CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

BZA APPLICATION FORM

Plan No: BZA-013467-2017

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : √ Variance : _____ Appeal : _____

PETITIONER : Zambrero NE Operations LLC - C/O Kevin P. Crane, Esq.

PETITIONER'S ADDRESS : 104 Mt. Auburn Street, P.O. Box 381030, Cambridge, MA 02238

LOCATION OF PROPERTY : 71 Mt Auburn St Cambridge, MA 02138

TYPE OF OCCUPANCY : fast order food establishment

ZONING DISTRICT : Business B/ Harvard Square OD

REASON FOR PETITION :

Change in Use / Occupancy

DESCRIPTION OF PETITIONER'S PROPOSAL :

Convert existing fast order food establishment (Boloco) to a different fast order food establishment (Zambrero) with continuing Mexican style cuisine.

SECTIONS OF ZONING ORDINANCE CITED :

Article 4.000 Section 4.35(o) (Fast Order Food Establishment).
Article 11.000 Section 11.30 (Fast Order Food Establishment).
Article 10.000 Section 10.40 (Special Permit).

Original Signature(s) : _____
(Petitioner(s) / Owner)

Bianca Azzopardi
(Print Name)

Address : c/o Kevin P. Crane, P.O. Box 381030
Cambridge, MA 02238

Tel. No. : 617-876-8500

E-Mail Address : kevin@cranelawoffice.com

Date : 2 / 6 / 2017

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 71 Mt Auburn St Cambridge, MA 02138 (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The petitioner proposes a fast order food establishment in a location where one such estabishment alraeady exists. Furthermore, the type of food to be served Mexican style cuisine is similar to the present establishment. The proposal calls for 26 interior seats and 9 seats on the outside sidewalk adjacent to the premises. The petitioner's menu includes moderately priced items geared to meet the sibstantial community demands from students office workers and tourists in the area.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed establishment will attract primarily walk-in patrons as opposed to patrons arriving by automobile. There is already a significant amount of foot traffic in this section of Harvard Square and this use is consistent with the established character of the street. Furthermore, given the similar nature of the proposed use to the existing use, it is not anticipated that traffic patterns would be adversely affected.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The proposed use will supplement adjacent uses including existing fast order food establishments and will provide for food service to a population which already exists on adjacent ues.

D) Nuisance or hazard would not be created to the detriment of the health safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The proposed use will be professionally operated relative to health and safety issues similar to the petitioner operations all over the world. Adequate garbage/rubbish receptacles shall be prominent on the premises and maintained on a regular basis.

E) For other reasons the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

There are no proposed changes to the existing building facade and there is no anticipated increase in traffic or parking demands as a result of the operation of the premises. The proposed establishment is consistent with other uses in the Harvard Square community which includes several other take out restaurants similar in size and scope to the petitioner's proposed use.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT : Law office of Kevin P. Crane **PRESENT USE/OCCUPANCY :** fast food

LOCATION : 71 Mt Auburn St Cambridge, MA 02138 **ZONE :** Business B/ Harvard Square

PHONE : **REQUESTED USE/OCCUPANCY :** fast food

		EXISTING CONDITIONS	REQUESTED CONDITIONS	ORDINANCE REQUIREMENTS[1]	
TOTAL GROSS FLOOR AREA:		14,222	14,222	12,015	(max.)
LOT AREA:		4,369	4,369	none	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA:[2]		3.26	3.26	2.75	(max.)
LOT AREA FOR EACH DWELLING UNIT:		none	none	300	(min.)
SIZE OF LOT:	WIDTH	88.92	88.92	none	(min.)
	DEPTH	72.0	72.0	none	
SETBACKS IN FEET:	FRONT	0	0	0	(min.)
	REAR	0	0	0	(min.)
	LEFT SIDE	0	0	0	(min.)
	RIGHT SIDE	0	0	0	(min.)
SIZE OF BLDG.:	HEIGHT	50	50	80	(max.)
	LENGTH	86	86	none	
	WIDTH	30'/65'	30'/65'	none	
RATIO OF USABLE OPEN SPACE TO LOT AREA:[3]		0	0	0	(min.)
NO. OF DWELLING UNITS:		0	0	43	(max.)
NO. OF PARKING SPACES:		0	0	n/a	(min./max)
NO. OF LOADING AREAS:		0	0	0	(min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:		none	none	none	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

On first there is a bank and Harvard Student Agencies cleaners. The upper floors of the structure are occupied by general office users

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, S ECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

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2017 JUN -5 PM 12: 12

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

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Date : 2 / 6 / 2017

City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: _____ **Date:** 6/22/17
(Print)

Address: 71 Mt. Auburn St. **Case No.** BZA 013467-2017

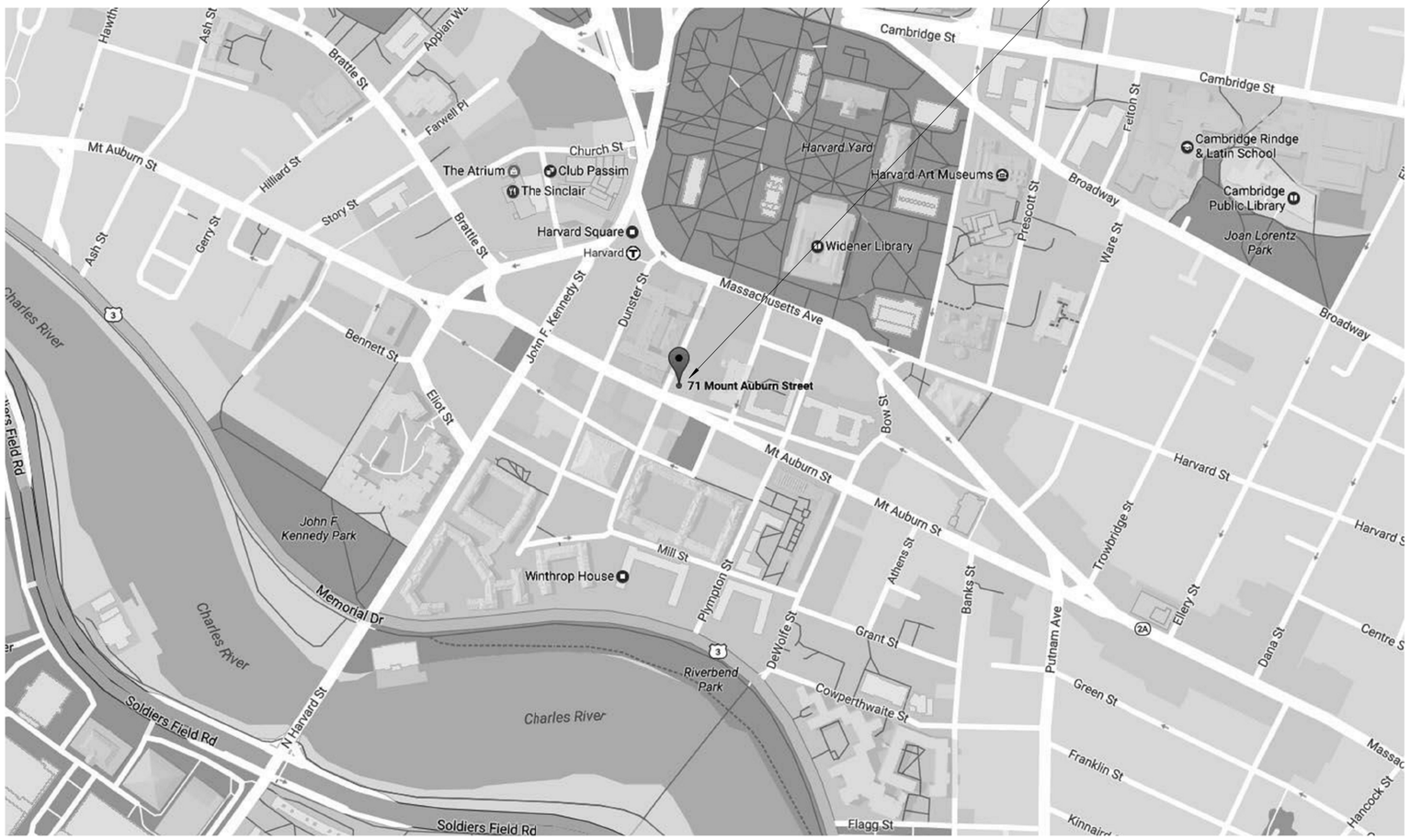
Hearing Date: 7/13/17

Thank you,
Bza Members

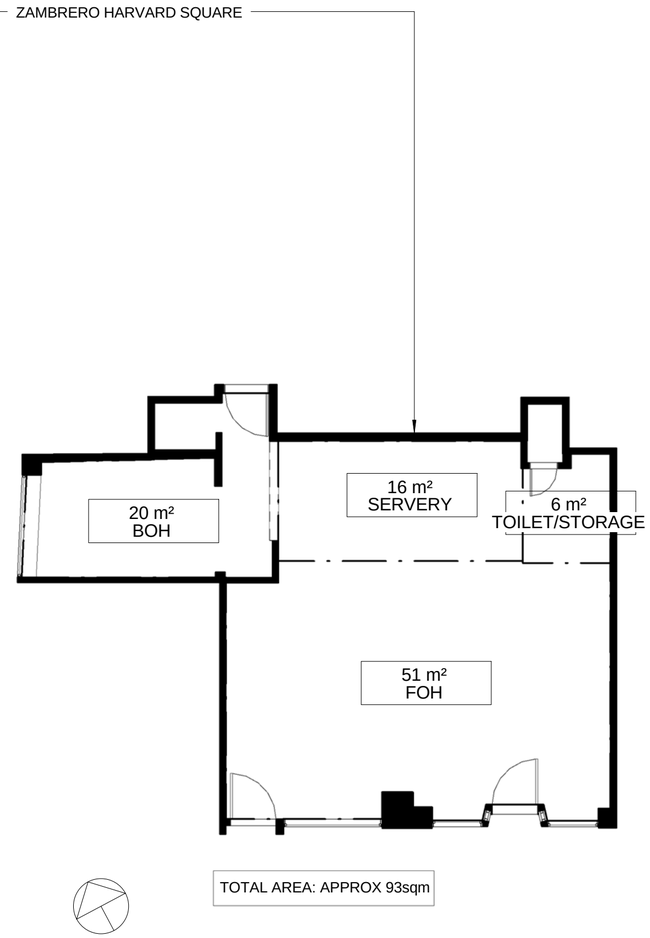
PROJECT NAME: ZAMBRERO HARVARD SQUARE
PROJECT ADDRESS: 71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA
HEAD OF BUILDING AND DESIGN: SALLY FONG SALLY@ZAMBRERO.COM
DESIGNER: CHRISTIAN MEOGROSSI C.MEOGROSSI@ZAMBRERO.COM
HYDRAULIC ENGINEER:
MECHANICAL ENGINEER:
LANDLORD/REPRESENTATIVE:

DRAWING LIST

DRAWING NO.	DRAWING TITLE	CURRENT REV.	REVISION DESRIPTION	REVISION DATE	DRAWN BY	CHECKED BY
D000	COVER PAGE	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D002	SCHEDULES	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D004	GRAPHICS SCHEDULE	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D101	EXISTING & DEMOLITION PLAN	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D102A	PROPOSED FLOOR PLAN	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D103	SETOUT & PARTITION PLAN	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D104	REFLECTED CEILING PLAN	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D200	ELEVATIONS - SHOPFRONT & FRONT OF HOUSE	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D201	ELEVATIONS - SERVERY & BACK OF HOUSE	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D300	PERSPECTIVES	B	PRELIMINARY CONCEPT	23.05.17	CM	SF



1 D000 SITE PLAN
1 : 500



2 D000 AREA PLAN
1 : 100

Zambrero Pty Ltd
Suite 2402, 1 Alfred St
Sydney, NSW 2000
Australia
tel: +(61) 2 9252 9673

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REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM CHK BY: SF

SCALE @ A2: As indicated

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
COVER PAGE

DRAWING NO.:
D000

EQUIPMENT SCHEDULE

CODE	QTY	ITEM	MODEL	MANUFACTURER	SUPPLIER	PURCHASED BY	INSTALLED BY	COMMENTS
E01	1	EFTPOS MACHINE	TBC	TBC	TBC	ZAMBRERO	ZAMBRERO	
E02	1	CASH REGISTER AND POS UNIT		TRT	TRT	ZAMBRERO	ZAMBRERO	
E03	1	STEREO AMP			BUILDER	BUILDER	BUILDER	BUILDER TO SUPPLY DUAL ZONE AMP
E04	1	SAFE	SSD45K OR SIMILAR	CHUBB	CITY SAFES	ZAMBRERO	BUILDER	455H x 340W x 380D
E05	1	HOT & COLD DISPLAY UNIT	GRETA	STODDART	TRIMARK	ZAMBRERO	BUILDER	3600W x 920D x 900H, 25AMP HARDWIRED. REFER TO INSTALLATION MANUAL. DO NOT SILICONE CHOPPING BOARDS. REFER TO PLANS FOR ORIENTATION.
E06	2	TORTILLA PRESS	WCT6	WOODSON	TRIMARK	ZAMBRERO	TRIMARK	415W x 540D x 230H, 15AMP
E07	1	QUESADILLA PRESS	WCT6	WOODSON	TRIMARK	ZAMBRERO	TRIMARK	415W x 540D x 230H, 15AMP
E08	2	RICE COOKER	ERS5L	AUSCROWN	TRIMARK	ZAMBRERO	TRIMARK	450W x 450D x 380H, 10AMP
E09	2	INGREDIENTS BIN			TRIMARK	ZAMBRERO	TRIMARK	
E10	1	SALAMANDER	WGTSQI15	WOODSON	TRIMARK	ZAMBRERO	TRIMARK	725W x 536D x 375H, 15AMP
E16	1	2 DOOR COUNTER FRIDGE	RCSN2M2T	ELECTROLUX	TRIMARK	ZAMBRERO	TRIMARK	1240W x 700D x 900H*, 10AMP. *LARGER CASTORS TO BE ORDERED TO ENSURE 900H
E19	1	3 DOOR UPRIGHT FRIDGE	HPS3SDCB	WILLIAMS	TRIMARK	ZAMBRERO	TRIMARK	1825W x 715D x 2040H, 4AMP
E26	1	FOOD PROCESSOR	CL50	ROBOT COUPE	TRIMARK	ZAMBRERO	TRIMARK	350W x 320D x 590H, 6AMP
E27	1	FOOD PROCESSOR BLADE RACK	101230	ROBOT COUPE	TRIMARK	ZAMBRERO	BUILDER	
E28	1	MAGNETIC KNIFE RACK			TRIMARK	ZAMBRERO	BUILDER	
E32	1	SWITCH & PATCH PANEL	TBC	TBC	BUILDER	BUILDER	BUILDER	MIN: 12 PORT PATCH PANEL
E33	1	CCTV SCREEN	TBC	TBC	TBC	BUILDER	BUILDER	TV SCREEN TO BE CONNECTED TO CCTV DVR
E37	1	ROUTER	TBC	TBC	TBC	ZAMBRERO	ZAMBRERO	
E38	1	SOAP DISPENSER			ECOLAB	ZAMBRERO	BUILDER	
E39	1	PAPER TOWEL DISPENSER			PFD	ZAMBRERO	BUILDER	
E41	1	FIRE BLANKET	TBC	TBC	BUILDER	BUILDER	BUILDER	
E42	1	FIRE EXTINGUISHER	4.5kg DRY CHEMICAL ABE FIRE EXTINGUISHER	TBC	BUILDER	BUILDER	BUILDER	INSTALLATION & COMMISSIONING OF THE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH CLAUSE E1.6 OF THE BCA & AS2444-2001
E43	1	FIRST AID KIT			TRIMARK	ZAMBRERO	BUILDER	
E44	4	UNDER COUNTER BIN			TRIMARK	ZAMBRERO	BUILDER	
E45	2	ROUND BIN	RB75L		TRIMARK	ZAMBRERO		RUBBISH BIN 75L GREEN WITH BLACK LID
E47	3	SPEAKER	TBC	TBC	TBC	BUILDER	BUILDER	COLOUR: BLACK
E48	9	SURVEILLANCE CAMERA	TBC	TBC	TBC	BUILDER	BUILDER	COLOUR: BLACK
E49	1	12RU RACK MOUNT ENCLOSURE	HB-5174	JAYCAR	JAYCAR	BUILDER	BUILDER	BUILDER TO SUPPLY 1x QUAD SURGE PROTECTION BOARD
E50	4	TV SCREEN	K3300UW	HISENSE	JB HIFI	ZAMBRERO	BUILDER	40" UHD SMART LED LCD TV. FRANCHISE PARTNER TO SUPPLY TV'S, BUILDER TO SUPPLY BRACKETS AND 2x CAT6 TO HDMI CONVERTERS PER TV
E52	2	SOUS VIDE BAIN	CUSTOM	STODDART	TRIMARK	ZAMBRERO	BUILDER	10AMP
E53	1	CCTV DVR	TBC	TBC	TBC	BUILDER	BUILDER	DVR TO HAVE IPHONE CAPABILITIES AND RECORD AND STORE UP TO 1 MONTH OF DATA
E55.9	1	4 TIER DRY STORAGE 610 x 1065	4T74.2442.NK3	METRO	TRIMARK	ZAMBRERO	BUILDER	4x POSTS AND 4x SHELVES WITH SHELF CLIPS
E55.11	1	4 TIER DRY STORAGE 610 x 1370	4T74.2454.NK3	METRO	TRIMARK	ZAMBRERO	BUILDER	4x POSTS AND 4x SHELVES WITH SHELF CLIPS
E70	1	COUNTERTOP BAIN MARIE	WBMS.11	WOODSON	TRIMARK	ZAMBRERO	BUILDER	370W x 600D x 288H, 10AMP
E71	1	UTENSIL DISPENSER			TRIMARK	ZAMBRERO	BUILDER	3x STAINLESS UTENSIL HOLDER
E78	1	DRY RACK 455 x 760			TRIMARK	ZAMBRERO	BUILDER	4x POSTS AND SHELF SUPPORT WITH CLIPS, 6 SHELVES
E79	1	SMART WALL			TRIMARK	ZAMBRERO	BUILDER	BUILDER TO INSTALL BRACKET AND GRID
E80	2	INLINE FAN	RP356	FANTECH	FANTECH	BUILDER	BUILDER	
E81	2	JUICE DISPENSER	D25-3	CRATHCO	TRIMARK	ZAMBRERO	BUILDER	
E82	1	B32 SELF CONTAINED	B32	STRUCTURAL CONCEPTS	TRIMARK	ZAMBRERO	BUILDER	Refrigerated Self-Service Case - 24"D
E83	1	B42 SELF CONTAINED	B42	STRUCTURAL CONCEPTS	TRIMARK	ZAMBRERO	BUILDER	Refrigerated Self-Service Case - 24"D

PLUMBING SCHEDULE

CODE	QTY	ITEM	MODEL	MANUFACTURER	SUPPLIER	PURCHASED BY	COMMENTS	Type Image
PL01	1	WALL MOUNTED SWIVEL MIXER TAPSET	TBC	TBC	TRIMARK	ZAMBRERO		
PL02	1	HANDWASH BASIN KNEE OPERATED	WB.KO1.300TV	STODDART	TRIMARK	ZAMBRERO	420D x 500W x 312H	
PL04	1	SINGLE LEVER MIXER		ENWARE	ENWARE	BUILDER	SWIVEL TAP	
PL05	2	PRE RINSE SPRAY GUN	CMPL.0841	STODDART	TRIMARK	ZAMBRERO	BUILDER TO INSTALL AS PER MANUFACTURER'S SPECIFICATIONS INCLUDING WALL BRACKET	
PL13	1	ICE MACHINE	EC46	SCOTSMAN ISE SYSTEMS	TRIMARK	BUILDER	386W x 600D x 778H	
PLEX1	1	EXISTING TOILET	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING TOILET	
PLEX2	1	EXISTING TOILET BASIN	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING TOILET BASIN	

LIGHTING SCHEDULE

CODE	QTY	ITEM	MODEL	WATTAGE	MANUFACTURER	SUPPLIER	PURCHASED BY	COMMENTS	IMAGE
E	3	EMERGENCY LIGHT	BUILDER TO SOURCE	9W	BUILDER TO SOURCE	BUILDER	BUILDER		
L1	11	SERVERY DOWNLIGHT	IP 4/4 RATED LED DOWNLIGHT. LAMP COLOUR TEMP: 3000K WARM WHITE	11W	ECO LIGHTING SUPPLIES, PH: 1300 255 533	ECO LIGHTING SUPPLIES, PH: 1300 255 533	BUILDER	BLACK FINISH	
L5	4	TRACK LIGHTING	LG EXT-LED-700MA-D-861. ROUND HEAD DIMMABLE LED TRACK LIGHT SINGLE CIRCUIT BLACK	8W	ECO LIGHTING SUPPLIES, PH: 1300 255 533	ECO LIGHTING SUPPLIES, PH: 1300 255 533	BUILDER	BLACK FINISH	
L6	4	CEILING MOUNTED FLUORESCENT LIGHT	TWIN TUBE FLUORESCENT RECESSED WITH PRISMATIC DIFFUSER	36W	BUILDER TO SOURCE	BUILDER	BUILDER	FOR BOH	
L9	4	EXTERIOR WALL LIGHT	SL3863GY-21 SURFACE MOUNTED LED WALL LIGHT	10W	SUPERLIGHT, PH:1300 558 217	SUPERLIGHT	BUILDER		
L10	12	FEATURE JAR PENDANT	2200K LED VINTAGE EDISON EXPOSED BULBS	6W	BUILDER TO SOURCE	BUILDER	BUILDER	ZAMBRERO SAUCE JARS TO BE USED AS LIGHTING FEATURES WITH LED GLOBES INSIDE - DETAILS TBC	

SIMPLY STAINLESS SCHEDULE

CODE	QTY	ITEM	MODEL	MANUFACTURER	SUPPLIER	INSTALLER	COMMENTS
SS01	1	CUSTOM STAINLESS INFIL PIECES	CUSTOM	BUILDER	BUILDER	BUILDER	CUSTOM INFILL PIECES TO CLOSE GAPS ON EITHER SIDE OF STAINLESS PIECES IN KITCHEN. WIDTHS TO BE DETERMINED ON SITE
SS02	2	PIPE WALL SHELF 0600 x 300	11.0600	SIMPLY STAINLESS	TRIMARK	BUILDER	SEE FLOOR PLAN FOR LOCATION, CONTRACTOR TO CONFIRM ON SITE THE INSTALLATION HEIGHTS OF SHELVES
SS03	1	SINK BENCH WITH SPLASHBACK 700 x 0600	05.7.0600	SIMPLY STAINLESS	TRIMARK	BUILDER	SUPPLIED WITH A SINK BASKET WASTE WITH BASKET TO BE INSTALLED
SS04	1	SOLID WALL SHELF 1200 x 300	10.1200	SIMPLY STAINLESS	TRIMARK	BUILDER	SEE FLOOR PLAN FOR LOCATION, CONTRACTOR TO CONFIRM ON SITE THE INSTALLATION HEIGHTS OF SHELVES
SS05	1	TRIPLE BOWL SINK WITH UPSTAND 700 x 2400	24.7.2400TB	SIMPLY STAINLESS	TRIMARK	BUILDER	SUPPLIED WITH 3x SINK BASKET WASTE WITH BASKET TO BE INSTALLED IN EACH BASIN
SS06	1	WORK BENCH & ADDITIONAL UNDERSHELF 900 x 1070	01.9.1200 + 21.US.7.1200	SIMPLY STAINLESS	TRIMARK	BUILDER	ADDITIONAL UNDERSHELF 21.US.7.1200 TO BE INSTALLED TO WORKBENCH 01.9.1200. UNDERSHELF FOR 900mm DEEP BENCH SAME AS 700mm DEEP BENCH.
SS07	1	WORK BENCH WITH SPLASHBACK 700 x 0600	02.7.0600	SIMPLY STAINLESS	TRIMARK	BUILDER	
SS08	2	WORK BENCH WITH SPLASHBACK & EXTRA UNDERSHELF 700 x 0600	02.7.0600 + 21.US.7.0600	SIMPLY STAINLESS	TRIMARK	BUILDER	ADDITIONAL UNDERSHELF 21.US.7.0600 TO BE INSTALLED TO WORKBENCH 02.7.0600
SS09	1	WORK BENCH WITH SPLASHBACK & EXTRA UNDERSHELF 700 x 1800	02.7.1800 + 21.US.7.1800	SIMPLY STAINLESS	TRIMARK	BUILDER	ADDITIONAL UNDERSHELF 21.US.7.1800 TO BE INSTALLED TO WORKBENCH 02.7.1800
SS10	2	WORK BENCH WITH SPLASHBACK & LEG BRACE 700 x 0600	02.7.0600 + 22.LB.7.0600	SIMPLY STAINLESS	TRIMARK	BUILDER	UNDERSHELF SUPPLIED WITH 02.7.0600 TO BE REPLACED BY THE SEPARATE LEG BRACE COMPONENT
SS12	1	WORK BENCH WITH SPLASHBACK & LEG BRACE 700 x 0900	02.7.0900 + 22.LB.7.0900	SIMPLY STAINLESS	TRIMARK	BUILDER	UNDERSHELF SUPPLIED WITH 02.7.0900 TO BE REPLACED BY THE SEPARATE LEG BRACE COMPONENT
SS13	1	CUSTOM BENCH	CUSTOM	BUILDER	BUILDER	BUILDER	900mm HEIGHT CUSTOM BENCH TOP TO BE MOUNTED TO EXISTING HALF HEIGHT NIB WALL INFRONT OF WINDOW IN KITCHEN. EXACT DIMENSIONS TO BE DETERMINED ON SITE

FURNITURE & HARDWARE SCHEDULE

CODE	QTY	ITEM	MODEL	MANUFACTURER	SUPPLIER	PURCHASED BY	DESCRIPTION	IMAGE
F01	30	EMECO CHAIR BLACK	EMECO US NAVY CHAIR BLACK	EMECO	REPLICA	ZAMBRERO	BLACK ALUMINIUM CHAIR	
F02	12	STANDARD TABLE	BLACK COMPACT LAMINATE TOP WITH BLACK 4 WAY BASE		JAMES RICHARDSON, PH: ROBERT 02 9310 7155	ZAMBRERO		
F03	1	A1 LOCKABLE OUTDOOR SIGN FRAME	DY03A1S		SLIMLINE WAREHOUSE, PH: 1300 658 808	BUILDER	A1 OUTDOOR LOCKABLE SIGN FRAME	
F04	254	SMALL POTTED PLANTS	PLANTS - ARTICLE NUMBER: 501.919.93 POTS - ARTICLE NUMBER: 401.745.93	IKEA	BUILDER	BUILDER	PLANTS: IKEA FEJKA ARTIFICIAL POTTED PLANTS ARTICLE NUMBER: 501.919.93 - ALL PLANTS ON TABLES TO BE IN IKEA "ORÅDD" POTS ARTICLE NUMBER: 401.745.93	
F05	198	SMALL POT	10.5cm "ORÅDD" PLANT POT - IKEA (CODE: 401.745.93)	IKEA	IKEA	BUILDER	POTS FOR ALL SMALL ARTIFICIAL PLANTS ON COMMUNAL TABLES AND COFFEE TABLE	

FINISHES SCHEDULE

CODE	NAME	MODEL	MANUFACTURER	COMMENTS	IMAGE
C01	FC SHEETING	FC SHEETING + 2PAC HIGH GLOSS CONCRETE SEAL. TO BE MEASURED AND CUT ON SITE	BUILDER TO SOURCE & SUPPLY - TO BE MEASURED AND CUT ON SITE	FC SHEETING + 2PAC HIGH GLOSS CONCRETE SEAL. TO BE MEASURED AND CUT ON SITE	
FL01	EXISTING CONCRETE FLOOR	R10 SLIP RATING		EXISTING CONCRETE FLOORING TO BE TOPPED, GROUND AND POLISHED. ENSURE SLIP RATING OF R10	
P01	CHARCOAL GREY PAINT	PG1A8 DOMINO	DULUX, PH: 12 23 77	WASH N WEAR ON INTERIOR WALLS AND CEILINGS, EXTERIOR GRADE ON EXTERNAL WALLS	
P02	WHITE PAINT	PW1H9, VIVID WHITE LOW SHEEN	DULUX PH:13 22 77	1 PRIMARY COAT, 2 COLOUR COATS	
P05	BLACK PAINT	CODE: PG1A9	DULUX. PH: 13 23 77	LOW SHEEN FINISH APPLIED TO SUBSTRATE AND WALLS. SLIGHT BRUSHSTROKE TO BE VISIBLE	
P06	WHITE HIGH GLOSS PAINT	CODE: 38104912-4L	DULUX. PH: 13 23 77	DULUX SUPER ENAMEL OIL BASED HIGH GLOSS. COLOUR : WHITE. HIGHLY WASHABLE, HIGHLY SCUFF PROOF	
SK01	BLACK POWDERCOATED ALIMINIUM	SKIRTING	BUILDER	GENERAL SKIRTING. TRIMS TO BE BLACK COLOUR	
SS	STAINLESS STEEL		BUILDER TO SOURCE & SUPPLY	TO FOOD PREP AREAS	
T02	HOOP PINE	HOOP PINE	BUILDER TO SOURCE	FINISHED WITH NON-YELLOWING LOW SHEEN ENAMEL FINISH, COLOUR OF HOOP PINE TO BE CONFIRMED WITH DESIGNER BEFORE INSTALLATION	
T03	OSB		GUNNERSEN'S	ALLOW TO LIGHTLY SAND AND FINISH WITH NON-YELLOWING LOW SHEEN ENAMEL FINISH, COLOUR OF OSB TO BE CONFIRMED WITH DESIGNER BEFORE INSTALLATION	
T05	RECYCLED TIMBER	RECYCLED HARDWOOD GREY FACE WIRE BRUSHED APPROX. 100mm WIDE	IRONWOOD AUSTRALIA. PH: 02 9818 1166 (OR SIMILAR)	PACKERS TO BE USED BEHIND BOARDS TO VARY THICKNESS OF FINISHED CLADDING FURTHER WHERE NECESSARY TO ACHIEVE DESIRED FINISH. SEE T05. COLOUR VARIES PIECE BY PIECE TO BE LAID OUT DIAGONALLY AT 45 DEGREES AS SHOWN IN DRAWINGS AND RENDERS	
T06	BLACK LAMINATE	BLACK LAMINATE		BLACK LAMINATE	
T08	CHARCOALGREY PAINTED PANELLING	EASYGROOVE 150 PRE-PRIMED INTERNALL WALL PANEL	EASYCRAFT PH:07 3906 7200	1200mm W x 3000mm L x 9mm THK EASYGROOVE 150 PRE-PRIMED INTERNALL WALL PANEL PAINTED P01 ORIENTED VERTICALLY	
T09	PINE LENGTHS	20mm STANDARD GRADE THICK DRESSED PINE LENGTHS	GUNNERSEN'S. PH: 0418 676 170	PALLET FURNITURE AND FEATURES	
TL01	WHITE TILE	200mm x 200mm	BUILDER TO SOURCE & SUPPLY	WHITE TILES WITH WHITE EPOXY GROUT	
TL02	BLACK SUBWAY TILES	300mm x 100mm	BUILDER TO SOURCE & SUPPLY	BLACK SUBWAY TILES WITH WHITE EPOXY GROUT	
VN1	VINYL	CASSIDY 3487 CHARCOAL	BARESQUE	VINYL FACE ON A KNITTED FABRIC BACKING. 400,000 + DOUBLE RUBS WYZENBEE. <27m = $59.50/m >27m = $49.50/m (lineal metre @ 1370mm WIDE)	

GC OR BUILDER TO SOURCE LOCAL ALTERNATIVES AND SUBMIT FOR APPROVAL

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NOTES

BUILDER TO ACCEPT ALL DELIVERIES OF SCHEDULED EQUIPMENT AS OUTLINED BY ZAMBRERO PROJECT MANAGEMENT TEAM

REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM CHK BY: SF

SCALE @ A2:

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

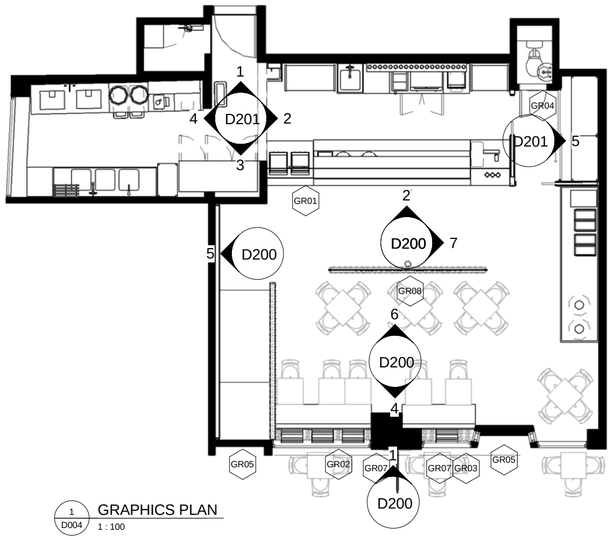
PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
SCHEDULES

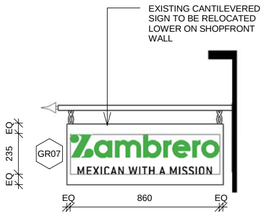
DRAWING NO.:
D002

GRAPHICS SCHEDULE			
QTY	CODE	NAME	DESCRIPTION
1	GR01	ORDER HERE	BLACK PAINT MASKED AND SPRAYED
1	GR02	ZAMBRERO LOGO LANDSCAPE	20mm LASERCUT OPAL ACRYLIC LETTERING WITH BLACK PAINTED EDGES CONCEALED FIXED TO EXISTING BRICK WALL - ILLUMINATED WITH SPOT LIGHTING
1	GR03	MEXICAN WITH A MISSION_WHITE	20mm LASERCUT OPAL ACRYLIC LETTERING WITH BLACK PAINTED EDGES CONCEALED FIXED TO EXISTING BRICK WALL - ILLUMINATED WITH SPOT LIGHTING
1	GR04	TOILET	WHITE PAINT MASKED AND SPRAYED

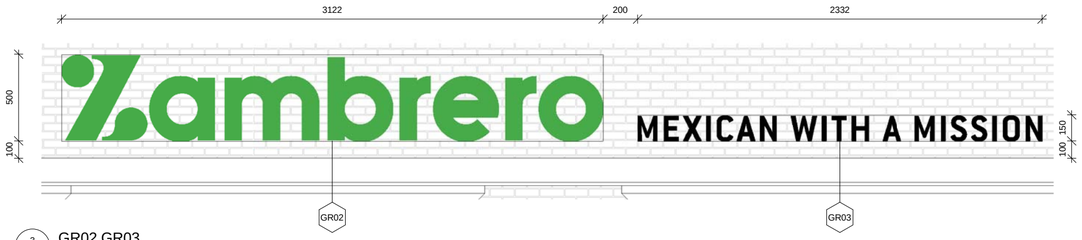
GRAPHICS SCHEDULE			
QTY	CODE	NAME	DESCRIPTION
2	GR05	TRADING HOURS	AVERY AUTUMN GREEN 5560 LASER CUT VINYL ADHERED TO INTERIOR FACE OF GLAZING
1	GR06	FOR EVERY BURRITO_6 LINES CENTER_WHITE	WHITE PAINT MASKED AND SPRAYED
2	GR07	ZAMBRERO MEXICAN WITH A MISSION_WHITE	ACRYLIC LETTERING ADHESIVE FIXED TO BLACK ALUCOBOND BACKING PANEL
1	GR08	LED SIGN	SEE DETAILS BELOW
1	GR09	1 BILLION MEALS GRAPHIC	DIGITAL PRINT ADHERED WITH AGGRESSIVE ADHESIVE
1	GR10	JOIN THE MOVEMENT_2 LINES_WHITE	DIGITAL PRINT ADHERED WITH AGGRESSIVE ADHESIVE



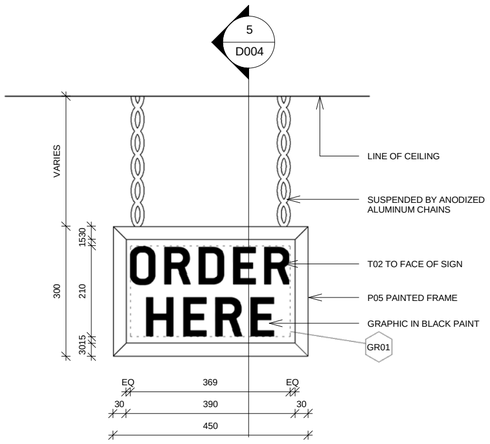
1 / D004 GRAPHICS PLAN
1 : 100



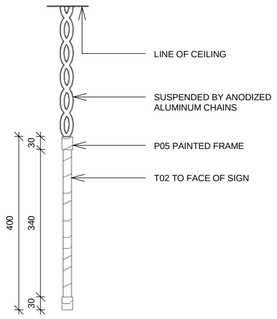
2 / D004 GR07
1 : 25



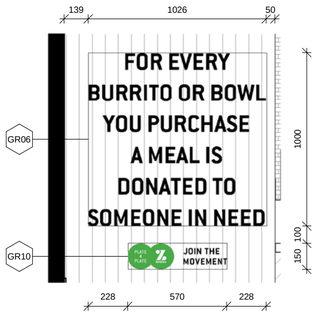
3 / D004 GR02 GR03
1 : 25



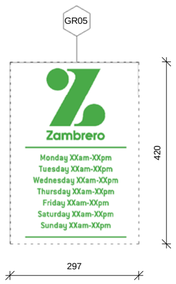
4 / D004 ORDER HERE SIGN ELEVATION
1 : 10



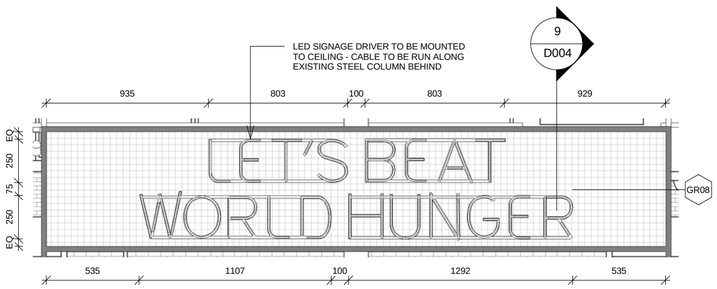
5 / D004 ORDER HERE SIGN SECTION
1 : 10



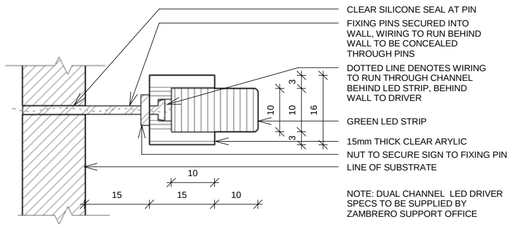
6 / D004 GR06 GR10
1 : 25



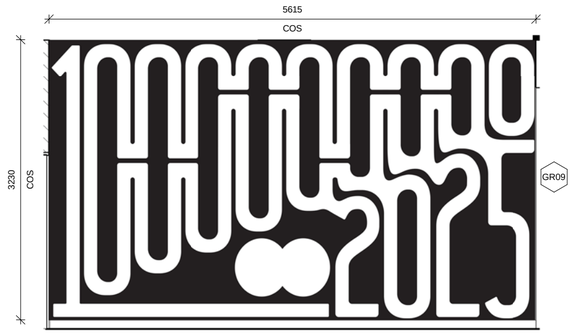
7 / D004 TRADING HOURS GRAPHIC
1 : 10



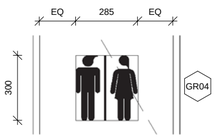
8 / D004 GR05
1 : 25



9 / D004 LED SIGN SECTION
1 : 1



10 / D004 GR09
1 : 50



11 / D004 GR04
1 : 20

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Australia
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REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM
CHK BY: SF

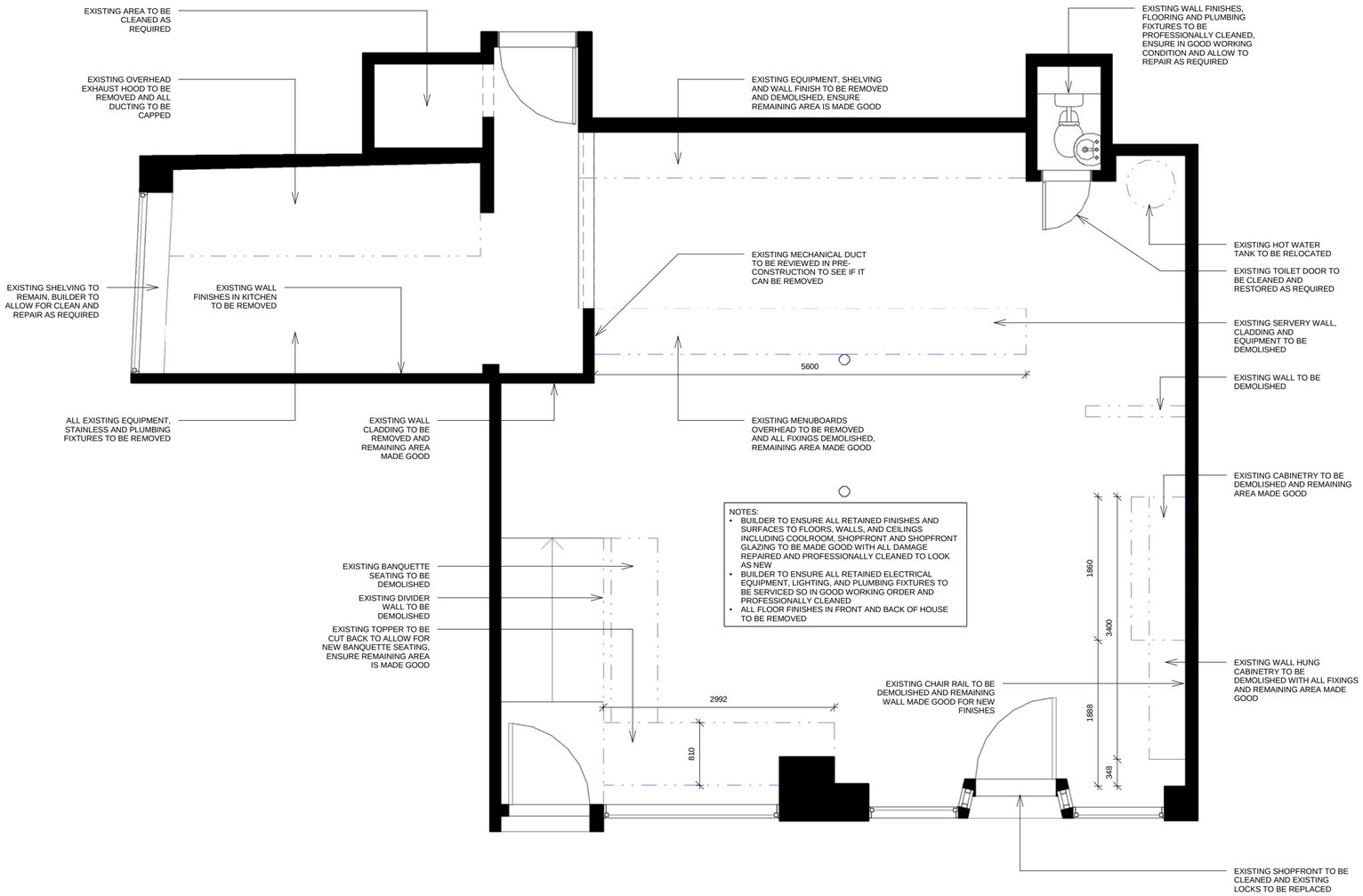
SCALE @ A2: As indicated

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
GRAPHICS SCHEDULE

DRAWING NO.:
D004



1 / D101 EXISTING LEASE PLAN & DEMOLITION PLAN
1 : 50

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LEGEND

EXISTING WALL TO REMAIN

WALLS/JOINERY TO BE DEMOLISHED

NOTES

MAKE GOOD ALL SURFACES AS REQUIRED

REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM | CHK BY: SF

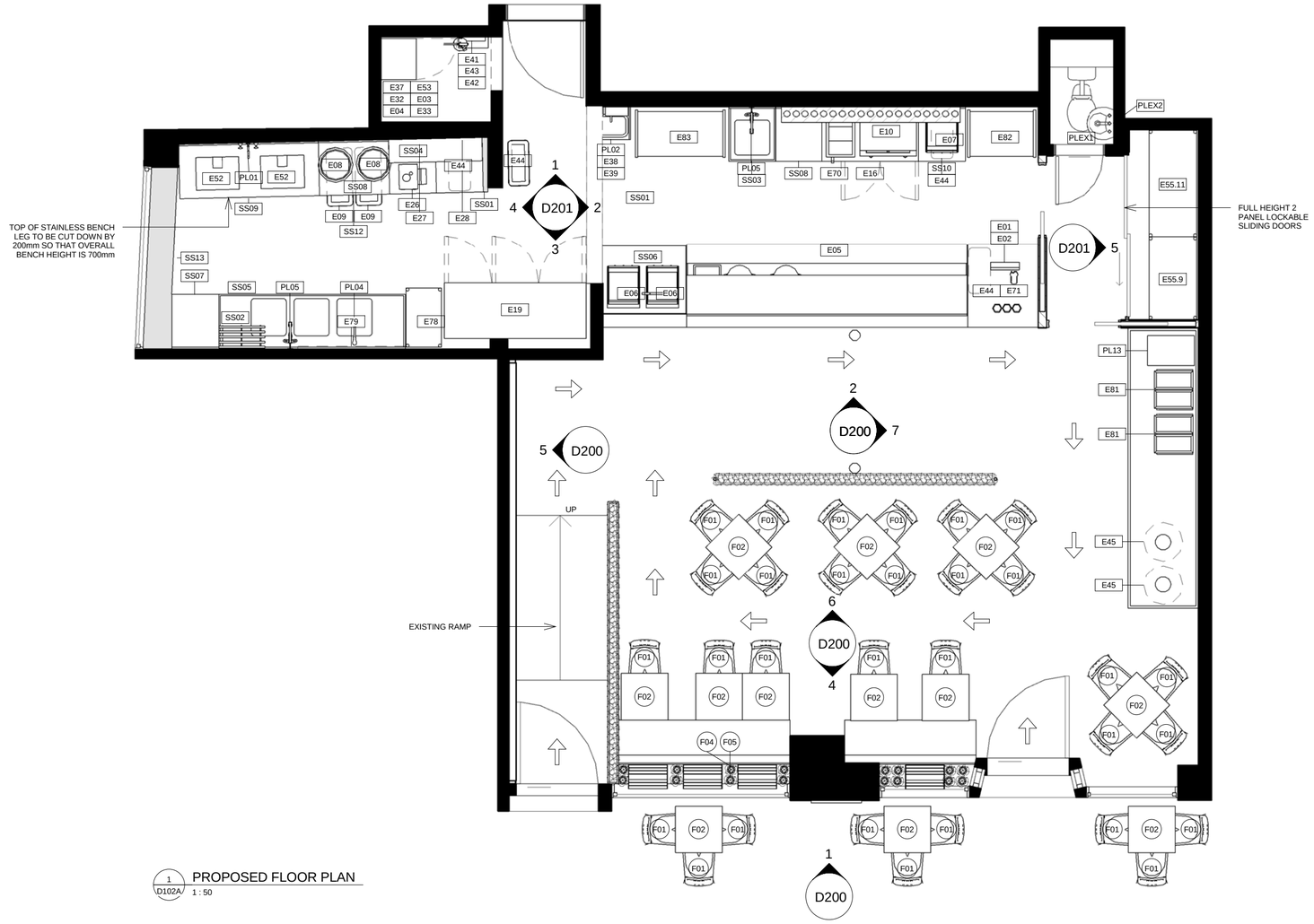
SCALE @ A2: 1 : 50

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
EXISTING & DEMOLITION PLAN

DRAWING NO.:
D101



1 D102A PROPOSED FLOOR PLAN
1 : 50

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LEGEND

- EXISTING WALL
- NEW WALL
- NEW WALL WITH BLOCKING FOR WALL SHELVES
- TRAFFIC FLOW ARROW
- E# EQUIPMENT NUMBER
- PL# PLUMBING NUMBER
- F# FURNITURE NUMBER
- STAINLESS BENCHES BY BUILDER

NOTES

BLACK 60mm DIA CABLE COVER TO BE USED WHEN GPO'S ARE LOCATED UNDERNEATH THE BENCHTOP AND EQUIPMENT IS ON TOP

REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM CHK BY: SF

SCALE @ A2: 1 : 50

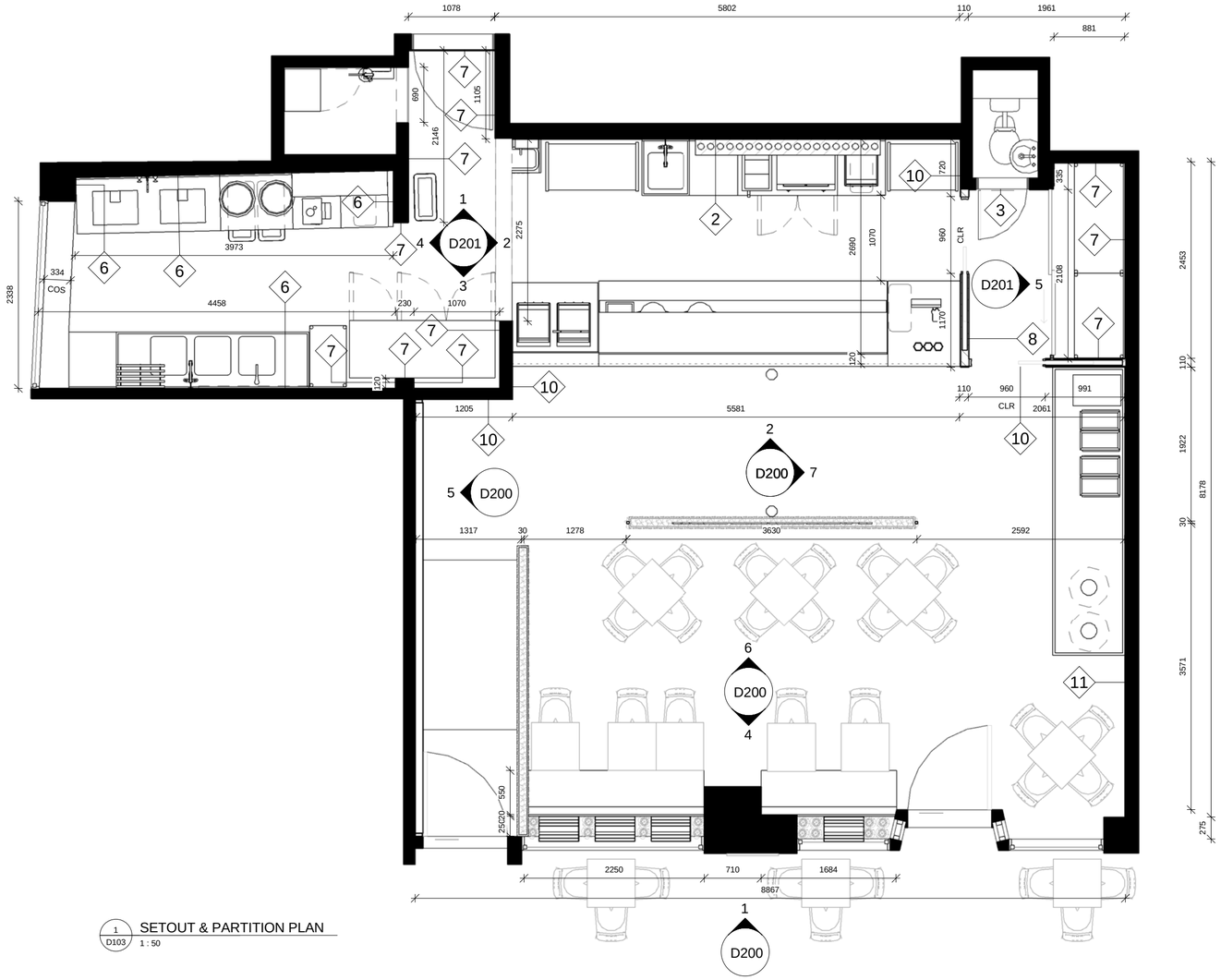
PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
PROPOSED FLOOR PLAN

DRAWING NO.:
D102A

WALL FINISH SCHEDULE	
CODE	FINISH
1	T05, SK01 TO 100mm AFFL
2	TL02, FL03 TO 100mm AFFL
3	P01, SK01 TO 100mm AFFL
6	TL01, FL03 TO 100mm AFFL
7	P06, FL03 TO 100mm AFFL
8	P01, FL03 TO 100mm AFFL
10	T08, SK01 TO 100mm AFFL
11	1 BILLION GRAPHIC WALLPAPER, SK01 TO 100mm AFFL
12	T05



1 / D103 SETOUT & PARTITION PLAN
1 : 50

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LEGEND

- EXISTING WALL
- NEW WALL
- NEW WALL WITH BLOCKING AS REQUIRED FOR WALL SHELVES
- # WALL FINISH TAG, SEE WALL FINISH LEGEND BELOW

NOTES

BLACK 60mm DIA CABLE COVER TO BE USED WHEN GPO'S ARE LOCATED UNDERNEATH THE BENCHTOP AND EQUIPMENT IS ON TOP

DIMENSIONS SHOWN TO EDGE OF FINISHED FACE OF WALL

BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM | CHK BY: SF

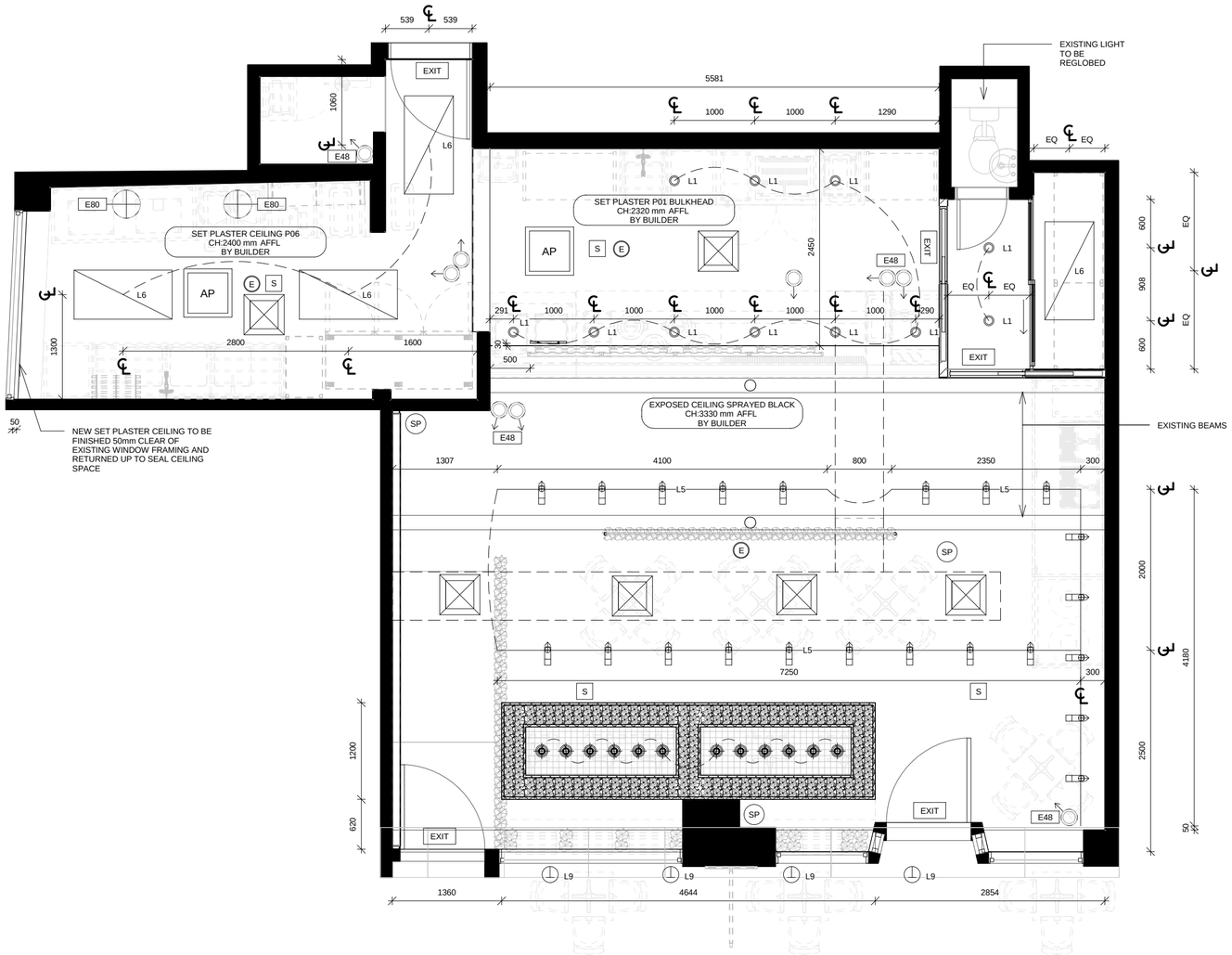
SCALE @ A2: 1 : 50

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
SETOUT & PARTITION PLAN

DRAWING NO.:
D103



1 / D104 REFLECTED CEILING PLAN
1 : 50

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LEGEND

- PENDANT
- RECESSED DOWNLIGHT
- WALL LIGHT
- SURFACE MOUNTED FLUORESCENT
- TRACK LIGHT
- SWITCH
- EMERGENCY LIGHT
- EXIT SIGN
- SMOKE DETECTOR
- EWIS SPEAKER
- SPRINKLER
- AC REGISTER
- ACCESS PANEL
- AP — LIGHTING TAG, SEE LIGHTING SCHEDULE FOR SPECIFICATIONS
- L# — E48 SURVEILLANCE CAMERA, SEE EQUIPMENT SCHEDULE FOR SPECIFICATIONS
- SP — E47 SPEAKER, SEE EQUIPMENT SCHEDULE FOR SPECIFICATIONS

NOTES

ESSENTIAL FIRE SERVICES TO BE IN ACCORDANCE WITH THE BCA & AUSTRALIAN STANDARDS

CONTRACTOR TO REVIEW AND ENSURE COMPLIANCE WITH PART J6 OF THE BCA

REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM | CHK BY: SF

SCALE @ A2: 1 : 50

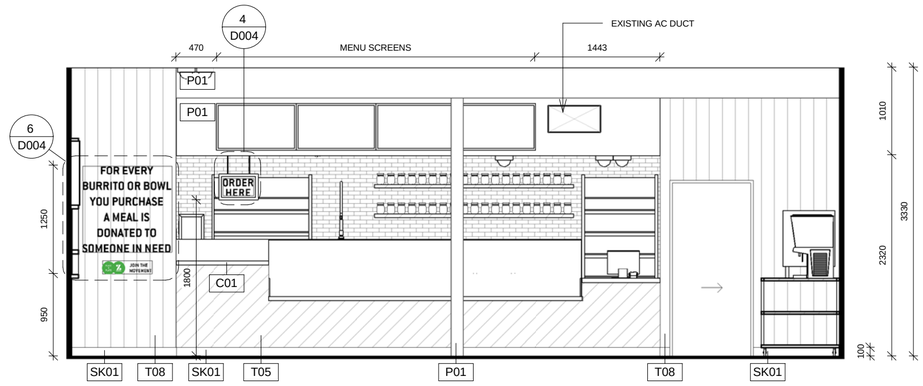
PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

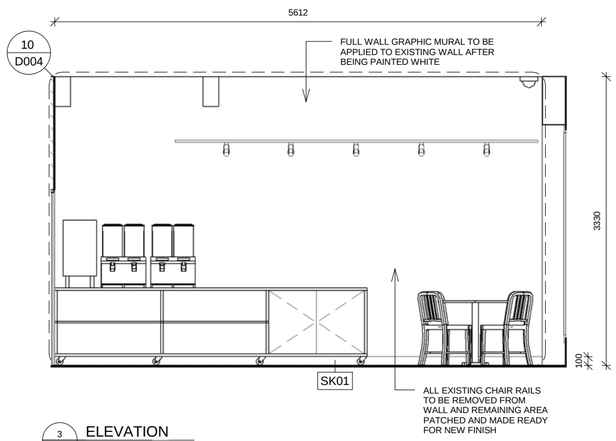
DRAWING NAME:
REFLECTED CEILING PLAN

DRAWING NO.:
D104

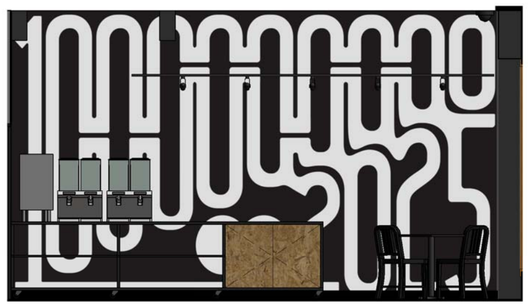
1 D200 ELEVATION
1 : 50



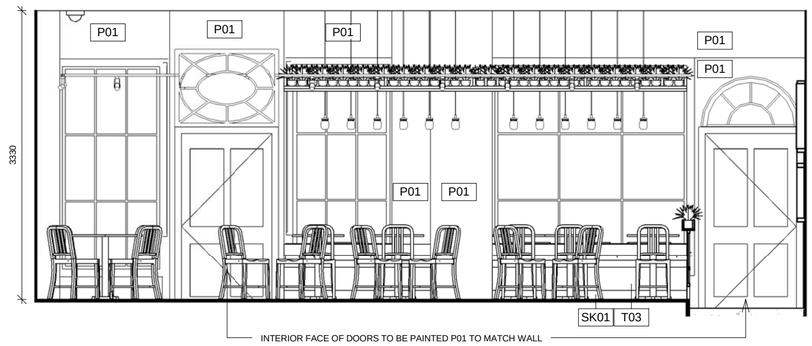
2 D200 ELEVATION
1 : 50



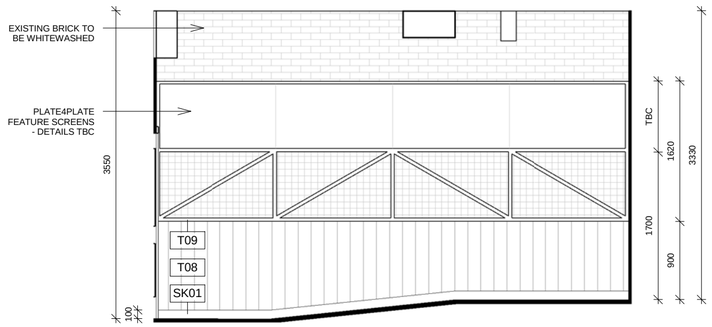
3 D200 ELEVATION
1 : 50



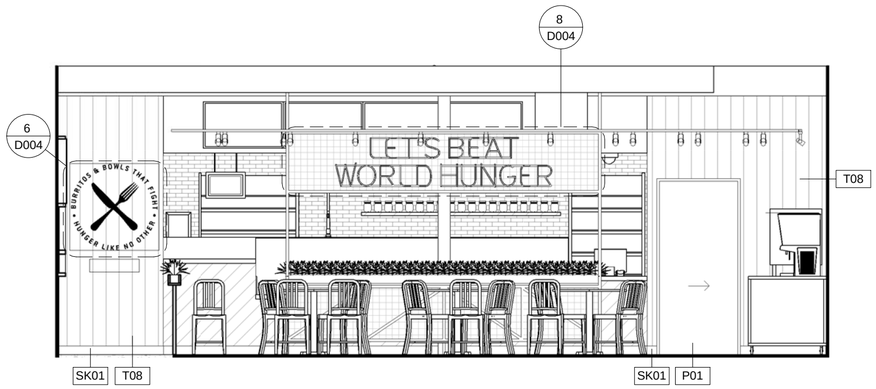
7 D200 RENDERED ELEVATION
1 : 50



4 D200 ELEVATION
1 : 50



5 D200 ELEVATION
1 : 50



6 D200 ELEVATION
1 : 50

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REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM
CHK BY: SF

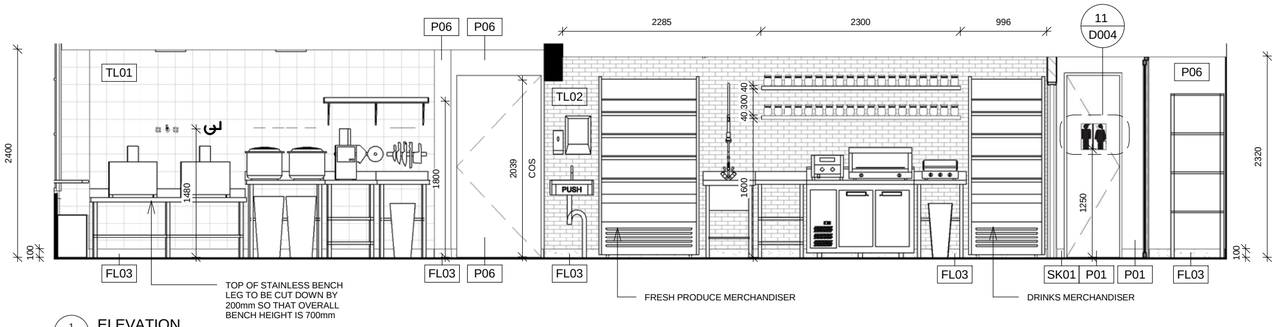
SCALE @ A2: 1 : 50

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

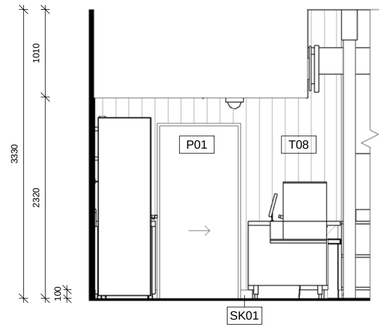
PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
ELEVATIONS - SHOPFRONT & FRONT OF HOUSE

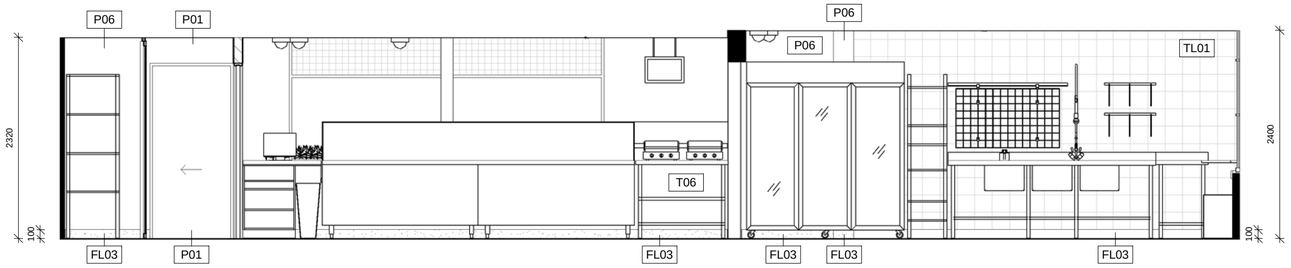
DRAWING NO.:
D200



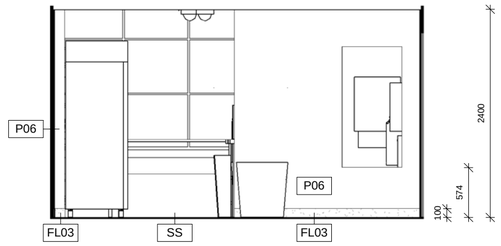
1 D201 ELEVATION
1 : 50



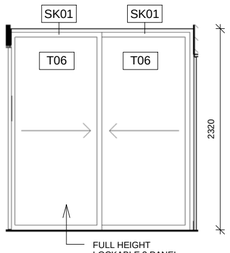
2 D201 ELEVATION
1 : 50



3 D201 ELEVATION
1 : 50



4 D201 ELEVATION
1 : 50



5 D201 ELEVATION
1 : 50

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REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM
CHK BY: SF

SCALE @ A2: 1 : 50

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
ELEVATIONS - SERVERY & BACK OF HOUSE

DRAWING NO.:
D201

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Australia
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REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM | CHK BY: SF

SCALE @ A2:

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
PERSPECTIVES

DRAWING NO.:
D300

CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Floor, Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

Bruce A. Irving, *Chair*, Charles M. Sullivan, *Executive Director*
William G. Barry, Jr., Robert G. Crocker, Chandra Harrington, William B. King, Jo M. Solet, Susannah Barton Tobin, *Members;* Joseph V. Ferrara, Kyle Sheffield, *Alternates*

Jurisdiction Advice

To the Owner of Property at 71 Mt. Auburn Street

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

__ Old Cambridge Historic District
__ Fort Washington Historic District
(M.G.L. Ch. 40C, City Code §2.78.050)
__ Avon Hill Neighborhood Conservation District
__ Half Crown – Marsh Neighborhood Conservation District
_X_ Harvard Square Conservation District
No CHC review of fast order food use. Signs and exterior alterations subject to review.
__ Mid Cambridge Neighborhood Conservation District
__ Designated Landmark
__ Property is being studied for designation: _____
(City Code, Ch. 2.78., Article III, and various City Council Orders)
__ Preservation Restriction or Easement (as recorded)
__ Structure is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). **See the back of this page for definition of demolition.**
__ No jurisdiction: not a designated historic property and the structure is less than fifty years old.
__ No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SLB Date June 9, 2017

Received by Uploaded to Energov Date June 9, 2017
Relationship to project BZA 13467-2017

cc: Applicant
Inspectional Services Commissioner

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

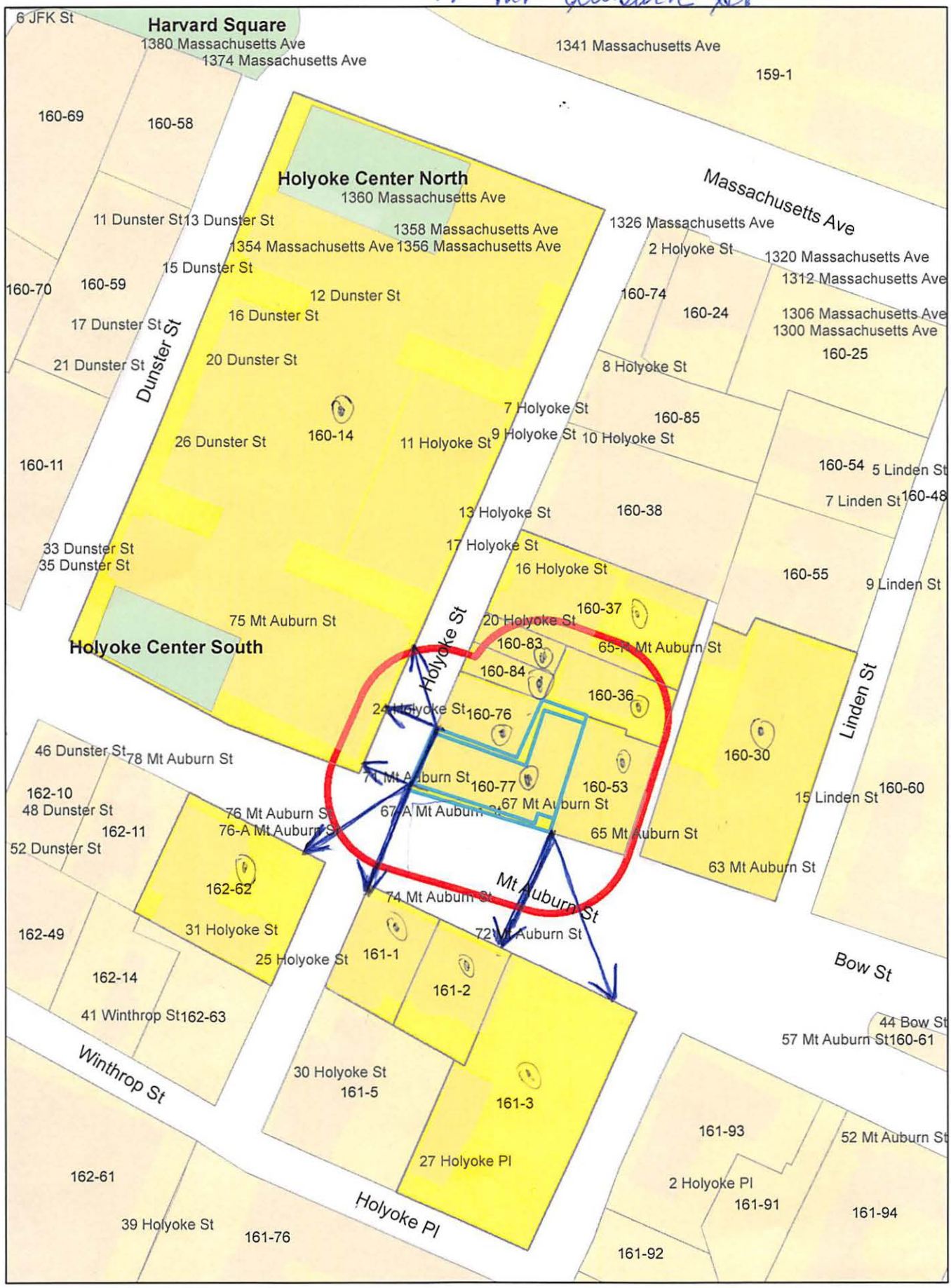
Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission
831 Massachusetts Ave., 2nd Fl.
Cambridge, MA 02139
Ph: 617/349-4683 or TTY: 617/349-6112
http://www.cambridgema.gov/Historic

71 Mt. Auburn St.



71 Mt. Auburn St.

Petitioner

KEVIN P. CRANE, ESQ.
104 MT. AUBURN STREET
CAMBRIDGE MA 02138

160-14
PRESIDENT & FELLOW OF HARVARD HARVARD
UNIVERSITY R.E. DEPT.
HOLYOKE CENTER., ROOM 451
1350 MASS AVE
CAMBRIDGE, MA 02138

160-30-36-37 / 161-1-3
PRESIDENT & FELLOWS OF HARVARD COLLEGE
C/O HARVARD REAL ESTATE, INC.
HOLYOKE CENTER,ROOM 1000
1350 MASSACHUSETTS AVE
CAMBRIDGE, MA 02138

161-2
FORTMILLER, FREDERICK V.,ET AL TRS
49 RUSSELL ROAD
WELLESLEY, MA 02482

162-62
76 MOUNT AUBURN STREET, INC.
C/O RICK CHILDS, SRB CORP
125 HIGH STREET
OLIVER STREET TOWER 9TH FL
BOSTON, MA 02110

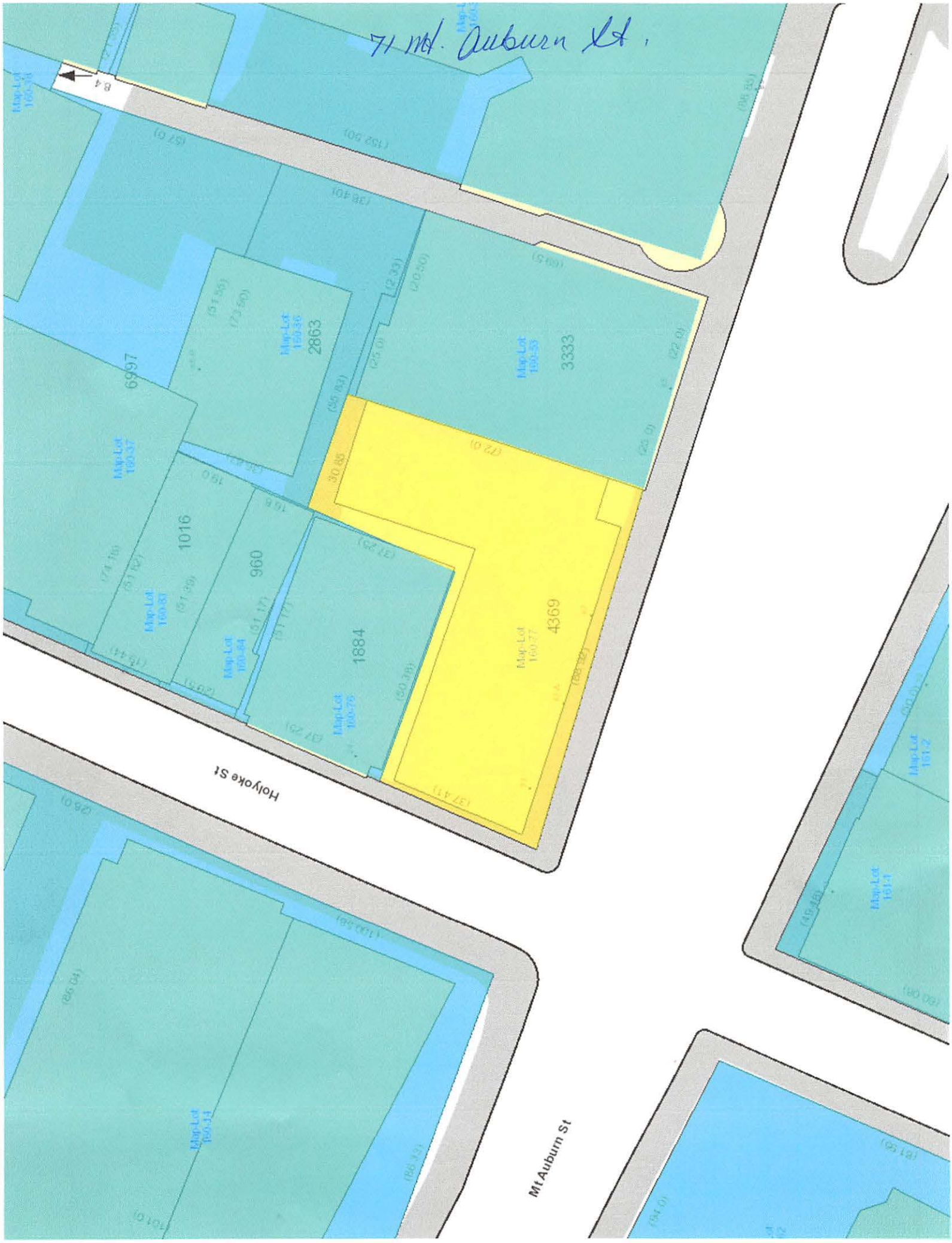
160-53
MOSKOW, ABRAHAM & MICHAEL B
C/O HARVARD PLANNING & REAL ESTATE,RM1023
1350 MASSACHUSETTS AVE
CAMBRIDGE, MA 02116

160-76
WHOULEY, FREDERICK R.,
TRS OF THE FREDERICK R. WHOULEY
IRREVOCABLE TRS
15 ANIS ROAD
BELMONT, MA 02478

160-77
HARVARD STUDENT AGENCIES, INC
67 MT. AUBURN ST
CAMBRIDGE, MA 02138

160-83
PLATIN LLC
15 WALNUT ST., SUITE 150
WELLESLEY, MA 02481

160-84
DAVIDSON, CHARLES L.
19 GARDEN ST.
CAMBRIDGE, MA 02138


71 Mt. Auburn St.
Holyoke St
Mt Auburn St
Map-Lot 160-53
3333
Map-Lot 160-56
2863
Map-Lot 160-57
6997
Map-Lot 160-77
4369
Map-Lot 160-76
1884
Map-Lot 160-84
960
Map-Lot 160-83
1016
Map-Lot 161-1
Map-Lot 161-2
Map-Lot 160-11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OPEN DURING CONSTRU


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STOPPING
ANYTIME
HSA
CLEANERS
City of
Cambridge
Pay by Phone
opprk.com
Zone 6910


globally inspired burritos
boloco
boloco
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boloco
boloco
birthdays
training sessions


71


HARVARD UNIVERS
OPEN DURING CONSTR
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CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

BZA APPLICATION FORM

Plan No: BZA-013467-2017

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : √ Variance : _____ Appeal : _____

PETITIONER : Zambrero NE Operations LLC - C/O Kevin P. Crane, Esq.

PETITIONER'S ADDRESS : 104 Mt. Auburn Street, P.O. Box 381030, Cambridge, MA 02238

LOCATION OF PROPERTY : 71 Mt Auburn St Cambridge, MA 02138

TYPE OF OCCUPANCY : fast order food establishment

ZONING DISTRICT : Business B/ Harvard Square OD

REASON FOR PETITION :

Change in Use / Occupancy

DESCRIPTION OF PETITIONER'S PROPOSAL :

Convert existing fast order food establishment (Boloco) to a different fast order food establishment (Zambrero) with continuing Mexican style cuisine.

SECTIONS OF ZONING ORDINANCE CITED :

Article 4.000 Section 4.35(o) (Fast Order Food Establishment).
Article 11.000 Section 11.30 (Fast Order Food Establishment).
Article 10.000 Section 10.40 (Special Permit).

Original Signature(s) : _____
(Petitioner(s) / Owner)

Bianca Azzopardi
(Print Name)

Address : c/o Kevin P. Crane, P.O. Box 381030
Cambridge, MA 02238

Tel. No. : 617-876-8500

E-Mail Address : kevin@cranelawoffice.com

Date : 2 / 6 / 2017

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 71 Mt Auburn St Cambridge, MA 02138 (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The petitioner proposes a fast order food establishment in a location where one such estabishment alraeady exists. Furthermore, the type of food to be served Mexican style cuisine is similar to the present establishment. The proposal calls for 26 interior seats and 9 seats on the outside sidewalk adjacent to the premises. The petitioner's menu includes moderately priced items geared to meet the sibstantial community demands from students office workers and tourists in the area.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed establishment will attract primarily walk-in patrons as opposed to patrons arriving by automobile. There is already a significant amount of foot traffic in this section of Harvard Square and this use is consistent with the established character of the street. Furthermore, given the similar nature of the proposed use to the existing use, it is not anticipated that traffic patterns would be adversely affected.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The proposed use will supplement adjacent uses including existing fast order food establishments and will provide for food service to a population which already exists on adjacent ues.

D) Nuisance or hazard would not be created to the detriment of the health safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The proposed use will be professionally operated relative to health and safety issues similar to the petitioner operations all over the world. Adequate garbage/rubbish receptacles shall be prominent on the premises and maintained on a regular basis.

E) For other reasons the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

There are no proposed changes to the existing building facade and there is no anticipated increase in traffic or parking demands as a result of the operation of the premises. The proposed establishment is consistent with other uses in the Harvard Square community which includes several other take out restaurants similar in size and scope to the petitioner's proposed use.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT : Law office of Kevin P. Crane **PRESENT USE/OCCUPANCY :** fast food

LOCATION : 71 Mt Auburn St Cambridge, MA 02138 **ZONE :** Business B/ Harvard Square

PHONE : **REQUESTED USE/OCCUPANCY :** fast food

		EXISTING CONDITIONS	REQUESTED CONDITIONS	ORDINANCE REQUIREMENTS[1]	
TOTAL GROSS FLOOR AREA:		14,222	14,222	12,015	(max.)
LOT AREA:		4,369	4,369	none	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA:[2]		3.26	3.26	2.75	(max.)
LOT AREA FOR EACH DWELLING UNIT:		none	none	300	(min.)
SIZE OF LOT:	WIDTH	88.92	88.92	none	(min.)
	DEPTH	72.0	72.0	none	
SETBACKS IN FEET:	FRONT	0	0	0	(min.)
	REAR	0	0	0	(min.)
	LEFT SIDE	0	0	0	(min.)
	RIGHT SIDE	0	0	0	(min.)
SIZE OF BLDG.:	HEIGHT	50	50	80	(max.)
	LENGTH	86	86	none	
	WIDTH	30'/65'	30'/65'	none	
RATIO OF USABLE OPEN SPACE TO LOT AREA:[3]		0	0	0	(min.)
NO. OF DWELLING UNITS:		0	0	43	(max.)
NO. OF PARKING SPACES:		0	0	n/a	(min./max)
NO. OF LOADING AREAS:		0	0	0	(min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:		none	none	none	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

On first there is a bank and Harvard Student Agencies cleaners. The upper floors of the structure are occupied by general office users

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, S ECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

2017 JUN -5 PM 12: 12

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM

Plan No: BZA-013467-2017

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Bianca Azzopardi
(Print Name)

Address : c/o Kevin P. Crane, P.O. Box 381030
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Tel. No. : 617-876-8500

E-Mail Address : kevin@cranelawoffice.com

Date : 2 / 6 / 2017

City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: _____ **Date:** 6/22/17
(Print)

Address: 71 Mt. Auburn St. **Case No.** BZA 013467-2017

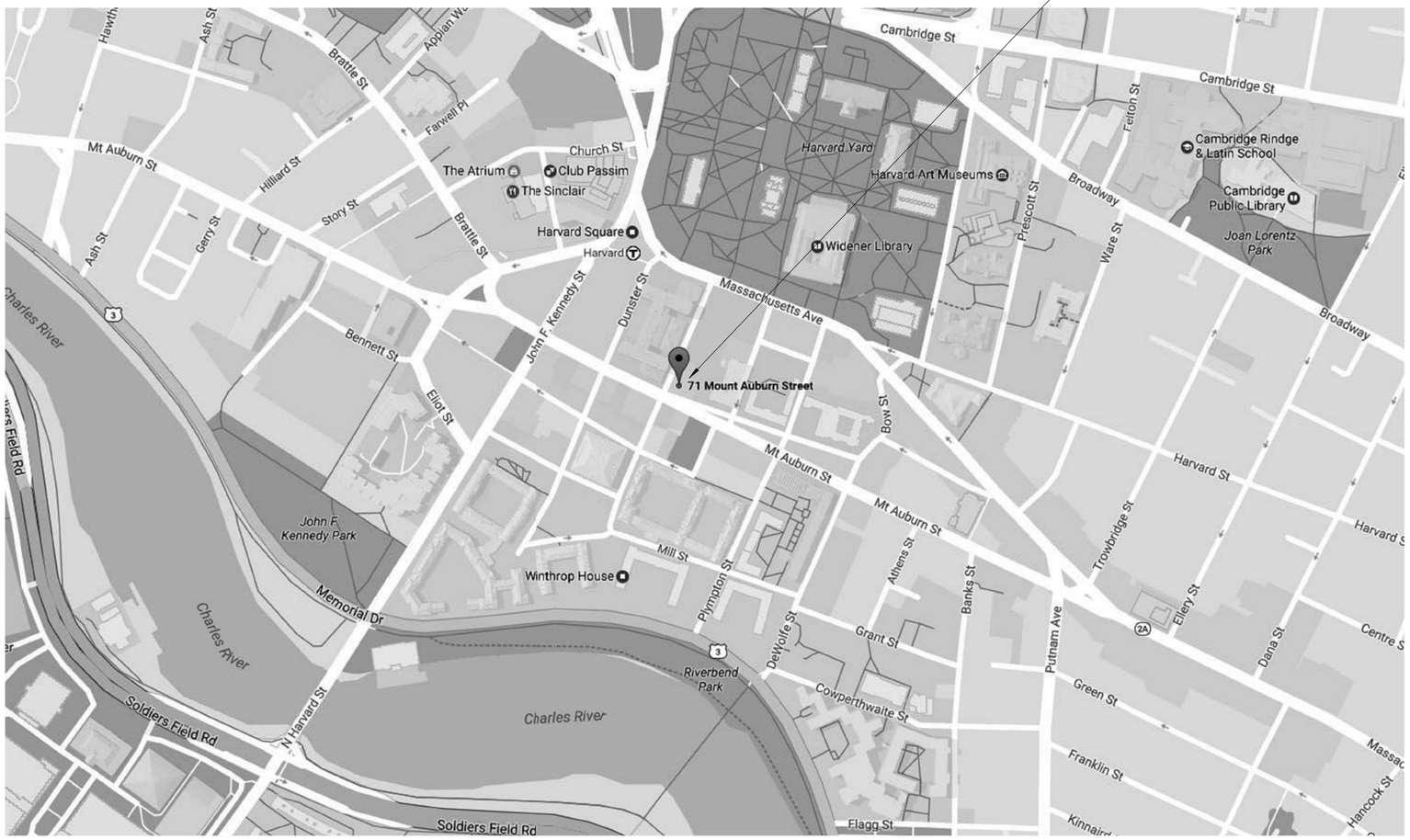
Hearing Date: 7/13/17

Thank you,
Bza Members

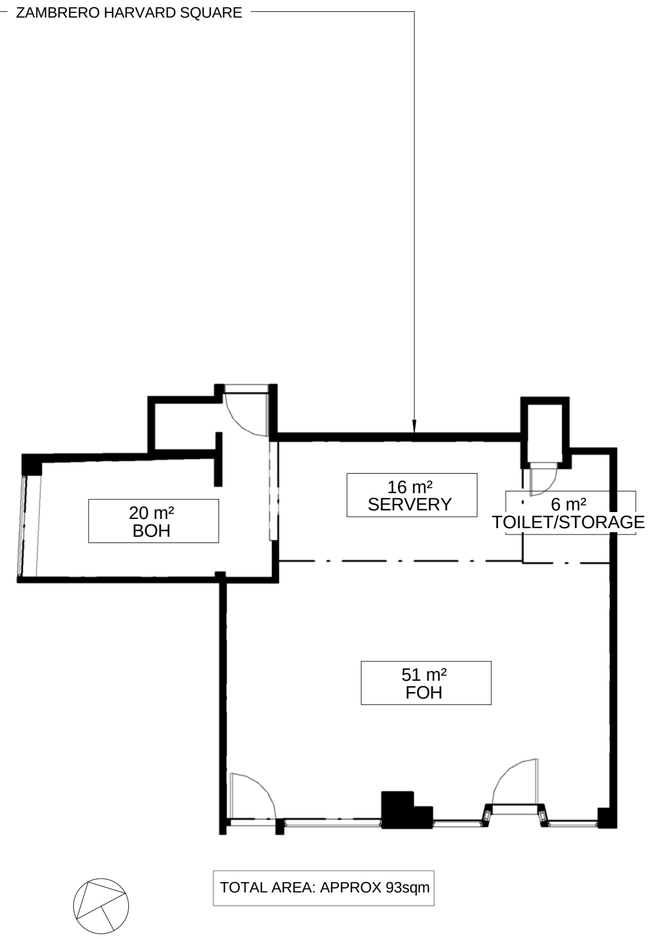
PROJECT NAME: ZAMBRERO HARVARD SQUARE
PROJECT ADDRESS: 71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA
HEAD OF BUILDING AND DESIGN: SALLY FONG SALLY@ZAMBRERO.COM
DESIGNER: CHRISTIAN MEOGROSSI C.MEOGROSSI@ZAMBRERO.COM
HYDRAULIC ENGINEER:
MECHANICAL ENGINEER:
LANDLORD/REPRESENTATIVE:

DRAWING LIST

DRAWING NO.	DRAWING TITLE	CURRENT REV.	REVISION DESRIPTION	REVISION DATE	DRAWN BY	CHECKED BY
D000	COVER PAGE	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D002	SCHEDULES	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D004	GRAPHICS SCHEDULE	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D101	EXISTING & DEMOLITION PLAN	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D102A	PROPOSED FLOOR PLAN	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D103	SETOUT & PARTITION PLAN	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D104	REFLECTED CEILING PLAN	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D200	ELEVATIONS - SHOPFRONT & FRONT OF HOUSE	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D201	ELEVATIONS - SERVERY & BACK OF HOUSE	B	PRELIMINARY CONCEPT	23.05.17	CM	SF
D300	PERSPECTIVES	B	PRELIMINARY CONCEPT	23.05.17	CM	SF



1 D000 SITE PLAN
1 : 500



2 D000 AREA PLAN
1 : 100

Zambrero Pty Ltd
Suite 2402, 1 Alfred St
Sydney, NSW 2000
Australia
tel: +(61) 2 9252 9673

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REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM CHK BY: SF

SCALE @ A2: As indicated

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
COVER PAGE

DRAWING NO.:
D000

EQUIPMENT SCHEDULE

CODE	QTY	ITEM	MODEL	MANUFACTURER	SUPPLIER	PURCHASED BY	INSTALLED BY	COMMENTS
E01	1	EFTPOS MACHINE	TBC	TBC	TBC	ZAMBRERO	ZAMBRERO	
E02	1	CASH REGISTER AND POS UNIT		TRT	TRT	ZAMBRERO	ZAMBRERO	
E03	1	STEREO AMP			BUILDER	BUILDER	BUILDER	BUILDER TO SUPPLY DUAL ZONE AMP
E04	1	SAFE	SSD45K OR SIMILAR	CHUBB	CITY SAFES	ZAMBRERO	BUILDER	455H x 340W x 380D
E05	1	HOT & COLD DISPLAY UNIT	GRETA	STODDART	TRIMARK	ZAMBRERO	BUILDER	3600W x 920D x 900H, 25AMP HARDWIRED. REFER TO INSTALLATION MANUAL. DO NOT SILICONE CHOPPING BOARDS. REFER TO PLANS FOR ORIENTATION.
E06	2	TORTILLA PRESS	WCT6	WOODSON	TRIMARK	ZAMBRERO	TRIMARK	415W x 540D x 230H, 15AMP
E07	1	QUESADILLA PRESS	WCT6	WOODSON	TRIMARK	ZAMBRERO	TRIMARK	415W x 540D x 230H, 15AMP
E08	2	RICE COOKER	ERS5L	AUSCROWN	TRIMARK	ZAMBRERO	TRIMARK	450W x 450D x 380H, 10AMP
E09	2	INGREDIENTS BIN			TRIMARK	ZAMBRERO	TRIMARK	
E10	1	SALAMANDER	WGTSQI15	WOODSON	TRIMARK	ZAMBRERO	TRIMARK	725W x 536D x 375H, 15AMP
E16	1	2 DOOR COUNTER FRIDGE	RCSN2M2T	ELECTROLUX	TRIMARK	ZAMBRERO	TRIMARK	1240W x 700D x 900H*, 10AMP. *LARGER CASTORS TO BE ORDERED TO ENSURE 900H
E19	1	3 DOOR UPRIGHT FRIDGE	HPS3SDCB	WILLIAMS	TRIMARK	ZAMBRERO	TRIMARK	1825W x 715D x 2040H, 4AMP
E26	1	FOOD PROCESSOR	CL50	ROBOT COUPE	TRIMARK	ZAMBRERO	TRIMARK	350W x 320D x 590H, 6AMP
E27	1	FOOD PROCESSOR BLADE RACK	101230	ROBOT COUPE	TRIMARK	ZAMBRERO	BUILDER	
E28	1	MAGNETIC KNIFE RACK			TRIMARK	ZAMBRERO	BUILDER	
E32	1	SWITCH & PATCH PANEL	TBC	TBC	BUILDER	BUILDER	BUILDER	MIN: 12 PORT PATCH PANEL
E33	1	CCTV SCREEN	TBC	TBC	TBC	BUILDER	BUILDER	TV SCREEN TO BE CONNECTED TO CCTV DVR
E37	1	ROUTER	TBC	TBC	TBC	ZAMBRERO	ZAMBRERO	
E38	1	SOAP DISPENSER			ECOLAB	ZAMBRERO	BUILDER	
E39	1	PAPER TOWEL DISPENSER			PFD	ZAMBRERO	BUILDER	
E41	1	FIRE BLANKET	TBC	TBC	BUILDER	BUILDER	BUILDER	
E42	1	FIRE EXTINGUISHER	4.5kg DRY CHEMICAL ABE FIRE EXTINGUISHER	TBC	BUILDER	BUILDER	BUILDER	INSTALLATION & COMMISSIONING OF THE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH CLAUSE E1.6 OF THE BCA & AS2444-2001
E43	1	FIRST AID KIT			TRIMARK	ZAMBRERO	BUILDER	
E44	4	UNDER COUNTER BIN			TRIMARK	ZAMBRERO	BUILDER	
E45	2	ROUND BIN	RB75L		TRIMARK	ZAMBRERO		RUBBISH BIN 75L GREEN WITH BLACK LID
E47	3	SPEAKER	TBC	TBC	TBC	BUILDER	BUILDER	COLOUR: BLACK
E48	9	SURVEILLANCE CAMERA	TBC	TBC	TBC	BUILDER	BUILDER	COLOUR: BLACK
E49	1	12RU RACK MOUNT ENCLOSURE	HB-5174	JAYCAR	JAYCAR	BUILDER	BUILDER	BUILDER TO SUPPLY 1x QUAD SURGE PROTECTION BOARD
E50	4	TV SCREEN	K3300UW	HISENSE	JB HIFI	ZAMBRERO	BUILDER	40" UHD SMART LED LCD TV. FRANCHISE PARTNER TO SUPPLY TV'S, BUILDER TO SUPPLY BRACKETS AND 2x CAT6 TO HDMI CONVERTERS PER TV
E52	2	SOUS VIDE BAIN	CUSTOM	STODDART	TRIMARK	ZAMBRERO	BUILDER	10AMP
E53	1	CCTV DVR	TBC	TBC	TBC	BUILDER	BUILDER	DVR TO HAVE IPHONE CAPABILITIES AND RECORD AND STORE UP TO 1 MONTH OF DATA
E55.9	1	4 TIER DRY STORAGE 610 x 1065	4T74.2442.NK3	METRO	TRIMARK	ZAMBRERO	BUILDER	4x POSTS AND 4x SHELVES WITH SHELF CLIPS
E55.11	1	4 TIER DRY STORAGE 610 x 1370	4T74.2454.NK3	METRO	TRIMARK	ZAMBRERO	BUILDER	4x POSTS AND 4x SHELVES WITH SHELF CLIPS
E70	1	COUNTERTOP BAIN MARIE	WBMS.11	WOODSON	TRIMARK	ZAMBRERO	BUILDER	370W x 600D x 288H, 10AMP
E71	1	UTENSIL DISPENSER			TRIMARK	ZAMBRERO	BUILDER	3x STAINLESS UTENSIL HOLDER
E78	1	DRY RACK 455 x 760			TRIMARK	ZAMBRERO	BUILDER	4x POSTS AND SHELF SUPPORT WITH CLIPS, 6 SHELVES
E79	1	SMART WALL			TRIMARK	ZAMBRERO	BUILDER	BUILDER TO INSTALL BRACKET AND GRID
E80	2	INLINE FAN	RP356	FANTECH	FANTECH	BUILDER	BUILDER	
E81	2	JUICE DISPENSER	D25-3	CRATHCO	TRIMARK	ZAMBRERO	BUILDER	
E82	1	B32 SELF CONTAINED	B32	STRUCTURAL CONCEPTS	TRIMARK	ZAMBRERO	BUILDER	Refrigerated Self-Service Case - 24"D
E83	1	B42 SELF CONTAINED	B42	STRUCTURAL CONCEPTS	TRIMARK	ZAMBRERO	BUILDER	Refrigerated Self-Service Case - 24"D

PLUMBING SCHEDULE

CODE	QTY	ITEM	MODEL	MANUFACTURER	SUPPLIER	PURCHASED BY	COMMENTS	Type Image
PL01	1	WALL MOUNTED SWIVEL MIXER TAPSET	TBC	TBC	TRIMARK	ZAMBRERO		
PL02	1	HANDWASH BASIN KNEE OPERATED	WB.KO1.300TV	STODDART	TRIMARK	ZAMBRERO	420D x 500W x 312H	
PL04	1	SINGLE LEVER MIXER		ENWARE	ENWARE	BUILDER	SWIVEL TAP	
PL05	2	PRE RINSE SPRAY GUN	CMPL.0841	STODDART	TRIMARK	ZAMBRERO	BUILDER TO INSTALL AS PER MANUFACTURER'S SPECIFICATIONS INCLUDING WALL BRACKET	
PL13	1	ICE MACHINE	EC46	SCOTSMAN ISE SYSTEMS	TRIMARK	BUILDER	386W x 600D x 778H	
PLEX1	1	EXISTING TOILET	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING TOILET	
PLEX2	1	EXISTING TOILET BASIN	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING TOILET BASIN	

LIGHTING SCHEDULE

CODE	QTY	ITEM	MODEL	WATTAGE	MANUFACTURER	SUPPLIER	PURCHASED BY	COMMENTS	IMAGE
E	3	EMERGENCY LIGHT	BUILDER TO SOURCE	9W	BUILDER TO SOURCE	BUILDER	BUILDER		
L1	11	SERVERY DOWNLIGHT	IP 4/4 RATED LED DOWNLIGHT. LAMP COLOUR TEMP: 3000K WARM WHITE	11W	ECO LIGHTING SUPPLIES, PH: 1300 255 533	ECO LIGHTING SUPPLIES, PH: 1300 255 533	BUILDER	BLACK FINISH	
L5	4	TRACK LIGHTING	LG EXT-LED-700MA-D-861. ROUND HEAD DIMMABLE LED TRACK LIGHT SINGLE CIRCUIT BLACK	8W	ECO LIGHTING SUPPLIES, PH: 1300 255 533	ECO LIGHTING SUPPLIES, PH: 1300 255 533	BUILDER	BLACK FINISH	
L6	4	CEILING MOUNTED FLUORESCENT LIGHT	TWIN TUBE FLUORESCENT RECESSED WITH PRISMATIC DIFFUSER	36W	BUILDER TO SOURCE	BUILDER	BUILDER	FOR BOH	
L9	4	EXTERIOR WALL LIGHT	SL3863GY-21 SURFACE MOUNTED LED WALL LIGHT	10W	SUPERLIGHT, PH:1300 558 217	SUPERLIGHT	BUILDER		
L10	12	FEATURE JAR PENDANT	2200K LED VINTAGE EDISON EXPOSED BULBS	6W	BUILDER TO SOURCE	BUILDER	BUILDER	ZAMBRERO SAUCE JARS TO BE USED AS LIGHTING FEATURES WITH LED GLOBES INSIDE - DETAILS TBC	

SIMPLY STAINLESS SCHEDULE

CODE	QTY	ITEM	MODEL	MANUFACTURER	SUPPLIER	INSTALLER	COMMENTS
SS01	1	CUSTOM STAINLESS INFIL PIECES	CUSTOM	BUILDER	BUILDER	BUILDER	CUSTOM INFILL PIECES TO CLOSE GAPS ON EITHER SIDE OF STAINLESS PIECES IN KITCHEN. WIDTHS TO BE DETERMINED ON SITE
SS02	2	PIPE WALL SHELF 0600 x 300	11.0600	SIMPLY STAINLESS	TRIMARK	BUILDER	SEE FLOOR PLAN FOR LOCATION, CONTRACTOR TO CONFIRM ON SITE THE INSTALLATION HEIGHTS OF SHELVES
SS03	1	SINK BENCH WITH SPLASHBACK 700 x 0600	05.7.0600	SIMPLY STAINLESS	TRIMARK	BUILDER	SUPPLIED WITH A SINK BASKET WASTE WITH BASKET TO BE INSTALLED
SS04	1	SOLID WALL SHELF 1200 x 300	10.1200	SIMPLY STAINLESS	TRIMARK	BUILDER	SEE FLOOR PLAN FOR LOCATION, CONTRACTOR TO CONFIRM ON SITE THE INSTALLATION HEIGHTS OF SHELVES
SS05	1	TRIPLE BOWL SINK WITH UPSTAND 700 x 2400	24.7.2400TB	SIMPLY STAINLESS	TRIMARK	BUILDER	SUPPLIED WITH 3x SINK BASKET WASTE WITH BASKET TO BE INSTALLED IN EACH BASIN
SS06	1	WORK BENCH & ADDITIONAL UNDERSHELF 900 x 1070	01.9.1200 + 21.US.7.1200	SIMPLY STAINLESS	TRIMARK	BUILDER	ADDITIONAL UNDERSHELF 21.US.7.1200 TO BE INSTALLED TO WORKBENCH 01.9.1200. UNDERSHELF FOR 900mm DEEP BENCH SAME AS 700mm DEEP BENCH.
SS07	1	WORK BENCH WITH SPLASHBACK 700 x 0600	02.7.0600	SIMPLY STAINLESS	TRIMARK	BUILDER	
SS08	2	WORK BENCH WITH SPLASHBACK & EXTRA UNDERSHELF 700 x 0600	02.7.0600 + 21.US.7.0600	SIMPLY STAINLESS	TRIMARK	BUILDER	ADDITIONAL UNDERSHELF 21.US.7.0600 TO BE INSTALLED TO WORKBENCH 02.7.0600
SS09	1	WORK BENCH WITH SPLASHBACK & EXTRA UNDERSHELF 700 x 1800	02.7.1800 + 21.US.7.1800	SIMPLY STAINLESS	TRIMARK	BUILDER	ADDITIONAL UNDERSHELF 21.US.7.1800 TO BE INSTALLED TO WORKBENCH 02.7.1800
SS10	2	WORK BENCH WITH SPLASHBACK & LEG BRACE 700 x 0600	02.7.0600 + 22.LB.7.0600	SIMPLY STAINLESS	TRIMARK	BUILDER	UNDERSHELF SUPPLIED WITH 02.7.0600 TO BE REPLACED BY THE SEPARATE LEG BRACE COMPONENT
SS12	1	WORK BENCH WITH SPLASHBACK & LEG BRACE 700 x 0900	02.7.0900 + 22.LB.7.0900	SIMPLY STAINLESS	TRIMARK	BUILDER	UNDERSHELF SUPPLIED WITH 02.7.0900 TO BE REPLACED BY THE SEPARATE LEG BRACE COMPONENT
SS13	1	CUSTOM BENCH	CUSTOM	BUILDER	BUILDER	BUILDER	900mm HEIGHT CUSTOM BENCH TOP TO BE MOUNTED TO EXISTING HALF HEIGHT NIB WALL INFRONT OF WINDOW IN KITCHEN. EXACT DIMENSIONS TO BE DETERMINED ON SITE

FURNITURE & HARDWARE SCHEDULE

CODE	QTY	ITEM	MODEL	MANUFACTURER	SUPPLIER	PURCHASED BY	DESCRIPTION	IMAGE
F01	30	EMECO CHAIR BLACK	EMECO US NAVY CHAIR BLACK	EMECO	REPLICA	ZAMBRERO	BLACK ALUMINIUM CHAIR	
F02	12	STANDARD TABLE	BLACK COMPACT LAMINATE TOP WITH BLACK 4 WAY BASE		JAMES RICHARDSON, PH: ROBERT 02 9310 7155	ZAMBRERO		
F03	1	A1 LOCKABLE OUTDOOR SIGN FRAME	DY03A1S		SLIMLINE WAREHOUSE, PH: 1300 658 808	BUILDER	A1 OUTDOOR LOCKABLE SIGN FRAME	
F04	254	SMALL POTTED PLANTS	PLANTS - ARTICLE NUMBER: 501.919.93 POTS - ARTICLE NUMBER: 401.745.93	IKEA	BUILDER	BUILDER	PLANTS: IKEA FEJKA ARTIFICIAL POTTED PLANTS ARTICLE NUMBER: 501.919.93 - ALL PLANTS ON TABLES TO BE IN IKEA "ORÅDD" POTS ARTICLE NUMBER: 401.745.93	
F05	198	SMALL POT	10.5cm "ORÅDD" PLANT POT - IKEA (CODE: 401.745.93)	IKEA	IKEA	BUILDER	POTS FOR ALL SMALL ARTIFICIAL PLANTS ON COMMUNAL TABLES AND COFFEE TABLE	

FINISHES SCHEDULE

CODE	NAME	MODEL	MANUFACTURER	COMMENTS	IMAGE
C01	FC SHEETING	FC SHEETING + 2PAC HIGH GLOSS CONCRETE SEAL. TO BE MEASURED AND CUT ON SITE	BUILDER TO SOURCE & SUPPLY - TO BE MEASURED AND CUT ON SITE	FC SHEETING + 2PAC HIGH GLOSS CONCRETE SEAL. TO BE MEASURED AND CUT ON SITE	
FL01	EXISTING CONCRETE FLOOR	R10 SLIP RATING		EXISTING CONCRETE FLOORING TO BE TOPPED, GROUND AND POLISHED. ENSURE SLIP RATING OF R10	
P01	CHARCOAL GREY PAINT	PG1A8 DOMINO	DULUX, PH: 12 23 77	WASH N WEAR ON INTERIOR WALLS AND CEILINGS, EXTERIOR GRADE ON EXTERNAL WALLS	
P02	WHITE PAINT	PW1H9, VIVID WHITE LOW SHEEN	DULUX PH:13 22 77	1 PRIMARY COAT, 2 COLOUR COATS	
P05	BLACK PAINT	CODE: PG1A9	DULUX. PH: 13 23 77	LOW SHEEN FINISH APPLIED TO SUBSTRATE AND WALLS. SLIGHT BRUSHSTROKE TO BE VISIBLE	
P06	WHITE HIGH GLOSS PAINT	CODE: 38104912-4L	DULUX. PH: 13 23 77	DULUX SUPER ENAMEL OIL BASED HIGH GLOSS. COLOUR : WHITE. HIGHLY WASHABLE, HIGHLY SCUFF PROOF	
SK01	BLACK POWDERCOATED ALIMINIUM	SKIRTING	BUILDER	GENERAL SKIRTING. TRIMS TO BE BLACK COLOUR	
SS	STAINLESS STEEL		BUILDER TO SOURCE & SUPPLY	TO FOOD PREP AREAS	
T02	HOOP PINE	HOOP PINE	BUILDER TO SOURCE	FINISHED WITH NON-YELLOWING LOW SHEEN ENAMEL FINISH, COLOUR OF HOOP PINE TO BE CONFIRMED WITH DESIGNER BEFORE INSTALLATION	
T03	OSB		GUNNERSEN'S	ALLOW TO LIGHTLY SAND AND FINISH WITH NON-YELLOWING LOW SHEEN ENAMEL FINISH, COLOUR OF OSB TO BE CONFIRMED WITH DESIGNER BEFORE INSTALLATION	
T05	RECYCLED TIMBER	RECYCLED HARDWOOD GREY FACE WIRE BRUSHED APPROX. 100mm WIDE	IRONWOOD AUSTRALIA. PH: 02 9818 1166 (OR SIMILAR)	PACKERS TO BE USED BEHIND BOARDS TO VARY THICKNESS OF FINISHED CLADDING FURTHER WHERE NECESSARY TO ACHIEVE DESIRED FINISH. SEE T05. COLOUR VARIES PIECE BY PIECE TO BE LAID OUT DIAGONALLY AT 45 DEGREES AS SHOWN IN DRAWINGS AND RENDERS	
T06	BLACK LAMINATE	BLACK LAMINATE		BLACK LAMINATE	
T08	CHARCOALGREY PAINTED PANELLING	EASYGROOVE 150 PRE-PRIMED INTERNALL WALL PANEL	EASYCRAFT PH:07 3906 7200	1200mm W x 3000mm L x 9mm THK EASYGROOVE 150 PRE-PRIMED INTERNALL WALL PANEL PAINTED P01 ORIENTED VERTICALLY	
T09	PINE LENGTHS	20mm STANDARD GRADE THICK DRESSED PINE LENGTHS	GUNNERSEN'S. PH: 0418 676 170	PALLET FURNITURE AND FEATURES	
TL01	WHITE TILE	200mm x 200mm	BUILDER TO SOURCE & SUPPLY	WHITE TILES WITH WHITE EPOXY GROUT	
TL02	BLACK SUBWAY TILES	300mm x 100mm	BUILDER TO SOURCE & SUPPLY	BLACK SUBWAY TILES WITH WHITE EPOXY GROUT	
VN1	VINYL	CASSIDY 3487 CHARCOAL	BARESQUE	VINYL FACE ON A KNITTED FABRIC BACKING. 400,000 + DOUBLE RUBS WYZENBEE. <27m = $59.50/m >27m = $49.50/m (lineal metre @ 1370mm WIDE)	

GC OR BUILDER TO SOURCE LOCAL ALTERNATIVES AND SUBMIT FOR APPROVAL

Zambrero Pty Ltd
Suite 2402, 1 Alfred St
Sydney, NSW 2000
Australia
tel: +(61) 2 9252 9673

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NOTES

BUILDER TO ACCEPT ALL DELIVERIES OF SCHEDULED EQUIPMENT AS OUTLINED BY ZAMBRERO PROJECT MANAGEMENT TEAM

REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM CHK BY: SF

SCALE @ A2:

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

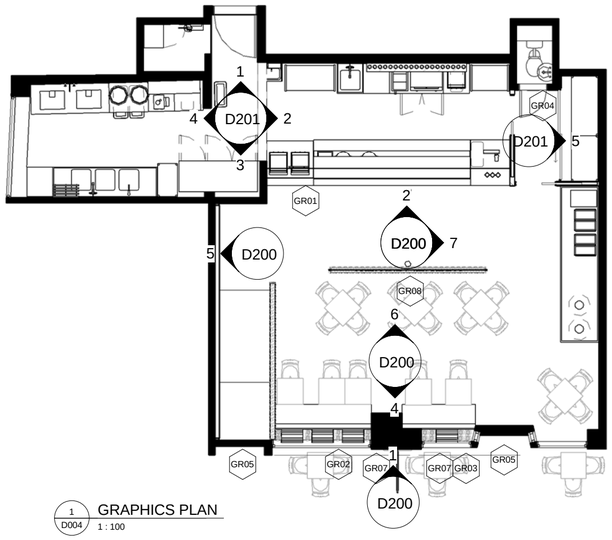
PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
SCHEDULES

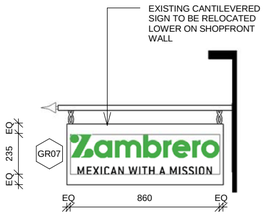
DRAWING NO.:
D002

GRAPHICS SCHEDULE			
QTY	CODE	NAME	DESCRIPTION
1	GR01	ORDER HERE	BLACK PAINT MASKED AND SPRAYED
1	GR02	ZAMBRERO LOGO LANDSCAPE	20mm LASERCUT OPAL ACRYLIC LETTERING WITH BLACK PAINTED EDGES CONCEALED FIXED TO EXISTING BRICK WALL - ILLUMINATED WITH SPOT LIGHTING
1	GR03	MEXICAN WITH A MISSION_WHITE	20mm LASERCUT OPAL ACRYLIC LETTERING WITH BLACK PAINTED EDGES CONCEALED FIXED TO EXISTING BRICK WALL - ILLUMINATED WITH SPOT LIGHTING
1	GR04	TOILET	WHITE PAINT MASKED AND SPRAYED

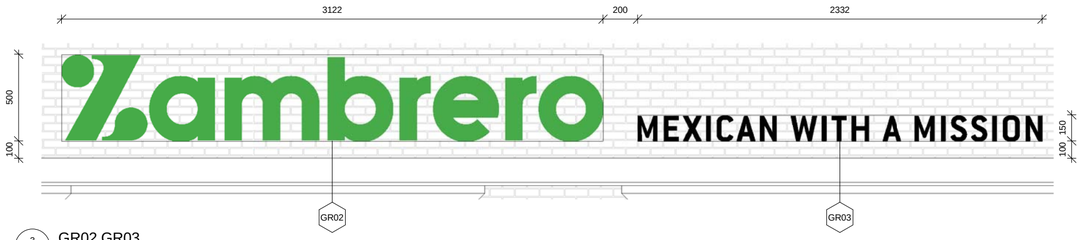
GRAPHICS SCHEDULE			
QTY	CODE	NAME	DESCRIPTION
2	GR05	TRADING HOURS	AVERY AUTUMN GREEN 5560 LASER CUT VINYL ADHERED TO INTERIOR FACE OF GLAZING
1	GR06	FOR EVERY BURRITO_6 LINES CENTER_WHITE	WHITE PAINT MASKED AND SPRAYED
2	GR07	ZAMBRERO MEXICAN WITH A MISSION_WHITE	ACRYLIC LETTERING ADHESIVE FIXED TO BLACK ALUCOBOND BACKING PANEL
1	GR08	LED SIGN	SEE DETAILS BELOW
1	GR09	1 BILLION MEALS GRAPHIC	DIGITAL PRINT ADHERED WITH AGGRESSIVE ADHESIVE
1	GR10	JOIN THE MOVEMENT_2 LINES_WHITE	DIGITAL PRINT ADHERED WITH AGGRESSIVE ADHESIVE



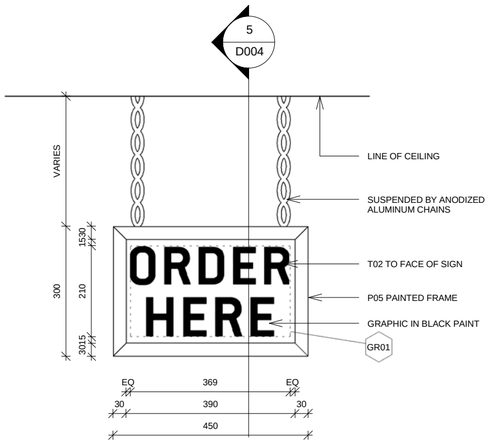
1 / D004 GRAPHICS PLAN
1 : 100



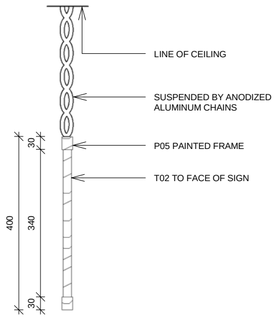
2 / D004 GR07
1 : 25



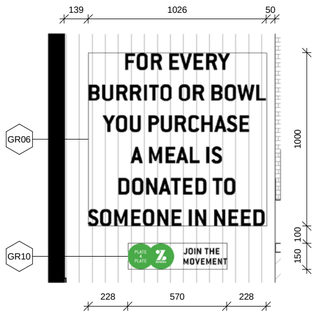
3 / D004 GR02 GR03
1 : 25



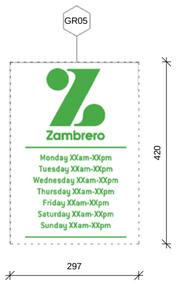
4 / D004 ORDER HERE SIGN ELEVATION
1 : 10



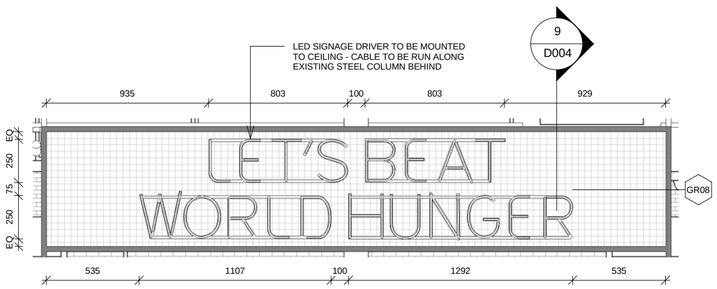
5 / D004 ORDER HERE SIGN SECTION
1 : 10



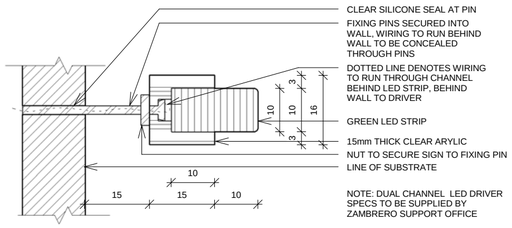
6 / D004 GR06 GR10
1 : 25



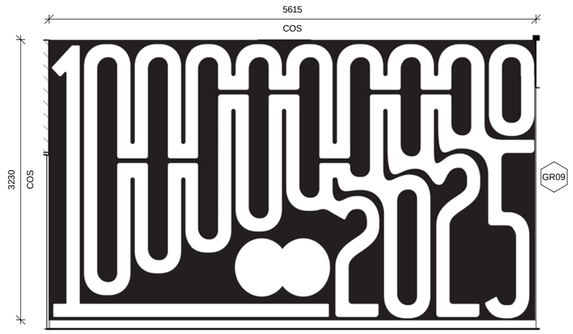
7 / D004 TRADING HOURS GRAPHIC
1 : 10



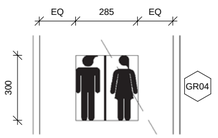
8 / D004 GR05
1 : 25



9 / D004 LED SIGN SECTION
1 : 1



10 / D004 GR09
1 : 50



11 / D004 GR04
1 : 20

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Suite 2402, 1 Alfred St
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Australia
tel: +(61) 2 9252 9673

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REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM
CHK BY: SF

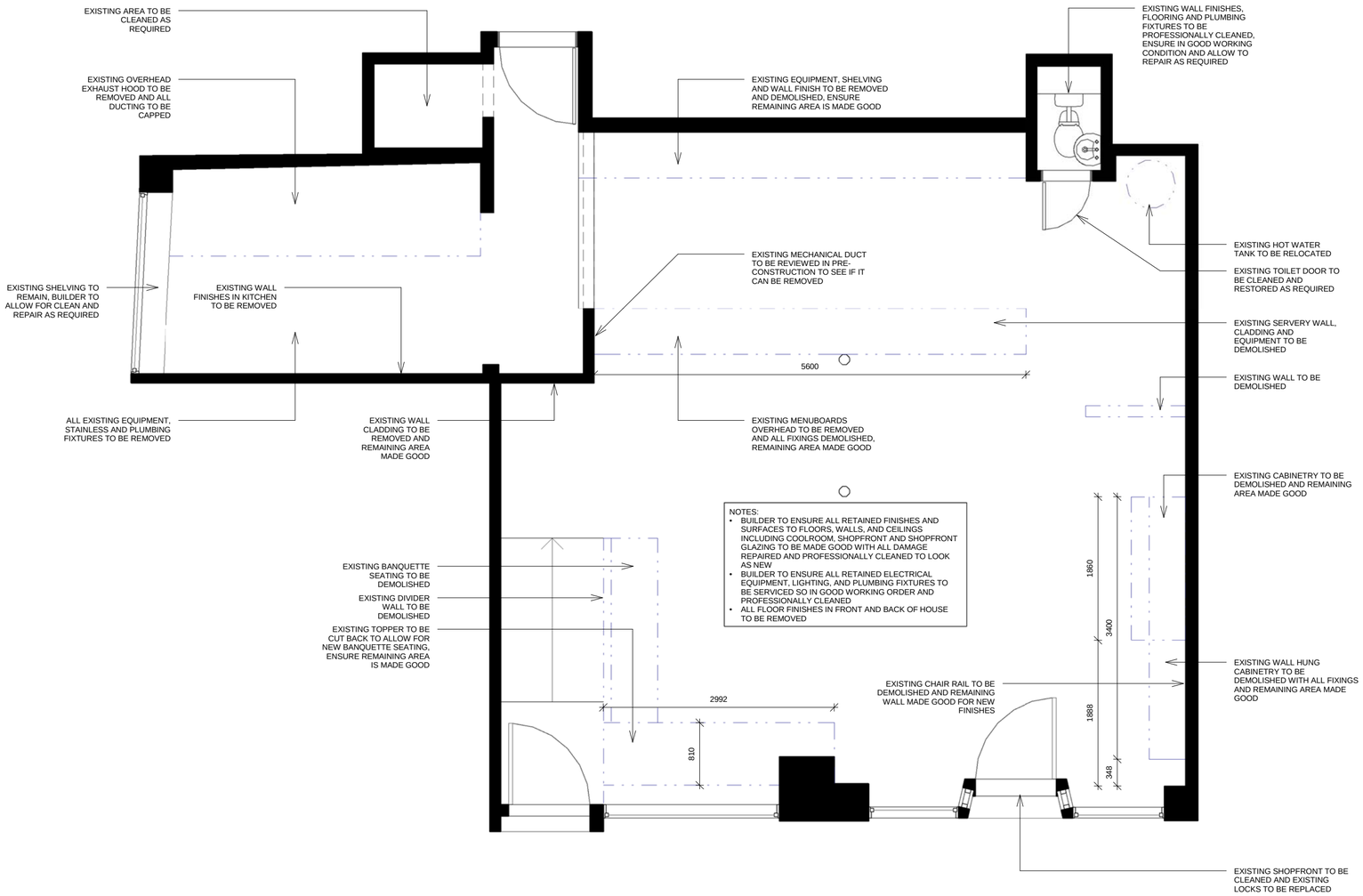
SCALE @ A2: As indicated

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
GRAPHICS SCHEDULE

DRAWING NO.:
D004



1 / D101 EXISTING LEASE PLAN & DEMOLITION PLAN
1 : 50

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LEGEND

EXISTING WALL TO REMAIN

WALLS/JOINERY TO BE DEMOLISHED

NOTES

MAKE GOOD ALL SURFACES AS REQUIRED

REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM | CHK BY: SF

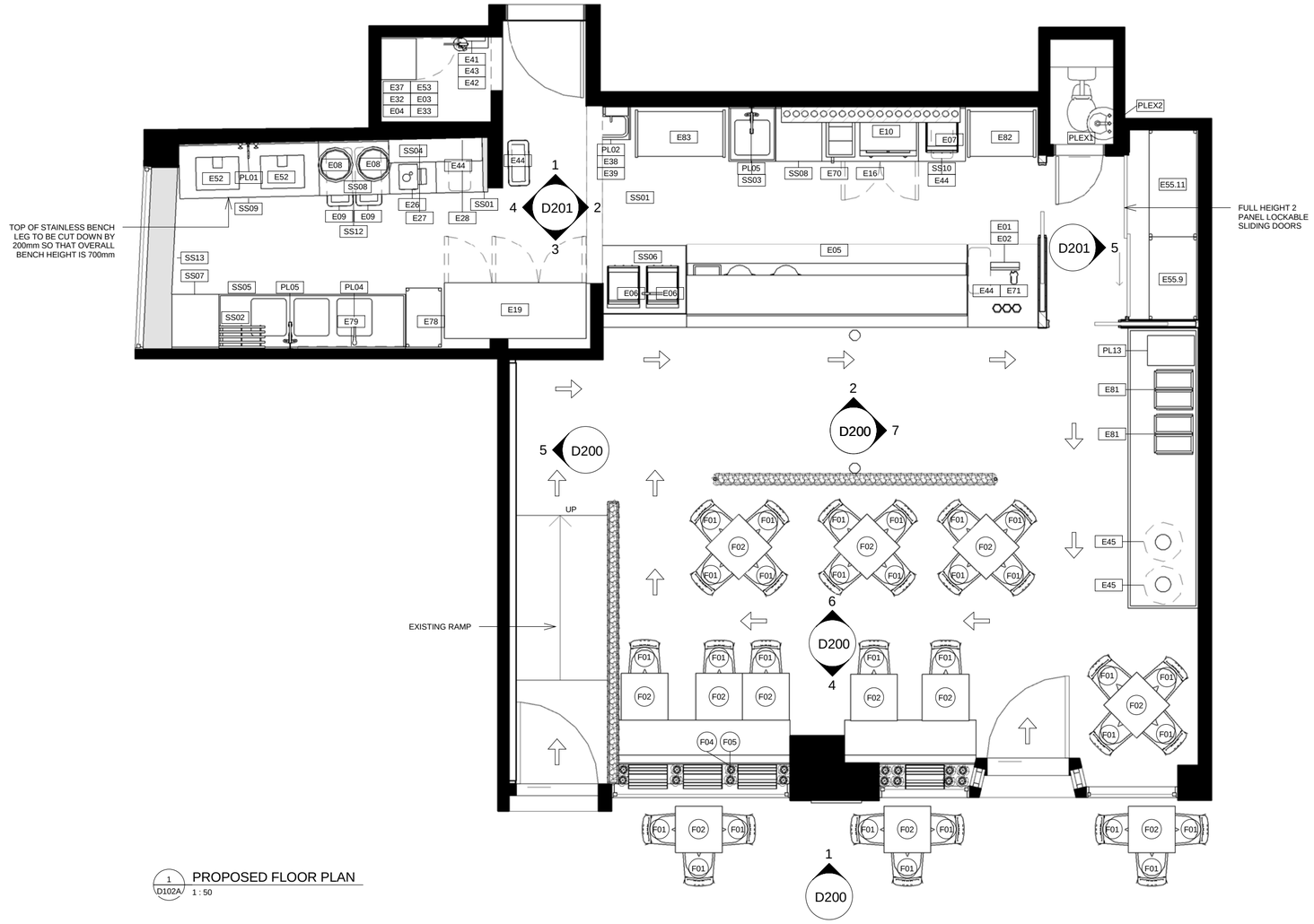
SCALE @ A2: 1 : 50

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
EXISTING & DEMOLITION PLAN

DRAWING NO.:
D101



1 D102A PROPOSED FLOOR PLAN
1 : 50

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LEGEND

- EXISTING WALL
- NEW WALL
- NEW WALL WITH BLOCKING FOR WALL SHELVES
- TRAFFIC FLOW ARROW
- E# EQUIPMENT NUMBER
- PL# PLUMBING NUMBER
- F# FURNITURE NUMBER
- STAINLESS BENCHES BY BUILDER

NOTES

BLACK 60mm DIA CABLE COVER TO BE USED WHEN GPO'S ARE LOCATED UNDERNEATH THE BENCHTOP AND EQUIPMENT IS ON TOP

REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM CHK BY: SF

SCALE @ A2: 1 : 50

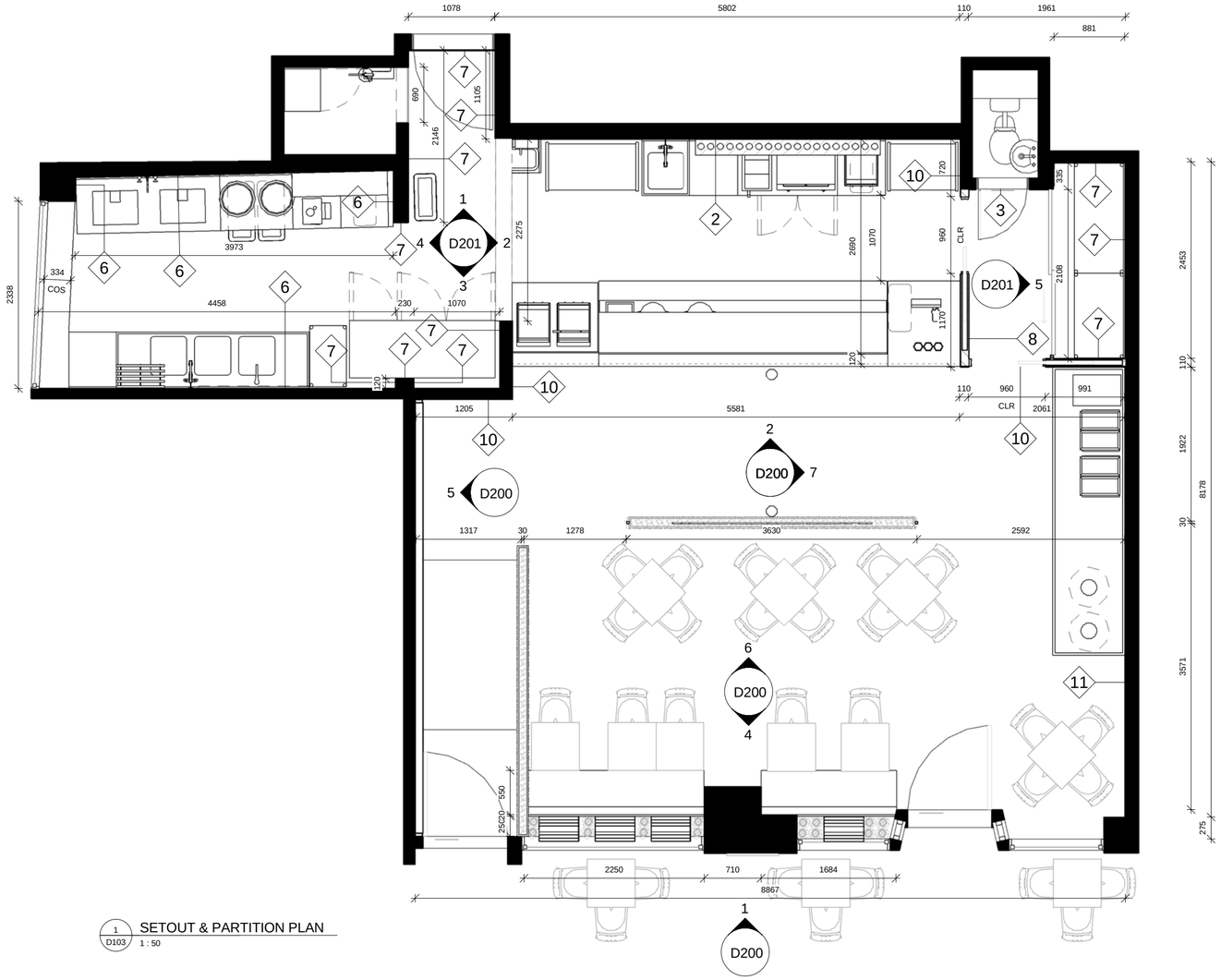
PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
PROPOSED FLOOR PLAN

DRAWING NO.:
D102A

WALL FINISH SCHEDULE	
CODE	FINISH
1	T05, SK01 TO 100mm AFFL
2	TL02, FL03 TO 100mm AFFL
3	P01, SK01 TO 100mm AFFL
6	TL01, FL03 TO 100mm AFFL
7	P06, FL03 TO 100mm AFFL
8	P01, FL03 TO 100mm AFFL
10	T08, SK01 TO 100mm AFFL
11	1 BILLION GRAPHIC WALLPAPER, SK01 TO 100mm AFFL
12	T05



1 / D103 SETOUT & PARTITION PLAN
1 : 50

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LEGEND

- EXISTING WALL
- NEW WALL
- NEW WALL WITH BLOCKING AS REQUIRED FOR WALL SHELVES
- # WALL FINISH TAG, SEE WALL FINISH LEGEND BELOW

NOTES

BLACK 60mm DIA CABLE COVER TO BE USED WHEN GPO'S ARE LOCATED UNDERNEATH THE BENCHTOP AND EQUIPMENT IS ON TOP

DIMENSIONS SHOWN TO EDGE OF FINISHED FACE OF WALL

BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM | CHK BY: SF

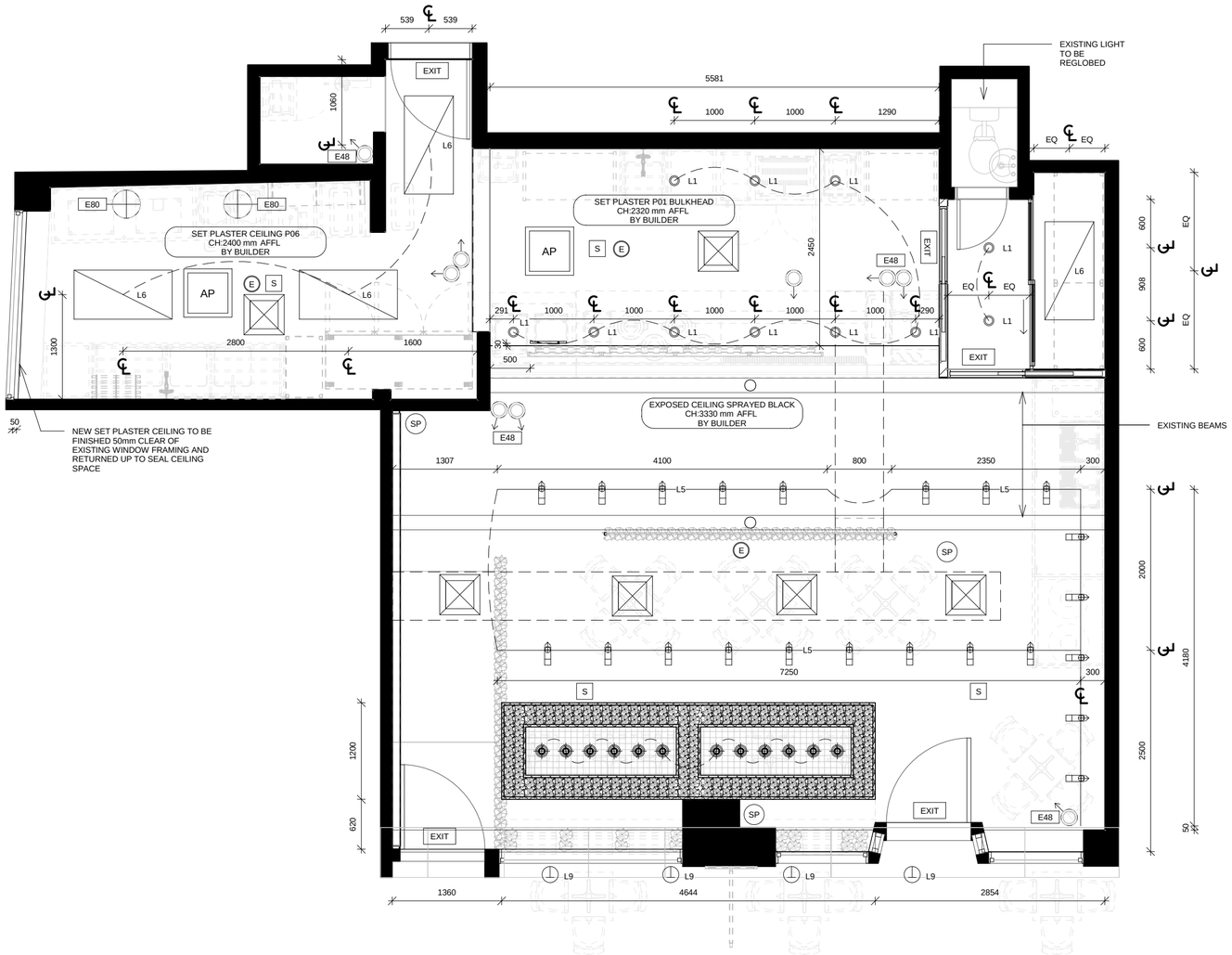
SCALE @ A2: 1 : 50

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
SETOUT & PARTITION PLAN

DRAWING NO.:
D103



1 / D104 REFLECTED CEILING PLAN
1 : 50

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Suite 2402, 1 Alfred St
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Australia
tel: +(61) 2 9252 9673

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LEGEND

- PENDANT
- RECESSED DOWNLIGHT
- WALL LIGHT
- SURFACE MOUNTED FLUORESCENT
- TRACK LIGHT
- SWITCH
- EMERGENCY LIGHT
- EXIT SIGN
- SMOKE DETECTOR
- EWIS SPEAKER
- SPRINKLER
- AC REGISTER
- ACCESS PANEL
- AP — LIGHTING TAG, SEE LIGHTING SCHEDULE FOR SPECIFICATIONS
- L# — E48 SURVEILLANCE CAMERA, SEE EQUIPMENT SCHEDULE FOR SPECIFICATIONS
- SP — E47 SPEAKER, SEE EQUIPMENT SCHEDULE FOR SPECIFICATIONS

NOTES

ESSENTIAL FIRE SERVICES TO BE IN ACCORDANCE WITH THE BCA & AUSTRALIAN STANDARDS

CONTRACTOR TO REVIEW AND ENSURE COMPLIANCE WITH PART J6 OF THE BCA

REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM | CHK BY: SF

SCALE @ A2: 1 : 50

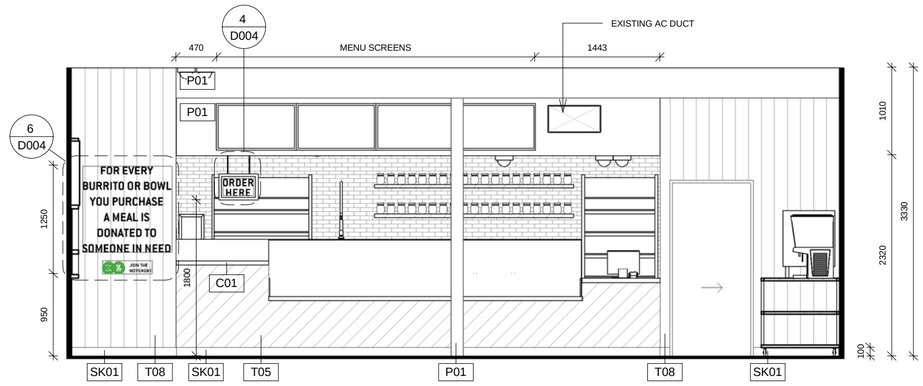
PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

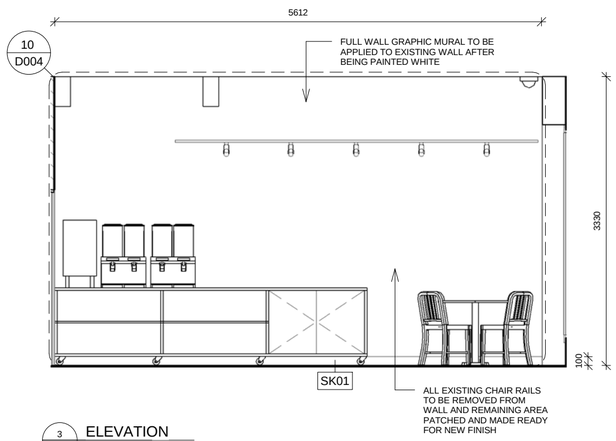
DRAWING NAME:
REFLECTED CEILING PLAN

DRAWING NO.:
D104

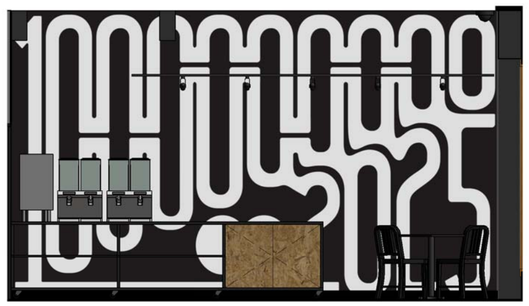
1 D200 ELEVATION
1 : 50



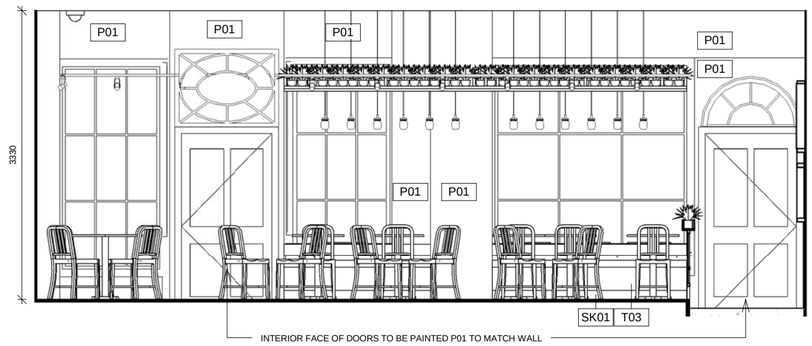
2 D200 ELEVATION
1 : 50



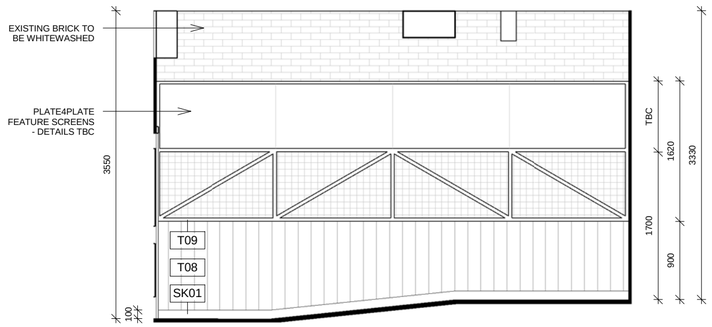
3 D200 ELEVATION
1 : 50



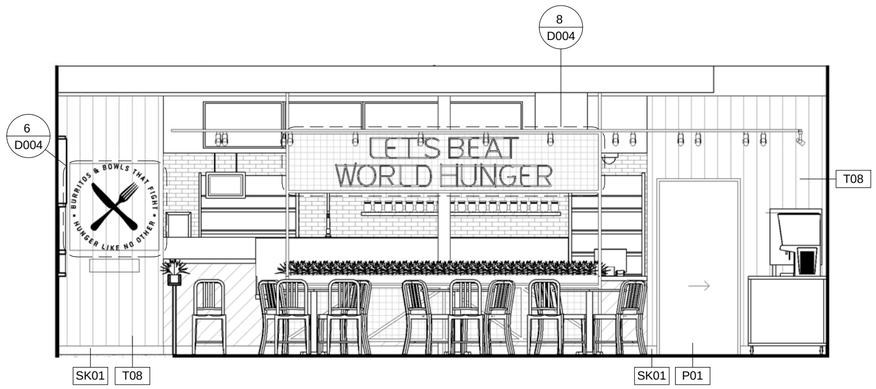
7 D200 RENDERED ELEVATION
1 : 50



4 D200 ELEVATION
1 : 50



5 D200 ELEVATION
1 : 50



6 D200 ELEVATION
1 : 50

Zambrero Pty Ltd
Suite 2402, 1 Alfred St
Sydney, NSW 2000
Australia
tel: +(61) 2 9252 9673

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REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM
CHK BY: SF

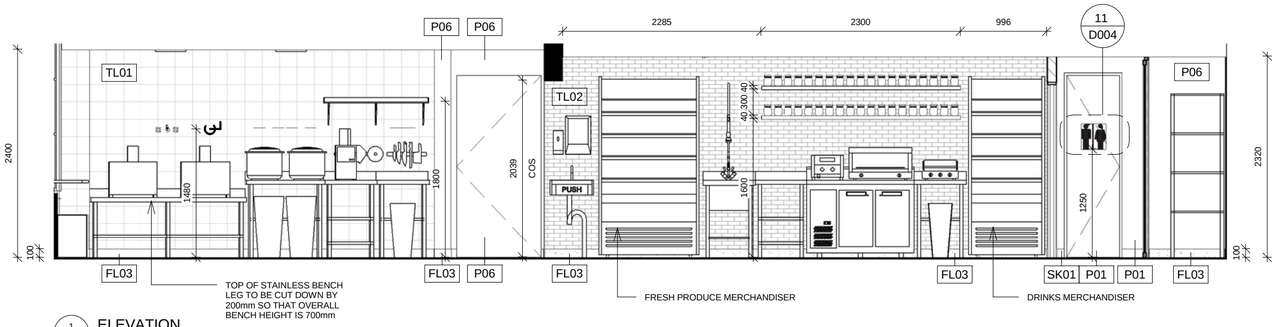
SCALE @ A2: 1 : 50

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

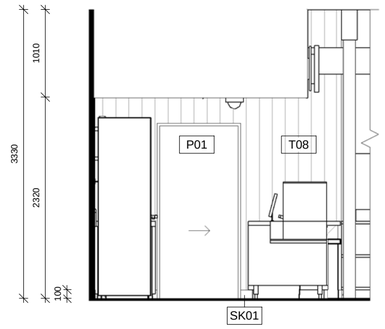
PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
ELEVATIONS - SHOPFRONT & FRONT OF HOUSE

DRAWING NO.:
D200



1 D201 ELEVATION
1 : 50



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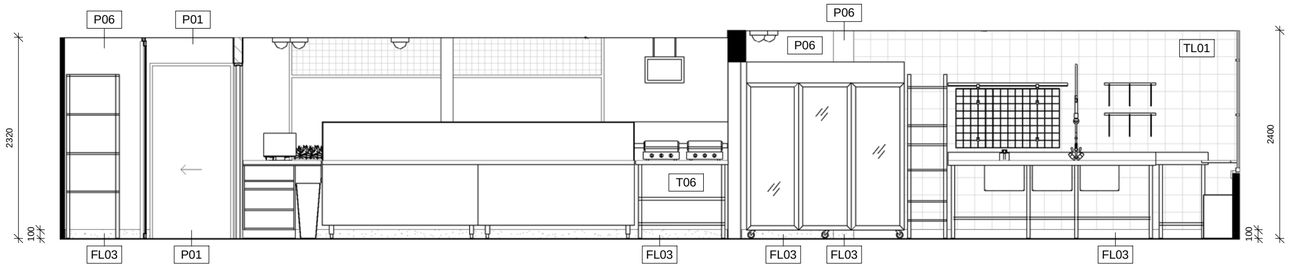
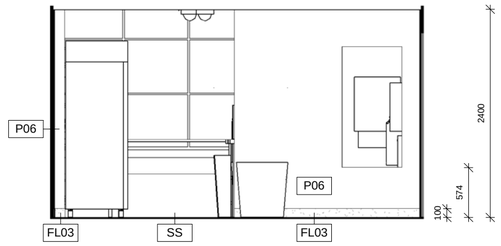
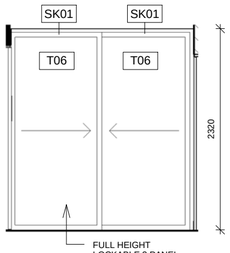
1 : 50



3 D201 ELEVATION
1 : 50



4 D201 ELEVATION
1 : 50



5 D201 ELEVATION
1 : 50

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Suite 2402, 1 Alfred St
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tel: +(61) 2 9252 9673

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REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM
CHK BY: SF

SCALE @ A2: 1 : 50

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
ELEVATIONS - SERVERY & BACK OF HOUSE

DRAWING NO.:
D201

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Suite 2402, 1 Alfred St
Sydney, NSW 2000
Australia
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REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17

DRW BY: CM | CHK BY: SF

SCALE @ A2:

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
PERSPECTIVES

DRAWING NO.:
D300

CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Floor, Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

Bruce A. Irving, *Chair*, Charles M. Sullivan, *Executive Director*
William G. Barry, Jr., Robert G. Crocker, Chandra Harrington, William B. King, Jo M. Solet, Susannah Barton Tobin, *Members;* Joseph V. Ferrara, Kyle Sheffield, *Alternates*

Jurisdiction Advice

To the Owner of Property at 71 Mt. Auburn Street

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

__ Old Cambridge Historic District
__ Fort Washington Historic District
(M.G.L. Ch. 40C, City Code §2.78.050)
__ Avon Hill Neighborhood Conservation District
__ Half Crown – Marsh Neighborhood Conservation District
_X_ Harvard Square Conservation District
No CHC review of fast order food use. Signs and exterior alterations subject to review.
__ Mid Cambridge Neighborhood Conservation District
__ Designated Landmark
__ Property is being studied for designation: _____
(City Code, Ch. 2.78., Article III, and various City Council Orders)
__ Preservation Restriction or Easement (as recorded)
__ Structure is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). **See the back of this page for definition of demolition.**
__ No jurisdiction: not a designated historic property and the structure is less than fifty years old.
__ No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SLB Date June 9, 2017

Received by Uploaded to Energov Date June 9, 2017
Relationship to project BZA 13467-2017

cc: Applicant
Inspectional Services Commissioner

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

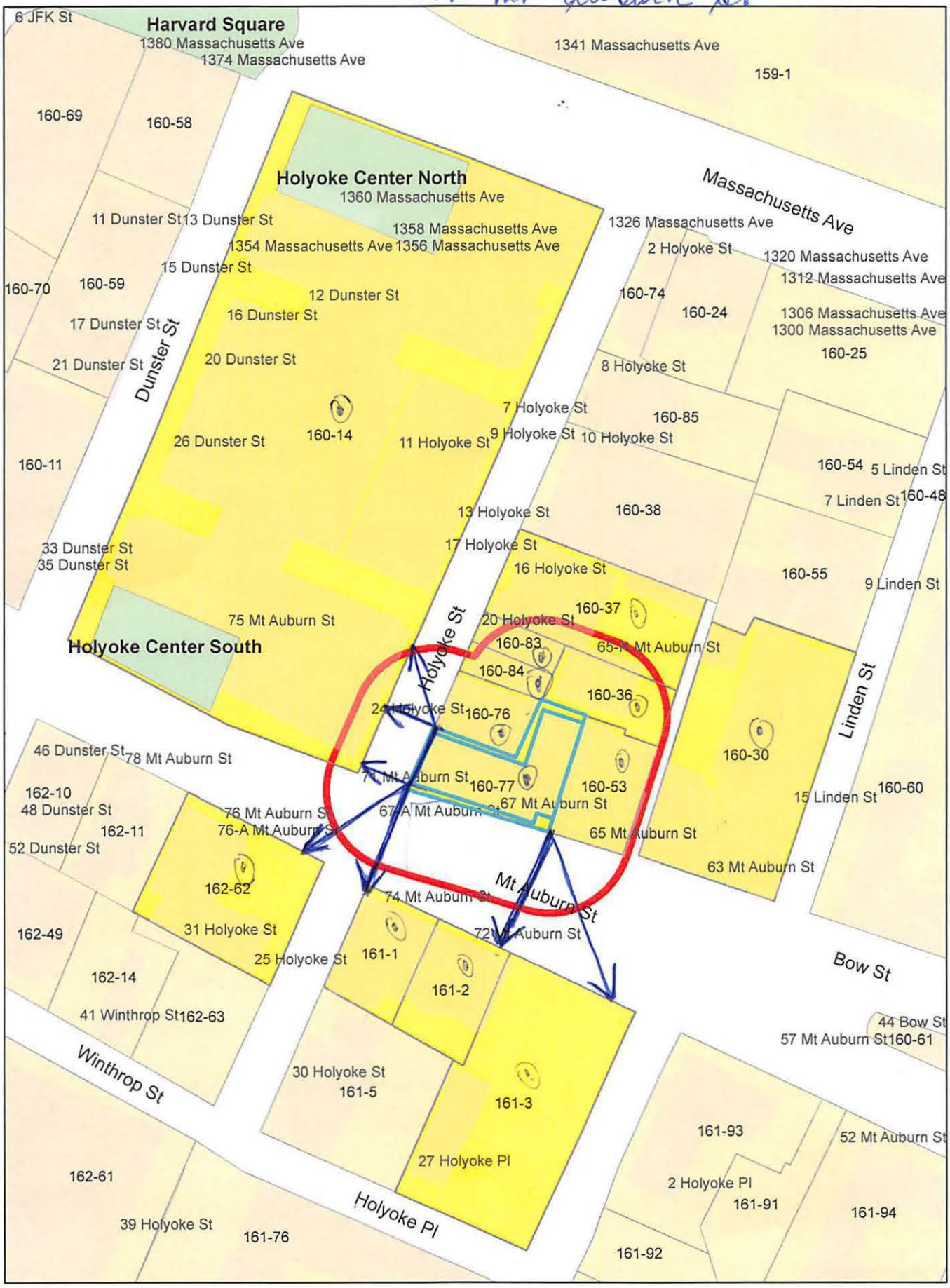
Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission
831 Massachusetts Ave., 2nd Fl.
Cambridge, MA 02139
Ph: 617/349-4683 or TTY: 617/349-6112
http://www.cambridgema.gov/Historic

71 Mt. Auburn St.



71 Mt. Auburn St.

Petitioner

KEVIN P. CRANE, ESQ.
104 MT. AUBURN STREET
CAMBRIDGE MA 02138

160-14
PRESIDENT & FELLOW OF HARVARD HARVARD
UNIVERSITY R.E. DEPT.
HOLYOKE CENTER., ROOM 451
1350 MASS AVE
CAMBRIDGE, MA 02138

160-30-36-37 / 161-1-3
PRESIDENT & FELLOWS OF HARVARD COLLEGE
C/O HARVARD REAL ESTATE, INC.
HOLYOKE CENTER,ROOM 1000
1350 MASSACHUSETTS AVE
CAMBRIDGE, MA 02138

162-62
76 MOUNT AUBURN STREET, INC.
C/O RICK CHILDS, SRB CORP
125 HIGH STREET
OLIVER STREET TOWER 9TH FL
BOSTON, MA 02110

160-53
MOSKOW, ABRAHAM & MICHAEL B
C/O HARVARD PLANNING & REAL ESTATE,RM1023
1350 MASSACHUSETTS AVE
CAMBRIDGE, MA 02116

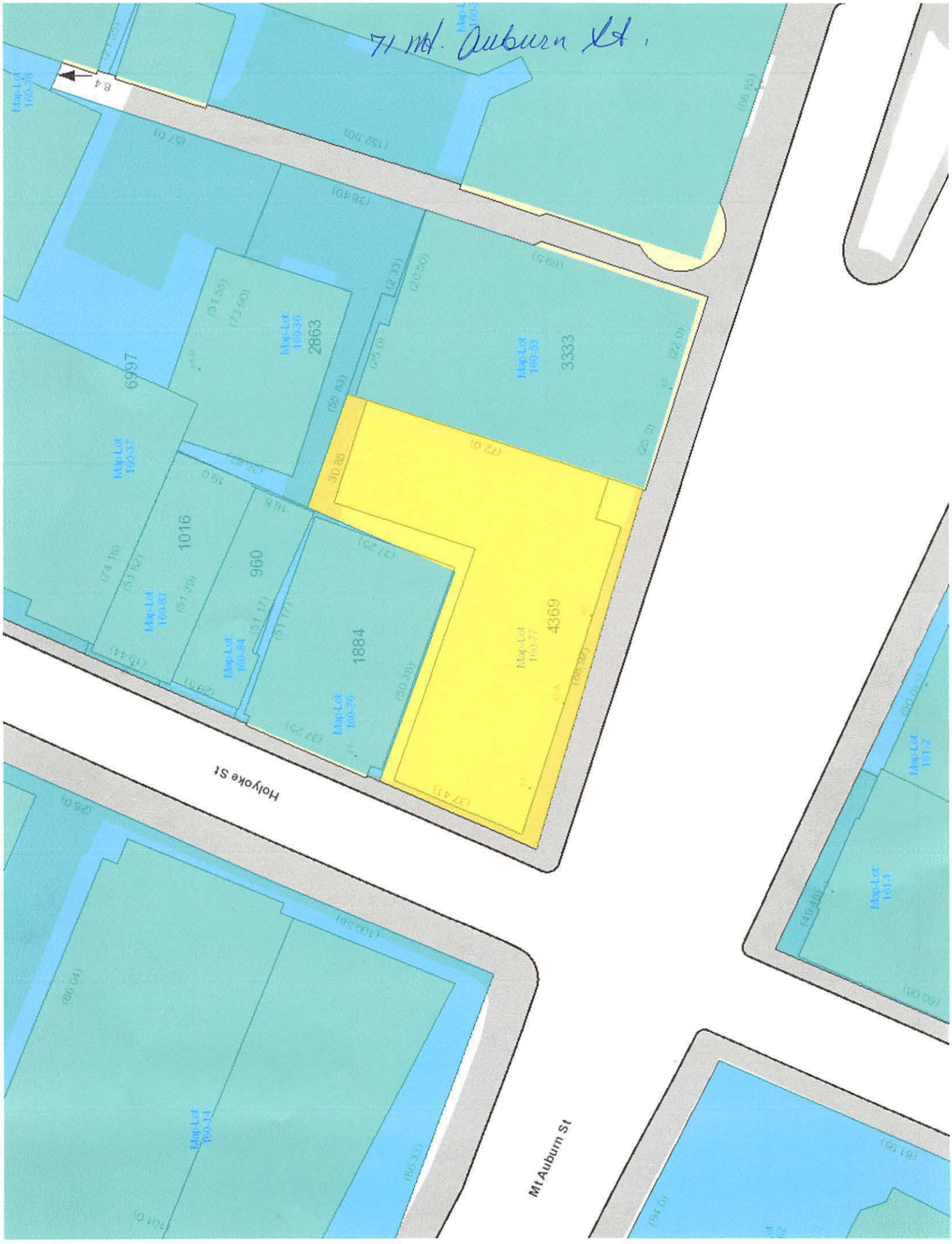
161-2
FORTMILLER, FREDERICK V.,ET AL TRS
49 RUSSELL ROAD
WELLESLEY, MA 02482

160-76
WHOULEY, FREDERICK R.,
TRS OF THE FREDERICK R. WHOULEY
IRREVOCABLE TRS
15 ANIS ROAD
BELMONT, MA 02478

160-77
HARVARD STUDENT AGENCIES, INC
67 MT. AUBURN ST
CAMBRIDGE, MA 02138

160-83
PLATIN LLC
15 WALNUT ST., SUITE 150
WELLESLEY, MA 02481

160-84
DAVIDSON, CHARLES L.
19 GARDEN ST.
CAMBRIDGE, MA 02138


71 Mt. Auburn St.
Holyoke St
Mt Auburn St
Map-Lot 160-53
3333
Map-Lot 160-56
2863
Map-Lot 160-57
6997
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4369
Map-Lot 160-76
1884
Map-Lot 160-84
960
Map-Lot 160-83
1016
Map-Lot 161-1
Map-Lot 161-2
Map-Lot 160-34
B.4


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HARVARD UNIV
OPEN DURING CONSTRU


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TOW ZONE
NO
HSA
CLEANERS
City of
Cambridge
Pay by Phone
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Zone 6910


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boloco
globally inspired burritos


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HARVARD UNIVERS
OPEN DURING CONSTR
boloco boloco boloco boloco boloco

LAW OFFICE OF KEVIN P. CRANE
104 MOUNT AUBURN STREET
HARVARD SQUARE
P. O. BOX 381030
CAMBRIDGE, MA 02238

KEVIN P. CRANE, ESQ.
EDWARD CRANE, ESQ.

KEVIN@CRANELAWOFFICE.COM
EDWARD@CRANELAWOFFICE.COM

TELEPHONE
(617) 876-8500
FACSIMILE
(617) 864-6357

June 29, 2017

2017 JUN 30 A 9: 36
CITY OF CAMBRIDGE
OPERATIONAL SERVICES

Cambridge Board of Zoning Appeals
831 Massachusetts Avenue
Cambridge, MA 02139

RE: Case No. 013467-2017
Property Address: 71 Mt. Auburn Street, Cambridge

Dear Sir or Madam:

Relative to the above-captioned BZA case, enclosed for filing please find a new plan which includes a reduction of the interior seats requested from 26 to 16. Also, the nine outdoor seats have been eliminated from the sidewalk.

Also, the new plan clarifies the exterior signage with elimination of all exterior signage except for the existing blade sign.

I have also attached to the plan a dimensional form which is unchanged from the initial filing.

If you have any question regarding the above, please contact me.

Sincerely,

Kevin P. Crane

KPC/jg
Enclosures

DELIVERY BY HAND

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Law office of Kevin P. Crane PRESENT USE/OCCUPANCY: fast food

LOCATION: 71 Mt Auburn St Cambridge, MA 02138 ZONE: Business B/ Harvard Square

PHONE: REQUESTED USE/OCCUPANCY: fast food

2011 JUL 20 A 9: 36
CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

		EXISTING CONDITIONS	REQUESTED CONDITIONS	ORDINANCE REQUIREMENTS	
TOTAL GROSS FLOOR AREA:		14,222	14,222	12,015	
LOT AREA:		4,369	4,369	none	
RATIO OF GROSS FLOOR AREA TO LOT AREA:[2]		3.26	3.26	2.75	(max.)
LOT AREA FOR EACH DWELLING UNIT:		none	none	300	(min.)
SIZE OF LOT:	WIDTH	88.92	88.92	none	(min.)
	DEPTH	72.0	72.0	none	
SETBACKS IN FEET:	FRONT	0	0	0	(min.)
	REAR	0	0	0	(min.)
	LEFT SIDE	0	0	0	(min.)
	RIGHT SIDE	0	0	0	(min.)
SIZE OF BLDG.:	HEIGHT	50	50	80	(max.)
	LENGTH	86	86	none	
	WIDTH	30'/65'	30'/65'	none	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		0	0	0	(min.)
NO. OF DWELLING UNITS:		0	0	43	(max.)
NO. OF PARKING SPACES:		0	0	n/a	(min./max)
NO. OF LOADING AREAS:		0	0	0	(min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:		none	none	none	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.: wood frame, concrete, brick, steel, etc.

On first there is a bank and Harvard Student Agencies cleaners. The upper floors of the structure are occupied by general office users

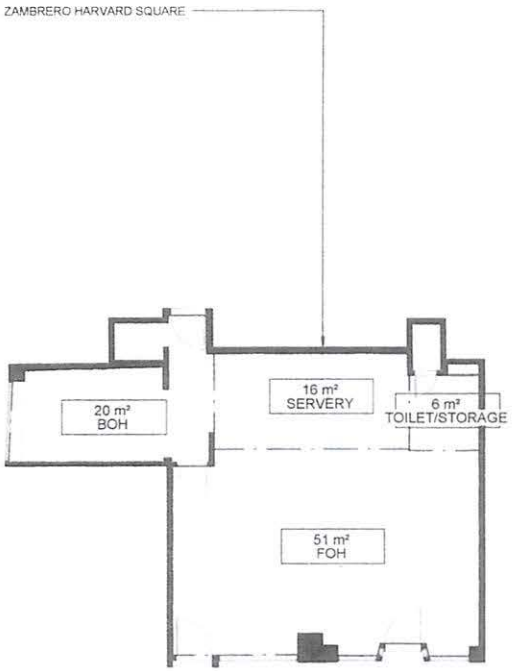
1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

PROJECT NAME: ZAMBRERO HARVARD SQUARE
PROJECT ADDRESS: 71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA
HEAD OF BUILDING AND DESIGN: SALLY FONG SALLY@ZAMBRERO.COM
DESIGNER: CHRISTIAN MEOGROSSI C.MEOGROSSI@ZAMBRERO.COM
HYDRAULIC ENGINEER:
MECHANICAL ENGINEER:
LANDLORD/REPRESENTATIVE:

DRAWING LIST

DRAWING NO.	DRAWING TITLE	CURRENT REV	REVISION DESCRIPTION	REVISION DATE	DRAWN BY	CHECKED BY
D000	COVER PAGE	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF
D001	GENERAL NOTES	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF
D002	SCHEDULES	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF
D003	GRAPHICS SCHEDULE	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF
D101	EXISTING & DEMOLITION PLAN	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF
D102	PROPOSED FLOOR PLAN	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF
D103	SETOUT & PARTITION PLAN	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF
D104	REFLECTED CEILING PLAN	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF
D200	ELEVATIONS - SHOPFRONT & FRONT OF HOUSE	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF
D201	ELEVATIONS - SERVERY & BACK OF HOUSE	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF
D300	PERSPECTIVES	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF
D400	STANDARD DETAILS - POS & SERVERY	E	APPROVAL AND TENDER REVISION 02	29.08.17	MW	SF
D401	STANDARD DETAILS - DRINKS STATION	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF
D402	STANDARD DETAILS - MESH FEATURES	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF
D403	STANDARD DETAILS - PLATE & PLATE WALL	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF
D404	STANDARD DETAILS - BANQUETTE	E	APPROVAL AND TENDER REVISION 02	29.08.17	CM	SF

1 D000 SITE PLAN 1 : 500



TOTAL AREA: APPROX 93sqm

2 D000 AREA PLAN 1 : 100

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Suite 2402, 1 Alfred St
Sydney, NSW 2000
Australia
tel: +(61) 2 9252 9673

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REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17
C	APPROVAL AND TENDER	16.06.17
D	APPROVAL AND TENDER REVISION 01	23.06.17
E	APPROVAL AND TENDER REVISION 02	29.08.17

DRW BY: CM CHK BY: SF

SCALE @ A2: As indicated

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST,
CAMBRIDGE, MA 02138,
USA

DRAWING NAME:
COVER PAGE

DRAWING NO.:
D000

GENERAL NOTES

1 ALL WORK TO BE IN ACCORDANCE WITH THE NCC, ALL RELEVANT AUSTRALIAN STANDARDS, STATUTORY REGULATIONS, LOCAL AUTHORITY REQUIREMENTS AND ALL CONDITIONS OF COUNCILS OR PCA'S DEVELOPMENT/PLANNING CONSENT AND THE CONDITIONS OF THE CONSTRUCTION CERTIFICATE/BUILDING PERMIT ARE TO BE MET

2 THE INFORMATION CONTAINED WITHIN THIS DOCUMENTATION IS TO THE BEST OF OUR KNOWLEDGE ACCURATE AND CORRECT. HOWEVER, ALL INFORMATION IS INDICATIVE AND EXACT DIMENSIONS, SPECIFICATIONS AND OTHER RELEVANT INFORMATION SHOULD BE SOUGHT FROM THE APPROPRIATE SOURCE

3 BUILDER IS NOT TO SCALE DRAWINGS. DIMENSIONS MISSING FROM THE PLANS OR NEEDED FOR EXECUTION OF WORK SHALL BE CLARIFIED OR PROVIDED BY ZAMBRERO SUPPORT OFFICE DESIGNER BEFORE THE WORK IS INSTALLED. FAILURE TO COMPLY WITH THIS NOTE SHALL RESULT IN BUILDER RECTIFYING THE ISSUE AS PART OF DEFECTS.

4 THESE DRAWINGS ARE NOT TO BE USED UNLESS THEY HAD BEEN NOTED IN THE 'REVISIONS COLUMN FOR CONSTRUCTION'. IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO ENSURE THAT THEY HAVE THE LATEST REVISIONS PRIOR TO COMMENCING WORK

5 ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED

6 IF IN DOUBT OF SUPPLY RESPONSIBILITY, ALLOW FOR "BY BUILDER" AND SEEK CLARIFICATION

7 CEILING HEIGHT DIMENSIONS ARE TO FINISH SURFACES

8 BUILDER SHALL VERIFY AND BE RESPONSIBLE FOR ALL EXISTING CONDITIONS AND DIMENSIONS ANY DISCREPANCIES SHALL BE REPORTED IN WRITING TO THE ZAMBRERO SUPPORT OFFICE DESIGNER PRIOR TO COMMENCEMENT OF WORK

9 ALL SYMBOLS, ABBREVIATIONS AND MATERIAL INDICATIONS USED IN THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE BUILDER HAS QUESTIONS REGARDING SAME OR THEIR EXACT MEANING, THE BUILDER SHALL REQUEST THE ZAMBRERO SUPPORT OFFICE PROJECT MANAGER AND/OR DESIGNER TO ISSUE CLARIFICATION

10 ANY WORK OR MATERIALS OF ONE TRADE DAMAGED BY ANOTHER TRADE BECOMES THE RESPONSIBILITY OF THE OFFENDING TRADE. THE DAMAGED WORK SHALL BE REPAIRED OR REPLACED BY THE ORIGINAL INSTALLER AND THE COSTS BORNE BY THE OFFENDER. ANY MATERIALS STOLEN FROM THE PREMISES OR DAMAGED EITHER BEFORE OR AFTER INSTALLATION SHALL BE REPLACED BY THE BUILDER AT NO ADDITIONAL COST TO THE OWNER. THE BUILDER SHALL TAKE ALL NECESSARY PRECAUTIONS, SUCH AS BARRICADES, GUARDS, ETC. AS REQUIRED TO PREVENT DAMAGE AND THEFT. SPECIAL CARE SHALL BE TAKEN TO PROTECT WORK IN PLACE MATERIALS AND EQUIPMENT STORED, ETC. FROM THEFT AND VANDALISM

11 THE BUILDER IS TO SUBMIT THE FOLLOWING SAMPLES/SHOP DRAWINGS TO ZAMBRERO SUPPORT OFFICE FOR REVIEW AND APPROVAL

11.1 JOINERY

11.2 SIGNAGE

11.3 SAMPLES OF ALL FINISHES

12 TENDERS

12.1 ZAMBRERO, ON A RANDOM BASIS, WILL SEND OUT PROJECTS TO TENDER TO ENSURE THE COMPETITIVENESS OF OUR BUILDER'S TENDERS

12.2 ALL BUILDER QUOTES MUST BE RETURNED TO ZAMBRERO WITHIN 14 DAYS, UNLESS OTHERWISE SPECIFIED

12.3 BUILDER TO PROVIDE PROJECT SCHEDULE WITH QUOTE

13 VARIATIONS

13.1 ALL VARIATIONS TO THE DESIGN BY BUILDER, DEVELOPMENT AGENT AND/OR FRANCHISE PARTNER TO BE WRITTEN AS A REQUEST BY THE BUILDER TO ZAMBRERO SUPPORT OFFICE FOR THEIR REVIEW AND APPROVAL PRIOR TO ANY WORKS COMMENCING ON SITE. UPON VARIANCE REQUEST APPROVAL, THE BUILDER CAN COMMENCE WORKS

13.2 UPON REQUEST BY THE FRANCHISE PARTNER/DEVELOPMENT AGENT/BUILDER, ZAMBRERO SUPPORT OFFICE SHALL EVALUATE AND MAKE RECOMMENDATIONS REGARDING SUBSTITUTIONS OF MATERIALS, PRODUCTS OR EQUIPMENT PROPOSED. ALL REQUESTS MUST BE IN WRITING TO ZAMBRERO SUPPORT OFFICE

13.3 IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE ALL SPECIFIED MATERIALS IN THE DRAWINGS ARE USED. IF THE BUILDER WANTS TO USE ANY THING DIFFERENT, THIS MUST BE REQUESTED IN WRITING TO ZAMBRERO SUPPORT OFFICE

14 ACCOUNTABILITY

14.1 THE BUILDER IS ENGAGED AND PAID DIRECTLY BY THE FRANCHISE PARTNER/S

14.2 THE BUILDER IS TO SPEAK DIRECTLY WITH ZAMBRERO SUPPORT OFFICE FOR ANY RESTAURANT BUILD RELATED MATTERS

14.3 THE BUILDER IS TO ENSURE DESIGN AND BUILD IS COMPLIANT WITH DESIGN DRAWINGS

14.4 BUILDER TO MAINTAIN AND PROVIDE FOR FULL TIME SUPERVISION BY SITE FOREMAN RESPONSIBLE IN CHARGE OF PROJECT

15 REQUEST FOR INFORMATION

15.1 THE BUILDER IS RESPONSIBLE FOR SENDING ANY RFI FOR ANY CHANGES IN THE DESIGN SCOPE TO ZAMBRERO SUPPORT OFFICE IN WRITING

15.2 THE BUILDER IS TO ENSURE ALL CHANGES ARE APPROVED BY ZAMBRERO SUPPORT OFFICE BEFORE COMMENCING WORKS

16 THIRD PARTY SUPPLIER

16.1 THE BUILDER IS TO USE THIRD PARTY SUPPLIERS AS PER NOMINATED ON THE DRAWINGS OR AS PER SPECIFICATIONS

16.2 THE BUILDER IS TO ENSURE ALL EQUIPMENT, STEEL BENCHES AND SMALLWARES ARE DELIVERED TO SITE PRIOR TO THE RESTAURANT OPENING. IT REMAINS THE BUILDER'S RESPONSIBILITY TO ARRANGE DELIVERY SCHEDULES WITH THIRD PARTY SUPPLIERS

16.3 THE BUILDER WILL BE ADVISED OF DELIVERY DATES OF EQUIPMENT, STAINLESS STEEL BENCHES AND SMALLWARES AND IS TO ENSURE THAT THEY OR THEIR NOMINATED CONTRACTORS ARE ON SITE TO ACCEPT GOODS

16.4 IF THE DATE SCHEDULED IS NOT SUITABLE, IT IS THEN THE RESPONSIBILITY OF THE BUILDER TO CONTACT THE SUPPLIER FOR A NEW DATE

16.5 BUILDER IS ADVISED THAT THERE MAY BE ITEMS OF EQUIPMENT AND/OR MATERIALS THAT REQUIRE LONG FABRICATION/ORDER TIMES. THE BUILDER IS CAUTIONED AND WILL BE REQUIRED TO ORDER THESE WELL IN ADVANCE OF TIME OF DELIVERY

17 PROGRESS UPDATES

17.1 THE BUILDER IS TO ENSURE THAT PHOTOS ARE SENT ON A WEEKLY BASIS TO SHOW THE PROGRESS OF THE STORE BUILD

17.2 THE BUILDER IS TO SUPPLY A WEEKLY BUILD PROGRESS REPORT TO THE PROJECT MANAGER FOR ZAMBRERO TO TRACK PROGRESS WITH THE INITIAL BUILD SCHEDULE SUPPLIED

18 PROJECT CLOSEOUT

18.1 THE BUILDER IS TO COMPLETE ALL DEFECTS WITHIN 7 DAYS OR WITHIN AN AGREED TIME FRAME WITH ZAMBRERO

18.2 IT IS THE RESPONSIBILITY OF THE BUILDER TO MEET THE PROJECT TIMELINE

18.3 IF THE DIRECT CAUSE OF THE DELAY IS BY THE BUILDER, A COST OF $500 FOR EACH DAY DELAYED WILL BE INCURRED

19 COMPLIANCE

19.1 BUILDER IS TO BE PRESENT AT ALL INSPECTIONS INCLUDING BUILDING, SHOPPING CENTRE DEFECTS, HEALTH AND PLUMBING INSPECTIONS (IF APPLICABLE) AS PER TIMES AND DATE ALLOCATED

19.2 BUILDER TO SECURE ALL RELEVANT HOARDING AND FOOTPATH PERMITS NEEDED FOR INSTALLATION AND WORKS PERTAINING TO SIGNAGE AND SHOPFRONT WORKS FROM LOCAL AUTHORITIES

19.3 BUILDER TO SECURE ALL REQUIRED CERTIFICATIONS TO ENABLE THE RELEASE OF THE OCCUPATION CERTIFICATION AS APPROVED ARE COMPLETED

19.4 BUILDER TO PROVIDE CERTIFICATION OF COMPLIANCE TO ZAMBRERO SUPPORT OFFICE FOR ALL WORKS COMPLETED ON SITE. THIS IS TO INCLUDE, BUT NOT LIMITED TO

19.4.1 SPRINKLER

19.4.2 MECHANICAL

19.4.3 FIRE EXTINGUISHER

19.4.4 PLUMBING

19.4.5 ELECTRICAL

19.4.6 EXIT & EMERGENCY LIGHTS

19.4.7 GLAZING

19.4.8 PART J6 LIGHTING

19.4.9 SLIP RATING FOR FLOOR

19.4.10 STRUCTURAL

19.4.11 WATERPROOFING

19.4.12 COOLROOM

DEMOLITION

20 ALL MATERIALS FROM THE SELECTIVE DEMOLITION EXCEPT AS OTHERWISE NOTED OR SPECIFIED SHALL BECOME THE PROPERTY AND RESPONSIBILITY OF THE CONTRACTOR. REMOVE ALL DEMOLITION MATERIAL AND DEBRIS FROM THE SITE AS QUICKLY AS POSSIBLE

21 CONTRACTOR TO REMOVE ALL SCREWS, NAILS AND HOOKS FROM REMAINING EXISTING PARTITIONS

22 CUT AND PATCH

22.1 ANY CUT, REMOVAL, AND PATCHING, INCLUDING BUT NOT NECESSARILY LIMITED TO

22.1.1 PROTECTION OF EXISTING WORK TO REMAIN

22.1.2 MAINTENANCE OF NECESSARY EXITING DURING COURSE OF CONSTRUCTION

22.1.3 DEBRIS REMOVAL

22.1.4 PATCHING AS NECESSARY TO MATCH EXISTING

22.2 WHERE OPENINGS ARE CUT OVERSIZED OR IN IMPROPER LOCATIONS, THE EXCESS REMOVED MATERIAL SHALL BE REPLACED WITH NEW AT NO EXTRA COST TO OWNER

PLUMBING

23 WATER HEATER SUPPLY TO COMPLY WITH NCC 2016 CLAUSE J7.2

ELECTRICAL

24 BUILDER TO LIAISE WITH ELECTRICAL BUILDERS TO ENSURE ALL POWER, DATA AND COMMUNICATION REQUIREMENTS ARE APPROPRIATE AND ACCESSIBLE

25 BUILDER TO ENSURE EXISTING ELECTRICAL DISTRIBUTION BOARD IS IN GOOD WORKING ORDER PRIOR TO COMMENCING ON SITE

26 DIMENSIONS ARE TO CENTER LINE OF DPO

FLOORING

27 FLOOR LININGS & FLOOR COVERINGS TO BE AS PER NCC 2016 CLAUSE C1.10 & SPECIFICATION C1.10

28 SLIP RESISTANCE RATING REQUIRED

28.1 RAMP STEEPER THAN 1:14.25 OR 612 AS PER NCC 2016 TABLE D2.14

28.2 STAIR & LANDING NOSING P3 AS PER NCC 2016 TABLE D2.14

29 THE FRONT RAMP AND LANDING ARE TO BE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS INCLUDING MEETING THE DIMENSIONAL REQUIREMENTS FOR THE LANDING AND THE INSTALLATION OF THE SLIP RATED TILES AND DOOR THRESHOLD RAMP

30 TEST CERTIFICATES ARE REQUIRED TO BE PROVIDED THAT OUTLINE COMPLIANCE WITH THE REQUIREMENTS OF THE RLIP RESISTANCE CLASSIFICATION IN ACCORDANCE WITH TABLE D2.14 AND AS4586-2013

31 A NOSING STRIP IS TO BE PROVIDED TO THE NOSING OF THE TWO REAR STEPS THAT HAS A SLIP RESISTANCE OF P3

32 WATERPROOFING AS PER NCC 2016 CLAUSE F1.7 AND AS3740-2010

33 STAINLESS STEEL TRANSITION STRIP TO BE INSTALLED AT ALL CONCRETE/ OTHER MATERIAL CHANGE. REFERENCE FLOOR FINISHES PLAN

GLAZING, WALLS AND CEILINGS

34 WALL LININGS & CEILING LININGS TO BE AS PER NCC 2016 C3 AUSE C1.10 & SPECIFICATION C1.10

35 LESSOR TO SUPPLY SOLID FILLED INTERTENANCY WALLS TO EXTEND TO THE UNDERSIDE OF THE CEILING BEAM. BUILDER TO NOTIFY ZAMBRERO SUPPORT OFFICE IF OTHERWISE

36 BUILDER TO SET OUT ALL PARTITIONS, WALLS, NEW WORKS BEFORE COMMENCING ANY BUILD WORKS ON SITE, AND REPORT ANY DISCREPANCIES WITH THE DRAWINGS WITH ZAMBRERO SUPPORT OFFICE

37 GLAZED ASSEMBLIES AS PER NCC 2016 CLAUSE F1.13, PART J2 & AS2047-2014

38 ALL TRADES ARE TO TAKE SUITABLE PRECAUTIONS SO AS TO PROTECT ALL OTHER WORK ON THIS JOB FROM PAINT/STATE SPILL, DRIPS, OVERSPRAY, ETC. THIS IS TO INCLUDE, BUT NOT LIMITED TO, CARPETS, FLOORING, MILLWORK, GLASS, ETC

39 PROVIDE ADEQUATE BLOCKING IN PARTITIONS FOR FIXING OF MILLWORK ATTACHMENTS, FIXTURES, EQUIPMENT, OR WHERE NOTED ON PLAN

40 WHERE NEW PARTITIONS ARE IN LINE/FLUSH WITH EXISTING PARTITIONS, AFFECTED PARTITION JOINT IS TO BE ONE SMOOTH CONTINUOUS SURFACE

41 ALL PLASTERBOARD PARTITIONS TO BE FILLED, TAPED, SANDED AND PRIMED TO FLOOR TO RECEIVE FINISHES. REPAIR ALL DAMAGED EXISTING WALL FACES TO RECEIVE NEW FINISHES AS PER SPECIFICATIONS

42 REPORT ANY FORESEEABLE INTERFERENCE WITH DUCTS, PIPE BEAMS, ETC IMMEDIATELY TO ZAMBRERO SUPPORT OFFICE

43 ALL PAINT WORK, UNLESS OTHERWISE SPECIFIED, IS TO BE THREE (3) COAT WORK, ONE (1) BASE COAT AND TWO (2) FINISH COATS

FIRE AND EMERGENCY SERVICES

44 THE BUILDER SHALL MAKE CERTAIN THAT THE WORK OF NEW CONSTRUCTION WILL NOT OBSTRUCT FIRE DEPARTMENT'S ACCESS TO OTHER PORTIONS OF THE BUILDING. EXITS FROM SAID BUILDING WILL BE MAINTAINED FREE AND CLEAR OF ALL OBSTRUCTIONS

45 A FINAL FIRE SAFETY CERTIFICATE IS REQUIRED TO BE PROVIDED FOR THE BUILDING FOR ALL FIRE SAFETY MEASURES AS LISTED IN THE FIRE SAFETY SCHEDULE ATTACHED TO THE SUBDIVISION CONSTRUCTION CERTIFICATE PRIOR TO THE ISSUING OF ANY OCCUPATION CERTIFICATE

46 TEST CERTIFICATES ARE REQUIRED TO BE PROVIDED THAT OUTLINE COMPLIANCE WITH THE REQUIREMENTS OF CLAUSE C1.10 AND SPECIFICATION C1.10 OF NCC 2016

47 FLOOR LININGS & FLOOR COVERINGS AS PER NCC 2014 CLAUSE C1.10 & SPECIFICATION C1.10

48 WALL LININGS & CEILING LININGS AS PER NCC 2016 CLAUSE C1.10 & SPECIFICATION C1.10

49 AIR HANDLING DUCTWORK AS PER NCC 2016 CLAUSE C1.10 & SPECIFICATION C1.10

50 EMERGENCY LIGHTING AS PER NCC 2016 CLAUSE E4.2, E4.4 AND AS2293.1-2005

51 EXIT SIGNS AS PER NCC 2016 CLAUSE E4.5, E4.8 AND AS2293.1-2005

52 FIRE BLANKETS AS PER AS1504-2006 AND AS2444-2001

53 EXISTING LOCATIONS ARE TO BE ALTERED TO SUIT THE DESIGN AS REQUIRED IN ACCORDANCE WITH BCA CLAUSE E4.9

54 SPRINKLER LOCATIONS TO BE ALTERED TO SUIT THE NEW DESIGN AS REQUIRED IN ACCORDANCE WITH BCA CLAUSE E1.5

55 PORTABLE FIRE EXTINGUISHERS AS PER NCC 2016 CLAUSE E1.6 AND AS2444-2001

56 DIRECTIONAL EXIT SIGNS AS PER NCC 2016 CLAUSE NSW E4.6, E4.8 AND AS2293.1-2005

57 SMOKE HAZARD MANAGEMENT SYSTEMS TO BE ALTERED TO SUIT THE NEW DESIGN AS REQUIRED IN ACCORDANCE WITH BCA CLAUSE E2.2

58 SMOKE SEALS ARE TO BE PROVIDED TO THE DOORWAY AND ANY OTHER OPENINGS OF THE EDB LOCATED IN THE KITCHEN HALLWAY AS IT IS LOCATED IN A PATH OF TRAVEL TO AN EXIT

59 THE PROVISIONS FOR EGRESS WILL COMPLY WITH PART D1 OF THE NCC

60 ALL REQUIRED EXIT DOORS WILL HAVE AN UNOBSTRUCTED HEIGHT OF 1980MM AND AN UNOBSTRUCTED WIDTH OF 850MM IN ACCORDANCE WITH CLAUSE D1.8 OF THE BCA. THE UNOBSTRUCTED WIDTHS IN THE REQUIRED EXITS AND IN THE PATHS OF TRAVEL TO THE REQUIRED EXITS, EXCEPT FOR THE DOORWAYS, WILL NOT BE LESS THAN 1000MM

61 REQUIRED EXIT DOORS WILL BE READILY OPERABLE WITHOUT KEY FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS BY A SINGLE HANDED DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900MM AND 1200MM ABOVE THE FLOOR IN ACCORDANCE WITH CLAUSE D2.7 OF THE BCA

62 ALL ELECTRICITY/DISTRIBUTION BOARDS, OR CENTRAL ELECOMMUNICATIONS DISTRIBUTION BOARDS, LOCATED IN THE PATHS OF TRAVEL WILL BE ENCLOSED IN NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTIVE COVERING WITH DOORS PROVIDED WITH SMOKE SEALS IN ACCORDANCE WITH CLAUSE D2.7 OF THE BCA

HEATING, VENTILATING AND COOLING

63 REFRIGERATED CHAMBERS, STRONGROOMS & VAULTS AS PER NCC 2016 CLAUSE G1.2

64 THE CONSTRUCTION/INSTALLATION OF THE COOLROOM IS TO BE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND NOT REQUIREMENTS INCLUDING

64.1 PROVISION OF A DOOR THAT IS ABLE TO BE OPENED FROM THE INSIDE BY HAND WITHOUT A KEY

64.2 A DOORWAY WITH A CLEAR WIDTH OF NOT LESS THAN 800 MM AND A CLEAR HEIGHT NOT LESS THAN 1.5 M

64.3 INTERNAL LIGHTING CONTROLLED ONLY BY A SWITCH WHICH IS LOCATED INSIDE THE COOLROOM ADJACENT TO THE DOORWAY

64.4 PROVISION OF AN INDICATOR LAMP ON THE OUTSIDE OF THE COOLROOM WHICH IS ILLUMINATED WHEN THE INTERIOR LIGHTS ARE SWITCHED ON

64.5 PROVISION OF AN ALARM THAT IS LOCATED OUTSIDE THE COOLROOM BUT WHICH IS ONLY ABLE TO BE CONTROLLED FROM WITHIN THE COOLROOM AND WHICH IS ABLE TO ACHIEVE A SOUND PRESSURE LEVEL OUTSIDE THE COOLROOM OF 90DB(A) WHEN MEASURED 3M FROM THE SOUNDING DEVICE

65 ALL PIPES, CONDUITS AND REFRIGERATION CONDENSATE PIPES MUST COMPLY WITH ALL REQUIRED STANDARDS AND SHOULD BE CONCEALED OUT OF CUSTOMER SIGHT AND CHASED IN WALLS, FLOORS, PLINTHS OR CEILINGS

66 MECHANICAL VENTILATION AS PER NCC 2016 PART J5 AND AS1668.2-1991

67 HEATED WATER SUPPLY AS PER NCC 2016 CLAUSE J7.2

68 BUILDING SEALING AS PER NCC 2016 PART J3.5 EXHAUST FANS

69 VENTILATION TO BE PROVIDED IN ACCORDANCE WITH PART F4 OF THE BCA AND AS1668.1-1998 AND AS1668.2-1991. ENERGY EFFICIENCY OF THE AIR CONDITIONING AND VENTILATION TO BE IN ACCORDANCE WITH PART J5 OF THE BCA

70 BUILDER TO ENSURE EXISTING AIR CONDITIONING UNITS ARE IN GOOD WORKING ORDER PRIOR TO COMMENCING ON SITE

71 COOLROOM CONDENSER IS NOT TO BE LOCATED IN CAVITY SPACE ABOVE COOLROOM. BUILDER TO CONFIRM LOCATION ON SITE WITH ZAMBRERO SUPPORT OFFICE

LIGHTING

72 ARTIFICIAL LIGHTING AS PER NCC 2016 CLAUSE F4.4, PART J6 AND AS/NZS1680.5-2006

73 ALL SWITCHES TO BE ON DIMMERS UNLESS NOT APPLICABLE TO LIGHTING FIXTURE

EQUIPMENT

74 ALL FITTINGS, MECHANISMS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS

75 BUILDER TO SEEK APPROVAL FROM ZAMBRERO SUPPORT OFFICE PROJECT MANAGER FOR CUTOUTS IN BENCHING AND FIXTURES AS REQUIRED TO ALLOW FOR CABLE ACCESS

Zambrero Pty Ltd
Suite 2402, 1 Alfred St
Sydney, NSW 2000
Australia
tel: +(61) 2 9252 9673

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REV	DESCRIPTION	DATE
3	APPROVAL AND TENDER	16.06.17
2	APPROVAL AND TENDER REVISION 01	23.06.17
1	APPROVAL AND TENDER REVISION 02	29.06.17

DRW BY: CM CHK BY: SF

SCALE @ A2:

PROJECT NAME
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME
GENERAL NOTES

DRAWING NO
D001

EQUIPMENT SCHEDULE

CODE	QTY	ITEM	MODEL	MANUFACTURER	SUPPLIER	PURCHASED BY	INSTALLED BY	COMMENTS
E01	1	ICE TP35 MACHINE	TBC	TBC	TBC	ZAMBRERO	ZAMBRERO	
E02	1	CASH REGISTER AND POS UNIT		TAT	TAT	ZAMBRERO	ZAMBRERO	
E03	1	STEREO AMP			TBC	ZAMBRERO	BUILDER	BUILDER TO SUPPLY EQUAL ZONE AMP
E04	1	SAFE	SSC41K DI4 SMLAR	CHUBB	TBC	ZAMBRERO	BUILDER	455H x 345W x 350D
E05	1	HOT & COLD DISPLAY UNIT	GRETA	STODDART	TRIMARK	ZAMBRERO	BUILDER	360W x 620D x 800H 25AMP HARDWIRED. REFER TO INSTALLATION MANUAL. DO NOT SILECONE CHOPPING BOARDS. REFER TO PLANS FOR ORIENTATION
E06	2	TORTILLA PRESS	WC18	WOODSON	TRIMARK	ZAMBRERO	TRIMARK	415W x 540D x 230H 15AMP
E07	1	QUESADILLA PRESS	WC18	WOODSON	TRIMARK	ZAMBRERO	TRIMARK	415W x 540D x 230H 15AMP
E08	2	RICE COOKER	ERRL	AUROCRAWN	TRIMARK	ZAMBRERO	TRIMARK	450W x 450D x 350H 10AMP
E09	2	INGREDIENTS BIN			TRIMARK	ZAMBRERO	TRIMARK	
E10	1	SALAMANDER	WGT50QTS	WOODSON	TRIMARK	ZAMBRERO	TRIMARK	725W x 535D x 375H 15AMP
E13	1	1 DOOR LIQUOR FRIDGE	BMB900-A	SKOPE	HSE	ZAMBRERO	TRIMARK	740W x 780D x 1995H
E16	1	3 DOOR COUNTER FRIDGE	RCRN2M2T	ELECTROLUX	TRIMARK	ZAMBRERO	TRIMARK	1340W x 700D x 900H 10AMP *LARGER CASTORS TO BE ORDERED TO ENSURE 90mm
E18	1	UPRIGHT FREEZER	J633	POLAR	TRIMARK	ZAMBRERO	TRIMARK	740W x 825D x 2000H
E26	1	FOOD PROCESSOR	CL52	ROBOT COUPE	TRIMARK	ZAMBRERO	TRIMARK	350W x 530D x 590H 8AMP
E27	1	FOOD PROCESSOR BLADE RACK	15133B	ROBOT COUPE	TRIMARK	ZAMBRERO	BUILDER	
E28	1	MAGNETIC KNIFE RACK			TRIMARK	ZAMBRERO	BUILDER	
E32	1	SWITCH & PATCH PANEL	TBC	TBC	BUILDER	BUILDER	BUILDER	MIN. 12 PORT PATCH PANEL
E33	1	CCTV SCREEN	TBC	TBC	TBC	BUILDER	BUILDER	TV SCREEN TO BE CONNECTED TO CCTV DVR
E37	1	ROUTER	TBC	TBC	TBC	ZAMBRERO	ZAMBRERO	
E38	2	SOAP DISPENSER			ECOLAB	ZAMBRERO	BUILDER	
E39	2	PAPER TOWEL DISPENSER			PFD	ZAMBRERO	BUILDER	
E40	1	MOP RACK			HSE	ZAMBRERO	BUILDER	
E41	1	FIRE BLANKET	TBC	TBC	BUILDER	BUILDER	BUILDER	
E42	1	FIRE EXTINGUISHER	4 Kg DRY CHEMICAL ABE FIRE EXTINGUISHER	TBC	BUILDER	BUILDER	BUILDER	INSTALLATION & COMMISSIONING OF THE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH CLAUSE E1.6 OF THE BCA & AS2444 2001
E43	1	FIRST AID KIT			TRIMARK	ZAMBRERO	BUILDER	
E44	3	FINGER COUNTER BIN			TRIMARK	ZAMBRERO	BUILDER	
E45	2	ROUND BIN	R87RL		TRIMARK	ZAMBRERO	BUILDER	RUBBISH BIN 75L GREEN WITH BLACK LID
E45	1	ROUND BIN	R87RL		TRIMARK	ZAMBRERO	BUILDER	RUBBISH BIN 75L GREEN WITH BLACK LID
E47	3	SPEAKER	TBC	TBC	TBC	BUILDER	BUILDER	COLOUR: BLACK
E48	9	SURVEILLANCE CAMERA	TBC	TBC	TBC	BUILDER	BUILDER	COLOUR: BLACK
E49	1	12RU RACK MOUNT EMC DOUBLE	HELS774	JAYCAR	JAYCAR	BUILDER	BUILDER	BUILDER TO SUPPLY 1x QUAD SURGE PROTECTION BOARD
E50	4	TV SCREEN	TBC	TBC	TBC	ZAMBRERO	BUILDER	47" UHD SMART LED LCD TV + RANCHHEE PARTNER TO SUPPLY TV'S. BUILDER TO SUPPLY BRACKETS ADD 2x CAT6 TO HDMI CONVERTERS PER TV
E52	2	SOUS VIDE BATH	CUSTOM	STODDART	TRIMARK	ZAMBRERO	BUILDER	15AMP
E53	1	CCTV DVR	TBC	TBC	TBC	BUILDER	BUILDER	DVR TO HAVE IPHONE CAPABILITIES AND RECORD AND STORE UP TO 1 MONTH OF DATA
E70	1	COUNTER TOP BAIN MARIE	AVBM511	WOODSON	TRIMARK	ZAMBRERO	BUILDER	370W x 600D x 256H 10AMP
E76	1	DRY RACK 465 x 750			TRIMARK	ZAMBRERO	BUILDER	4x POSTS AND SHELF SUPPORT WITH CORE 8 SHELVES
E79	1	SMART WALL			TRIMARK	ZAMBRERO	BUILDER	BUILDER TO INSTALL BRACKET AND GRID
E80	2	IN LINE FAN	AF35M	FANTECH	FANTECH	BUILDER	BUILDER	
E81	2	JUICE DISPENSER	CJ5-3	ORATHCO	TRIMARK	ZAMBRERO	BUILDER	
E82	1	S32 SELF CONTAINED	S32	STRUCTURAL CONCEPTS	TRIMARK	ZAMBRERO	BUILDER	Refrigerated Self Service Case - 24°D
E83	1	S42 SELF CONTAINED	S42	STRUCTURAL CONCEPTS	TRIMARK	ZAMBRERO	BUILDER	Refrigerated Self Service Case - 24°D
E84	1	TEA BREWER	TBC	TBC	TRIMARK	ZAMBRERO	BUILDER	

PLUMBING SCHEDULE

CODE	QTY	ITEM	MODEL	MANUFACTURER	SUPPLIER	PURCHASED BY	COMMENTS
PL01	1	WALL MOUNTED SWIVEL MIXER TAPSET	TBC	TBC	TRIMARK	ZAMBRERO	
PL02	1	HANDWASH BASIN KNEE OPERATED	AB 831 300TV	STODDART	TRIMARK	ZAMBRERO	420D x 500W x 313H
PL03	1	CLEANERS SINK	CS 22 451	STODDART	HSE	ZAMBRERO	SWIVEL MIXER TAPSET PURCHASED AND INSTALLED BY BUILDER
PL04	1	SINGLE LEVER MIXER		SMARE	SMARE	BUILDER	SWIVEL TAP
PL05	2	PRE RINSE SPRAY GUN	CMPL 3641	STODDART	TRIMARK	ZAMBRERO	BUILDER TO INSTALL AS PER MANUFACTURER'S SPECIFICATIONS INCLUDING WALL BRACKET
PL07	1	HOT WATER UNIT	AT35EM	RHEEM	RHEEM	BUILDER	50L HEAVY DUTY ELECTRIC WATER HEATER. SUS AL LED ON TUNGSTEN TRAY AND TO COMPLY WITH AS/NZS3500 & 2003
PL13	1	ICE MACHINE	IC48	SCOTSMAN ISE DYETMER	TRIMARK	BUILDER	580W x 690D x 778H
PLEX1	1	EXISTING TOILET	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING TOILET
PLEX2	1	EXISTING TOILET BASIN	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING TOILET BASIN

LIGHTING SCHEDULE

CODE	QTY	ITEM	MODEL	WATTAGE	MANUFACTURER	SUPPLIER	PURCHASED BY	COMMENTS	IMAGE
E	1	EMERGENCY LIGHT	BUILDER TO SOURCE	4W	BUILDER TO SOURCE	BUILDER	BUILDER		
L1	12	SERVERY DOWNLIGHT	IP 44 RATED LED DOWNLIGHT. LAMP COLOUR TEMP. 3000K WARM WHITE	11W	ECO LIGHTING SUPPLIES. PH: 1300 255 533	ECO LIGHTING SUPPLIES. PH: 1300 255 533	BUILDER	BLACK FINISH	
L5	4	TRACK LIGHTING	LG EXT LED-750MA-D-841 ROUND HEAD DIMMABLE LED TRACK LIGHT SINGLE CIRCUIT BLACK	6W	ECO LIGHTING SUPPLIES. PH: 1300 255 533	ECO LIGHTING SUPPLIES. PH: 1300 255 533	BUILDER	BLACK FINISH - TO BE SUSPENDED FROM SLAB CEILING AT 2600mm AFFL	
L6	3	CEILING MOUNTED FLUORESCENT LIGHT	TWIN T08Z FLUORESCENT RECESSED WITH PRISMATIC DIFFUSER	58W	BUILDER TO SOURCE	BUILDER	BUILDER	FOR BOH	
LX3	12	FEATURE JAR PENDANT	125W LED VINTAGE EDISON EXPOSED BULBS	6W	BUILDER TO SOURCE	BUILDER	BUILDER	ZAMBRERO SAUCE JARS TO BE USED AS LIGHTING FEATURES WITH LED GLOBES INSIDE. DETAILS TBC	

SIMPLY STAINLESS SCHEDULE

CODE	QTY	ITEM	MODEL	MANUFACTURER	SUPPLIER	INSTALLER	COMMENTS
SS01	1	CUSTOM STAINLESS INFIL PIECES	CUSTOM	BUILDER	BUILDER	BUILDER	CUSTOM INFILL PIECES TO CLOSE GAPS ON EITHER SIDE OF STAINLESS PIECES IN KITCHEN. WIDTHS TO BE DETERMINED ON SITE
SS02	2	WALL SHELF 1800 x 300	11.0600	SIMPLY STAINLESS	TRIMARK	BUILDER	SEE FLOOR PLAN FOR LOCATION. CONTRACTOR TO CONFIRM ON SITE THE INSTALLATION HEIGHTS OF SHELVES
SS03	1	SINK BENCH WITH SPLASHBACK 750 x 1800	05.7.0800	SIMPLY STAINLESS	TRIMARK	BUILDER	SUPPLIED WITH A SINK BASKET. WASTE WITH BASKET TO BE INSTALLED
SS04	1	ADD ID WALL SHELF 1200 x 300	10.1200	SIMPLY STAINLESS	TRIMARK	BUILDER	SEE FLOOR PLAN FOR LOCATION. CONTRACTOR TO CONFIRM ON SITE THE INSTALLATION HEIGHTS OF SHELVES
SS05	1	TRIPLE BOWL SINK WITH UPSTAND 700 x 2400	24.7.2400TB	SIMPLY STAINLESS	TRIMARK	BUILDER	SUPPLIED WITH 3x SINK BASKET. WASTE WITH BASKET TO BE INSTALLED IN EACH BASIN
SS06	1	WORK BENCH & ADDITIONAL UNDERSHELF 900 x 1072	01.9.1200 + 21.US.7.1200	SIMPLY STAINLESS	TRIMARK	BUILDER	ADDITIONAL UNDERSHELF 21.US.7.1200 TO BE INSTALLED TO WORKBENCH 01.9.1200. UNDERSHELF FOR 900mm DEEP BENCH SAME AS 700mm DEEP BENCH
SS08	2	WORK BENCH WITH SPLASHBACK & EXTRA UNDERSHELF 700 x 1800	02.7.1800 + 21.US.7.1800	SIMPLY STAINLESS	TRIMARK	BUILDER	ADDITIONAL UNDERSHELF 21.US.7.1800 TO BE INSTALLED TO WORKBENCH 02.7.1800
SS09	1	WORK BENCH WITH SPLASHBACK & EXTRA UNDERSHELF 700 x 1800	02.7.1800 + 21.US.7.1800	SIMPLY STAINLESS	TRIMARK	BUILDER	ADDITIONAL UNDERSHELF 21.US.7.1800 TO BE INSTALLED TO WORKBENCH 02.7.1800
SS10	1	WORK BENCH WITH SPLASHBACK & LEG BRACE 700 x 1800	02.7.1800 + 22.LB.7.1800	SIMPLY STAINLESS	TRIMARK	BUILDER	UNDERSHELF SUPPLIED WITH 02.7.1800 TO BE REPLACED BY THE SEPARATE LEG BRACE COMPONENT
SS12	1	WORK BENCH WITH SPLASHBACK & LEG BRACE 700 x 1800	02.7.1800 + 22.LB.7.1800	SIMPLY STAINLESS	TRIMARK	BUILDER	UNDERSHELF SUPPLIED WITH 02.7.1800 TO BE REPLACED BY THE SEPARATE LEG BRACE COMPONENT
SS13	1	CUSTOM BENCH	CUSTOM	BUILDER	BUILDER	BUILDER	900mm HEIGHT CUSTOM BENCH TOP TO BE MOUNTED TO EXISTING HALF HEIGHT NIB WALL INFRONT OF WINDOW IN KITCHEN. EXACT DIMENSIONS TO BE DETERMINED ON SITE

FURNITURE & HARDWARE SCHEDULE

CODE	QTY	ITEM	MODEL	MANUFACTURER	SUPPLIER	PURCHASED BY	DESCRIPTION	IMAGE
F01	11	EMECO CHAIR BLACK	EMECO US NAVY CHAIR BLACK	EMECO	REPLICA	ZAMBRERO	BLACK ALUMINIUM CHAIR	
F02	1	STANDARD TABLE	BLACK COMPACT LAMINATE TOP WITH BLACK 4 BAY BASE		JAMES RICHARDSON PH: ROBERT 02 9310 7133	ZAMBRERO		
F04	257	SMALL POTTED PLANTS	PLANTS - ARTICLE NUMBER: 501.918.93 POTS - ARTICLE NUMBER: 401.745.93	IKEA	BUILDER	BUILDER	PLANTS: IKEA FEJKA ARTIFICIAL POTTED PLANTS ARTICLE NUMBER: 501.918.93 - ALL PLANTS ON TABLES TO BE IN IKEA 'GRADO' POTS ARTICLE NUMBER: 401.745.93	
F05	165	SMALL POT	12.5cm "GRADO" PLANT POT - IKEA CODE: 401.745.93	IKEA	IKEA	BUILDER	POTS FOR ALL SMALL ARTIFICIAL PLANTS ON COMMUNAL TABLES AND COFFEE TABLE	
F06	4	TIMBER CRATE	LARGE WOOD CRATE MODEL NUMBER: 946491	THE HOME DEPOT	THE HOME DEPOT	BUILDER	15 in. x 12.5 in. x 9.5 in.	
F07	1	DEIA TABLE	BLACK COMPACT LAMINATE TOP WITH FOUR BLACK STEEL LEGS TO BE DDA COMPLIANT		BUILDER TO SOURCE	ZAMBRERO		
F08	1	TOILET PAPER DISPENSER	82368	BOBWICK	WASHROOM ACCESSORIES PH 1300 662 583	BUILDER	155mm W x 230mm H x 150mm D	
F09	1	TOILET SHELF	755A/12	BRADLEY	WASHROOM ACCESSORIES PH 1300 662 583	BUILDER	300mm W x 125mm D x 85mm H	
F10	1	COAT HOOK	48/4750	METEAM	WASHROOM ACCESSORIES PH 1300 662 583	BUILDER	19W x 80mmD x 70H	

FINISHES SCHEDULE

CODE	NAME	MODEL	MANUFACTURER	COMMENTS	IMAGE
C01	FC SHEETING	FC SHEETING + 2PAC HIGH GLOSS CONCRETE SEAL. TO BE MEASURED AND CUT ON SITE	BUILDER TO SOURCE & SUPPLY - TO BE MEASURED AND CUT ON SITE	FC SHEETING + 2PAC HIGH GLOSS CONCRETE SEAL. TO BE MEASURED AND CUT ON SITE	
FL01	EXISTING CONCRETE FLOOR	A10 SLIP RATING		EXISTING CONCRETE FLOORING TO BE TOPPED, GROUND AND POLISHED. ENSURE SLIP RATING OF R10	
LM01	BLACK COMPACT LAMINATE	XR GRADE - COSMIC BLACK	LAMINEX	PANEL SIZE - 3660 x 1100mm 13mm THICKNESS	
P01	CHARCOAL GREY PAINT	PGTAS DUANNO	DULUX PH: 13 23 77	WASH N WEAR ON INTERIOR WALLS AND CEILINGS. EXTERIOR GRADE ON EXTERNAL WALLS	
P02	WHITE PAINT	PAINTWI VIVID WHITE LOW SHEEN	DULUX PH 13 2277	1 PRIMARY COAT, 2 COLOUR COATS	
P03	BLACK PAINT	CODE: PGTAN	DULUX PH: 13 23 77	LOW SHEEN FINISH APPLIED TO SUBSTRATE AND WALLS. SLIGHT BRUSHSTROKE TO BE VISIBLE	
P06	WHITE HIGH GLOSS PAINT	CODE: 34124912 AL	DULUX PH: 13 23 77	DULUX BUFFER ENAMEL OIL BASED HIGH GLOSS. COLOUR: WHITE. HIGHLY WASHABLE, HIGHLY SCUFF PROOF	
SP21	BLACK POWDERCOATED ALUMINUM	SKIRTING	BUILDER	GENERAL SKIRTING. TRIMS TO BE BLACK COLOUR	
SS	STAINLESS STEEL		BUILDER TO SOURCE & SUPPLY	TO FOOD PREP AREAS	
TO2	HOOP PINE	HOOP PINE	BUILDER TO SOURCE	FINISHED WITH NON YELLOWING LOW SHEEN ENAMEL FINISH. COLOUR OF HOOP PINE TO BE CONFIRMED WITH DESIGNER BEFORE INSTALLATION	
TO3	OSB	2500mm X 1250mm PANEL	GUNNEBISONS	ALLOW TO LIGHTLY SAND AND FINISH WITH NON YELLOWING LOW SHEEN ENAMEL FINISH. COLOUR OF OSB TO BE CONFIRMED WITH DESIGNER BEFORE INSTALLATION	
TO5	RECYCLED TIMBER	RECYCLED HARDWOOD GREY FACE WIRE BRUSHED APPROX. 100mm WIDE	IRONWOOD AUSTRALIA PH: 02 9810 1148 (OR SIMILAR)	PALISADE TO BE USED BEHIND BOARDS TO VARY THICKNESS OF FINISHED CLADDING FURTHER WHERE NECESSARY TO ACHIEVE DESIRED FINISH. SEE TB5. COLOUR VARIES PIECE BY PIECE. TO BE LAID OUT DIAGONALLY AT 45 DEGREES AS SHOWN IN DRAWINGS AND RENDERS	
T08	BLACK LAMINATE	BLACK LAMINATE		BLACK LAMINATE	
T09	CHARCOAL GREY PAINTED PANELLING	EASYGROOVE 150 PINE PRIMED	EASYCRAFT PH 07 3208 7313	1250mm W x 3000mm L x 9mm THK EASYGROOVE 150 PINE PRIMED INTERNALLY WALL PANEL PAINTED HOR ORIENTED VERTICALLY	
T09	PINE LENGTHS	42mm STANDARD GRADE THICK DRESSED PINE LENGTHS	GUNNEBISONS PH: 0418 678 170	PALLET FURNITURE AND FEATURES	
T10	TIMBER LAMINATE	MILANO WALNUT	LAMINEX	LAMINATE FINISH TO MOP SHELVES. LAMINATE APPLIED TO ALL EXPOSED SIDES	
TL01	WHITE TILE	300mm x 200mm	BUILDER TO SOURCE & SUPPLY	WHITE TILES WITH WHITE EPOXY GROUT	
TL02	BLACK SUBWAY TILES	300mm x 100mm	BUILDER TO SOURCE & SUPPLY	BLACK SUBWAY TILES WITH WHITE EPOXY GROUT	
VN1	VINYL	CASBOY 3437 CHARCOAL	SANDNGUE	VINYL FACE ON A KNITTED FABRIC BACKING. 400,000 + DOUBLE RUBB W/ 270RUBS. <27kn x 958.5/dm <37kn x 849.5/dm (linear metre @ 1370mm WIDE)	

GC OR BUILDER TO SOURCE LOCAL ALTERNATIVES AND SUBMIT FOR APPROVAL

Zambrero Pty Ltd
Suite 2402, 1 Alfred St
Sydney, NSW 2000
Australia
tel: +(61) 2 9252 9673

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NOTES

BUILDER TO ACCEPT ALL DELIVERIES OF SCHEDULED EQUIPMENT OUTLINED BY ZAMBRERO PROJECT MANAGEMENT TEAM

REV	DESCRIPTION	DATE
A	PRELIMINARY CONCEPT	23.05.17
C	APPROVAL AND TENDER	16.06.17
D	APPROVAL AND TENDER REVISION 01	23.06.17
E	APPROVAL AND TENDER REVISION 02	29.06.17

DRW BY: CM CHK BY: SF

SCALE @ A2

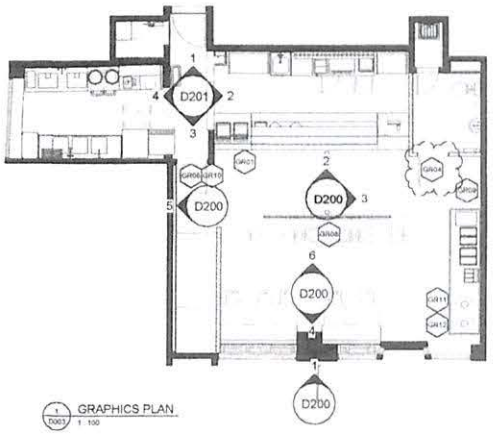
PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST,
CAMBRIDGE, MA 02138,
USA

DRAWING NAME:
SCHEDULES

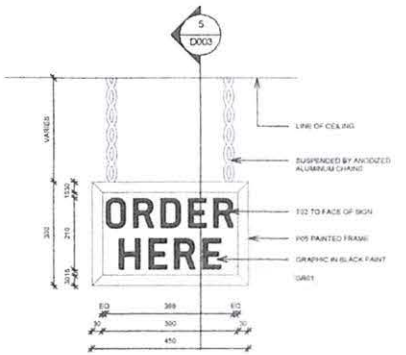
DRAWING NO.:
D002

GRAPHICS SCHEDULE			
QTY	CODE	NAME	DESCRIPTION
1	GR01	ORDER HERE	BLACK PAINT MASKED AND SPRAYED
1	GR04	TOILET	WHITE PAINT MASKED AND SPRAYED
1	GR06	FOR EVERY BURRITO, 8 LINES CENTER, WHITE	WHITE PAINT MASKED AND SPRAYED
1	GR08	LED SIGN	SEE DETAILS BELOW
1	GR09	11 BILLION MEALS GRAPHIC	DIGITAL PRINT ADHERED WITH AGGRESSIVE ADHESIVE
1	GR10	FOR THE MOVEMENT, 2 LINES, WHITE	DIGITAL PRINT ADHERED WITH AGGRESSIVE ADHESIVE
1	GR11	GENERAL WASTE GRAPHIC - BLACK	DIGITAL PRINT ADHERED WITH AGGRESSIVE ADHESIVE
1	GR12	RECYCLING GRAPHIC	DIGITAL PRINT ADHERED WITH AGGRESSIVE ADHESIVE

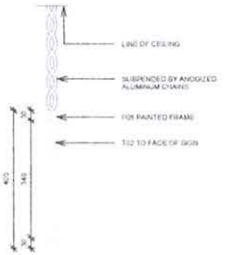


1 / D003 GRAPHICS PLAN
1 : 100

11 / D003 GR11 GR12
1 : 10

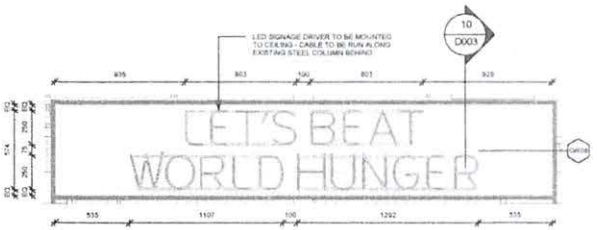


8 / D003 ORDER HERE SIGN ELEVATION
1 : 10

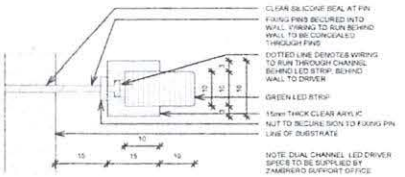


3 / D003 ORDER HERE SIGN SECTION
1 : 10

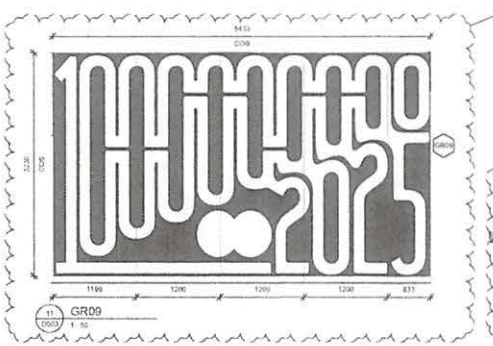
4 / D003 GR06 GR10
1 : 25



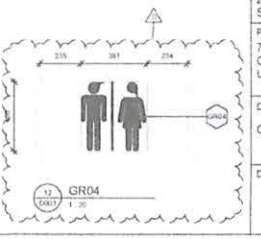
9 / D003 GR05
1 : 25



12 / D003 LED SIGN SECTION
1 : 1



11 / D003 GR09
1 : 50



12 / D003 GR04
1 : 20

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REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.06.17
C	APPROVAL AND TENDER	18.06.17
D	APPROVAL AND TENDER REVISION 01	23.06.17
E	APPROVAL AND TENDER REVISION 02	29.06.17

DRW BY: CM | CHK BY: SF

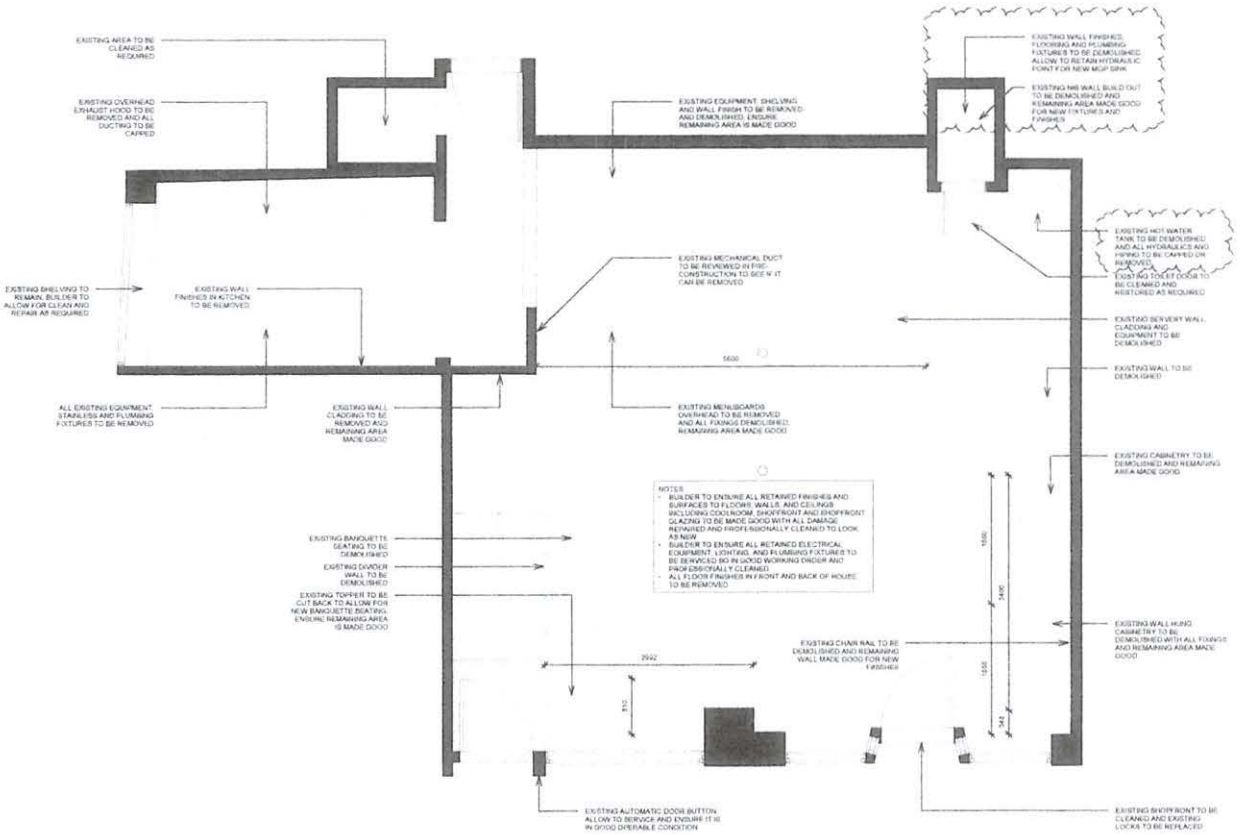
SCALE @ A2: As indicated

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST,
CAMBRIDGE, MA 02138,
USA

DRAWING NAME:
GRAPHICS SCHEDULE

DRAWING NO.:
D003



NOTES:
- BUILDER TO ENSURE ALL RETAINED FINISHES AND SURFACES TO FLOORS, WALLS, AND CEILINGS INCLUDING COOLROOM, SHOPFRONT AND SHOPFRONT GLAZING TO BE MADE GOOD WITH ALL DAMAGE REPAIRED AND PROFESSIONALLY CLEANED TO LOOK AS NEW
- BUILDER TO ENSURE ALL RETAINED ELECTRICAL EQUIPMENT, LIGHTING, AND PLUMBING FIXTURES TO BE SERVICED SO IN GOOD WORKING ORDER AND PROFESSIONALLY CLEANED
- ALL FLOOR FINISHES IN FRONT AND BACK OF HOUSE TO BE REMOVED

1 D101 EXISTING LEASE PLAN & DEMOLITION PLAN
1 : 50

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Suite 2402, 1 Alfred St
Sydney, NSW 2000
Australia
tel: +(61) 2 9252 9673

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LEGEND

EXISTING WALL TO REMAIN

WALL BOUNDARY TO BE DEMOLISHED

NOTES

MAKE GOOD ALL SURFACES AS REQUIRED

REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.06.17
C	APPROVAL AND TENDER	18.08.17
D	APPROVAL AND TENDER REVISION 01	23.08.17
E	APPROVAL AND TENDER REVISION 02	29.08.17

DRW BY: CM | CHK BY: SF

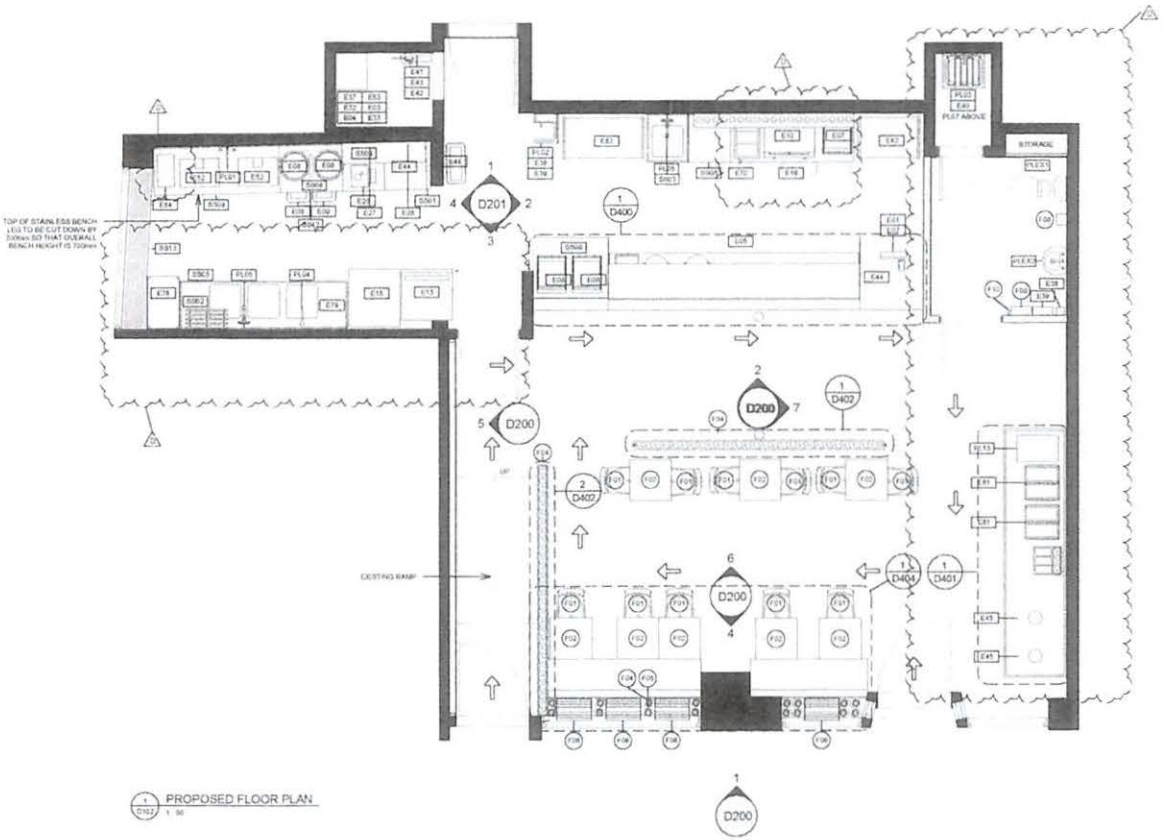
SCALE @ A2: 1 : 50

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST,
CAMBRIDGE, MA 02138,
USA

DRAWING NAME:
EXISTING & DEMOLITION PLAN

DRAWING NO:
D101



1 PROPOSED FLOOR PLAN
D102 1 : 50

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Sydney, NSW 2000
Australia
tel: +(61) 2 9252 9673

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LEGEND

- EXISTING WALL
- NEW WALL
- NEW WALL WITH BLOCKING FOR WALL SHELVES
- TRAFFIC FLOW ARROW
- EQUIPMENT NUMBER
- PLUMBING NUMBER
- FURNITURE NUMBER
- STAINLESS BENCHES BY BUILDER

NOTES

BLACK 80mm DIA CABLE COVER TO BE USED WHEN GPO'S ARE LOCATED UNDERNEATH THE BENCH TOP AND EQUIPMENT IS ON TOP

REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.06.17
C	APPROVAL AND TENDER	06.08.17
D	APPROVAL AND TENDER REVISION D1	23.08.17
E	APPROVAL AND TENDER REVISION D2	29.08.17

DRW BY: CM | CHK BY: SF

SCALE @ A2: 1 : 50

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST.
CAMBRIDGE, MA 02138,
USA

DRAWING NAME:
PROPOSED FLOOR PLAN

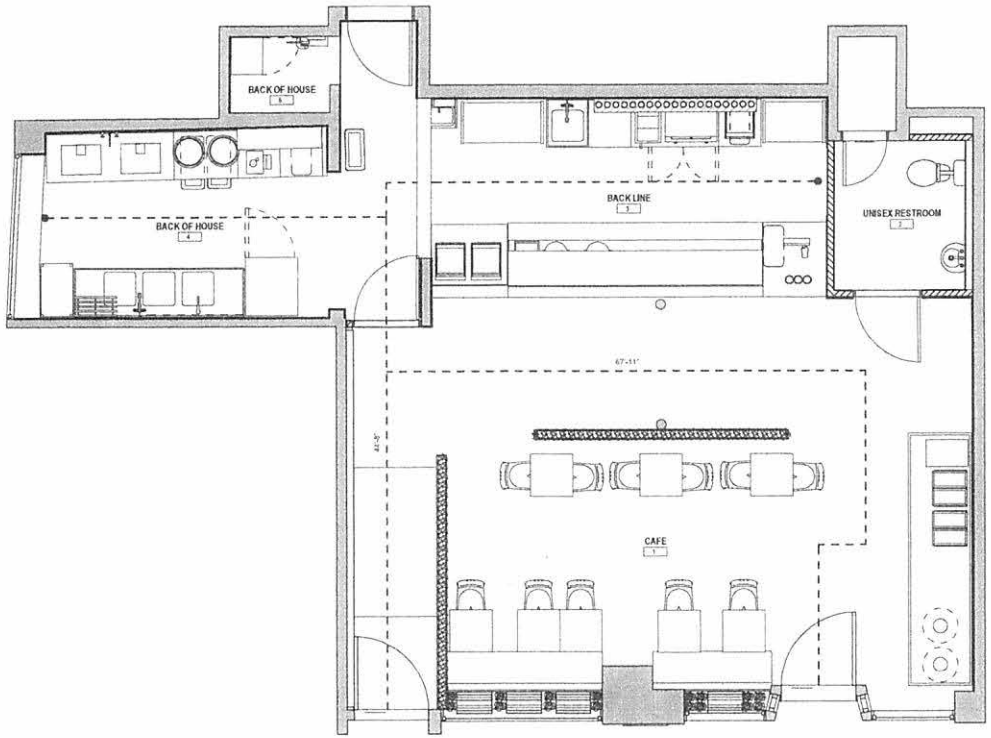
DRAWING NO:
D102

DYER BROWN

Dyer Brown Architects
dyerbrown.com

One Winthrop Square
Boston, MA 02110-1209

T 617 426 1690
F 617 426 2187



OCCUPANCY PLAN

CODE SUMMARY	
PROJECT:	ZAMBRERO 71 MT AUBURN STREET CAMBRIDGE, MA
APPLICABLE CODES:	IBC 2009 780 CMR< 521 CMR 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
TOTAL AREA OF SPACE:	1,601 SF
CONSTRUCTION CLASSIFICATION:	TYPE VB
TYP. OF OCCUPANCY	TYPE MERCANTILE
OCCUPANT LOAD:	16 CAFE: 843/15 = 56(NOT USED) SEAT COUNT 16 BACK LINE: 162/30 = 1 BACK OF HOUSE: 180/300=1
CAPACITY FROM PROJECT AREA:	EXITS FROM FLOOR: 2 MAX. TRAVEL: 67'-11" PASSAGE WIDTH: 44" MIN.
SPRINKLER SYSTEM:	YES X NO
FIRE ALARM SYSTEM:	YES X NO

REVISIONS

CONSTRUCTION DOCUMENTS

ZAMBRERO

ZAMBRERO

71 MT AUBURN STREET
CAMBRIDGE MA

TITLE
EGRESS PATH & CODE SUMMARY

DATE 6/27/17

JOB NO. 17_0310

DRAWING NO. **A0.07**

NOT FOR CONSTRUCTION

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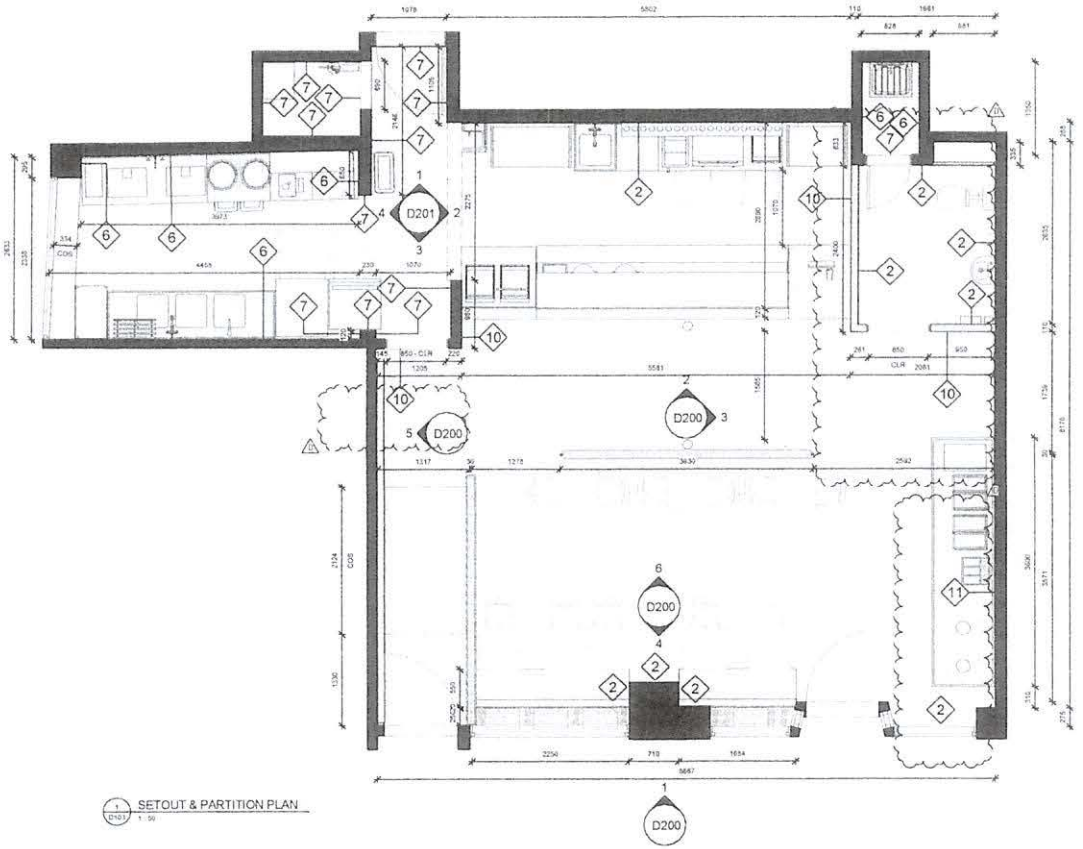
WALL FINISH SCHEDULE	
CODE	FINISH
1	T05, BK01 TO 100mm AFFL
2	TL02, FL03 TO 100mm AFFL
6	TL01, FL03 TO 100mm AFFL
7	PG8, FL03 TO 100mm AFFL
10	T08, BK01 TO 100mm AFFL
11	1 BILLION GRAPHIC WALLPAPER BK01 TO 100mm AFFL
12	T05



1 SETOUT & PARTITION PLAN
D103 1 : 50

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Sydney, NSW 2000
Australia
tel: +(61) 2 9252 9673

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LEGEND

EXISTING WALL

NEW WALL

NEW WALL WITH BLOCKING AS REQUIRED FOR WALL SHELVES

WALL FINISH TAG. SEE WALL FINISH LEGEND BELOW

NOTES

BLACK 80mm DIA CABLE COVER TO BE USED WHEN GPO'S ARE LOCATED UNDERNEATH THE BENCHTOP AND EQUIPMENT IS ON TOP

DIMENSIONS SHOWN TO EDGE OF FINISHED FACE OF WALL

BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17
C	APPROVAL AND TENDER	16.06.17
D	APPROVAL AND TENDER REVISION B1	23.06.17
E	APPROVAL AND TENDER REVISION B2	29.06.17

DRW BY: CM | CHK BY: SF

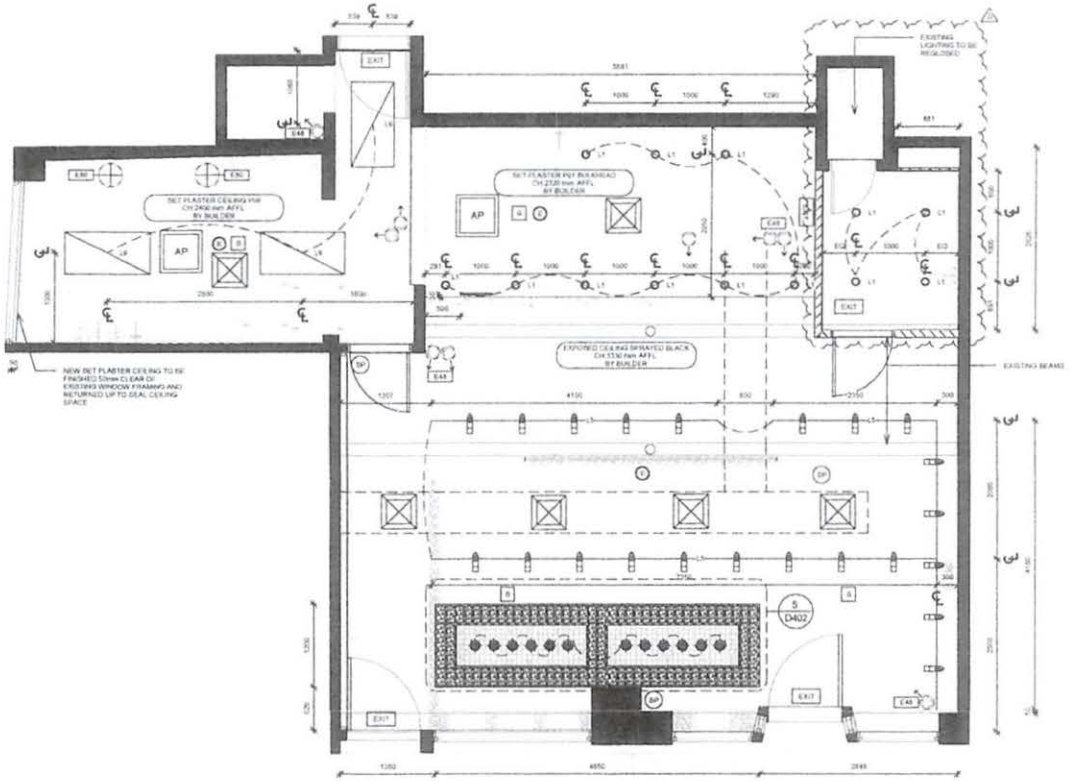
SCALE @ A2: 1 : 50

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST,
CAMBRIDGE, MA 02138,
USA

DRAWING NAME:
SETOUT & PARTITION PLAN

DRAWING NO:
D103



1 / D104 REFLECTED CEILING PLAN
1 : 50

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Suite 2402, 1 Alfred St
Sydney, NSW 2000
Australia
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LEGEND

- PENDANT
- RECESSED DOWNLIGHT
- WALL LIGHT
- SURFACE MOUNTED FLUORESCENT
- TRACK LIGHT
- SWITCH
- EMERGENCY LIGHT
- EXIT SIGN
- SMOKE DETECTOR
- EWIS SPEAKER
- SPRINKLER
- AC REGISTER
- ACCESS PANEL
- AP — LIGHTING TAG. SEE LIGHTING SCHEDULE FOR SPECIFICATIONS
- SP — EAR SURVEILLANCE CAMERA. SEE EQUIPMENT SCHEDULE FOR SPECIFICATIONS
- SP — EAT SPEAKER. SEE EQUIPMENT SCHEDULE FOR SPECIFICATIONS

NOTES

ESSENTIAL FIRE SERVICES TO BE IN ACCORDANCE WITH THE BCA & AUSTRALIAN STANDARDS

CONTRACTOR TO REVIEW AND ENSURE COMPLIANCE WITH PART J6 OF THE BCA

REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.06.17
C	APPROVAL AND TENDER	30.06.17
D	APPROVAL AND TENDER REVISION 01	23.08.17
E	APPROVAL AND TENDER REVISION 02	29.09.17

DRW BY: CM | CHK BY: SF

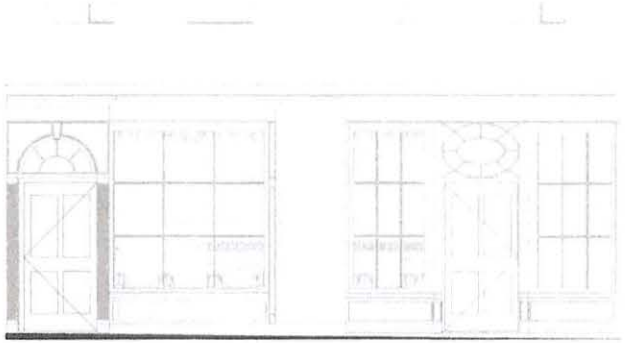
SCALE @ A2: 1 : 50

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

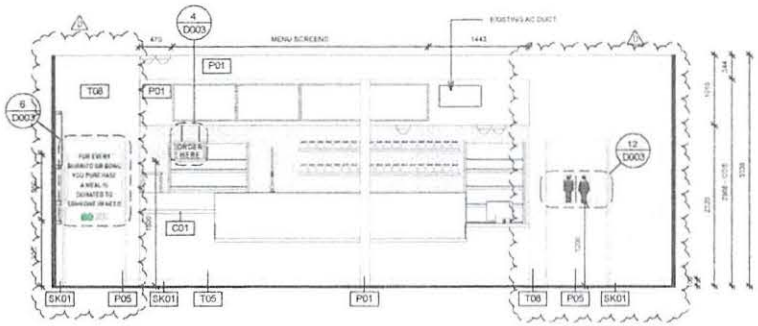
PROJECT ADDRESS:
71 MT AUBURN ST,
CAMBRIDGE, MA 02138,
USA

DRAWING NAME:
REFLECTED CEILING PLAN

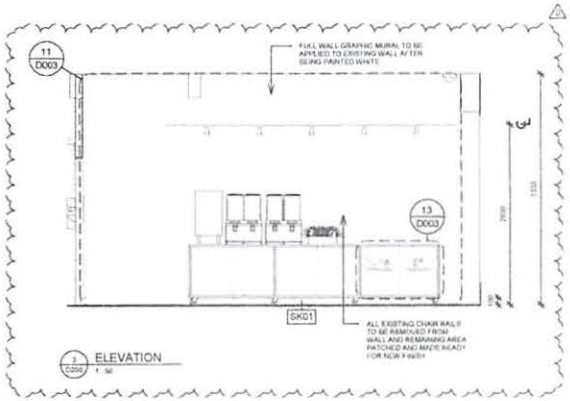
DRAWING NO.:
D104



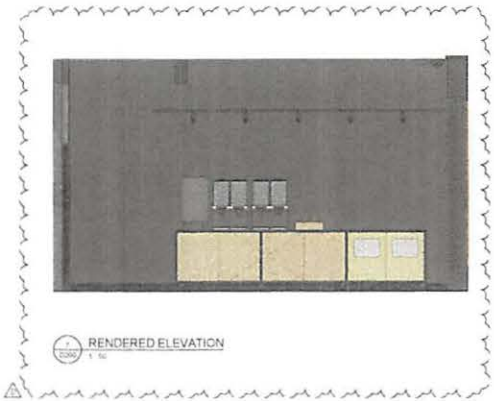
1 D200 ELEVATION 1 : 50



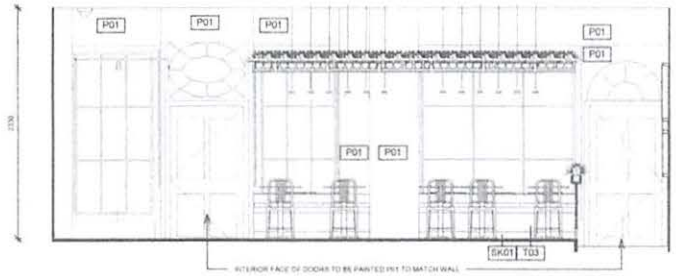
2 D200 ELEVATION 1 : 50



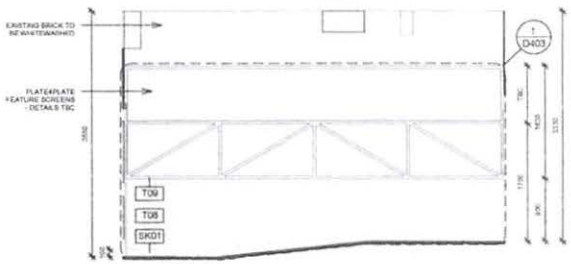
3 D200 ELEVATION 1 : 50



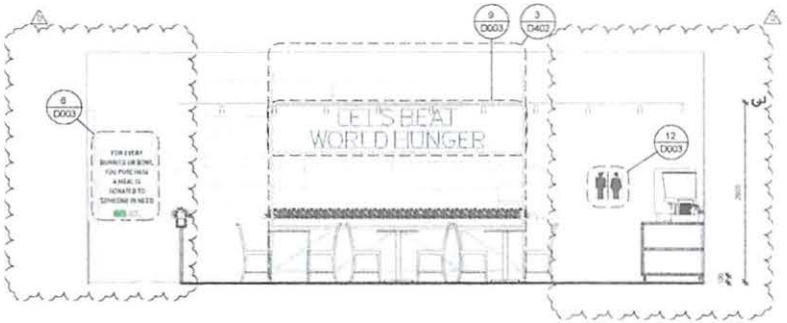
5 D200 RENDERED ELEVATION 1 : 50



4 D200 ELEVATION 1 : 50



5 D200 ELEVATION 1 : 50



6 D200 ELEVATION 1 : 50

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REV	DESCRIPTION	DATE
A	PRELIMINARY CONCEPT	22.05.17
B	APPROVAL AND TENDER	16.06.17
C	APPROVAL AND TENDER REVISION 01	23.06.17
D	APPROVAL AND TENDER REVISION 02	29.06.17

DRW BY: CM CHK BY: SF

SCALE @ A2: 1 : 50

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST.
CAMBRIDGE, MA 02138,
USA

DRAWING NAME:
ELEVATIONS - SHOPFRONT & FRONT OF HOUSE

DRAWING NO.:
D200

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Australia
tel: +(61) 2 9252 9073

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REV	DESCRIPTION	DATE
B	PRELIMINARY CONCEPT	23.05.17
C	APPROVAL AND TENDER	16.06.17
D	APPROVAL AND TENDER REVISION 01	23.06.17
E	APPROVAL AND TENDER REVISION 02	29.06.17

DRW BY: CM CHK BY: SF

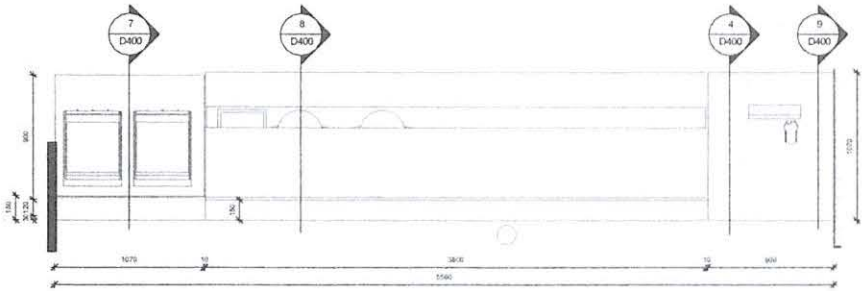
SCALE @ A2:

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

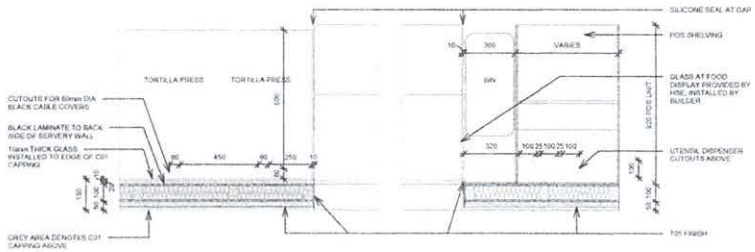
PROJECT ADDRESS:
71 MT AUBURN ST,
CAMBRIDGE, MA 02138,
USA

DRAWING NAME:
PERSPECTIVES

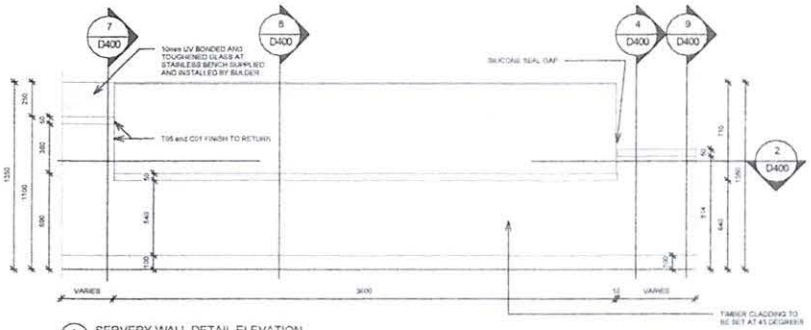
DRAWING NO.:
D300



1 D400 SERVERY PLAN
1 : 25



2 D400 SERVERY WALL PLAN SECTION
1 : 20



3 D400 SERVERY WALL DETAIL ELEVATION
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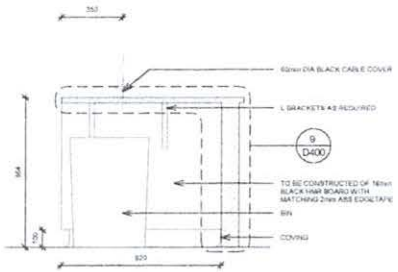
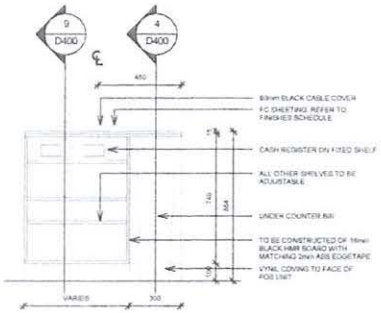
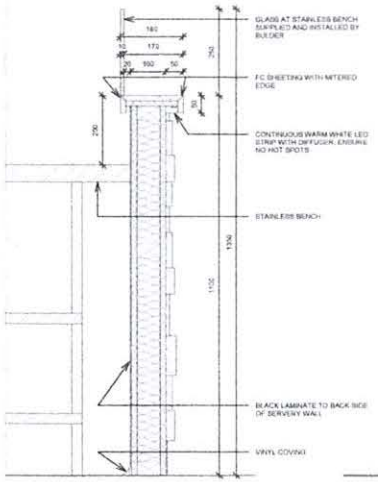


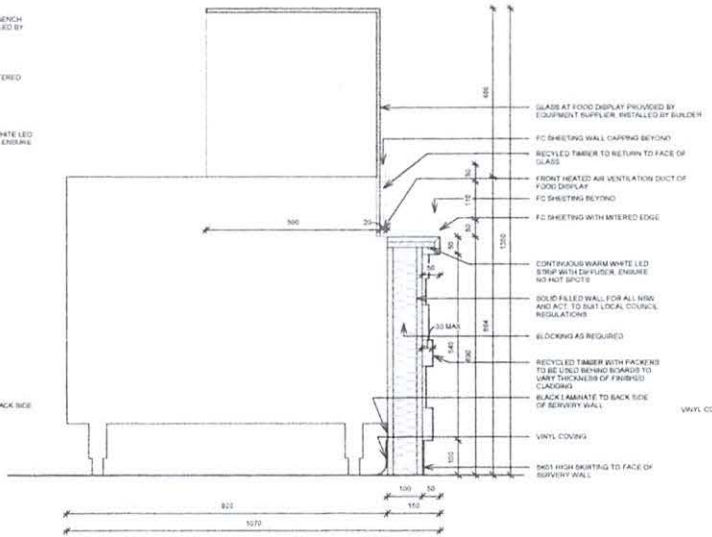
4 D400 POS SECTION AT BIN
1 : 20



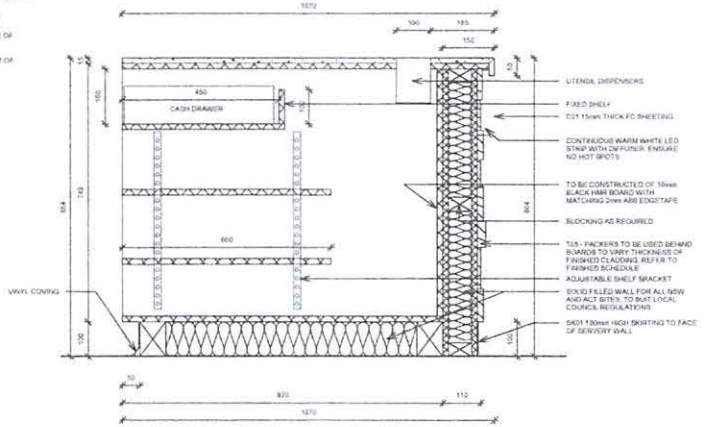
5 D400 POS ELEVATION BACK
1 : 20



7 D400 SERVERY WALL CAPPING AT BENCH
1 : 10



8 D400 SERVERY WALL SECTION AT FOOD DISPLAY
1 : 10



9 D400 POS SECTION AT SHELVES
1 : 10

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IMPORTANT NOTES

THESE DETAILS ARE TYPICAL DRAWINGS. REFER TO PLANS AND ELEVATIONS IN CONJUNCTION WITH THESE DETAILS. CONTACT ZAMBRERO PROJECT MANAGER FOR ANY REQUIRED CLARIFICATIONS.

REV	DESCRIPTION	DATE
C	APPROVAL AND TENDER	18.04.17
C	APPROVAL AND TENDER REVISION 02	25.04.17

DRW BY: MW | CHK BY: SF

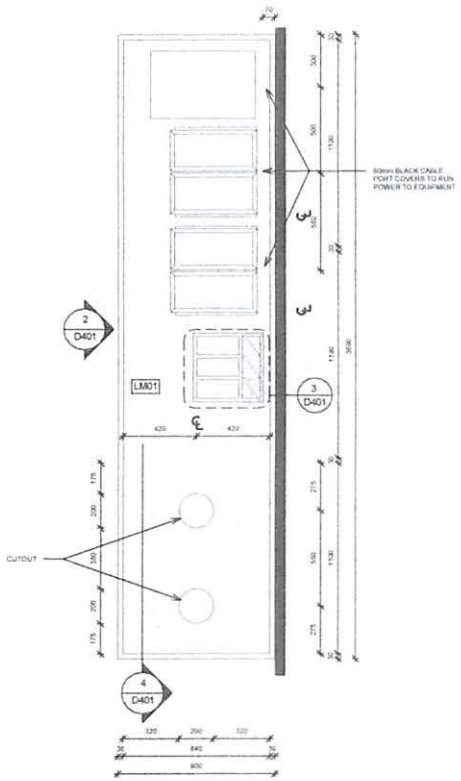
SCALE @ A2: As indicated

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

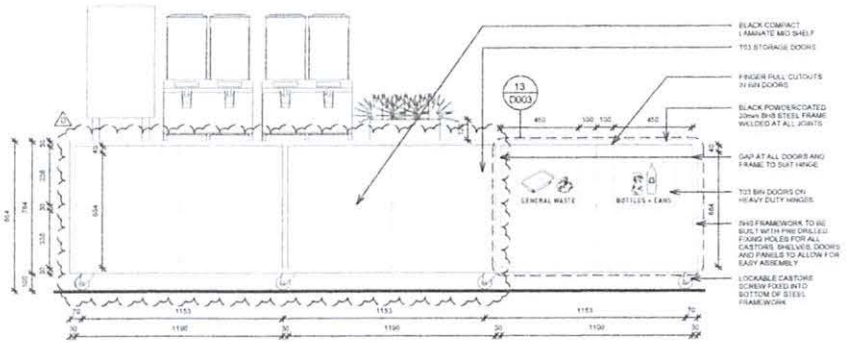
PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
STANDARD DETAILS - POS & SERVERY

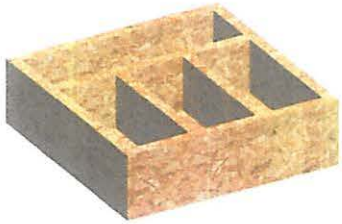
DRAWING NO.:
D400

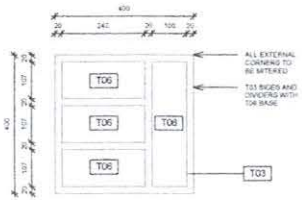


1 D401 PLAN 1 : 20

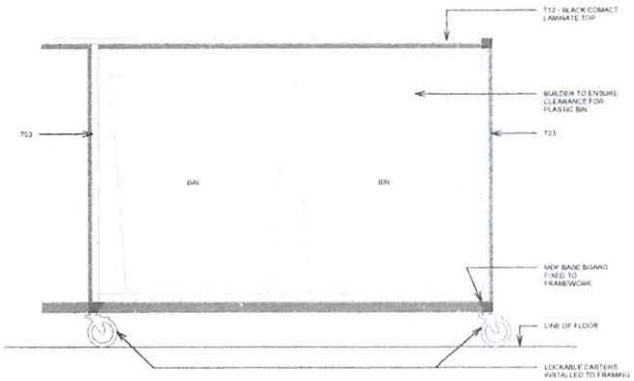


2 D401 ELEVATION 1 : 20

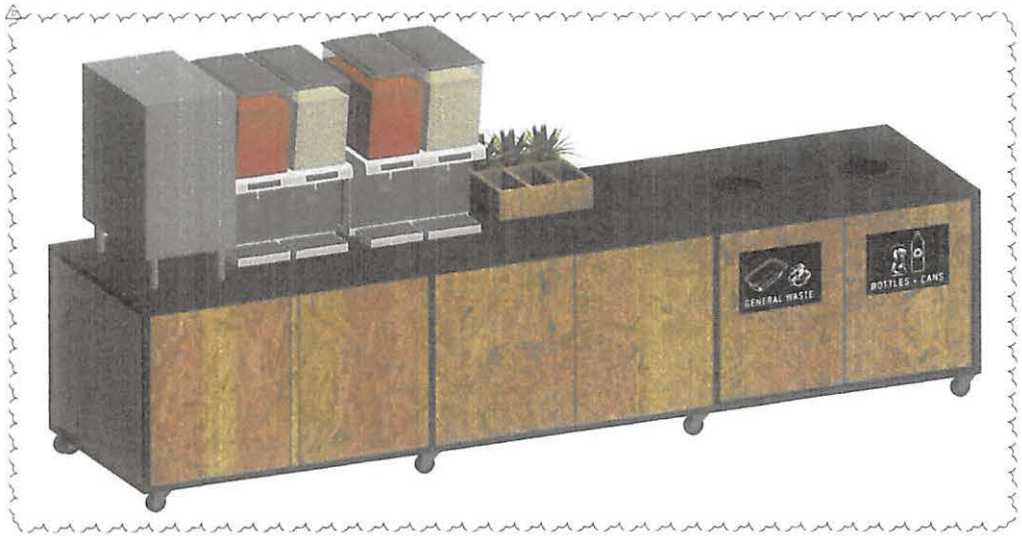




3 D401 UTENSIL DISPENSER PLAN 1 : 10



4 D401 BIN SECTION FRONT 1 : 10



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REV	DESCRIPTION	DATE
C	APPROVAL AND TENDER	08.06.17
D	APPROVAL AND TENDER REVISION D1	27.06.17
E	APPROVAL AND TENDER REVISION D2	29.06.17

DRW BY: CM CHK BY: SF

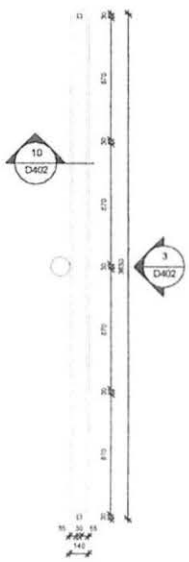
SCALE @ A2: As indicated

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

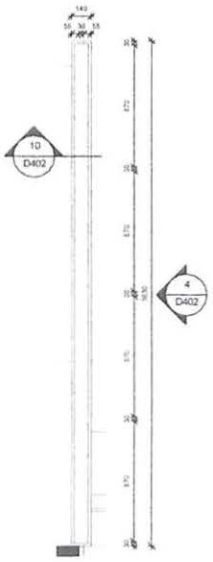
PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
STANDARD DETAILS - DRINKS STATION

DRAWING NO.:
D401



1 D402 PLAN 1 : 25



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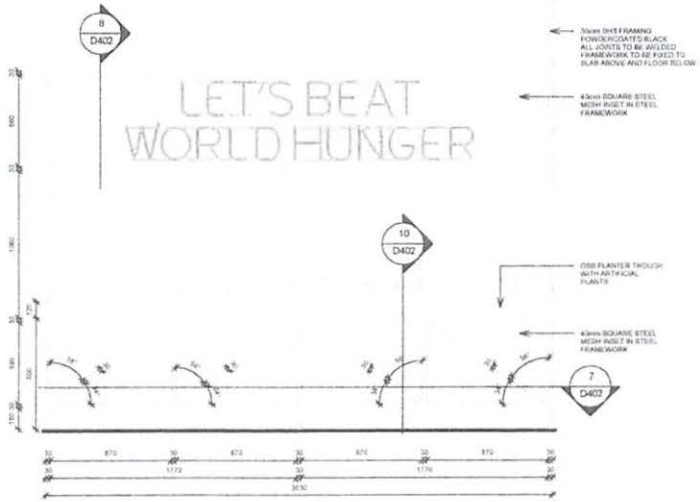

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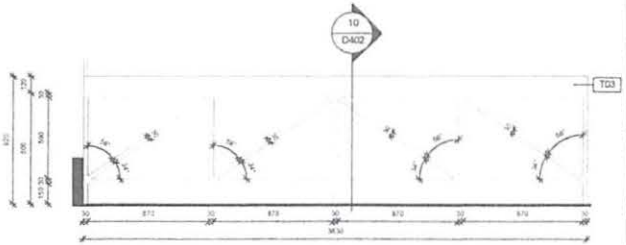

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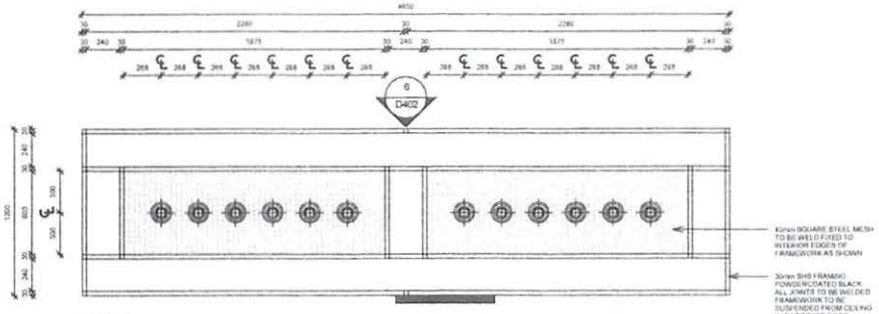
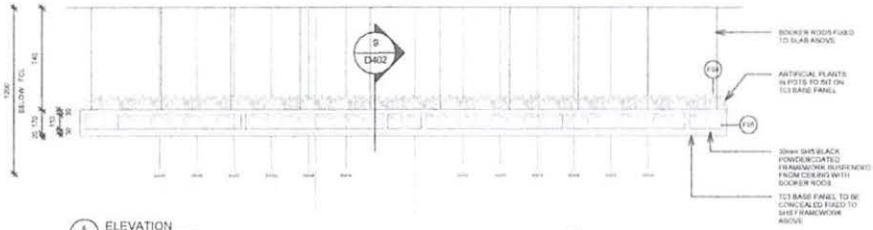


5 D402 RCP 1 : 25



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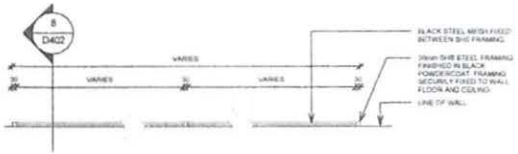
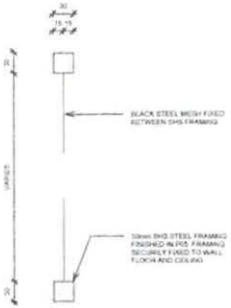
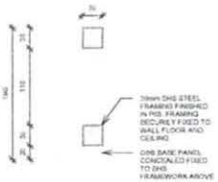


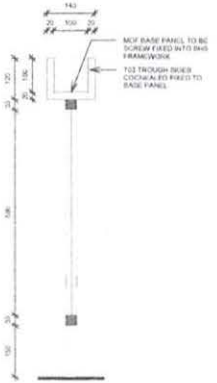
7 D402 MESH WALL PLAN 1 : 25



8 D402 MESH WALL SECTION 1 : 5



9 D402 MESH WALL SECTION - CANOPY 1 : 5



10 D402 DETAIL SECTION 1 : 10

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REV	DESCRIPTION	DATE
C	APPROVAL AND TENDER	16.06.17
D	APPROVAL AND TENDER REVISION 01	21.06.17
E	APPROVAL AND TENDER REVISION 02	29.06.17

DRW BY: CM | CHK BY: SF

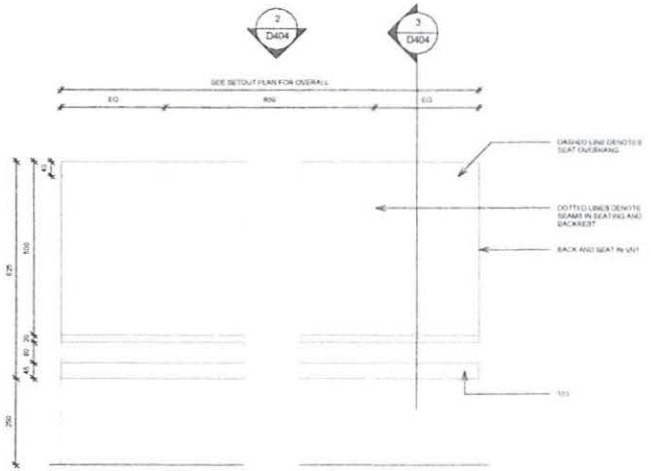
SCALE @ A2: As indicated

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

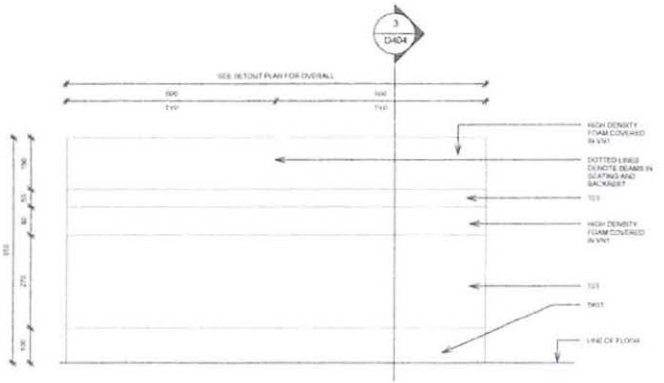
PROJECT ADDRESS:
71 MT AUBURN ST, CAMBRIDGE, MA 02138, USA

DRAWING NAME:
STANDARD DETAILS - MESH FEATURES

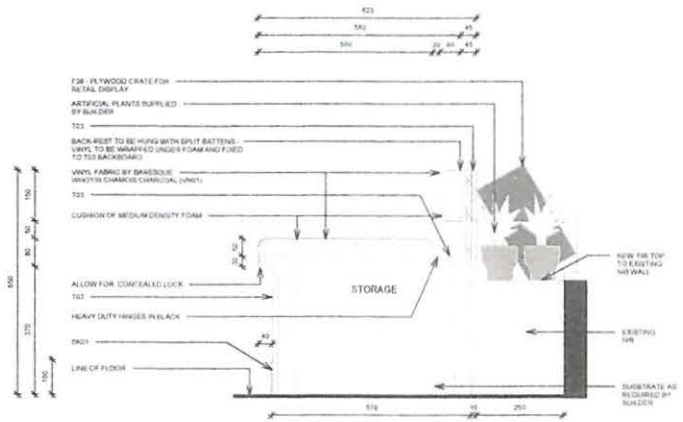
DRAWING NO.:
D402



1 D404 BANQUETTE PLAN WITH LONG STITCHES
1 10



3 D404 BANQUETTE ELEVATION WITH LONG STITCHES
1 10



3 D404 BANQUETTE SECTION
1 10

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REV	DESCRIPTION	DATE
C	APPROVAL AND TENDER	16.06.17
D	APPROVAL AND TENDER REVISION 01	23.06.17
E	APPROVAL AND TENDER REVISION 02	29.06.17

DRW BY: CM CHK BY: SF

SCALE @ A2: 1 10

PROJECT NAME:
ZAMBRERO HARVARD SQUARE

PROJECT ADDRESS:
71 MT AUBURN ST,
CAMBRIDGE, MA 02138,
USA

DRAWING NAME:
STANDARD DETAILS - BANQUETTE

DRAWING NO.
D404

CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

2017 JUN -7 PM 12:56
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM

Plan No: BZA-013489-2017

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : √ **Variance :** √ **Appeal :** _____

PETITIONER : Baile Beag 11, LLC - C/O James J. Rafferty, Esq.

PETITIONER'S ADDRESS : 675 Massachusetts Avenue Cambridge, MA 02139

LOCATION OF PROPERTY : 137 Mt Auburn St Cambridge, MA

TYPE OF OCCUPANCY : _____ **ZONING DISTRICT :** Residence B Zone

REASON FOR PETITION :

New Structure

DESCRIPTION OF PETITIONER'S PROPOSAL :

Petitioner seeks to replace existing structure with a new two family dwelling on the lot and to maintain a single parking space on site.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.31 (Table of Dimensional Requirements).
Article 8.000 Section 8.22.3 (Non-Conforming Structure).
Article 6.000 Section 6.36 (Reduction of Parking).
Article 10.000 Section 10.40 (Special Permit).
Article 10.000 Section 10.30 (Variance).

Original Signature(s) : _____
(Petitioner(s) / Owner)

James J. Rafferty
(Print Name)

Address : 675 Massachusetts Avenue
Cambridge, MA 02139

Tel. No. : (617) 492-4100

E-Mail Address : jrafferty@adamsrafferty.com

Date : June 5, 2017

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The existing structure is experiences structural decline and a literal enforcement of the Ordinance would not allow for a similarly sized replacement.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The shape of the lot is significantly undersized in the area and is only 40 feet in width, thus making it difficult to construct a conforming structure.

C) ***DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:***

1) Substantial detriment to the public good for the following reasons:

The Half Crown-Marsh Neighborhood Conservation District issued a Certificate of Appropriateness for the demolition of the existing structure and consturction of the proposed replacement.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The proposed two family dwelling will satisfy the front, rear and right side setback requirements and the open space requirement. In addition, the lot area per dwelling unit ratio and left side setbacks will be brought into greater conformity with the requirements of the Residence B Zoning District.

* **If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 137 Mt Auburn St Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

As provided for Section 6.35.1 of the Zoning Ordinance, the continuation of a single parking space at this location to accomodate a two family house will not cause excessive congestion or endanger public safety.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

Existing traffic patterns will be unchanged since the parking will be accessed by the existing driveway.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

Few of the surrounding residential uses provide off street parking.

D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

A single parking space has existing at this location for decades.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The property's proximity to Harvard Square and the Red Line means that residents are unlikely to use a motor vehicle at this location.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: [redacted] Bade Berg 11 LLC **PRESENT USE/OCCUPANCY:** multi-family

LOCATION: 137 Mt Auburn St Cambridge, MA **ZONE:** Residence B Zone

PHONE: **REQUESTED USE/OCCUPANCY:** two family

		EXISTING CONDITIONS	REQUESTED CONDITIONS	ORDINANCE REQUIREMENTS [1]	
TOTAL GROSS FLOOR AREA:		2201	2472	1520	(max.)
LOT AREA:		3040	no change	5000	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: [2]		.73	.81	.5	(max.)
LOT AREA FOR EACH DWELLING UNIT:		1013	1520	2500	(min.)
SIZE OF LOT:	WIDTH	40'	no change	50'	(min.)
	DEPTH	76'	no change	N/A	
SETBACKS IN FEET:	FRONT	3'10"	10'	10'*	(min.)
	REAR	23'10"	25'	25'	(min.)
	LEFT SIDE	2'8"	3'	7'6" (sum 12')	(min.)
	RIGHT SIDE	6' 11"	12'	7'6" (sum 12"	(min.)
SIZE OF BLDG.:	HEIGHT	~27'	35'	35'	(max.)
	LENGTH	48'	41'	N/A	
	WIDTH	30'	25'	N/A	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		29	33	40	(min.)
NO. OF DWELLING UNITS:		3	2	2	(max.)
NO. OF PARKING SPACES:		1	no change	2	(min./max)
NO. OF LOADING AREAS:		N/A	N/A	N/A	(min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:		N/A	N/A	N/A	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

* per adjacent lots (5.31.3.b)

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

OWNERSHIP INFORMATION FOR BOARD OF ZONING APPEAL RECORD

To be completed by OWNER, signed and returned to Secretary of Board of Appeal

Baile Beag 11, LLC
(Owner or Petitioner)

Address: c/o James J. Rafferty 675 Massachusetts Avenue, Cambridge MA 02139

Location of Premises: 137 Mount Auburn Street

the record title standing in the name of Baile Beag 11, LLC

whose address is 50 Church Street, Cambridge MA
(Street) (City or Town) (State & Zip Code)

by a deed duly recorded in the Middlesex South County Registry of Deeds in

Book 59396 Page 20 or _____ Registry

District of Land Court Certificate No. _____ Book _____ Page _____

(SOC Signatory)

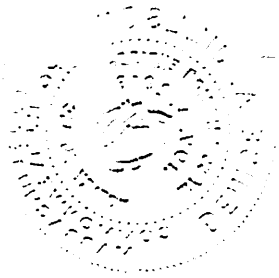
==========

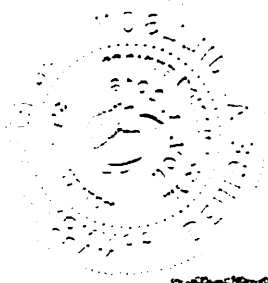
On this 4th day of October, 2016, before me, the undersigned notary public, personally appeared Anne DiGiovanni proved to me through satisfactory evidence of identification, which were drivers license, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.

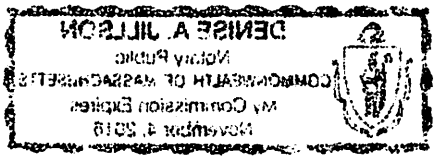
Denise A. Jillson
Notary Public

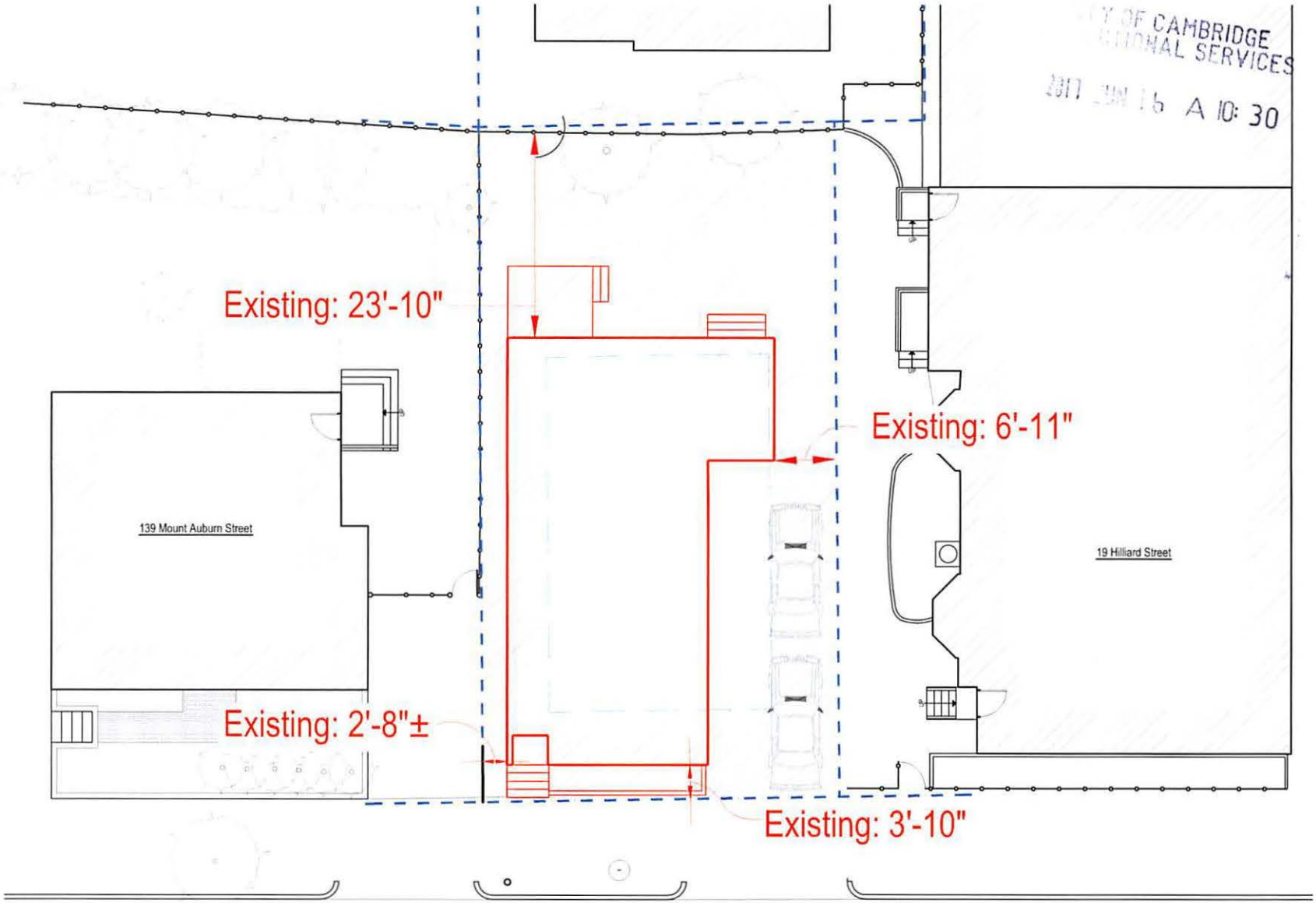
My commission expires: Nov. 4, 2016

DENISE A. JILLSON
Notary Public
COMMONWEALTH OF MASSACHUSETTS
My Commission Expires
November 4, 2016






DENISE A. JULESON
Notary Public
COMMONWEALTH OF MASSACHUSETTS
My Commission Expires
November 4, 2016

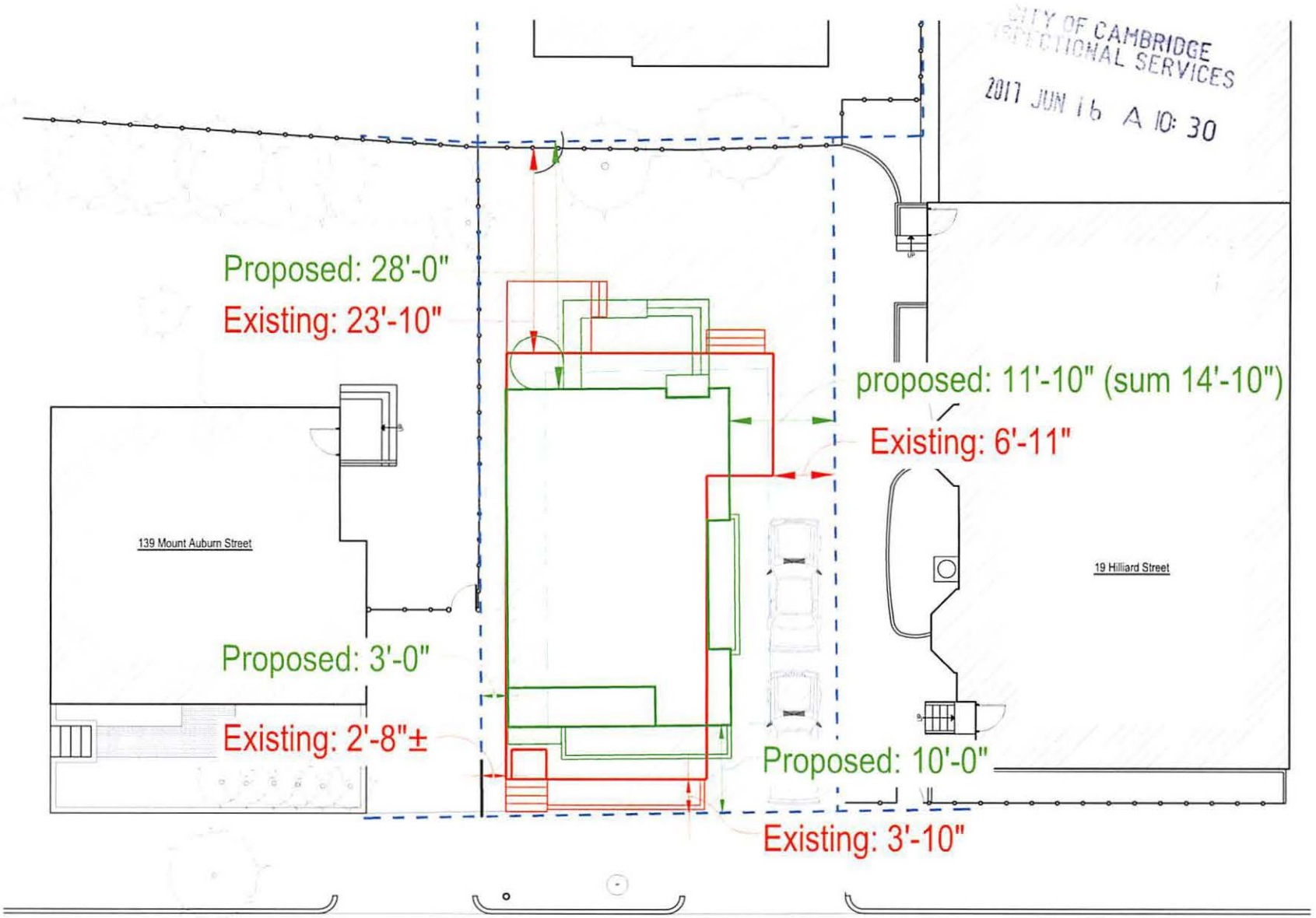


CITY OF CAMBRIDGE
CITIZENS SERVICES
2017 JUN 16 A 10: 30

TGAS

Setbacks - Existing Building

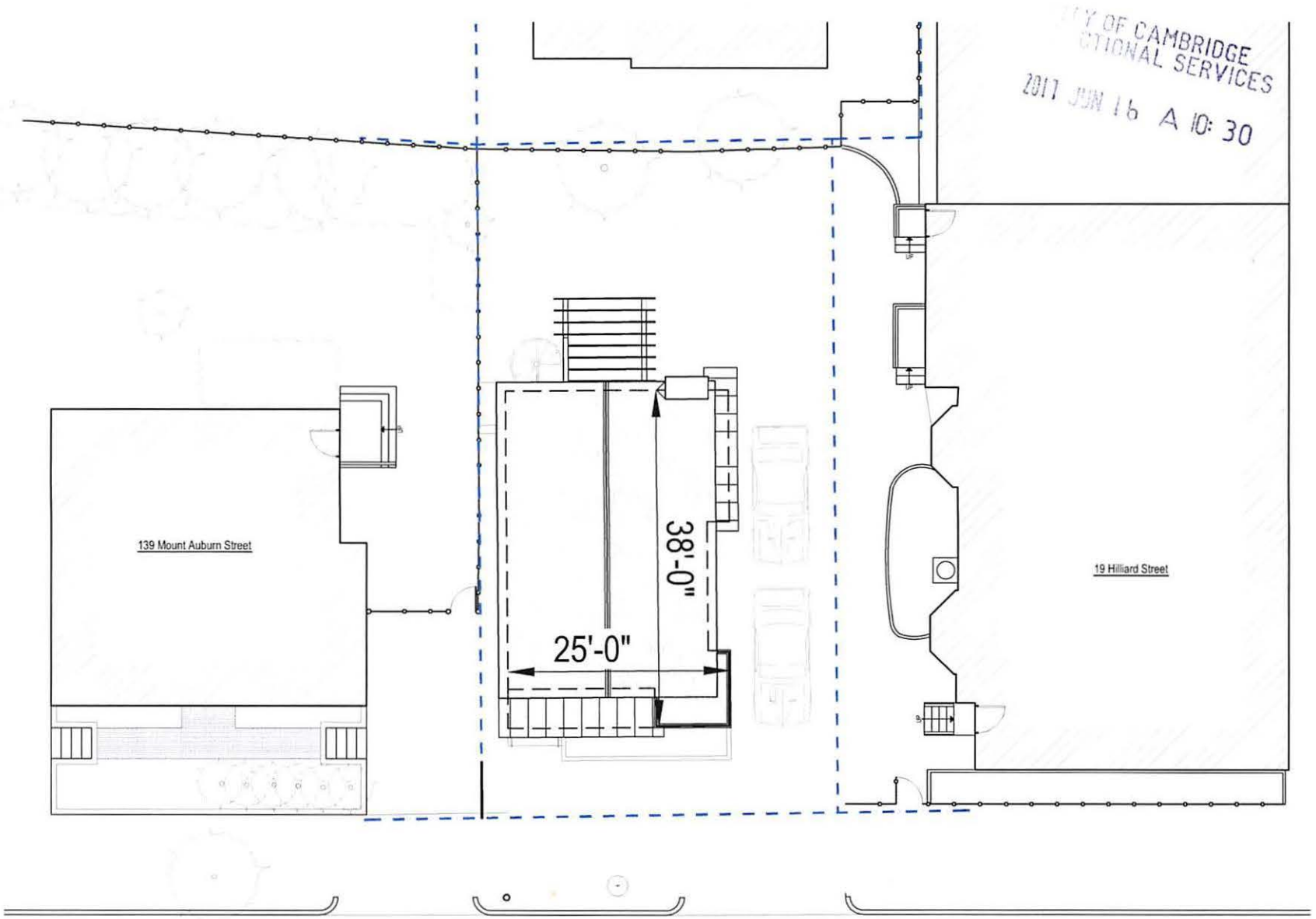
137 Mount Auburn St
Cambridge, MA 02138



TGAS

Setbacks - Existing : Proposed

137 Mount Auburn St
Cambridge, MA 02138



CITY OF CAMBRIDGE
OPERATIONAL SERVICES
2017 JUN 16 A 10:30

TGAS

Proposed Site Plan

137 Mount Auburn St
Cambridge, MA 02138

CITY OF CAMBRIDGE
NATIONAL SERVICES
2017 JUN 16 A 10: 30

TGAS

Existing Building Photos

137 Mount Auburn St
Cambridge, MA 02138

CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Floor, Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

Bruce A. Irving, *Chair*, Charles M. Sullivan, *Executive Director*
William G. Barry, Jr., Robert G. Crocker, Chandra Harrington, William B. King, Jo M. Solet, Susannah Barton Tobin, *Members;* Joseph V. Ferrara, Kyle Sheffield, *Alternates*

Jurisdiction Advice

To the Owner of Property at 137 Mt. Auburn Street

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

__ Old Cambridge Historic District
__ Fort Washington Historic District
(M.G.L. Ch. 40C, City Code §2.78.050)
__ Avon Hill Neighborhood Conservation District
_X_ Half Crown – Marsh Neighborhood Conservation District
Approved by the HCMNCD Commission. See certificate of appropriateness dated Oct. 19, 2016. Requires extension of certificate from the commission's chair.
__ Harvard Square Conservation District
__ Mid Cambridge Neighborhood Conservation District
__ Designated Landmark
__ Property is being studied for designation: _____
(City Code, Ch. 2.78., Article III, and various City Council Orders)
__ Preservation Restriction or Easement (as recorded)
__ Structure is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). **See the back of this page for definition of demolition.**
__ No jurisdiction: not a designated historic property and the structure is less than fifty years old.
__ No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SLB Date June 12, 2017

Received by Uploaded to Energov Date June 12, 2017
Relationship to project BZA 13489-2017

cc: Applicant
Inspectional Services Commissioner

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission
831 Massachusetts Ave., 2nd Fl.
Cambridge, MA 02139
Ph: 617/349-4683 or TTY: 617/349-6112
http://www.cambridgema.gov/Historic

Half Crown-Marsh Neighborhood Conservation District Commission

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112
E-mail: histncds@cambridgema.gov

James Van Sickle, *Chair*, Judith Dortz, *Vice Chair*
Marie-Pierre Dillenseger, William King, Deborah Masterson, Peter Schur, Charles Smith, *Members*
Adrian Catalano, *Alternate*

CERTIFICATE OF APPROPRIATENESS

PROPERTY: **137 Mount Auburn Street**

OWNER: **Baile Beag 11, LLC**
50 Church St
Cambridge, MA 02138

The Half Crown-Marsh Neighborhood Conservation District Commission hereby certifies, pursuant to Title 2, Chapter 2.78, Article III, Section 2.78.140-270 of the Code of the City of Cambridge and the City Council order establishing the Commission, that the construction described below is not incongruous to the historic aspects or architectural character of the building or district:

> **Demolish existing structure and construct a new 35 foot tall, two-family dwelling on the property with a driveway for parking behind the front plane of the structure.**

The proposal was approved with the recommendations: the applicant shall change the roofing material to a historically appropriate roofing material, use masonry for the chimney, and submit final plans to staff for review with the architect member of the Commission.

The plans and specifications referenced above are incorporated into this certificate, which is binding on the applicant and all improvements shall be carried out as described therein.

This certificate is granted upon the condition that the work authorized is commenced within six months after the date of issuance. If the work authorized by this certificate is not commenced within six months after the date of issuance, or if such work is suspended in significant part for a period of one year after the time the work is commenced, this certificate shall expire and be of no further effect; provided that, for cause, one extension not exceeding six months may be allowed in writing by the Chairman.

Case Number: **HCM-349** Date of Certificate: **October 19, 2016**

Attest: A true and correct copy of decision filed with the office of the City Clerk and the Half Crown-Marsh Neighborhood Conservation District Commission on October 19, 2016 By

James Van Sickle, Chair

Twenty days have elapsed since the filing of this decision.
No appeal has been filed _____. Appeal has been filed _____.
Date _____, City Clerk.

137 Mount Auburn Street
Cambridge, MA 02138

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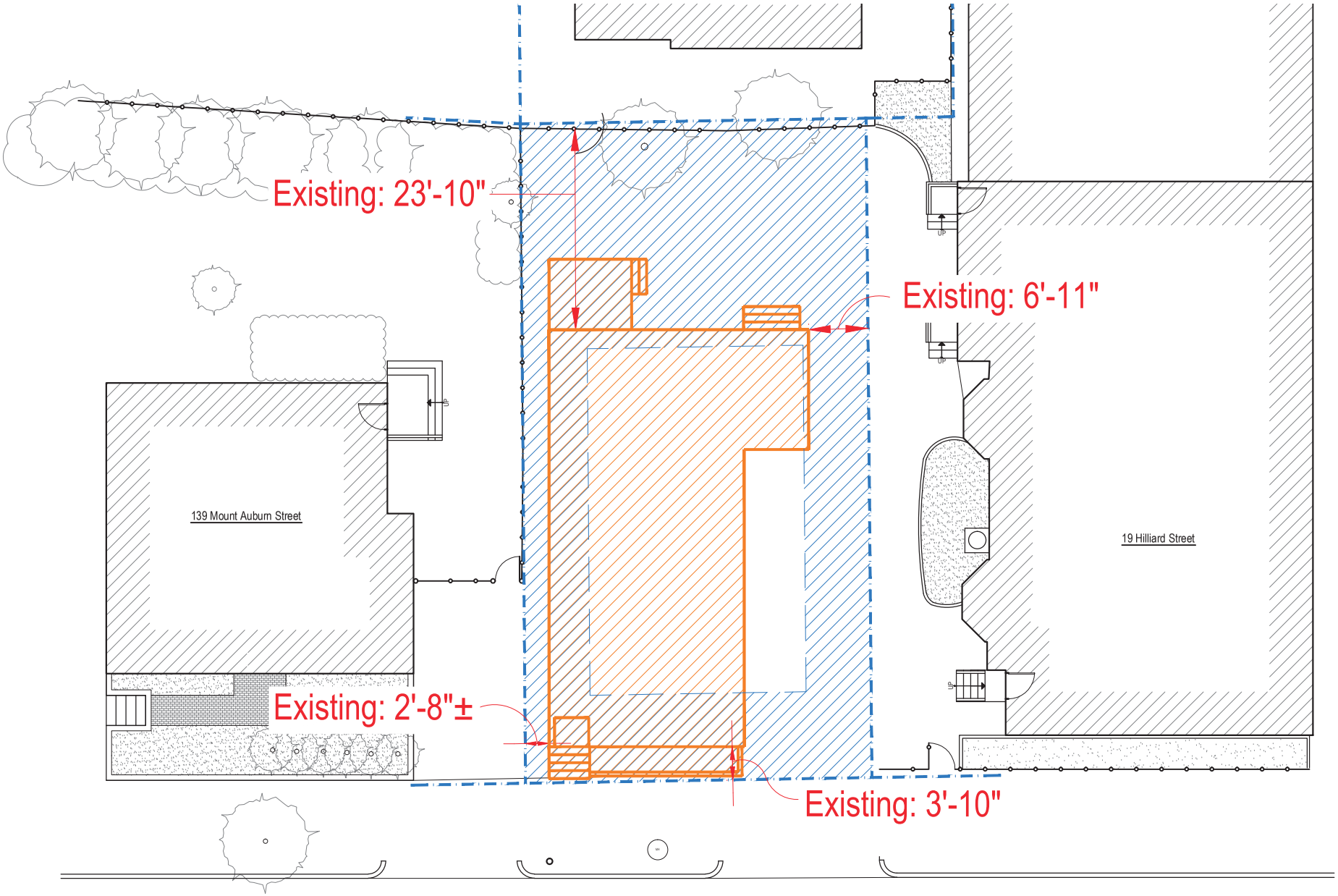
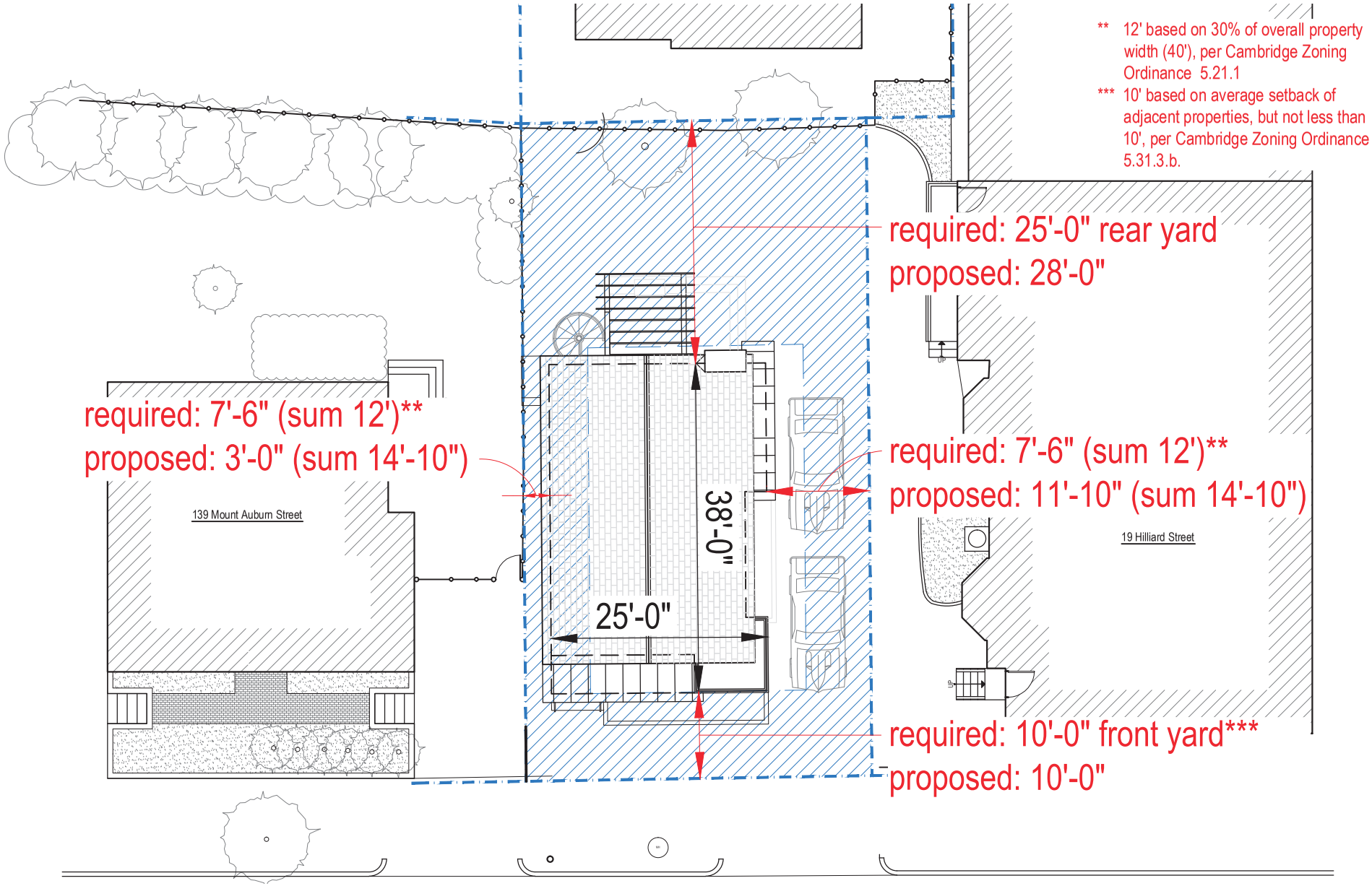


TGAS

Setbacks - Existing Building

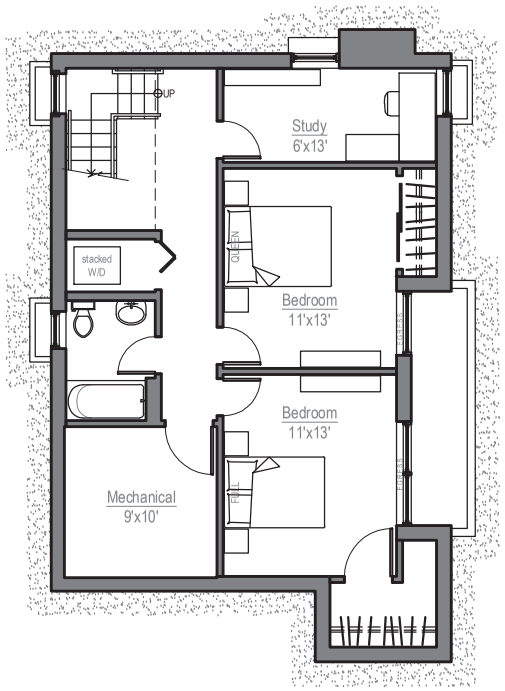
137 Mount Auburn St
Cambridge, MA 02138

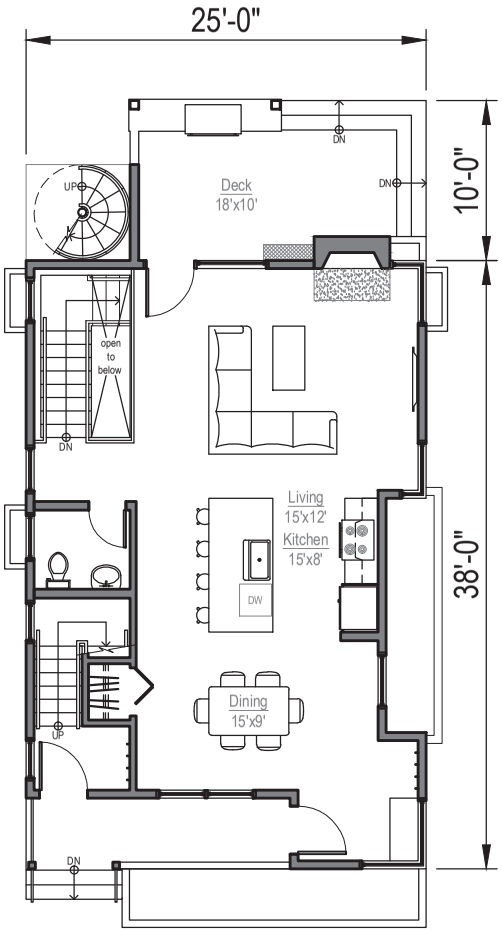


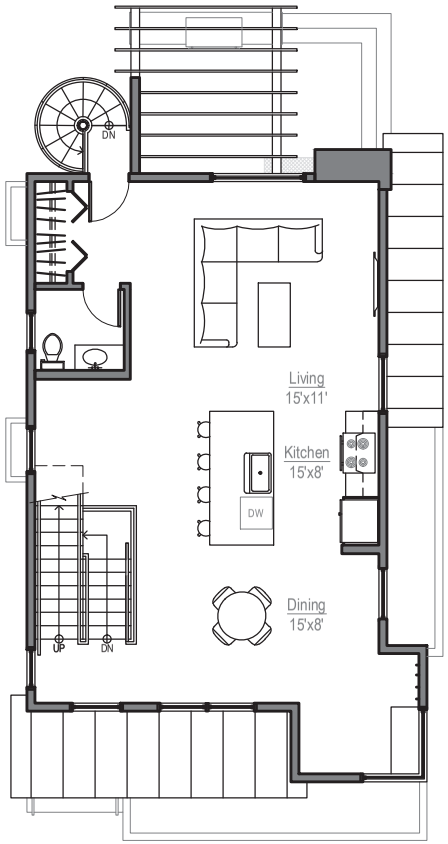
TGAS

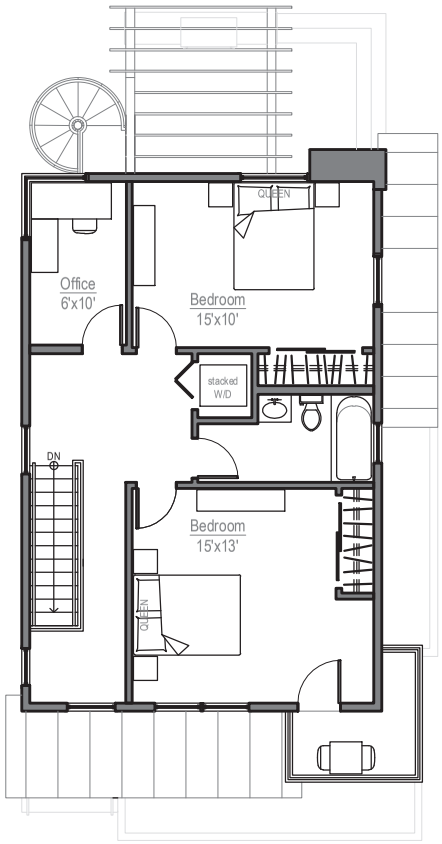
Proposed Site Plan

137 Mount Auburn St
Cambridge, MA 02138









Basement: 840 SF

1st Floor: 913 SF

2nd Floor: 803 SF

3rd Floor: 756 SF

0 2' 4' 8'

TGAS

Proposed Building Floor Plans

137 Mount Auburn St
Cambridge, MA 02138

TGAS

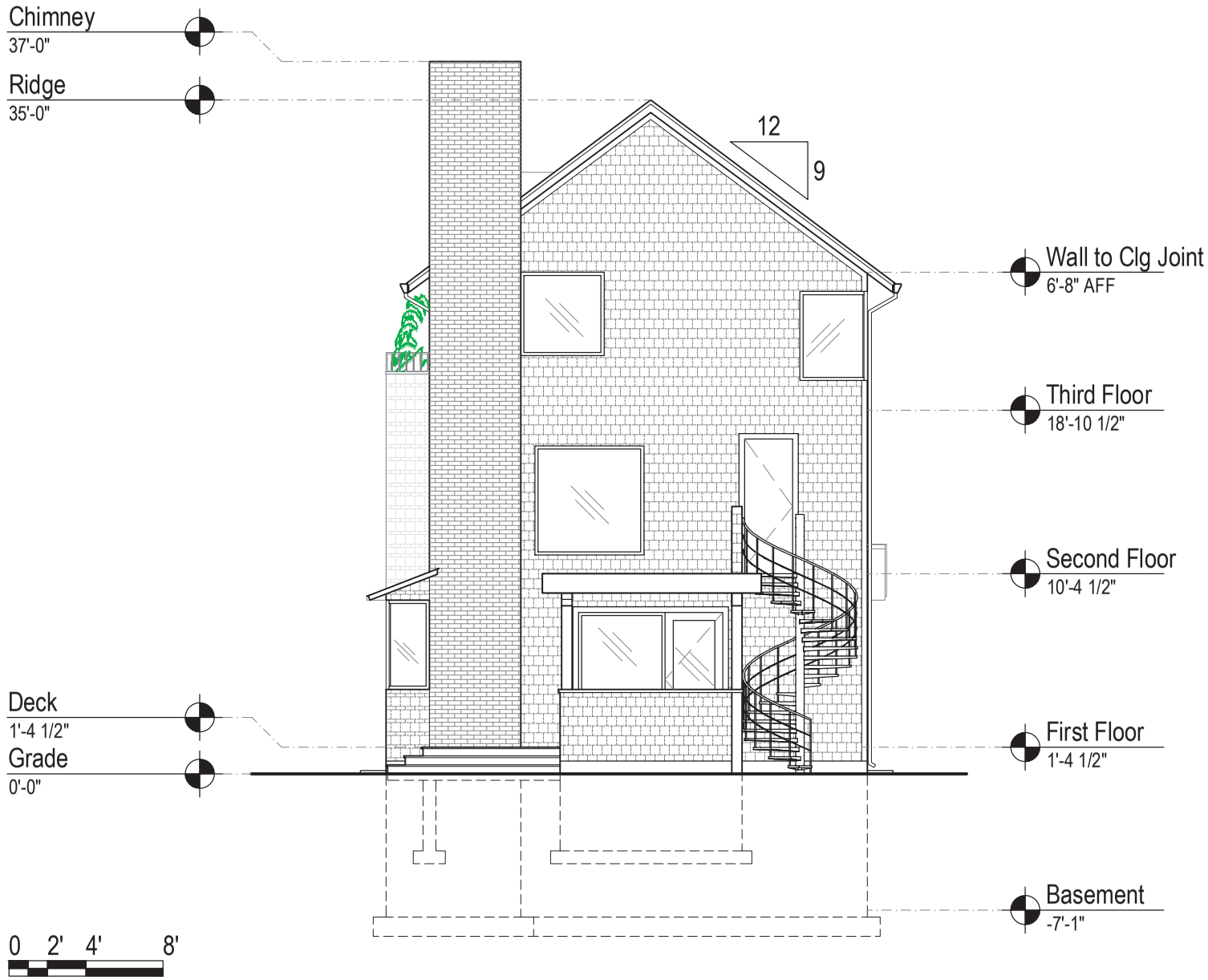
Proposed Building
South Elevation

137 Mount Auburn St
Cambridge, MA 02138

TGAS

Proposed Building
East Elevation

137 Mount Auburn St
Cambridge, MA 02138



TGAS

Proposed Building
North Elevation

137 Mount Auburn St
Cambridge, MA 02138

TGAS

Proposed Building
West Elevation

137 Mount Auburn St
Cambridge, MA 02138

TGAS

Proposed Building Street Frontage

137 Mount Auburn St
Cambridge, MA 02138

TGAS

Proposed Building

137 Mount Auburn St
Cambridge, MA 02138

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Proposed Building

137 Mount Auburn St
Cambridge, MA 02138

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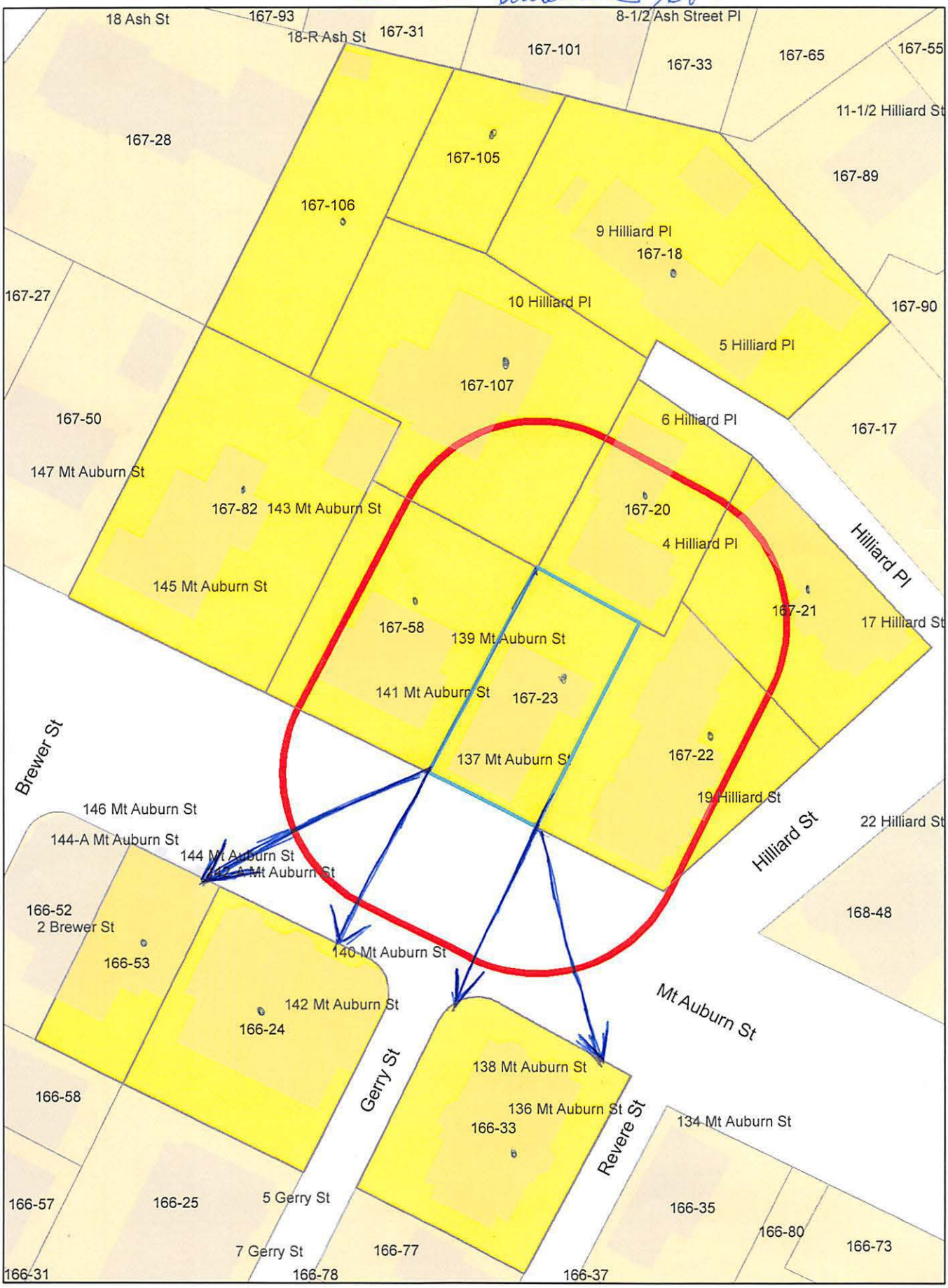
Proposed Building

137 Mount Auburn St
Cambridge, MA 02138

137 Mt. Auburn St.



137 Mt. Auburn St.

Petitioner

166-24
PRESIDENT & FELLOWS OF HARVARD COLLEGE
C/O HARVARD REAL ESTATE, INC.
HOLYOKE CENTER - RM. 1000
1350 MASSACHUSETTS AVE.
CAMBRIDGE, MA 02138

166-33
LOREDA LLC,
138 MT AUBURN ST
CAMBRIDGE, MA 02138

JAMES J. RAFFERTY, ESQ.
675 MASS AVENUE
CAMBRIDGE, MA 0239

167-18
BLACK, LINDA CABOT & AMY B. NAUGHTON
TRS OF HILLIARD PLACE NOMINEE TRUST
5 HILLIARD PL
CAMBRIDGE, MA 02138

167-20
STRAUS, ROBERT B.
22 BERKELY ST
CAMBRIDGE, MA 02138

167-21
SCHUR, PETER & JEAN FECHHEIMER
TRUSTEE OF HILLIARD STREET REALTY TR.
17 HILLIARD ST
CAMBRIDGE, MA 02138

167-22
DIGIOVANNI, JOHN P & ANNE E. DIGIOVANNI
19 HILLIARD ST
CAMBRIDGE, MA 02138

167-23
BAILE BEAG 11, LLC
50 CHURCH ST
CAMBRIDGE, MA 02138

167-58
MT AUBURN 139-141 LLC
C/O TRINITY PROPERTY MANAGEMENT
50 CHURCH ST. 5TH FLOOR
P.O. BOX 380212
CAMBRIDGE, MA 02238

167-82
WILSON, ELLEN F.,
TR. OF THE 143-145 MOUNT AUBURN ST REALTY TRST
145 MT AUBURN ST
CAMBRIDGE, MA 02138

167-105
AMPHLETT, GODFREY W. & JANET AMPHLETT
8 1/2 ASH ST PL
CAMBRIDGE, MA 02138

167-106
BODMAN, TAYLOR S.
18 ASH ST
CAMBRIDGE, MA 02138

167-107
ZAGOROFF, ELIZABETH GOODFELLOW
10 HILLIARD PL
CAMBRIDGE, MA 02138

166-53
BURKE, EDWARD,
TR. THE 144 MOUNT AUBURN ST REALTY TRUST
324 QUINCY ST.
BROCKTON, MA 02302