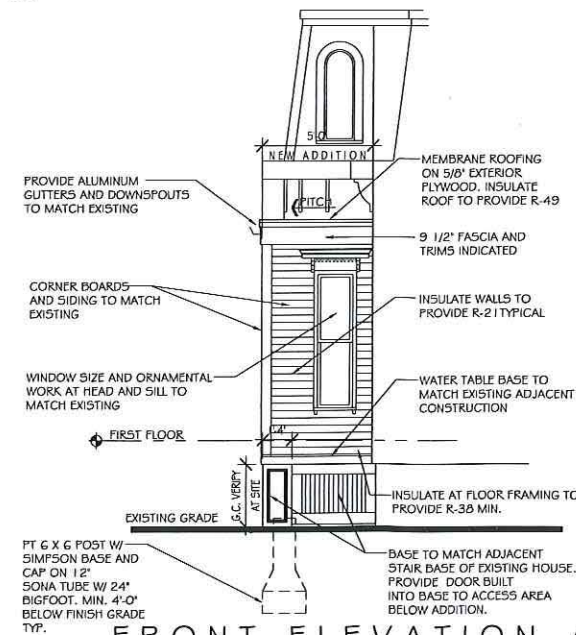
SIDE ELEVATION ADDITION 4
1/4" = 1'-0"



FIRST FLOOR PLAN ADDITION 2
1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN 1
1/4" = 1'-0"



FRONT ELEVATION ADDITION 5
1/4" = 1'-0"

GENERAL NOTES:
GENERAL

ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE 9TH EDITION OF THE MASSACHUSETTS RESIDENTIAL BUILDING CODE AND THE REFERENCE STANDARDS INCLUDED THEREIN THAT ARE APPLICABLE TO THIS PROJECT.

THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT PRIOR TO PROCEEDING WITH THE AFFECTED WORK. ANY VARIATIONS OR SUBSTITUTIONS OF MATERIALS OR DETAILS FROM THOSE INDICATED ON THE DRAWINGS MAY BE MADE ONLY WITH PRIOR APPROVAL OF THE PROJECT ARCHITECT.

SHOP DRAWINGS FOR STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ARCHITECT AND A STAMPED APPROVAL RECEIVED BEFORE FABRICATION CAN PROCEED.

NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED OR CUT WITHOUT THE APPROVAL OF THE PROJECT ARCHITECT.

FOR EXACT LOCATION OF FLOOR & ROOF OPENINGS, SEE ARCHITECTURAL DRAWINGS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SAFETY DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHEETING, SHORING AND GUNNING STRUCTURES, BARRIERS AND SIGAGE.

ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND SHOP DRAWINGS.

UNLESS OTHERWISE INDICATED, DETAILS SHOWN ON ANY DRAWING ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, CO-ORDINATION OF OTHER TRADES AND TECHNIQUES TO PRODUCE A SOUND AND QUALITY BUILDING. ALL DIMENSIONS, ELEVATIONS AND CONDITIONS MUST BE VERIFIED BY THE GENERAL CONTRACTOR OR RESPONSIBLE TRADES PRIOR TO PRODUCTION OF SHOP DRAWINGS AND/OR COMMENCEMENT OF THE WORK.

DESIGN LOADS

THE BUILDING STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING LOADS ACCORDANCE WITH THE 9TH EDITION OF THE MASSACHUSETTS STATE BUILDING CODE.

SNOW LOAD: ZONE 2 FLAT ROOF SNOW $P_f = 40$ PSF
DRIFTING AND SLIDING SNOW INCLUDED WHERE APPLICABLE

FLOOR LIVE LOAD:
RESIDENTIAL LIVING AREAS - 40 PSF
RESIDENTIAL SLEEPING AREAS - 30 PSF

WIND: MAIN WIND FORCE RESISTANCE SYSTEM ZONE 3 EXPOSURE
BASIC WIND SPEED 100 MPH HEIGHT 0 - 50 FEET

STRUCTURAL LUMBER

A. CODE CONFORMANCE

NATIONAL FOREST PRODUCTS ASSOCIATION "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" INCLUDING SUPPLEMENT.

AMERICAN INSTITUTE OF TIMBER CONSTRUCTION "TIMBER CONSTRUCTION STANDARDS" - AITC 100

US DEPARTMENT OF COMMERCE - PS 20 FOR LUMBER

US DEPARTMENT OF COMMERCE - PS 166 FOR SOFTWOOD PLYWOOD

AMERICAN WOOD PRESERVERS INSTITUTE - ST-1 STANDARDS

B. MATERIALS

SOLID LUMBER (19% MAXIMUM MOISTURE CONTENT)

STUDS - 2X4, 2X6, SPRUCE PINE FIR, STUD GRADE.

MEMBERS - 2X6, 2X8, 2X10, 2X12 - HEM FIR NO. 2, 1S KD

BASE DESIGN VALUES - $F_b = 980$ PSI, $F_v = 70$ PSI, $E = 1,200$ KSI

LAMINATED VENEER LUMBER BEAMS (LVL) - GLUE LAMINATED VENEER LUMBER OF SOUTHERN PINE WITH MINIMUM DESIGN VALUES: $F_v = 285$ PSI, $F_b = 2600$ PSI, $E = 2,000,000$ PSI.

PARALLEL STRAND LUMBER BEAMS (PSL) - GLUE LAMINATED VENEER LUMBER OF SOUTHERN PINE WITH MINIMUM DESIGN VALUES: $F_v = 290$ PSI, $F_b = 2900$ PSI, $E = 1,800,000$ PSI.

BOLTS, NUTS & WASHERS - ASTM - A307

NAILS - COMMON WIRE, EXCEPT BARBED NAILS AT PLYWOOD SHEATHING. GALVANIZED NAILS AT EXPOSED FRAMING.

METAL CONNECTORS - APPROVED ITEMS OF PROPER TYPE & GAUGE AS SHOWN ON DRAWINGS - GALVANIZED.

ALL CONNECTORS AND FASTENERS AT PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.

PLYWOOD - APA RATED SHEATHING WITH EXTERIOR GLUE.

ROOF - 5/8" THICK

WALLS - 1/2" THICK

SUBFLOORS - 3/4" THICK TONGUE & GROOVE

PRESSURE TREATED WOOD AT ALL EXPOSED FRAMING WITH APPROVED CLEAR WATER BORNE PRESERVATIVE. ALL MEMBERS TO BE STAMPED BY APPROPRIATE AGENCY.

C. EXECUTION

ALL WOOD MEMBERS TO BE NAILED IN ACCORDANCE WITH MASS STATE CODE APPENDIX C.

PLYWOOD SHALL BE NAILED AT 8" O.C. AT ALL JOINTS AND EDGES & 10" O.C. AT OTHER SUPPORTS. PLYWOOD SUB-FLOOR SHALL BE GLUED TO JOIST, BEFORE NAILING, WITH APPROVED ADHESIVE.

PROVIDE NAILING AT ALL CONNECTORS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

CONCRETE WORK
A. CODE CONFORMANCE

COMPLY WITH THE LATEST RECOMMENDATIONS OF THE FOLLOWING STANDARDS:

ACI 301 - SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING

ACI 315 - DETAILING REINFORCING STEEL

ACI 347 - FORMWORK

ACI 318 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

ACI 318 CHAPTER 22 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL PLAIN CONCRETE

B. MATERIALS

CONCRETE: APPROVED READY MIXED CONCRETE HAVING AN ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. SLUMP 3 - 5 INCHES.

REINFORCING: DEFORMED BARS ASTM A615 GRADE 60 EXCEPT TIES AND STIRRUPS MAY BE GRADE 40.

FORMWORK: SMOOTH PLYWOOD FORMS FOR EXPOSED SLABS OR VERTICAL SURFACES. BOARD FORMS FOR FOOTINGS OR UNEXPOSED CONCRETE SURFACES. NO EARTH FORMS PERMITTED.

SHRINKAGE CONTROL FIBERS (FIBERMESH) - INSTALL IN CONCRETE MIX PER MANUFACTURERS SPECIFICATIONS.

GROUT: NON-METALLIC NON - SHRINK TYPE UNDER BASE PLATES OR BEARING PLATES.

C. EXECUTION

CONCRETE: PLACE CONCRETE BY APPROVED METHODS OF ACI 304

FOUNDATIONS

EXCAVATE TO LINES AND GRADES REQUIRED TO PROPERLY INSTALL THE FOUNDATIONS ON UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL APPROVED BY THE PROJECT ARCHITECT. REMOVE ALL SILTY TOPSOIL OR OBJECTIONAL MATERIAL FROM UNDER SLABS ON GRADE. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING ANY CONCRETE.

EXTERIOR WALL FOOTINGS ARE TO BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FT. BELOW THE LOWEST ADJACENT GROUND SURFACE EXPOSED TO FREEZING. ANY ADJUSTMENT OF ELEVATIONS OF FOOTINGS DUE TO FIELD CONDITIONS MUST HAVE THE EXPRESSED APPROVAL OF THE PROJECT ARCHITECT.

SOIL BEARING CAPACITY - NATURAL UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL HAVING AN ALLOWABLE BEARING PRESSURE OF 4000 POUNDS PER SQ. FT.

BACKFILL THE EXCAVATION WITH APPROVED GRANULAR MATERIAL PLACED IN 6 IN. LAYERS AND COMPACTED TO 95% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557, METHOD D AFTER BOTTOM OF EXCAVATION HAS BEEN APPROVED BY THE PROJECT ARCHITECT.

BACKFILLING AGAINST FOUNDATION WALLS TO BE DONE ONLY AFTER WALLS ARE BRACED TO PREVENT MOVEMENT.

WHERE NEW FOUNDATIONS ARE BUILT IN THE SAME LOCATION AS REMOVED EXISTING FOUNDATIONS, THEY SHALL BEAR ON UNDISTURBED SOIL AT OR BELOW THE ELEVATION OF THE EXISTING FOUNDATIONS.

REINFORCING: PLACE REINFORCING USING STANDARD BAR SUPPORTS TO PROVIDE PROPER CLEARANCE AND PREVENT DISPLACEMENT DURING CONCRETE OPERATIONS. LAP CONTINUOUS BARS 40 DIAMETERS.

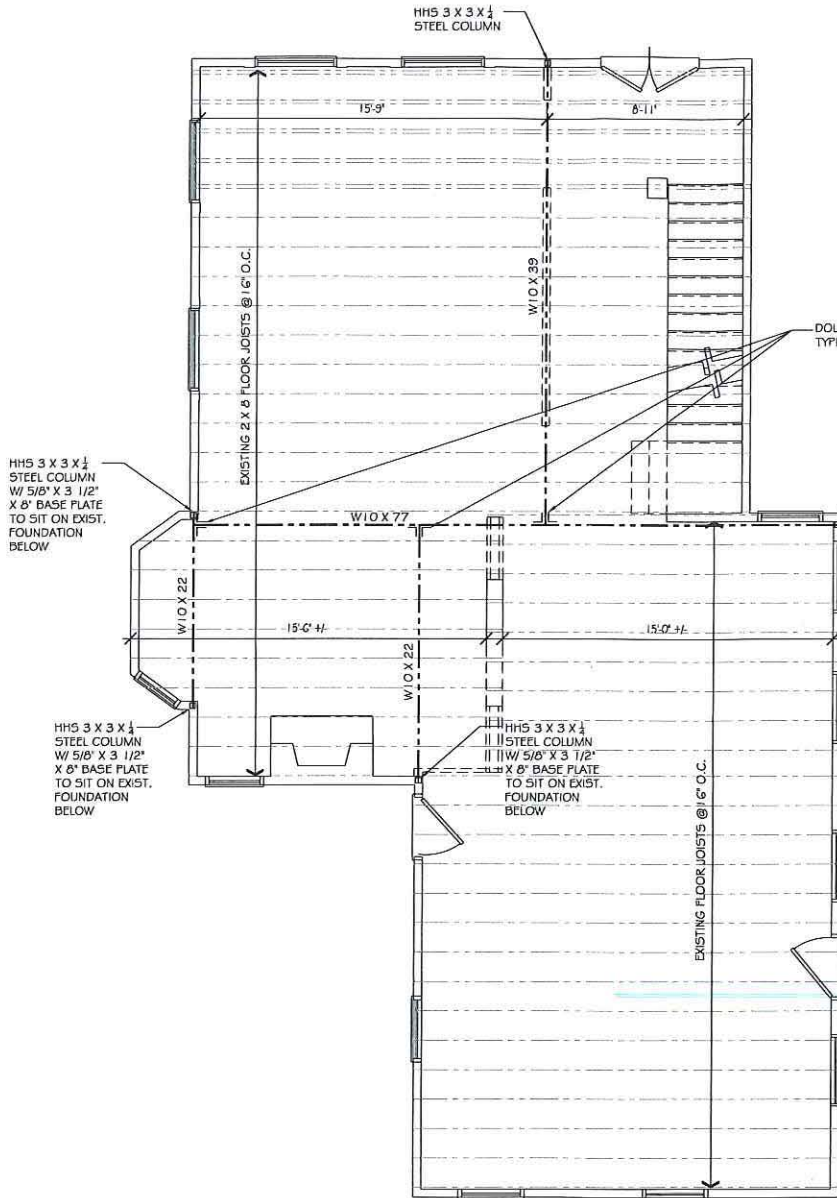
MINIMUM CONCRETE COVER:
CONCRETE PLACED AGAINST EARTH - 3 IN.
FORMED CONCRETE EXPOSED TO EARTH, WEATHER OR WATER - 1 1/2 IN.
2 INCHES FOR #5 BAR OR LARGER.
SLABS ON GRADE - 1 IN. FROM TOP

FORMWORK - PROPERLY BRACE AND SHORE FORMWORK TO MAINTAIN ALIGNMENT AND TOLERANCES IN ACCORDANCE WITH ACI 347.

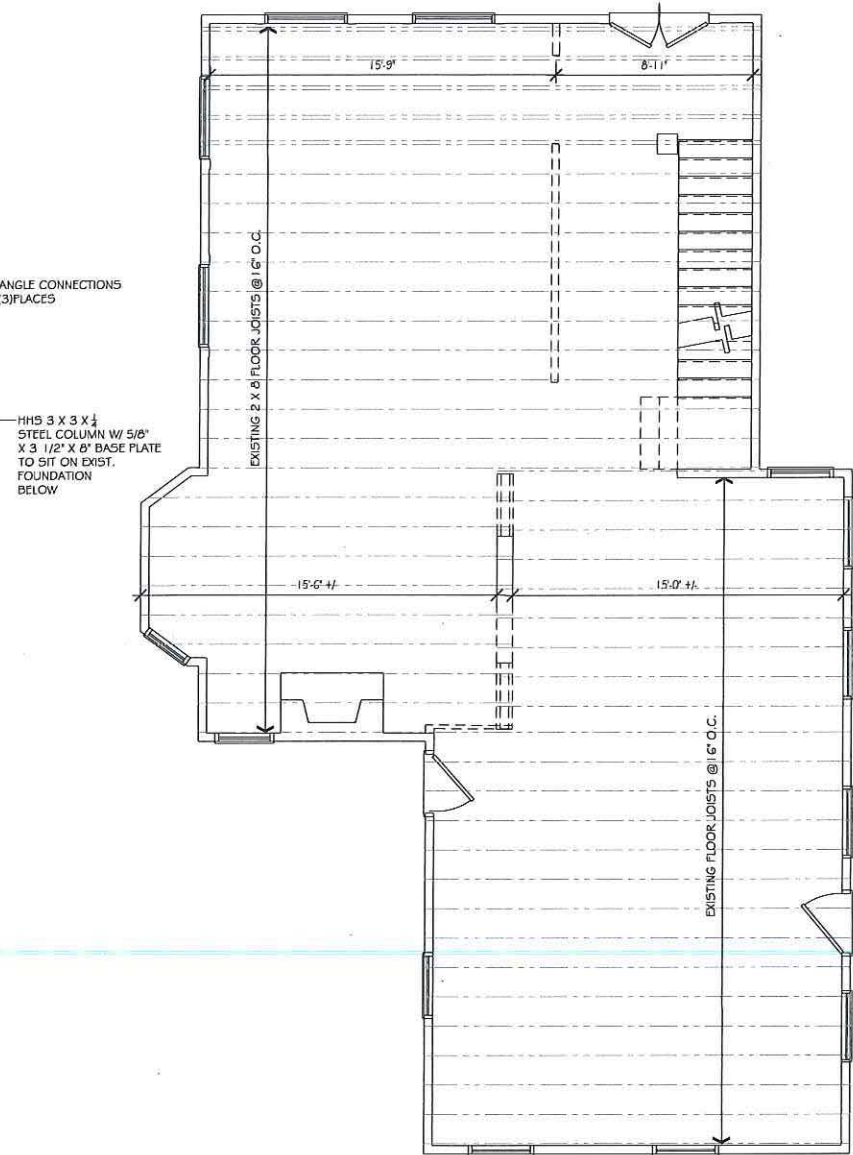
REINFORCING BARS SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF THE CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS".

PROVIDE TWO #5 BARS EACH SIDE OF ALL OPENINGS IN WALLS AND SLABS. BARS TO EXTEND 24" BEYOND EDGE OF OPENINGS. (FOR SIZE AND LOCATION OF OPENINGS, SEE ARCHITECTURAL DRAWINGS)

DETAILS NOT SHOWN ON DRAWINGS SHALL BE IN ACCORDANCE WITH THE ACI DETAILING MANUAL (ACI 315).



NEW SUPPORT BEAMS 2
1/4" = 1'-0"



EXISTING SECOND FLOOR 1
FRAMING PLAN
1/4" = 1'-0"



REV/SK

PROPOSED ADDITION &
RENOVATIONS
63 ORCHARD STREET
CAMBRIDGE, MA

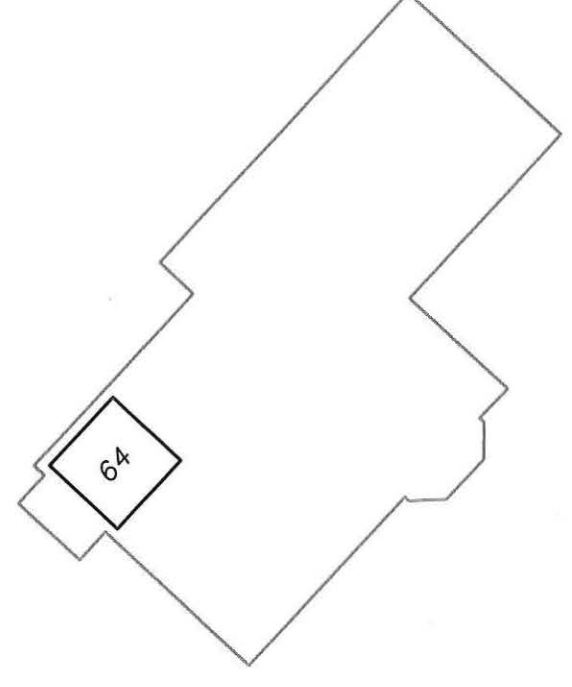
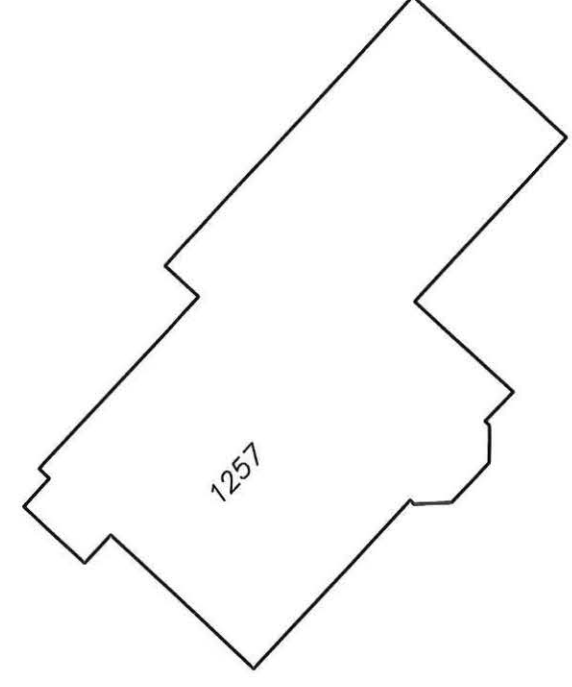
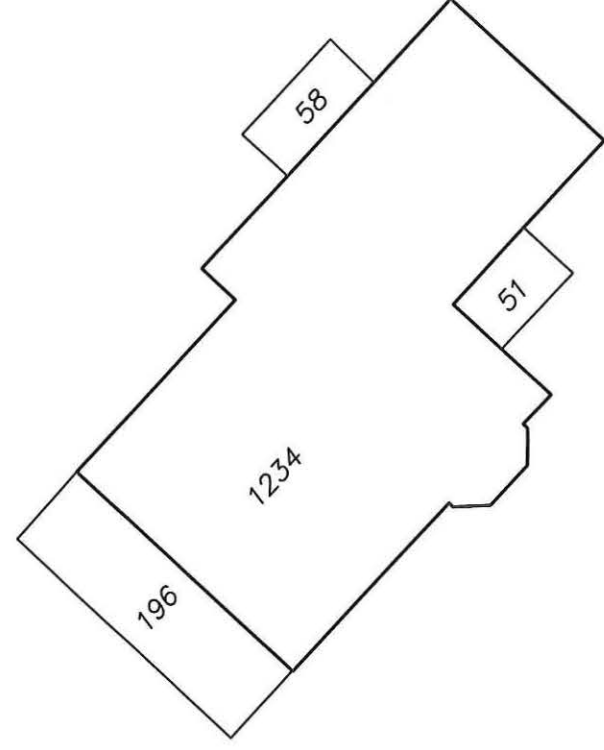
EXISTING FLOOR PLAN
& FRAMING PLAN

DATE AS NOTED
01/04/2021

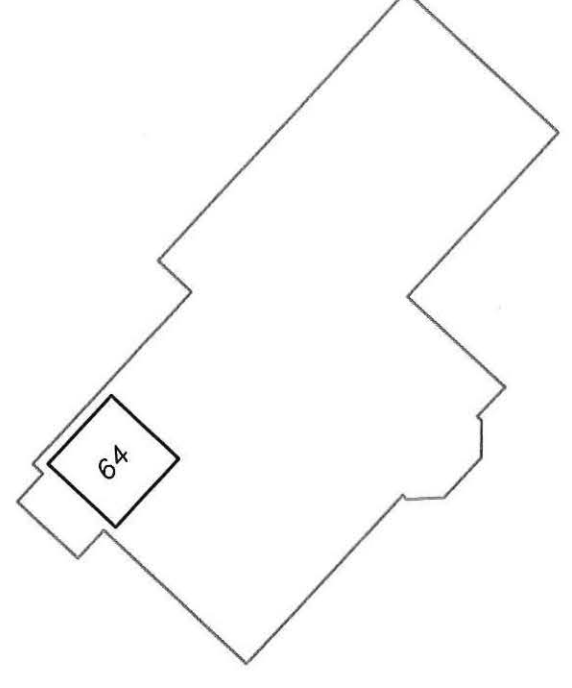
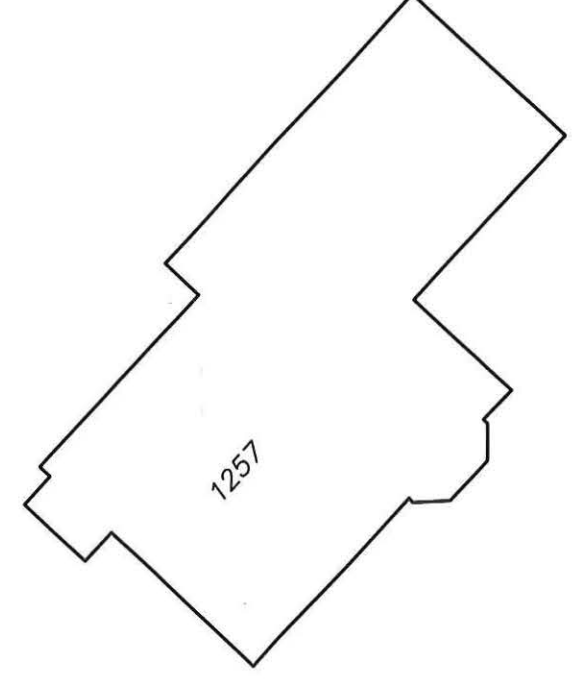
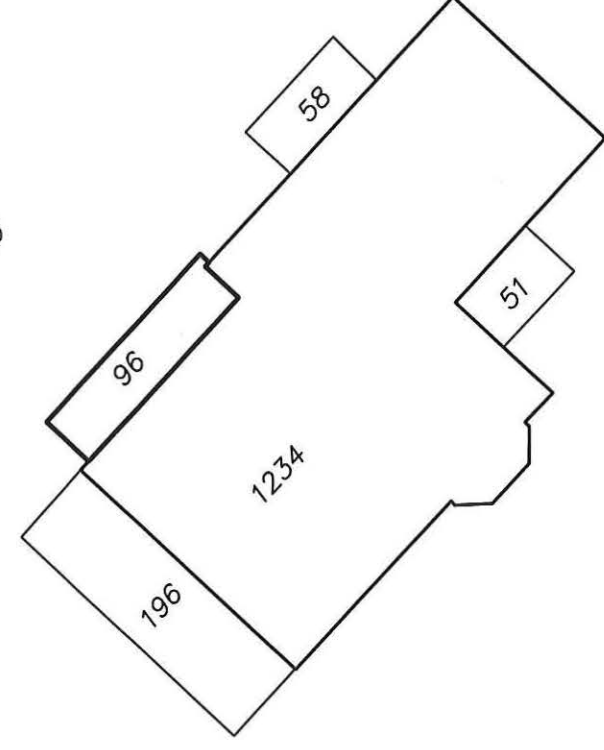
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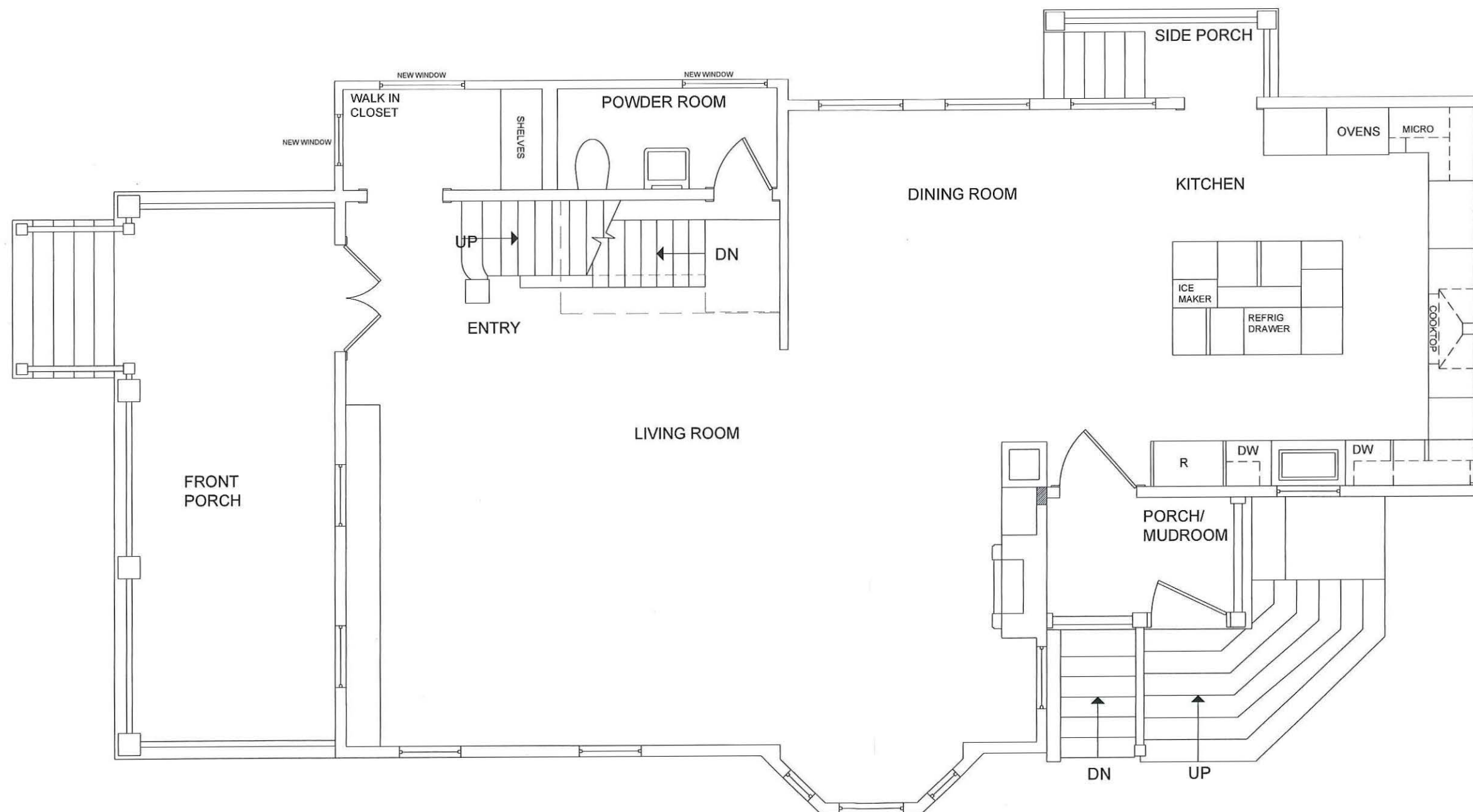
S.1

EXISTING



PROPOSED





1 FIRST FLOOR PLANS

ARCHITECTURAL DESIGNER-

LEANNE SZWARC
24 RAMSDELL AVENUE #2
ROSLINDALE, MA 02131

PROPOSED PLANS

LAUREN STEWART & BEN VIGODA
63 ORCHARD STREET
CAMBRIDGE, MA 02138

Scale

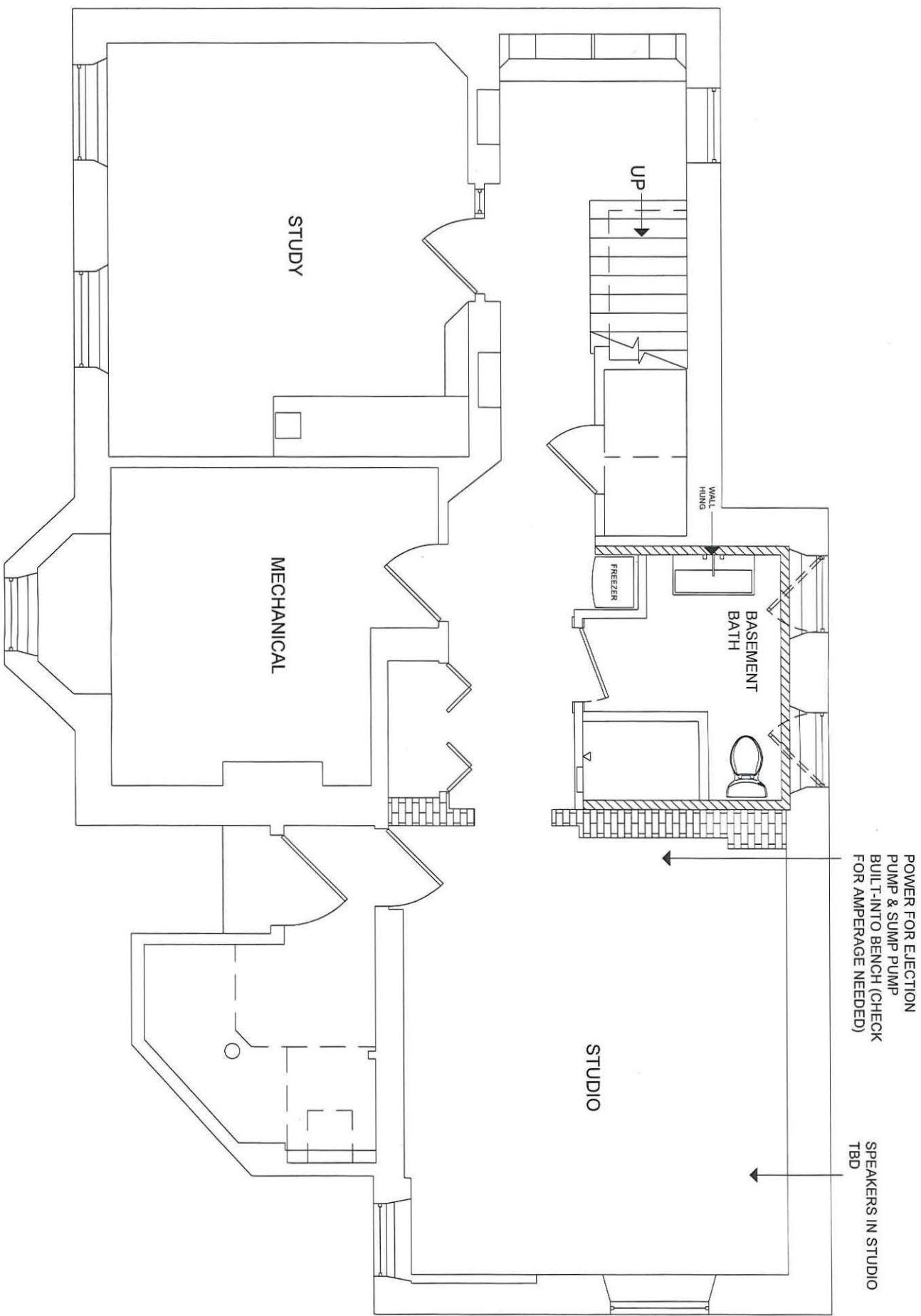
$\frac{3}{16}" = 1'-0"$

Date

3/4/21

Drawing No.

A1.1



BASEMENT PLANS

1

ARCHITECTURAL DESIGNER-

LEANNE SZWARC
24 RAMSDELL AVENUE #2
ROSLINDALE, MA 02131

PROPOSED PLANS

LAUREN STEWART & BEN VIGODA
63 ORCHARD STREET
CAMBRIDGE, MA 02138

Scale

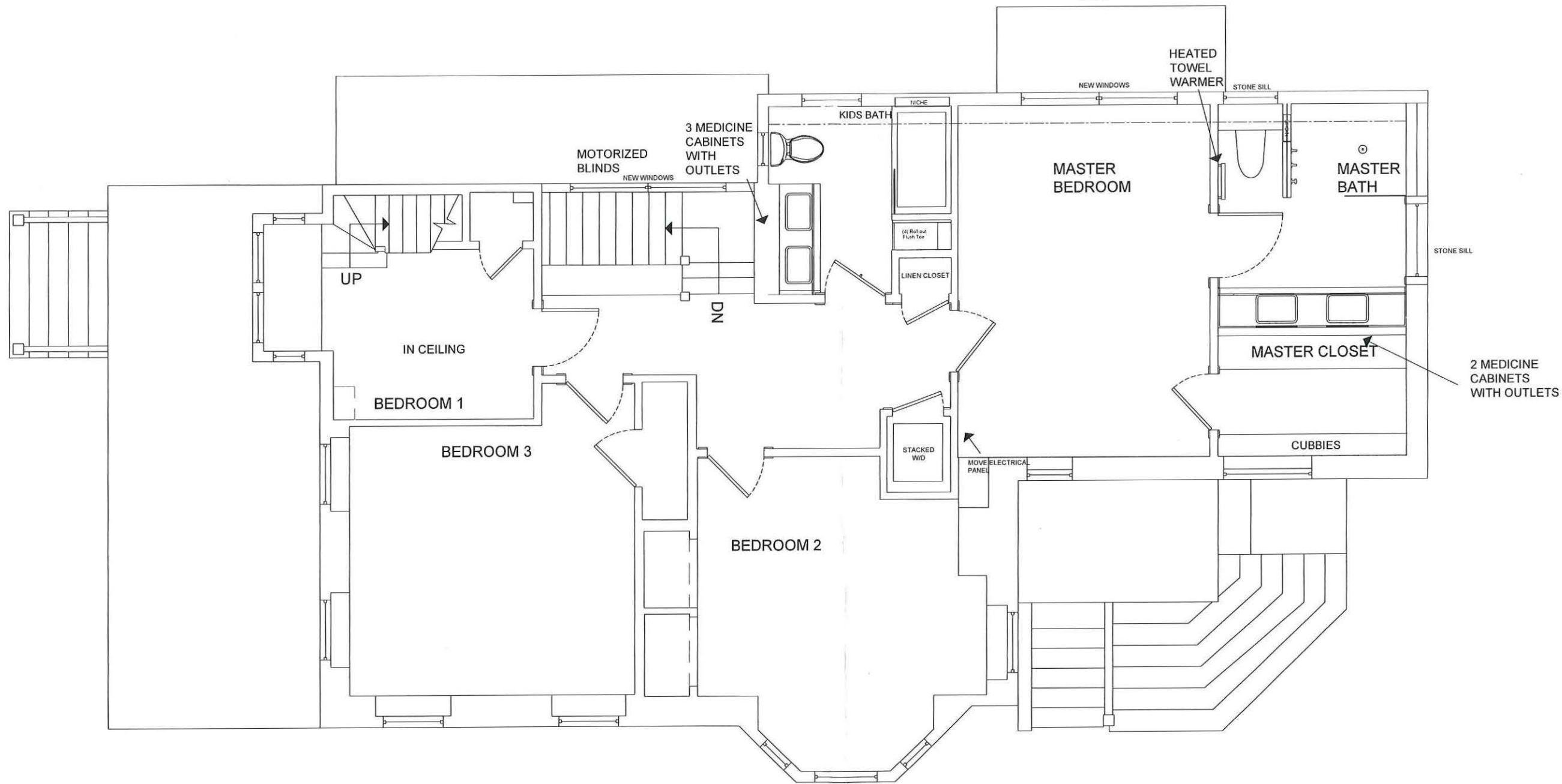
$\frac{3}{16}" = 1'-0"$

Date

3/4/21

Drawing No.

A1.0



1 SECOND FLOOR PLANS

2 CUPOLA FLOOR PLAN

ARCHITECTURAL DESIGNER -
 LEANNE SZWARC
 24 RAMSDELL AVENUE #2
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PROPOSED PLANS
 LAUREN STEWART & BEN VIGODA
 63 ORCHARD STREET
 CAMBRIDGE, MA 02138

Scale
 $\frac{3}{16}" = 1'-0"$

Date
 3/4/21

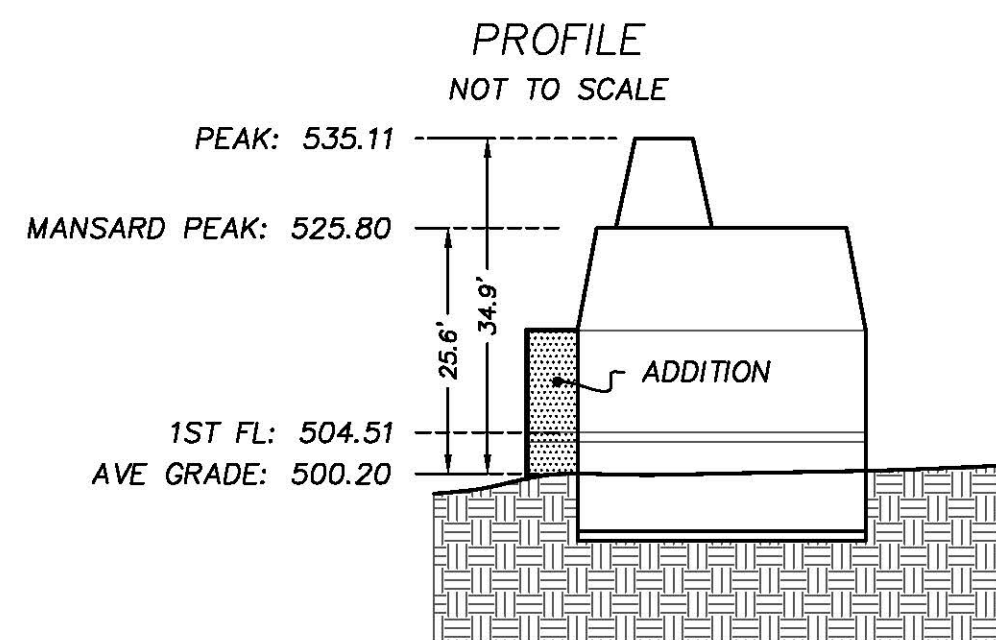
Drawing No.
A1.2

ACCORDING TO THE FEDERAL EMERGENCY
MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE
MAJOR IMPROVEMENTS ON THIS PROPERTY FALL
IN AN AREA DESIGNATED AS
ZONE: X
COMMUNITY PANEL: 25017C0438E
EFFECTIVE DATE: 06/04/2010

PREPARED FOR:
OWNERS OF RECORD:
BENJAMIN W. VIGODA
LAUREN M. STEWART
63 ORCHARD STREET
CAMBRIDGE, MA 02140

REFERENCES:
DEED: BK 73570; PG 244
PLAN: BK 2494; PG END
PL BK 1A; PL 4
PL BK 84; PL 8
PL BK 86; PL 8
PL BK 167; PL 25
PL BK 170; PL 19
PL BK 337; PL 28
PL BK 374; PL 30
LCC: 1614-A
6623-A
7757-A
13065
20657-A

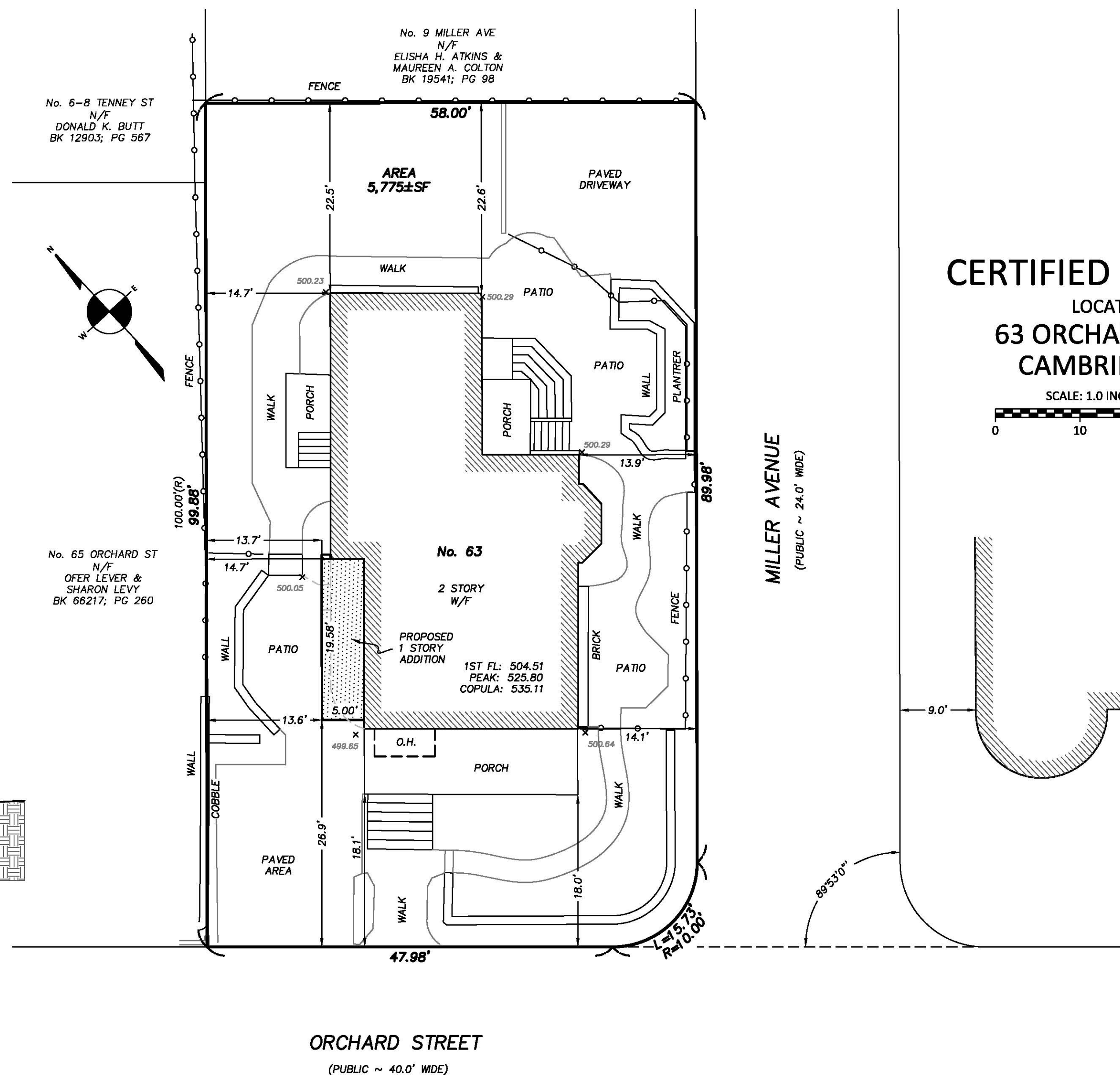
NOTES:
MAP/LOT: 180-22
ZONING: B



ZONING:
MAP/LOT: 180-22
DISTRICT: RES B, SINGLE FAMILY

		REQUIRED	EXISTING	PROPOSED
GFA		-	2,860±SF	2,956±SF
FAR	(MAX.)	0.5	0.495	0.51*
LOT SIZE	(MIN.)	5,000 SF	5,775±SF	5,775±SF
LOT AREA, DW/U	(MIN.)	2,500 SF	5,775±SF	5,775±SF
LOT WIDTH	(MIN.)	50'	58.00'	58.00'
FRONT SETBACK	(MIN.)	15'	18.0', 13.9'*	18.0', 13.9'*
SIDE SETBACK	(MIN.)	7.5' (SUM 20')	14.7'	13.6'
REAR SETBACK	(MIN.)	25'	22.5'*	22.5'*
HEIGHT	(MAX.)	35'	34.9'	34.9'
PVT. OP. SPACE	(MIN)	40%	56.9%	50.7%

* = NON-CONFORMING



CERTIFIED PLOT PLAN

LOCATED AT
63 ORCHARD STREET
CAMBRIDGE, MA

SCALE: 1.0 INCH = 10.0 FEET

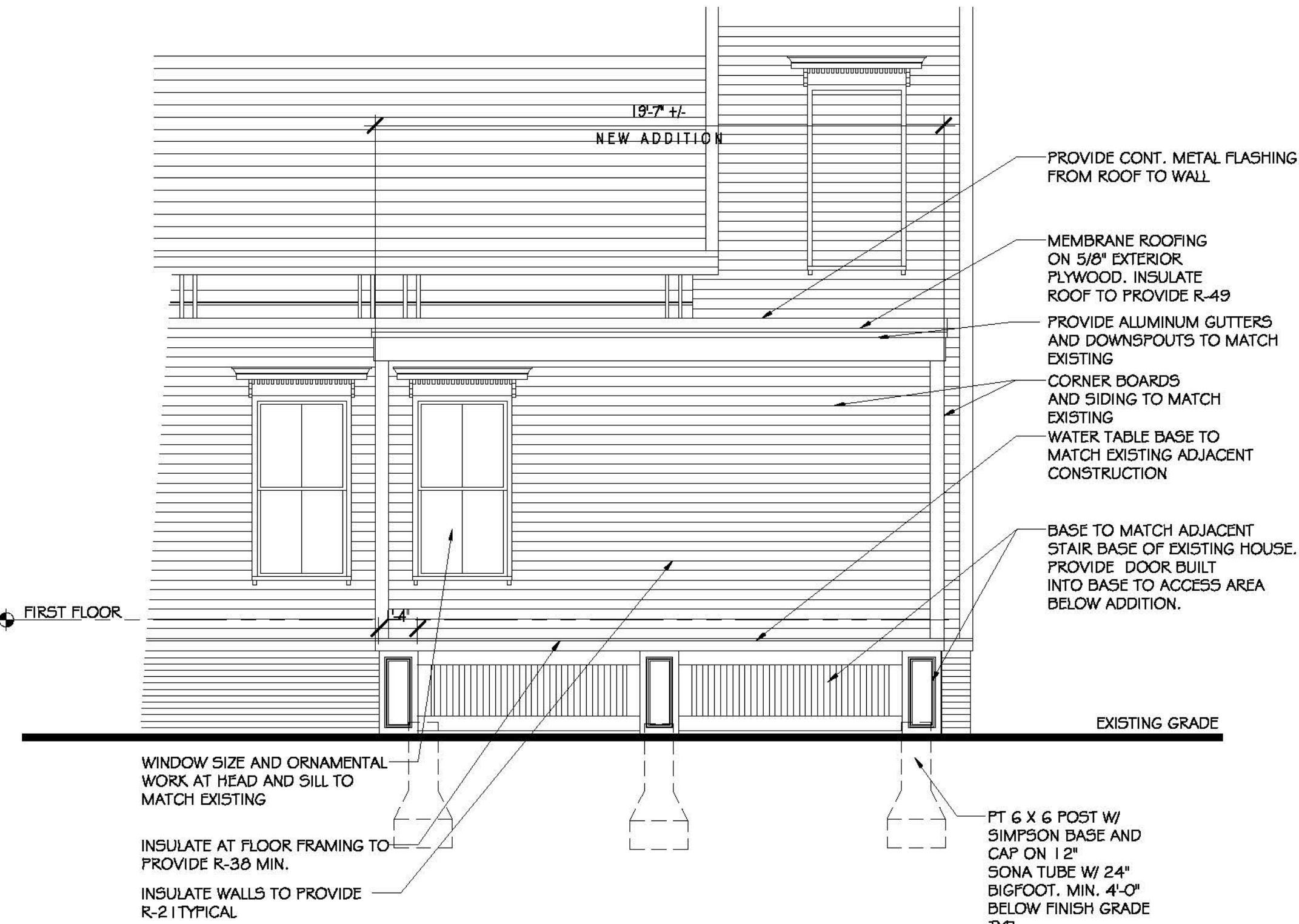


FIELD:	MO
DRAFT:	RAP
CHECK:	GCC
DATE:	03/30/21
JOB #	20-00653



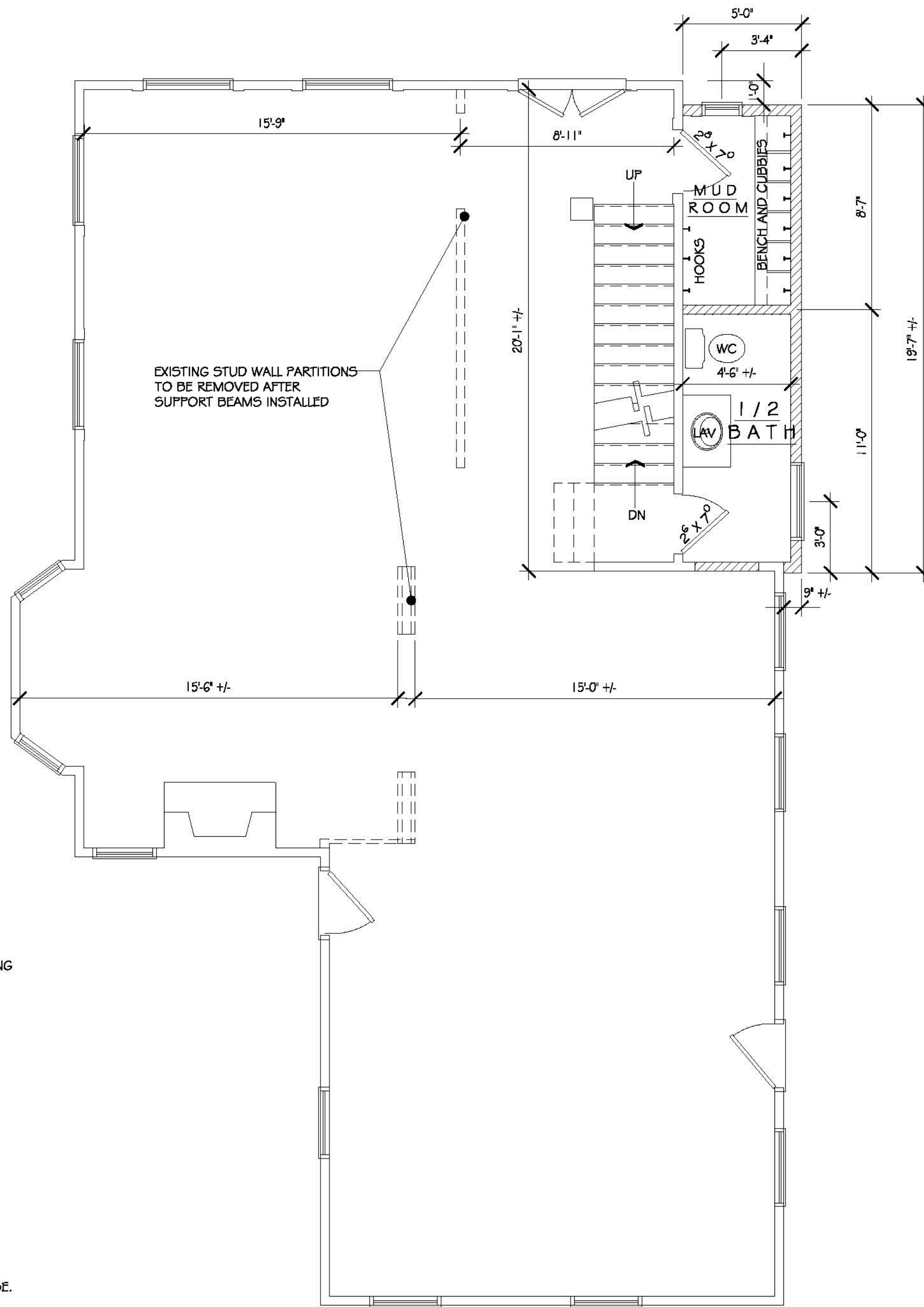
PARTIAL EXISTING SIDE ELEVATION

1/4" = 1'-0"



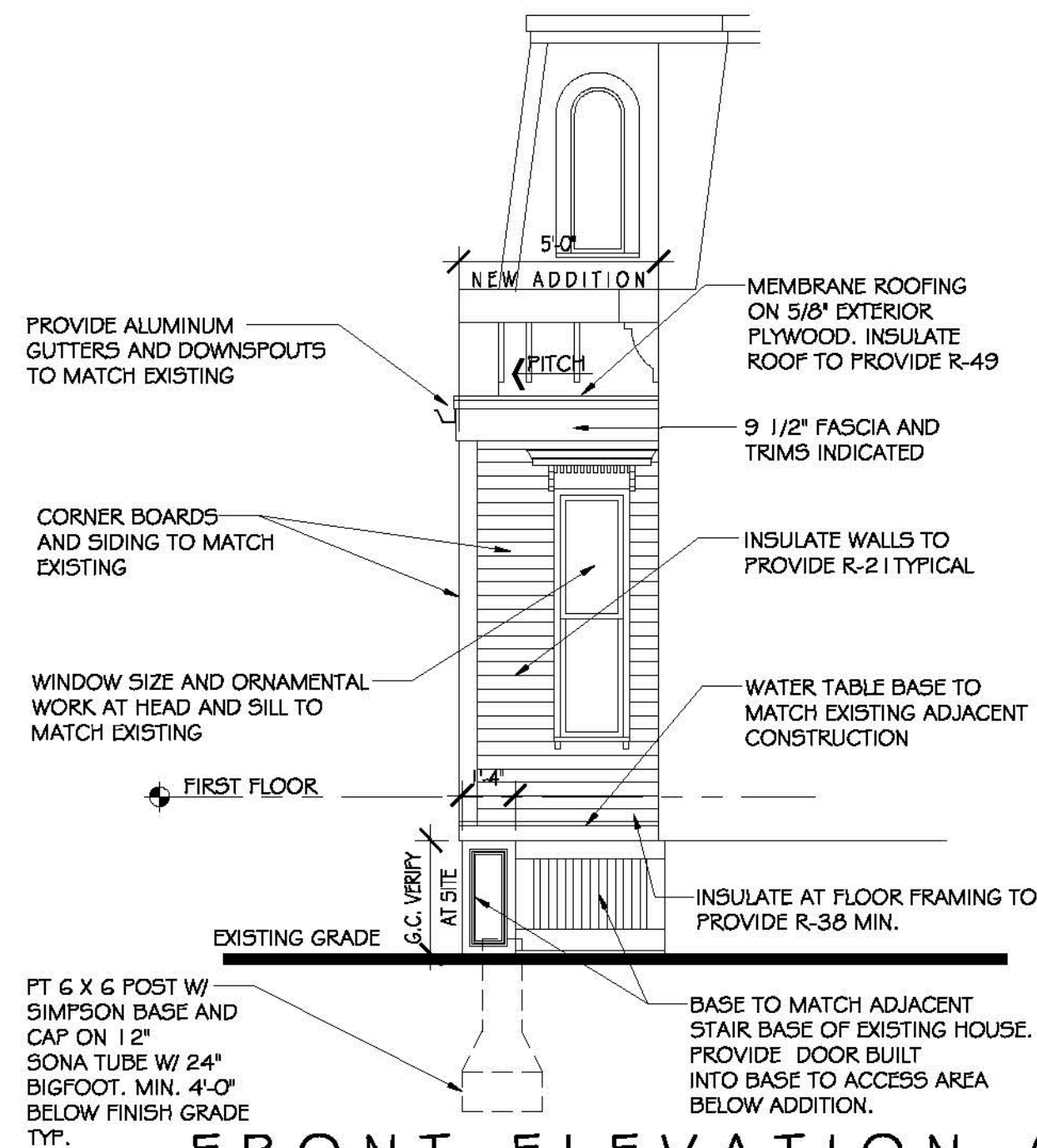
SIDE ELEVATION ADDITION

1/4" = 1'-0"



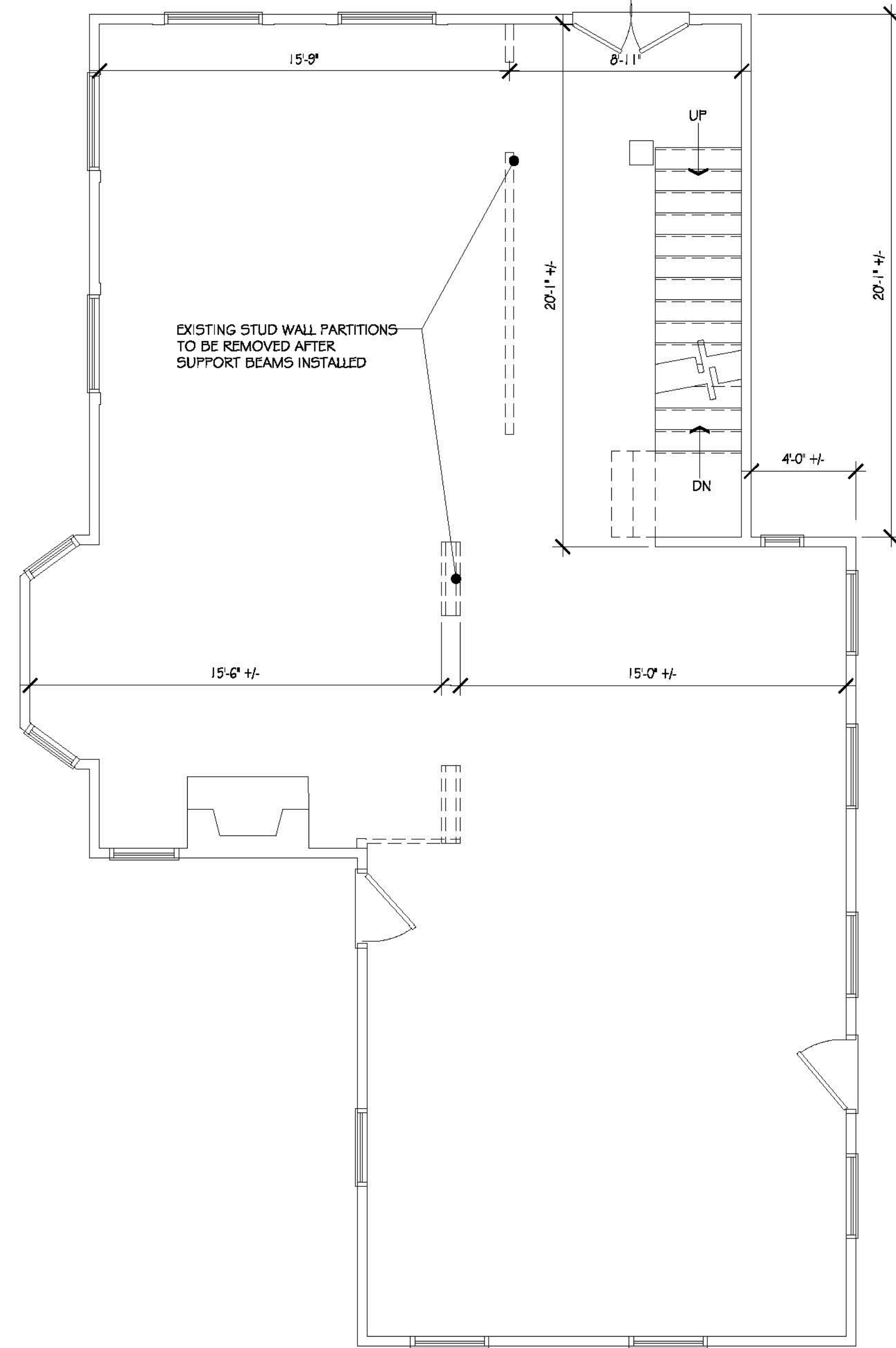
FIRST FLOOR PLAN ADDITION

1/4" = 1'-0"



FRONT ELEVATION ADDITION

1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN

1/4" = 1'-0"

REVISIONS

PROPOSED ADDITION #
RENOVATIONS
63 ORCHARD STREET
CAMBRIDGE, MA

EXISTING FLOOR PLAN
& NEW ADDITION

SCALE AS NOTED
DRAWN BY OJ/04/2021
CHECKED
DATE

DRAWING NUMBER

A.1

GENERAL NOTES:

GENERAL
ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE 9TH EDITION OF THE MASSACHUSETTS RESIDENTIAL BUILDING CODE AND THE REFERENCE STANDARDS INCLUDED THEREIN THAT ARE APPLICABLE TO THIS PROJECT.
THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT PRIOR TO PROCEEDING WITH THE AFFECTED WORK. ANY VARIATIONS OR SUBSTITUTIONS OF MATERIALS OR DETAILS FROM THOSE INDICATED ON THE DRAWINGS MAY BE MADE ONLY WITH PRIOR APPROVAL OF THE PROJECT ARCHITECT.
SHOP DRAWINGS FOR STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ARCHITECT AND A STAMPED APPROVAL RECEIVED BEFORE FABRICATION CAN PROCEED.
NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED OR CUT WITHOUT THE APPROVAL OF THE PROJECT ARCHITECT.
FOR EXACT LOCATION OF FLOOR & ROOF OPENINGS, SEE ARCHITECTURAL DRAWINGS.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SAFETY DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHEETING, SHORING AND GUYING STRUCTURES, BARRIERS AND SIGNAGE.
ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND SHOP DRAWINGS.
UNLESS OTHERWISE INDICATED, DETAILS SHOWN ON ANY DRAWING ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, CO-ORDINATION OF OTHER TRADES AND TECHNIQUES TO PRODUCE A SOUND AND QUALITY BUILDING. ALL DIMENSIONS, ELEVATIONS AND CONDITIONS MUST BE VERIFIED BY THE GENERAL CONTRACTOR OR RESPONSIBLE TRADES PRIOR TO PRODUCTION OF SHOP DRAWINGS AND/OR COMMENCEMENT OF THE WORK.
DESIGN LOADS
THE BUILDING STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING LOADS ACCORDANCE WITH THE 9TH EDITION OF THE MASSACHUSETTS STATE BUILDING CODE.
SNOW LOAD: ZONE 2 FLAT ROOF SNOW $P_f = 40$ PSF
DRIFTING AND SLIDING SNOW INCLUDED WHERE APPLICABLE
FLOOR LIVE LOAD:
RESIDENTIAL LIVING AREAS - 40 PSF
RESIDENTIAL SLEEPING AREAS - 30 PSF
WIND: MAIN WIND FORCE RESISTANCE SYSTEM ZONE 3 EXPOSURE
BASIC WIND SPEED 100 MPH HEIGHT 0 - 50 FEET

STRUCTURAL LUMBER

A. CODE CONFORMANCE
NATIONAL FOREST PRODUCTS ASSOCIATION "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" INCLUDING SUPPLEMENT.
AMERICAN INSTITUTE OF TIMBER CONSTRUCTION "TIMBER CONSTRUCTION STANDARDS" - AITC 100
US DEPARTMENT OF COMMERCE - PS 20 FOR LUMBER
US DEPARTMENT OF COMMERCE - PS 166 FOR SOFTWOOD PLYWOOD
AMERICAN WOOD PRESERVERS INSTITUTE - SFI-1 STANDARDS
B. MATERIALS
SOLID LUMBER (19% MAXIMUM MOISTURE CONTENT)
STUDS - 2X4, 2X6, SPRUCE PINE FIR, STUD GRADE
MEMBERS - 2X6, 2X8, 2X10, 2X12 - HEM FIR NO. 2, 15 KD
BASE DESIGN VALUES - $F_b = 980$ PSI, $F_v = 70$ PSI, $E = 1,200$ KSI
LAMINATED VENEER LUMBER BEAMS (LVL) - GLUE LAMINATED VENEER LUMBER OF SOUTHERN PINE WITH MINIMUM DESIGN VALUES: $F_v = 265$ PSI, $F_b = 2800$ PSI, $E = 2,000,000$ PSI
PARALLEL STRAND LUMBER BEAMS (PSL) - GLUE LAMINATED VENEER LUMBER OF SOUTHERN PINE WITH MINIMUM DESIGN VALUES: $F_v = 280$ PSI, $F_b = 2900$ PSI, $E = 1,800,000$ PSI
BOLTS, NUTS & WASHERS - ASTM - A307
NAILS - COMMON WIRE, EXCEPT BARBED NAILS AT PLYWOOD SHEATHING.
GALVANIZED NAILS AT EXPOSED FRAMING.
METAL CONNECTORS - APPROVED ITEMS OF PROPER TYPE & GAUGE AS SHOWN ON DRAWINGS - GALVANIZED.
ALL CONNECTORS AND FASTENERS AT PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
PLYWOOD - APA RATED SHEATHING WITH EXTERIOR GLUE.
ROOF - 5/8" THICK
WALLS - 1/2" THICK
SUBFLOORS - 3/4" THICK TONGUE & GROOVE
PRESSURE TREATED WOOD AT ALL EXPOSED FRAMING WITH APPROVED CLEAR WATER BORNE PRESERVATIVE. ALL MEMBERS TO BE STAMPED BY APPROPRIATE AGENCY.
C. EXECUTION
ALL WOOD MEMBERS TO BE NAILED IN ACCORDANCE WITH MASS STATE CODE APPENDIX C.
PLYWOOD SHALL BE NAILED AT 6" O.C. AT ALL JOINTS AND EDGES & 10" O.C. AT OTHER SUPPORTS. PLYWOOD SUB-FLOOR SHALL BE GLUED TO JOIST, BEFORE NAILING, WITH APPROVED ADHESIVE.
PROVIDE NAILING AT ALL CONNECTORS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

CONCRETE WORK

A. CODE CONFORMANCE

COMPLY WITH THE LATEST RECOMMENDATIONS OF THE FOLLOWING STANDARDS:
ACI 301 - SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING
ACI 315 - DETAILING REINFORCING STEEL
ACI 317 - FORMWORK
ACI 318 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
ACI 318 CHAPTER 22 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL PLAIN CONCRETE

B. MATERIALS

CONCRETE: APPROVED READY MIXED CONCRETE HAVING AN ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. SLUMP 3 - 5 INCHES.
REINFORCING: DEFORMED BARS ASTM A615 GRADE 60 EXCEPT TIES AND STIRRUPS MAY BE GRADE 40.

FORMWORK: SMOOTH PLYWOOD FORMS FOR EXPOSED SLABS OR VERTICAL SURFACES. BOARD FORMS FOR FOOTINGS OR UNEXPOSED CONCRETE SURFACES. NO EARTH FORMS PERMITTED.

SHRINKAGE CONTROL FIBERS (FIBERMESH) - INSTALL IN CONCRETE MIX PER MANUFACTURERS SPECIFICATIONS.

GROUT: NON-METALLIC NON - SHRINK TYPE UNDER BASE PLATES OR BEARING PLATES.

C. EXECUTION

CONCRETE: PLACE CONCRETE BY APPROVED METHODS OF ACI 304

FOUNDATIONS

EXCAVATE TO LINES AND GRADES REQUIRED TO PROPERLY INSTALL THE FOUNDATIONS ON UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL APPROVED BY THE PROJECT ARCHITECT. REMOVE ALL SILTY TOPSOIL OR OBJECTIONAL MATERIAL FROM UNDER SLABS ON GRADE. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING ANY CONCRETE.

EXTERIOR WALL FOOTINGS ARE TO BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FT. BELOW THE LOWEST ADJACENT GROUND SURFACE EXPOSED TO FREEZING. ANY ADJUSTMENT OF ELEVATIONS OF FOOTINGS DUE TO FIELD CONDITIONS MUST HAVE THE EXPRESSED APPROVAL OF THE PROJECT ARCHITECT.

SOIL BEARING CAPACITY - NATURAL UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL HAVING AN ALLOWABLE BEARING PRESSURE OF 4000 POUNDS PER SQ. FT.

BACKFILL THE EXCAVATION WITH APPROVED GRANULAR MATERILA PLACED IN 6 IN. LAYERS AND COMPACTED TO 95% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557, METHOD D AFTER BOTTOM OF EXCAVATION HAS BEEN APPROVED BY THE PROJECT ARCHITECT.

BACKFILLING AGAINST FOUNDATION WALLS TO BE DONE ONLY AFTER WALLS ARE BRACED TO PREVENT MOVEMENT.

WHERE NEW FOUNDATIONS ARE BUILT IN THE SAME LOCATION AS REMOVED EXISTING FOUNDATIONS, THEY SHALL BEAR ON UNDISTURBED SOIL AT OR BELOW THE ELEVATION OF THE EXISTING FOUNDATIONS.

REINFORCING: PLACE REINFORCING USING STANDARD BAR SUPPORTS TO PROVIDE PROPER CLEARANCE AND PREVENT DISPLACEMENT DURING CONCRETE OPERATIONS. LAP CONTINUOUS BARS 40 DIAMETERS.

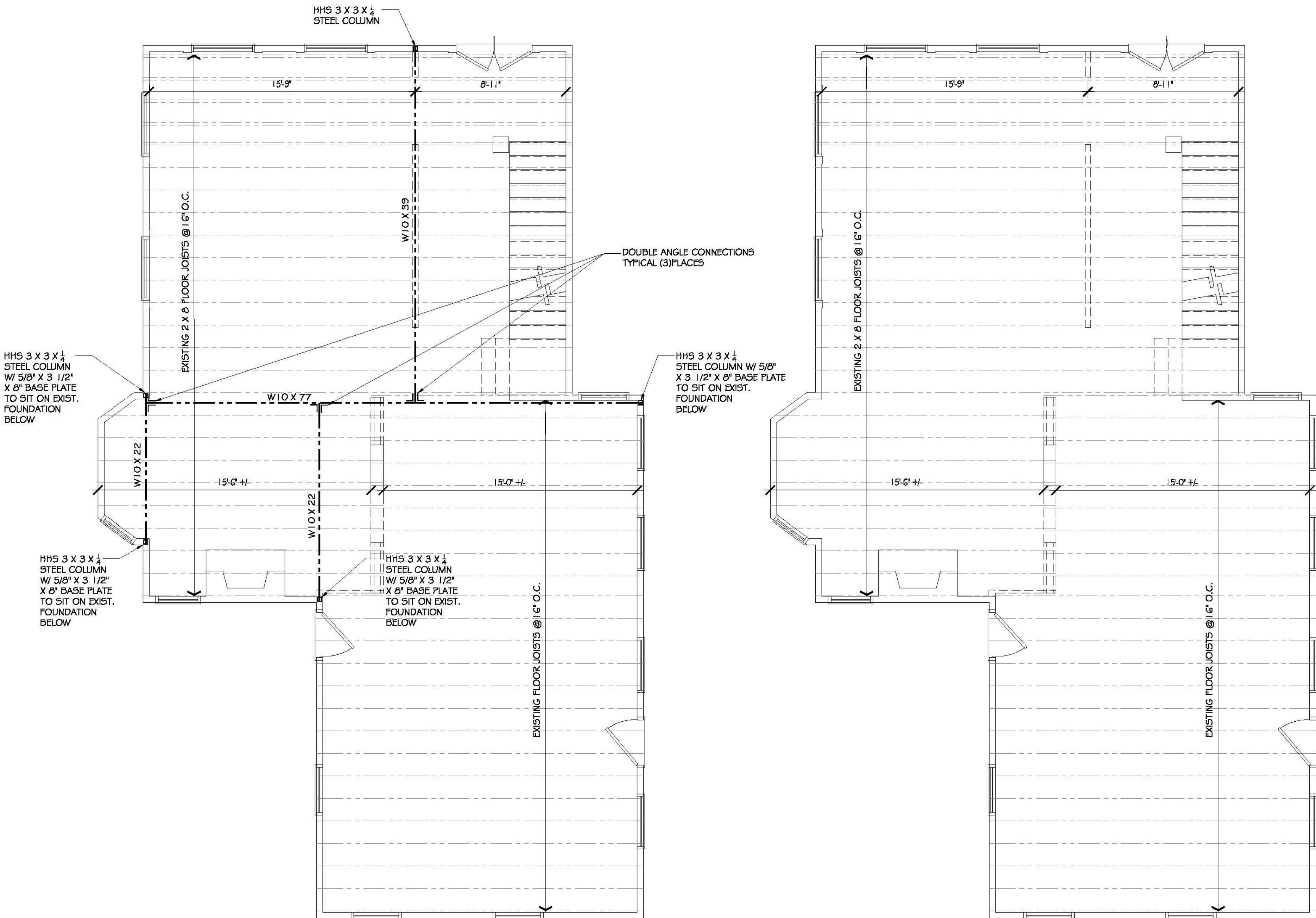
MINIMUM CONCRETE COVER:
CONCRETE PLACED AGAINST EARTH - 3 IN.
FORMED CONCRETE EXPOSED TO EARTH, WEATHER OR WATER - 1 1/2 IN., 2 INCHES FOR #6 BAR OR LARGER.
SLABS ON GRADE - 1 IN. FROM TOP

FORMWORK - PROPERLY BRACE AND SHORE FORMWORK TO MAINTAIN ALIGNMENT AND TOLERANCES IN ACCORDANCE WITH ACI 347.

REINFORCING BARS SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF THE CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS".

PROVIDE TWO #5 BARS EACH SIDE OF ALL OPENINGS IN WALLS AND SLABS. BARS TO EXTEND 24" BEYOND EDGE OF OPENINGS. (FOR SIZE AND LOCATION OF OPENINGS, SEE ARCHITECTURAL DRAWINGS).

DETAILS NOT SHOWN ON DRAWINGS SHALL BE IN ACCORDANCE WITH THE ACI DETAILING MANUAL (ACI 315).



NEW SUPPORT BEAMS

1/4" = 1'-0"

EXISTING SECOND FLOOR

FRAMING PLAN

1/4" = 1'-0"



REVISIONS

PROPOSED ADDITION #
RENOVATIONS
63 ORCHARD STREET
CAMBRIDGE, MA

EXISTING FLOOR PLAN
& FRAMING PLAN

SCALE
AS NOTED

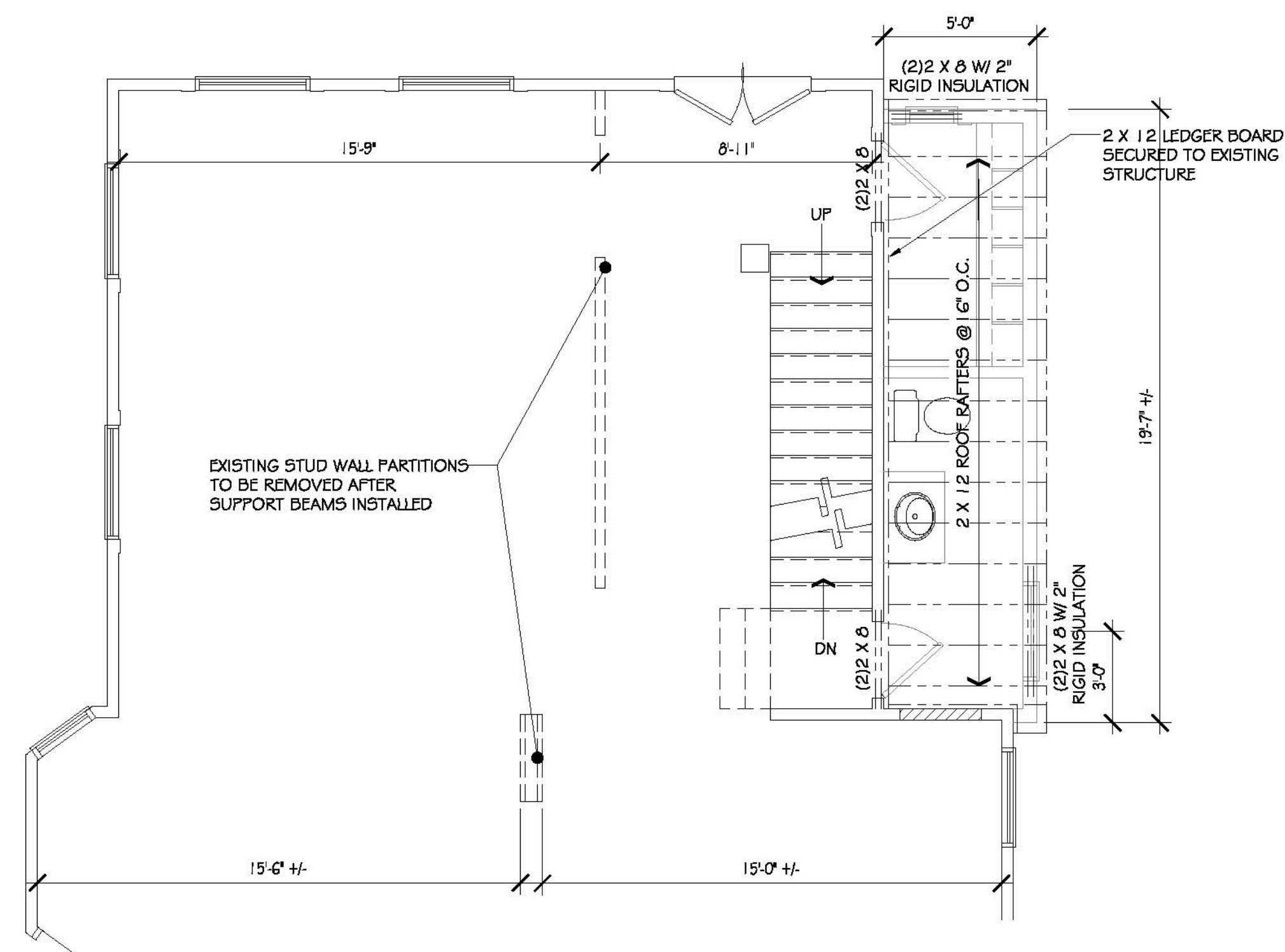
DRAWN BY
01/04/2021

CHECKED

DATE

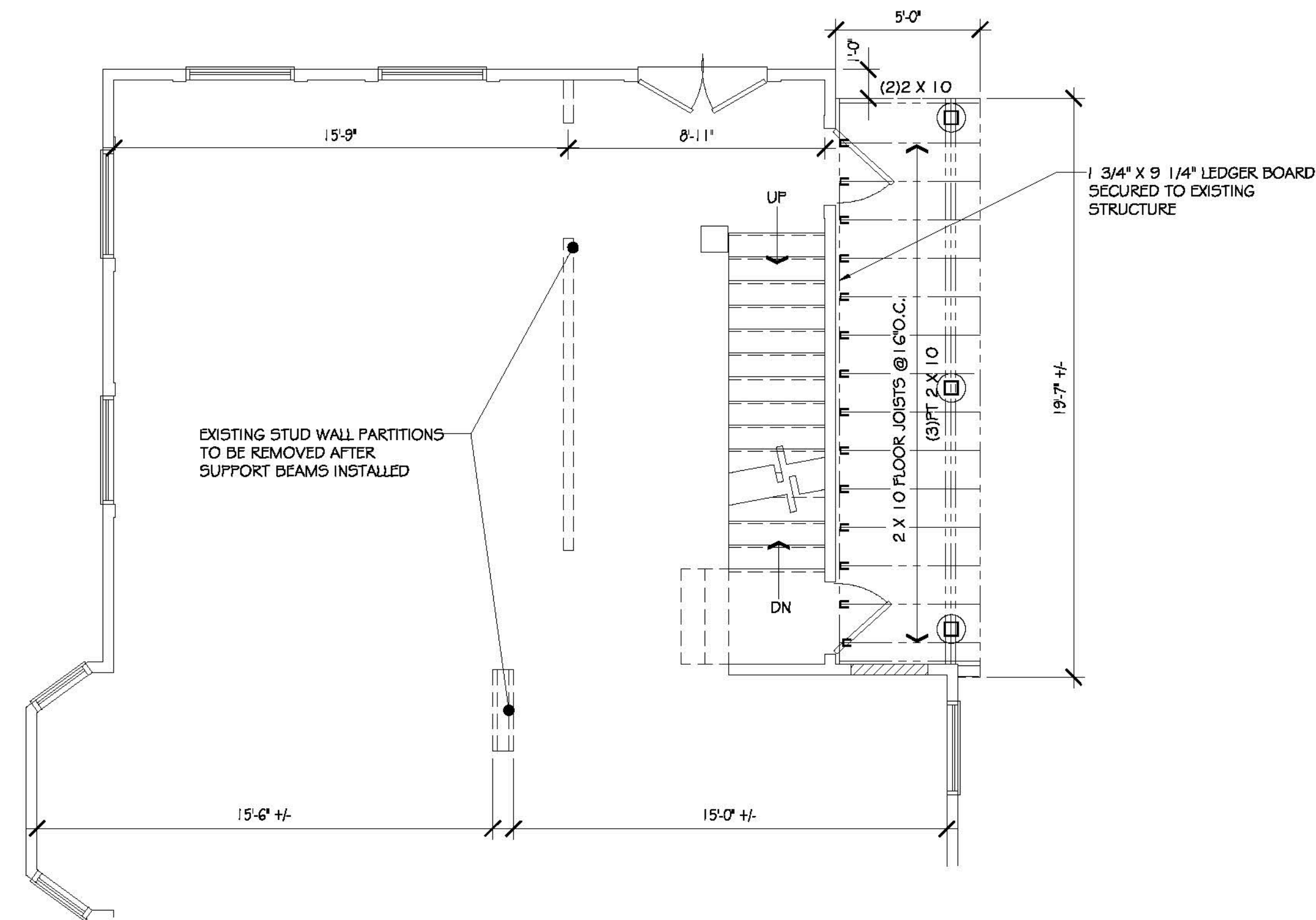
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S.1



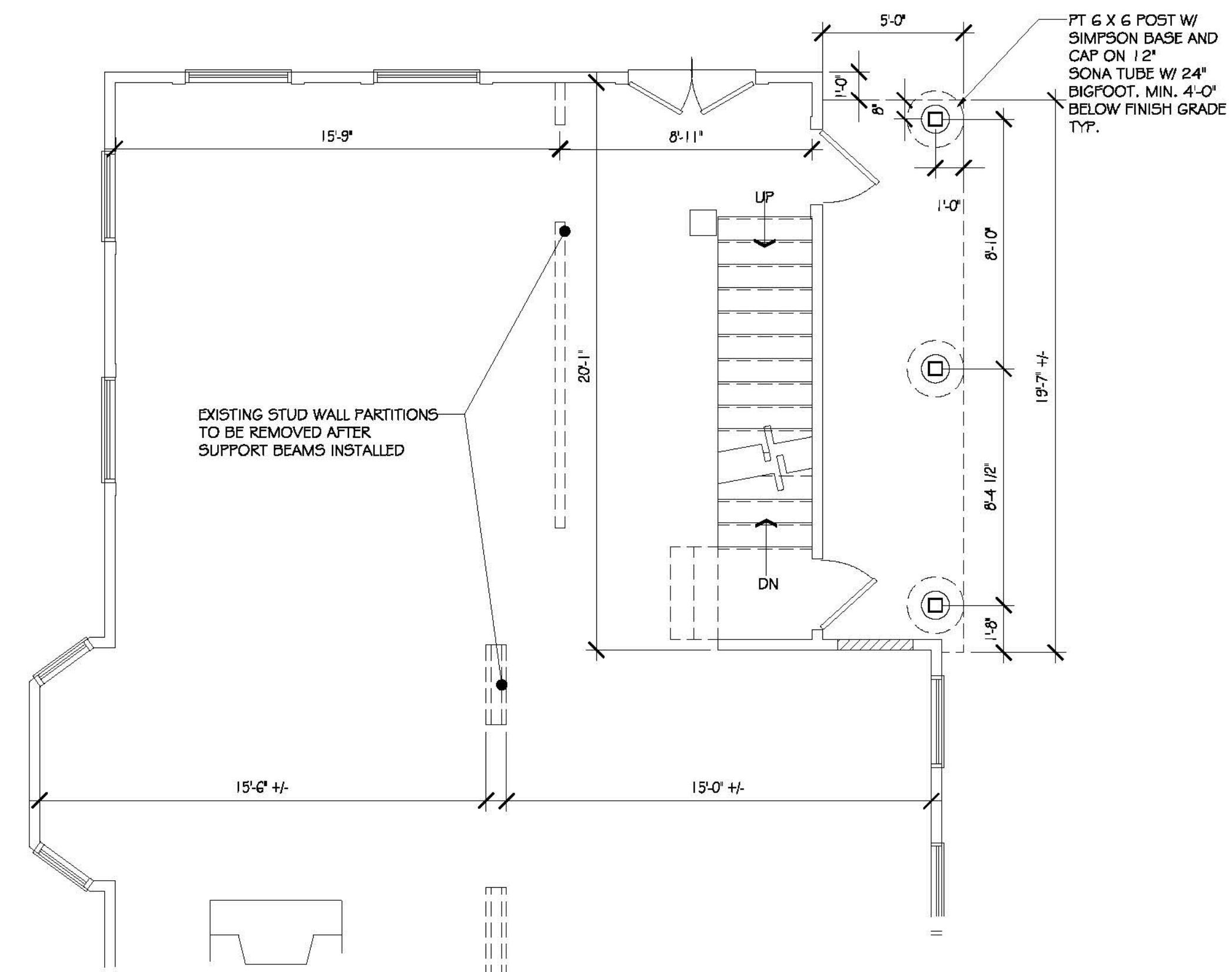
ROOF FRAMING PLAN
1/4" = 1'-0"

3



FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"

2



FOUNDATION PLAN
1/4" = 1'-0"

1



REVISIONS

PROJECT NUMBER
PROPOSED ADDITION #
RENOVATIONS
63 ORCHARD STREET
CAMBRIDGE, MA

DRAWING TITLE
FOUNDATION
& FRAMING PLANS
ADDITION

SCALE AS NOTED
DRAWN BY OJ/04/2021
CHECKED
DATE

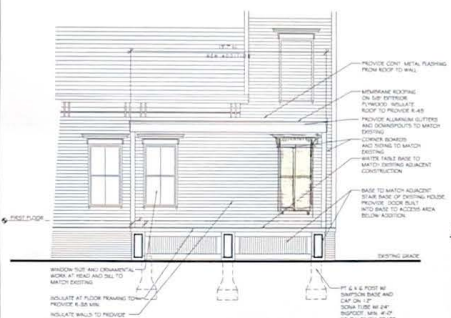
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S.2

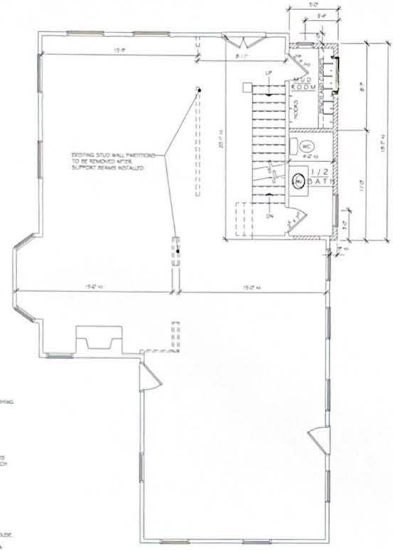




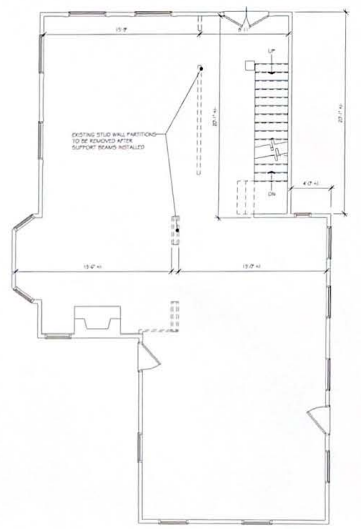
PARTIAL EXISTING SIDE ELEVATION
1/8" = 1'-0"



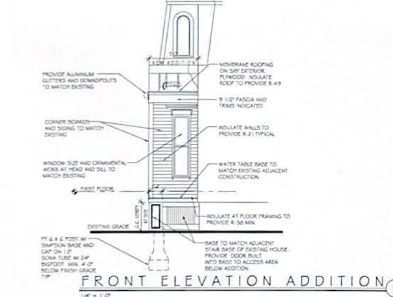
SIDE ELEVATION ADDITION
1/8" = 1'-0"



FIRST FLOOR PLAN ADDITION
1/8" = 1'-0"



EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"



FRONT ELEVATION ADDITION
1/8" = 1'-0"



NO.	REVISION	DATE
1	ISSUED FOR PERMIT	01/20/2021
2	REVISED PER COMMENTS	02/02/2021
3	REVISED PER COMMENTS	02/02/2021
4	REVISED PER COMMENTS	02/02/2021
5	REVISED PER COMMENTS	02/02/2021
6	REVISED PER COMMENTS	02/02/2021
7	REVISED PER COMMENTS	02/02/2021
8	REVISED PER COMMENTS	02/02/2021
9	REVISED PER COMMENTS	02/02/2021
10	REVISED PER COMMENTS	02/02/2021
11	REVISED PER COMMENTS	02/02/2021
12	REVISED PER COMMENTS	02/02/2021
13	REVISED PER COMMENTS	02/02/2021
14	REVISED PER COMMENTS	02/02/2021
15	REVISED PER COMMENTS	02/02/2021
16	REVISED PER COMMENTS	02/02/2021
17	REVISED PER COMMENTS	02/02/2021
18	REVISED PER COMMENTS	02/02/2021
19	REVISED PER COMMENTS	02/02/2021
20	REVISED PER COMMENTS	02/02/2021

PROPOSED ADDITION &
RENOVATIONS
63 ORCHARD STREET
CAMBRIDGE, MA

EXISTING FLOOR PLAN
& NEW ADDITION

SCALE	AS SHOWN
DATE	01/20/2021
BY	JETA
CHECKED	JETA

DATE PLOTTED

A. I

[illegible]

63 Orchard St.

Petitioner

180-20
DELAURE, CHRISTOPHE T. &
ISABELLE H. DELAURE
11 MILLER AVE
CAMBRIDGE, MA 02140

180-48
FENN, GEORGE W. & PAIGE M. ARNOF-FENN
57 ORCHARD ST
CAMBRIDGE, MA 02140-1326

JAMES SULLIVAN
27 SYLVIA ROAD
MEDFORD, MA 02155

181-71
WHEELER, GORDON &
NANCY LUNNEY WHEELER
302 MOORE ST
SANTA CRUZ, CA 95060

180-25
SHEEHAN, MARY E., A LIFE ESTATE
14-16 TENNEY ST
CAMBRIDGE, MA 02140-1312

180-22
VIGODA, BENJAMIN LAUREN M. STEWART
63 ORCHARD ST
CAMBRIDGE, MA 02140

181-69
NOVOTNY, LIA C. & CHAD H. NOVOTNY
60 ORCHARD ST
CAMBRIDGE, MA 02139

180-50
BOYCE, DAVID S. & MARY LOU DYMSKI
TRUSTEE, THE BOYSKI REV TRUST
10 MILLER AVE
CAMBRIDGE, MA 02140

180-52
BUTT, DONALD K.
6 TENNEY ST
CAMBRIDGE, MA 02140-1312

180-64
OFER, LEVY & SHARON LEVY
65 ORCHARD ST
CAMBRIDGE, MA 02140

181-68
PACHECO, ALBERT M.
LEONTINA O. PACHECO, TRS
54 LARCHWOOD DR
CAMBRIDGE, MA 02138

181-19
FOX DEBRA E
TRS DEBRA E FOX 2002 TRUST
35 BLAKE ST
CAMBRIDGE, MA 02140

180-49
WHITE, HUGH R. AND SUSAN P. TIERSCH
8 MILLER AVE
CAMBRIDGE, MA 02140

180-21
COLTON MAUREEN A
TRS MAUREEN A COLTON REVOCABLE TR
9 MILER AVE
CAMBRIDGE, MA 02140

180-51
MILLER, CARSTEN B. & MOLLY C READY
TRS. OF THE MILLER-READY REVOC LIVING TRT
12 TENNEY ST
CAMBRIDGE, MA 02140

180-65
DORAN, MARGUERITE A. &
EDWARD M. DORAN JR.
69 ORCHARD ST.
CAMBRIDGE, MA 02140

Pacheco, Maria

63 Orchard St.

From: Debra Fox <dfox228@gmail.com>
Sent: Sunday, May 16, 2021 7:54 PM
To: Pacheco, Maria
Subject: BZA-113723

I am a homeowner at 35 Blake Street. I have no objection to the zoning relief requested. Debra Fox

Pacheco, Maria

From: Hugh White <hugwhite@us.ibm.com>
Sent: Thursday, May 20, 2021 9:43 AM
To: Pacheco, Maria
Subject: We fully support the addition project at 63 Orchard.

Hi Maria:

This is in relation to the zoning board meeting 5/27 @ 7:15...thanks

Hugh White
8 Miller Avenue
Cambridge
617.605.9163