



CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

BZA APPLICATION FORM

Plan No: BZA-017160-2019

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ Variance : ✓ Appeal : _____

PETITIONER : 747 Cambridge St, LLC - C/O Ed Doherty, Kems Holding Corporation

PETITIONER'S ADDRESS : 200 Broadway, Suite 103 Lynnfield, MA 01940

LOCATION OF PROPERTY : 747 Cambridge St Cambridge, MA 02141

TYPE OF OCCUPANCY : YES (Mixed Use) ZONING DISTRICT : Business A Zone & Residence C-1 Zone

REASON FOR PETITION :

New Structure

DESCRIPTION OF PETITIONER'S PROPOSAL :

New mixed use bldg with improved ground floor space for the existing polish club, 9 residential units & 9 parking spaces, in an appropriately designed building with related improvements in site design, open space, and pedestrian access. The proposed project also includes 9 covered bike spaces & proposes a voluntary income restricted dwelling unit as part of the developer's request for zoning relief.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000	Section 5.27.2 (Floor Area Ratio).
Article 5.000	Section 5.24 (Front & Side Yard Setback).
Article 6.000	Section 6.34 (Parking Space Size Allocation).
Article 6.000	Section 6.35.1 (Reduction of Required Parking).
Article 5.000	Section 5.31 (Table of Dimensional Requirements).

Original Signature(s) :

(Petitioner(s) / Owner)

Ed Doherty

(Print Name)

Address :

747 Cambridge Street, LLC c/o Kems Holding Corporation

200 Broadway, Suite 103 Lynnfield, MA 01940

Tel. No. :

(978)-360-9558

E-Mail Address :

edoherty@kemscorp.com

Date :

8-21-19

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Polish-American Citizens' Association of Cambridge, Inc.
(OWNER)

Address: 747 Cambridge Street, Cambridge, MA 02141

State that I/We own the property located at 747 Cambridge Street,
which is the subject of this zoning application.

The record title of this property is in the name of _____
Polish-American Citizens' Association of Cambridge, Inc.

*Pursuant to a deed of duly recorded in the date August 24, 1956, Middlesex South
County Registry of Deeds at Book 08798, Page 1; or
and 7445 163
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.


SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of MIDDLESEX

The above-name TAMMY L. DARLING personally appeared before me,
this 19 of JUNE, 2019, and made oath that the above statement is true.

MDL 568671596

Robert Sweeney

My commission expires 1-24-2025 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, deed, or inheritance, please include documentation.



BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.


I/We Polish-American Citizens' Association of Cambridge, Inc.
(OWNER)

Address: 747 Cambridge Street, Cambridge, MA 02141

State that I/We own the property located at 747 Cambridge Street,
which is the subject of this zoning application.

The record title of this property is in the name of _____
Polish-American Citizens' Association of Cambridge, Inc.

*Pursuant to a deed of duly recorded in the date August 24, 1956, Middlesex South
County Registry of Deeds at Book 08798, Page 1; or
and 7445 163
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

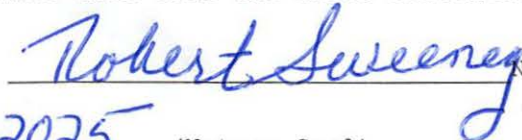

SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of MIDDLESEX

The above-name VICTOR RESENDES personally appeared before me,
this 19 of June, 2019, and made oath that the above statement is true.

PASSPORT
560169031


Notary

My commission expires 1-24-2025 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, deed, or inheritance, please include documentation.



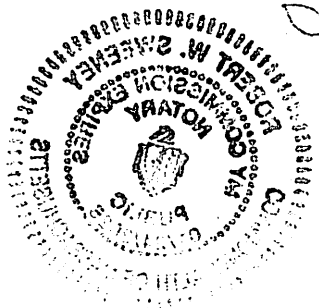
X9330714

ESTABLISHED 1913

14th St. N.W.

Washington, D.C.

1-24-2020



**BZA APPLICATION FORM
SUPPORTING STATEMENT FOR A VARIANCE**

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the provisions of the Ordinance would involve a substantial financial and architectural hardship to the Appellant. Underutilized for many years as a single-story citizens club in a squat, unappealing brick building, the property site is ideal for infill improvement and revitalization, and for certain enhancements of pedestrian connectivity to the nearby, vibrant business districts and public transportation nodes. In response to the existing conditions, the proposal has been carefully designed and planned as a transit and pedestrian focused development with upgraded connectivity and walkability.

The site itself is located within two zoning districts: the front 100 feet is located in the BA Zone (Business A) and the rear 24 feet is located in the C-1 Zone (Residence C-1); as such, the proposed use as a multifamily residential dwelling is Allowed in both zones. The Business A Zone also Allows the proposed project's renovated Polish-American Citizens' Association of Cambridge, Inc. (the "Polish Club") space as a "club, lodge or other fraternal or sororal meeting facility." Please note, the club use is not situated within the 1,200 square feet of the Project Site located in the C-1 Zone and therefore its use provisions are not applicable.

If the property site was located entirely within the BA Zone, then Section 5.28-1 Dwellings in Non-Residential Districts would be applicable. A dwelling in a Business A district is subject to the same dimensional requirements and other restrictions as a dwelling in a Residence C-2B district. Therefore, the maximum Floor Area Ratio ("FAR") would be increased to 1.75 and the project's proposed FAR of 1.84 would be only a slight deviation from the allowed maximum. This, coupled with the proposed new space for the Polish Club, provides the proponent's rationale for requiring an FAR variance from the Ordinance combined maximum of 1.375. The proponent is proposing to maintain the Polish Club use, an existing long-time use in the community as a fraternal organization, which causes certain difficulties in siting and sizing of the building development in order to provide adequate usable space and proper circulation. The proposed project allows for nine (9) new two-bedroom, two-bathroom units as development without displacement by providing new, modernized space for the Polish Club use.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The substantial hardship is due to the unique location of the property site, which is located on the corner of Cambridge Street and Marion Street in the City's Wellington-Harrington neighborhood. Situated on an approximately 6,200 square foot lot, the existing building is a single story brick building which covers a majority of the Site and is located in two zoning

districts: the front 100 feet is located in the BA Zone (Business A) and the rear 24 feet is located in the C-1 Zone (Residence C-1). This irregularity has caused issues with siting the building in an appropriate manner on the property site without violating the setback requirements. The property location on the corner (as further illustrated in the project drawings and at the Board hearing) presents a practical difficulty in locating the structure of the Allowed Multifamily Residential Use, for the purpose of providing additional quality housing in the neighborhood, and the set-backs required are mitigated by the property site's location and shape, unlike many other nearby properties.

Additionally, the existing building currently encroaches onto the sidewalk at numerous points and the proposed project would greatly improve this existing condition by providing enhancements of pedestrian connectivity as it is carefully designed and planned as a transit and pedestrian focused development with upgraded connectivity and walkability.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

1) Substantial detriment to the public good for the following reasons:

There will be no substantial detriment to the public good as the proposed project has been thoroughly processed with the community and the Appellant's proposed development will result in the much-needed revitalization of an under-utilized, irregularly shaped and unique property site with a new, Allowed Multifamily Residential Use, while also preserving the long-existing Polish Club Use, in a manner which is consistent with, and complementary to, the immediate and surrounding neighborhood. In this regard, the proposed project provides development without displacement by adding nine (9) new residential units while maintaining the Polish Club Use and providing for its long-term economic viability and stability within the community. As part of the proposed mitigation package for the project, and in order to further provide for the public good, the Appellant also proposes to voluntarily provide one (1) of these nine (9) units as affordable housing in conjunction with the City's inclusionary development housing policies.

In furtherance of this particular finding, the Appellant held its own informal abutter meeting on April 22, 2019, at the property site and also presented the proposed project to the East Cambridge Business Association on May 14, 2019, at the Loyal Nine restaurant at 660 Cambridge Street. The Appellant submits that the requested relief is consistent with the character and concerns providing for the public good, as the Appellant has given special attention to the siting, scale, design, and scope of the new structure, open space and vehicular and pedestrian access and neighborhood safety. Additionally, the Ordinance identifies the applicable Residence C-1 Zone as designated for "multifamily dwellings" and the Business A Zone as designated for "local and drive in retail business, offices and multifamily dwellings," which the proposed development contemplates as described within this application.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Relief may be granted without nullifying or substantially derogating from the intent or purpose of the Ordinance in regards to the Appellant's project because its proposed uses are Allowed under the Ordinance and the project's required dimensional relief is mitigated by its location in two (2) different zoning districts despite being only a 6,200 total square foot property. Additionally, as detailed above, if the site was located entirely within the BA Zone, then the maximum FAR would be 1.75 and the project's proposed FAR of 1.84 would be only a slight deviation from the allowed maximum, mostly in order to provide the proposed new space for the Polish Club. The project's required relief for Front Yard Setback and Side Yard Setback are also di minimus in nature as the existing building currently encroaches onto the sidewalk at numerous points and the proposed project would improve this existing condition. The proposed right Side Yard Setback is 15'8", in excess of the required 10'8.5" right Side Yard Setback calculation, while the Front Yard Setbacks at both Cambridge Street and Marion Street (as it is a corner lot) are mitigated by the fact that these setbacks are consistent with the existing street line conformity on a busy commercial street with no material impact on any direct abutters.

Finally, while the proposed project does require zoning relief for both the parking space size allocation and the parking amount, it does provide a one-to-one parking ratio for the residential units and the existing condition for the Polish Club does not provide any on-site parking allotment for patrons. As further mitigation of the on-site parking programming deficiency caused primarily by the lack of parking for the Polish Club Use, the property is located an easy walk directly down Cambridge Street at approximately 0.6 miles from the Lechmere MBTA Green Line Station and MBTA Bus Station providing access to downtown Boston and beyond via the B, C, D, and E train lines and the 69, 80, 87 and 88 buses. It is also located directly across the street from a large public parking lot at the corner of Marion Street and Macarelli Way which provides over 30 public parking spaces available for use by visitors and Polish Club patrons. Lastly, the proposed project provides 10 long term bicycle parking locker spaces and two (2) short term spaces in compliance with the Ordinance.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: 747 Cambridge Street, LLC **PRESENT USE/OCCUPANCY:** Fraternal Organization

LOCATION: 747 Cambridge Street **ZONE:** Front 100 Feet BA; Rear 24 Feet C-1

PHONE: (978) 360-9558 **REQUESTED USE/OCCUPANCY:** Mixed-Use Residential/Commercial

		<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
<u>TOTAL GROSS FLOOR AREA:</u>		<u>4,080 SF</u>	<u>11,451 SF</u>	<u>8,525 SF</u> (max.)
<u>LOT AREA:</u>		<u>6,200 SF</u>	<u>6,200 SF</u>	<u>5,000 SF</u> (min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:²</u>		<u>0.66</u>	<u>1.84</u>	<u>1.375 (combined)</u> (max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>		<u>N/A</u>	<u>9 D/U</u>	<u>9.1 D/U</u> (min.)
<u>SIZE OF LOT:</u>	<u>WIDTH</u>	<u>50'</u>	<u>50'</u>	<u>50'</u> (min.)
	<u>DEPTH</u>	<u>124'</u>	<u>124'</u>	<u>N/A</u>
<u>Setbacks in Feet:</u>	<u>FRONT</u>	<u>1.7' OVER (MARION) 1.3' OVER (CAMBRIDGE)</u>	<u>MARION: 0' CAMBRIDGE: 0' @ BA, 4.5' @ R</u>	<u>0' FOR BA / 10' FOR R</u> (min.)
	<u>REAR</u>	<u>N/A Corner Lot</u>	<u>N/A Corner Lot</u>	<u>N/A Corner Lot</u> (min.)
	<u>LEFT SIDE</u>	<u>2.7'</u>	<u>10' @ FRONT MASSING 3.5' @ REAR MASSING</u>	<u>11.7' @ FRONT MASSING 11' @ REAR MASSING</u> (min.)
	<u>RIGHT SIDE</u>	<u>39.6'</u>	<u>15'</u>	<u>10.71'</u> (min.)
<u>SIZE OF BLDG.:</u>	<u>HEIGHT</u>	<u>12'</u>	<u>35'</u>	<u>45'</u> (max.)
	<u>LENGTH</u>	<u>85.7'</u>	<u>109'</u>	<u>N/A</u>
	<u>WIDTH</u>	<u>48.2'</u>	<u>VARIES 46.5'-49.5'</u>	<u>N/A</u>
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:³</u>		<u>32%</u>	<u>19.7%</u>	<u>14% combined</u> (min.)
<u>NO. OF DWELLING UNITS:</u>		<u>0</u>	<u>9</u>	<u>9.1</u> (max.)
<u>NO. OF PARKING SPACES:</u>		<u>0</u>	<u>9</u>	<u>27</u> (min./max)
<u>NO. OF LOADING AREAS:</u>		<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>		<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

WOOD FRAME CONSTRUCTION. THE GROUND FLOOR OF THE FRONT MASSING (ALONG CAMBRIDGE STREET) WILL BE COMMERCIAL USE FOR THE POLISH CLUB.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM**DIMENSIONAL INFORMATION**

APPLICANT: Khalsa Design, Inc **PRESENT USE/OCCUPANCY:** Frat-Organization
LOCATION: 747 Cambridge St Cambridge, MA 02141 **ZONE:** Business A Zone & Residence
PHONE: _____ **REQUESTED USE/OCCUPANCY:** Mixed-Residential/Frat-Organizat.

		<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> ¹	
<u>TOTAL GROSS FLOOR AREA:</u>		4080	11451	8525	(max.)
<u>LOT AREA:</u>		6200	6200	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²		.66	1.84	1.375	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>		n/a	9 Du	9.1 DU	(min.)
<u>SIZE OF LOT:</u>	WIDTH	50	50	50	(min.)
	DEPTH	124	124	n/a	
<u>SETBACKS IN FEET:</u>	FRONT	various/-1.3'Cam	Cambridge(4.5'	for BA / 10' for	(min.)
	REAR	n/a-Corner Lot	n/a-Corner Lot	n/a-Corner Lot	(min.)
	LEFT SIDE	2.7'	various/3.5'@ R	various / 11' @	(min.)
	RIGHT SIDE	39.6'	15'	10.7'	(min.)
<u>SIZE OF BLDG.:</u>	HEIGHT	12	35	45	(max.)
	LENGTH	85.7	109	n/a	
	WIDTH	48.2	varies 49.5-46.5'	n/a	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		32%	19.7%	14%	(min.)
<u>NO. OF DWELLING UNITS:</u>		0	9	9.1	(max.)
<u>NO. OF PARKING SPACES:</u>		0	9	27	(min./max)
<u>NO. OF LOADING AREAS:</u>		n/a	n/a	n/a	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>		n/a	n/a	n/a	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

Wood Frame construction. The ground floor of the front massing (along Cambridge St) will be commercial use for the Polish Club

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

August 29, 2019

To The Zoning Appeals Board,

Because of the new proposed construction at 747 Cambridge Street, Cambridge, the Polish Club. My business would be hurt because of the parking and traffic due to this oversized building development, with many new parking and traffic problems. My business is located at 766B Cambridge Street.

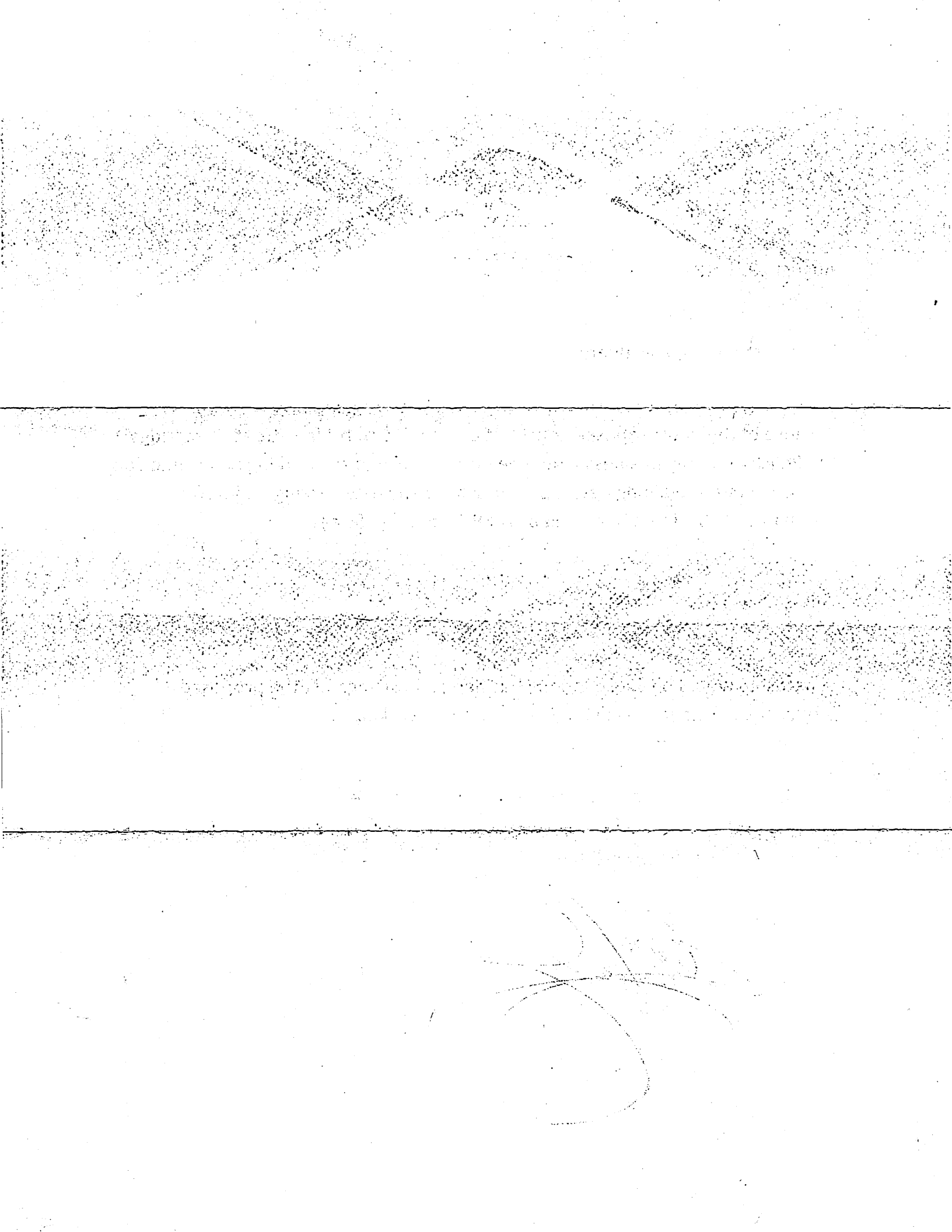
This is Case # BZA-017160 -2019

A hardship would be caused to my business, so I am against the proposed project. As it is now, my customers cannot find parking.

Also, I cannot attend this hearing because it is very late.

Thank you,

A handwritten signature in black ink, appearing to be "E. J. [unclear]", with a large, sweeping flourish underneath.



City of Cambridge
Board of Zoning Appeal
831 Mass. Ave.
Cambridge, MA 02139

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES
2019 AUG 28 P 3:24

August 23, 2019

Re: CASE # BZA-017160-2019

Dear Board Members,

I know that, is going to be a Public Hearing, on September 12, 2019 at 9:15PM at the Senior Center located at 806 Mass Ave.

Unfortunately, I will be out of town on that date and I will not be able to attend that meeting regarding the Case listed above.

As both an owner of 2 Businesses and building, located at 771-777 Cambridge St. I am totally opposed to the Case # BZA-017160-2019.

The size, scale and scope of this development located at 747 Cambridge ST. Polish Club is out of scale for our neighborhood. It will create more traffic and parking problems. It's very bad as is here on Cambridge Street, never mind with more apartments with very limited parking spaces.

I DO NOT support this development at all.

Thank you so much



Jose M. Azevedo

777 Cambridge St.

Cambridge, MA 02141

INSPECTION SERVICE
CITY OF CAMBRIDGE

2012 AUG 28 10 31 AM

August 29, 2019

Board of Zoning Appeal

831 Massachusetts Avenue

Cambridge, MA 02139

To The Cambridge Board of Zoning Appeals:

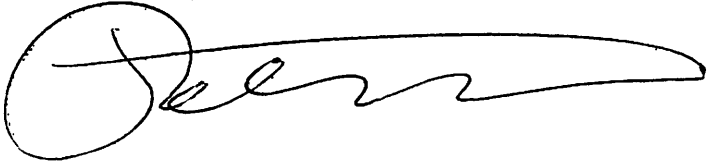
As the owner of the building and the operator of my business named Daly's, for many years located at 763-765 Cambridge Street. My building is located just 2 buildings over from the proposed development @ 747 Cambridge Street/Polish Club.

I oppose this development. CASE # BZA-017160-2019

Because I am out of town I will not attend this hearing.

The traffic and parking in this area is a mess. The development will only add more cars and traffic congestion to this neighborhood. As there is no place to park.

Sincerely,

A handwritten signature in black ink, consisting of a large, stylized 'D' followed by a series of loops and a long horizontal stroke.

110. 15. 1941

Long (A. R. S. A. 1941)

110. 15. 1941

110. 15. 1941

110. 15. 1941

110. 15. 1941

110. 15. 1941

110. 15. 1941

110. 15. 1941

110. 15. 1941

110. 15. 1941

Pacheco, Maria

From: Nicholas Zozula <nzozula@mqmllp.com>
Sent: Friday, September 6, 2019 9:25 AM
To: Pacheco, Maria
Cc: Joseph Hanley
Subject: 747 Cambridge BZA Signage

Good Morning Maria,

See below photos of the cleaned up BZA signage at 747 Cambridge Street (removing the handwritten "meeting postponed TBD" language on the front). This was cleaned up yesterday early evening as soon as possible by the appellant. We will continue to monitor to make sure it is not written on again.

One question that has arisen...once we continue the hearing on 9/12 and obtain a new hearing date in October, do we have to post a new sign with the new date?

Thank you,
Nick

Nicholas J. Zozula, Esq.
Senior Associate
McDermott, Quilty & Miller LLP
28 State Street, Suite 802
Boston, Massachusetts 02109
Telephone: (617) 946-4600 ext. 4440
Facsimile: (617) 946-4624





Cambridge Street Notice



Notice of Public Hearing

A Petitioner has been presented to the Board of Zoning Appeals on the following matter. If you wish to express your views in favor of or in opposition to the petition, you are invited to attend the public hearing or submit a written statement to the Board of Zoning Appeals, 795 Massachusetts Avenue, Cambridge, Mass. If you would like further information, please contact the Inspectional Services Department at 349-6100 or visit our website at www.cambridge-ma.gov/inspectional-services. Written comments may be submitted on or before the petition or submitted at any time or from time to time prior to 5:00 p.m. on the Monday before the public hearing, unless the Board allows further changes at the hearing.

Senior Center, 806 Massachusetts Avenue, First Floor, Cambridge, Massachusetts
THURSDAY, SEPTEMBER 13, 2018 at 10:00 a.m.

Please Note: If at the hearing the BZA Chairperson determines that a later date, you will not receive further notice. However, dates for continued hearings are posted on the notice board and the City Clerk's office to the public.

CASE NO. CASE: BZA-017-00-001
LOCATION: 747 CAMBRIDGE STREET
CAMBRIDGE, MA

PETITIONER: 747 CAMBRIDGE ST. LLC
D O ED DOHERTY, KEMIS HOLDING CORPORATION

ZONING DISTRICT: BUSINESS A ZONE & RESIDENCE C-1 ZONE

PETITION: Variance: New mixed-use building with improved ground floor space for the existing Polish Club, 9 residential units & 9 compact parking spaces.

Special Permit: Reduction of required parking.

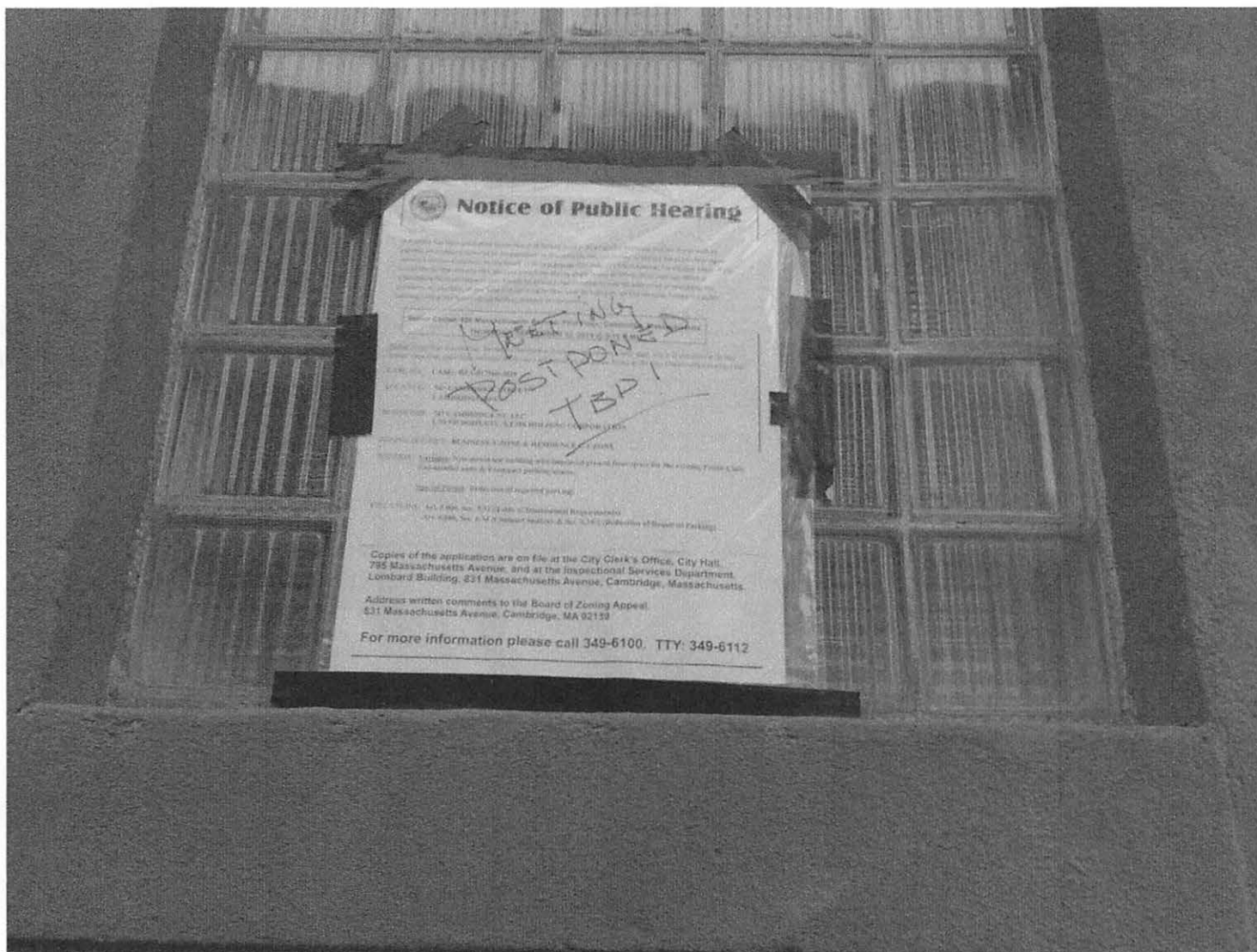
VIOLATIONS: Art. 5.000, Sec. 5.31 (Table of Dimensional Requirements),
Art. 6.000, Sec. 6.34 (Compact Spaces), & Sec. 6.35.1 (Reduction of Required Parking).

Copies of the application are on file at the City Clerk's Office, City Hall,
795 Massachusetts Avenue, and at the Inspectional Services Department,
Lombard Building, 831 Massachusetts Avenue, Cambridge, Massachusetts.

Address written comments to the Board of Zoning Appeal.
831 Massachusetts Avenue, Cambridge, MA 02139

For more information please call 349-6100. TTY: 349-6112

Marion Street Notice





City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2019 SEP -6 AM 10:50

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

RE: Case # BZA-017160-2019

Address: 747 Cambridge St.

☐ Owner, ☐ Petitioner, or ☒ Representative: Nicholas J. Zozula, Esq.
(Print Name)

Hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: 9/5/19

Nicholas J. Zozula
Signature

Dar Mahjar Inc. 600 Cambridge Street, Cambridge MA 02141 USA

City of Cambridge, Board of Zoning Appeal

831 Massachusetts Avenue

Cambridge, MA 02139

Case Number BZA-017160-2019

As a landlord and business owner of 600 & 602 Cambridge Street which is not too far from 747 Cambridge Street where the new proposal to build 9 residential unit is under appeal, I would like to register my objection to such proposal because of the hardship it will cause to both the nearby residents and business owners who already have very hard time finding parking.

I have been in this neighborhood for 26 years and I have seen how new developments have effected changes in its Character and created lack of parking.

I trust that the honorable members of the Board will do whatever they can to keep this neighborhood both livable and workable for all concerned.

Thank you and good luck to you all.

Fawzi Abdulrazak, President

Fawzi Abdulrazak
Dar Mahjar, Inc.

Sept. 6, 2019 ✓

THE UNIVERSITY OF CHICAGO

DEPARTMENT OF CHEMISTRY

PHYSICAL CHEMISTRY

PHYSICAL CHEMISTRY

PHYSICAL CHEMISTRY

PHYSICAL CHEMISTRY

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PHYSICAL CHEMISTRY

PHYSICAL CHEMISTRY

McDERMOTT
QUILTY &
MILLER LLP

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

2019 SEP -9 P 12:30

28 STATE STREET, SUITE 802
BOSTON, MA 02109

Via US Mail & Electronic Mail (mpacheco@cambridgema.gov)

September 5, 2019

Ranjit Singanayagam, Commissioner
c/o Maria Pacheco
City of Cambridge Inspectional Services Department
831 Massachusetts Avenue
Cambridge MA 02139

Re: 747 Cambridge Street – Case No. BZA-017160-2019
Continuance Request Letter


Dear Ms. Pacheco:

This office continues to represent Ed Doherty and 747 Cambridge St, LLC (the "Petitioner"), a Massachusetts limited liability company having an address of c/o Kems Holding Corporation, 200 Broadway, Suite 103, Lynnfield, MA 01940, and the Petitioner with regard to the above-referenced Board of Zoning Appeal ("BZA") Case No. BZA-017160-2019 (the "Project") currently pending at 747 Cambridge Street, Cambridge (the "Property").

The Petitioner presented the Project to the City of Cambridge Planning Board for a non-binding recommendation to the BZA on September 3, 2019, at which the Planning Board provided certain feedback and recommendations as to the Project. The Petitioner is currently further processing and reviewing these recommendations in order to potentially revise the Project plans and requires more time to do so in advance of its upcoming BZA Hearing currently scheduled for 9:15 PM on Thursday, September 12th. *As a result, the Petitioner hereby respectfully requests a continuance from this hearing date from the BZA with a request for a new continued hearing date of October 10th, 2019, if available.*

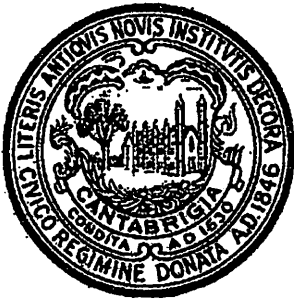
We appreciate your time and attention to this matter and look forward to working with you on the City's review and prospective approval of the Project. Please do not hesitate to contact me with any questions or for further information.

Sincerely,

By: 
Nicholas J. Zozula, Esq.

RECEIVED
JAN 10 1964

8089 P-100



CITY OF CAMBRIDGE, MASSACHUSETTS

PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

September 6, 2019

To: The Board of Zoning Appeal

From: The Planning Board

Re: BZA -017160-2019 – 747 Cambridge Street

The Planning Board reviewed the dimensional variance application for the development of a new mixed-use building with 9 units of housing and improved ground space for the existing club and a special permit to allow all 9 new parking space to be compact. The Planning Board does not support these requests and finds the proposal to be excessive on the site leading to a poor design, that is confusing, and too ambitious. The following specific concerns were discussed that the only stair access is not being weather-proofed for year-round use, the façade treatment proposed for the staircase resembles a cage and there are maneuverability issues in the garage.

September 11, 2019

Constantine Alexander
Chair of Board of Zoning Appeal
831 Massachusetts Avenue
Cambridge, MA 02139

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES
2019 SEP 11 A 11:32

Dear Honorable Members of the Board,

This letter is in regards to CASE # BZA-017160-2019

The 747 Cambridge Street Development/Project

My husband and I are the property owners, residing at and are the direct abutters to this development. We live at 757 Cambridge Street.

We understand that the developer is asking for a continuance from the original date of Thursday, September 12, 2019. They are requesting a new hearing date of October 10, 2019.

My husband and I respectively ask that the hearing date be moved later than this October 10, 2019 request. The time between now and October 10, 2019 is not adequate and sufficient, due to a number of issues and concerns.

The current plan required several Special Permits and Variances. As direct abutters our issues and concerns must be addressed. This project will forever change and impact the quality of life and fabric of the neighborhood.

What will the new plan design look like and require?

When will we and the other abutters see the new plan?

Will there be a public meeting to understand, ask questions, discuss and provide feedback about the plan?

In closing, we respectively ask that the date for the next Board of Zoning hearing for this project, be scheduled for a date later than October 2019. The additional time will allow for the neighbors and abutters to be involved in this major development.

We greatly appreciate your time and attention to this important matter.

Respectively,

Nancy DiLando

Lawrence Clinton

757 Cambridge Street, Cambridge

Handwritten signatures of Nancy DiLando and Lawrence Clinton in blue ink.



CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

BZA APPLICATION FORM

GENERAL INFORMATION

Plan No: BZA-017160-2019

2019 AUG -5 PM 3:39
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ Variance : ✓ Appeal : _____

PETITIONER : 747 Cambridge St, LLC - C/O Ed Doherty, Kems Holding Corporation

PETITIONER'S ADDRESS : 200 Broadway, Suite 103 Lynnfield, MA 01940

LOCATION OF PROPERTY : 747 Cambridge St Cambridge, MA 02141

TYPE OF OCCUPANCY : YES (Mixed Use) ZONING DISTRICT : Business A Zone & Residence C-1 Zone

REASON FOR PETITION :
New Structure

DESCRIPTION OF PETITIONER'S PROPOSAL :

New mixed use bldg with improved ground floor space for the existing polish club, 9 residential units & 9 parking spaces, in an appropriately designed building with related improvements in site design, open space, and pedestrian access. The proposed project also includes 9 covered bike spaces & proposes a voluntary income restricted dwelling unit as part of the developer's request for zoning relief.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000	Section 5.27.2 (Floor Area Ratio).
Article 5.000	Section 5.24 (Front & Side Yard Setback).
Article 6.000	Section 6.34 (Parking Space Size Allocation).
Article 6.000	Section 6.35.1 (Reduction of Required Parking).
Article 5.000	Section 5.31 (Table of Dimensional Requirements).

Original Signature(s) :

(Petitioner(s) / Owner)

Ed Doherty

(Print Name)

Address :

747 Cambridge Street, LLC c/o Kems Holding Corporation

200 Broadway, Suite 103 Lynnfield, MA 01940

Tel. No. :

(978)-360-9558

E-Mail Address :

edoherty@kemscorp.com

Date :

8-21-19

Pacheco, Maria

From: Danielle Harrington <dharrington@askcip.com>
Sent: Wednesday, September 11, 2019 3:58 PM
To: Pacheco, Maria
Subject: Case #BZA-017160-2019
Attachments: McSweeney letter Cambridge Case # BZA-017160-2019.pdf

Dear Ms. Pacheco,
Attached please find a letter of opposition to the above referenced case.
I am forwarding this letter on behalf of James J. McSweeney, owner of property located at 799-801 Cambridge Street.
Please confirm receipt.
Thank you,
Danielle

Danielle Harrington
Office Administrator
CIP Group | Comprehensive Insurance Providers, Inc.
799 Cambridge Street
Cambridge, MA 02141
p. 617.354.0866 ext. 13
f. 617.354.1137
www.askCIP.com



September 11, 2019

To: Board of Zoning Appeals

From: James J. McSweeney (owner)

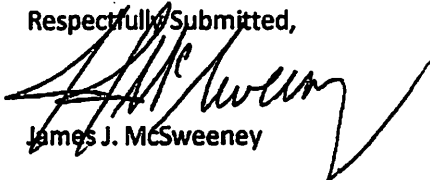
799-801 Cambridge Street

Cambridge, MA 02141

RE: Case #BZA-017160-2019

I am not in favor of the proposed project at 747 Cambridge Street, Cambridge, MA 02141. I am specifically concerned that the significant reduction in required parking spaces will cause additional congestion and even further reduce the existing shortage of parking availability for current residents and businesses.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "J. McSweeney", with a long, sweeping horizontal stroke extending to the right.

James J. McSweeney

Franca Barrila Bonasso

1 Harding Street ,Cambridge MA 02141

Tel 857 2779546 fbarrilabonasso@gmail.com

September 2, 2019

City of Cambridge
Board of Zoning Appeal
831 Massachusetts Ave.
Cambridge, MA 02139

CASE # BZA-017160-2019

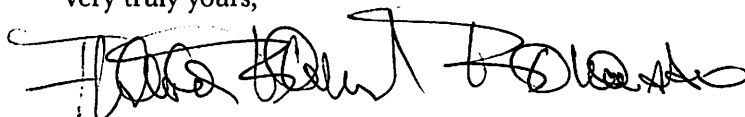
To Whom it May Concern:

I am writing with regard to plans for developing 747 Cambridge Street. It has come to my attention that a public hearing will be held on September 12th concerning this development, but unfortunately I will not be able to attend since I am in Italy at the moment and will not be back in Cambridge until September 18th.

I own a house a block and a half away from the Polish Club on the corner of 839 Cambridge St. My parents bought it in the early 60s and I inherited it in 2009. I have lived there off and on since 1962 so I am familiar with all the transformations this area of Cambridge has gone through. In many ways my neighborhood has greatly improved but it would be a shame if it lost its character through large developments such as this one. Despite being close to the MIT area, East Cambridge still has a small town feel but I'm afraid that gradually it will look more like North Point, full of high end residences.

On a more practical level, there are parking issues that need to be resolved even now. Imagine what parking will be like with condominiums and a remodeled Polish Club, which will no doubt attract even more people than it does now. An institution of this type should include a large parking lot and certainly not rely on the already limited off street parking that now exists. Granted Cambridge St is commercial, but it is one thing to have shops and offices and even small restaurants, quite another to have a club that will no doubt be used for celebrations, weddings, etc. , meaning large groups gathering together at one time. Already the Polish Club is noisy and disruptive, a new and improved Polish Club will be even more so. Just by way of comparison, think of the Dante Alighieri Association on Hampshire St. It was built a consistent distance from residential buildings and includes a large parking lot. Wouldn't it be a lot better for both the neighborhood and the Polish Club itself to be in another location away from residences and with its own large parking lot?

Very truly yours,





CITY OF CAMBRIDGE
Community Development Department

IRAM FAROOQ
Assistant City Manager for
Community Development

SANDRA CLARKE
Deputy Director
Chief of Administration

KHALIL MOGASSABI
Deputy Director
Chief of Planning

November 19, 2019

To: The Board of Zoning Appeal

From: CDD staff to the Planning Board

RE: BZA 017160-2019 – 747 Cambridge Street (REVISED)

The Planning Board reviewed and commented on the original plans dated 7/19/19. The applicant requested a continuance to address those concerns.

Community Development staff to the Planning Board met with the applicant and architect and find that the issues in the original comments dated 9/6/19 have been resolved for the most part. The revised plans were forwarded to the Planning Board who declined to review the new materials at a public meeting, agreeing with the CDD staff.

The staff does suggest that further analysis be done for duplex unit labeled #2, as there is no bathroom access for the second-floor bedroom. There is also concern that the exterior access to some of the upper floor unitss is via open decks which is exposed to weather, for example snow and rain.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: 747 Cambridge Street, LLC

PRESENT USE/OCCUPANCY: Fraternal Organization

LOCATION: 747 Cambridge St

ZONE: Front 100 feet: BA; Rear 24 Feet: C-1

PHONE: (978)-360-9558

REQUESTED USE/OCCUPANCY: Mixed-Use: Residential/Commercial

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
TOTAL GROSS FLOOR AREA:	4,080 SF	10,735	8,525 SF (max.)
LOT AREA:	6,200 SF	6,200	5,000 S.F. (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	0.66	1.73	1.375 (COMBINED) (max.)
LOT AREA FOR EACH DWELLING UNIT:	N/A	8 DU	9.1 DU (min.)
SIZE OF LOT:			
WIDTH	50'	50'	50' (min.)
DEPTH	124'	124'	N/A
Setbacks in Feet:			
FRONT	1.7' OVER (MARION ST) 1.3' OVER (CAMBRIDGE ST)	MARION: 0' CAMBRIDGE: 0' @ BA / 4.5' @ R	0' FOR BA / 10' FOR R (min.)
REAR	←	N/A (CORNER LOT)	→ (min.)
LEFT SIDE	2.7'	0' @ BA 9' @ R (FRONT MASSING) 5' (REAR MASSING)	11'6" @ FRONT MASSING 11'5" @ REAR MASSING (min.)
RIGHT SIDE	39.6'	15'	10'8.75" (min.)
SIZE OF BLDG.:			
HEIGHT	12'	35'	45' (max.)
LENGTH			
WIDTH			
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³	32%	21%	14% COMBINED (min.)
NO. OF DWELLING UNITS:	0	8	9.1 (max.)
NO. OF PARKING SPACES:	0	9	27 (min./max)
NO. OF LOADING AREAS:	N/A	N/A	N/A (min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:	N/A	N/A	N/A (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

WOOD FRAME CONSTRUCTION. THE GROUND FLOOR OF THE FRONT MASSING (ALONG
CAMBRIDGE STREET) WILL BE COMMERCIAL USE

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

**BZA APPLICATION FORM
SUPPORTING STATEMENT FOR A VARIANCE**

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the provisions of the Ordinance would involve a substantial financial and architectural hardship to the Appellant. Underutilized for many years as a single-story citizens club in a squat, unappealing brick building, the property site is ideal for infill improvement and revitalization, and for certain enhancements of pedestrian connectivity to the nearby, vibrant business districts and public transportation nodes. In response to the existing conditions, the proposal has been carefully designed and planned as a transit and pedestrian focused development with upgraded connectivity and walkability.

The site itself is located within two zoning districts: the front 100 feet is located in the BA Zone (Business A) and the rear 24 feet is located in the C-1 Zone (Residence C-1); as such, the proposed use as a multifamily residential dwelling is Allowed in both zones. The Business A Zone also Allows the proposed project's renovated Polish-American Citizens' Association of Cambridge, Inc. (the "Polish Club") space as a "club, lodge or other fraternal or sororal meeting facility." Please note, the club use is not situated within the 1,200 square feet of the Project Site located in the C-1 Zone and therefore its use provisions are not applicable.

If the property site was located entirely within the BA Zone, then Section 5.28-1 Dwellings in Non-Residential Districts would be applicable. A dwelling in a Business A district is subject to the same dimensional requirements and other restrictions as a dwelling in a Residence C-2B district. Therefore, the maximum Floor Area Ratio ("FAR") would be increased to 1.75 and the project's proposed revised and reduced FAR of 1.73 would be in conformance with the allowed maximum. In response to feedback from the Planning Board and nearby residents, the Appellant reduced the proposed FAR from 1.84, and an 11,451 square foot building, to 1.73, and a 10,735 square foot building. This, coupled with the proposed new space for the Polish Club, provides the proponent's rationale for requiring an FAR variance from the Ordinance combined maximum of 1.375. The proponent is proposing to maintain the Polish Club use, an existing long-time use in the community as a fraternal organization, which causes certain difficulties in siting and sizing of the building development in order to provide adequate usable space and proper circulation. The proposed project allows for eight (8) new two-bedroom, two-bathroom homeownership units as development without displacement by providing new, modernized space for the Polish Club use.

Additionally, as the property site fronts on two streets (Cambridge and Marion), it requires certain zoning relief for Side Yard Setback, which is also due to the property site's narrow width of 50 feet in comparison to its length of approximately 125 feet.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The substantial hardship is due to the unique location of the property site, which is located on the corner of Cambridge Street and Marion Street in the City's Wellington-Harrington neighborhood. Situated on an approximately 6,200 square foot lot, the existing building is a single story brick building which covers a majority of the Site and is located in two zoning districts: the front 100 feet is located in the BA Zone (Business A) and the rear 24 feet is located in the C-1 Zone (Residence C-1). Additionally, certain of the zoning relief required for the project is due to the property site's narrow width of 50 feet in comparison to its length of approximately 125 feet. These irregularities have caused issues with siting the building in an appropriate manner on the property site without violating the setback requirements. The property location on the corner (as further illustrated in the project drawings and at the Board hearing) presents a practical difficulty in locating the structure of the Allowed Multifamily Residential Use, for the purpose of providing additional quality housing in the neighborhood, and the setbacks required are mitigated by the property site's location and shape, unlike many other nearby properties.

Additionally, the existing building currently encroaches onto the sidewalk at numerous points and the proposed project would greatly improve this existing condition by providing enhancements of pedestrian connectivity as it is carefully designed and planned as a transit and pedestrian focused development with upgraded connectivity and walkability.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

1) Substantial detriment to the public good for the following reasons:

There will be no substantial detriment to the public good as the proposed project has been thoroughly processed with the community and the Appellant's proposed development will result in the much-needed revitalization of an under-utilized, irregularly shaped and unique property site with a new, Allowed Multifamily Residential Use, while also preserving the long-existing Polish Club Use, in a manner which is consistent with, and complementary to, the immediate and surrounding neighborhood. Additionally, the Appellant has now made certain project modifications in order to lessen the impact of the proposed project on the immediate area thus causing less of a detriment to the public good. In this regard, the following project modifications are now incorporated into the proposal:

- Removed one (1) dwelling unit such that the project now consists of eight (8) dwelling units and the Polish Club;
- Reduced the massing of the building by approximately 1,000 square feet;
- Reduced the FAR from approximately 1.84 to approximately 1.73
- Adjusted setbacks and enclosed stairs and connector piece;
- Correspondingly increased the amount of open space with an increase from approximately 19.7% (1,227 square feet) to approximately 21% (1,295 square feet);
- Pulled the North (Rear) massing inward (towards Marion St) by approximately 1'6" to maintain five (5') feet between the proposed new building and the direct abutter's property. The left side setback is now five (5') feet at this portion of the building.
- Extended the drive aisle to 22' to accommodate for four (4) full size spaces at the north side, while still proposing five (5) compact spaces for a total of nine (9) parking spaces, with a 1 to 1 parking ratio for the residential units and one (1) additional available space for the Polish Club;
- Added a common lobby to the building and enclosed the stair and connector piece for a more cohesive and appealing design program, with the connector piece now clad with cementitious boards and reglets rather than cedar siding; and
- Simplified the massing along Marion Street and made additional building reconfigurations.

Additionally, the proposed project provides development without displacement by adding eight (8) new residential units while maintaining the Polish Club Use and providing for its long-term economic viability and stability within the community. As part of the proposed project, the Appellant will also be removing an eyesore building in need of remediation and upgrade from an important and visible corner in the City.

In furtherance of this particular finding, the Appellant held its own informal abutter meeting on April 22, 2019, at the property site and also presented the proposed project to the East Cambridge Business Association on May 14, 2019, at the Loyal Nine restaurant at 660 Cambridge Street. The Appellant held a follow up abutter meeting on December 4th, 2019, at the Kennedy-Longfellow School Auditorium, 158 Spring Street Cambridge MA 02141, in close proximity to the project site, in order to present the above-detailed project modifications and revisions to the abutters and neighbors of the site. As such, the Appellant submits that the

requested relief is consistent with the character and concerns providing for the public good, as the Appellant has given special attention to the siting, scale, design, and scope of the new structure, open space and vehicular and pedestrian access and neighborhood safety. Additionally, the Ordinance identifies the applicable Residence C-1 Zone as designated for “multifamily dwellings” and the Business A Zone as designated for “local and drive in retail business, offices and multifamily dwellings,” which the proposed development contemplates as described within this application.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Relief may be granted without nullifying or substantially derogating from the intent or purpose of the Ordinance in regards to the Appellant’s project because its proposed uses are Allowed under the Ordinance and the project’s required dimensional relief is mitigated by its location in two (2) different zoning districts despite being only a 6,200 total square foot property. Additionally, as detailed above, if the site was located entirely within the BA Zone, then the maximum FAR would be 1.75 and the project’s proposed FAR of 1.73 would be in conformance with the allowed maximum FAR. Additionally, the FAR relief requested is mostly required in order to provide the proposed new space for the Polish Club. The project’s required relief for Front Yard Setback and Side Yard Setback are also di minimus in nature as the existing building currently encroaches onto the sidewalk at numerous points and the proposed project would improve this existing condition. The proposed right Side Yard Setback is 15’8”, in excess of the required 10’8.5” right Side Yard Setback calculation, while the Front Yard Setbacks at both Cambridge Street and Marion Street (as it is a corner lot) are mitigated by the fact that these setbacks are consistent with the existing street line conformity on a busy commercial street with no material impact on any direct abutters.

Finally, while the proposed project does require zoning relief for both the parking space size allocation and the parking amount, it does provide a one-to-one parking ratio for the residential units and a dedicated parking space for the Polish Club, whereas the existing condition for the Polish Club does not provide any current on-site parking allotment for patrons. As further mitigation of the on-site parking programming deficiency caused primarily by the lack of parking for the Polish Club Use, the property is located a short walk directly down Cambridge Street at approximately 0.6 miles from the Lechmere MBTA Green Line Station and MBTA Bus Station providing access to downtown Boston and beyond via the B, C, D, and E train lines and the 69, 80, 87 and 88 buses. It is also located directly across the street from a large public parking lot at the corner of Marion Street and Macarelli Way which provides over 30 public parking spaces available for use by visitors and Polish Club patrons. Lastly, the proposed project provides both long term bicycle parking locker spaces and short term spaces in compliance with the Ordinance, which further mitigates the off-street parking relief.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for _____ (location) would not be a detriment to the public interest because:

- A) Requirements of the Ordinance can or will be met for the following reasons:

See Attached Exhibit.

- B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

See Attached Exhibit.

- C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

See Attached Exhibit.

- D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

See Attached Exhibit.

- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

See Attached Exhibit.

**BZA APPLICATION FORM
SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 747 Cambridge Street for the reduction of required parking under Section 6.35.1 of the Zoning Ordinance would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The proposed project includes Allowed Uses under the requirements of the Zoning Ordinance. The Zoning Ordinance requires eight (8) residential parking spaces (1 per dwelling unit) and 16 commercial parking spaces for the proposed project. The proposed project provides for nine (9) total parking spaces, with a one to one parking ratio for the residential units in compliance with the Ordinance, and one (1) commercial parking spaces for the proposed renovated, reduced and reconfigured Polish-American Citizens' Association of Cambridge, Inc. (the "Polish Club") space. Therefore, the Special Permit is required for 15 commercial parking spaces for use by the Polish Club.

The lesser amount of parking will not cause excessive congestion, endanger public safety, substantially reduce parking availability for other uses or otherwise adversely impact the neighborhood, as the existing condition for the Polish Club does not provide any on-site parking allotment for patrons and, in fact, the proposed future condition for the Polish Club provides for less overall commercial space requiring less off-street parking, thus mitigating the requirements of the Ordinance and lessening the current impacts of the use at the site. In this regard, the Polish Club component accounts for a majority of the proposed project's required parking count (1 space per 6 members at maximum occupancy). The revised proposed project now includes a dedicated parking space for the Polish Club, whereas the existing condition for the Polish Club does not provide any current on-site parking allotment for patrons or employees.

Finally, in conformance with the determining factors itemized in Section 6.35.1 of the Ordinance, less off-street parking is reasonable in light of the availability of surplus off street parking in the vicinity of the use being served and/or the proximity of an MBTA transit station and the availability of public parking facilities in the vicinity of the premises. Specifically, the property is located within a short walk directly down Cambridge Street at approximately 0.6 miles from the Lechmere MBTA Green Line Station and MBTA Bus Station providing access to downtown Boston and beyond via the B, C, D, and E train lines and the 69, 80, 87 and 88 buses. The property is also located directly across the street from a large public parking lot at the corner of Marion Street and Macarelli Way which provides over 30 public parking spaces available for use by visitors and Polish Club patrons. Lastly, the proposed project provides both long term bicycle parking locker spaces and short term spaces in compliance with the Ordinance, which further mitigates the off-street parking relief.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The addition of eight (8) new residential units will cause a de minimus increase in traffic thereby not causing congestion hazard or a substantial change in the established neighborhood character. Additionally, the project proposes for parking access and egress from a single curb cut located along Marion Street, thereby mitigating impacts along the busier main thoroughfare of Cambridge Street from vehicular entry and exit for the proposed project.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The proposed project will not adversely affect the continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance because both of the proposed uses for the project are Allowed Uses under the Ordinance and the Polish Club is a long-time existing cultural use at the premises. Further, while the proposed project does not provide the required parking allotment, it does provide a one-to-one parking ratio for the residential units and one dedicated parking space for the Polish Club, whereas the existing condition for the Polish Club does not provide any on-site parking allotment for patrons or employees. Additionally, and as stated above, the property is located within short walking distance from the Lechmere MBTA Green Line Station and MBTA Bus Station providing access to downtown Boston and beyond via the B, C, D, and E train lines and the 69, 80, 87 and 88 buses. It is also located directly across the street from a large public parking lot at the corner of Marion Street and Macarelli Way which provides over 30 public parking spaces available for use by visitors and Polish Club patrons. Lastly, again, the proposed project provides both long term bicycle parking locker spaces and short term spaces in compliance with the Ordinance, which further mitigates the off-street parking relief.

D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No nuisance or hazard will be created by the proposed uses to the detriment of the health, safety and/or welfare of the occupant of the proposed use because both of the proposed uses for the project are Allowed Uses under the Ordinance and the Polish Club is a long-time existing cultural use at the premises. The Appellant has given special attention to the siting, scale, design, and scope of the new structure, open space and vehicular and pedestrian access and neighborhood safety. Additionally, the Ordinance identifies the applicable Residence C-1 Zone as designated for "multifamily dwellings" and the Business A Zone as designated for "local and drive in retail business, offices and multifamily dwellings," which the proposed development contemplates as described within this application.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

Again, the project's proposed uses are Allowed under the Ordinance and the project's required dimensional relief is alleviated by certain other mitigating factors, as described herein and presented to the Board at the public hearing. Furthermore, the proposed project has been thoroughly processed with the community, with certain project modifications designed to lessen the related impacts on the immediate neighborhood, and the Appellant's proposed development will result in the much-needed revitalization of an under-utilized, irregularly shaped and unique property site with a new, Allowed Multifamily Residential Use, while also preserving the long-existing Polish Club Use, in a manner which is consistent with, and complementary to, the immediate and surrounding neighborhood. Therefore, the proposed use will not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of the Ordinance.

ZONING CHART

ZONE : BA	REQUIRED (BA)	REQUIRED (C1)	REQUIRED (C2B)	REQUIRED (COMBINED)	EXISTING	PROPOSED	REMARKS
	1,500 S.F. IN BA ZONE	1,200 S.F. IN C1 ZONE	3,500 S.F. IN C2B ZONE				
LOT AREA, MIN S.F.	N/A	5,000 S.F.	5,000 S.F.		6,200 S.F.	6,200 S.F.	COMPLIES
LOT AREA, MIN S.F. / DU	600 S.F. / DU 2.5 DU ALLOWED	1,500 S.F. / DU 0.8 DU ALLOWED	600 S.F. / DU 5.8 DU ALLOWED	9.1 DU ALLOWED (See 5.27.1 Below)	1 COMMERCIAL SPACE	8 DU + 1 COMMERCIAL SPACE	COMPLIES
MAX. FAR	1 (1,500)	0.75 (900 S.F.)	1.75 (6,125 S.F.)	8,525 S.F. (1,375) (See 5.27.2 Below)	.66 (4,080 S.F.) PER DATABASE	10,735 S.F. (1.73) (9,235 S.F. RESIDENTIAL)	DOES NOT COMPLY
MIN. LOT WIDTH	N/A	50'	50'	50'	50' - 0"	50' - 0"	COMPLIES
MIN. FRONT YARD CAMBRIDGE ST.)	0'-0"	(H+L) / (4+2) (35+50)/4=14.2' 10' MIN.	(H+L) / (4+2) (35+50)/4=14.2' 10' MIN.	14.2' 10' MIN.	1.3' OVER 31.3' FROM CL OF STREET	0'-0" (33' FROM CL OF ST) 4'-6" @ Residential (37'-6" FROM CL OF ST)	COMMERCIAL COMPLIES W/ BA RESIDENTIAL DOES NOT COMPLY W/ C-1 OR C-2B
MIN. FRONT YARD MARION ST.)	0'-0"	(H+L) / (4+2) (35+92)/6=21.2' 10' MIN.	(H+L) / (4+2) (35+92)/6=21.2' 10' MIN.	21.2' 10' MIN.	1.7' OVER 28.3' FROM CL OF STREET	0'-0" (15' FROM CL OF ST) 0'-0" @ Residential	COMMERCIAL COMPLIES W/ BA RESIDENTIAL DOES NOT COMPLY W/ C-1 OR C-2B
MIN. SIDE YARD (LEFT)	0'-0"	(H+L) / (5+2) / 7'-6" MIN REFER TO DIAGRAM BELOW 20'-6"	(H+L) / (5+2) REFER TO DIAGRAM BELOW 20'-6"	11'-0"	2.7'	0'-0" @ Commercial 5'-0" @ Residential	COMMERCIAL COMPLIES W/ BA RESIDENTIAL DOES NOT COMPLY W/ C-1 OR C-2B
MIN. SIDE YARD (RIGHT)	0'-0"	(H+L) / (5+2) (35+39) / 7 = 10.5 7'-6" MIN	(H+L) / (5+2) (35+39) / 7 = 10.5 7'-6" MIN	10.5 10' MIN	2.7'	15'	COMMERCIAL COMPLIES W/ BA RESIDENTIAL COMPLIES W/ C-2B
MAX HEIGHT	45'-0"	35'-0"	45'-0"	45' W/IN BA / 35' W/IN C1	+/-12'-0"	35'	COMPLIES
MIN. RATIO OF PRIVATE OP. SP. TO LOT AREA	NONE	30% (360 S.F.)	15% (525 S.F.)	885 S.F. (14% OF SITE)	+/- 32% 2,003 S.F.	21% (1,295 S.F.)	COMPLIES
PARKING	1 SPACE/6 OCCUPANTS 17 SPACES REQUIRED	1 SPACE/DU	1 SPACE/DU	8 RESIDENTIAL SPACES 17 COMMERCIAL SPACES	0 SPACES	9 SPACES (1/ DU + 1 FOR COMMERCIAL SPACE)	RESIDENTIAL COMPLIES COMMERCIAL DOES NOT COMPLY
CLUB/ LODGE / OTHER MTG FACILITY: 1 PER 6 MEMBERS BASED ON MAXIMUM RATED CAPACITY (1,500 S.F. CLUB / 15 NET PER 2015 IBC 1004.1.2- ASSEMBLY WITHOUT FIXED SEATS-UNCONCENTRATED= 100 OCCUPANTS) 100 OCCUPANTS / 1 SPACE PER 6 OCCUPANTS=17 SPACES							
BICYCLE PARKING	.8 SPACES / 1,000 S.F. (1 REQ'D) LONG TERM 0.6 SPACE / 1,000 S.F. (0.9 REQ'D) SHORT TERM	1 SPACE/DU .10 SPACE/DU	1 SPACE/DU .10 SPACE/DU	9 LONG TERM SPACES 2 SHORT TERM SPACES		9 SPACES 2 SPACES (1 RACK)	COMPLIES COMPLIES

5.24.4 Measurements for minimum yards which are determined by formula shall be made in the following manner:

(1) "H" is the height of the building. "L" is the length of the wall measured parallel to the corresponding lot or street line. The front yard is measured from the street line, or building line where such has been established, except where otherwise indicated herein. For buildings of forty (40) feet or less in height the denominator in the yard formulas in the Tables in Section 5.30 may be increased by two subject to the minimum yard requirements set forth in footnotes a, b and c of Tables 5-1 and 5-2.

(3) Where a building presents a variety of vertical planes to any given lot or street line, no plane shall be closer to the street or building line or lot line than permitted by the application to such plane of the appropriate formula in the tables of dimensional requirements in Section 5.30. For all planes set forward of the setback line required by said tables for the building if it were constructed in a single vertical plane, other planes must be set behind the setback line so calculated. The result shall be that the sum of the products of the setback required for each plane times the facing area of each plane respectively shall be at least as great as the product of the setback required by the appropriate table for the building if it were constructed in a single vertical plane times the facing area of the building if viewed as a single plane. (see illustration below):
The product of (setback1 x facing area1) + (setback2 x facing area2) MUST EQUAL OR EXCEED the product of (single plane setback) x (single plane facing area)

5.27.1- The total number of dwelling units allowed shall be the sum of the total dwelling units allowed in each district, determined by adding the lot area in each district divided by the minimum lot area per dwelling unit for each district. Where the computation of the total number of dwelling units allowed in each district results in two fractional numbers and where the sum of the resulting remainders from both districts equals or exceeds one, an additional unit shall be permitted.

$$\text{Max \# of dwelling units} = \frac{\text{Lot area in district 1 (BA)}}{\text{district 1 min lot area/du}} + \frac{\text{Lot area in district 2 (C1)}}{\text{district 2 min lot area/du}} + \frac{\text{Lot area in district 3 (C2B)}}{\text{district 3 min lot area/du}}$$

$$\text{Max \# of dwelling units} = \frac{1500 \text{ s.f.}}{600 \text{ s.f./du}} + \frac{1200 \text{ s.f.}}{1500 \text{ s.f./du}} + \frac{3500 \text{ s.f.}}{600 \text{ s.f./du}}$$

$$\text{Max \# of dwelling units} = 2.5 \text{ (BA Zone)} + .08 \text{ (C1 Zone)} + 5.8 \text{ (C2B Zone)}$$

$$\text{Max \# of dwelling units} = 9.1 \text{ DU Allowed}$$

5.27.2- The maximum gross floor area shall be the sum of the total allowed gross floor area in each district, determined by adding the lot area in each district multiplied by the maximum allowed floor area ratio (FAR) for each district.

$$\text{Max Gross Floor Area} = (\text{Lot area in district 1 (BA)} \times \text{district 1 FAR}) + (\text{Lot area in district 2 (C1)} \times \text{district 2 FAR}) + (\text{Lot area in district 3 (C2B)} \times \text{district 3 FAR})$$

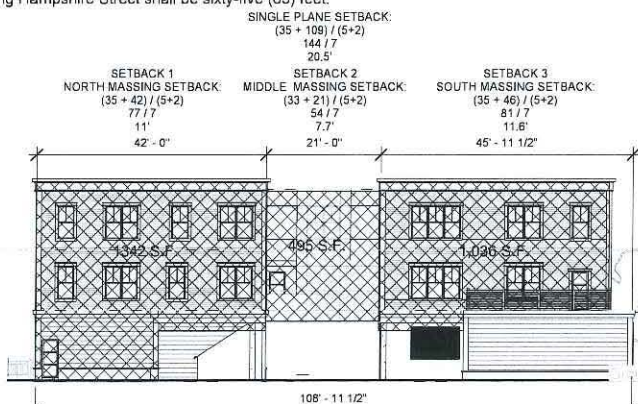
$$\text{Max Gross Floor Area} = (1,500 \text{ s.f.} \times 1.0) + (1,200 \text{ s.f.} \times 0.75) + (3,500 \text{ s.f.} \times 1.75)$$

$$\text{Max Gross Floor Area} = (1,500 \text{ s.f.}) + (900 \text{ s.f.}) + (6,125 \text{ s.f.})$$

$$\text{Max Gross Floor Area} = 8,525 \text{ s.f.}$$

5.28.1- Dwellings in Non Residential Districts. A dwelling shall be subject to the dimensional standards generally applicable in the district set forth in the Tables of Dimensional Requirements in Section 5.30, except as provided for below.

a. A dwelling in a Business A district shall be subject to the same dimensional requirements and other restrictions as a dwelling in a Residence C-2B district, except that the height limitation on lots abutting Hampshire Street shall be sixty-five (65) feet.



② Left Side Setback Calculation
1/16" = 1'-0"

$$(\text{SETBACK1} \times \text{FACING AREA1}) + (\text{SETBACK2} \times \text{FACING AREA2}) + (\text{SETBACK3} \times \text{FACING AREA3})$$

$$(11' \times 1,342 \text{ S.F.}) + (32.2' \times 495 \text{ S.F.}) + (11' \times 1,036 \text{ S.F.})$$

$$14,762 + 15,939 + 11,396$$

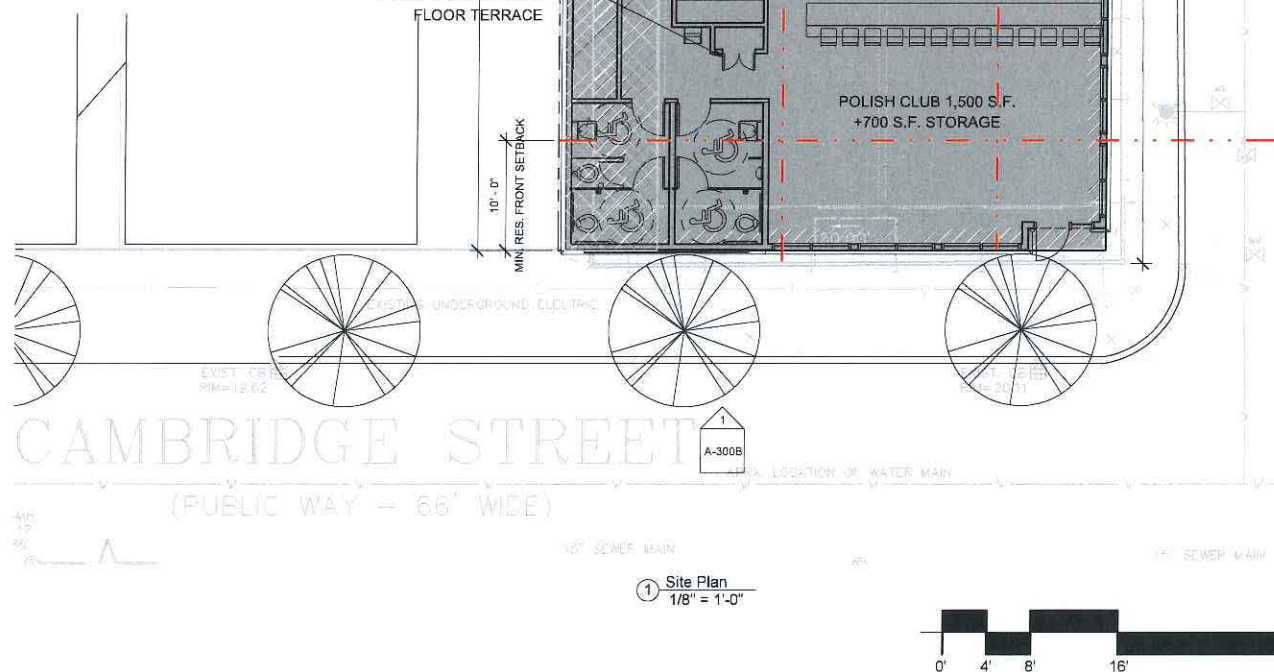
$$42,097$$

$$\text{SINGLE PLANE SETBACK:}$$

$$(1342 \text{ S.F.} + 495 \text{ S.F.} + 1036 \text{ S.F.}) \times 20.5$$

$$2873 \times 20.5$$

$$58,886.5$$



① Site Plan
1/8" = 1'-0"

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PROJECT NAME

**Cambridge @
Marion Residences**

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No.	Description	Date
1		

Architectural Site
Plan

A-020

Cambridge @ Marion Residences

The tables below summarize the zoning requirements for some typical land uses. For more detail, review Section 6.100 of the Zoning Ordinance. When calculating the required number of long-term or short-term bicycle parking spaces for a particular use, round up to the nearest whole number.

	Minimum Required Bicycle Parking (see pg. 7 for more details)	
Residential Use Type	Long-Term	Short-Term
Single-family dwellings	No minimum	No minimum
Two-family dwellings Rectories, parsonages		
Townhouse dwellings	1.00 space per unit for the first 20 units in a building;	0.10 space per unit on a lot (for lots with 4 or more units)
Multifamily dwellings	1.05 spaces per unit for additional units	
Elderly oriented congregate housing	0.50 space per unit	0.05 space per unit
Lodging houses, convents, monasteries, dormitories, fraternities, sororities	0.50 space per bed	0.05 space per bed
Hotels, motels	0.02 space per sleeping room	0.05 space per sleeping room
Tourist houses		

Where four or fewer long-term bicycle parking spaces are required, they may be provided in a covered outdoor location rather than an enclosed structure.



There are a variety of designs for bicycle racks produced by many manufacturers. Bike racks can be purchased as single units, with a capacity of locking 2 bikes (one on each side), or as multiple units attached together, with a larger capacity. However, not all manufactured bicycle racks meet Cambridge's standards.



- Installed on a permanent foundation (e.g., concrete pad) to ensure stability.
- Securely anchored into or on the foundation with tamper-proof nuts if surface mounted.
- Support for an upright bicycle by its frame horizontally in **two (2)** or more places.
- Keeps both bike wheels on the ground.
- Design that prevents the bicycle from tipping over.
- Ability to support a variety of bicycle sizes and frame shapes.
- Space to secure the frame and one or both wheels to the rack with a cable, chain, or U-lock.
- Diameter of locking pole is no more than 1.5 inches.
- Galvanized or stainless steel racks are recommended (and required for racks on public property) because they hold up best.



photo by Gung Rasmussen



Acceptable racks, like the "Inverted U," "Swerve," and "Post and Ring" racks, have two-point support and fit a variety of bicycle types. Custom designs and "artistic" racks can also be used, provided they meet the performance criteria for bicycle racks.

Bicycle parking must be designed for convenient daily use, not simply for storage of bicycles. Location is an extremely important factor in the usefulness of a bicycle rack. The rack must be located in a safe and accessible place with adequate space to maneuver a bicycle in and out.

- In full view, maximizing visibility and minimizing vandalism, near pedestrian traffic, windows, and/or well-lit areas.
- Under cover, to protect bicycles from inclement weather.
- Far enough away from the street or parking spaces so that bicycles will not be damaged by cars, serback if possible.
- Not obstructing pedestrian traffic



- They are between the road/path that cyclists use and the entrance of the building.
- The primary access route is at least 5 feet wide.
- The primary access route does not have a slope greater than 5% (8% if level landing is provided every 30 feet of linear distance).
- Access may be provided by an elevator with interior dimensions of 80" x 54".
- Close to the main entrance that cyclists use for the building. For short-term parking within 25' is ideal but no more than 50' is required.

Weather-protected bicycle parking is desirable where bikes are parked for long periods.



- Support the bicycle at only one point.
- Allow the bicycle to fall, which can damage the bike and block pedestrian right-of-way.
- I have sharp edges, that can be hazardous to the visually impaired.
- Support the bicycle by one wheel.
- Connect to each other with a bar on top (that can block handlebars and baskets).
- Suspend any part of the bike in the air or require that the bicycle be lifted to get it into position.



Some aspects of bicycle parking are different depending on whether it will serve people who are storing bicycles all day long or overnight, or people who are making short trips to and from the site.

Long-term Bicycle Parking must be located in an enclosed, limited-access area designed to protect bicycles from precipitation and from theft. It may be provided in the following types of facilities:

- Enclosed spaces in a building, such as bicycle rooms or garages.
- Bicycle shed, covered bicycle cages, or other fully covered and enclosed structures within 200 feet of the main building entrance.
- Bicycle lockers, or fixed-in-place containers wherein single bicycles may be securely stored and protected.
- Weather-protected bicycle parking spaces that are monitored at all times by an attendant or other security system.

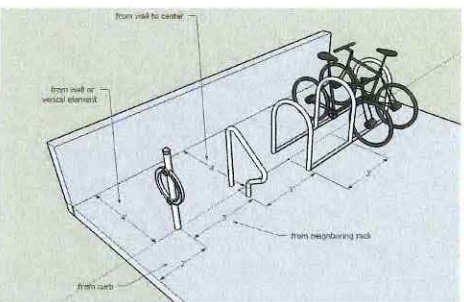


Short-term bicycle parking must be located in a publicly accessible space within 50 feet of pedestrian entrances. Short-term bicycle parking is intended primarily to serve visitors, such as retail patrons making trips of up to a few hours; however, it may serve other bicycle users as needed.

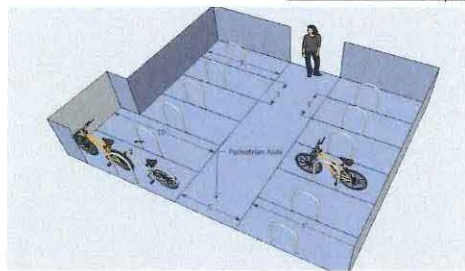
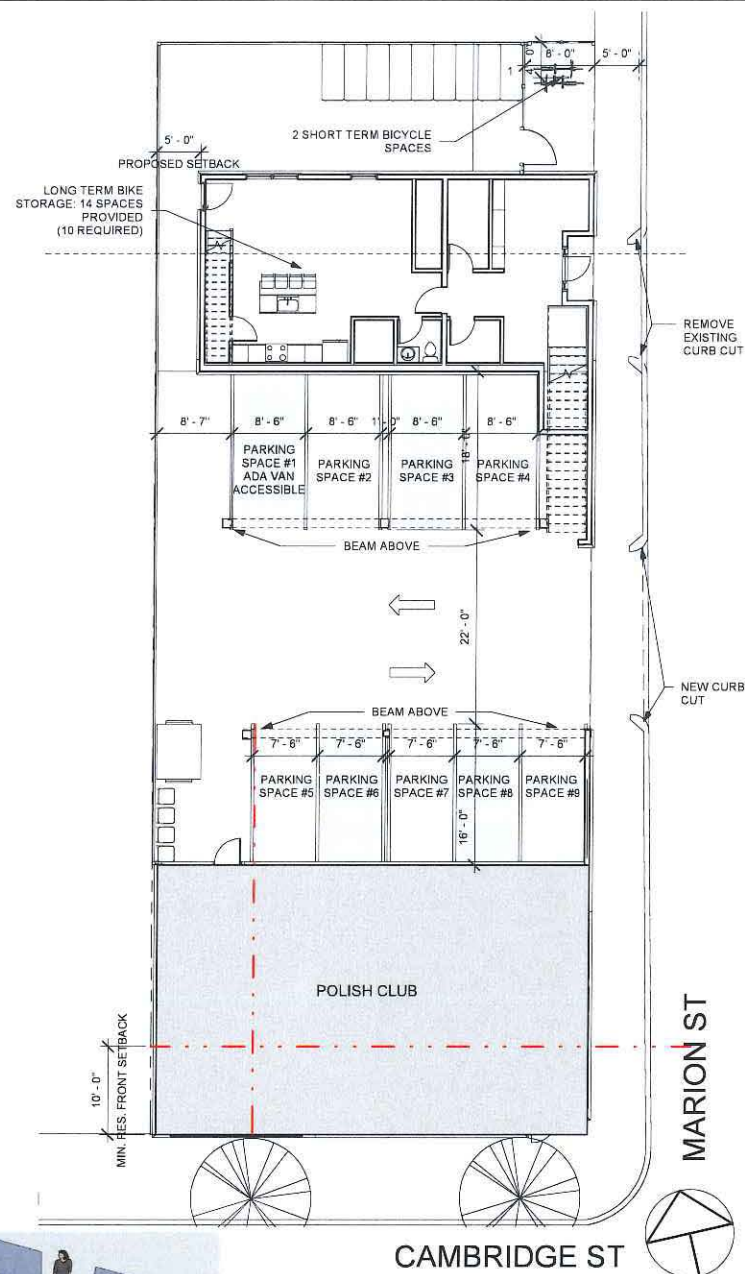
Bicycle parking in parking garages must be either on the same level as the entrance to the garage from the street or accessible via automobile ramps designed to serve bicyclists (with slope of less than 5% or less than 8% with a landing every 30 feet), or near an elevation that is sufficiently large to accommodate bicycles. Bicycle racks inside parking garages must still meet the security standards of short-term racks or lockers. Where long-term bicycle parking is next to automobile parking or loading, a physical barrier, such as bollards, must be provided.



Proper layout of bicycle racks is essential to ensure that they will safely and conveniently accommodate the intended number of bicycles. Layout must follow these minimum dimensions:



Racks aligned end to end



① **Bike Parking Plan**
1" = 10'-0"

Enclosed rack area with 20 or more racks, with pedestrian aisle and at least 5% of spaces providing an additional 2 feet of space for tandems and trailers.

- Rack units aligned parallel to each other (side by side) must be at least 3 feet apart. This includes racks that are sold as multiple rack units attached together.
- Rack units aligned end to end must be at least 8 feet apart.

- Rack units placed perpendicular to a wall must be at least 4 feet from the wall to the center of the rack.
- Rack units parallel to a wall must be at least 3 feet from the rack to the wall.

- Rack units placed perpendicular to the curb must be at least 4 feet from the curb to the center of the rack.
- Rack units placed parallel to the curb must be at least 2 feet from the curb to the rack.

- Rack units perpendicular to a pedestrian aisle must be at least 4 feet from the center of the rack to the edge of the aisle, and have at least a 5 feet wide aisle.
- Where 20 or more bicycle parking spaces are required, at least 5% of the spaces must be 10 feet long instead of 8 feet to allow space for tandems and trailers.

- Racks should be at least 14 feet from curbside fire hydrants and 6 feet from wall fire hydrants.

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Checked by	Checker
Scale	1" = 10'-0"

[illegible]

A-021

Cambridge @ Marion Residences

Floor Area Gross. The sum, in square feet, of the gross horizontal areas of all floors of a building, as measured from the exterior walls [except in (8) and (9) below where only interior space shall be measured and in (h) where the area of the parking facility shall be measured] of a building or the centerline of party walls between buildings.

Gross Floor Area shall include:

- (a) roofed porches and balconies whether enclosed or unclosed;
- (b) unroofed porches and balconies above third floor. With the exception of porch and balcony spaces associated with Functional Green Roof Area, in accordance with the regulations in Section 22.30 of this Zoning Ordinance;
- (c) elevator shafts and stairwells on each floor, not excluded in (6) below;
- (d) attic space, whether finished or unfinished, within the area of a horizontal plane that is five (5) feet above the attic floor and which touches the side walls and/or the underside of the roof rafters and which is not excluded in (5) below;
- (e) interior balconies, mezzanines, and penthouses;
- (f) deleted;
- (g) area of parking facilities in structures except as excluded in (2) below; and
- (h) any accessory parking spaces not in above ground structures if in excess of the maximum number permitted on the premises as set forth in Section 5.25 and 6.30.

Gross Floor Area shall not include:

- (1) areas used for off street loading purposes;
- (2) area of parking facilities in structures located underground and the area of on grade open parking spaces outside the building footprint at or below the maximum number permitted on the premises as set forth in Sections 5.25 and 6.30;
- (3) basement and cellar areas devoted to the operations and maintenance of the building such as heating and cooling equipment, electrical and telephone facilities, and fuel storage;
- (4) open and lattice-work fire escapes;
- (5) unroofed porches and balconies no higher than the third floor;
- (6) attic space and other areas devoted to elevator machinery or mechanical equipment necessary for the operation of the building, including sustainable mechanical systems and related equipment and chases for systems including, but not limited to, solar energy systems, geothermal systems and heat pumps, solar hot water systems and related tubes and tanks, equipment related to radiant heating, hydronic cooling, heat recovery ventilators, and energy recovery ventilators;
- (7) elevator shafts and stairwells on floors where there is no other area which qualifies to be included in gross floor area;
- (8) attic space not otherwise included in (d) above;
- (9) basement and cellar spaces with less than seven (7) feet of ceiling height measured from the floor to the line of the bottom of the floor joists, or to any subfloor or finished surface above any floor joists that are spaced not less than four (4) feet on center, and further provided that the basement or cellar is not a Story Above Grade as defined in the State Building Code;
- (10) bicycle parking meeting or exceeding the requirements of Article 6.000, which shall include all areas occupied by Bicycle Parking Spaces and access routes intended exclusively for use by bicycles, which shall be clearly indicated in the bicycle parking plan requirements set forth in Section 6.52.1 whether located in a principal use structure, any parking facility for motor vehicles, or in an accessory structure;
- (11) Functional Green Roof Area, in accordance with the regulations in Section 22.30 of this Zoning Ordinance;
- (12) interior air spaces within Double-Skin Facades and additional exterior wall thickness to accommodate insulation, in accordance with the regulations in Section 22.40 of this Zoning Ordinance; and
- (13) space directly beneath overhangs, eaves, awnings, pergolas, arbors, trellises or other sunshading devices, in accordance with the regulations in Section 22.50 of this Zoning Ordinance.

(14) Public Bicycle-Sharing Stations

GROSS FLOOR AREA

GROSS FLOOR AREA PER ZONING CODE

UNIT AREAS

Gross Floor Area		
Area	Name	Level
984 SF	Gross Floor Area	1st Floor
1500 SF	Gross Floor Area	1st Floor
2483 SF		
4061 SF	Gross Floor Area	2nd Floor
4061 SF		
4106 SF	Gross Floor Area	3rd Floor
4106 SF		
10650 SF		

Gross Floor Area per Zoning			
Area	Level	Name	ZONE
BA Zone			
1500 SF	1st Floor	GFA - Lodge (BA)	BA Zone
1500 SF			
1500 SF			
C-1 Zone			
88 SF	1st Floor	GFA - Residential (C-1)	C-1 Zone
251 SF	1st Floor	GFA - Residential (C-1)	C-1 Zone
405 SF	2nd Floor	GFA - Residential (C-1)	C-1 Zone
405 SF	3rd Floor	GFA - Residential (C-1)	C-1 Zone
1149 SF			
1149 SF			
C-2B Zone			
580 SF	1st Floor	GFA - Residential (C-2B)	C-2B Zone
126 SF	1st Floor	GFA - Residential (C-2B)	C-2B Zone
3701 SF	2nd Floor	GFA - Residential (C-2B)	C-2B Zone
3680 SF	3rd Floor	GFA - Residential (C-2B)	C-2B Zone
8086 SF			
8086 SF			
10735 SF			

FAR:
BA: 1,500 S.F. GFA / 1,500 S.F. SITE = 1.0 FAR
C-1: 1,149 S.F. GFA / 1,200 S.F. SITE = 0.96 FAR
C-2B: 8,041 S.F. GFA / 3,500 S.F. SITE = 2.3 FAR
SITE: 10,690 S.F. GFA / 6,200 S.F. SITE = 1.72 FAR

Unit Areas			
Area	Name	Level	USE
1500 SF	LODGE	1st Floor	Commercial
1500 SF			
1500 SF			
623 SF	UNIT 1	1st Floor	Residential
989 SF	UNIT 1	2nd Floor	Residential
1613 SF			
941 SF	UNIT 2	2nd Floor	Residential
941 SF			
903 SF	UNIT 3	2nd Floor	Residential
903 SF			
856 SF	UNIT 4	2nd Floor	Residential
856 SF			
1078 SF	UNIT 5	3rd Floor	Residential
1078 SF			
939 SF	UNIT 6	3rd Floor	Residential
939 SF			
993 SF	UNIT 7	3rd Floor	Residential
993 SF			
855 SF	UNIT 8	3rd Floor	Residential
855 SF			
8178 SF			
9677 SF			

① 1st Floor
1/16" = 1'-0"

④ 1st Floor
1/16" = 1'-0"

⑦ 1st Floor
1/16" = 1'-0"

② 2nd Floor
1/16" = 1'-0"

⑤ 2nd Floor
1/16" = 1'-0"

⑧ 2nd Floor
1/16" = 1'-0"

③ 3rd Floor
1/16" = 1'-0"

⑥ 3rd Floor
1/16" = 1'-0"

⑨ 3rd Floor
1/16" = 1'-0"

PROJECT NAME
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Marion Residences**

PROJECT ADDRESS
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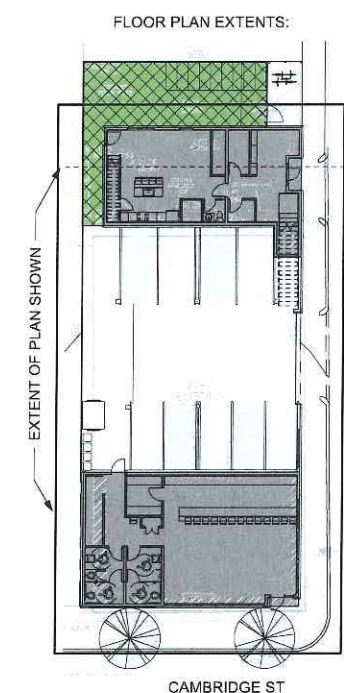
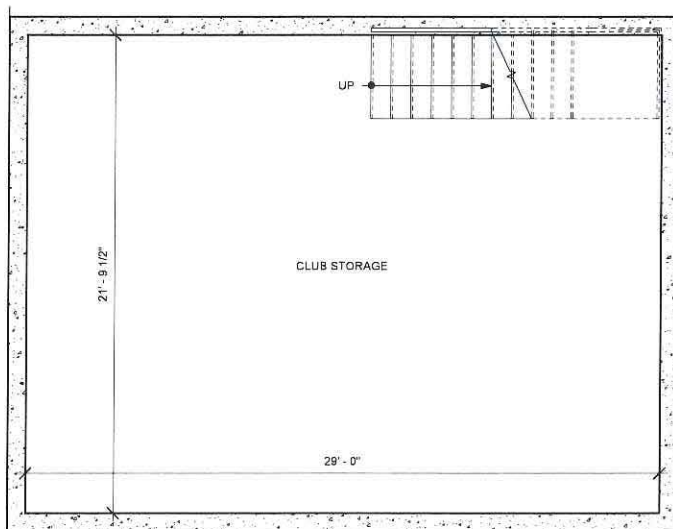
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No.	Description	Date

Area Plans
A-022
Cambridge @ Marion Residences



PROJECT NAME
**Cambridge @
Marion Residences**

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1st Floor Plan

A-100

Cambridge @ Marion Residences

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Date 12/09/2019
Drawn by ERS
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Scale 1/4" = 1'-0"

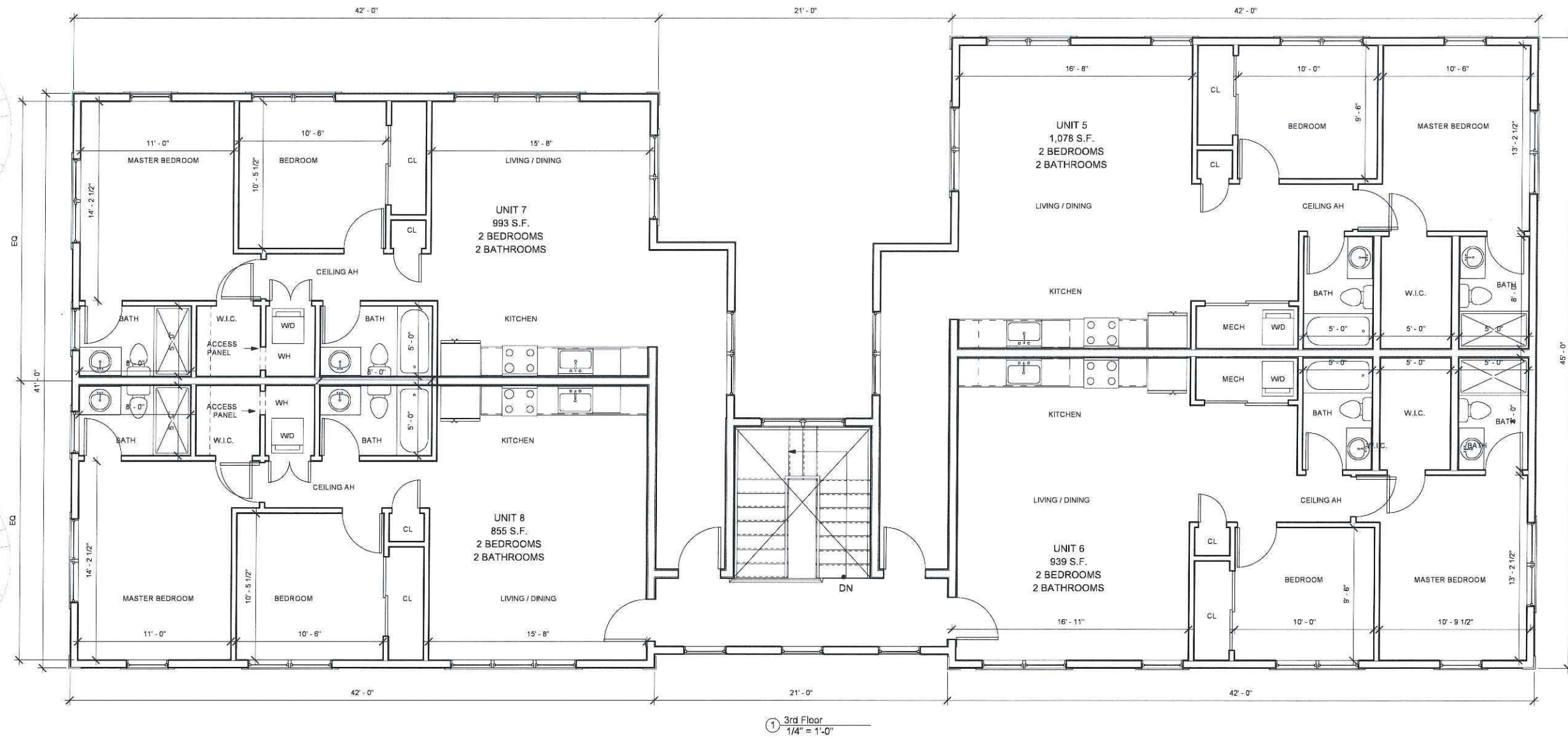
REVISIONS

No.	Description	Date
1		

3rd Floor Plan

A-102

Cambridge @ Marion Residences



① 3rd Floor
1/4" = 1'-0"

**Cambridge @
Marion Residences**

747 CAMBRIDGE ST
CAMBRIDGE MA

**747 CAMBRIDGE
STREET, LLC**



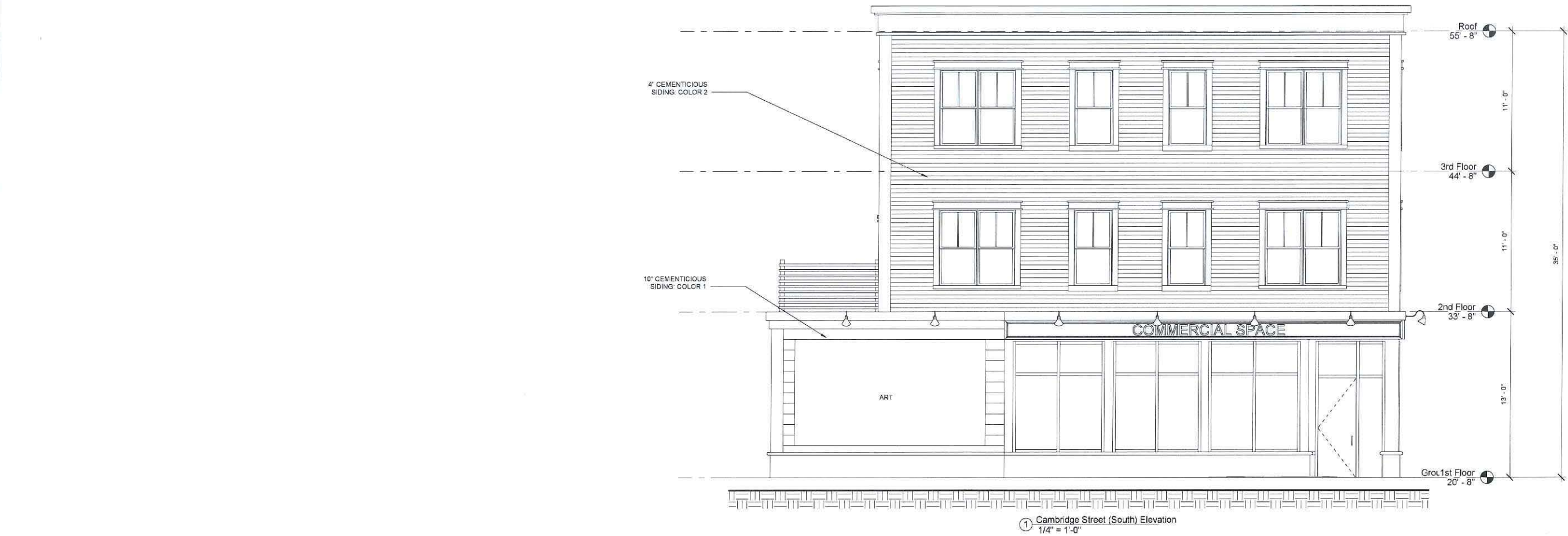
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REGISTRATION

[illegible]

A-103

The diagram illustrates a quantum circuit involving two qubits, represented by rectangular boxes with diagonal lines forming an 'X' shape. Each qubit box contains four arrows pointing towards the center, representing the Pauli matrices σ_x and σ_y . The left qubit box has arrows pointing right, left, up, and down. The right qubit box has arrows pointing left, right, up, and down. A CNOT gate is represented by a horizontal line connecting the two qubit boxes, with a vertical line segment on the right qubit box indicating the target of the CNOT operation. The circuit is enclosed in a larger rectangular frame.



PROJECT NAME
**Cambridge @
Marion Residences**

PROJECT ADDRESS
**747 CAMBRIDGE ST
CAMBRIDGE MA**

CLIENT
**747 CAMBRIDGE
STREET, LLC**

ARCHITECT

DESIGN

KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
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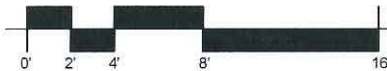
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REVISIONS

No.	Description	Date

Front Elevations

A-300
Cambridge @ Marion Residences





① Cambridge Street (South) Elevation
1/4" = 1'-0"



② Marion Street (East) Elevation
1/4" = 1'-0"

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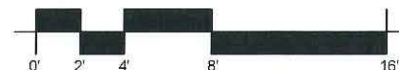
REVISIONS

No.	Description	Date

Front Elevations

A-300B

Cambridge @ Marion Residences



PROJECT NAME
**Cambridge @
Marion Residences**

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REVISIONS

No.	Description	Date

Side Elevations

A-301

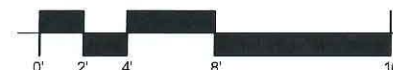
Cambridge @ Marion Residences



② Right Side (North) Elevation
1/4" = 1'-0"



① Left Side (West) Elevation
1/4" = 1'-0"



**Cambridge @
Marion Residences**

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STREET, LLC

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REGISTRATION

REVISIONS

 Courtyard Elevations

A-302

Roof
55' - 8"

3rd Floor
44' - 8"

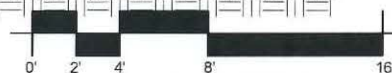
2nd Floor
33' - 8"

Grd. 1st Floor
20' - 8"

MARION STREET

Architectural section drawing of a three-story building. The drawing shows the exterior with horizontal siding and two windows on the left. The interior shows a large open space on the second and third floors, with a staircase on the right. The ground floor is a garage with two cars parked. The building is situated on Marion Street. Dimensions are provided for each floor: 1st Floor (20' - 8"), 2nd Floor (33' - 8"), and 3rd Floor (44' - 8"). The total height is 55' - 8".

② Courtyard Elevation - Right Side
1/4" = 1'-0"





① Courtyard Elevation - Left Side
1/4" = 1'-0"



② Courtyard Elevation - Right Side
1/4" = 1'-0"



PROJECT NAME
**Cambridge @
Marion Residences**

PROJECT ADDRESS
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REVISIONS		
No.	Description	Date

**Courtyard
Elevations**

A-302B
Cambridge @ Marion Residences



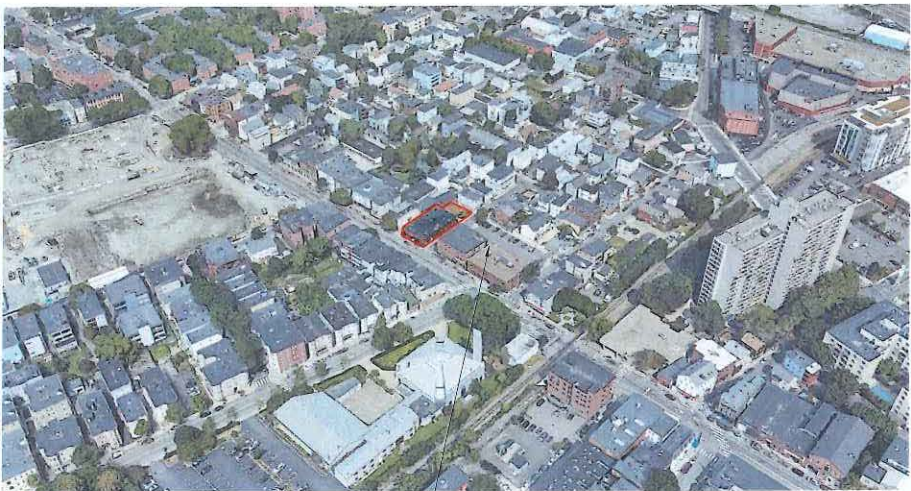
SITE: 747 CAMBRIDGE ST



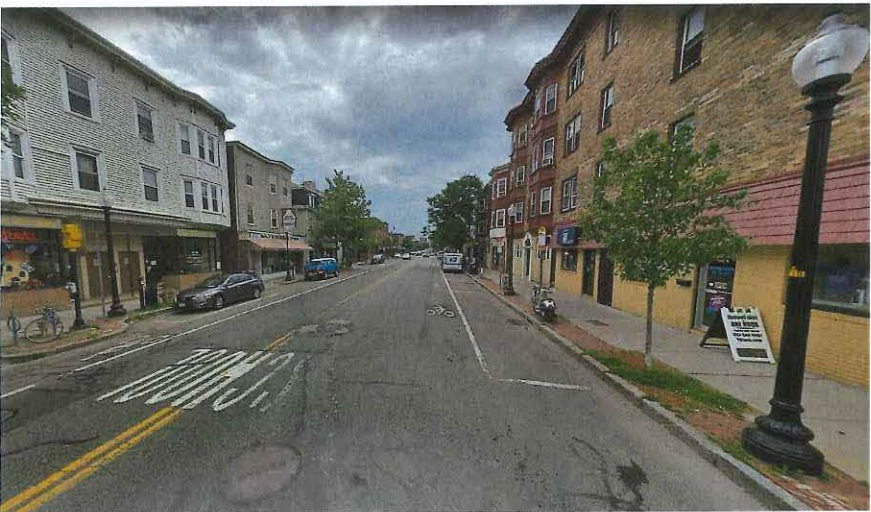
VIEW TOWARDS REAR OF SITE FROM MARION ST



VIEW TOWARDS SITE FROM CARDINAL MEDEIROS AVE @ CAMBRIDGE ST



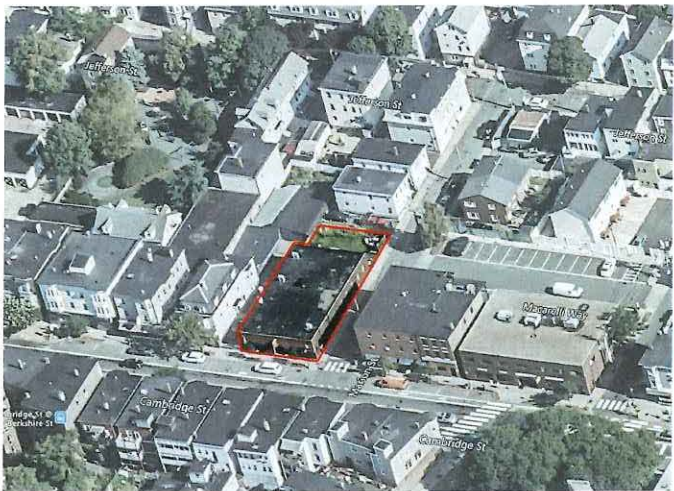
SITE: 747 CAMBRIDGE ST



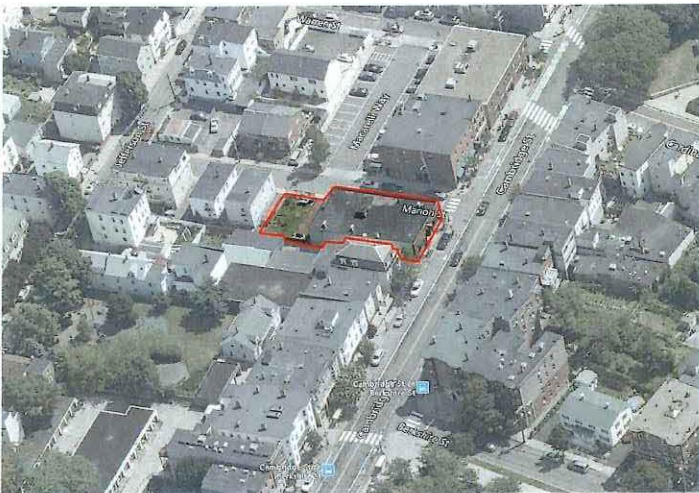
VIEW TOWARDS SITE FROM BERKSHIRE ST @ CAMBRIDGE ST



BIRD'S EYE VIEW (EAST LOOKING WEST)



BIRD'S EYE VIEW (SOUTH LOOKING NORTH)



BIRD'S EYE VIEW (WEST LOOKING EAST)



BIRD'S EYE VIEW (NORTH LOOKING SOUTH)

PROJECT NAME
Cambridge @ Marion Residences

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CAMBRIDGE MA

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REVISIONS

No.	Description	Date

Neighborhood
Photos

AV-1


Cambridge @ Marion Residences



PROJECT NAME
**Cambridge @
Marion Residences**

PROJECT ADDRESS
**747 CAMBRIDGE ST
CAMBRIDGE MA**

CLIENT
**747 CAMBRIDGE
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REVISIONS

No.	Description	Date


Perspectives
AV-2
Cambridge @ Marion Residences



PROJECT NAME
**Cambridge @
Marion Residences**

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Scale

REVISIONS		
No.	Description	Date

Rendering

AV-3
Cambridge @ Marion Residences



MORNING (9-10 AM)

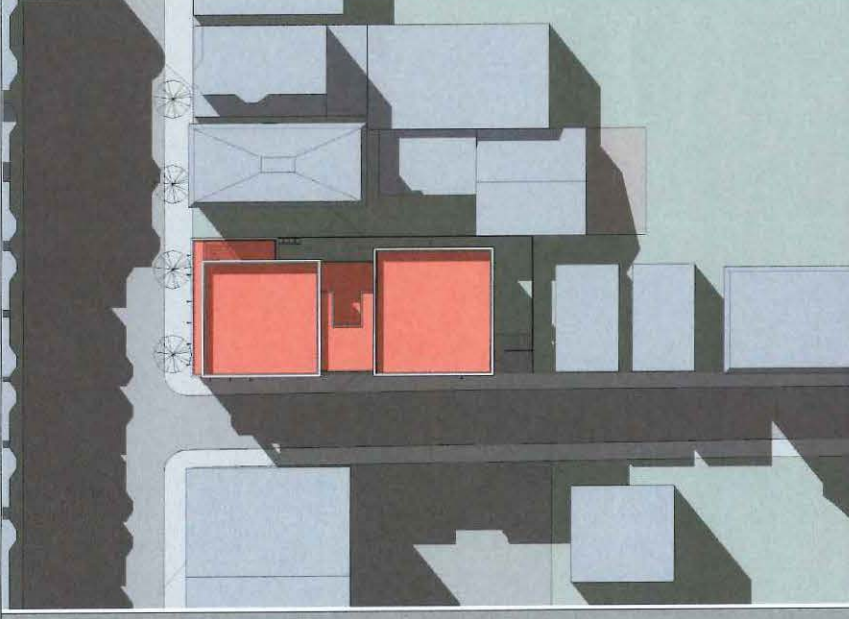
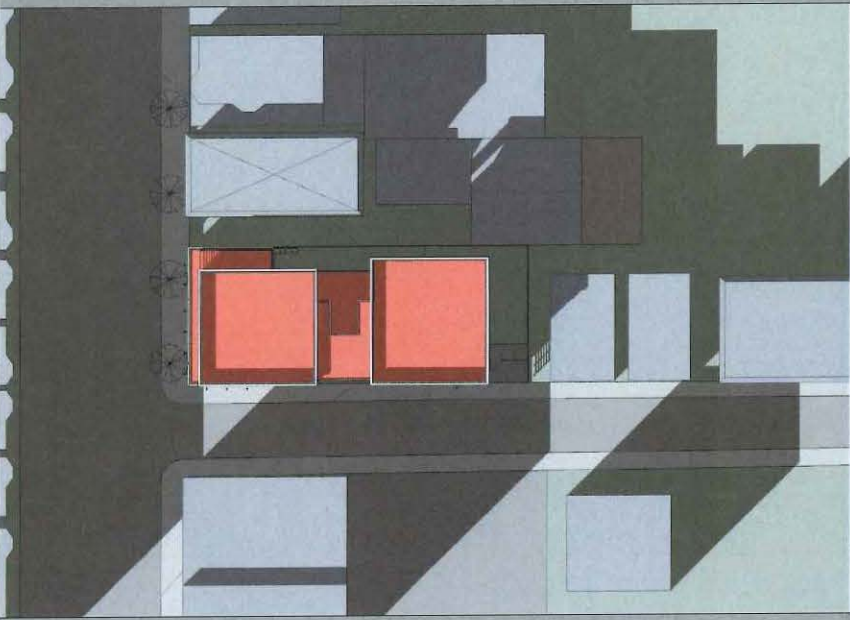
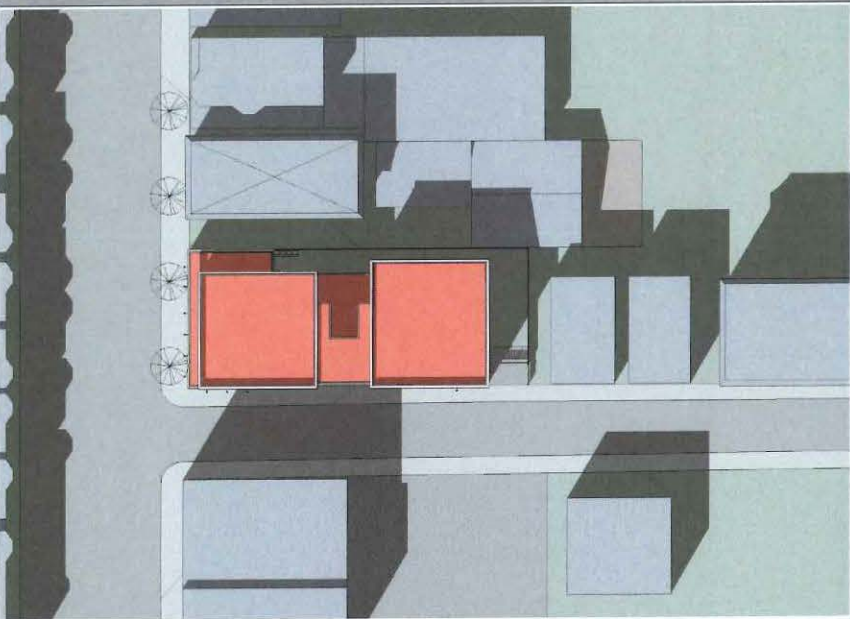
NOON (12 AM-1 PM)

AFTERNOON (3-4 PM)

SUMMER SOLSTICE

FALL / SPRING EQUINOX

WINTER SOLSTICE




PROJECT NAME
Cambridge @
Marion Residences

PROJECT ADDRESS
747 CAMBRIDGE ST
CAMBRIDGE MA

CLIENT

747 CAMBRIDGE
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REVISIONS		
No.	Description	Date

Shadow Study

SS-1

Cambridge @ Marion Residences



MORNING (9-10 AM)

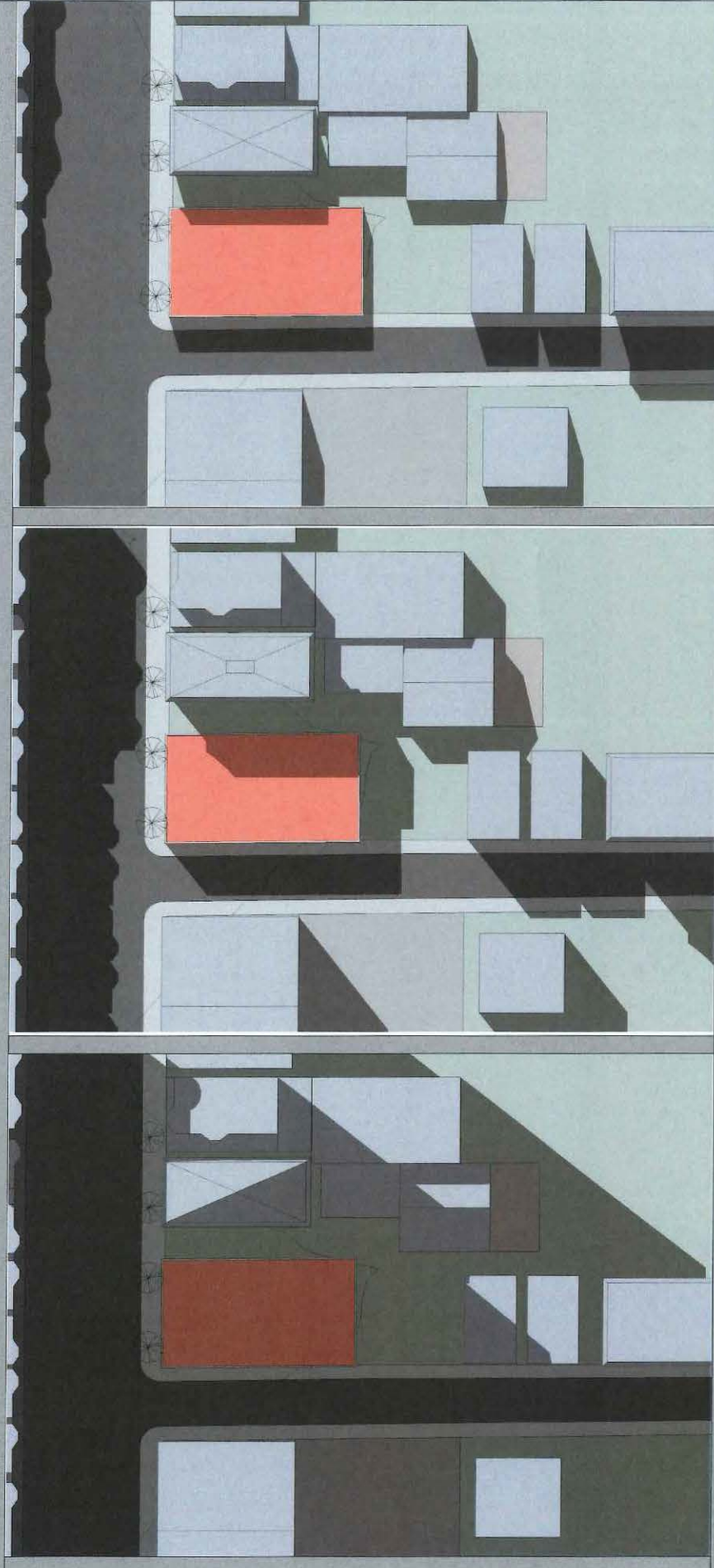
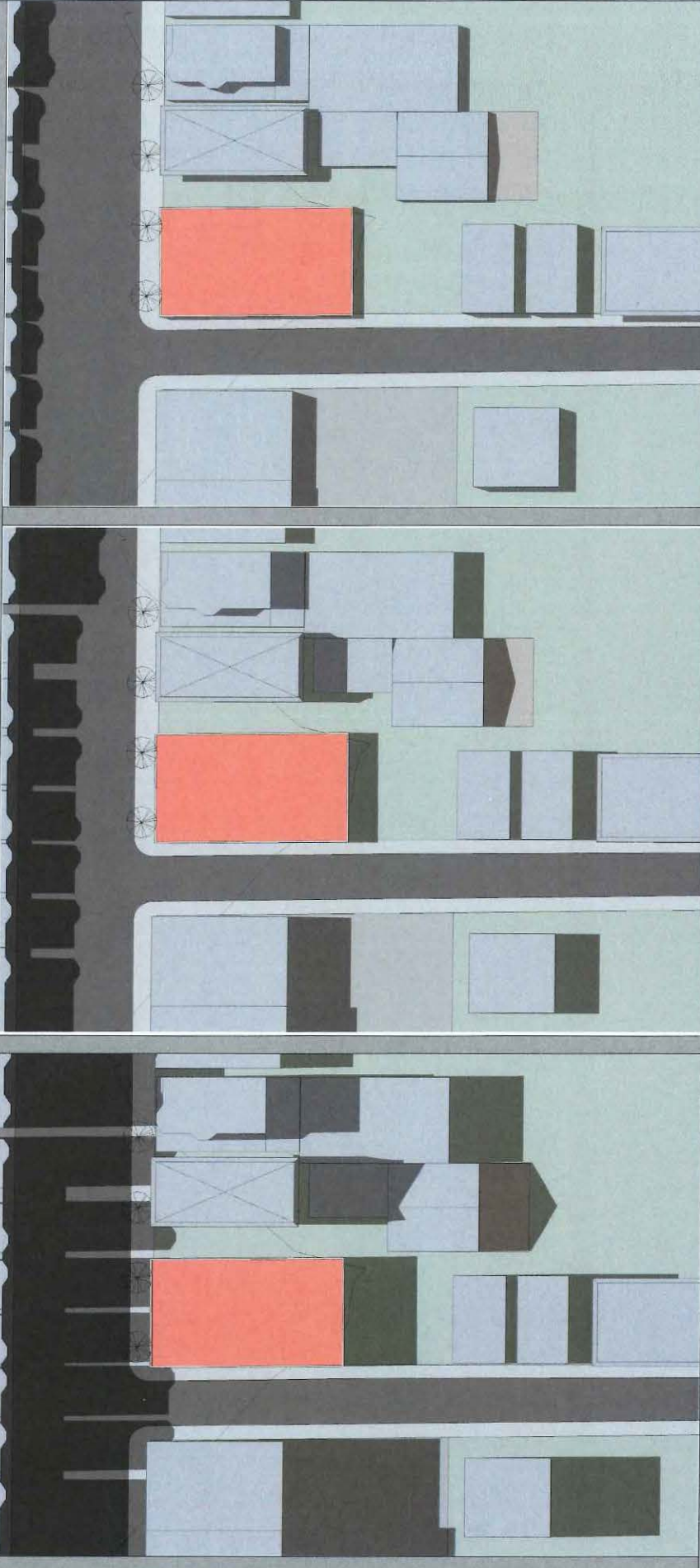
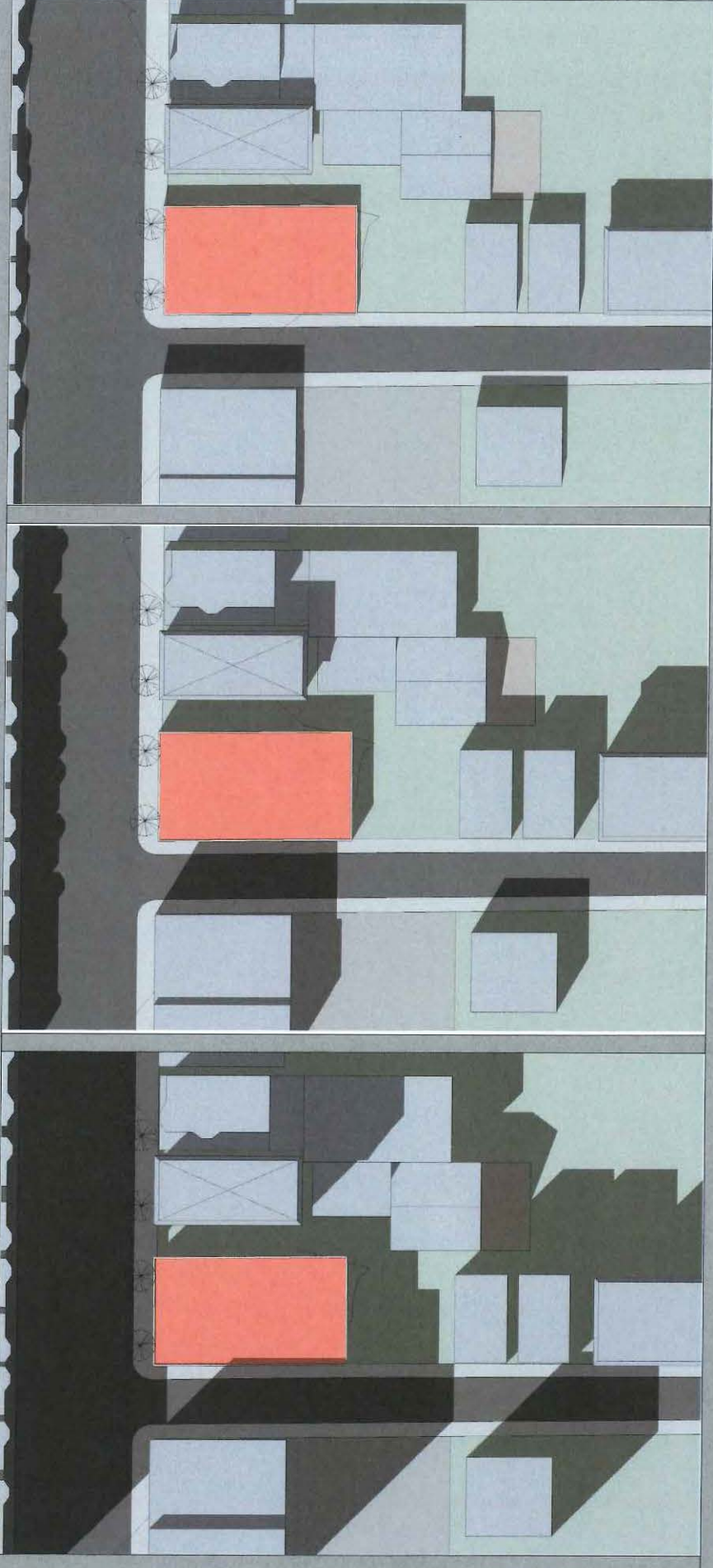
NOON (12 AM-1 PM)

AFTERNOON (3-4 PM)

SUMMER SOLSTICE

FALL / SPRING EQUINOX


WINTER SOLSTICE



PROJECT NAME
**Cambridge @
Marion Residences**

PROJECT ADDRESS
747 CAMBRIDGE ST
CAMBRIDGE MA

CLIENT
**747 CAMBRIDGE
STREET, LLC**

ARCHITECT

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REVISIONS		
No.	Description	Date

Existing Shadow
Study

SS-2
Cambridge @ Marion Residences

* * * * *

(10:52 p.m.)

Sitting Members: Constantine Alexander, Brendan Sullivan,
Janet Green, Andrea A. Hickey, Jim
Monteverde

CONSTANTINE ALEXANDER: The Chair will now call
Case Number 017160 -- 747 Cambridge Street. Obviously,
there is known here, other than John, wishing to be heard on
this matter? And there is a request for a continuance, I
think, but there's also opposition.

And the people who are opposing have a different
continued date than the petitioner has requested.

And I think under the circumstances it's only
equitable if we continue the case to a later date requested
by the abutter, who was in opposition.

I would note, by the way, that there's substantial
opposition to the relief being sought in the first place,
including opposition from the Planning Board, at least from
what I've seen.

So on the basis of these -- the Chair moves that
we grant -- that we continue this case as a case not heard
until the first hearing date in December, which is the date

1 they first --

2 SISIA DAGLIAN: The first and only December 12?

3 CONSTANTINE ALEXANDER: That'll be it. December
4 12 at 7:00 p.m., on the condition that the petitioner --
5 he's already signed a waiver of time for decision it seems
6 already. Yeah. On the condition that:

7 One, the petitioner posts a new sign or a modified
8 sign reflecting the new date, December 12; the new time,
9 7:00 p.m.; and that the sign be maintained for the 14 days
10 required by our ordinance.

11 And second -- and this is important -- this should
12 be communicated. It says here, "Have Maria communicate it
13 to the petitioner." That's the extent that the petitioner
14 wants to submit, modify or new or additional plans,
15 dimensional forms and the like. They must be in our file no
16 longer than 5:00 p.m. on the Monday before December 12.

17 All those in favor, please say, "Aye."

18 THE BOARD: Aye. [All vote in favor]

19 CONSTANTINE ALEXANDER: Five in favor, case
20 continued.

21 [10:54 pm. End of proceedings.]

22

Please join us for a site visit and informal neighborhood discussion

To meet the local developer and discuss his potential
new mixed-use development at
747 Cambridge Street, Cambridge
(*current site of the Polish American Citizens
Association Club, which will remain with space in the
new development*)

Wednesday, December 4th, 2019

6:00 PM - 8:00 PM

At

**Kennedy/Longfellow school
158 spring Street**

Hosted by

**Ed Doherty
747 Cambridge Street, LLC**

**Kindly please RSVP with your name and address to:
Liz Swensen (lswensen@kemscorp.com) or at 781-842-2996**

never received by the direct abutters
LC

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES
2019 NOV 26 A 10:50

211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

1. The first part of the report is a review of the literature on the topic of the study. This part of the report is divided into two sections: a review of the literature on the topic of the study and a review of the literature on the topic of the study.

2. The second part of the report is a description of the methodology used in the study. This part of the report is divided into two sections: a description of the methodology used in the study and a description of the methodology used in the study.

3. The third part of the report is a description of the results of the study. This part of the report is divided into two sections: a description of the results of the study and a description of the results of the study.

4. The fourth part of the report is a discussion of the results of the study. This part of the report is divided into two sections: a discussion of the results of the study and a discussion of the results of the study.

5. The fifth part of the report is a conclusion of the study. This part of the report is divided into two sections: a conclusion of the study and a conclusion of the study.

6. The sixth part of the report is a list of references. This part of the report is divided into two sections: a list of references and a list of references.

December 12, 2019

Polish American Citizens Association of Cambridge
747 Cambridge Street,
Cambridge, MA 02141

Re: 747 Cambridge Street, Cambridge, MA ("Property")

Dear City of Cambridge Zoning Board;

We have terminated our prior Agreements with KEMS Holding Corporation ("KEMS") and have a signed new Purchase & Sale Agreement ("New Agreement ") dated December 11, 2019 to sell the property to KEMS on January 14, 2020.

Within the New Agreement we will be allowed to remain in the property rent free until KEMS needs to cut and cap utilities for construction (a minimum of 5 months). KEMS will give us 14-day notice to vacate the Property.

Once we vacate the Property. We will close the club at this location forever.

Sincerely,

SELLER: Polish American Citizens Association of Cambridge

By: *Tammy Darling (Treasurer of PACA)* dotloop verified
12/12/19 12:58 PM EST
DENU-XEGN-3N7N-GHKW

By: *Victor Resendes* dotloop verified
12/12/19 1:23 PM EST
SD3A-WDOT-K5CQ-I8OB



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2019 DEC 13 AM 10:58

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

RE: Case # 017160-2019

Address: 747 Cambridge St,

☐ Owner, ☐ Petitioner, or ☒ Representative: Nicholas Zornio
(Print Name)

Hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: Dec. 12, 2019

Nicholas Zornio
Signature

P R O C E E D I N G S

* * * * *

(7:01 p.m.)

Sitting Members: Constantine Alexander, Brendan Sullivan,
Janet Green, Andrea A. Hickey, and
Jim Monteverde

CONSTANTINE ALEXANDER: The Chair will call this meeting of the Board of Zoning Appeals to order. As is our custom, we will start with continued cases. These are cases that started at an earlier date, and for one reason or another have been continued until tonight, and then we'll turn to our regular agenda. And we have four continued cases tonight.

But before we go to the continued cases, I need to read a statement.

After notifying the Chair, any person may make a video or audio recording of our open sessions, or may transmit the meeting through any media, subject to reasonable requirements that the Chair may impose as to the number, placement and operation of equipment used, so as not to interfere with the conduct of the meeting.

At the beginning of the meeting, the Chair will

1 inform other attendees at that meeting that a recording is
2 being made.

3 And I wish to advise that not only one but at
4 least two recordings are being made, one is being made by
5 our stenographer to assist her in the preparation of the
6 meeting, and by second is by a citizen of the city, who's
7 left his tape recorder on the front desk.

8 Is there anyone else planning to or going to
9 record this meeting? Tape it? Video it? None. Okay. So
10 with that out of the way, I'm going to call the first of the
11 continued cases, I'm going to call the first of the
12 continued cases.

13 The Chair will now call Case Number 017160 -- 747
14 Cambridge Street. Anyone here wishing to be heard on this
15 matter?

16 NICK ZOZULA: The 747 Cambridge one?

17 CONSTANTINE ALEXANDER: Yes.

18 NICK ZOZULA: I will. Good evening.

19 CONSTANTINE ALEXANDER: name and address for the
20 stenographer, please?

21 NICK ZOZULA: Yes, sir.

22 THE REPORTER: Can you spell your name, please?

1 NICK ZOZULA: Good evening Mr. Chair, members of
2 the Board. Attorney Nick Zozula, McDermott, Quilty &
3 Miller. Z-o-z-u-l-a, 28 State Street, Suite 802, Boston,
4 Mass. And we've talked to Evan Stellman -- that's S-t-e-l-
5 l-m-a-n of Kulsa Design at 17 Ivaloo Street, Suite 400 in
6 Somerville.

7 EDWARD DOHERTY: Edward Doherty.

8 CONSTANTINE ALEXANDER: You can bring your chair
9 up --

10 NICK ZOZULA: Yeah, I was going to say.

11 CONSTANTINE ALEXANDER: I don't want to exile you
12 to the back of the room.

13 EDWARD DOHERTY: Edward Doherty, D-o-h-e-r-t-y. I
14 am from Kem's Construction and Development, and we're at 200
15 Broadway in Lynnfield, Massachusetts.

16 CONSTANTINE ALEXANDER: And this case is not going
17 to be heard tonight, as I understand it. Because you've
18 changed your plans?

19 NICK ZOZULA: Actually, Mr. Chair, we haven't
20 changed our plans, we haven't changed our plans, we've
21 changed the usage of the commercial space.

22 CONSTANTINE ALEXANDER: That to me is significant

1 enough, given the interest of the neighborhood in this case
2 --

3 NICK ZOZULA: Okay.

4 CONSTANTINE ALEXANDER: -- that's that the case to
5 have readvertise, to disclose --

6 NICK ZOZULA: Okay.

7 CONSTANTINE ALEXANDER: -- what you're now
8 planning to do.

9 NICK ZOZULA: Okay.

10 CONSTANTINE ALEXANDER: And we'll continue this
11 case --

12 NICK ZOZULA: Okay.

13 CONSTANTINE ALEXANDER: -- so you don't lose any
14 rights.

15 NICK ZOZULA: Okay.

16 CONSTANTINE ALEXANDER: But presumably, almost
17 assuredly, your new case, if we can do it quickly enough,
18 will be heard before we would ever pick up the continued
19 case again.

20 And most likely it will be -- the continued case
21 will be quickly withdrawn, because I think it'll go up or
22 down with regard to the new case you're hearing.

1 NICK ZOZULA: Okay. So if I may understand
2 correctly --

3 CONSTANTINE ALEXANDER: Sure.

4 NICK ZOZULA: You're saying we should be -- you've
5 -- all we're changing is the previous utilization of the --

6 CONSTANTINE ALEXANDER: That's significant enough
7 --

8 NICK ZOZULA: -- under the circumstances --

9 CONSTANTINE ALEXANDER: -- okay.

10 NICK ZOZULA: Okay.

11 CONSTANTINE ALEXANDER: -- that that requires a
12 new advertisement, so the public is aware of what you're
13 planning to do now.

14 NICK ZOZULA: Okay, understood. If I may, because
15 we're still on the record, I'd like to just submit a letter
16 from the -- I don't know if it's gotten to you or not, but I
17 will submit it.

18 It's a letter that's from the current owner of the
19 property, the Polish-American Citizen's Club, who has
20 recently agreed to no longer remain on the property as part
21 of the new development.

22 I don't know if it was submitted or not, so I'd

1 like to submit it now.

2 CONSTANTINE ALEXANDER: Last I knew, it was not.

3 NICK ZOZULA: Okay.

4 CONSTANTINE ALEXANDER: I'm not sure how relevant
5 it is, but that's fine. I'll put it in the file.

6 NICK ZOZULA: It's relevant, because that's why
7 we're making the change to the --

8 CONSTANTINE ALEXANDER: Oh, I understand that.

9 NICK ZOZULA: -- ground-floor space. I also have
10 letters of support, but I will keep them for the next
11 hearing.

12 JANET GREEN: Is this a case heard or not?

13 CONSTANTINE ALEXANDER: No.

14 JANET GREEN: No.

15 CONSTANTINE ALEXANDER: This is not a case heard.
16 And I'm trying diligently not to have it heard tonight.
17 Okay, I'm going to suggest we continue this case until late
18 March, early April.

19 Again, this case is not going to be the
20 dispositive case.

21 NICK ZOZULA: Understood.

22 CONSTANTINE ALEXANDER: It's the new one. And

1 that one --

2 NICK ZOZULA: So.

3 CONSTANTINE ALEXANDER: -- will be heard much
4 quicker, depending on how quickly that your new
5 advertisement is.

6 NICK ZOZULA: So refile with a new application?

7 CONSTANTINE ALEXANDER: Yes.

8 NICK ZOZULA: And then the deferred matter would
9 be withdrawn?

10 CONSTANTINE ALEXANDER: Well, after we did some --
11 I don't think you want to withdraw it?

12 NICK ZOZULA: Correct.

13 CONSTANTINE ALEXANDER: After we hear the new
14 case.

15 NICK ZOZULA: Okay.

16 CONSTANTINE ALEXANDER: And then, depending on how
17 the new case goes, you can withdraw this case when we do
18 hear it.

19 NICK ZOZULA: So even though nothing structurally
20 is structurally is changing in the building, the relief we
21 require isn't changing?

22 CONSTANTINE ALEXANDER: No. I mean, it's a fair

1 point, but in my opinion -- I don't know if other members of
2 the Board feel differently -- I think given the neighborhood
3 interest in this case, I think it --

4 NICK ZOZULA: Okay.

5 CONSTANTINE ALEXANDER: -- behooves you as well as
6 us to have a more -- a better advertisement than you have
7 right now, given the new change in plans.

8 NICK ZOZULA: Okay. I mean, I suppose we defer to
9 the Board on that, but, you know, again, the decision for
10 the usage of that ground-floor space was made in concert and
11 in response to the feedback of the neighborhood. But you
12 know --

13 EDWARD DOHERTY: And that is the only change --

14 NICK ZOZULA: That is the only change.

15 CONSTANTINE ALEXANDER: You tell the world in your
16 advertisement that you were going to do -- your words -- to
17 get --

18 NICK ZOZULA: Because the advertisement said the
19 use was being used a certain way.

20 CONSTANTINE ALEXANDER: Yeah. And insisting you
21 were going to improve --

22 NICK ZOZULA: Whereas if it said it was a

1 commercial use, vanilla -- is unable to.

2 EDWARD DOHERTY: Okay.

3 NICK ZOZULA: It was the specificity of the
4 advertisement is what the issue is.

5 CONSTANTINE ALEXANDER: Yeah, yeah.

6 NICK ZOZULA: Okay, well that's on us for being
7 too specific then, I suppose.

8 CONSTANTINE ALEXANDER: Well.

9 NICK ZOZULA: Understood. So we will work with
10 the city to --

11 CONSTANTINE ALEXANDER: Yeah, start all over
12 again. I think you should have -- case when you started
13 this case.

14 NICK ZOZULA: Okay. Everything is ready, it's
15 just going to be work. Okay. Understood.

16 CONSTANTINE ALEXANDER: Okay. I'm going to
17 suggest -- what is the first session?

18 NICK ZOZULA: April?

19 CONSTANTINE ALEXANDER: Yeah.

20 NICK ZOZULA: April 16?

21 CONSTANTINE ALEXANDER: Sixteenth? Okay. The
22 Chair moves that we continue this case to 7:00 p.m. on April

1 16 as a case not heard, subject to the following conditions:

2 One, that with regard to this case, the petitioner
3 will sign a waiver of time for decision.

4 Two, you have to put up a new posting sign or
5 revise the one you have now, so that 14 days before April
6 16, that sign is posted, reflecting the new date, April 16,
7 and the new time.

8 And then lastly, to the extent that you have new
9 or different plans from what is now in the file for this
10 case, they must -- the newer revised plans must be submitted
11 to the file, no longer 5:00 p.m. on the Monday before April
12 16 hearing deficits. All those in favor?

13 BRENDAN SULLIVAN: Do you want to --

14 CONSTANTINE ALEXANDER: I'm sorry?

15 BRENDAN SULLIVAN: Do you want to ask for any
16 public comment on the continuation at all, or --?

17 CONSTANTINE ALEXANDER: I'd rather not get into
18 it.

19 BRENDAN SULLIVAN: Okay.

20 CONSTANTINE ALEXANDER: But I don't know anybody
21 with -- it's a suggestion. Anybody here wish to comment on
22 the continuance? Not on the merits of the case, just the

1 continuance? Apparently not? I don't see any hands up.

2 BRENDAN SULLIVAN: Okay, good.

3 CONSTANTINE ALEXANDER: Fair enough. Okay. All
4 those in favor of continuing the case on the basis I
5 mentioned --

6 THE BOARD: Aye.

7 [All vote YES]

8 CONSTANTINE ALEXANDER: Five in favor, case
9 continued. We'll see you presumably earlier than April 16,
10 and then for at least April 16.

11 NICK ZOZULA: We'll work with staff to figure that
12 out.

13 CONSTANTINE ALEXANDER: Good.

14 NICK ZOZULA: Thank you for your time.

15 CONSTANTINE ALEXANDER: Thank you.
16
17
18
19
20
21
22



CITY OF CAMBRIDGE

Community Development Department

IRAM FAROOQ
*Assistant City Manager for
Community Development*

November 19, 2019

To: The Board of Zoning Appeal

SANDRA CLARKE
*Deputy Director
Chief of Administration*

From: CDD staff to the Planning Board

KHALIL MOGASSABI
*Deputy Director
Chief of Planning*

RE: BZA 017160-2019 – 747 Cambridge Street (REVISED)

The Planning Board reviewed and commented on the original plans dated 7/19/19. The applicant requested a continuance to address those concerns.

Community Development staff to the Planning Board met with the applicant and architect and find that the issues in the original comments dated 9/6/19 have been resolved for the most part. The revised plans were forwarded to the Planning Board who declined to review the new materials at a public meeting, agreeing with the CDD staff.

The staff does suggest that further analysis be done for duplex unit labeled #2, as there is no bathroom access for the second-floor bedroom. There is also concern that the exterior access to the upper floors is via open decks which is exposed to weather, for example snow and rain.

747 Camb St

Petitioner

36-111
FREITAS, JOSE R. & ZELIA C. FREITAS, TR.
24 JEFFERSON ST
CAMBRIDGE, MA 02141

36-112
REGO, JOSE R. & MARIA R. REGO TRUSTEES,
THE REGO FAMILY TRUST
20 JEFFERSON ST
CAMBRIDGE, MA 02141

KEMS HOLDING CORPORATION
C/O ED DOHERTY
200 BROADWAY - SUITE 103
LYNNFIELD, MA 01940

36-116
POLISH AMERICAN CITIZENS ASSOCIATION
OF CAMBRIDGE &
CITY OF CAMBRIDGE TAX TITLE
747 CAMBRIDGE ST
CAMBRIDGE, MA 02141

36-117
DILANDO, NANCY MARY &
LAWRENCE F. CLINTON
757 CAMBRIDGE ST
CAMBRIDGE, MA 02141

36-118
761 CAMBRIDGE STREET, LLC
47 IRMA AVE
WATERTOWN, MA 02472

36-198
DIBIASE, FELICIA
17 MARION ST
CAMBRIDGE, MA 02141

36-199
DIBIASE, GIRO, JR. & FELICIA DIBIASE
12 CHURCHILL RD
WINCHESTER, MA 01890

36-236
SAUER, JAMES W. & MAUREEN V. SAUER
14 MARION STREET
CAMBRIDGE, MA 02141

36-247
CITY OF CAMBRIDGE
C/O NANCY GLOWA
CITY SOLICITOR

36-247
CAMBRIDGE CITY OF COMM DEV
57 INMAN ST
CAMBRIDGE, MA 02141

36-247
CITY OF CAMBRIDGE
C/O LOUIS DePASQUALE
CITY MANAGER

37-13-14
DIBIASE, GIRO & ELIZABETH DIBIASE,
TRS., NOMINEE TRUST
26 GIRARD RD.
WINCHESTER, MA 01890

36-113
PONDELLI, ALBERT J. & LUCIA Y. PONDELLI,
TRS. OF THE MARION TRUST
56 GILMAN STREET
SOMERVILLE, MA 02145

37-15
MOREIRA, LISA & MANUEL MOREIRA
TRUSTEE OF LMCM REAL ESTATE TRUST
7 PEPPER HILL DR.
WINCHESTER, MA 01890

37-17
MEDEIROS, ANTONIO & MICHAEL VITAL,
JOAO CARVALHO, TR. OF THE JAM REALTY TR.
732 CAMBRIDGE ST
CAMBRIDGE, MA 02141

37-18
BERGANTINO, ANGELO A. & PAULINE M.
TRS REALTY TRUST
20 LANSDOWNE RD
ARLINGTON, MA 02474

36-249
BARROS, MANUEL S. & MARIA T. BARROS,
TRS. OF M & M BARROS REALTY TRUST
4 MARION STREET
CAMBRIDGE, MA 02141

37-19
DIDOMENICO, SALVATORE &
MARIE DIDOMENICO TRS
716 CAMBRIDGE STREET
CAMBRIDGE, MA 02141

36-237
AUBOURG, MARIE I.
16 MARION ST
CAMBRIDGE, MA 02141

37-12
MAIL, RANDI
146 BERKSHIRE ST., UNIT #3
CAMBRIDGE, MA 02141

37-12
MILLER, LAUREN M.
146 BERKSHIRE ST. UNIT#2
CAMBRIDGE, MA 02141

37-114
CENTRAL BAKERY, INC.
732 CAMBRIDGE ST.
CAMBRIDGE, MA 02141

37-12
HERNANDEZ, GUSTAVO
146 BERKSHIRE ST. UNIT#1
CAMBRIDGE, MA 02141

37-12
MEDRANO, ELVIS
6 MIDDLESEX CANAL PARK
WOBURN, MA 01801

37-12
BECHO, BZUMINA
770 CAMBRIDGE ST
CAMBRIDGE, MA 02141

37-12
BERZANSKIS, AUDRIUS
764 CAMBRIDGE STREET, UNIT #8
CAMBRIDGE, MA 02141

37-12
POEHLMAN, KRISTY & LARISSA POLLARD
764 CAMBRIDGE ST., #764/7
CAMBRIDGE, MA 02141

37-12
SUTTON, BRYAN
764 CAMBRIDGE ST., #6
CAMBRIDGE, MA 02141

37-12
BENZ, MARCEL & LAUREN BENZ
764 CAMBRIDGE ST., UNIT #5
CAMBRIDGE, MA 02138

747 Camb St.

37-12
LACY, BROCK T. & CYNTHIA M. POLLARD
4469 MARIGOLD DR.
CHINO, CA 91710

37-12
MCCLENDON, CHRISTOPHER LEE TING YING WU
MCCLENDON
764 CAMBRIDGE ST., #764/3
CAMBRIDGE, MA 02141

37-12
YACCATO, KARIN J.
764 CAMBRIDGE ST. UNIT#2
CAMBRIDGE, MA 02141

37-12
WILLIAMS, ROBERTA L. & CAROL MILLER STINE
764 CAMBRIDGE ST., UNIT #1
CAMBRIDGE, MA 02141

37-12
LIN, BEVIN
152 BERKSHIRE ST., #152/6
CAMBRIDGE, MA 02141

37-12
FEDERAL NATIONAL MORTGAGE ASSOCIATION
1900 MARKET ST. SUITE 800
PHILADELPHIA, MA 19103

37-12
BEAUBIEN, SIMONE
152 BERKSHIRE ST., UNIT #4
CAMBRIDGE, MA 02141

37-12
ANDERSON, RICHARD STANLEY & HEIDI
WINSTON ALLISON TRU OF FLAMMIA FAM
152 BERKSHIRE ST. UNIT#3
CAMBRIDGE, MA 02141

37-12
GATELY, JOSHUA J. & HEATHER M. SWEENEY
152 BERKSHIRE STREET, UNIT #2
CAMBRIDGE, MA 02141

37-12
SPARROW, JANE,
A LIFE ESTATE THE SPARROW FAM IREV TRUST
152 BERKSHIRE ST. UNIT 1
CAMBRIDGE, MA 02141

37-12
SMITH, CHRISTA
C/O CHRISTA S. SHARMA
150 BERKSHIRE ST. UNIT#1
CAMBRIDGE, MA 02141

37-12
HANEY, BLAIR T.
148 BERKSHIRE STREET, UNIT 148-8
CAMBRIDGE, MA 02141

37-12
VANDEVER, KATHRYN G.
146 BERKSHIRE ST., #7
CAMBRIDGE, MA 02141

37-12
VAN MIDDLESWORTH, REX & DIANE UMSTEAD
1201 CLAIRE AVE
AUSTIN, TX 78703

37-12
SHIMANOVSKAYA, VERONICA A.
148 BERKSHIRE ST #5
CAMBRIDGE, MA 02141

37-12
BENEDICT, RACHEL A.
146 BERKSHIRE ST., #148/4
CAMBRIDGE, MA 02141

37-12
DAVE, PRATIK K.
148 BERKSHIRE ST., #3
CAMBRIDGE, MA 02141

37-12
MALAVER, PEDRO J.
148 BERKSHIRE ST., UNIT #2
CAMBRIDGE, MA 02141

37-12
PURCHON, SUSAN F.
146 BERKSHIRE ST., #148/1
CAMBRIDGE, MA 02141

37-12
HILL, LENORE
21 VILLAGE ST.
SOMERVILLE, MA 02143

CITY OF CAMBRIDGE

Massachusetts
BOARD OF ZONING APPEAL
831 Mass Avenue, Cambridge, MA.
617) 349-6100

April 15, 2020

Kems Holding Corporation
C/o Ed Doherty
200 Broadway, Suite 103
Lynnfield, MA 01940

RE: 747 Cambridge Street – BZA-017160-2019

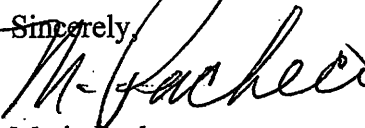
Dear Mr. Doherty,

I am writing to you in regard to your above up-coming Board of Zoning Appeal Hearing.

At this time the City will not be holding any non-essential public meetings due to the COVID-19 Pandemic and the City Manager's closure of all City buildings to non-essential business. On April 3, 2020, the Governor signed into law Chapter 53 of the Acts of 2020 ("Act"), which extends all land use permitting deadlines until after the State of Emergency is lifted. In light of the extensions provided for in the Act and the closure of City buildings, at this time the Board of Zoning Appeal will be rescheduling all public hearings in accordance with the extensions permitted under the Act. You will receive notice of the new date, once the hearing is rescheduled.

Thank you for your patience and understanding during this unprecedented time.

Sincerely,



Maria Pacheco
Administrative Assistant

BZA APPLICATION FORM

CHECK LIST

PROPERTY LOCATION: 747 Cambridge Street DATE: June 10, 2019

PETITIONER OR REPRESENTATIVE: 747 Cambridge Street, LLC

ADDRESS & PHONE: c/o Kems Holding Corporation, 200 Broadway Suite 103, Lynnfield, MA 01940
edoherty@kemsCorp.com; Mobile: (978) 360-9558

BLOCK: 36 LOT: 116

PLEASE CHECK THAT YOU HAVE INCLUDED THE FOLLOWING WITH YOUR APPLICATION. APPLICATIONS WILL NOT BE ACCEPTED FOR PROCESSING & SCHEDULING UNLESS ALL REQUIRED DOCUMENTS ARE PROVIDED.

PLEASE INCLUDE THIS CHECKLIST WITH YOUR APPLICATION.
ALL DOCUMENTS ARE TO BE TYPED OR WRITTEN LEGIBLY.

<u>DOCUMENTS</u>	<u>REQUIRED</u>	<u>ENCLOSED</u>
Application Form	<u>X</u>	<u>X</u>
3 Forms with Original Signatures		
Supporting Statements - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Application Fee (You will receive invoice online)	<u>X</u>	<u></u>
Assessor's GIS "Block Map" (Available on line or At Engineering Dept. - 147 Hampshire Street)	<u>X</u>	<u>X</u>
Dimensional Form - Refer to Cambridge Zoning Ordinance - Scanned & 1 set to Zoning (Subject to further review by Zoning Specialist)	<u>X</u>	<u>X</u>
Ownership Certificate, Notarized - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Floor Plans - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Elevations - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Certified Plot Plan - Scanned & 1 set to Zoning (By Registered Land Surveyor)	<u>X</u>	<u>X</u>
Photographs of Property - Scanned & 1 set to Zoning	<u>X</u>	<u>X</u>
Parking Plan (if relevant to your application) Scanned & 1 set to Zoning	<u>N/A</u>	<u>N/A</u>
<u>FOR SUBDIVISION ALSO INCLUDE:</u> Scanned & 1 set to Zoning		
Proposed Deeds	<u>N/A</u>	<u></u>
Evidence of Separate Utilities **	<u>N/A</u>	<u></u>
Proposed Subdivision Plan	<u>N/A</u>	<u></u>

Petitioners are advised to refer to Attachment A (Procedures for applying to the Board of Zoning Appeal) & consult zoning staff for review.

It is advisable for the Petitioner to discuss the petition with the abutters as listed in the Zoning BZA Case file.

* For Special Permits under Art. 4.32.G.1 (Communication Towers and Antennas), include a photo simulation.

** Can be submitted after subdivision has been approved.

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: X Appeal: _____

PETITIONER: 747 Cambridge Street, LLC

PETITIONER'S ADDRESS: c/o Kems Holding Corporation, 200 Broadway Suite 103, Lynnfield, MA 01940

LOCATION OF PROPERTY: 747 Cambridge Street

TYPE OF OCCUPANCY: Mixed-Use ZONING DISTRICT: Located in 2 zoning districts: the front 100 feet is located in the BA Zone (Business A) and the rear 24 feet is located in the C-1 Zone (Residence C-1)

REASON FOR PETITION:

<input type="checkbox"/> Additions	<input checked="" type="checkbox"/> New Structure
<input type="checkbox"/> Change in Use/Occupancy	<input type="checkbox"/> Parking
<input type="checkbox"/> Conversion to Addi'l Dwelling Unit's	<input type="checkbox"/> Sign
<input type="checkbox"/> Dormer	<input type="checkbox"/> Subdivision
<input type="checkbox"/> Other: _____	

DESCRIPTION OF PETITIONER'S PROPOSAL:

Construct a new, mixed-use building, including improved ground floor space for the existing Polish Club of approximately 1,500 square feet (and with 700 square feet of basement storage) and nine (9) residential units on the upper floors (all as two-bedroom, two-bath units), along with nine (9) on-site parking spaces, in an appropriately-designed building with related improvements in site design, open space and pedestrian access. The proposed project also includes nine (9) garaged bicycle parking spaces and proposes a voluntary income restricted dwelling unit as part of the Developer's request for zoning relief.

SECTIONS OF ZONING ORDINANCE CITED:

Article 5 Section 27.2 - Floor Area Ratio
Article 5 Section 24 - Front Yard Setback and Side Yard Setback
Article 6 Section 34 and 35.1 - Parking Space Size Allocation and Reduction of Required Parking

Applicants for a **Variance** must complete Pages 1-5

Applicants for a **Special Permit** must complete Pages 1-4 and 6

Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s):


(Petitioner(s)/Owner)

Ed Doherty

(Print Name)

Address: 747 Cambridge Street, LLC c/o Kems Holding Corporation
200 Broadway Suite 103
Lynnfield, MA 01940

Tel. No.: (978) 360-9558

E-Mail Address: edoherty@kemscorp.com

Date:

7-17-19

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Polish-American Citizens' Association of Cambridge, Inc.
(OWNER)

Address: 747 Cambridge Street, Cambridge, MA 02141

State that I/We own the property located at 747 Cambridge Street,
which is the subject of this zoning application.

The record title of this property is in the name of _____
Polish-American Citizens' Association of Cambridge, Inc.

*Pursuant to a deed of duly recorded in the date August 24, 1956, Middlesex South
County Registry of Deeds at Book 08798, Page 1; or
and 7445 163
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.


SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of MIDDLESEX

The above-name TAMMY L. DARLING personally appeared before me,
this 19 of JUNE, 2019, and made oath that the above statement is true.

MDL 568671596

Robert Sweeney

My commission expires 1-24-2025 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, deed, or inheritance, please include documentation.

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.


I/We Polish-American Citizens' Association of Cambridge, Inc.
(OWNER)

Address: 747 Cambridge Street, Cambridge, MA 02141

State that I/We own the property located at 747 Cambridge Street,
which is the subject of this zoning application.

The record title of this property is in the name of _____
Polish-American Citizens' Association of Cambridge, Inc.

*Pursuant to a deed of duly recorded in the date August 24, 1956, Middlesex South
County Registry of Deeds at Book 08798, Page 1; or
and 7445 163
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

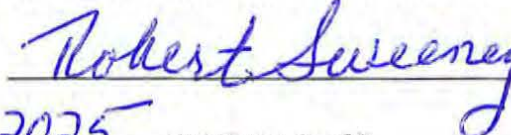

SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of MIDDLESEX

The above-name VICTOR RESENDES personally appeared before me,
this 19 of JUNE, 2019, and made oath that the above statement is true.

PASSPORT
560169031


Notary

My commission expires 1-24-2025 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, deed, or inheritance, please include documentation.



BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: 747 Cambridge Street, LLC **PRESENT USE/OCCUPANCY:** Fraternal Organization
LOCATION: 747 Cambridge Street **ZONE:** Front 100 Feet BA; Rear 24 Feet C-1
PHONE: (978) 360-9558 **REQUESTED USE/OCCUPANCY:** Mixed-Use Residential/Commercial

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
TOTAL GROSS FLOOR AREA:	<u>4,080 SF</u>	<u>11,451 SF</u>	<u>8,525 SF</u> (max.)
LOT AREA:	<u>6,200 SF</u>	<u>6,200 SF</u>	<u>5,000 SF</u> (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>0.66</u>	<u>1.84</u>	<u>1.375 (combined)</u> (max.)
LOT AREA FOR EACH DWELLING UNIT:	<u>N/A</u>	<u>9 D/U</u>	<u>9.1 D/U</u> (min.)
SIZE OF LOT:			
WIDTH	<u>50'</u>	<u>50'</u>	<u>50'</u> (min.)
DEPTH	<u>124'</u>	<u>124'</u>	<u>N/A</u>
Setbacks in Feet:	1.7' OVER (MARION) 1.3' OVER (CAMBRIDGE)	MARION: 0' CAMBRIDGE: 0' @ BA, 4.5' @ R	0' FOR BA / 10' FOR R (min.)
FRONT			
REAR	<u>N/A Corner Lot</u>	<u>N/A Corner Lot</u>	<u>N/A Corner Lot</u> (min.)
LEFT SIDE	<u>2.7'</u>	<u>10' @ FRONT MASSING</u> <u>3.5' @ REAR MASSING</u>	<u>11'-8" @ FRONT MASSING</u> <u>11'-5" @ REAR MASSING</u> (min.)
RIGHT SIDE	<u>39.6'</u>	<u>15'</u>	<u>10' 8.5"</u> (min.)
SIZE OF BLDG.:			
HEIGHT	<u>12'</u>	<u>35'</u>	<u>45'</u> (max.)
LENGTH			
WIDTH			
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³	<u>32%</u>	<u>19.7%</u>	<u>14% combined</u> (min.)
NO. OF DWELLING UNITS:	<u>0</u>	<u>9</u>	<u>9.1</u> (max.)
NO. OF PARKING SPACES:	<u>0</u>	<u>9</u>	<u>27</u> (min./max)
NO. OF LOADING AREAS:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

WOOD FRAME CONSTRUCTION. THE GROUND FLOOR OF THE FRONT MASSING (ALONG CAMBRIDGE STREET) WILL BE COMMERCIAL USE FOR THE POLISH CLUB.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

See Attached Exhibit.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

See Attached Exhibit.

- C)** ***DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:***

- 1)** Substantial detriment to the public good for the following reasons:

See Attached Exhibit.

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

See Attached Exhibit.

- *** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.

**BZA APPLICATION FORM
SUPPORTING STATEMENT FOR A VARIANCE**

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the provisions of the Ordinance would involve a substantial financial and architectural hardship to the Appellant. Underutilized for many years as a single-story citizens club in a squat, unappealing brick building, the property site is ideal for infill improvement and revitalization, and for certain enhancements of pedestrian connectivity to the nearby, vibrant business districts and public transportation nodes. In response to the existing conditions, the proposal has been carefully designed and planned as a transit and pedestrian focused development with upgraded connectivity and walkability.

The site itself is located within two zoning districts: the front 100 feet is located in the BA Zone (Business A) and the rear 24 feet is located in the C-1 Zone (Residence C-1); as such, the proposed use as a multifamily residential dwelling is Allowed in both zones. The Business A Zone also Allows the proposed project's renovated Polish-American Citizens' Association of Cambridge, Inc. (the "Polish Club") space as a "club, lodge or other fraternal or sororal meeting facility." Please note, the club use is not situated within the 1,200 square feet of the Project Site located in the C-1 Zone and therefore its use provisions are not applicable.

If the property site was located entirely within the BA Zone, then Section 5.28-1 Dwellings in Non-Residential Districts would be applicable. A dwelling in a Business A district is subject to the same dimensional requirements and other restrictions as a dwelling in a Residence C-2B district. Therefore, the maximum Floor Area Ratio ("FAR") would be increased to 1.75 and the project's proposed FAR of 1.84 would be only a slight deviation from the allowed maximum. This, coupled with the proposed new space for the Polish Club, provides the proponent's rationale for requiring an FAR variance from the Ordinance combined maximum of 1.375. The proponent is proposing to maintain the Polish Club use, an existing long-time use in the community as a fraternal organization, which causes certain difficulties in siting and sizing of the building development in order to provide adequate usable space and proper circulation. The proposed project allows for nine (9) new two-bedroom, two-bathroom units as development without displacement by providing new, modernized space for the Polish Club use.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The substantial hardship is due to the unique location of the property site, which is located on the corner of Cambridge Street and Marion Street in the City's Wellington-Harrington neighborhood. Situated on an approximately 6,200 square foot lot, the existing building is a single story brick building which covers a majority of the Site and is located in two zoning

districts: the front 100 feet is located in the BA Zone (Business A) and the rear 24 feet is located in the C-1 Zone (Residence C-1). This irregularity has caused issues with siting the building in an appropriate manner on the property site without violating the setback requirements. The property location on the corner (as further illustrated in the project drawings and at the Board hearing) presents a practical difficulty in locating the structure of the Allowed Multifamily Residential Use, for the purpose of providing additional quality housing in the neighborhood, and the set-backs required are mitigated by the property site's location and shape, unlike many other nearby properties.

Additionally, the existing building currently encroaches onto the sidewalk at numerous points and the proposed project would greatly improve this existing condition by providing enhancements of pedestrian connectivity as it is carefully designed and planned as a transit and pedestrian focused development with upgraded connectivity and walkability.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

1) Substantial detriment to the public good for the following reasons:

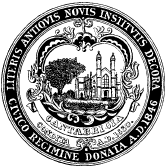
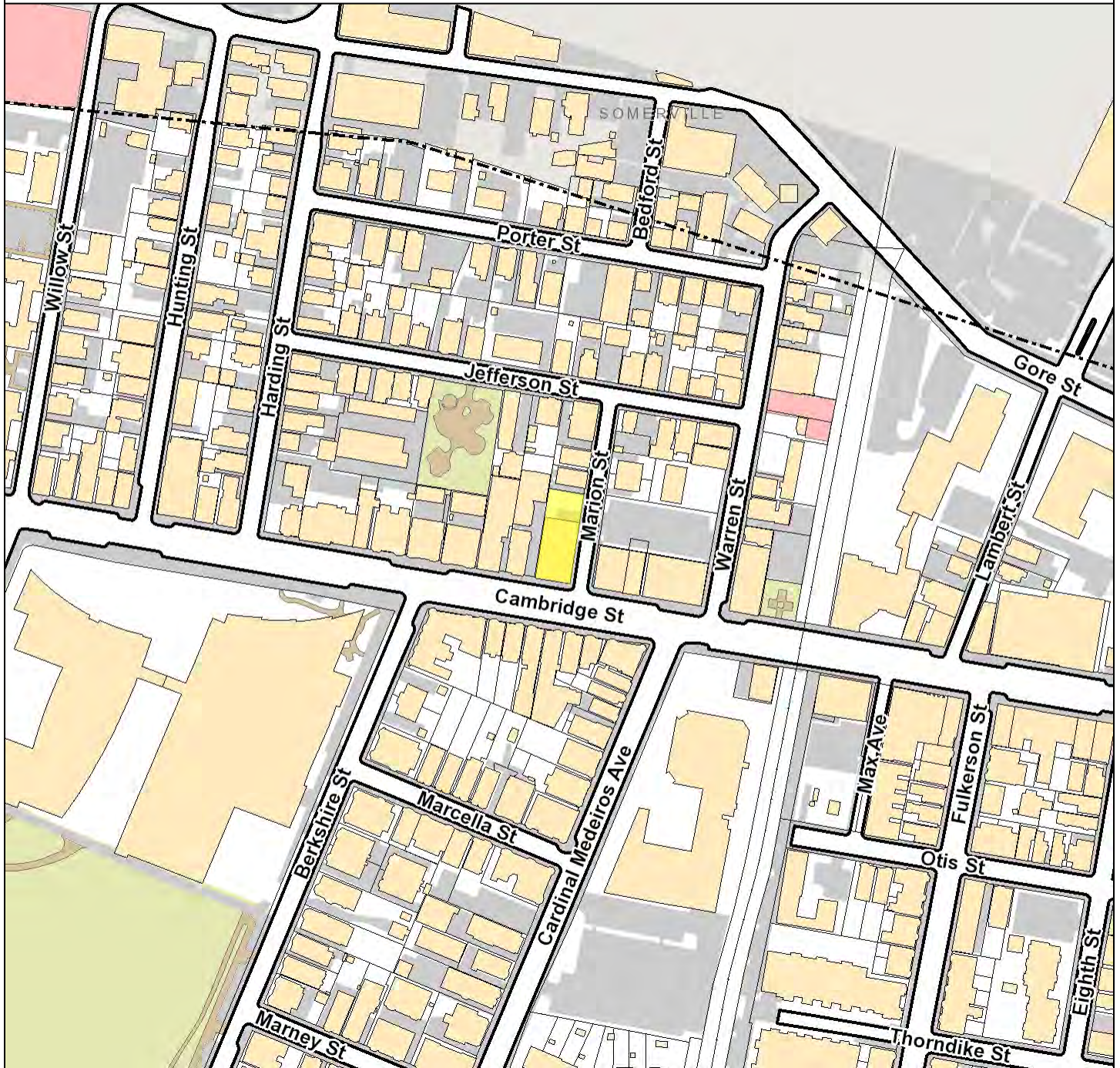
There will be no substantial detriment to the public good as the proposed project has been thoroughly processed with the community and the Appellant's proposed development will result in the much-needed revitalization of an under-utilized, irregularly shaped and unique property site with a new, Allowed Multifamily Residential Use, while also preserving the long-existing Polish Club Use, in a manner which is consistent with, and complementary to, the immediate and surrounding neighborhood. In this regard, the proposed project provides development without displacement by adding nine (9) new residential units while maintaining the Polish Club Use and providing for its long-term economic viability and stability within the community. As part of the proposed mitigation package for the project, and in order to further provide for the public good, the Appellant also proposes to voluntarily provide one (1) of these nine (9) units as affordable housing in conjunction with the City's inclusionary development housing policies.

In furtherance of this particular finding, the Appellant held its own informal abutter meeting on April 22, 2019, at the property site and also presented the proposed project to the East Cambridge Business Association on May 14, 2019, at the Loyal Nine restaurant at 660 Cambridge Street. The Appellant submits that the requested relief is consistent with the character and concerns providing for the public good, as the Appellant has given special attention to the siting, scale, design, and scope of the new structure, open space and vehicular and pedestrian access and neighborhood safety. Additionally, the Ordinance identifies the applicable Residence C-1 Zone as designated for "multifamily dwellings" and the Business A Zone as designated for "local and drive in retail business, offices and multifamily dwellings," which the proposed development contemplates as described within this application.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Relief may be granted without nullifying or substantially derogating from the intent or purpose of the Ordinance in regards to the Appellant's project because its proposed uses are Allowed under the Ordinance and the project's required dimensional relief is mitigated by its location in two (2) different zoning districts despite being only a 6,200 total square foot property. Additionally, as detailed above, if the site was located entirely within the BA Zone, then the maximum FAR would be 1.75 and the project's proposed FAR of 1.84 would be only a slight deviation from the allowed maximum, mostly in order to provide the proposed new space for the Polish Club. The project's required relief for Front Yard Setback and Side Yard Setback are also di minimus in nature as the existing building currently encroaches onto the sidewalk at numerous points and the proposed project would improve this existing condition. The proposed right Side Yard Setback is 15'8", in excess of the required 10'8.5" right Side Yard Setback calculation, while the Front Yard Setbacks at both Cambridge Street and Marion Street (as it is a corner lot) are mitigated by the fact that these setbacks are consistent with the existing street line conformity on a busy commercial street with no material impact on any direct abutters.

Finally, while the proposed project does require zoning relief for both the parking space size allocation and the parking amount, it does provide a one-to-one parking ratio for the residential units and the existing condition for the Polish Club does not provide any on-site parking allotment for patrons. As further mitigation of the on-site parking programming deficiency caused primarily by the lack of parking for the Polish Club Use, the property is located an easy walk directly down Cambridge Street at approximately 0.6 miles from the Lechmere MBTA Green Line Station and MBTA Bus Station providing access to downtown Boston and beyond via the B, C, D, and E train lines and the 69, 80, 87 and 88 buses. It is also located directly across the street from a large public parking lot at the corner of Marion Street and Macarelli Way which provides over 30 public parking spaces available for use by visitors and Polish Club patrons. Lastly, the proposed project provides 10 long term bicycle parking locker spaces and two (2) short term spaces in compliance with the Ordinance.



City of Cambridge
Massachusetts

1" = 204 ft

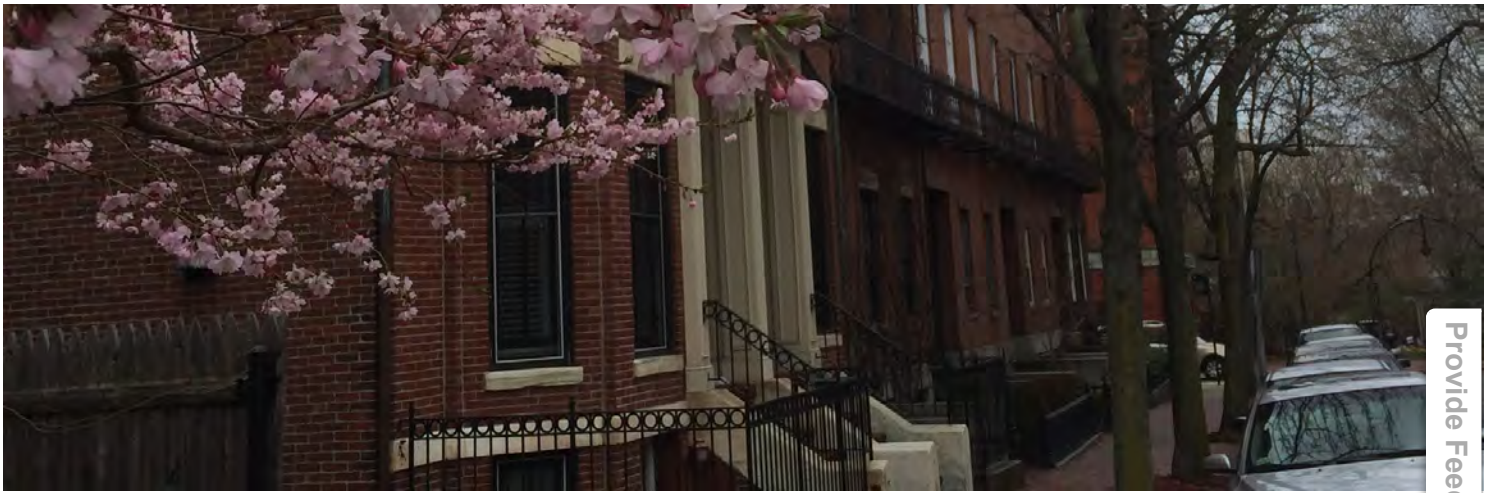
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www.cambridgema.gov/gis



- Rail
- Building Footprints
- Parcels
- Paved Surfaces
 - Paved Roads
 - Bridges
 - Unpaved Roads
 - Unpaved Parking
 - Sidewalks
 - Driveways
 - Alleys
 - Other Paved Surface
 - Public Footpath




[Provide Feedback](#)

747 Cambridge St

Property Information

Property Class	FRAT-ORGANIZ
State Class Code	353
Zoning (Unofficial)	BA
Map/Lot	36-116
Land Area (sq. ft)	6,200

Property Value

Year of Assessment	2019
Tax District	C6
Residential Exemption	No
Building Value	\$161,000
Land Value	\$613,800
Assessed Value	\$774,800
Sale Price	\$0
Book/Page	69167/ 369
Sale Date	April 20, 2017
Previous Assessed Value	\$711,900
Property Tax Amount	\$11,174.35
	This represents the total FY19 Real Estate Tax including the CPA Surcharge, but not including Residential Exemption or other Personal Exemptions deduction.

Owner Information

Photos



Sketches



Owner(s)	POLISH AMERICAN CITIZENS ASSOCIATION OF CAMBRIDGE & CITY OF CAMBRIDGE TAX TITLE 747 CAMBRIDGE ST CAMBRIDGE, MA 02141-1428
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Building Information**COMMERCIAL BUILDING NUMBER 1, SECTION 1****Exterior**

Style	CITY-CLUB
Occupancy	FRAT-ORGANIZ
Number of Stories	1
Exterior Wall Type	CONCR-BLOCK
Roof Material	RUBBER-MEMBRAN
Wall Height	12
Partitions	AVERAGE

Interior

Living Area (sq. ft.)	4,080
Number of Units	1

Systems

Heat Type	STEAM
Heat Fuel	Oil
Plumbing	AVERAGE

Condition & Grade

Year Built	1870
Overall Condition	Fair
Overall Grade	Fair

Subareas

Code	Description	Gross Area	Living Area
BAS	First Floor	4,080	4,080
UBM	Basement	4,080	0
Total:		8,160	4,080


Provide Feedback

Architectural Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date
A-000	Cover Sheet	07/09/2019
C-1	Existing Civil Plan	11/26/2018
C-2	Proposed Civil Plan	07/09/2019
C-3	Civil Details	07/09/2019
C-4	Civil Details	07/09/2019
C-5	Demolition & Erosion Control Plan	07/09/2019
A-020	Architectural Site Plan	07/09/2019
A-021	Bike Parking Plan	07/09/2019
A-022	Area Plans	07/09/2019
A-023	Egress Diagrams	07/09/2019
A-100	1st Floor Plan	07/09/2019
A-101	2nd Floor Plan	07/09/2019
A-102	3rd Floor Plan	07/09/2019
A-103	Proposed Roof Plan	07/09/2019
A-300	Front Elevations	07/09/2019
A-301	Side Elevations	07/09/2019
A-302	Courtyard Elevations	07/09/2019
AV-1	Neighborhood Photos	11/01/2017
AV-2	Perspectives	07/09/2019
AV-3	Rendering	11/03/2017
SS-1	Shadow Study	07/09/2019
SS-2	Existing Shadow Study	07/09/2019



PROJECT NAME
Cambridge @ Marion Residences
PROJECT ADDRESS
747 CAMBRIDGE ST CAMBRIDGE MA
CLIENT
747 CAMBRIDGE STREET, LLC

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

CONSULTANTS:

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REGISTRATION

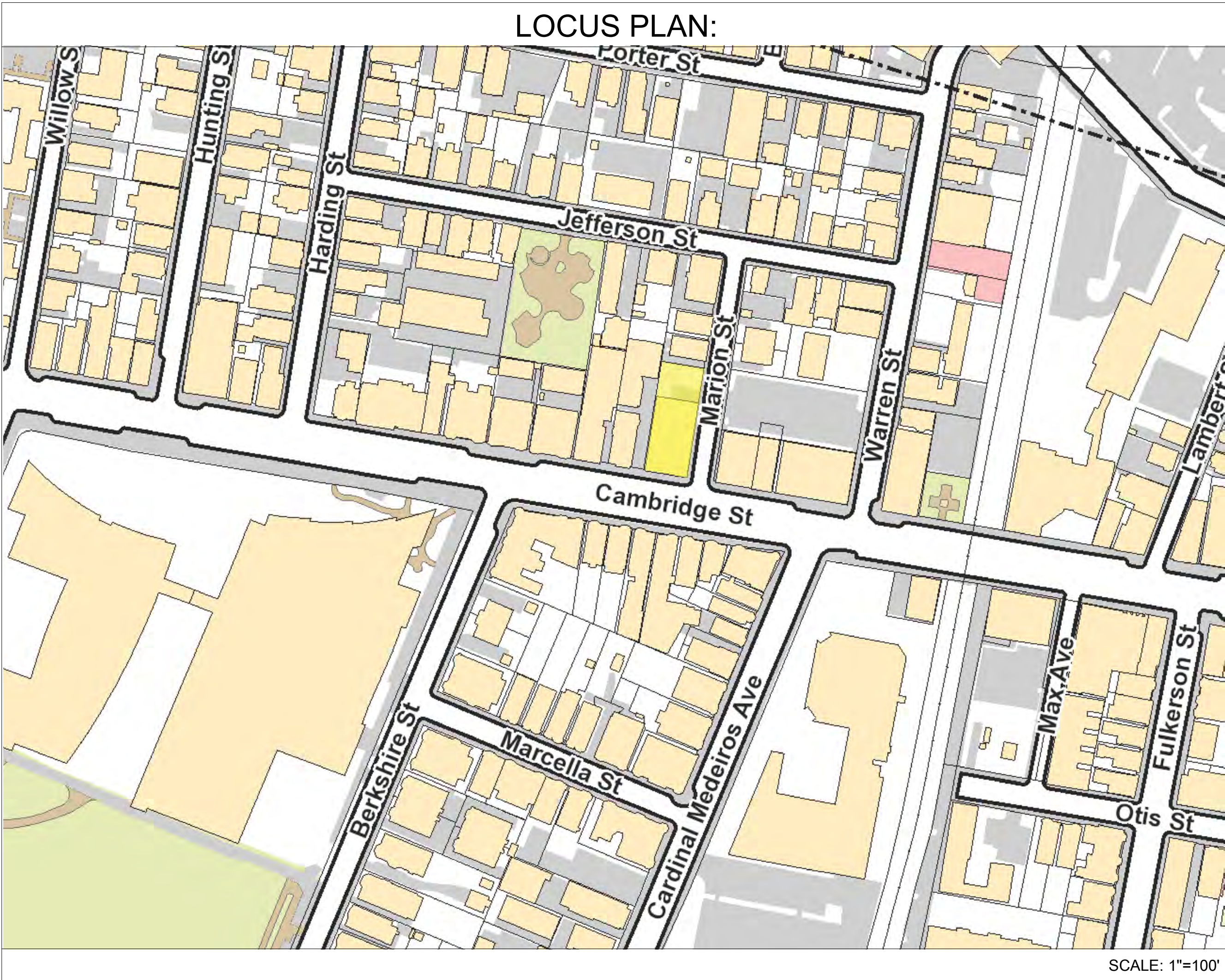
Project number	18141
Date	07/19/2019
Drawn by	ERS
Checked by	JSK
Scale	1" = 100'-0"

REVISIONS		
No.	Description	Date

Cover Sheet

A-000

Cambridge @ Marion Residences



PROJECT:
CAMBRIDGE @ MARION RESIDENCES

747 CAMBRIDGE STREET,
CAMBRIDGE MASSACHUSETTS

ARCHITECT
KHALSA DESIGN INC.
ADDRESS:
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
(617)-591-8682

CIVIL ENGINEER
PETER NOLAN & ASSOCIATES
ADDRESS:
697 CAMBRIDGE STREET, SUITE 103
BRIGHTON, MA 02134
(857)-891-7478

CLIENT
747 CAMBRIDGE STREET, LLC
C/O KEMS HOLDING CORPORATION
200 BROADWAY, SUITE 103
LYNNFIELD MA 01940

CIVIL ENGINEER
SPRUHAN ENGINEERING, P.C.
ADDRESS:
80 JEWETT ST, SUITE 1
NEWTON, MA 02458
(617)-816-0722

BZA SET:
07/09/2019

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11-24-2018.

3. THIS PLAN IS NOT INTENDED TO BE RECORDED.

5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.

6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.

REFER TO ARCHITECTURAL
PLANS FOR ALL ZONING
RELATED INFORMATION

	PROPOSED PERMEABLE PAVERS
	PROPOSED ROOF AREA
	PROPOSED PAVED AREA
	PROPOSED LANDSCAPED AREA

EXISTING ROOF AREA = 3,965.5 S.F.
EXISTING LANDSCAPE AREA = 2,234.5 S.F.

PROPOSED ROOF AREA = 2,742 S.F.
PROPOSED PAVED AREA = 2,757 S.F.
PROPOSED LANDSCAPE AREA = 701 S.F.

TOTAL EXISTING IMPERVIOUS AREA = 3,965.5 S.F.
TOTAL PROPOSED IMPERVIOUS AREA = 5,499 S.F.

TOTAL INCREASE IN IMPERVIOUS AREA = 1,533.5 S.F.

ALL SURFACE WATER RUNOFF SHALL
BE DIRECTED AWAY FROM BUILDING
FOUNDATION AND AWAY FROM
NEIGHBORING PROPERTY

**STONE BOUND
FOUND & HELD**

(PUBLIC WAY - 66' WIDE)

(IN FEET)
1 inch = 10 ft.

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.

2. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS.

3. ALL WORK SHALL CONFORM TO CITY OF CAMBRIDGE GENERAL CONSTRUCTION STANDARDS.

4. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.

5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR.

6. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTRACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.

7. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.

8. NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE WATER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE THE PIPES.

9. PAVEMENT AREA SHALL BE PAVED TO A THICKNESS AS SHOWN ON THE PLANS MEASURED AFTER COMPACTION, WITH A BINDER COURSE AND TOP COURSE OF CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1.

10. BASE MATERIAL SHALL BE CLEAN BANK RUN GRAVEL, CONFORMING TO M.D.P.W. M1.03.1 WITH NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL.

11. ALL EXISTING PAVING TO BE DISTURBED SHALL BE CUT ALONG A STRAIGHT LINE THROUGH ITS ENTIRE THICKNESS. BUTT THE NEW PAVING INTO THE EXISTING PAVEMENT TO REMAIN.

12. ANY PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OR OTHERWISE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH A PAVEMENT SECTION CONSISTING OF 1" WEAR COURSE OVERLYING A 1 1/2" BINDER COURSE OVERLYING A 8" COMPACTED GRAVEL BASE COURSE.

13. THE CONTRACTOR SHALL APPLY FOR A STREET OPENING AND UTILITY CONNECTION PERMITS AND SIDEWALK CROSSING PERMIT WITH THE CITY OF CAMBRIDGE DPW.

14. CONTRACTOR TO ENSURE THAT ALL SURFACE WATER IS DIVERTED AWAY FROM BUILDING FOUNDATION DURING FINAL GRADING.

	PROPOSED DRAIN LINE
	SEWER MANHOLE
	EXISTING WATER LINE
	EXISTING GAS LINE
	UTILITY POLE
	GAS VALVE
	OVERHEAD ELECTRIC SERVICE
	WATER VALVE
	CATCH BASIN
	FENCE
	CONTOUR LINE (MJR)
	CONTOUR LINE (MNR)
	SPOT GRADE
	DRAIN MANHOLE
	HYDRANT
	TREE

PETER NOLAN &
ASSOCIATES, LLC

LAND SURVEYORS/CIVIL
ENGINEERING CONSULTANTS
697 CAMBRIDGE STREET,
(SUITE 103),
BRIGHTON, MA 02135

Tel: 857-891-7478
617-782-1533
Fax: 617-2025691



80 JEWETT ST. (SUITE 1)
NEWTON, MA 02458
Tel: 617-816-0722
Email: edmond@spruhaneng.com

747 CAMBRIDGE
STREET, CAMBRIDGE
MASSACHUSETTS

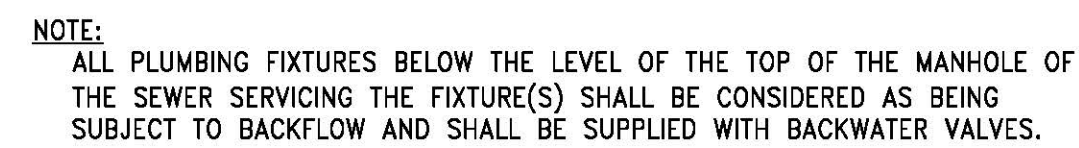
[illegible]

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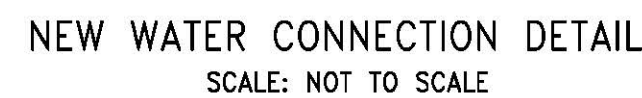
SCALE:	1" = 10'
DATE:	07-09-19
DRAWN BY:	AU
CHECKED BY:	ES
APPROVED BY:	ES

SHEET:

002

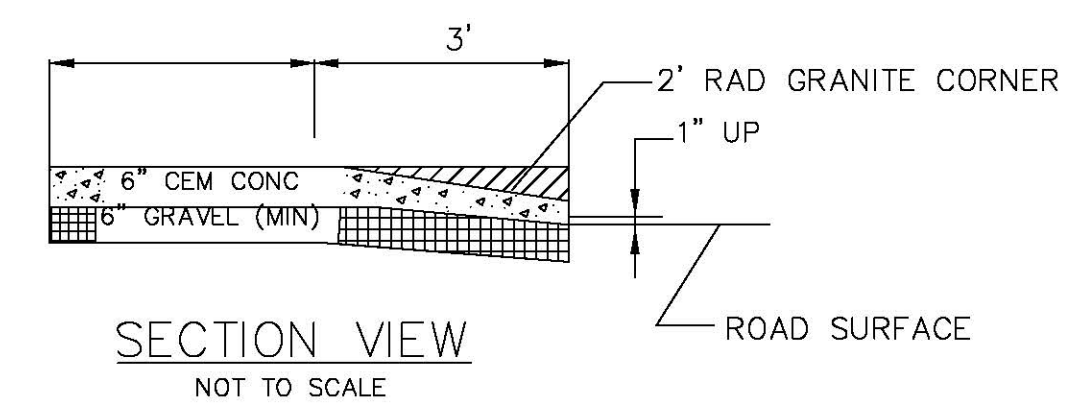


LOCATION OF BACKWATER VALVES
SCALE: NOT TO SCALE



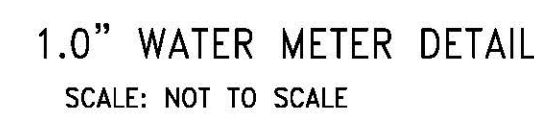
The diagram illustrates a trench cross-section with various layers and materials. At the top, a horizontal line indicates the 'TRENCH WIDTH: WS OR WU'. Below this, a dashed line represents the 'LINE OF NARROW TRENCH LIMIT'. To the left of this line, the text 'WS/2 OR WU/2' is shown. The trench walls are labeled 'SHEETING, FUSED SHALL BE LEFT IN PLACE BELOW THE LINE OF NARROW TRENCH LIMIT, EXCEPT WHERE OTHERWISE INDICATED OR DIRECTED.' and 'PAYMENT LIMITS FOR NORMAL EXCAVATION'. The bottom of the trench is labeled 'UNDISTURBED MATERIAL'. A circular feature in the center is labeled '6"'. To the right of the trench, a '6' SAND BACKFILL' is shown, with a 'NO LEDGE OR UNEXCAVATED MATERIAL SHALL PROJECT BEYOND THIS LINE.' label. The right side of the diagram is labeled 'PAYMENT LIMITS FOR ROCK EXCAVATION.' and 'UNDISTURBED MATERIAL'. At the bottom, a horizontal line separates the 'HALF SECTION IN EARTH' from the 'HALF SECTION IN ROCK'.

WATER TRENCH SECTION
NOT TO SCALE



SECTION VIEW
NOT TO SCALE

CURB CUT DETAILS
NOT TO SCALE



CONNECTION AT THE POINT CLOSEST TO THE METER.
NO EXPOSED PIPES ARE TO BE LEFT IN THE GROUND.
ALL CONNECTIONS ARE TO BE LEAK FREE AND MAY BE COMPRESSION TYPE EXCEPT INTERIOR CONNECTIONS WHICH MUST BE FLARED TYPE.
TAPPING SLEEVE AND GATE VALVES SHALL BE STAINLESS STEEL.

OLD CORPORATION COCK
TO BE SHUT OFF AND ABANDONED

APPROVED COUPLING AT SIDELINE
WHEN ONLY THE PUBLIC PORTION OF
THE WATER SERVICE IS RENEWED

FLUSHING LIMIT
AS DIRECTED

RENEWED

LIMIT PVT.

APPROVED SHUT OFF VALVE W/ FLARED FITTING

PLAN VIEW

CONNECTION SHALL BE MADE
AT APPROX. 45° ANGLE

1'-0" MIN.

1'-0" MIN.

1'-0"

5'-0"

CURB

WATER SERVICE
BOX & SLEEVE

PUBLIC PROPERTY

PRIVATE PROPERTY

EXTERIOR

PAYMENT LINE

INTERIOR

1'-0" ALLOWED
STONE OR CONCRETE
FOUNDATION

METER

30° TAPPING RANGE

CORPORATION COCK SHUT OFF
NUT MUST BE FACING UP

CURB COCK WITH BLEEDER PORT

ELEVATION VIEW

ELECTRICAL: THE GROUND CLAMP IS TO BE SECURELY
FASTENED TO THE WATER SERVICE PIPE BEFORE THE
(INLET SIDE OF THE) SHUT OFF VALVE. ALL CURRENT
ELECTRICAL CODES MUST BE ABIDED BY.

PLAN VIEW

ELEVATION VIEW

TYPICAL WATER SERVICE CONFIGURATIONS
SCALE: NOT TO SCALE



1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE.
2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
3. FULL WYE CONNECTION FITTINGS MAY BE USED
4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

TYPICAL SADDLE CONNECTION TO
EXISTING SEWER OR DRAIN

747 CAMBRIDGE
STREET, CAMBRIDGE
MASSACHUSETTS

REVISION BLOCK

[illegible]

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DETAILS

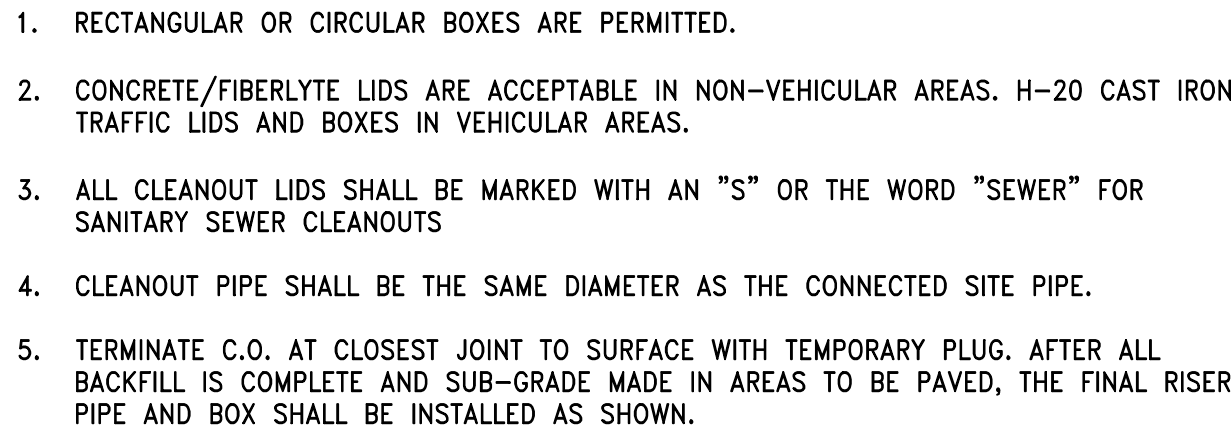
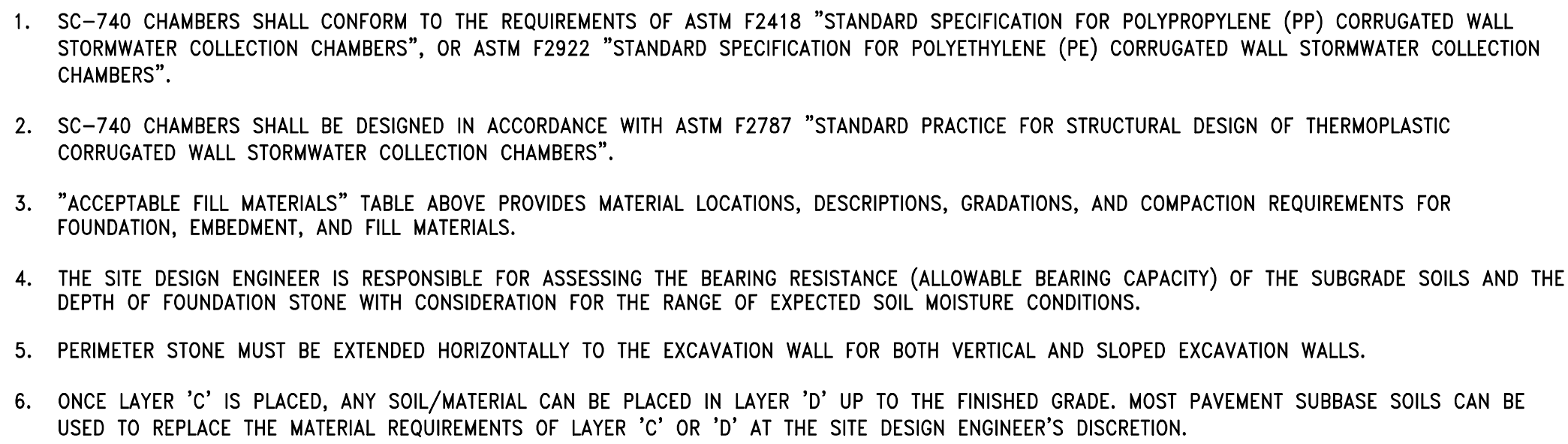
SCALE:	1" = 10'
DATE:	07-09-19
DRAWN BY:	AU
CHECKED BY:	ES
APPROVED BY:	ES

SHEET:

003

	MATERIAL LOCATION	DESCRIPTION	ASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER "D" STARTS FROM THE TOP OF THE "C" LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE "D" LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER "C" STARTS FROM THE TOP OF THE EMBEDMENT STONE ("B" LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE "C" LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	ASHTO M45* A-1, A-2-4, A-3 OR ASHTO M43* 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ("A" LAYER) TO THE "C" LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	ASHTO M43* 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	ASHTO M43* 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.

1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN "6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



CONCRETE COLLAR

PAVEMENT

CONCRETE SLAB
8" MIN THICKNESS

18" MIN WIDTH

CONCRETE COLLAR
NOT REQUIRED
FOR UNPAVED
APPLICATIONS

12" NYLOPLAST INLINE
DRAIN BODY W/SOLID
HINGED COVER OR GRATE
PART #2712AG6IP*
SOLID COVER: 1299CGC*
GRATE: 1299CGS

6" SDR35 PIPE

SC-740 CHAMBER

6" INSERT TEE
PART# 6P26FBSTI*
INSERT TEE TO BE
CENTERED ON
CORRUGATION CREST

FLEXSTORM CATCH IT
PART# 621NYFX WITH
USE OF OPEN GRATE

* THE PART# 2712AG6IPKIT CAN BE
USED TO ORDER ALL NECESSARY
COMPONENTS FOR A SOLID LID
INSPECTION PORT INSTALLATION

TRENCH DRAIN DETAIL
N.T.S.



SHEET

HOW MUCH BICYCLE PARKING IS REQUIRED BY ZONING?

The tables below summarize the zoning requirements for some typical land uses. For more detail, review Section 6.100 of the Zoning Ordinance. When calculating the required number of long-term or short-term bicycle parking spaces for a particular use, round up to the nearest whole number.

	Minimum Required Bicycle Parking (see pg. 7 for more details)	
Residential Use Type	Long-Term	Short-Term
Single-family dwellings	No minimum	No minimum
Two-family dwellings		
Rectories, parsonages		
Townhouse dwellings	1.00 space per unit for the first 20 units in a building	0.10 space per unit on a lot (for lots with 4 or more units)
Multifamily dwellings	1.05 spaces per unit for additional units	
Elderly oriented congregate housing	0.50 space per unit	0.05 space per unit
Lodging houses, convents, monasteries, dormitories, fraternities, sororities	0.50 space per bed	0.05 space per bed
Hotels, motels	0.02 space per sleeping room	0.05 space per sleeping room
Tourist houses		

Note:
Where four or fewer long-term bicycle parking spaces are required, they may be provided in a covered outdoor location rather than an enclosed structure.



ACCEPTABLE BICYCLE RACKS

There are a variety of designs for bicycle racks produced by many manufacturers. Bike racks can be purchased as single units, with a capacity of locking 2 bikes (one on each side), or as multiple units attached together, with a larger capacity. However, not all manufactured bicycle racks meet Cambridge's standards.

Features of an acceptable bicycle rack:

- Installed on a permanent foundation (eg, concrete pad) to ensure stability.
- Securely anchored into or on the foundation with tamper-proof nuts if surface mounted.
- Support for an upright bicycle by its frame horizontally in two (2) or more places.
- Keeps both bike wheels on the ground.
- Design that prevents the bicycle from tipping over.
- Ability to support a variety of bicycle sizes and frame shapes.
- Space to secure the frame and one or both wheels to the rack with a cable, chain, or u-lock.
- Diameter of locking pole is no more than 1.5 inches.
- Galvanized or stainless steel racks are recommended (and required for racks on public property) because they hold up best.



Acceptable racks, like the "Inverted U," "Scurve," and "Post and Ring" racks, have two-point support and fit a variety of bicycle types. Custom designs and "artistic" racks can also be used, provided they meet the performance criteria for bicycle racks.

SITING BICYCLE PARKING

Bicycle parking must be designed for convenient daily use, not simply for storage of bicycles. Location is an extremely important factor in the usefulness of a bicycle rack. The rack must be located in a safe and accessible place with adequate space to maneuver a bicycle in and out.

Safe locations are:

- In full view, maximizing visibility and minimizing vandalism, near pedestrian traffic, windows, and/or well-lit areas.
- Under cover, to protect bicycles from inclement weather.
- Far enough away from the street or parking spaces so that bicycles will not be damaged by cars, setback if possible.
- Not obstructing pedestrian traffic.

Accessible locations have these characteristics:

- They are between the road/path that cyclists use and the entrance of the building.
- The primary access route is at least 5 feet wide.
- The primary access route does not have a slope greater than 5% (8% if level landing is provided every 30 feet of linear distance).
- Access may be provided by an elevator with interior dimensions of 80" x 54".
- Close to the main entrance that cyclists use for the building. For short-term parking within 25' is ideal but no more than 50' is required.

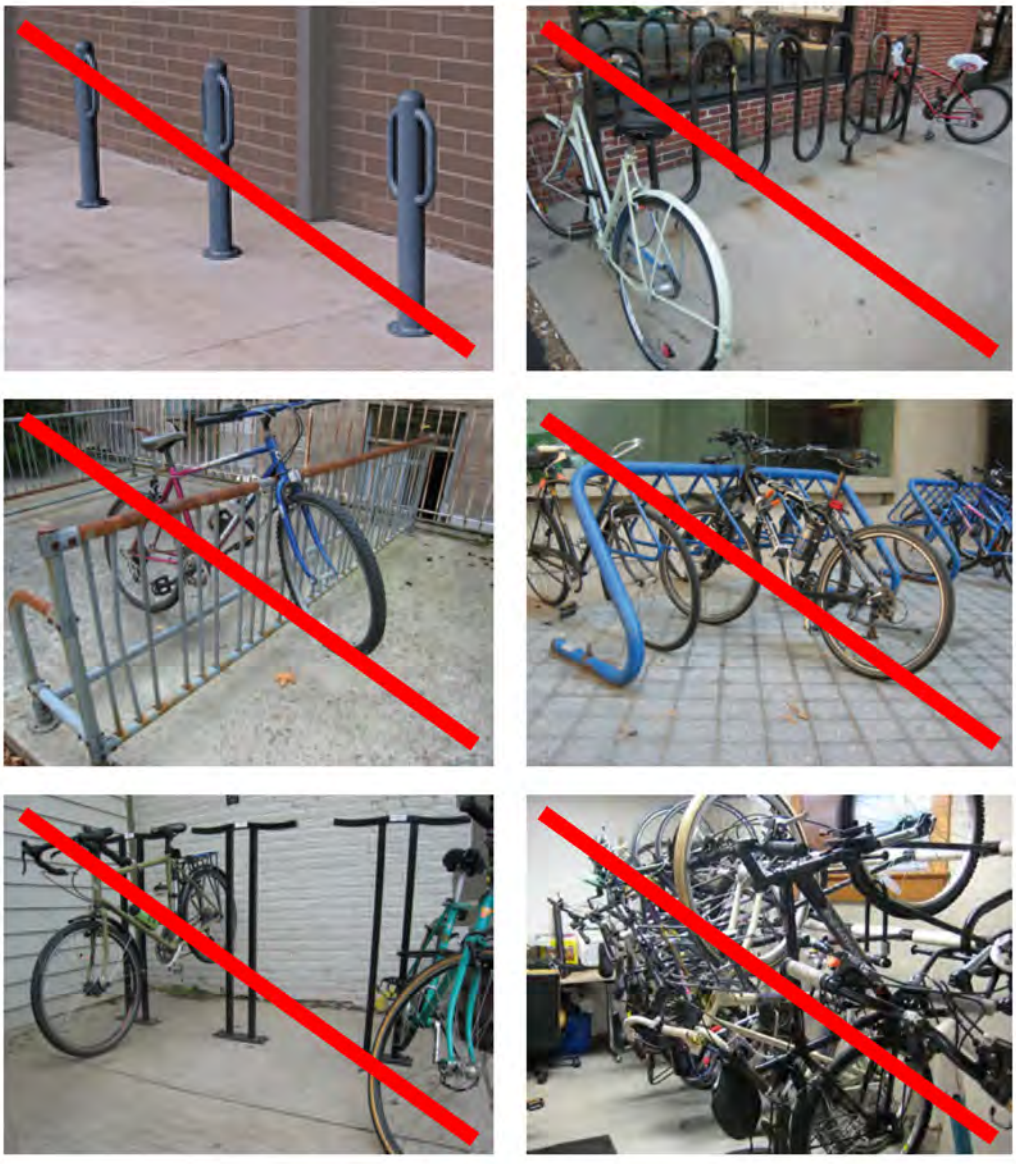
Weather-protected bicycle parking is desirable where bikes are parked for long periods.



UNACCEPTABLE BICYCLE RACKS

Bicycle racks must NOT:

- Support the bicycle at only one point.
- Allow the bicycle to fall, which can damage the bike and block pedestrian right-of-way.
- Have sharp edges, that can be hazardous to the visually impaired.
- Support the bicycle by one wheel.
- Connect to each other with a bar on top (that can block handlebars and baskets).
- Suspend any part of the bike in the air or require that the bicycle be lifted to get it into position.



SHORT-TERM AND LONG-TERM PARKING

Some aspects of bicycle parking are different depending on whether it will serve people who are storing bicycles all day long or overnight, or people who are making short trips to and from the site.

Long-Term:

Long-term Bicycle Parking must be located in an enclosed, limited-access area designed to protect bicycles from precipitation and from theft. It may be provided in the following types of facilities:

- Enclosed spaces in a building, such as bicycle rooms or garages.
- Bicycle sheds, covered bicycle cages, or other fully covered and enclosed structures within 200 feet of the main building entrance.
- Bicycle lockers, or fixed-in-place containers wherein single bicycles may be securely stored and protected.
- Weather-protected bicycle parking spaces that are monitored at all times by an attendant or other security system.

Short-Term:

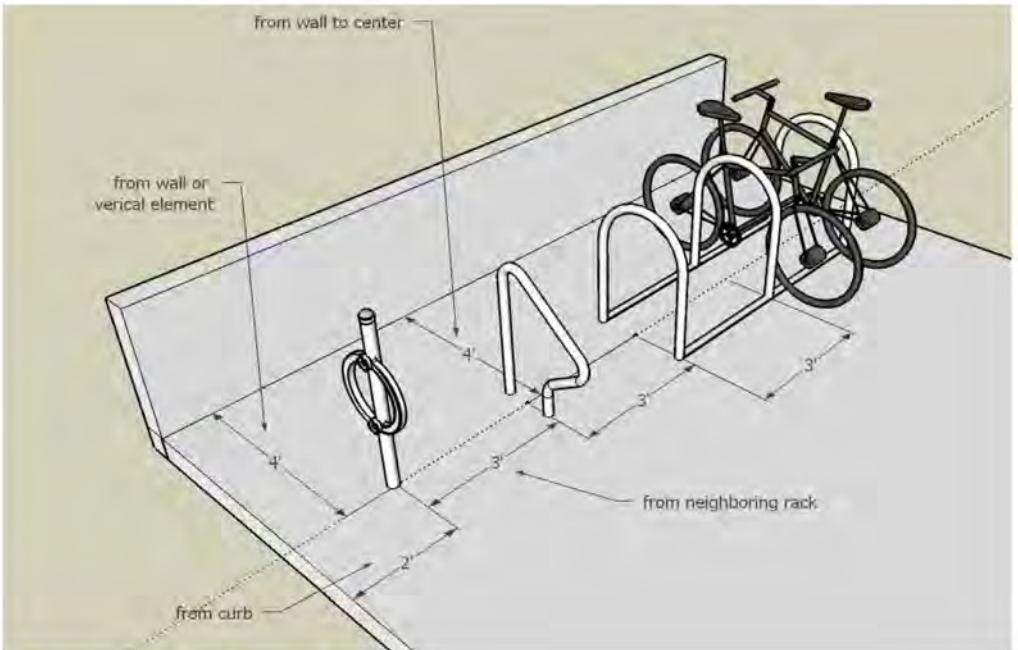
Short-term bicycle parking must be located in a publicly accessible space within 50 feet of pedestrian entrances. Short-term bicycle parking is intended primarily to serve visitors, such as retail patrons making trips of up to a few hours; however, it may serve other bicycle users as needed.

PARKING GARAGES

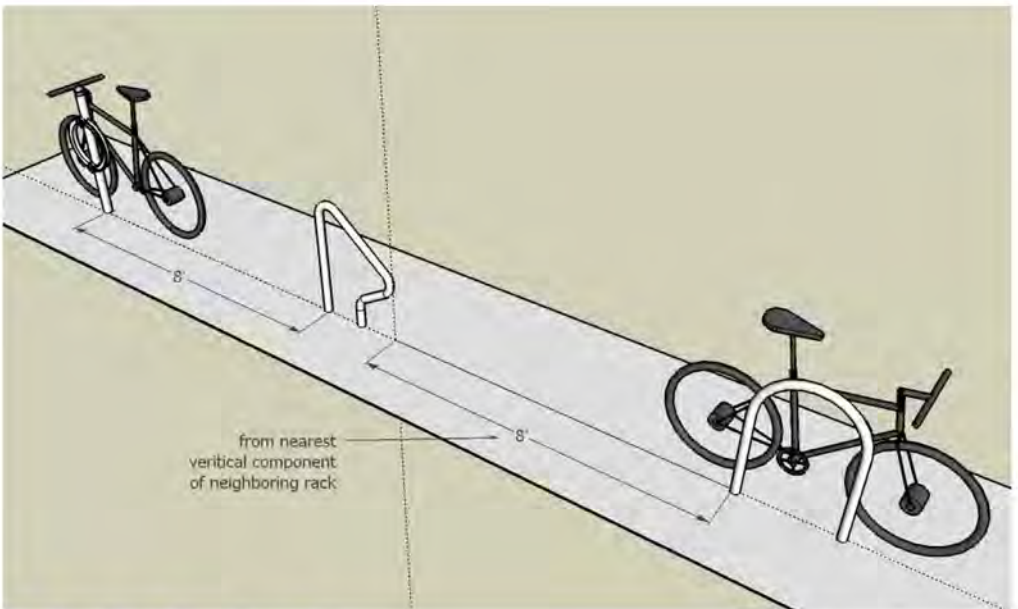
Bicycle parking in parking garages must be either on the same level as the entrance to the garage from the street or accessible via automobile ramps designed to serve bicyclists (with slope of less than 5% or less than 8% with a landing every 30 feet), or near an elevator that is sufficiently large to accommodate bicycles. Bicycle racks inside parking garages must still meet the security standards of short-term racks or lockers. Where long-term bicycle parking is next to automobile parking or loading, a physical barrier, such as bollards, must be provided.

LAYOUT DIMENSIONS

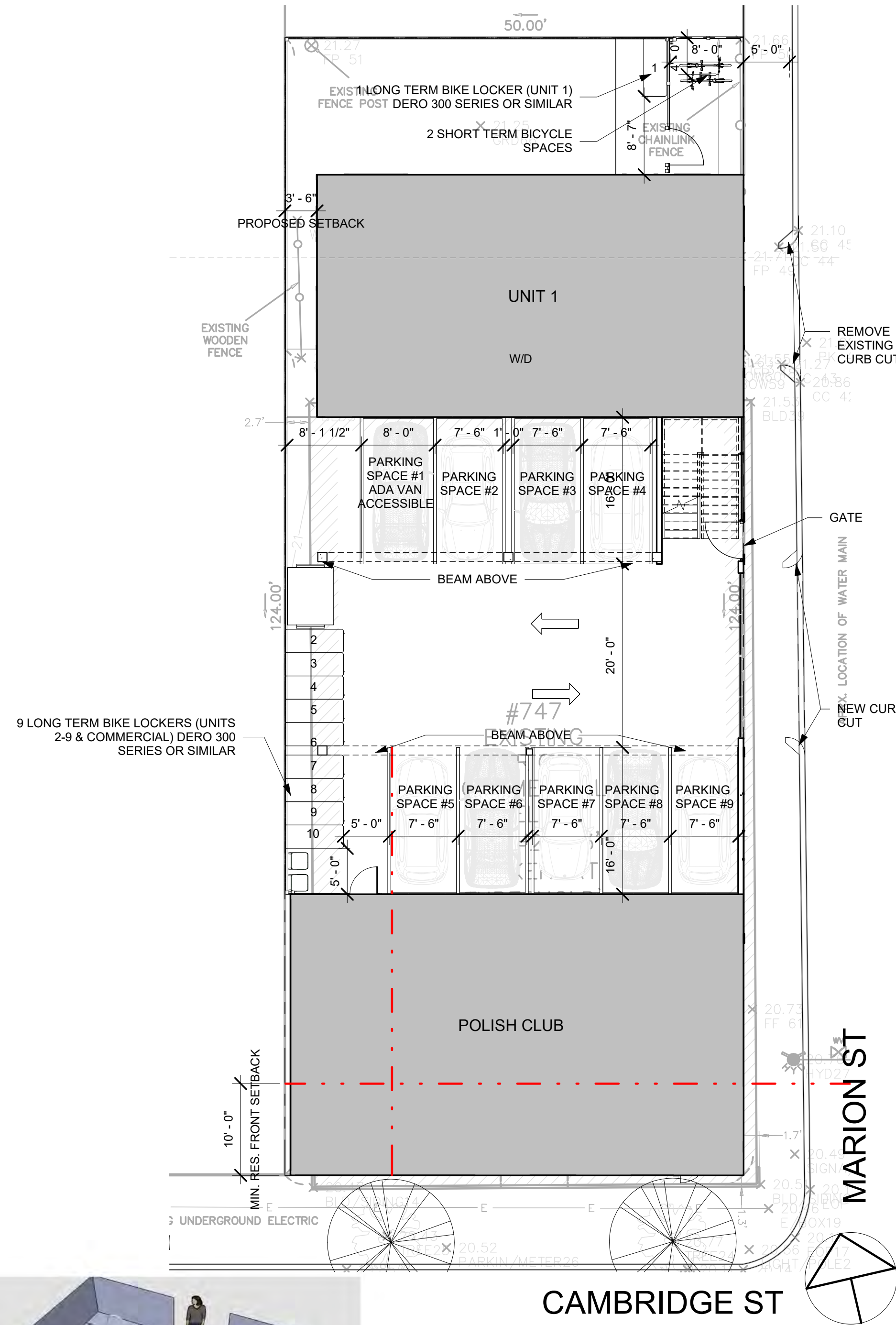
Proper layout of bicycle racks is essential to ensure that they will safely and conveniently accommodate the intended number of bicycles. Layout must follow these minimum dimensions:



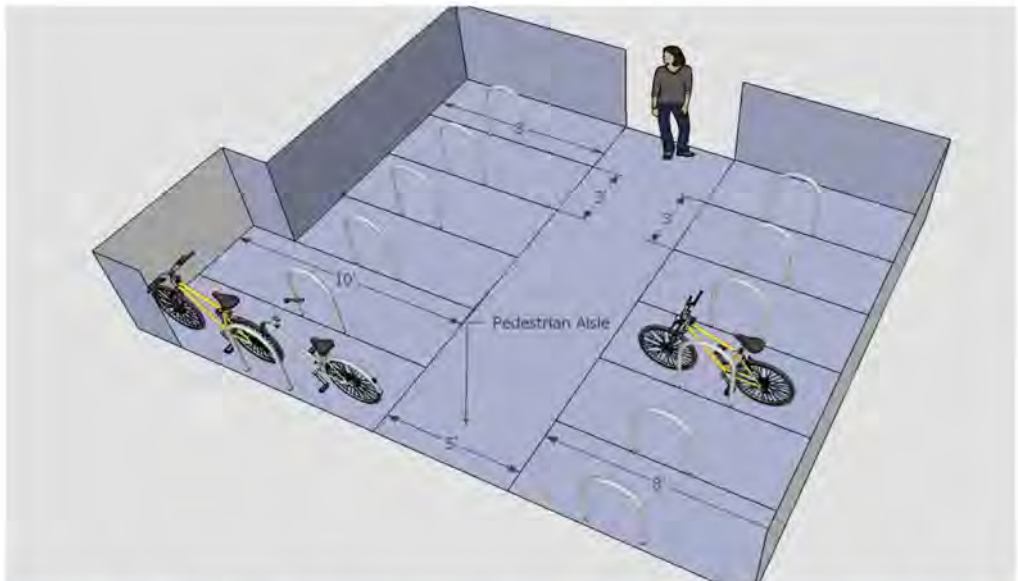
Racks aligned side by side



Racks aligned end to end



1 Bike Parking Plan
1" = 10'-0"



Enclosed rack area with 20 or more racks, with pedestrian aisle and at least 5% of spaces providing an additional 2 feet of space for tandems and trailers.

Distance to other Racks:

- Rack units aligned parallel to each other (side by side) must be at least 3 feet apart. This includes racks that are sold as multiple rack units attached together.
- Rack units aligned end to end must be at least 8 feet apart.

Distance from Wall:

- Rack units placed perpendicular to a wall must be at least 4 feet from the wall to the center of the rack.
- Rack units parallel to a wall must be at least 3 feet from the rack to the wall.

Distance from a Curb:

- Rack units placed perpendicular to the curb must be at least 4 feet from the curb to the center of the rack.
- Rack units placed parallel to the curb must be at least 2 feet from the curb to the rack.

Distance from a Pedestrian Aisle:

- Rack units perpendicular to a pedestrian aisle must be at least 4 feet from the center of the rack to the edge of the aisle, and have at least a 5 feet wide aisle.
- Where 20 or more bicycle parking spaces are required, at least 5% of the spaces must be 10 feet long instead of 8 feet to allow space for tandems and trailers.

Other Distances:

- Racks should be at least 14 feet from curbside fire hydrants and 6 feet from wall fire hydrants.

PROJECT NAME

Cambridge @
Marion Residences

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CAMBRIDGE MA

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747 CAMBRIDGE
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Project number	18141
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Scale	1" = 10'-0"

REVISIONS

No.	Description	Date

Bike Parking Plan

A-021

Cambridge @ Marion Residences

Cambridge @ Marion Residences

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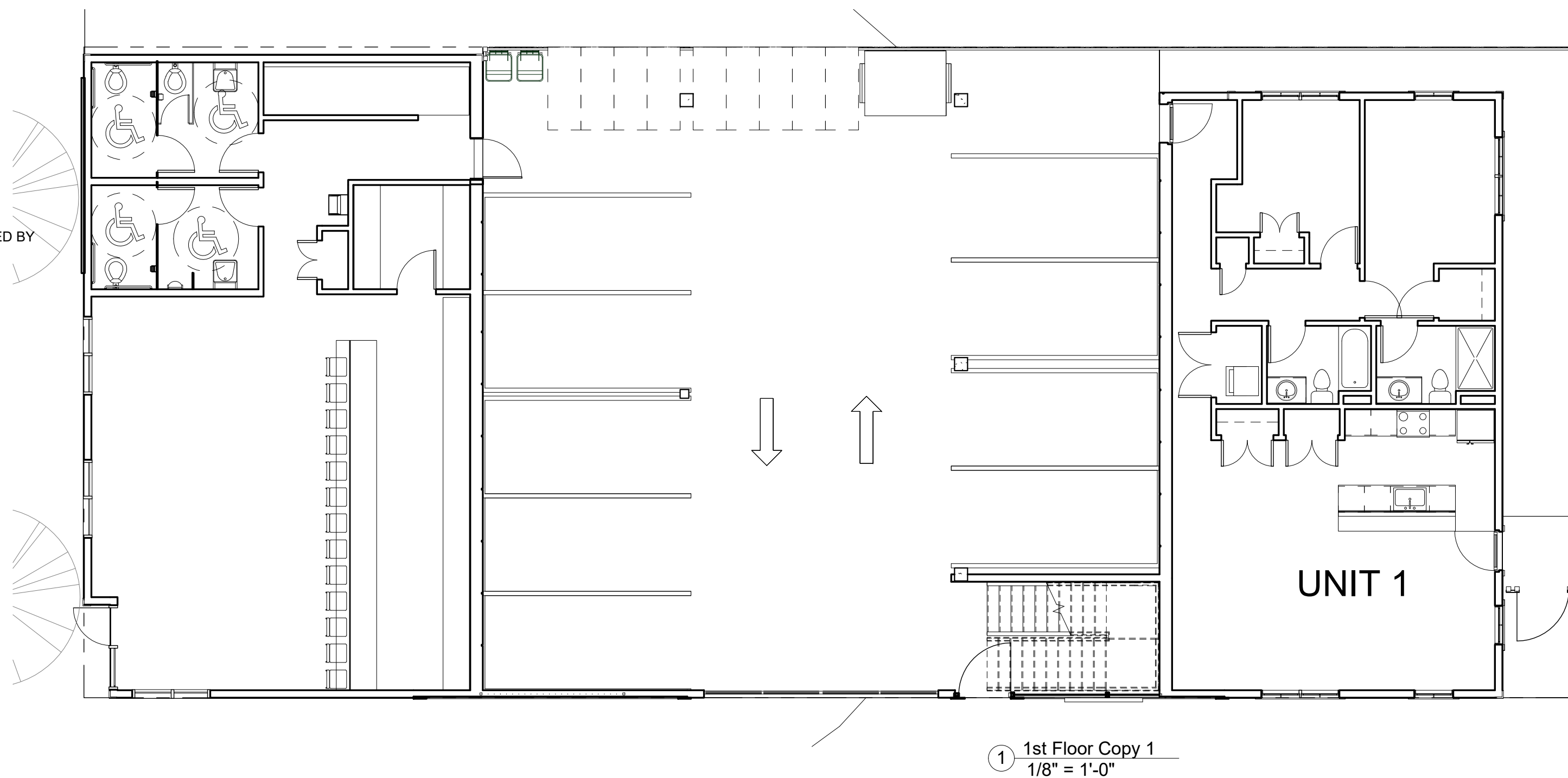
REGISTRATION

REVISIONS

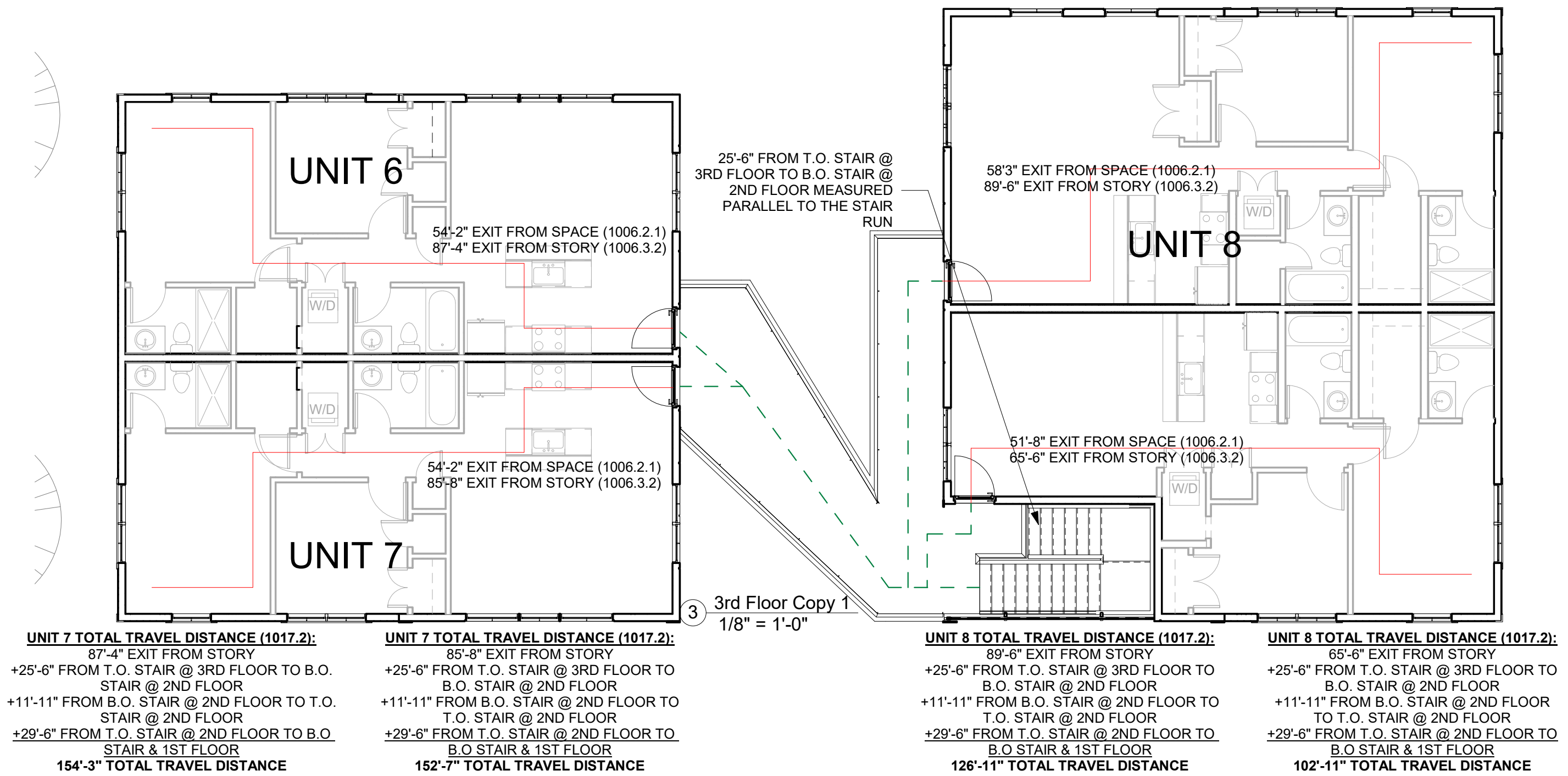
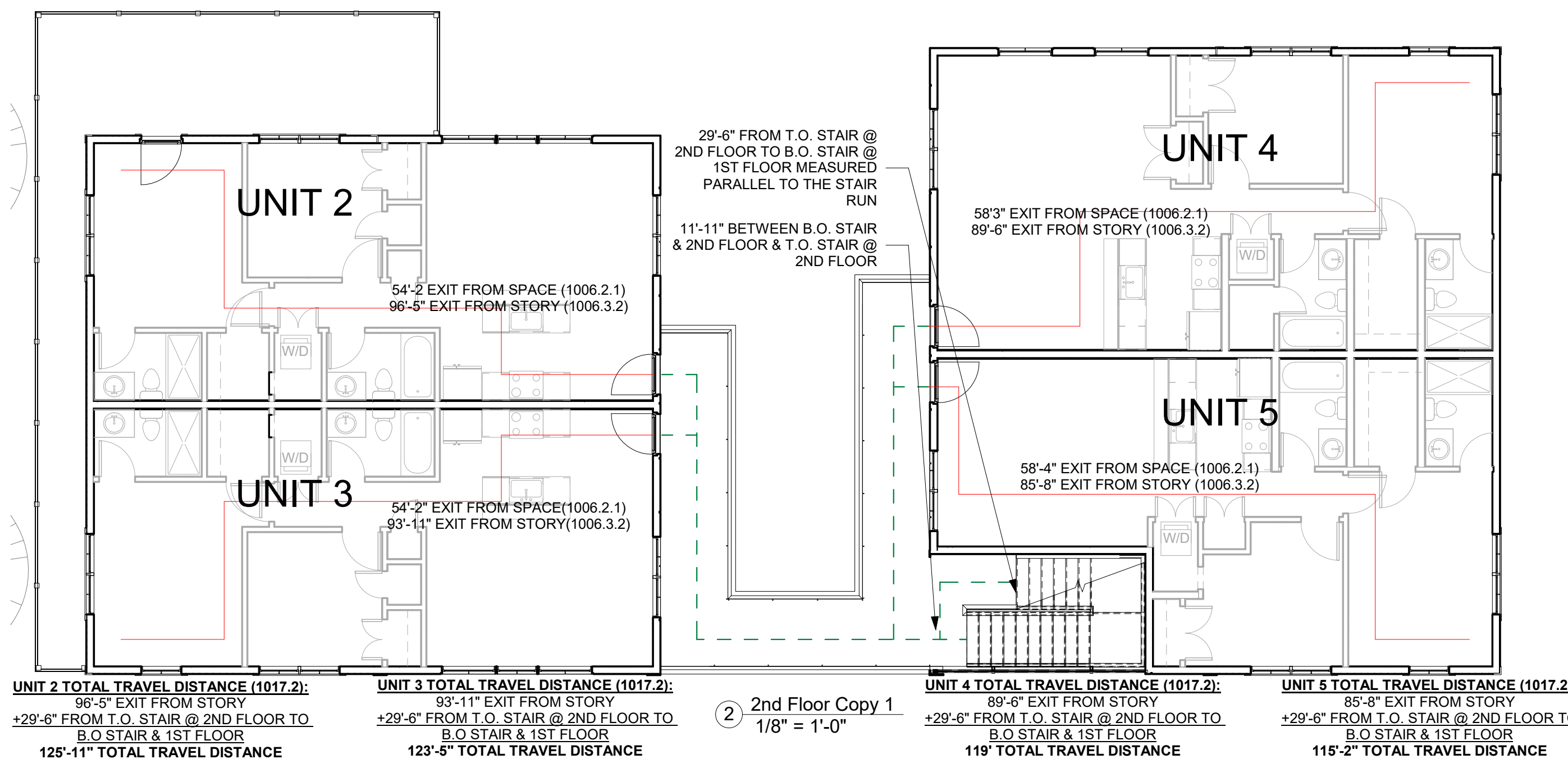
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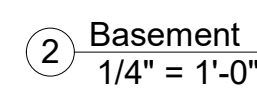
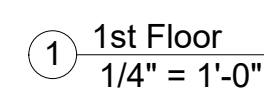
A-023

Cambridge @ Marion Residences



PER 1017.2, THE MAXIMUM TOTAL TRAVEL DISTANCE FOR AN R-2 OCCUPANCY IS 250' WITH AN AUTOMATIC SPRINKLER SYSTEM

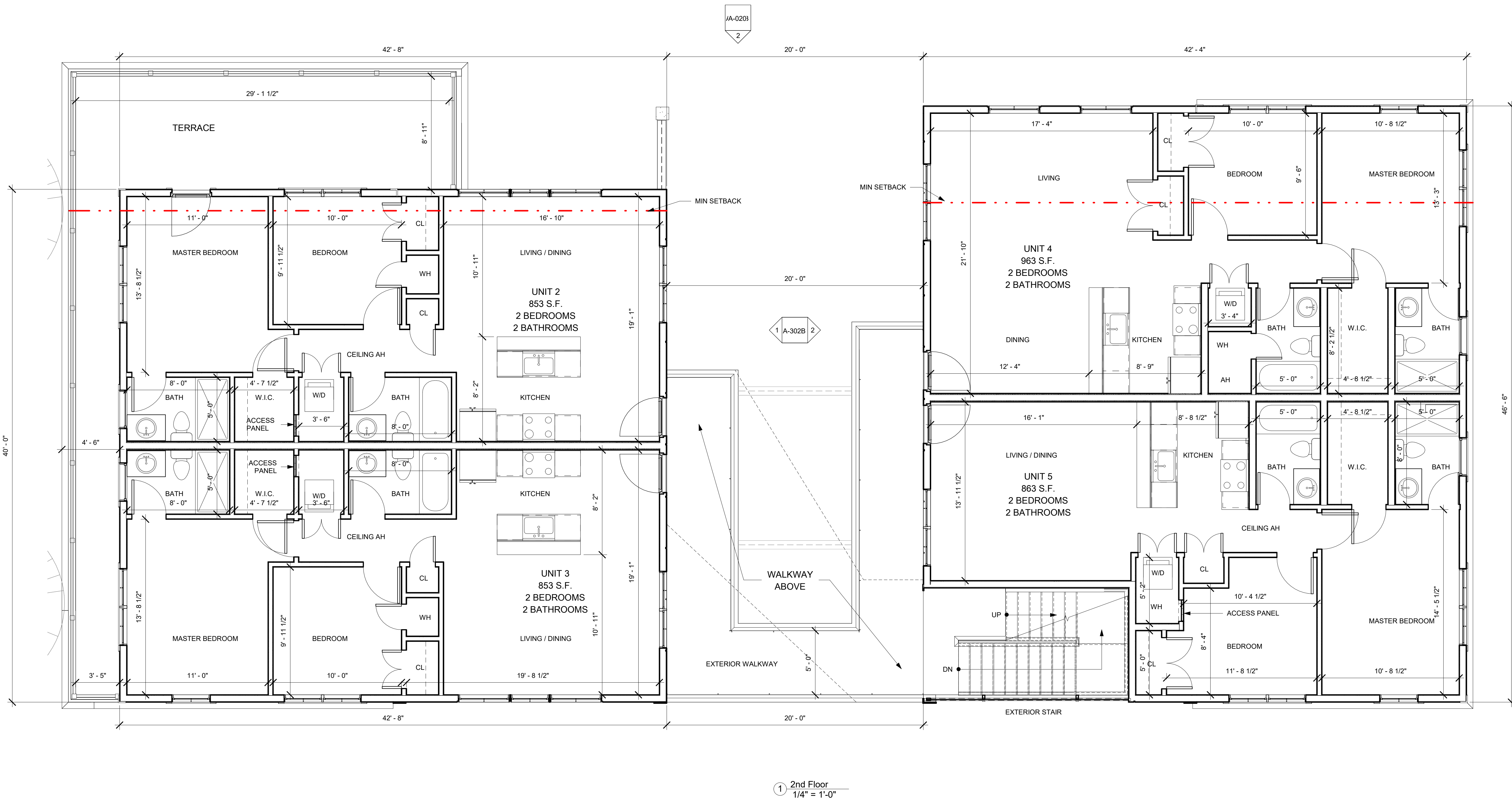




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ARCHITECT

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REVISIONS

No.	Description	Date

2nd Floor Plan

A-101

Cambridge @ Marion Residences

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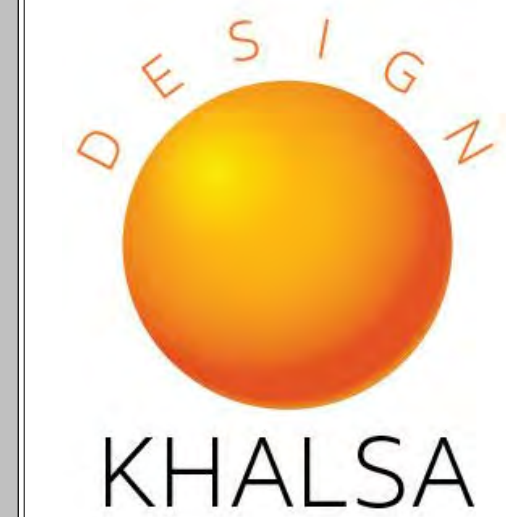
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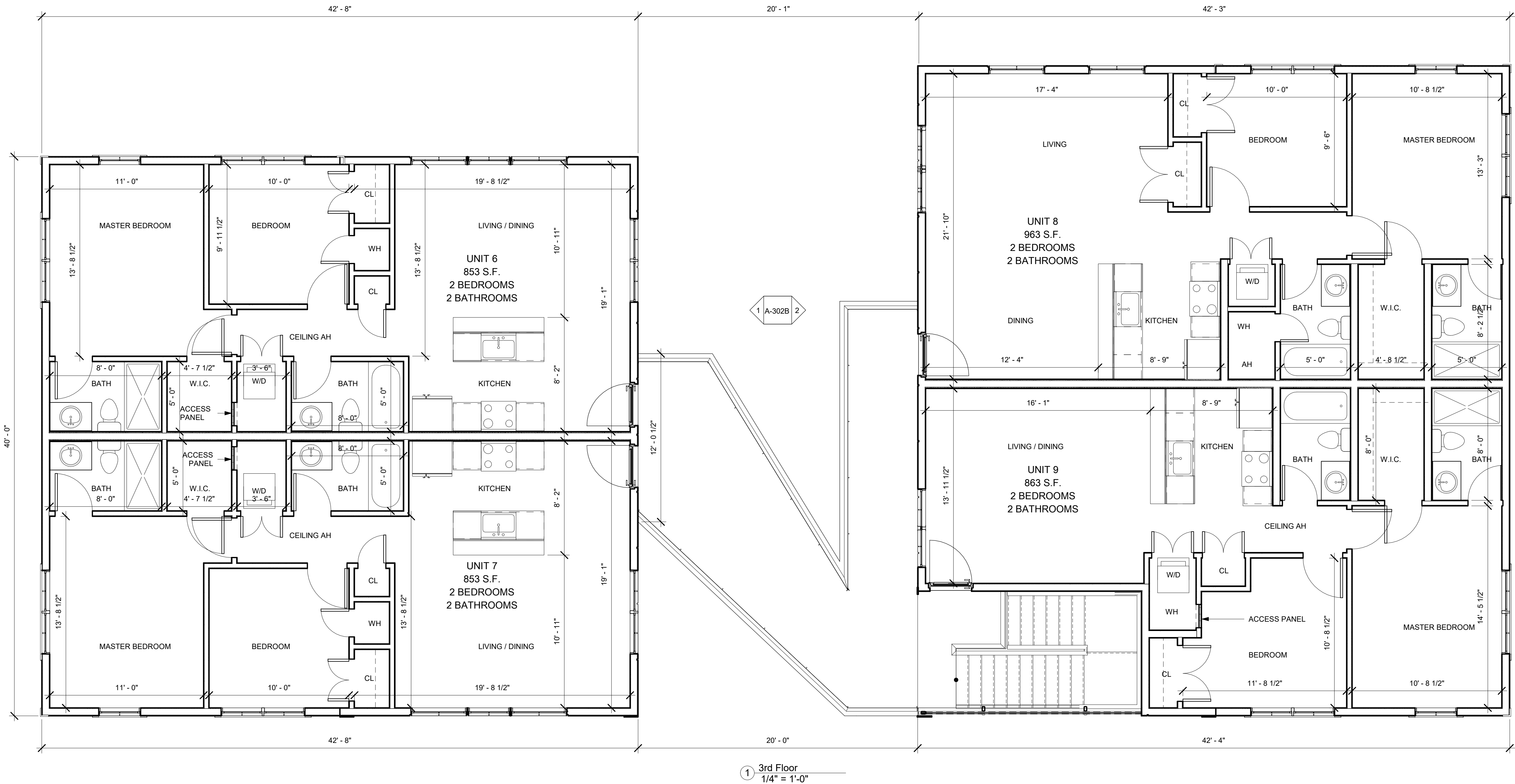
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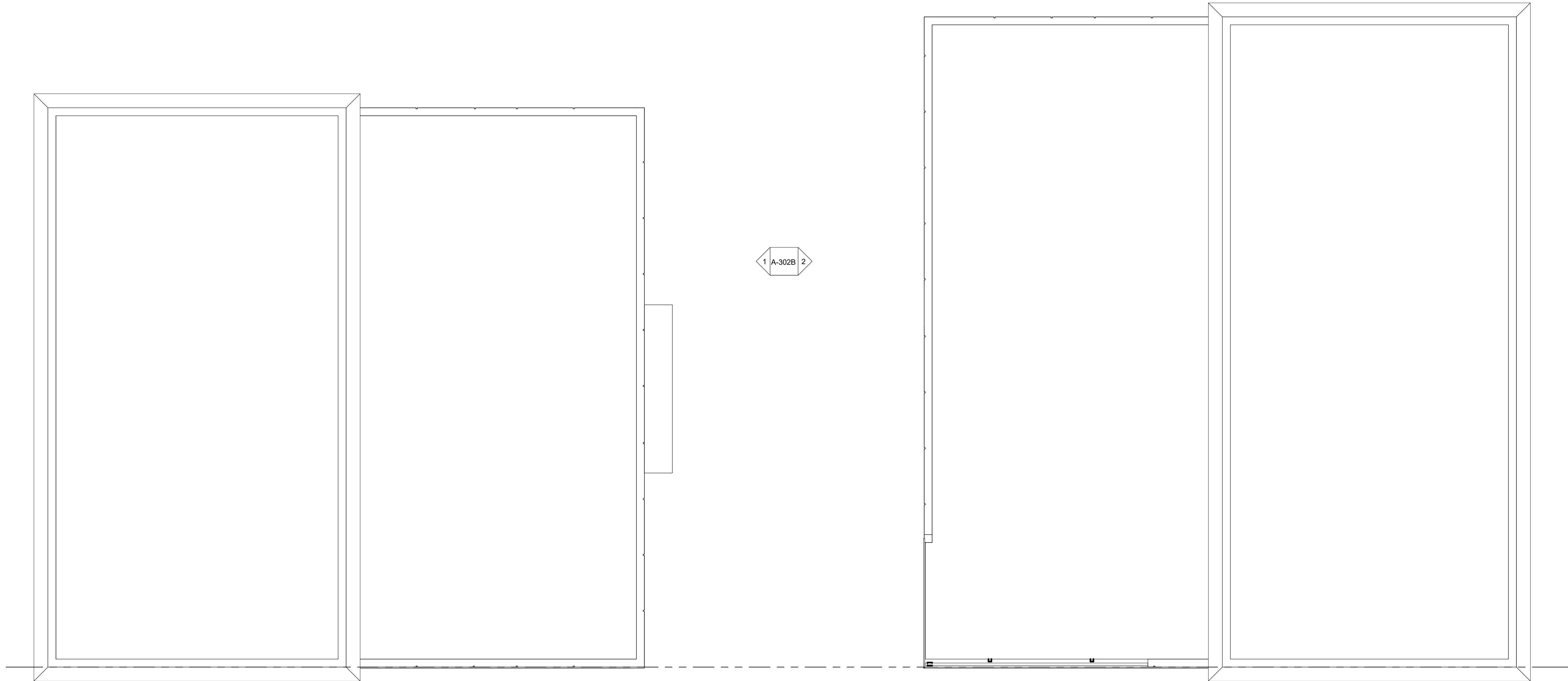
3rd Floor Plan

A-102

Cambridge @ Marion Residences



1 3rd Floor
1/4" = 1'-0"



1 Roof
1/4" = 1'-0"



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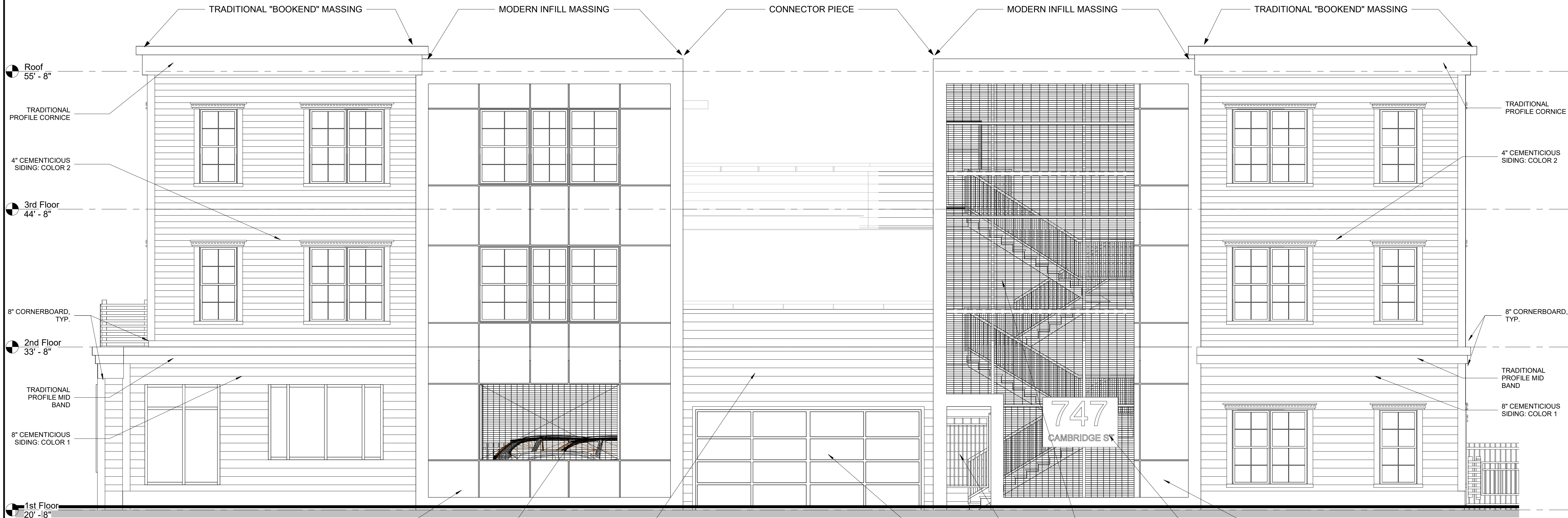
Proposed Roof
Plan

A-103

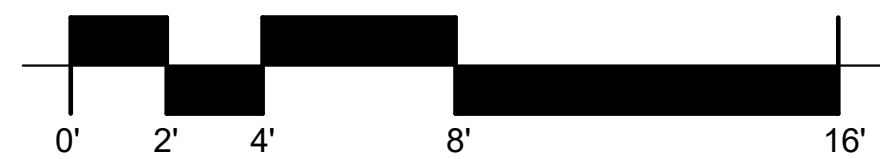
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① Cambridge Street (South) Elevation
1/4" = 1'-0"



② Marion Street (East) Elevation
1/4" = 1'-0"



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No.	Description	Date

Front Elevations

A-300
Cambridge @ Marion Residences

PROJECT NAME

Cambridge @
Marion Residences

PROJECT ADDRESS

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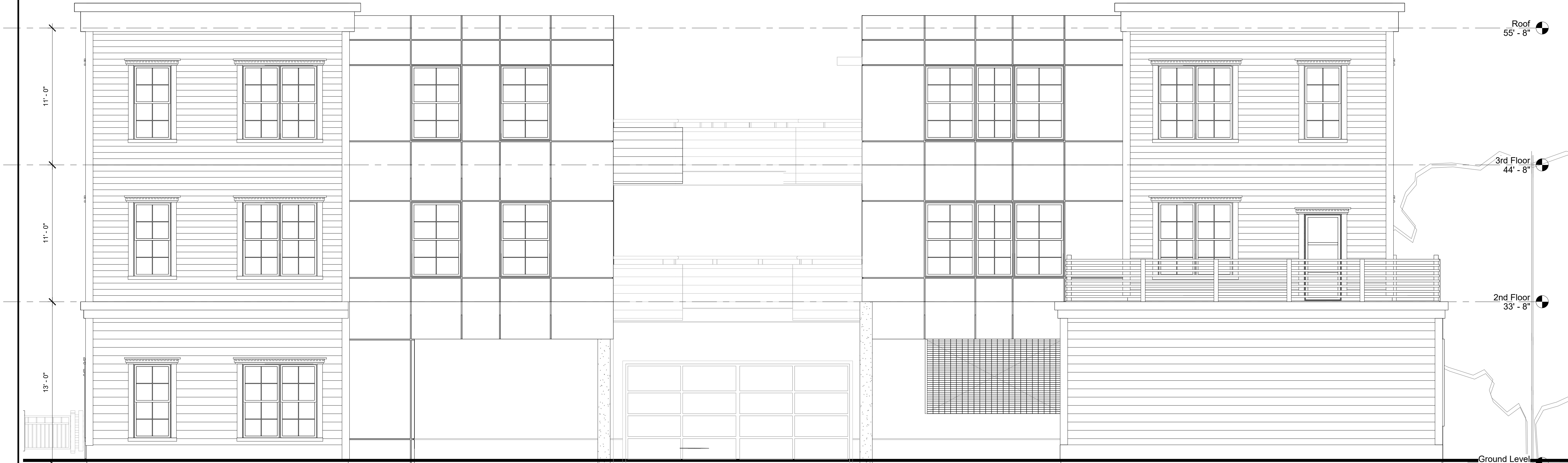
Side Elevations

A-301

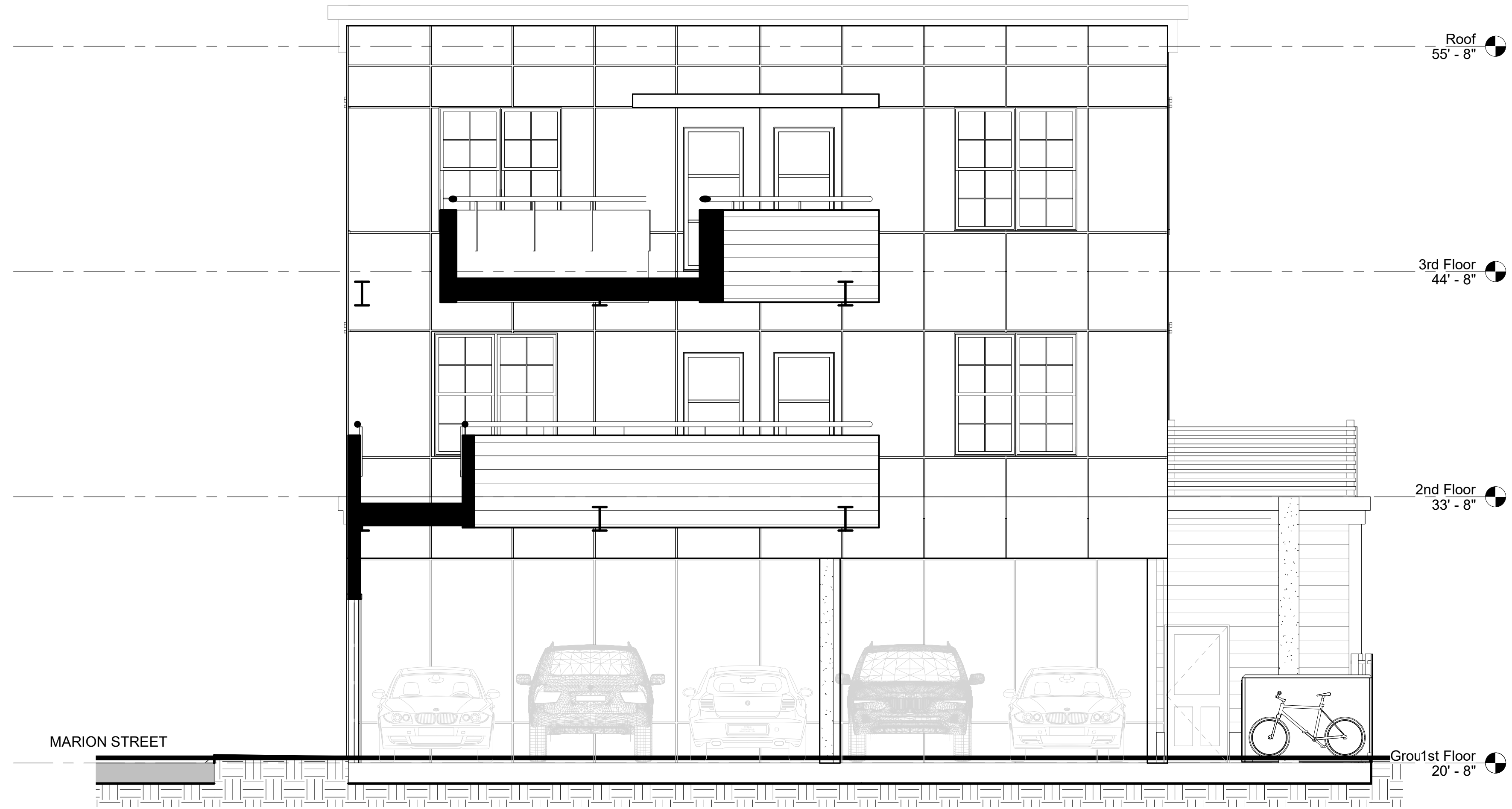
Cambridge @ Marion Residences



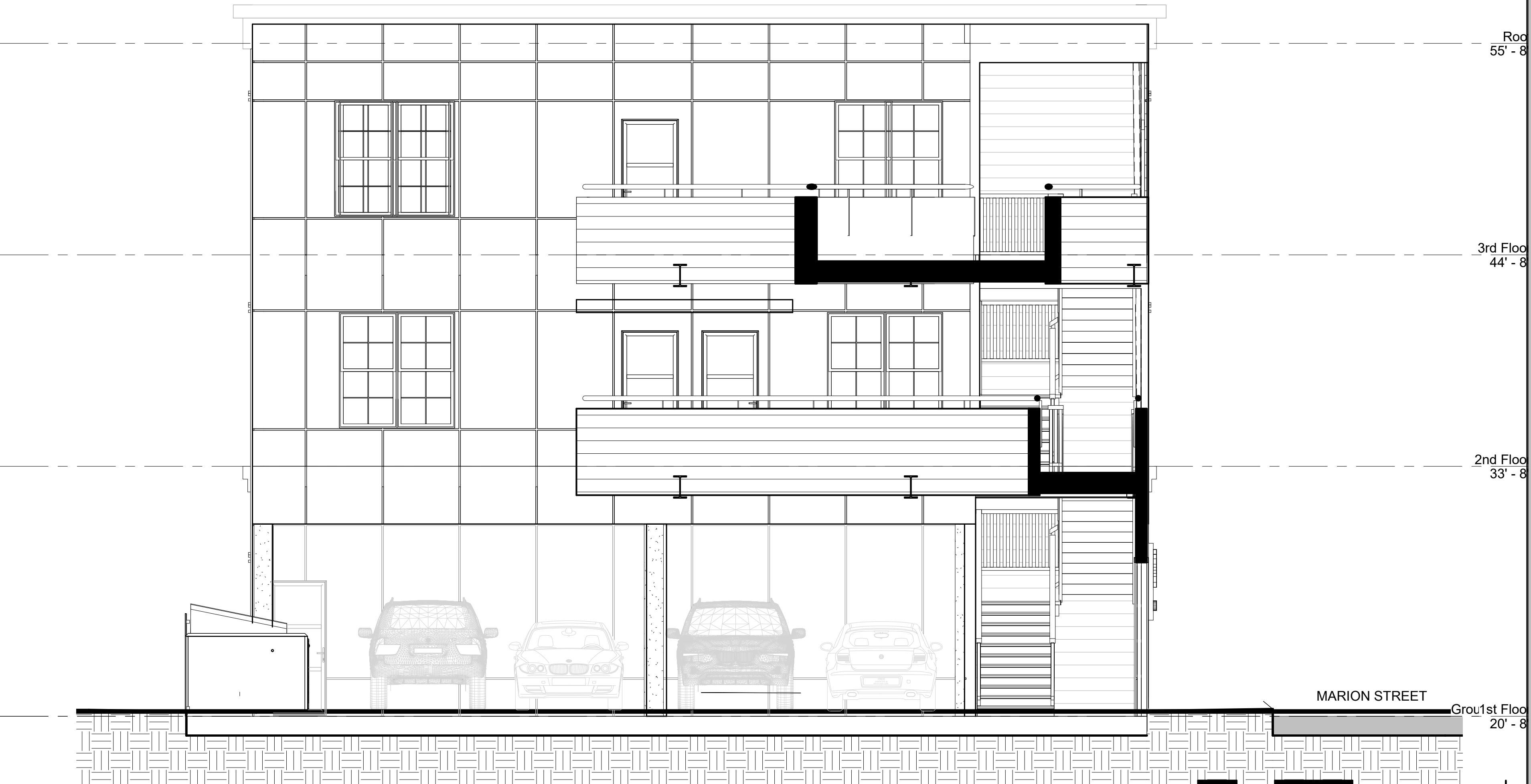
2 Right Side (North) Elevation
1/4" = 1'-0"



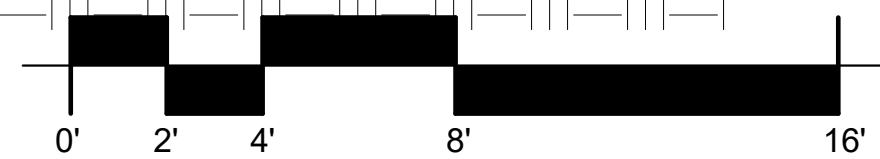
1 Left Side (West) Elevation
1/4" = 1'-0"



① Courtyard Elevation - Left Side
1/4" = 1'-0"



② Courtyard Elevation - Right Side
1/4" = 1'-0"



PROJECT NAME

Cambridge @
Marion Residences

PROJECT ADDRESS

747 CAMBRIDGE ST
CAMBRIDGE MA

CLIENT

747 CAMBRIDGE
STREET, LLC

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

CONSULTANTS:

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OF PROSECUTION UNDER LAW

REGISTRATION

Project number	18141
Date	07/19/2019
Drawn by	Author
Checked by	Checker
Scale	1/4" = 1'-0"

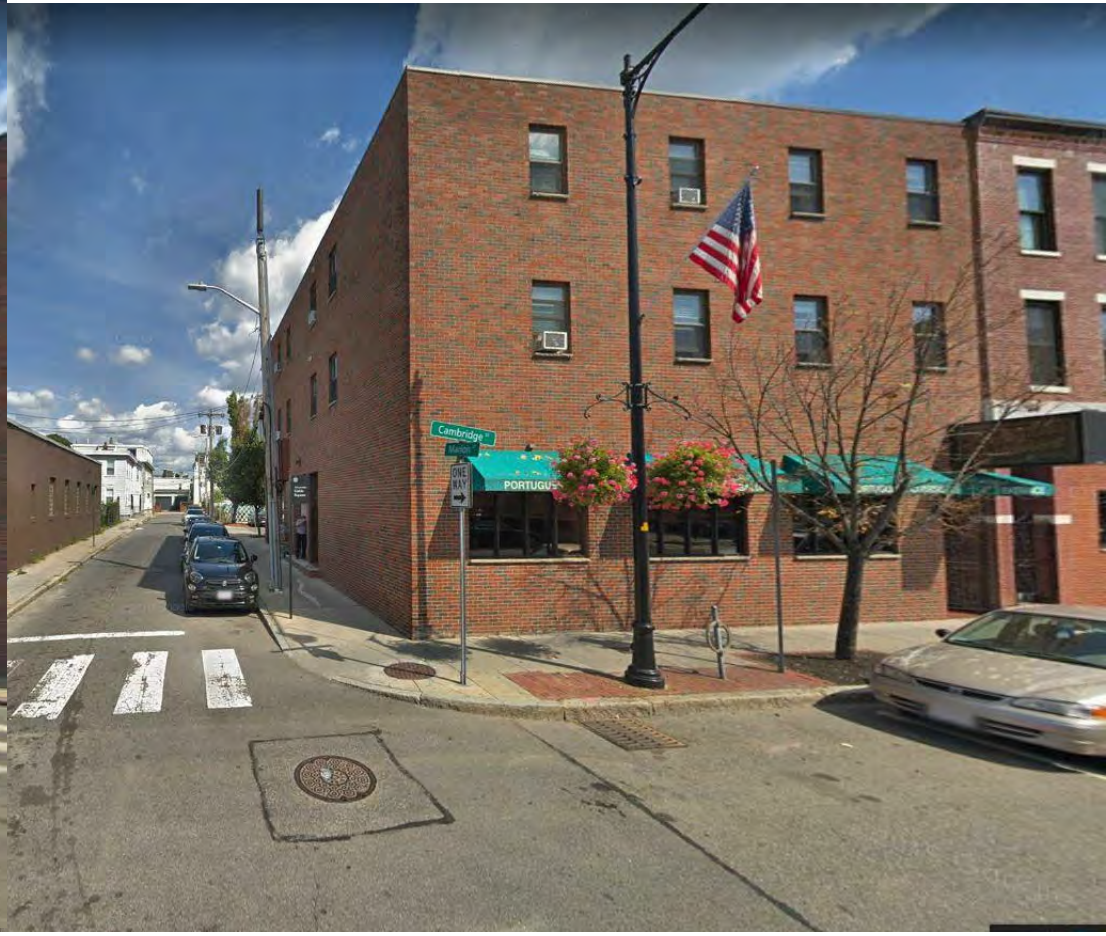
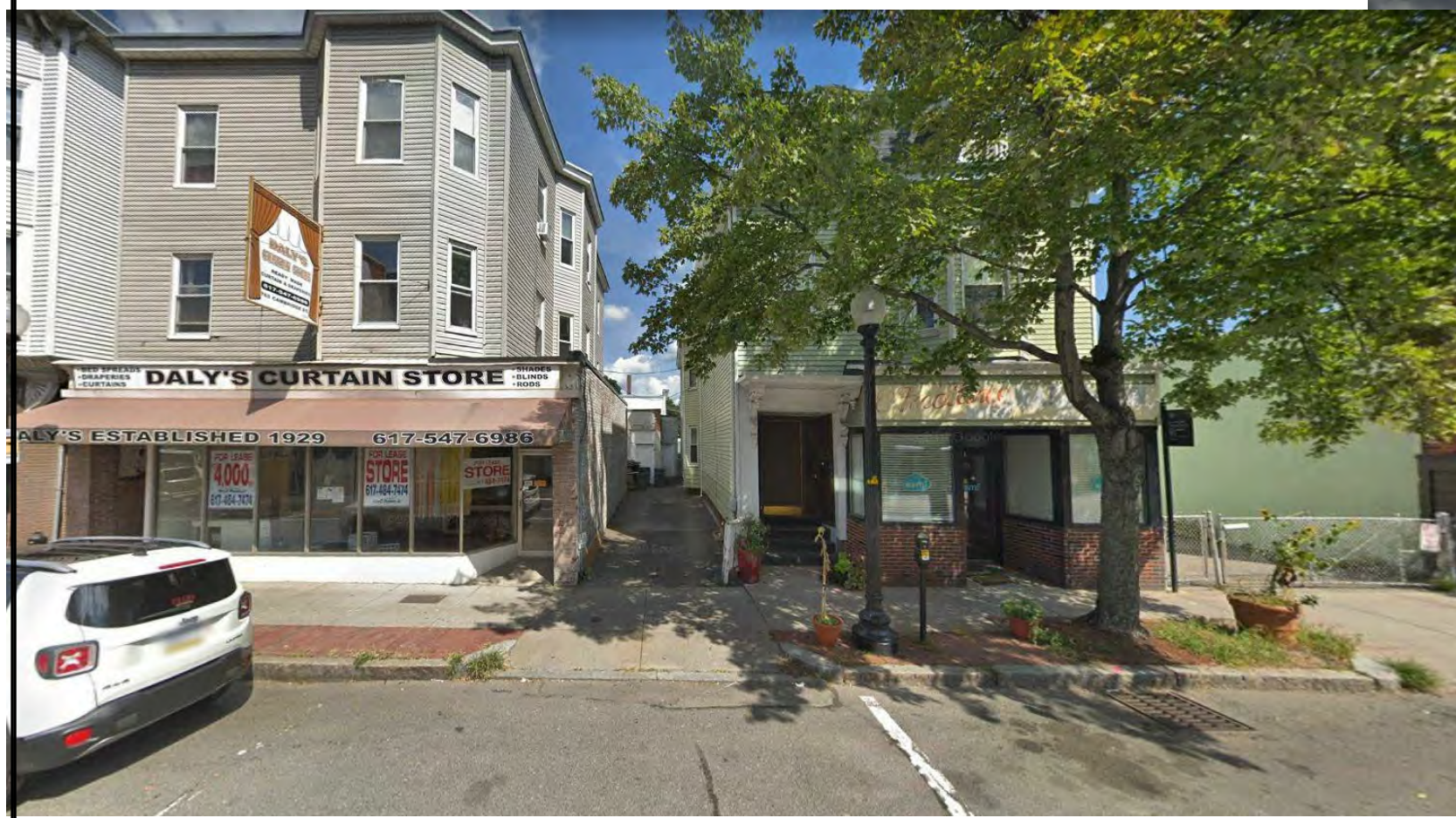
REVISIONS

No.	Description	Date

Courtyard
Elevations

A-302

Cambridge @ Marion Residences

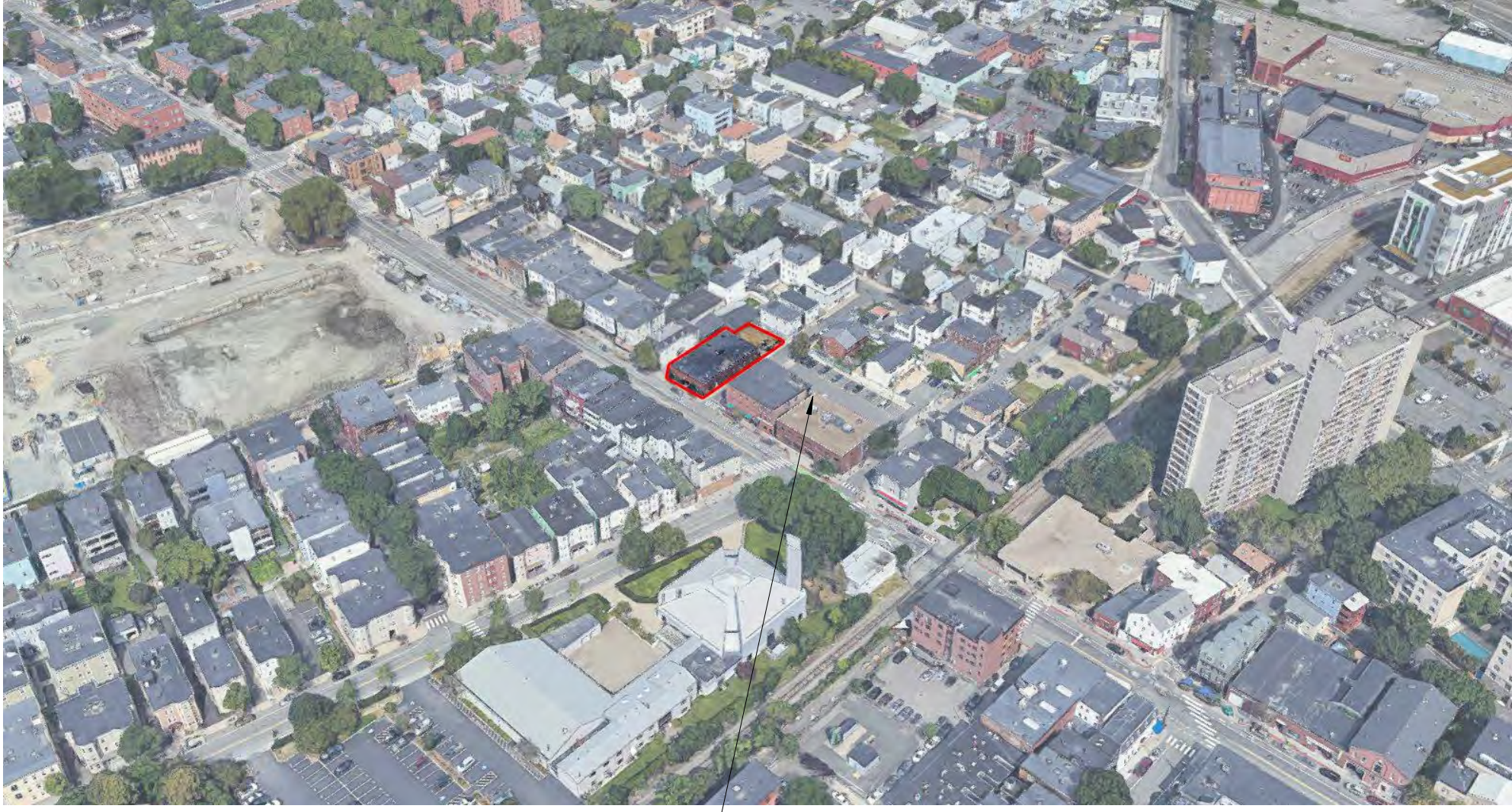


SITE: 747 CAMBRIGE ST

VIEW TOWARDS REAR OF
SITE FROM MARION ST



VIEW TOWARDS SITE
FROM CARDINAL
MEDEIROS AVE @
CAMBRIDGE ST



SITE: 747 CAMBRIDGE ST



VIEW TOWARDS SITE
FROM BERKSHIRE ST @
CAMBRIDGE ST



BIRD'S EYE VIEW (EAST
LOOKING WEST)



BIRD'S EYE VIEW (SOUTH
LOOKING NORTH)



BIRD'S EYE VIEW (WEST
LOOKING EAST)




BIRD'S EYE VIEW (NORTH
LOOKING SOUTH)

PROJECT NAME
**Cambridge @
Marion Residences**

PROJECT ADDRESS
**747 CAMBRIDGE ST
CAMBRIDGE MA**

CLIENT
**747 CAMBRIDGE
STREET, LLC**

ARCHITECT

KHALSA

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TELEPHONE: 617-591-8682

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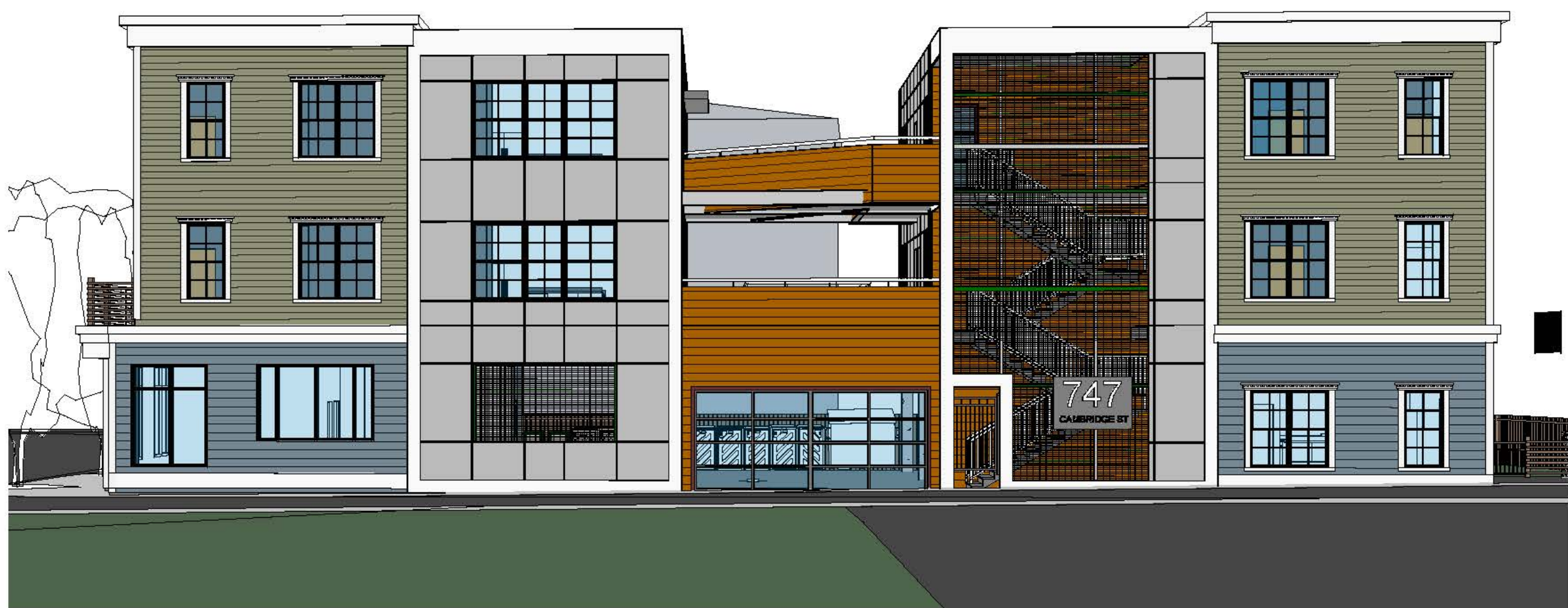
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REGISTRATION

Project number 18141
Date 07/19/2019
Drawn by ERS
Checked by JSK
Scale

REVISIONS		
No.	Description	Date

Neighborhood
Photos
AV-1
Cambridge @ Marion Residences



PROJECT NAME

**Cambridge @
Marion Residences**

PROJECT ADDRESS

**747 CAMBRIDGE ST
CAMBRIDGE MA**

CLIENT

**747 CAMBRIDGE
STREET, LLC**

ARCHITECT



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REGISTRATION

Project number 18141
Date 07/19/2019
Drawn by ERS
Checked by JSK
Scale

REVISIONS

No.	Description	Date

Perspectives

AV-2

Cambridge @ Marion Residences



PROJECT NAME

**Cambridge @
Marion Residences**

PROJECT ADDRESS

**747 CAMBRIDGE ST
CAMBRIDGE MA**

CLIENT

**747 CAMBRIDGE
STREET, LLC**

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
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REGISTRATION

Project number	18141
Date	07/19/2019
Drawn by	MI
Checked by	JSK
Scale	

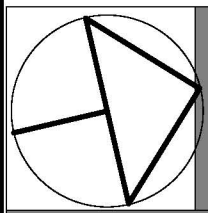
REVISIONS

No.	Description	Date

Rendering

AV-3

Cambridge @ Marion Residences



MORNING (9-10 AM)

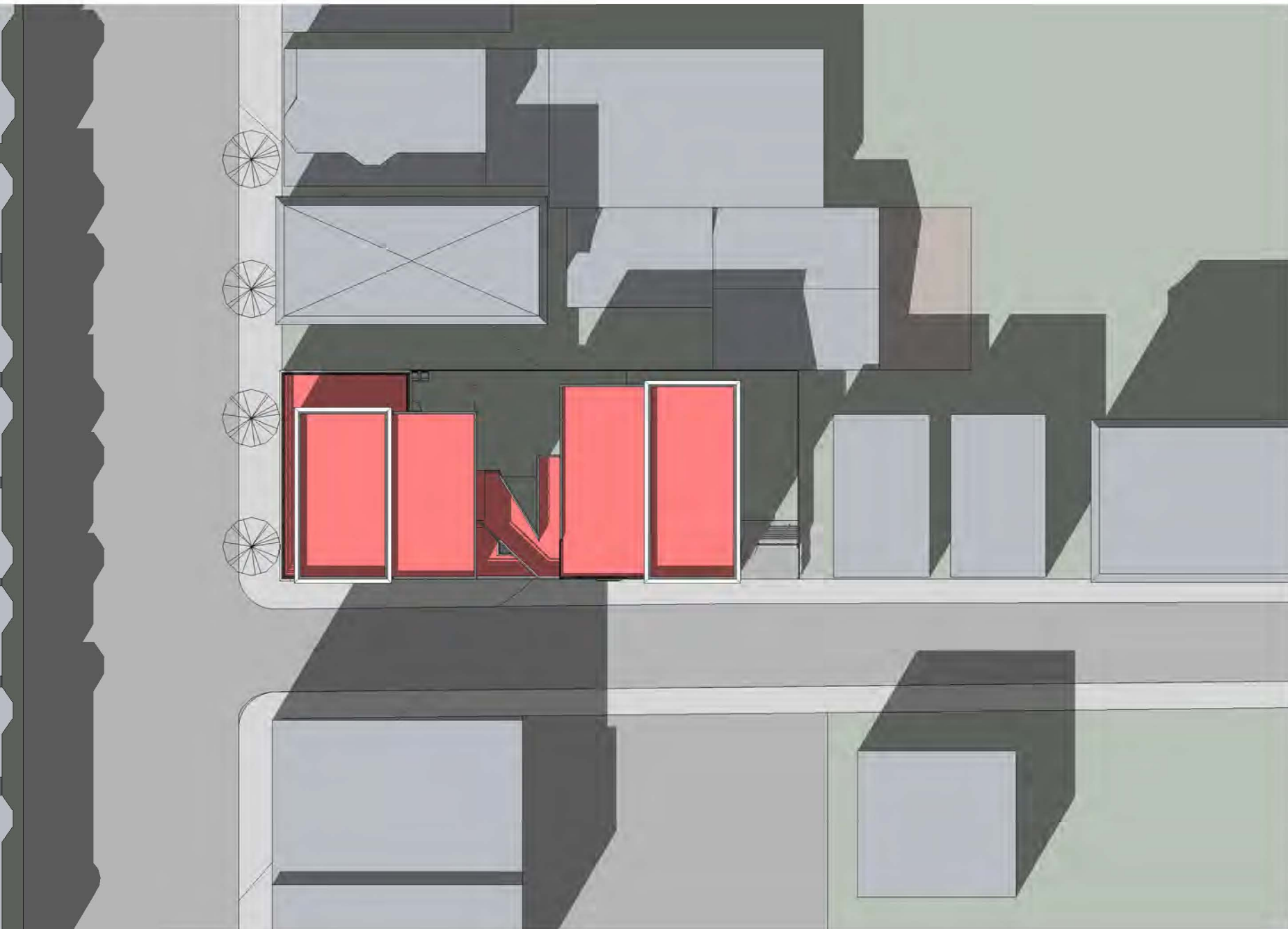
NOON (12 AM-1 PM)

AFTERNOON (3-4 PM)

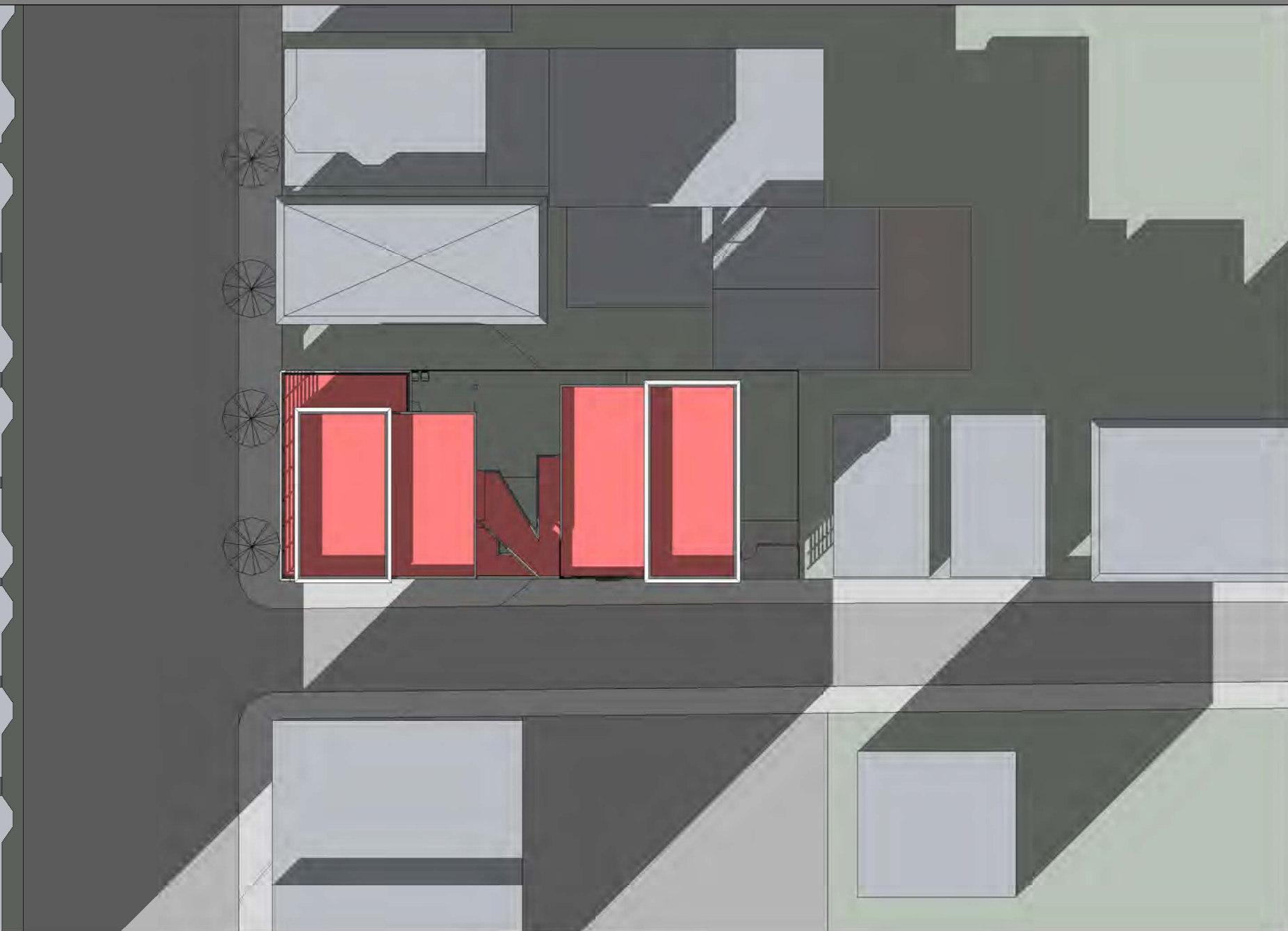
SUMMER SOLSTICE



FALL / SPRING EQUINOX



WINTER SOLSTICE




PROJECT NAME
Cambridge @
Marion Residences

PROJECT ADDRESS
747 CAMBRIDGE ST
CAMBRIDGE MA

CLIENT

747 CAMBRIDGE
STREET, LLC

ARCHITECT


KHALSA

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REGISTRATION

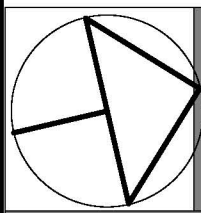
Project number	18141
Date	07/19/2019
Drawn by	Author
Checked by	Checker
Scale	As indicated

REVISIONS		
No.	Description	Date

Shadow Study

SS-1

Cambridge @ Marion Residences



MORNING (9-10 AM)

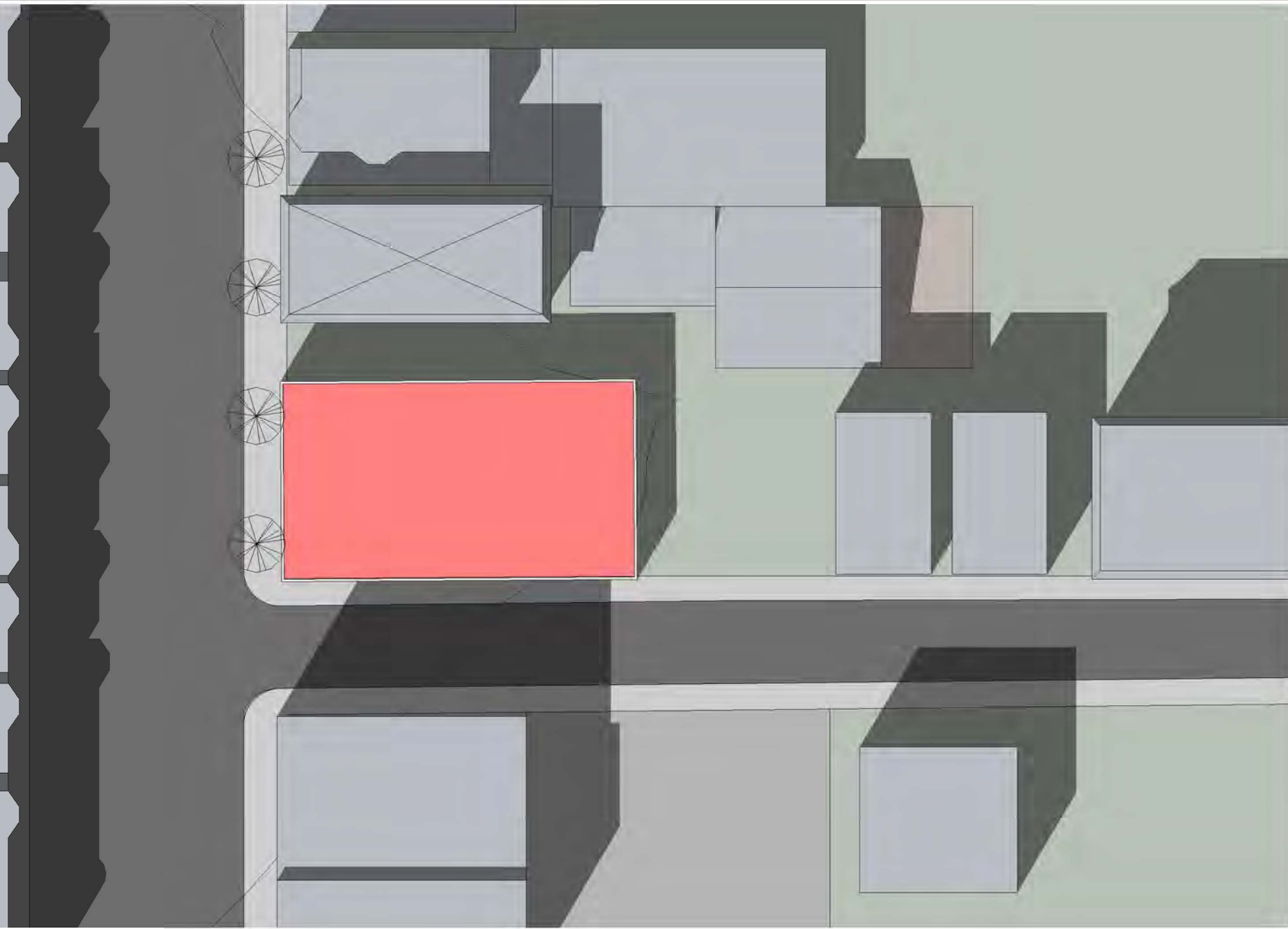
NOON (12 AM-1 PM)

AFTERNOON (3-4 PM)

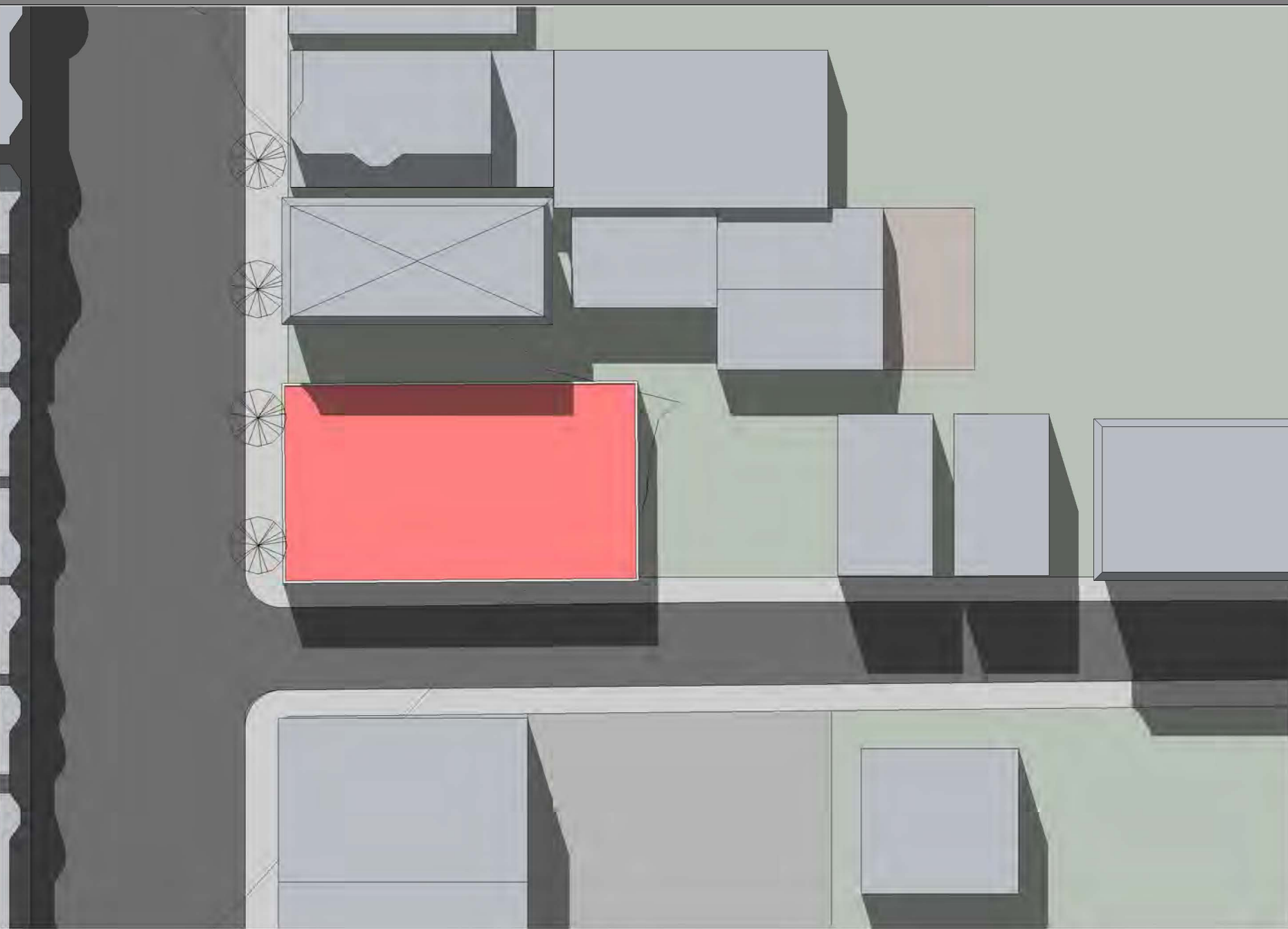
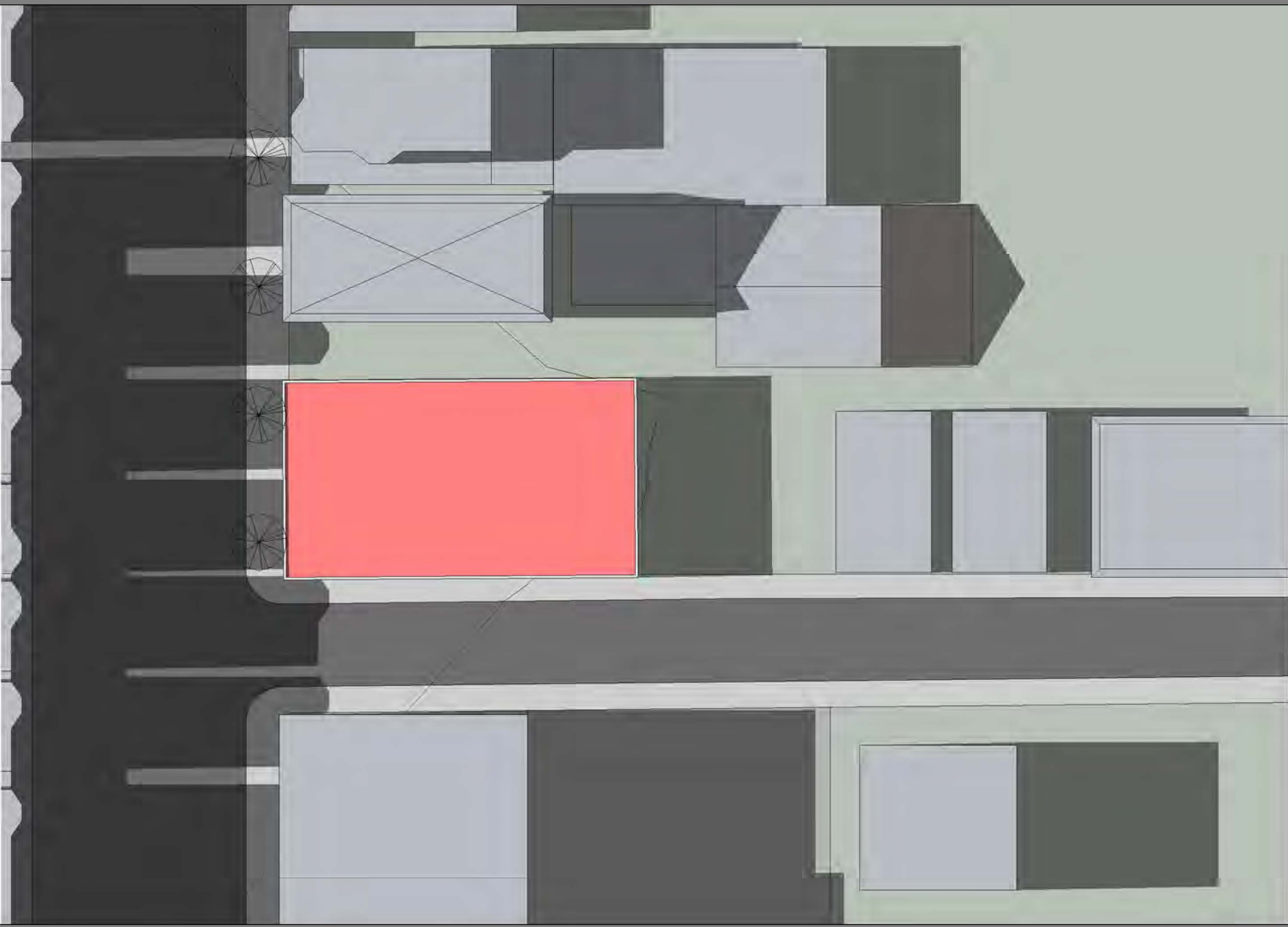
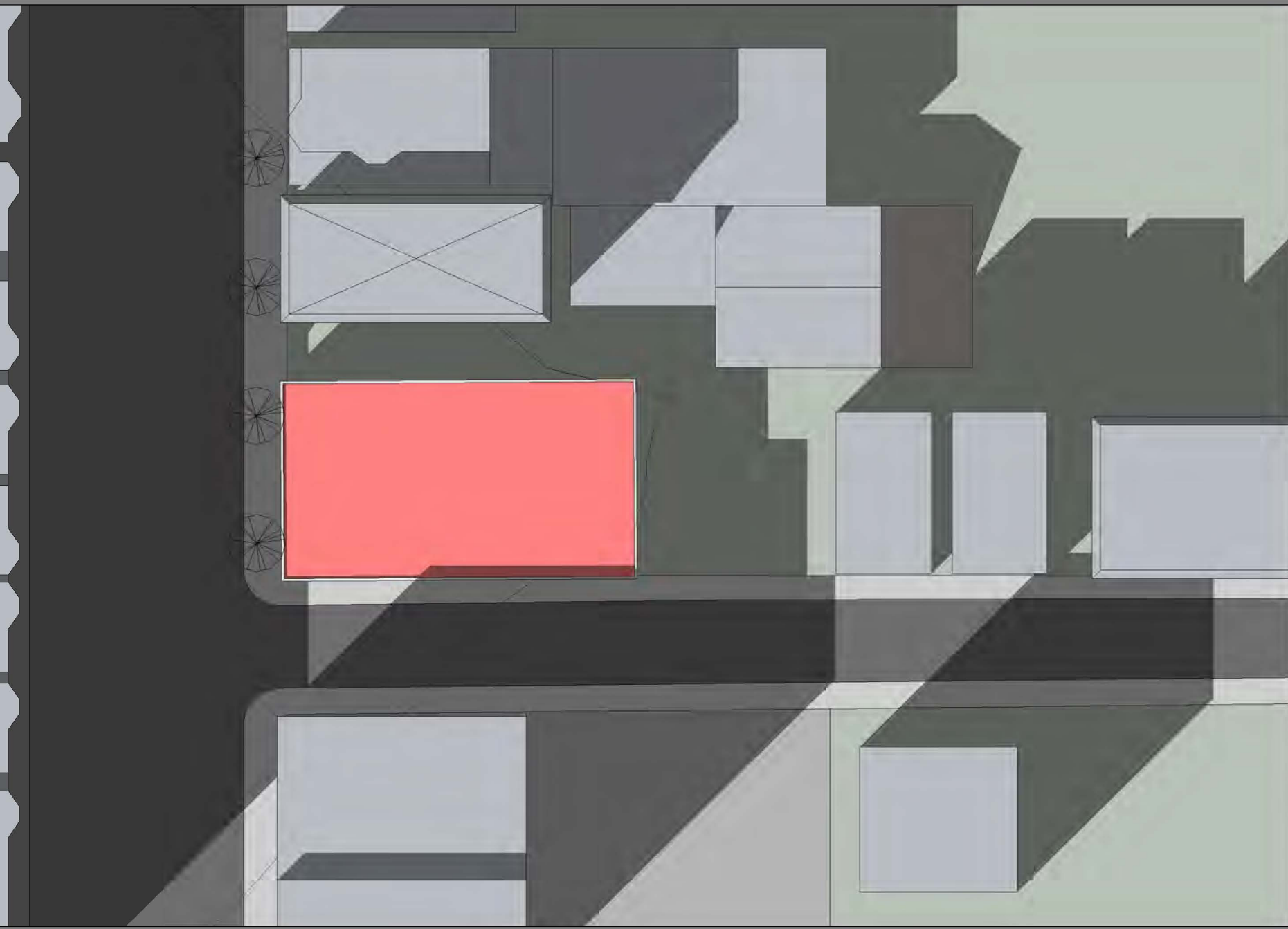
SUMMER SOLSTICE



FALL / SPRING EQUINOX



WINTER SOLSTICE




PROJECT NAME
Cambridge @ Marion Residences

PROJECT ADDRESS
747 CAMBRIDGE ST
CAMBRIDGE MA

CLIENT

747 CAMBRIDGE STREET, LLC

ARCHITECT



KHALSA

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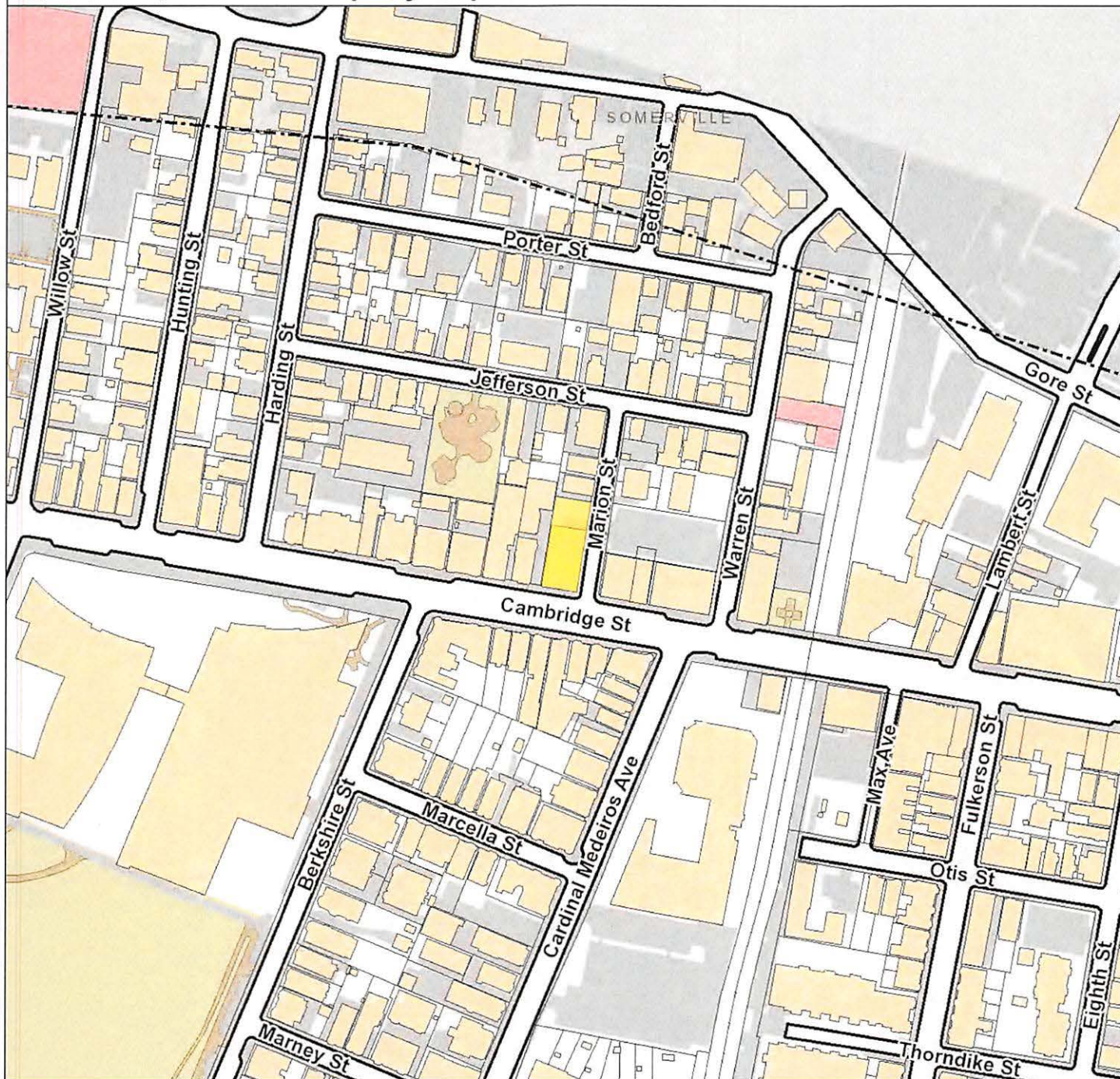
REVISIONS

No.	Description	Date

Existing Shadow Study

SS-2

Cambridge @ Marion Residences



City of Cambridge
Massachusetts

1" = 204 ft

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- Rail
- Building Footprints
- Parcels
- Paved Surfaces
 - Paved Roads
 - Bridges
 - Unpaved Roads
 - Unpaved Parking
 - Sidewalks
 - Driveways
 - Alleys
 - Other Paved Surface
 - Public Footpath





Provide Feedback

747 Cambridge St

Property Information

Property Class	FRAT-ORGANIZ
State Class Code	353
Zoning (Unofficial)	BA
Map/Lot	36-116
Land Area (sq. ft)	6,200

Property Value

Year of Assessment	2019
Tax District	C6
Residential Exemption	No
Building Value	\$161,000
Land Value	\$613,800
Assessed Value	\$774,800
Sale Price	\$0
Book/Page	69167/ 369
Sale Date	April 20, 2017
Previous Assessed Value	\$711,900
Property Tax Amount	\$11,174.35

This represents the total FY19 Real Estate Tax including the CPA Surcharge, but not including Residential Exemption or other Personal Exemptions deduction.

Owner Information

Photos



Sketches





POLISH AMERICAN CITIZENS
ASSOCIATION OF
CAMBRIDGE &
CITY OF CAMBRIDGE TAX
TITLE
747 CAMBRIDGE ST
CAMBRIDGE, MA 02141-1428

Provide Feedback

Building Information

COMMERCIAL BUILDING NUMBER 1, SECTION 1

Exterior

Style	CITY-CLUB
Occupancy	FRAT-ORGANIZ
Number of Stories	1
Exterior Wall Type	CONCR-BLOCK
Roof Material	RUBBER-MEMBRAN
Wall Height	12
Partitions	AVERAGE

Interior

Living Area (sq. ft.)	4,080
Number of Units	1

Systems

Heat Type	STEAM
Heat Fuel	Oil
Plumbing	AVERAGE

Condition & Grade

Year Built	1870
Overall Condition	Fair
Overall Grade	Fair

Subareas

Code	Description	Gross Area	Living Area
BAS	First Floor	4,080	4,080
UBM	Basement	4,080	0
Total:		8,160	4,080

747 Cambridge St.
BZA-017160-2019

BZA APPLICATION FORM
SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 747 Cambridge Street for the reduction of required parking under Section 6.35.1 of the Zoning Ordinance would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The proposed project includes Allowed Uses under the requirements of the Zoning Ordinance. The Zoning Ordinance requires nine (9) residential parking spaces (1 per dwelling unit) and 17 commercial parking spaces for the proposed project. The proposed project provides for nine (9) residential parking spaces, in compliance with the Ordinance, but does not provide for any commercial parking spaces for the proposed renovated, reduced and reconfigured Polish-American Citizens' Association of Cambridge, Inc. (the "Polish Club") space.

The lesser amount of parking will not cause excessive congestion, endanger public safety, substantially reduce parking availability for other uses or otherwise adversely impact the neighborhood, as the existing condition for the Polish Club does not provide any on-site parking allotment for patrons and, in fact, the proposed future condition for the Polish Club provides for less overall space requiring less off-street parking, thus mitigating the requirements of the Ordinance. In this regard, the Polish Club component accounts for a majority of the proposed project's required parking count (1 space per 6 members at maximum occupancy).

As part of the proposed mitigation package for the project, the Appellant also proposes to voluntarily provide one (1) of these nine (9) units as affordable housing in conjunction with the City's inclusionary development housing policies. As such, this lesser amount of parking helps to provide benefits to the users of the lot and the neighborhood, including specifically, among other benefits, assisting in the provision of a voluntary affordable housing unit.

Finally, in conformance with the determining factors itemized in Section 6.35.1 of the Ordinance, less off-street parking is reasonable in light of the availability of surplus off street parking in the vicinity of the use being served and/or the proximity of an MBTA transit station and the availability of public parking facilities in the vicinity of the premises. Specifically, the property is located an easy walk directly down Cambridge Street at approximately 0.6 miles from the Lechmere MBTA Green Line Station and MBTA Bus Station providing access to downtown Boston and beyond via the B, C, D, and E train lines and the 69, 80, 87 and 88 buses. The property is also located directly across the street from a large public parking lot at the corner of Marion Street and Macarelli Way which provides over 30 public parking spaces available for use by visitors

and Polish Club patrons. Lastly, the proposed project provides 10 long term bicycle parking locker spaces and two (2) short term spaces in compliance with the Ordinance.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The addition of nine (9) new residential units will cause a de minimus increase in traffic thereby not causing congestion hazard or a substantial change in the established neighborhood character. Additionally, the project proposes for garage access and egress from a single curb cut located along Marion Street, thereby mitigating impacts along Cambridge Street from vehicular entry and exit for the proposed project.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The proposed project will not adversely affect the continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance because both of the proposed uses for the project are Allowed Uses under the Ordinance and the Polish Club is a long-time existing use at the premises. Further, while the proposed project does not provide the required parking allotment, it does provide a one-to-one parking ratio for the residential units and the existing condition for the Polish Club does not provide any on-site parking allotment for patrons. Additionally, and as stated above, the property is located within short walking distance from the Lechmere MBTA Green Line Station and MBTA Bus Station providing access to downtown Boston and beyond via the B, C, D, and E train lines and the 69, 80, 87 and 88 buses. It is also located directly across the street from a large public parking lot at the corner of Marion Street and Macarelli Way which provides over 30 public parking spaces available for use by visitors and Polish Club patrons. Lastly, the proposed project provides 10 long term bicycle parking locker spaces and two (2) short term spaces in compliance with the Ordinance.

D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No nuisance or hazard will be created by the proposed uses to the detriment of the health, safety and/or welfare of the occupant of the proposed use because both of the proposed uses for the project are Allowed Uses under the Ordinance and the Polish Club is a long-time existing use at the premises. The Appellant has given special attention to the siting, scale, design, and scope of the new structure, open space and vehicular and pedestrian access and neighborhood safety. Additionally, the Ordinance identifies the applicable Residence C-1 Zone as designated for "multifamily dwellings" and the Business A Zone as designated for "local and drive in retail business, offices and multifamily dwellings," which the proposed development contemplates as described within this application.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

Again, the project's proposed uses are Allowed under the Ordinance and the project's required dimensional relief is alleviated by certain other mitigating factors, as described herein. Furthermore, the proposed project has been thoroughly processed with the community and the Appellant's proposed development will result in the much-needed revitalization of an under-utilized, irregularly shaped and unique property site with a new, Allowed Multifamily Residential Use, while also preserving the long-existing Polish Club Use, in a manner which is consistent with, and complementary to, the immediate and surrounding neighborhood. Therefore, the proposed use will not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of the Ordinance.



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2 Bds

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name:

[Signature]
(Print)

Date:

8-15-19

Address:

747 Cambridge St.

Case No.

BZA-017160-2019

Hearing Date:

9/12/19

Thank you,
Bza Members

January 10, 1968

~~CONFIDENTIAL~~

Mr. J. Edgar Hoover
Washington, D.C. 20535

Dear Mr. Hoover:

I am writing to you regarding the information that was
provided to me by the [redacted] on [redacted]

Very truly,
[redacted]

[redacted]

[redacted]

[redacted]

Very truly,
[redacted]



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Floor, Cambridge, Massachusetts 02139

Telephone: 617 349 4683 TTY: 617 349 6112

E-mail: histcomm@cambridgema.gov URL: <http://www.cambridgema.gov/Historic>

Bruce A. Irving, *Chair*; Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director*
William G. Barry, Jr., Robert G. Crocker, Joseph V. Ferrara, Chandra Harrington, Jo M. Solet, *Members*
Gavin W. Kleespies, Paula A. Paris, Kyle Sheffield, *Alternates*

Jurisdiction Advice

To the Owner of Property at 747 Cambridge Street

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- ☐ Old Cambridge Historic District
- ☐ Fort Washington Historic District
(M.G.L. Ch. 40C, City Code §2.78.050)
- ☐ Avon Hill Neighborhood Conservation District
- ☐ Half Crown – Marsh Neighborhood Conservation District
- ☐ Harvard Square Conservation District
- ☐ Mid Cambridge Neighborhood Conservation District
- ☐ Designated Landmark
- ☐ Property is being studied for designation: _____
(City Code, Ch. 2.78., Article III, and various City Council Orders)
- ☐ Preservation Restriction or Easement (as recorded)
- ☒ Structure is fifty years or more old and is therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). See the back of this page for definition of demolition.
The existing building has been determined to be not significant per the city's Demolition Review ordinance. No hearing of the Historical Commission would be required for its demolition..
- ☐ No jurisdiction: not a designated historic property and the structure is less than fifty years old.
- ☐ No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SLB

Date August 27, 2019

Received by Uploaded to Energov

Date August 27, 2019

Relationship to project BZA 017160-2019

cc: Applicant
Inspectional Services Commissioner

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission
831 Massachusetts Ave., 2nd Fl.
Cambridge, MA 02139
Ph: 617/349-4683 or TTY: 617/349-6112
<http://www.cambridgema.gov/Historic>