



**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

**To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.**

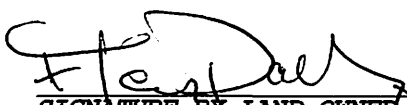
I/We Polish-American Citizens' Association of Cambridge, Inc.  
*(OWNER)*

Address: 747 Cambridge Street, Cambridge, MA 02141

State that I/We own the property located at 747 Cambridge Street,  
which is the subject of this zoning application.

The record title of this property is in the name of \_\_\_\_\_  
Polish-American Citizens' Association of Cambridge, Inc.


\*Pursuant to a deed of duly recorded in the date August 24, 1956, Middlesex South  
County Registry of Deeds at Book 08798, Page 1; or  
and 7445 163  
Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_.

  
\_\_\_\_\_  
SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

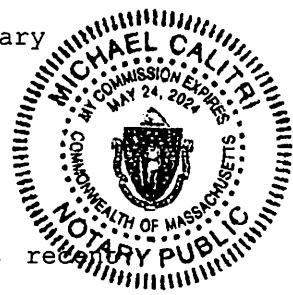
**\*Written evidence of Agent's standing to represent petitioner may be requested.**

Commonwealth of Massachusetts, County of Essex

The above-name Tammy L Darling personally appeared before me,  
this 17th of December, 2019, and made oath that the above statement is true.

  
\_\_\_\_\_  
Notary

My commission expires 5/24/2024 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recorded deed, or inheritance, please include documentation.



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I/We Polish-American Citizens' Association of Cambridge, Inc.  
(OWNER)

Address: 747 Cambridge Street, Cambridge, MA 02141

State that I/We own the property located at 747 Cambridge Street, which is the subject of this zoning application.

The record title of this property is in the name of Polish-American Citizens' Association of Cambridge, Inc.

\*Pursuant to a deed of duly recorded in the date August 24, 1956, Middlesex South County Registry of Deeds at Book 08798, Page 1; or and 7445 163 Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_.

Victor M. Resendes  
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*  
Victor M Resendes President

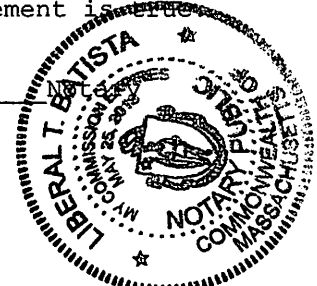
\*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of MIDDLESEX

The above-name VICTOR M. RESENDES personally appeared before me, this 17<sup>TH</sup> of DEC., 2019, and made oath that the above statement is true.

Liberal T. Batista

My commission expires 05/23/2025 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



**BZA APPLICATION FORM  
SUPPORTING STATEMENT FOR A VARIANCE**

***EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:***

**A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:**

A literal enforcement of the provisions of the Ordinance would involve a substantial financial and architectural hardship to the Appellant. Underutilized for many years as a single-story citizens club in a squat, unappealing brick building, the property site is ideal for infill improvement and revitalization, and for certain enhancements of pedestrian connectivity to the nearby, vibrant business districts and public transportation nodes. In response to the existing conditions, the proposal has been carefully designed and planned as a transit and pedestrian focused development with upgraded connectivity and walkability.

The site itself is located within two zoning districts: the front 100 feet is located in the BA Zone (Business A) and the rear 24 feet is located in the C-1 Zone (Residence C-1); as such, the proposed use as a multifamily residential dwelling is Allowed in both zones. The Business A Zone also Allows the proposed project's renovated Polish-American Citizens' Association of Cambridge, Inc. (the "Polish Club") space as a "club, lodge or other fraternal or sororal meeting facility." Please note, the club use is not situated within the 1,200 square feet of the Project Site located in the C-1 Zone and therefore its use provisions are not applicable.

If the property site was located entirely within the BA Zone, then Section 5.28-1 Dwellings in Non-Residential Districts would be applicable. A dwelling in a Business A district is subject to the same dimensional requirements and other restrictions as a dwelling in a Residence C-2B district. Therefore, the maximum Floor Area Ratio ("FAR") would be increased to 1.75 and the project's proposed revised and reduced FAR of 1.73 would be in conformance with the allowed maximum. In response to feedback from the Planning Board and nearby residents, the Appellant reduced the proposed FAR from 1.84, and an 11,451 square foot building, to 1.73, and a 10,735 square foot building. This, coupled with the proposed new space for the Polish Club, provides the proponent's rationale for requiring an FAR variance from the Ordinance combined maximum of 1.375. The proponent is proposing to maintain the Polish Club use, an existing long-time use in the community as a fraternal organization, which causes certain difficulties in siting and sizing of the building development in order to provide adequate usable space and proper circulation. The proposed project allows for eight (8) new two-bedroom, two-bathroom homeownership units as development without displacement by providing new, modernized space for the Polish Club use.

Additionally, as the property site fronts on two streets (Cambridge and Marion), it requires certain zoning relief for Side Yard Setback, which is also due to the property site's narrow width of 50 feet in comparison to its length of approximately 125 feet.

**B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:**

The substantial hardship is due to the unique location of the property site, which is located on the corner of Cambridge Street and Marion Street in the City's Wellington-Harrington neighborhood. Situated on an approximately 6,200 square foot lot, the existing building is a single story brick building which covers a majority of the Site and is located in two zoning districts: the front 100 feet is located in the BA Zone (Business A) and the rear 24 feet is located in the C-1 Zone (Residence C-1). Additionally, certain of the zoning relief required for the project is due to the property site's narrow width of 50 feet in comparison to its length of approximately 125 feet. These irregularities have caused issues with siting the building in an appropriate manner on the property site without violating the setback requirements. The property location on the corner (as further illustrated in the project drawings and at the Board hearing) presents a practical difficulty in locating the structure of the Allowed Multifamily Residential Use, for the purpose of providing additional quality housing in the neighborhood, and the setbacks required are mitigated by the property site's location and shape, unlike many other nearby properties.

Additionally, the existing building currently encroaches onto the sidewalk at numerous points and the proposed project would greatly improve this existing condition by providing enhancements of pedestrian connectivity as it is carefully designed and planned as a transit and pedestrian focused development with upgraded connectivity and walkability.

**C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

**1) Substantial detriment to the public good for the following reasons:**

There will be no substantial detriment to the public good as the proposed project has been thoroughly processed with the community and the Appellant's proposed development will result in the much-needed revitalization of an under-utilized, irregularly shaped and unique property site with a new, Allowed Multifamily Residential Use, while also preserving the long-existing Polish Club Use, in a manner which is consistent with, and complementary to, the immediate and surrounding neighborhood. Additionally, the Appellant has now made certain project modifications in order to lessen the impact of the proposed project on the immediate area thus causing less of a detriment to the public good. In this regard, the following project modifications are now incorporated into the proposal:

- Removed one (1) dwelling unit such that the project now consists of eight (8) dwelling units and the Polish Club;
- Reduced the massing of the building by approximately 1,000 square feet;
- Reduced the FAR from approximately 1.84 to approximately 1.73
- Adjusted setbacks and enclosed stairs and connector piece;
- Correspondingly increased the amount of open space with an increase from approximately 19.7% (1,227 square feet) to approximately 21% (1,295 square feet);
- Pulled the North (Rear) massing inward (towards Marion St) by approximately 1'6" to maintain five (5') feet between the proposed new building and the direct abutter's property. The left side setback is now five (5') feet at this portion of the building.
- Extended the drive aisle to 22' to accommodate for four (4) full size spaces at the north side, while still proposing five (5) compact spaces for a total of nine (9) parking spaces, with a 1 to 1 parking ratio for the residential units and one (1) additional available space for the Polish Club;
- Added a common lobby to the building and enclosed the stair and connector piece for a more cohesive and appealing design program, with the connector piece now clad with cementitious boards and reglets rather than cedar siding; and
- Simplified the massing along Marion Street and made additional building reconfigurations.

Additionally, the proposed project provides development without displacement by adding eight (8) new residential units while maintaining the Polish Club Use and providing for its long-term economic viability and stability within the community. As part of the proposed project, the Appellant will also be removing an eyesore building in need of remediation and upgrade from an important and visible corner in the City.

In furtherance of this particular finding, the Appellant held its own informal abutter meeting on April 22, 2019, at the property site and also presented the proposed project to the East Cambridge Business Association on May 14, 2019, at the Loyal Nine restaurant at 660 Cambridge Street. The Appellant held a follow up abutter meeting on December 4th, 2019, at the Kennedy-Longfellow School Auditorium, 158 Spring Street Cambridge MA 02141, in close proximity to the project site, in order to present the above-detailed project modifications and revisions to the abutters and neighbors of the site. As such, the Appellant submits that the

requested relief is consistent with the character and concerns providing for the public good, as the Appellant has given special attention to the siting, scale, design, and scope of the new structure, open space and vehicular and pedestrian access and neighborhood safety. Additionally, the Ordinance identifies the applicable Residence C-1 Zone as designated for “multifamily dwellings” and the Business A Zone as designated for “local and drive in retail business, offices and multifamily dwellings,” which the proposed development contemplates as described within this application.

**2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:**

Relief may be granted without nullifying or substantially derogating from the intent or purpose of the Ordinance in regards to the Appellant’s project because its proposed uses are Allowed under the Ordinance and the project’s required dimensional relief is mitigated by its location in two (2) different zoning districts despite being only a 6,200 total square foot property. Additionally, as detailed above, if the site was located entirely within the BA Zone, then the maximum FAR would be 1.75 and the project’s proposed FAR of 1.73 would be in conformance with the allowed maximum FAR. Additionally, the FAR relief requested is mostly required in order to provide the proposed new space for the Polish Club. The project’s required relief for Front Yard Setback and Side Yard Setback are also di minimus in nature as the existing building currently encroaches onto the sidewalk at numerous points and the proposed project would improve this existing condition. The proposed right Side Yard Setback is 15’8”, in excess of the required 10’8.5” right Side Yard Setback calculation, while the Front Yard Setbacks at both Cambridge Street and Marion Street (as it is a corner lot) are mitigated by the fact that these setbacks are consistent with the existing street line conformity on a busy commercial street with no material impact on any direct abutters.

Finally, while the proposed project does require zoning relief for both the parking space size allocation and the parking amount, it does provide a one-to-one parking ratio for the residential units and a dedicated parking space for the Polish Club, whereas the existing condition for the Polish Club does not provide any current on-site parking allotment for patrons. As further mitigation of the on-site parking programming deficiency caused primarily by the lack of parking for the Polish Club Use, the property is located a short walk directly down Cambridge Street at approximately 0.6 miles from the Lechmere MBTA Green Line Station and MBTA Bus Station providing access to downtown Boston and beyond via the B, C, D, and E train lines and the 69, 80, 87 and 88 buses. It is also located directly across the street from a large public parking lot at the corner of Marion Street and Macarelli Way which provides over 30 public parking spaces available for use by visitors and Polish Club patrons. Lastly, the proposed project provides both long term bicycle parking locker spaces and short term spaces in compliance with the Ordinance, which further mitigates the off-street parking relief.

**BZA APPLICATION FORM  
SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

*Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.*

*Granting the Special Permit requested for 747 Cambridge Street for the reduction of required parking under Section 6.35.1 of the Zoning Ordinance would not be a detriment to the public interest because:*

**A) Requirements of the Ordinance can or will be met for the following reasons:**

The proposed project includes Allowed Uses under the requirements of the Zoning Ordinance. The Zoning Ordinance requires eight (8) residential parking spaces (1 per dwelling unit) and 16 commercial parking spaces for the proposed project. The proposed project provides for nine (9) total parking spaces, with a one to one parking ratio for the residential units in compliance with the Ordinance, and one (1) commercial parking spaces for the proposed renovated, reduced and reconfigured Polish-American Citizens' Association of Cambridge, Inc. (the "Polish Club") space. Therefore, the Special Permit is required for 15 commercial parking spaces for use by the Polish Club.

The lesser amount of parking will not cause excessive congestion, endanger public safety, substantially reduce parking availability for other uses or otherwise adversely impact the neighborhood, as the existing condition for the Polish Club does not provide any on-site parking allotment for patrons and, in fact, the proposed future condition for the Polish Club provides for less overall commercial space requiring less off-street parking, thus mitigating the requirements of the Ordinance and lessening the current impacts of the use at the site. In this regard, the Polish Club component accounts for a majority of the proposed project's required parking count (1 space per 6 members at maximum occupancy). The revised proposed project now includes a dedicated parking space for the Polish Club, whereas the existing condition for the Polish Club does not provide any current on-site parking allotment for patrons or employees.

Finally, in conformance with the determining factors itemized in Section 6.35.1 of the Ordinance, less off-street parking is reasonable in light of the availability of surplus off street parking in the vicinity of the use being served and/or the proximity of an MBTA transit station and the availability of public parking facilities in the vicinity of the premises. Specifically, the property is located within a short walk directly down Cambridge Street at approximately 0.6 miles from the Lechmere MBTA Green Line Station and MBTA Bus Station providing access to downtown Boston and beyond via the B, C, D, and E train lines and the 69, 80, 87 and 88 buses. The property is also located directly across the street from a large public parking lot at the corner of Marion Street and Macarelli Way which provides over 30 public parking spaces available for use by visitors and Polish Club patrons. Lastly, the proposed project provides both long term bicycle parking locker spaces and short term spaces in compliance with the Ordinance, which further mitigates the off-street parking relief.

**B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:**

The addition of eight (8) new residential units will cause a de minimus increase in traffic thereby not causing congestion hazard or a substantial change in the established neighborhood character. Additionally, the project proposes for parking access and egress from a single curb cut located along Marion Street, thereby mitigating impacts along the busier main thoroughfare of Cambridge Street from vehicular entry and exit for the proposed project.

**C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:**

The proposed project will not adversely affect the continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance because both of the proposed uses for the project are Allowed Uses under the Ordinance and the Polish Club is a long-time existing cultural use at the premises. Further, while the proposed project does not provide the required parking allotment, it does provide a one-to-one parking ratio for the residential units and one dedicated parking space for the Polish Club, whereas the existing condition for the Polish Club does not provide any on-site parking allotment for patrons or employees. Additionally, and as stated above, the property is located within short walking distance from the Lechmere MBTA Green Line Station and MBTA Bus Station providing access to downtown Boston and beyond via the B, C, D, and E train lines and the 69, 80, 87 and 88 buses. It is also located directly across the street from a large public parking lot at the corner of Marion Street and Macarelli Way which provides over 30 public parking spaces available for use by visitors and Polish Club patrons. Lastly, again, the proposed project provides both long term bicycle parking locker spaces and short term spaces in compliance with the Ordinance, which further mitigates the off-street parking relief.

**D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:**

No nuisance or hazard will be created by the proposed uses to the detriment of the health, safety and/or welfare of the occupant of the proposed use because both of the proposed uses for the project are Allowed Uses under the Ordinance and the Polish Club is a long-time existing cultural use at the premises. The Appellant has given special attention to the siting, scale, design, and scope of the new structure, open space and vehicular and pedestrian access and neighborhood safety. Additionally, the Ordinance identifies the applicable Residence C-1 Zone as designated for "multifamily dwellings" and the Business A Zone as designated for "local and drive in retail business, offices and multifamily dwellings," which the proposed development contemplates as described within this application.

**E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:**

Again, the project's proposed uses are Allowed under the Ordinance and the project's required dimensional relief is alleviated by certain other mitigating factors, as described herein and presented to the Board at the public hearing. Furthermore, the proposed project has been thoroughly processed with the community, with certain project modifications designed to lessen the related impacts on the immediate neighborhood, and the Appellant's proposed development will result in the much-needed revitalization of an under-utilized, irregularly shaped and unique property site with a new, Allowed Multifamily Residential Use, while also preserving the long-existing Polish Club Use, in a manner which is consistent with, and complementary to, the immediate and surrounding neighborhood. Therefore, the proposed use will not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of the Ordinance.







CITY OF CAMBRIDGE  
 MASSACHUSETTS  
 BOARD OF ZONING APPEAL  
 831 MASSACHUSETTS AVENUE  
 CAMBRIDGE, MA 02139  
 617 349-6100

2019 DEC 19 PM 12:40

BZA APPLICATION FORM  
GENERAL INFORMATION

OFFICE OF THE CITY CLERK  
 CAMBRIDGE, MASSACHUSETTS  
 Plan No. BZA-017232-2019

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit :   √   Variance :   √   Appeal :           

PETITIONER : 747 Cambridge St, LLC - C/O Ed Doherty, Kems Holding Corporation

PETITIONER'S ADDRESS : 200 Broadway, Suite 103 Lynnfield, MA 01940

LOCATION OF PROPERTY : 747 Cambridge St Cambridge, MA 02135

TYPE OF OCCUPANCY : Mixed ZONING DISTRICT : Business A Zone & Residence C-1 Zone


REASON FOR PETITION :  
New Structure

DESCRIPTION OF PETITIONER'S PROPOSAL :

Construct a new, mixed-use building, including improved ground floor commercial space of approximately 1,500 square feet and eight (8) residential units on the upper floors, along with nine (9) on-site parking spaces, in an appropriately-designed building with related improvements in site design, open space, and pedestrian access. The proposed project also includes nine (9) long term and two (2) short term bicycle parking spaces.

SECTIONS OF ZONING ORDINANCE CITED :

- Article 5.000 Section 5.27.2 (Floor Area Ratio).
- Article 5.000 Section 5.24 (Front & Side Yard Setback).
- Article 6.000 Section 6.34 (Parking Space Size Allocation).
- Article 6.000 Section 6.35.1 (Reduction of Required Parking).
- Article 5.000 Section 5.31 & 5.33 (Table of Dimensional Requirements).

Original Signature(s) :   
 (Petitioner(s) / Owner)

Edward Doherty  
 (Print Name)

Address : 200 Broadway, Suite 103  
Lynnfield, MA 01940

Tel. No. : 978-360-9558

E-Mail Address : edoherty@kemscorp.com

Date : 12/18/19



Architectural Drawing List			
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date
A-000	Cover Sheet	12/17/2019	
C-1	Existing Civil Plan	11/26/2018	
C-2	Proposed Civil Plan	12/10/2019	
A-020	Architectural Site Plan	12/17/2019	
A-021	Bike Parking Plan	12/17/2019	
A-022	Area Plans	12/17/2019	
A-023	Egress Diagrams	12/17/2019	
A-100	1st Floor Plan	12/17/2019	
A-101	2nd Floor Plan	12/17/2019	
A-102	3rd Floor Plan	12/17/2019	
A-103	Proposed Roof Plan	12/17/2019	
A-300	Front Elevations	12/17/2019	
A-301	Side Elevations	12/17/2019	
A-302	Courtyard Elevations	12/17/2019	
AV-1	Neighborhood Photos	12/17/2019	
AV-2	Perspectives	12/17/2019	
AV-3	Rendering	12/17/2019	
SS-1	Shadow Study	12/17/2019	
SS-2	Existing Shadow Study	12/17/2019	



**PROJECT NAME**  
**Cambridge @ Marion Residences**

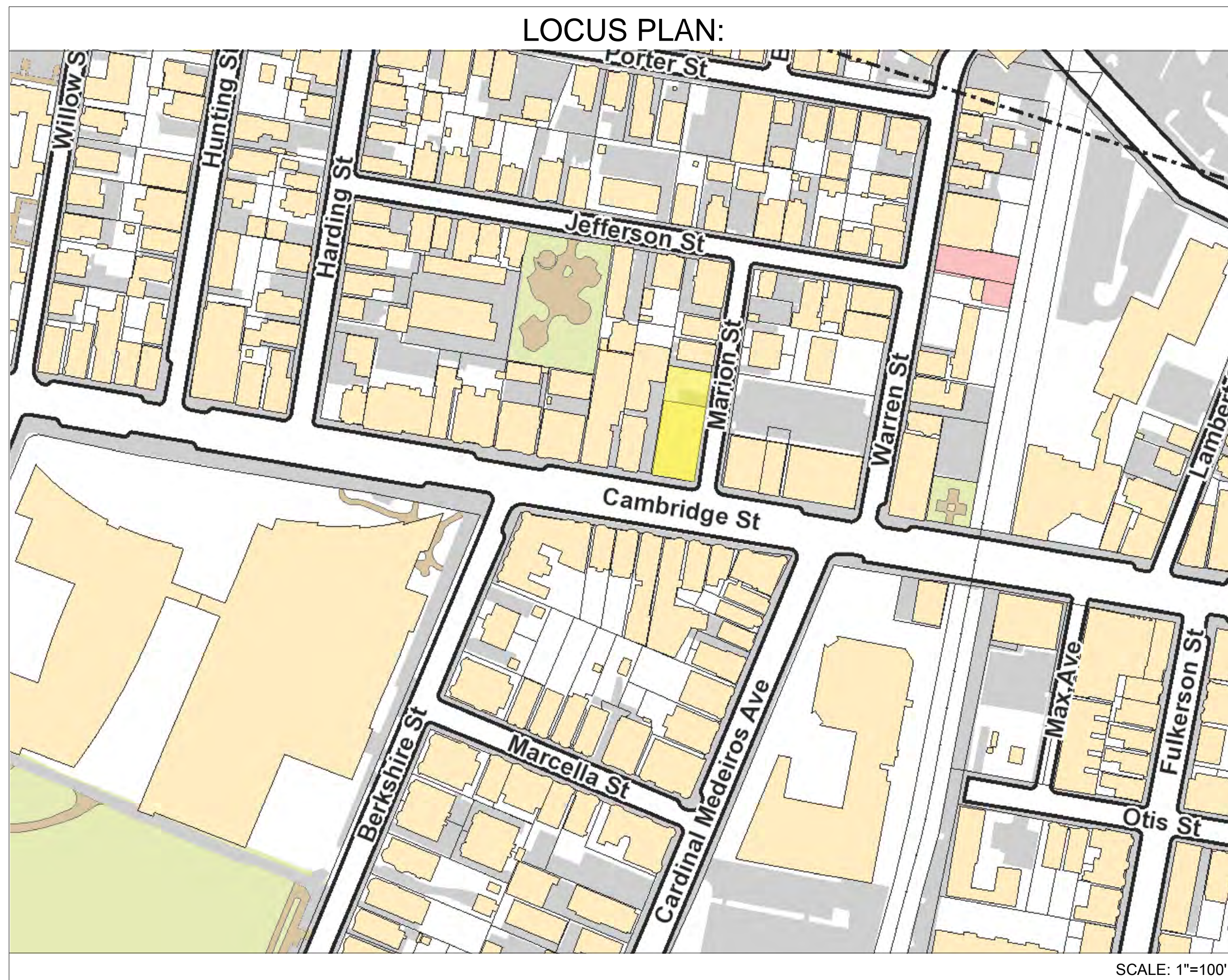
**PROJECT ADDRESS**  
 747 CAMBRIDGE ST  
 CAMBRIDGE MA

**CLIENT**  
**747 CAMBRIDGE STREET, LLC**

**ARCHITECT**  
  
**KHALSA**

17 IVALOO STREET SUITE 400  
 SOMERVILLE, MA 02143  
 TELEPHONE: 617-591-8682

**CONSULTANTS:**



# PROJECT: CAMBRIDGE @ MARION RESIDENCES

747 CAMBRIDGE STREET,  
CAMBRIDGE MASSACHUSETTS

**ARCHITECT**  
**KHALSA DESIGN INC.**  
 ADDRESS:  
 17 IVALOO STREET, SUITE 400  
 SOMERVILLE, MA 02143  
 (617)-591-8682

**CIVIL ENGINEER**  
**PETER NOLAN & ASSOCIATES**  
 ADDRESS:  
 697 CAMBRIDGE STREET, SUITE 103  
 BRIGHTON, MA 02134  
 (857)-891-7478

**CLIENT**  
**747 CAMBRIDGE STREET, LLC**  
 C/O KEMS HOLDING CORPORATION  
 200 BROADWAY, SUITE 103  
 LYNNFIELD MA 01940

**CIVIL ENGINEER**  
**SPRUHAN ENGINEERING, P.C.**  
 ADDRESS:  
 80 JEWETT ST, SUITE 1  
 NEWTON, MA 02458  
 (617)-816-0722

## SUBMISSION TO CITY OF CAMBRIDGE 12/17/2019

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 SHALL RESULT IN THE FULLEST EXTENT  
 OF PROSECUTION UNDER LAW

**REGISTRATION**

Project number	18141
Date	12/17/2019
Drawn by	ERS
Checked by	JSK
Scale	1" = 100'-0"

**REVISIONS**

No.	Description	Date
1		

Cover Sheet

**A-000**

Cambridge @ Marion Residences

12/17/2019 10:13:49 AM  
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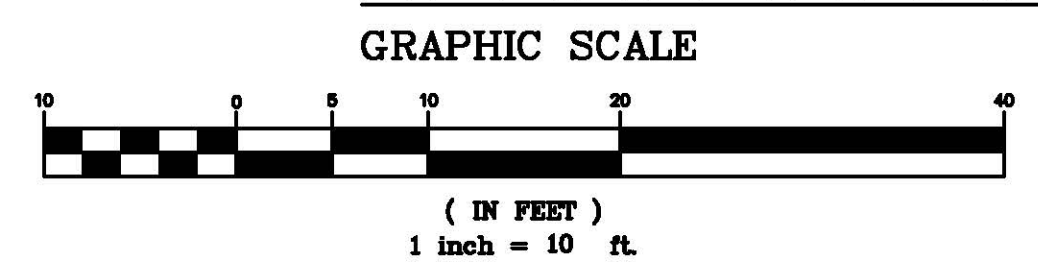
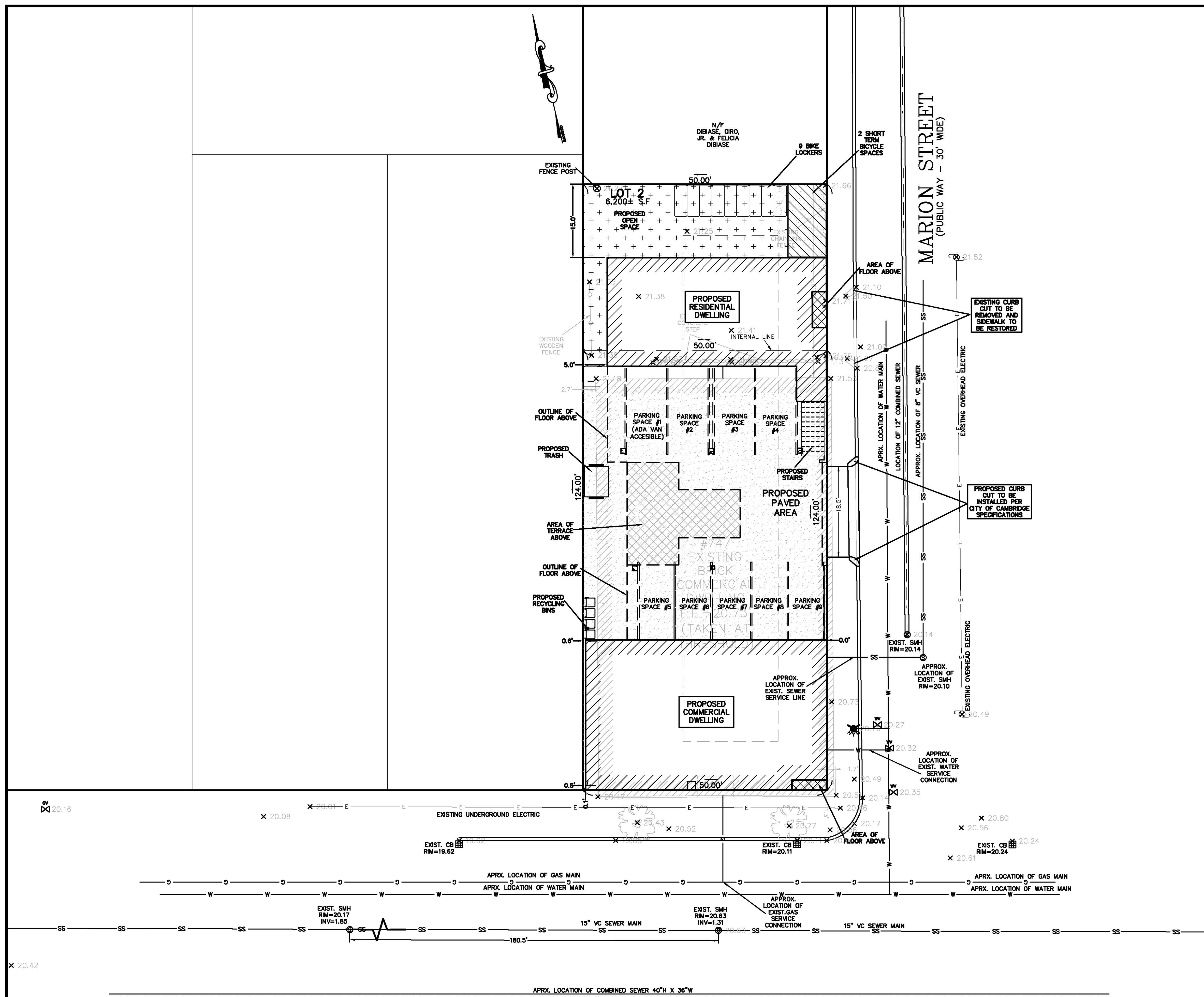




NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11-24-2018.
2. DEED REFERENCE BOOK 8798 PAGE 001, PLAN REFERENCE PLAN END OF BOOK 1143 SOUTHERN MIDDLESEX REGISTRY OF DEEDS.
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0577E, PANEL NUMBER 0577E, COMMUNITY NUMBER: 250186, DATED JUNE 04, 2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.

LEGEND	
	PROPOSED DRAIN LINE
	SEWER MANHOLE
	EXISTING WATER LINE
	EXISTING GAS LINE
	UTILITY POLE
	GAS VALVE
	OVERHEAD ELECTRIC SERVICE
	WATER VALVE
	CATCH BASIN
	FENCE
	CONTOUR LINE (MJR)
	CONTOUR LINE (MNR)
	SPOT GRADE
	DRAIN MANHOLE
	HYDRANT
	TREE



CAMBRIDGE STREET  
 (PUBLIC WAY - 66' WIDE)

SCALE	1"=10'
DATE	12/10/2019
SHEET	1
PLAN NO.	1 OF 1
CLIENT:	747 CAMBRIDGE STREET CAMBRIDGE MASSACHUSETTS
DRAWN BY	AU
CHKD BY	PJN
APPD BY	PJN
<p>PROPOSED PLOT PLAN</p> <p><b>PETER NOLAN &amp; ASSOCIATES LLC</b>          LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS          80 JEWETT ST, SUITE 1, NEWTON, MA 02458          PHONE: 857 891 7478/617 782 1533          EMAIL: pnolan@pnasurveyors.com</p>	
SHEET NO.	1

PETER NOLAN & ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
 THE EXTENT OF PETER NOLAN & ASSOCIATES LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST.  
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 NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF PETER NOLAN & ASSOCIATES LLC ANY REPRODUCTION IN THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF PETER NOLAN & ASSOCIATES LLC SHALL BE PENALTY AND UNLAWFUL.



# ZONING CHART

ZONE : BA	REQUIRED (BA)	REQUIRED (C1)	REQUIRED (C2B)	REQUIRED (COMBINED)	EXISTING	PROPOSED	REMARKS
LOT AREA, MIN S.F.	1,500 S.F. IN BA ZONE	1,200 S.F. IN C1 ZONE	3,500 S.F. IN C2B ZONE				
LOT AREA, MIN S.F. / DU	600 S.F. / DU 2.5 DU ALLOWED	1,500 S.F. / DU 0.8 DU ALLOWED	600 S.F. / DU 5.8 DU ALLOWED	9.1 DU ALLOWED (See 5.27.1 Below)	1 COMMERCIAL SPACE	8 DU + 1 COMMERCIAL SPACE	COMPLIES
MAX. FAR	1 (1,500)	0.75 (900 S.F.)	1.75 (6,125 S.F.)	8,525 S.F. (1.375) (See 5.27.2 Below)	.66 (4,080 S.F.) PER DATABASE	10,735 S.F. (1.73) (9,235 S.F. RESIDENTIAL)	<b>DOES NOT COMPLY</b>
MIN. LOT WIDTH	N/A	50'	50'	50'	50' - 0"	50' - 0"	COMPLIES
MIN. FRONT YARD (CAMBRIDGE ST.)	0'-0"	(H+L) / (4+2) (35+50)/4=14.2' 10' MIN.	(H+L) / (4+2) (35+50)/4=14.2' 10' MIN.	14.2' 10' MIN.	1.3' OVER 31.3' FROM CL OF STREET	0'-0" (33' FROM CL OF ST) 4'-6" @ Residential (37'-6" FROM CL OF ST)	COMMERCIAL COMPLIES W/ BA <b>RESIDENTIAL DOES NOT COMPLY W/ C-1 OR C-2B</b>
MIN. FRONT YARD (MARION ST.)	0'-0"	(H+L) / (4+2) (35+92)/6=21.2' 10' MIN.	(H+L) / (4+2) (35+92)/6=21.2' 10' MIN.	21.2' 10' MIN.	1.7' OVER 28.3' FROM CL OF STREET	0'-0" (15' FROM CL OF ST) 0'-0" @ Residential	COMMERCIAL COMPLIES W/ BA <b>RESIDENTIAL DOES NOT COMPLY W/ C-1 OR C-2B</b>
MIN. SIDE YARD (LEFT)	0'-0"	(H+L) / (5+2) / 7'-6" MIN REFER TO DIAGRAM BELOW 20'-6"	(H+L) / (5+2) / 7'-6" MIN REFER TO DIAGRAM BELOW 20'-6"	11'-0"	2.7'	0'-0" @ Commercial 5'-0" @ Residential	COMMERCIAL COMPLIES W/ BA <b>RESIDENTIAL DOES NOT COMPLY W/ C-1 OR C-2B</b>
MIN. SIDE YARD (RIGHT)	0'-0"	(H+L) / (5+2) (35+39) / 7 = 10.5 7'-6" MIN	(H+L) / (5+2) (35+39) / 7 = 10.5 7'-6" MIN	10.5 10' MIN	2.7'	15'	COMMERCIAL COMPLIES W/ BA RESIDENTIAL COMPLIES W/ C-2B
MAX HEIGHT	45'-0"	35'-0"	45'-0"	45' W/IN BA / 35' W/IN C1	+/-12'-0"	35'	COMPLIES
MIN RATIO OF PRIVATE OP. SP. TO LOT AREA	NONE	30% (360 S.F.)	15% (525 S.F.)	885 S.F. (14% OF SITE)	+/- 32% 2,003 S.F.	17% (1,077 S.F.)	COMPLIES
PARKING	CONTINGENT ON USE	1 SPACE/DU	1 SPACE/DU	8 RESIDENTIAL SPACES UNKNOWN COMMERCIAL SPACES (5 FOR PHYSICIAN OFFICE)	0 SPACES	9 SPACES (1/ DU + 1 FOR COMMERCIAL SPACE)	RESIDENTIAL COMPLIES <b>COMMERCIAL DOES NOT COMPLY</b>
BICYCLE PARKING	.8 SPACES / 1,000 S.F. (1 REQ'D) LONG TERM 0.6 SPACE / 1,000 S.F. (0.9 REQ'D) SHORT TERM	1 SPACE/DU .10 SPACE/DU	1 SPACE/DU .10 SPACE/DU	9 LONG TERM SPACES 2 SHORT TERM SPACES		9 SPACES 2 SPACES (1 RACK)	COMPLIES COMPLIES

**5.24.4** Measurements for minimum yards which are determined by formula shall be made in the following manner:  
 (1) "H" is the height of the building. "L" is the length of the wall measured parallel to the corresponding lot or street line. The front yard is measured from the street line, or building line where such has been established, except where otherwise indicated herein. **For buildings of forty (40) feet or less in height the denominator in the yard formulas in the Tables in Section 5.30 may be increased by two** subject to the minimum yard requirements set forth in footnotes a, b and c of Tables 5-1 and 5-2.  
 (3) Where a building presents a variety of vertical planes to any given lot or street line, no plane shall be closer to the street or building line or lot line than permitted by the application to such plane of the appropriate formula in the tables of dimensional requirements in Section 5.30. For all planes set forward of the setback line required by said tables for the building if it were constructed in a single vertical plane, other planes must be set behind the setback line so calculated. The result shall be that the sum of the products of the setback required for each plane times the facing area of each plane respectively shall be at least as great as the product of the setback required by the appropriate table for the building if it were constructed in a single vertical plane times the facing area of the building if viewed as a single plane. (see illustration below):  
 The product of (setback1 x facing area1) + (setback2 x facing area2) MUST EQUAL OR EXCEED the product of (single plane setback) x (single plane facing area)

**5.27.1** The total number of dwelling units allowed shall be the sum of the total dwelling units allowed in each district, determined by adding the lot area in each district divided by the minimum lot area per dwelling unit for each district. Where the computation of the total number of dwelling units allowed in each district results in two fractional numbers and where the sum of the resulting remainders from both districts equals or exceeds one, an additional unit shall be permitted.

$$\text{Max \# of dwelling units} = \frac{\text{Lot area in district 1 (BA)}}{\text{district 1 min lot area/du}} + \frac{\text{Lot area in district 2 (C1)}}{\text{district 2 min lot area/du}} + \frac{\text{Lot area in district 3 (C2B)}}{\text{district 3 min lot area/du}}$$

$$\text{Max \# of dwelling units} = \frac{1500 \text{ s.f.}}{600 \text{ s.f./du}} + \frac{1200 \text{ s.f.}}{1500 \text{ s.f./du}} + \frac{3500 \text{ s.f.}}{600 \text{ s.f./du}}$$

$$\text{Max \# of dwelling units} = 2.5 \text{ (BA Zone)} + .08 \text{ (C1 Zone)} + 5.8 \text{ (C2B Zone)}$$

$$\text{Max \# of dwelling units} = 9.1 \text{ DU Allowed}$$

**5.27.2** The maximum gross floor area shall be the sum of the total allowed gross floor area in each district, determined by adding the lot area in each district multiplied by the maximum allowed floor area ratio (FAR) for each district.

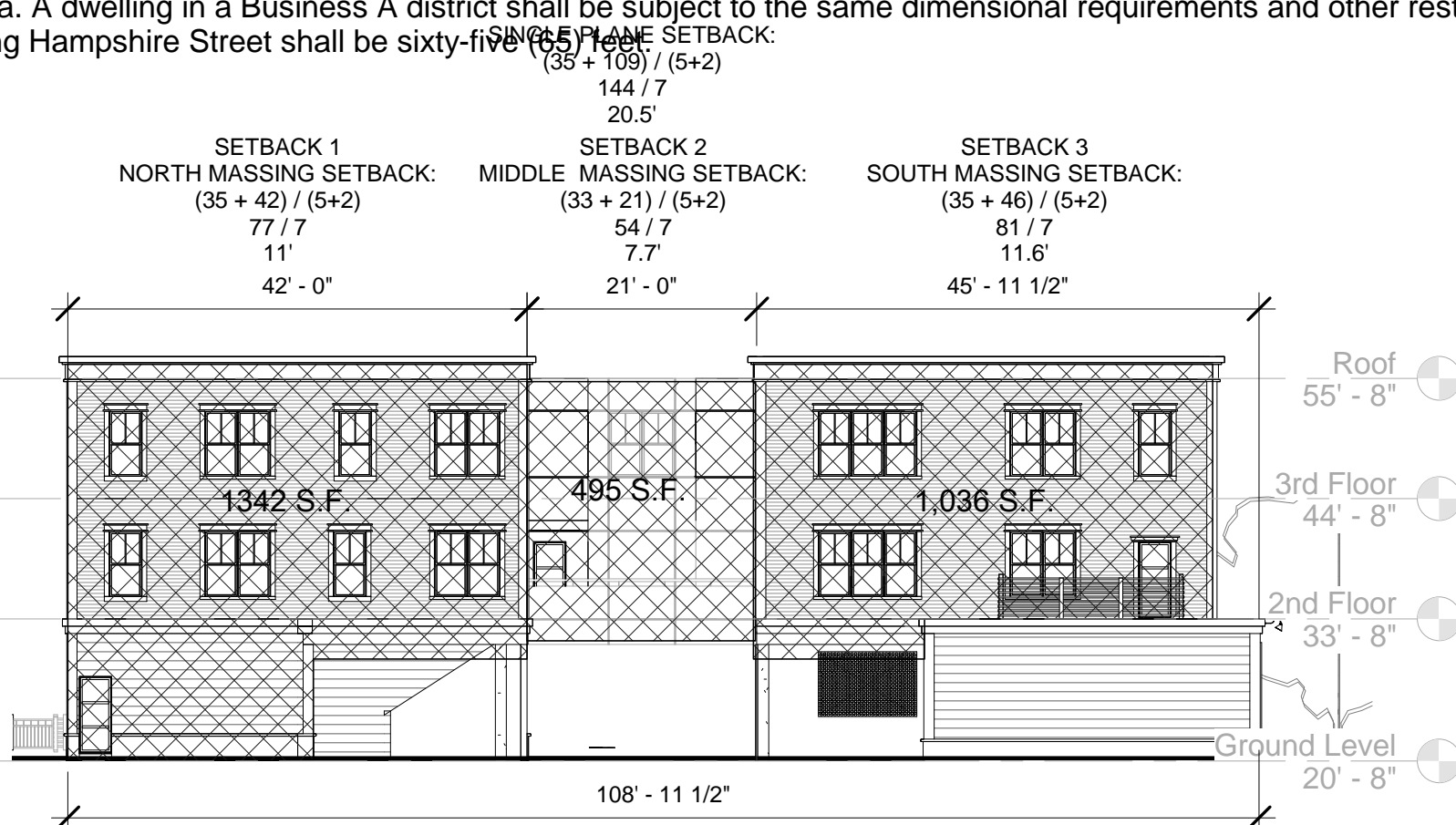
$$\text{Max Gross Floor Area} = (\text{Lot area in district 1 (BA)} \times \text{district 1 FAR}) + (\text{Lot area in district 2 (C1)} \times \text{district 2 FAR}) + (\text{Lot area in district 3 (C-2B)} \times \text{district 3 FAR})$$

$$\text{Max Gross Floor Area} = (1,500 \text{ s.f.} \times 1.0) + (1,200 \text{ s.f.} \times 0.75) + (3,500 \text{ s.f.} \times 1.75)$$

$$\text{Max Gross Floor Area} = (1,500 \text{ s.f.}) + (900 \text{ s.f.}) + (6,125 \text{ s.f.})$$

$$\text{Max Gross Floor Area} = 8,525 \text{ s.f.}$$

**5.28.1** Dwellings in Non Residential Districts. A dwelling shall be subject to the dimensional standards generally applicable in the district set forth in the Tables of Dimensional Requirements in Section 5.30, except as provided for below.  
 a. A dwelling in a Business A district shall be subject to the same dimensional requirements and other restrictions as a dwelling in a Residence C-2B district, except that the height limitation on lots abutting Hampshire Street shall be sixty-five feet.



② Left Side Setback Calculation  
1/16" = 1'-0"

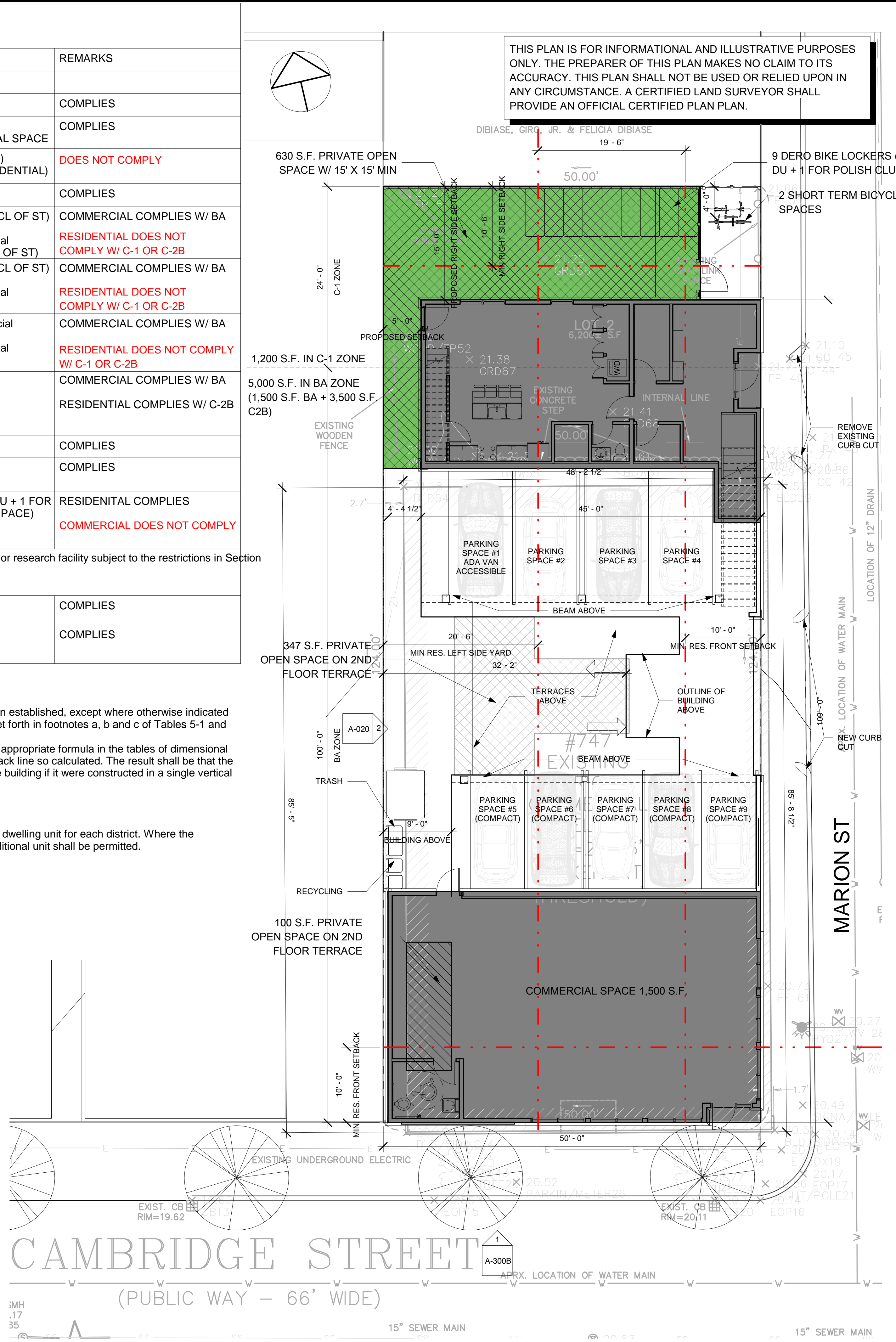
$$(\text{SETBACK1} \times \text{FACING AREA1}) + (\text{SETBACK2} \times \text{FACING AREA2}) + (\text{SETBACK3} \times \text{FACING AREA3})$$

$$(11' \times 1,342 \text{ S.F.}) + (32.2' \times 495 \text{ S.F.}) + (11' \times 1,036 \text{ S.F.})$$

$$14,762 + 15,939 + 11,396 = 42,097$$

$$\text{SINGLE PLANE SETBACK: } (1342 \text{ S.F.} + 495 \text{ S.F.} + 1036 \text{ S.F.}) \times 20.5$$

$$2873 \times 20.5 = 58,896.5$$



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PROJECT NAME  
**Cambridge @ Marion Residences**

PROJECT ADDRESS  
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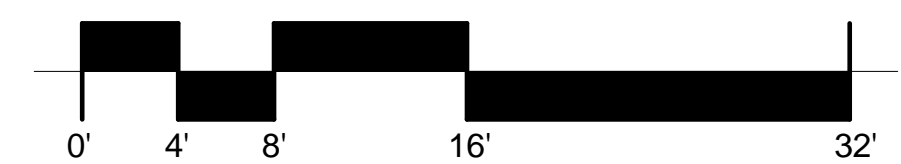
REGISTRATION

Project number	18141
Date	12/17/2019
Drawn by	ERS
Checked by	JSK
Scale	As indicated

No.	Description	Date
1		

Architectural Site Plan

**A-020**  
Cambridge @ Marion Residences



① Site Plan  
1/8" = 1'-0"



### HOW MUCH BICYCLE PARKING IS REQUIRED BY ZONING?

The tables below summarize the zoning requirements for some typical land uses. For more detail, review Section 6.100 of the Zoning Ordinance. When calculating the required number of long-term or short-term bicycle parking spaces for a particular use, round up to the nearest whole number.

Residential Use Type	Minimum Required Bicycle Parking (see pg. 7 for more details)	
	Long-Term	Short-Term
Single-family dwellings	No minimum	No minimum
Two-family dwellings	No minimum	No minimum
Rectories, parsonages	No minimum	No minimum
Townhouse dwellings	1.00 space per unit for the first 20 units in a building	0.10 space per unit on a lot (for lots with 4 or more units)
Multifamily dwellings	1.05 spaces per unit for additional units	
Elderly oriented congregate housing	0.50 space per unit	0.05 space per unit
Lodging houses, convents, monasteries, dormitories, fraternities, sororities	0.50 space per bed	0.05 space per bed
Hotels, motels	0.02 space per sleeping room	0.05 space per sleeping room
Tourist houses		

**Note:**  
Where four or fewer long-term bicycle parking spaces are required, they may be provided in a covered outdoor location rather than an enclosed structure.



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### ACCEPTABLE BICYCLE RACKS

There are a variety of designs for bicycle racks produced by many manufacturers. Bike racks can be purchased as single units, with a capacity of locking 2 bikes (one on each side), or as multiple units attached together, with a larger capacity. However, not all manufactured bicycle racks meet Cambridge's standards.



#### Features of an acceptable bicycle rack:

- Installed on a permanent foundation (eg, concrete pad) to ensure stability.
- Securely anchored into or on the foundation with tamper-proof nuts if surface mounted.
- Support for an upright bicycle by its frame horizontally in two (2) or more places.
- Keeps both bike wheels on the ground.
- Design that prevents the bicycle from tipping over.
- Ability to support a variety of bicycle sizes and frame shapes.
- Space to secure the frame and one or both wheels to the rack with a cable, chain, or u-lock.
- Diameter of locking pole is no more than 1.5 inches.
- Galvanized or stainless steel racks are recommended (and required for racks on public property) because they hold up best.



Acceptable racks, like the "Inverted U," "Sverve," and "Post and Ring" racks, have two-point support and fit a variety of bicycle types. Custom designs and "artistic" racks can also be used, provided they meet the performance criteria for bicycle racks.

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### SITING BICYCLE PARKING

Bicycle parking must be designed for convenient daily use, not simply for storage of bicycles. Location is an extremely important factor in the usefulness of a bicycle rack. The rack must be located in a safe and accessible place with adequate space to maneuver a bicycle in and out.

#### Safe locations are:

- In full view, maximizing visibility and minimizing vandalism, near pedestrian traffic, windows, and/or well-lit areas.
- Under cover, to protect bicycles from inclement weather.
- Far enough away from the street or parking spaces so that bicycles will not be damaged by cars, setback if possible.
- Not obstructing pedestrian traffic.

#### Accessible locations have these characteristics:

- They are between the road/path that cyclists use and the entrance of the building.
- The primary access route is at least 5 feet wide.
- The primary access route does not have a slope greater than 5% (8% if level landing is provided every 30 feet of linear distance).
- Access may be provided by an elevator with interior dimensions of 80" x 54".
- Close to the main entrance that cyclists use for the building. For short-term parking within 25' is ideal but no more than 50' is required.

*Weather-protected bicycle parking is desirable where bikes are parked for long periods.*

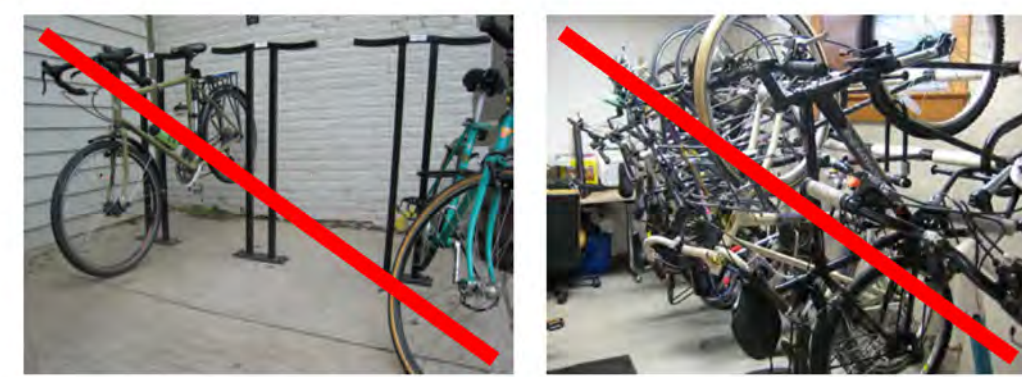


6

### UNACCEPTABLE BICYCLE RACKS

#### Bicycle racks must NOT:

- Support the bicycle at only one point.
- Allow the bicycle to fall, which can damage the bike and block pedestrian right-of-way.
- Have sharp edges, that can be hazardous to the visually impaired.
- Support the bicycle by one wheel.
- Connect to each other with a bar on top (that can block handlebars and baskets).
- Suspend any part of the bike in the air or require that the bicycle be lifted to get it into position.



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### SHORT-TERM AND LONG-TERM PARKING

Some aspects of bicycle parking are different depending on whether it will serve people who are storing bicycles all day long or overnight, or people who are making short trips to and from the site.

#### Long-Term:

Long-term Bicycle Parking must be located in an enclosed, limited-access area designed to protect bicycles from precipitation and from theft. It may be provided in the following types of facilities:

- Enclosed spaces in a building, such as bicycle rooms or garages.
- Bicycle sheds, covered bicycle cages, or other fully covered and enclosed structures within 200 feet of the main building entrance.
- Bicycle lockers, or fixed-in-place containers wherein single bicycles may be securely stored and protected.
- Weather-protected bicycle parking spaces that are monitored at all times by an attendant or other security system.



#### Short-Term:

Short-term bicycle parking must be located in a publicly accessible space within 50 feet of pedestrian entrances. Short-term bicycle parking is intended primarily to serve visitors, such as retail patrons making trips of up to a few hours; however, it may serve other bicycle users as needed.

### PARKING GARAGES

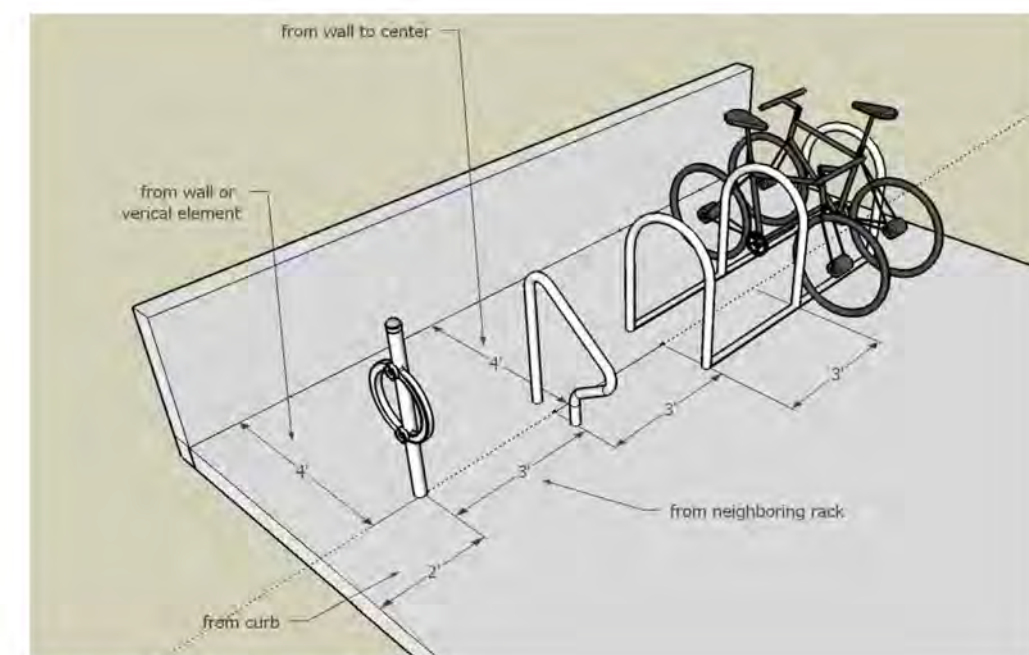
Bicycle parking in parking garages must be either on the same level as the entrance to the garage from the street or accessible via automobile ramps designed to serve bicyclists (with slope of less than 5% or less than 8% with a landing every 30 feet), or near an elevator that is sufficiently large to accommodate bicycles. Bicycle racks inside parking garages must still meet the security standards of short-term racks or lockers. Where long-term bicycle parking is next to automobile parking or loading, a physical barrier, such as bollards, must be provided.



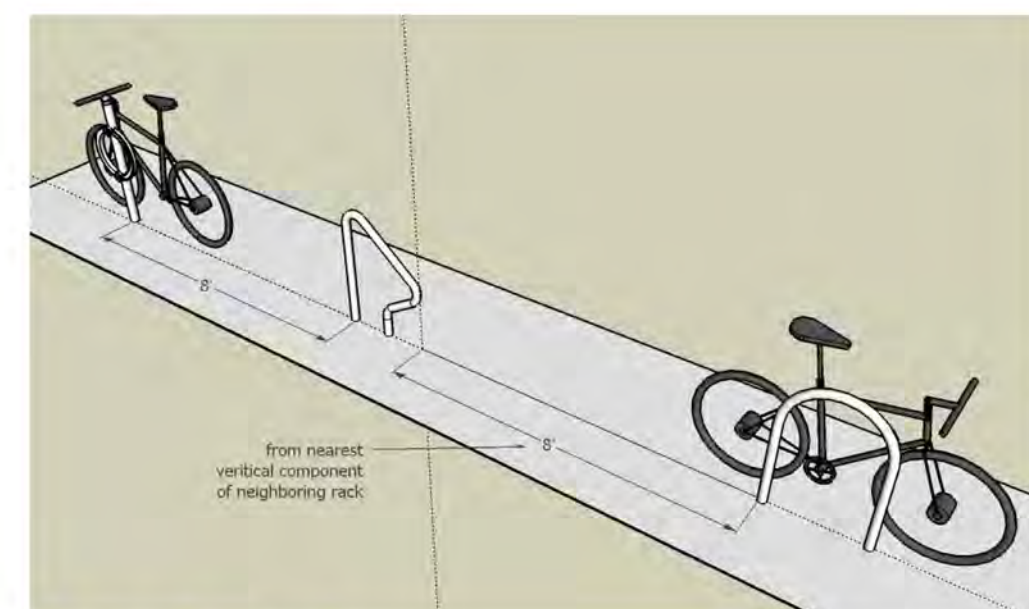
7

### LAYOUT DIMENSIONS

Proper layout of bicycle racks is essential to ensure that they will safely and conveniently accommodate the intended number of bicycles. Layout must follow these minimum dimensions:

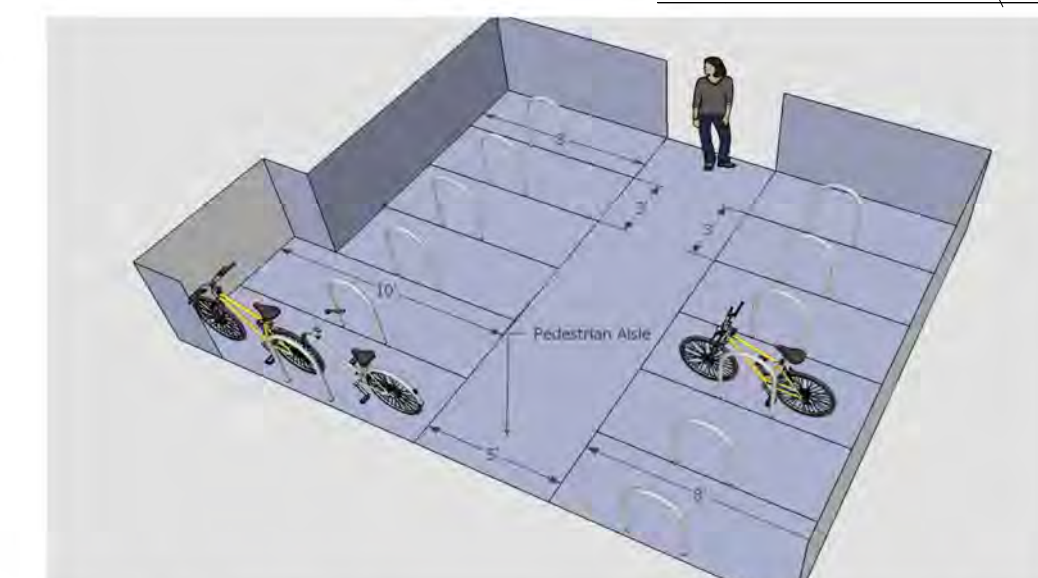
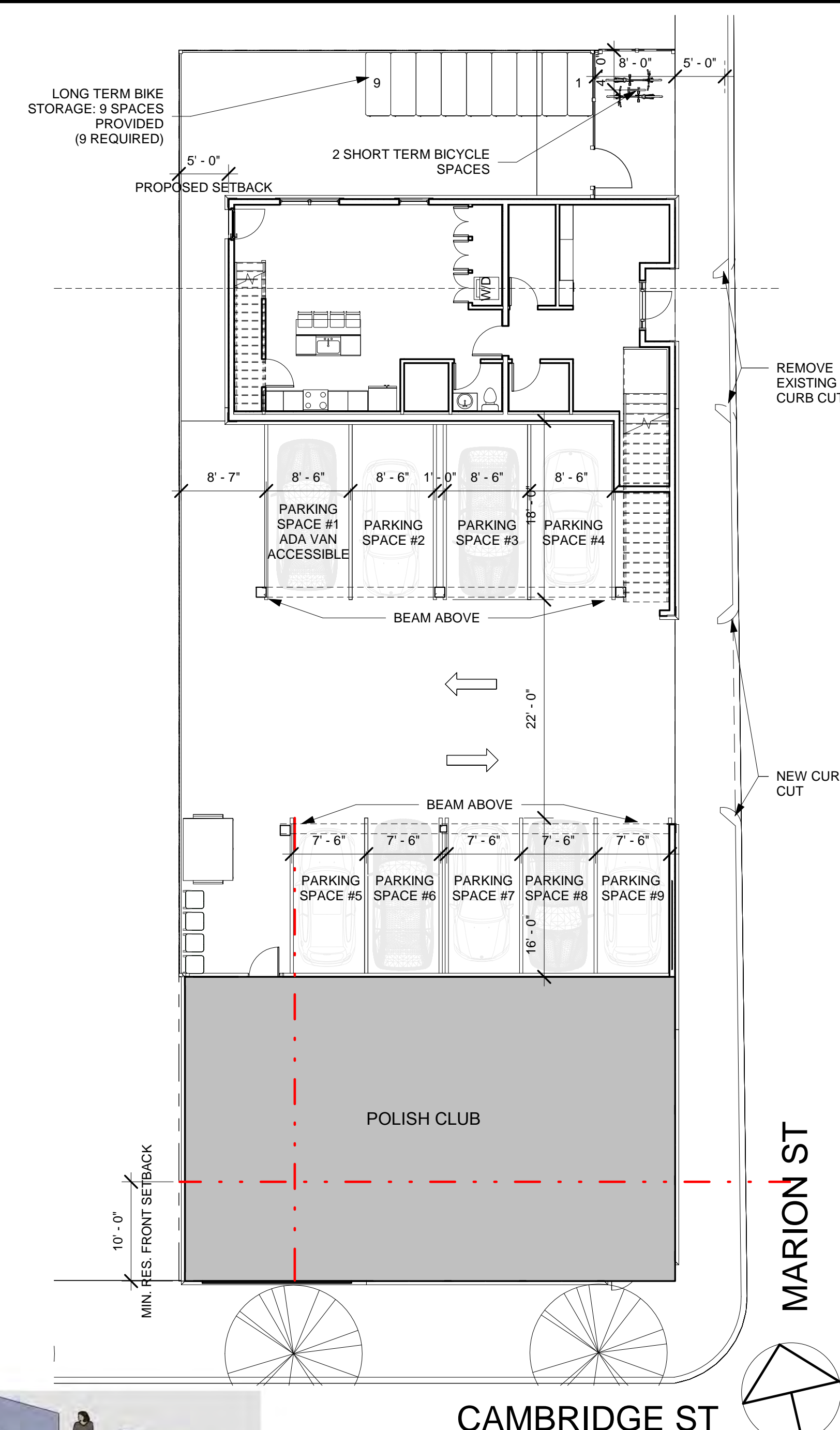


Racks aligned side by side



Racks aligned end to end

10



Enclosed rack area with 20 or more racks, with pedestrian aisle and at least 5% of spaces providing an additional 2 feet of space for tandems and trailers.

- Distance to other Racks:**
- Rack units aligned parallel to each other (side by side) must be at least 3 feet apart. This includes racks that are sold as multiple rack units attached together.
  - Rack units aligned end to end must be at least 8 feet apart.
- Distance from Wall:**
- Rack units placed perpendicular to a wall must be at least 4 feet from the wall to the center of the rack.
  - Rack units parallel to a wall must be at least 3 feet from the rack to the wall.
- Distance from a Curb:**
- Rack units placed perpendicular to the curb must be at least 4 feet from the curb to the center of the rack.
  - Rack units placed parallel to the curb must be at least 2 feet from the curb to the rack.
- Distance from a Pedestrian Aisle:**
- Rack units perpendicular to a pedestrian aisle must be at least 4 feet from the center of the rack to the edge of the aisle, and have at least a 5 feet wide aisle.
  - Where 20 or more bicycle parking spaces are required, at least 5% of the spaces must be 10 feet long instead of 8 feet to allow space for tandems and trailers.
- Other Distances:**
- Racks should be at least 14 feet from curbside fire hydrants and 6 feet from wall fire hydrants.

1 Bike Parking Plan  
1" = 10'-0"

11

PROJECT NAME  
**Cambridge @ Marion Residences**

PROJECT ADDRESS  
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CAMBRIDGE MA

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Project number	18141
Date	12/17/2019
Drawn by	Author
Checked by	Checker
Scale	1" = 10'-0"

### REVISIONS

No.	Description	Date

### Bike Parking Plan

**A-021**  
Cambridge @ Marion Residences



PROJECT NAME

**Cambridge @  
Marion Residences**

PROJECT ADDRESS

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Date 12/17/2019  
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REVISIONS

No.	Description	Date

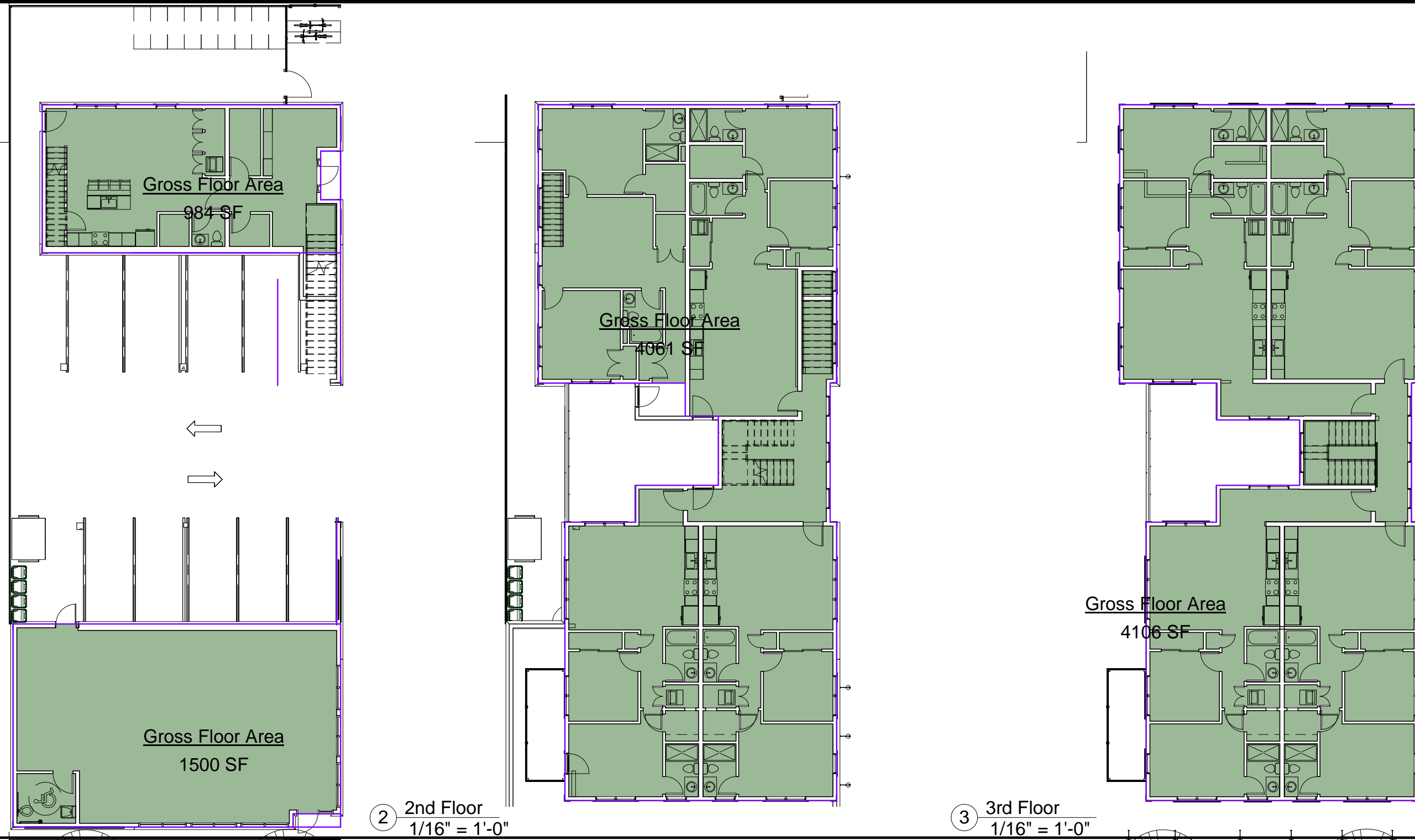
Area Plans

**A-022**

Cambridge @ Marion Residences

GROSS FLOOR AREA

Gross Floor Area		
Area	Name	Level
984 SF	Gross Floor Area	1st Floor
1500 SF	Gross Floor Area	1st Floor
2483 SF	Gross Floor Area	1st Floor
4061 SF	Gross Floor Area	2nd Floor
4061 SF	Gross Floor Area	2nd Floor
4106 SF	Gross Floor Area	3rd Floor
4106 SF	Gross Floor Area	3rd Floor
10650 SF	Gross Floor Area	3rd Floor



1 1st Floor  
1/16" = 1'-0"

2 2nd Floor  
1/16" = 1'-0"

3 3rd Floor  
1/16" = 1'-0"

GROSS FLOOR AREA PER ZONING CODE

Gross Floor Area per Zoning				
Area	Level	Name	ZONE	
<b>BA Zone</b>				
1500 SF	1st Floor	GFA - Lodge (BA)	BA Zone	
1500 SF				
1500 SF				
<b>C-1 Zone</b>				
88 SF	1st Floor	GFA - Residential (C-1)	C-1 Zone	
251 SF	1st Floor	GFA - Residential (C-1)	C-1 Zone	
405 SF	2nd Floor	GFA - Residential (C-1)	C-1 Zone	
405 SF	3rd Floor	GFA - Residential (C-1)	C-1 Zone	
1149 SF				
1149 SF				
<b>C-2B Zone</b>				
580 SF	1st Floor	GFA - Residential (C-2B)	C-2B Zone	
126 SF	1st Floor	GFA - Residential (C-2B)	C-2B Zone	
3701 SF	2nd Floor	GFA - Residential (C-2B)	C-2B Zone	
3680 SF	3rd Floor	GFA - Residential (C-2B)	C-2B Zone	
8086 SF				
8086 SF				
10735 SF				

**Floor Area Gross.** The sum, in square feet, of the gross horizontal areas of all floors of a building, as measured from the exterior walls (except in (8) and (9) below where only interior space shall be measured and in (h) where the area of the parking facility shall be measured) of a building or the centerline of party walls between buildings.

**Gross Floor Area shall include:**

- (a) roofed porches and balconies whether enclosed or unclosed;
- (b) unroofed porches and balconies above third floor, with the exception of porch and balcony spaces associated with Functional Green Roof Area, in accordance with the regulations in Section 22.30 of this Zoning Ordinance;
- (c) elevator shafts and stairwells on each floor, not excluded in (6) below;
- (d) attic space, whether finished or unfinished, within the area of a horizontal plane that is five (5) feet above the attic floor and which touches the side walls and/or the underside of the roof rafters and which is not excluded in (5) below;
- (e) interior balconies, mezzanines, and penthouses;
- (f) deleted
- (g) area of parking facilities in structures except as excluded in (2) below; and
- (h) any accessory parking spaces not in above ground structures if in excess of the maximum number permitted on the premises as set forth in Section 5.25 and 6.30.

**Gross Floor Area shall not include:**

- (1) areas used for off street loading purposes;
- (2) area of parking facilities in structures located underground and the area of on grade open parking spaces outside the building footprint at or below the maximum number permitted on the premises as set forth in Sections 5.25 and 6.30;
- (3) basement and cellar areas devoted to the operations and maintenance of the building such as heating and cooling equipment, electrical and telephone facilities, and fuel storage;
- (4) open and lattice-work fire escapes;
- (5) unroofed porches and balconies no higher than the third floor;
- (6) attic space and other areas devoted to elevator machinery or mechanical equipment necessary for the operation of the building, including sustainable mechanical systems and related equipment and chases for systems including, but not limited to, solar energy systems, geothermal systems and heat pumps, solar hot water systems and related tubes and tanks, equipment related to radiant heating, hydronic cooling, heat recovery ventilators, and energy recovery ventilators;
- (7) elevator shafts and stairwells on floors where there is no other area which qualifies to be included in gross floor area;
- (8) attic space not otherwise included in (d) above;
- (9) basement and cellar spaces with less than seven (7) feet of ceiling height measured from the floor to the line of the bottom of the floor joists, or to any subfloor or finished surface above any floor joists that are spaced not less than four (4) feet on center, and further provided that the basement or cellar is not a Story Above Grade as defined in the State Building Code.
- (10) bicycle parking meeting or exceeding the requirements of Article 6.000, which shall include all areas occupied by Bicycle Parking Spaces and access routes intended exclusively for use by bicycles, which shall be clearly indicated in the bicycle parking plan requirements set forth in Section 6.52.1 whether located in a principal use structure, any parking facility for motor vehicles, or in an accessory structure.
- (11) Functional Green Roof Area, in accordance with the regulations in Section 22.30 of this Zoning Ordinance;
- (12) interior air spaces within Double-Skin Facades and additional exterior wall thickness to accommodate insulation, in accordance with the regulations in Section 22.40 of this Zoning Ordinance; and
- (13) space directly beneath overhangs, eaves, awnings, pergolas, arbors, trellises or other sunshading devices, in accordance with the regulations in Section 22.50 of this Zoning Ordinance.
- (14) Public Bicycle-Sharing Stations

FAR:  
 BA: 1,500 S.F. GFA / 1,500 S.F. SITE = 1.0 FAR  
 C-1: 1,149 S.F. GFA / 1,200 S.F. SITE = 0.96 FAR  
 C-2B: 8,041 S.F. GFA / 3,500 S.F. SITE = 2.3 FAR  
 SITE: 10,690 S.F. GFA / 6,200 S.F. SITE = 1.72 FAR

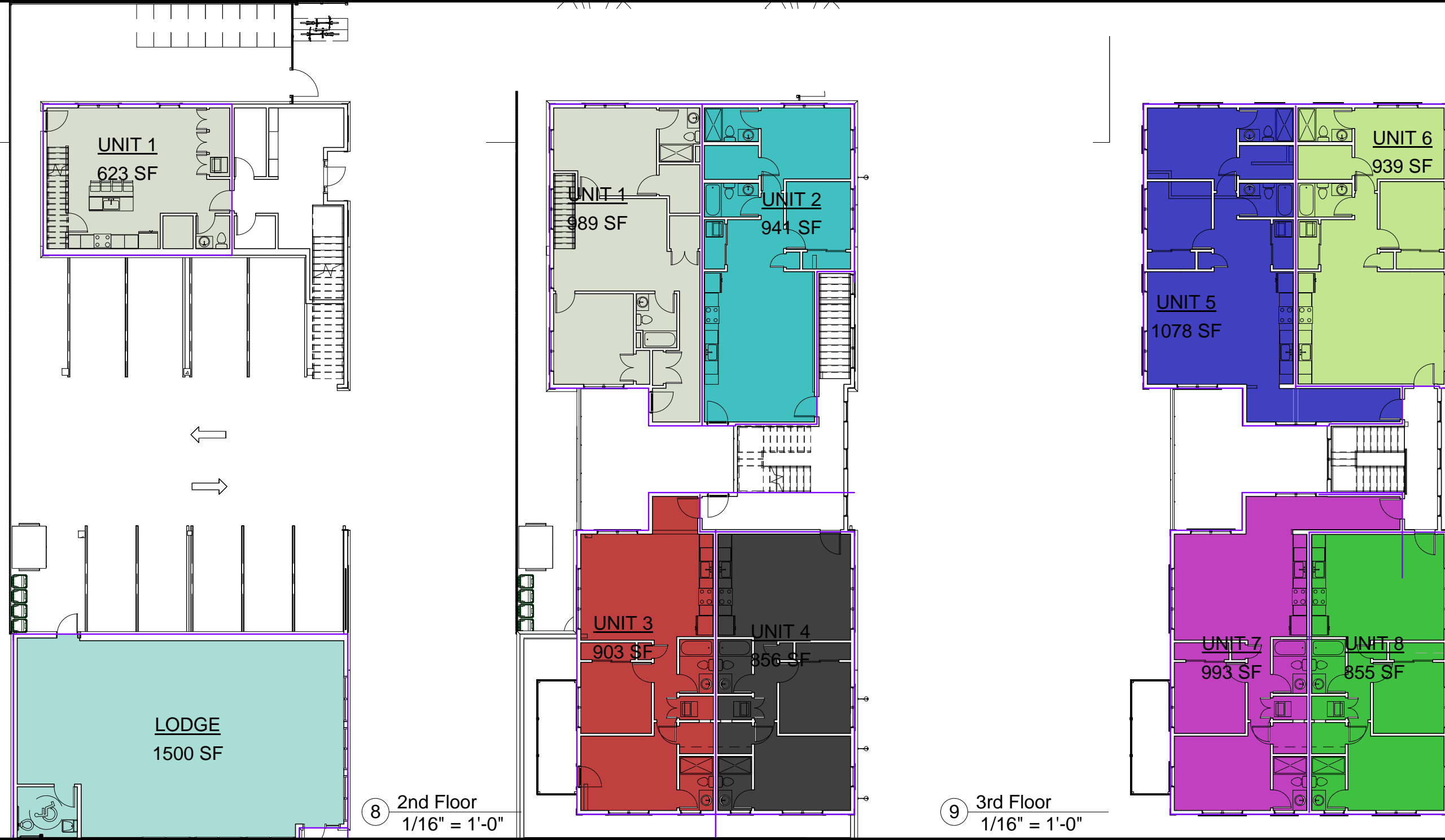
4 1st Floor  
1/16" = 1'-0"

5 2nd Floor  
1/16" = 1'-0"

6 3rd Floor  
1/16" = 1'-0"

UNIT AREAS

Unit Areas			
Area	Name	Level	USE
1500 SF	LODGE	1st Floor	Commercial
1500 SF			
1500 SF			
623 SF	UNIT 1	1st Floor	Residential
989 SF	UNIT 1	2nd Floor	Residential
1613 SF			
941 SF	UNIT 2	2nd Floor	Residential
941 SF			
903 SF	UNIT 3	2nd Floor	Residential
903 SF			
856 SF	UNIT 4	2nd Floor	Residential
856 SF			
1078 SF	UNIT 5	3rd Floor	Residential
1078 SF			
939 SF	UNIT 6	3rd Floor	Residential
939 SF			
993 SF	UNIT 7	3rd Floor	Residential
993 SF			
855 SF	UNIT 8	3rd Floor	Residential
855 SF			
8178 SF			
9677 SF			



7 1st Floor  
1/16" = 1'-0"

8 2nd Floor  
1/16" = 1'-0"

9 3rd Floor  
1/16" = 1'-0"

\\TKG-SERVER\Draw\18141\18141-doherty-747 cambridge st.cambridge.ma\ARCH\_S\DD\18141-747 Cambridge Street - 2019.12.13.rvt

12/17/2019 10:14:44 AM



PROJECT NAME  
**Cambridge @  
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ARCHITECT



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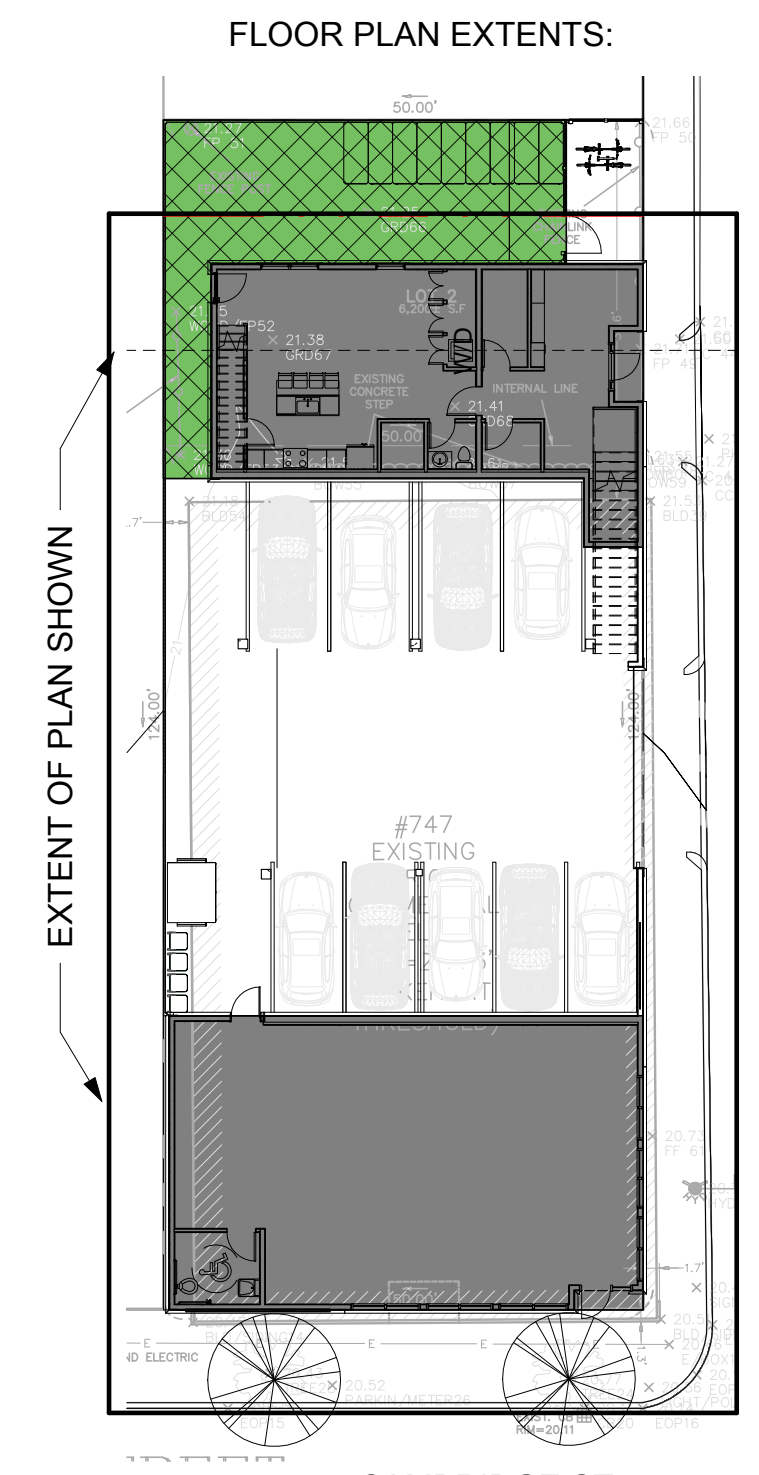
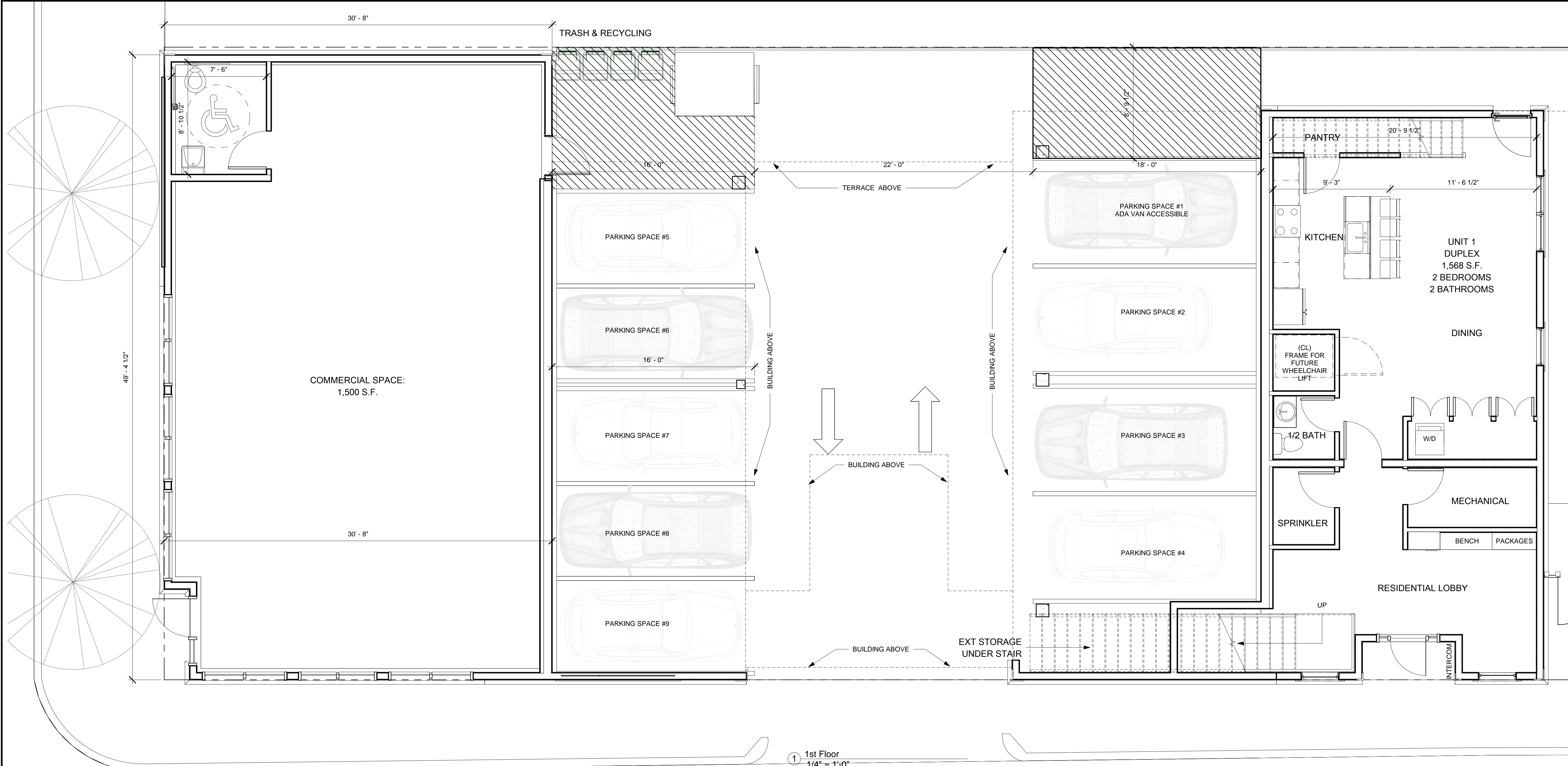
REVISIONS

No.	Description	Date
1		

1st Floor Plan

**A-100**

Cambridge @ Marion Residences



I:\TKG-SERVER\DATA\18141\18141-doherty-747 cambridge st.cambridge\03 Drawings\00\_ARCH\_SD\_DDI\18141-747 Cambridge Street - 2019.12.13.rvt  
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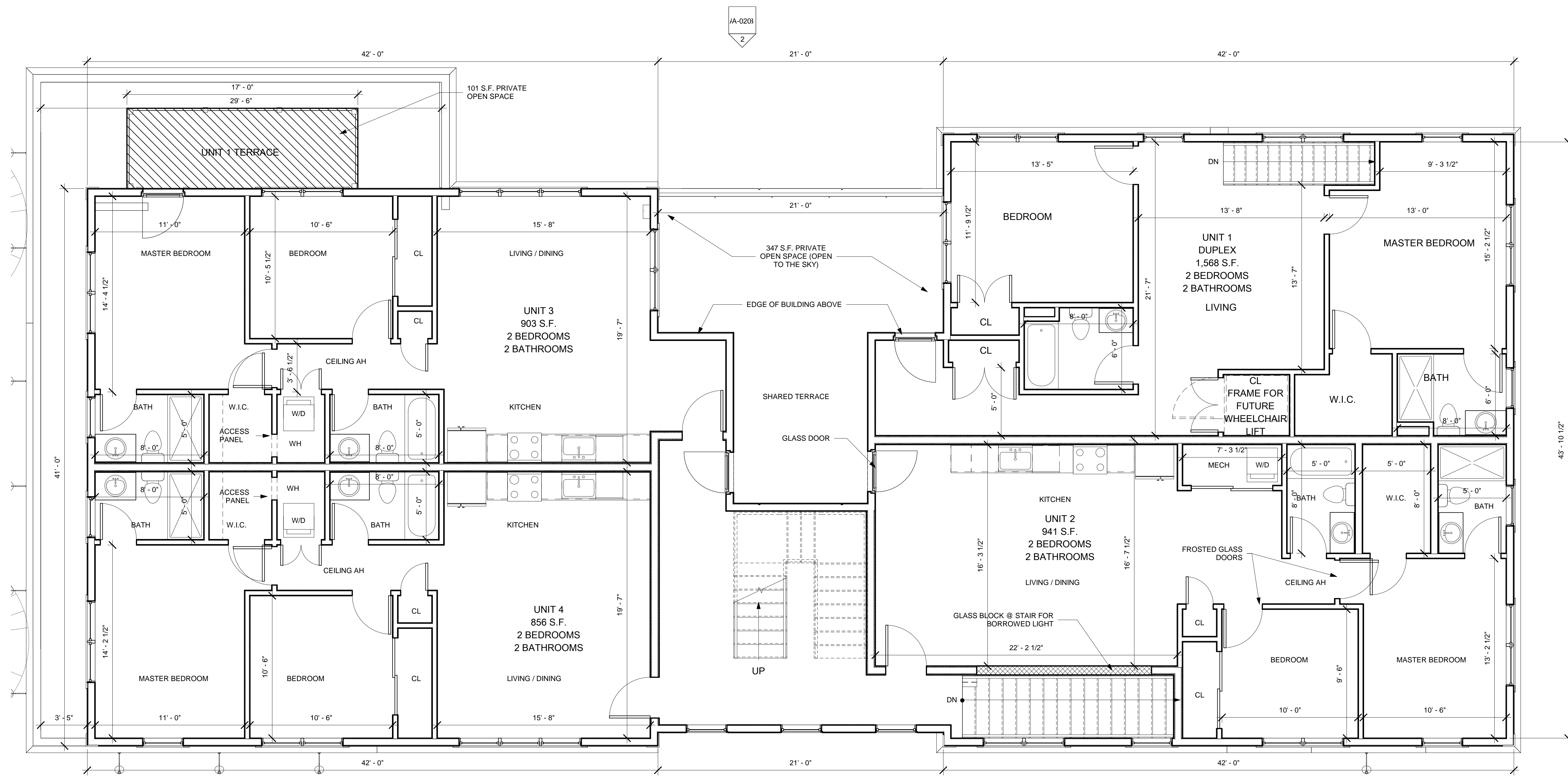
Project number 18141  
 Date 12/17/2019  
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 Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date
1		

2nd Floor Plan

**A-101**  
 Cambridge @ Marion Residences



1 2nd Floor  
 1/4" = 1'-0"

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Scale	1/4" = 1'-0"

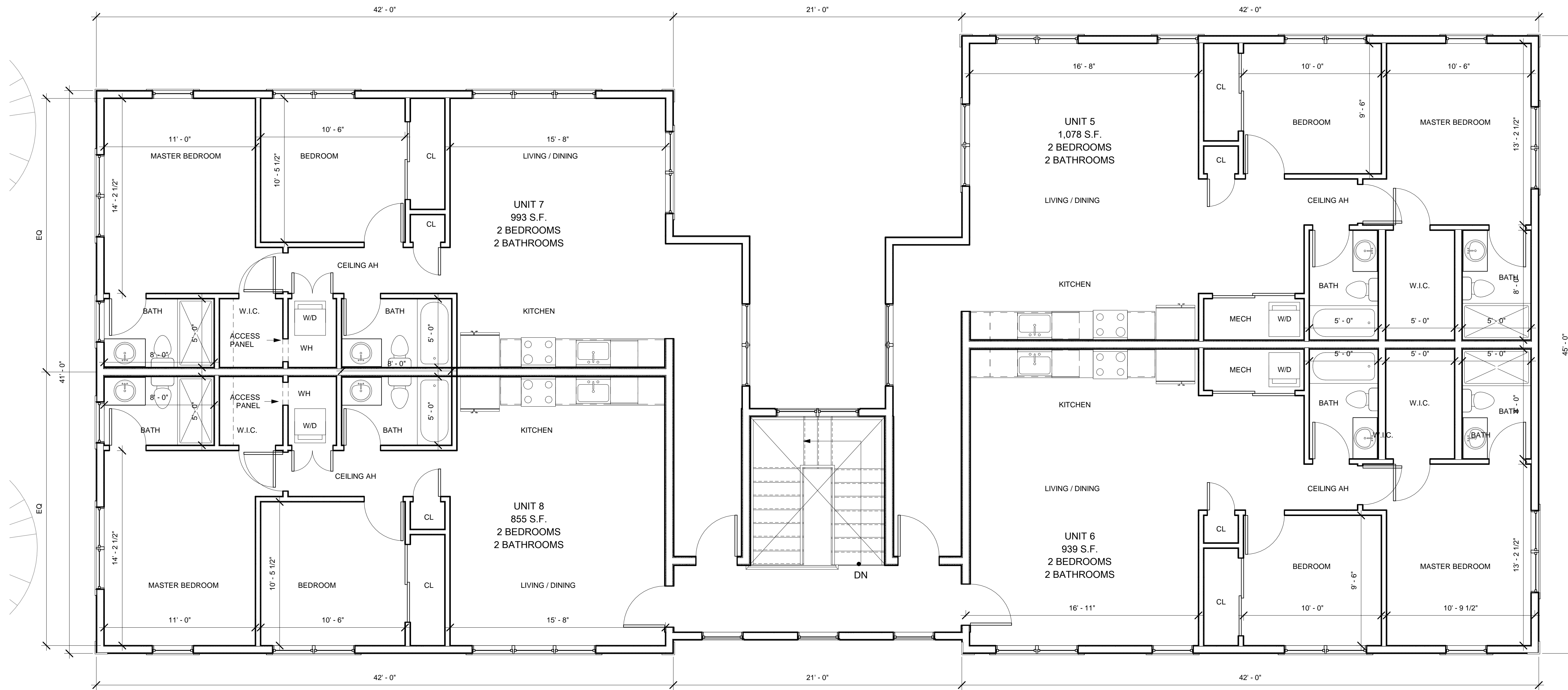
REVISIONS

No.	Description	Date
1		

3rd Floor Plan

**A-102**

Cambridge @ Marion Residences



① 3rd Floor  
1/4" = 1'-0"

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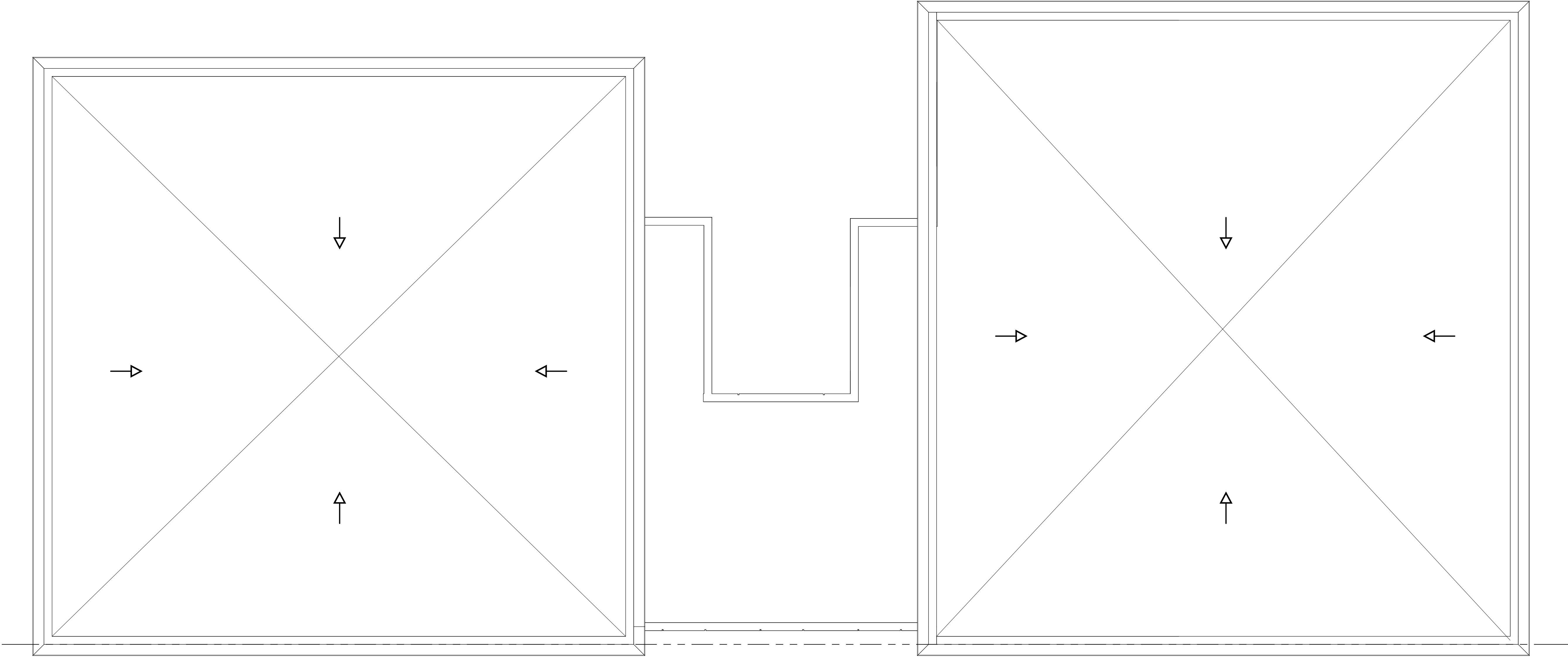
Project number 18141  
Date 12/17/2019  
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Checked by JSK  
Scale 1/4" = 1'-0"

REVISIONS

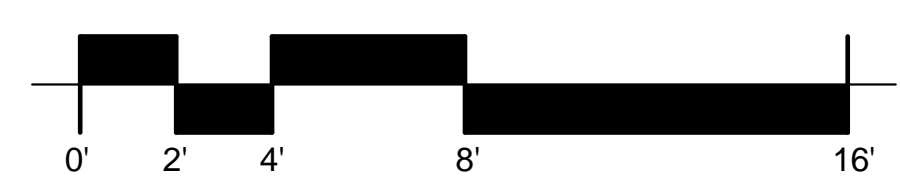
No.	Description	Date
1		

Proposed Roof  
Plan

**A-103**  
Cambridge @ Marion Residences



1 Roof  
1/4" = 1'-0"



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12/17/2019 10:15:20 AM





① Cambridge Street (South) Elevation  
1/4" = 1'-0"



② Marion Street (East) Elevation  
1/4" = 1'-0"



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**ARCHITECT**

**DESIGN**

**KHALSA**

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Scale	1/4" = 1'-0"

**REVISIONS**

No.	Description	Date

**Front Elevations**


**A-300**

Cambridge @ Marion Residences

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**Cambridge @ Marion Residences**

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**REVISIONS**

No.	Description	Date

Front Elevations

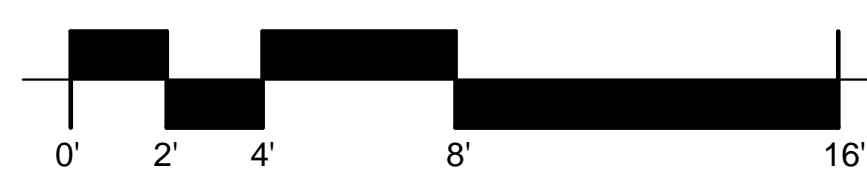
**A-300B**  
Cambridge @ Marion Residences



① Cambridge Street (South) Elevation  
1/4" = 1'-0"



② Marion Street (East) Elevation  
1/4" = 1'-0"



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Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

Side Elevations

**A-301**

Cambridge @ Marion Residences



② Right Side (North) Elevation  
1/4" = 1'-0"



① Left Side (West) Elevation  
1/4" = 1'-0"




I:\TKG-SERVER\Drawings\18141\18141-dobeny-747 cambridge st.cambridge\03 Drawings\00\_ARCH\_SD\_DDI\18141-747 Cambridge Street - 2019.12.13.rvt 12/17/2019 10:15:46 AM

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REVISIONS

No.	Description	Date

Side Elevations

**A-301B**  
 Cambridge @ Marion Residences



① Right Side (North) Elevation  
 1/4" = 1'-0"



② Left Side (West) Elevation  
 1/4" = 1'-0"

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REVISIONS

No.	Description	Date

Courtyard  
Elevations

**A-302**

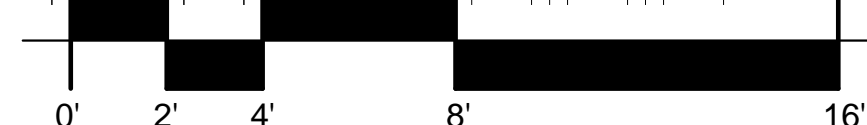
Cambridge @ Marion Residences



① Courtyard Elevation - Left Side  
1/4" = 1'-0"



② Courtyard Elevation - Right Side  
1/4" = 1'-0"



I:\TKG-SERVER\Data\18141\18141-doherty-747 cambridge st cambridge 03 Drawings\00\_ARCH\_SD\_DDI\18141-747 Cambridge Street - 2019.12.13.rvt 12/17/2019 10:16:06 AM




PROJECT NAME

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Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

Courtyard  
Elevations

**A-302B**  
Cambridge @ Marion Residences



① Courtyard Elevation - Left Side  
1/4" = 1'-0"

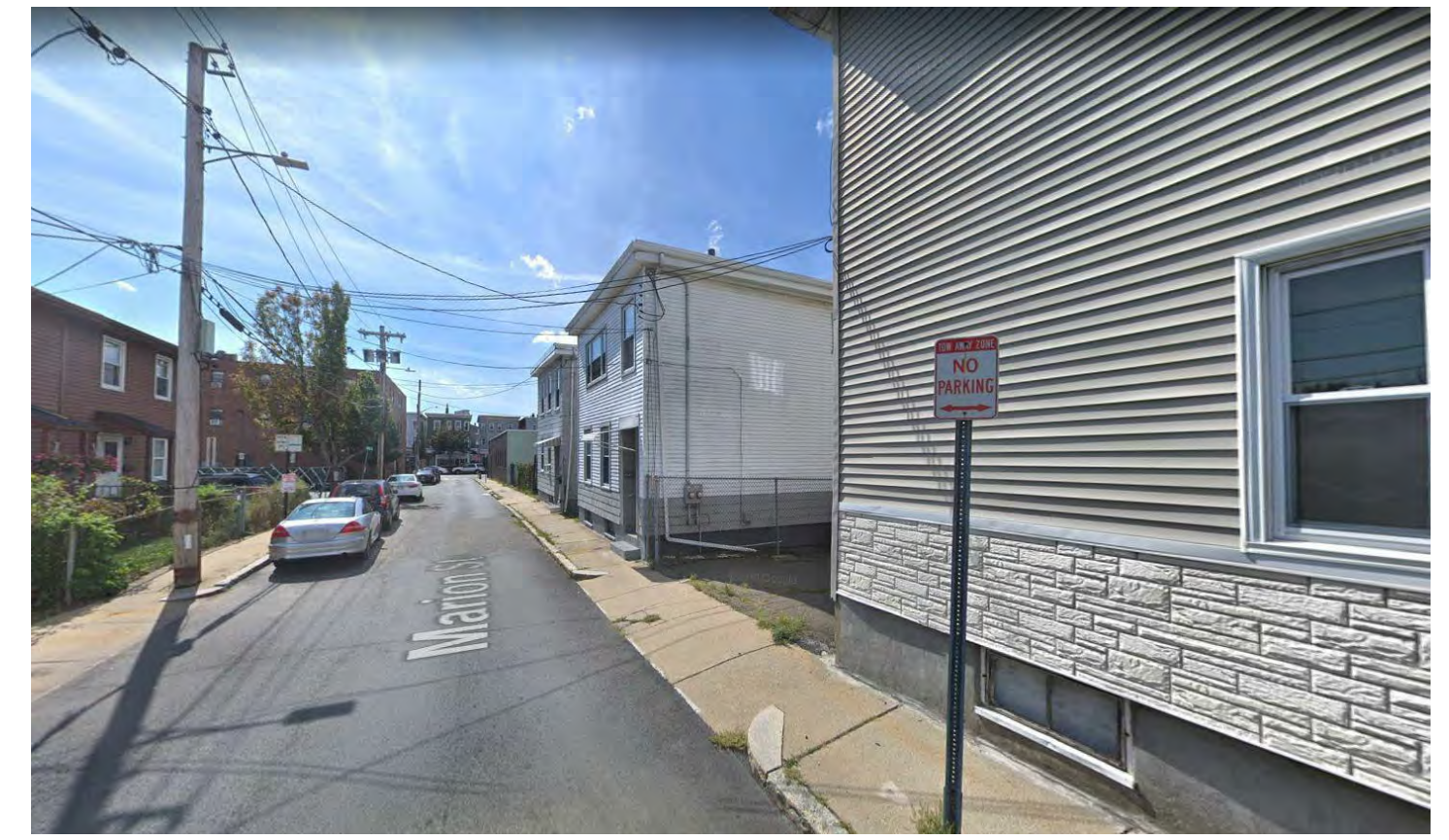


② Courtyard Elevation - Right Side  
1/4" = 1'-0"



I:\TKG-SERVER\DATA\18141\18141-doherty-747 cambridge st cambridge 03 Drawings\00\_ARCH\_SD\_DDI\18141-747 Cambridge Street - 2019.12.13.rvt 12/17/2019 10:16:30 AM





SITE: 747 CAMBRIDGE ST

VIEW TOWARDS REAR OF SITE FROM MARION ST



VIEW TOWARDS SITE FROM CARDINAL MEDEIROS AVE @ CAMBRIDGE ST



SITE: 747 CAMBRIDGE ST



VIEW TOWARDS SITE FROM BERKSHIRE ST @ CAMBRIDGE ST



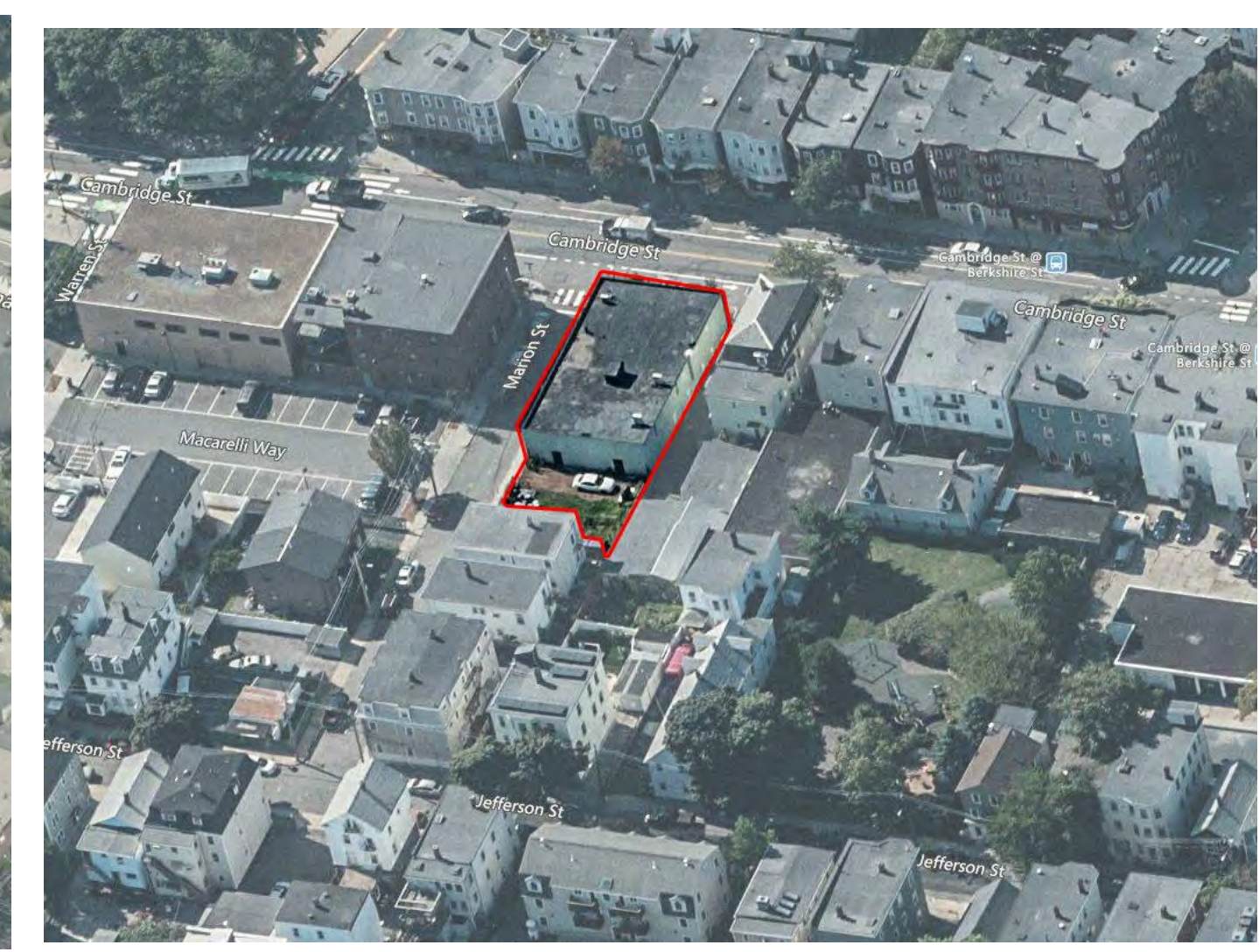
BIRD'S EYE VIEW (EAST LOOKING WEST)



BIRD'S EYE VIEW (SOUTH LOOKING NORTH)



BIRD'S EYE VIEW (WEST LOOKING EAST)



BIRD'S EYE VIEW (NORTH LOOKING SOUTH)

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Neighborhood Photos

**AV-1**

Cambridge @ Marion Residences





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**Cambridge @  
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REVISIONS

No.	Description	Date

Perspectives

**AV-2**  
Cambridge @ Marion Residences

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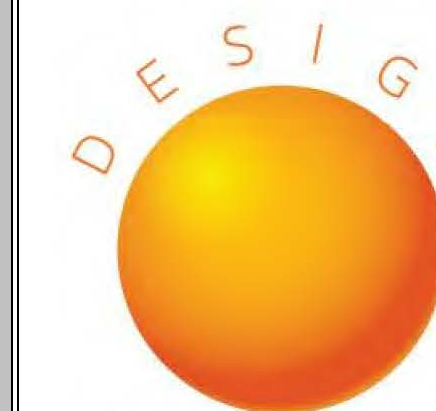
PROJECT NAME

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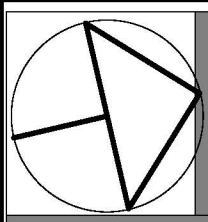
No.	Description	Date

Rendering

**AV-3**  
Cambridge @ Marion Residences

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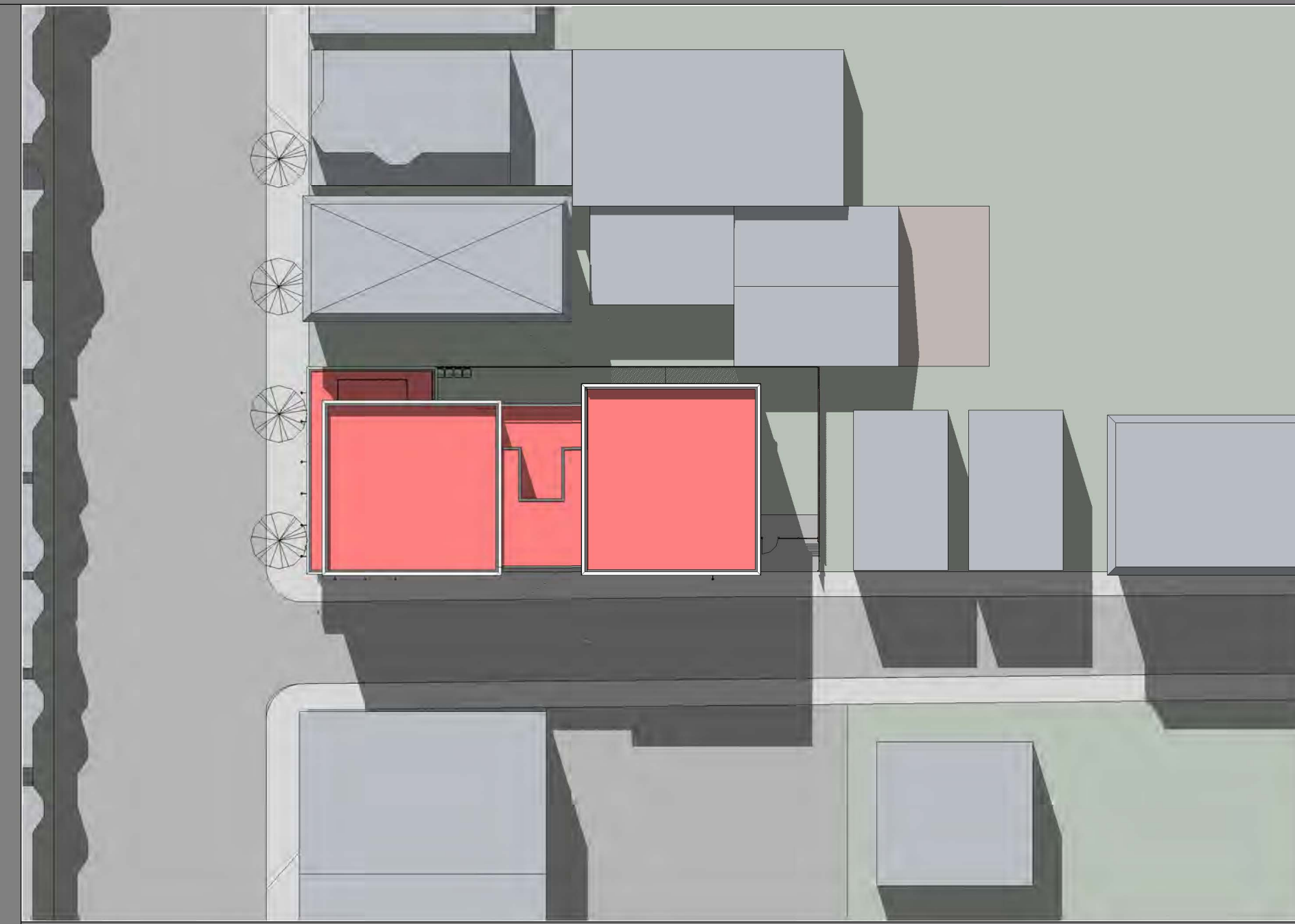


# MORNING (9-10 AM)

# NOON (12 AM-1 PM)

# AFTERNOON (3-4 PM)

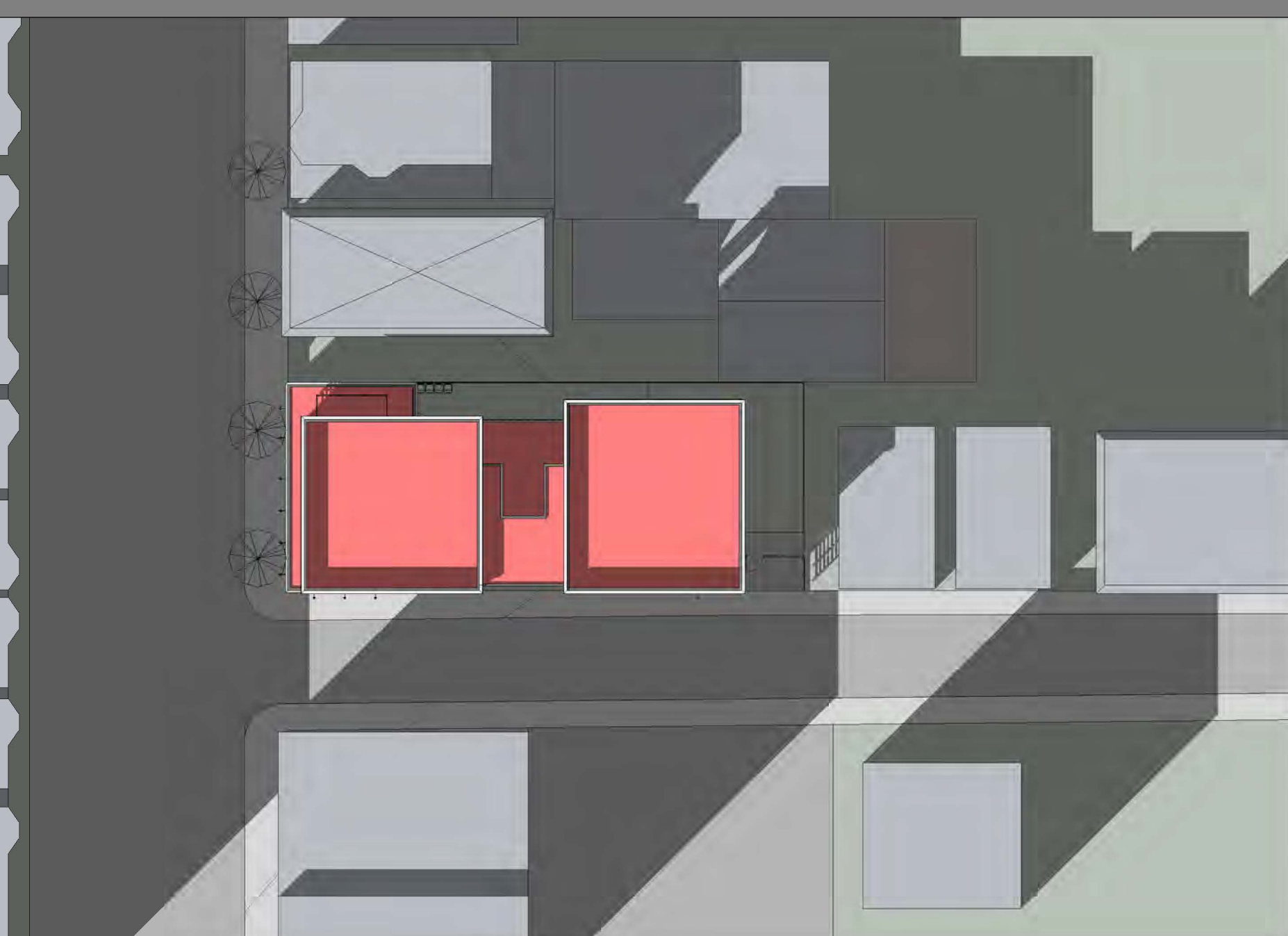
SUMMER SOLSTICE



FALL / SPRING EQUINOX




WINTER SOLSTICE



PROJECT NAME  
**Cambridge @  
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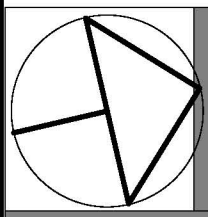
REVISIONS

No.	Description	Date

Shadow Study

**SS-1**  
Cambridge @ Marion Residences



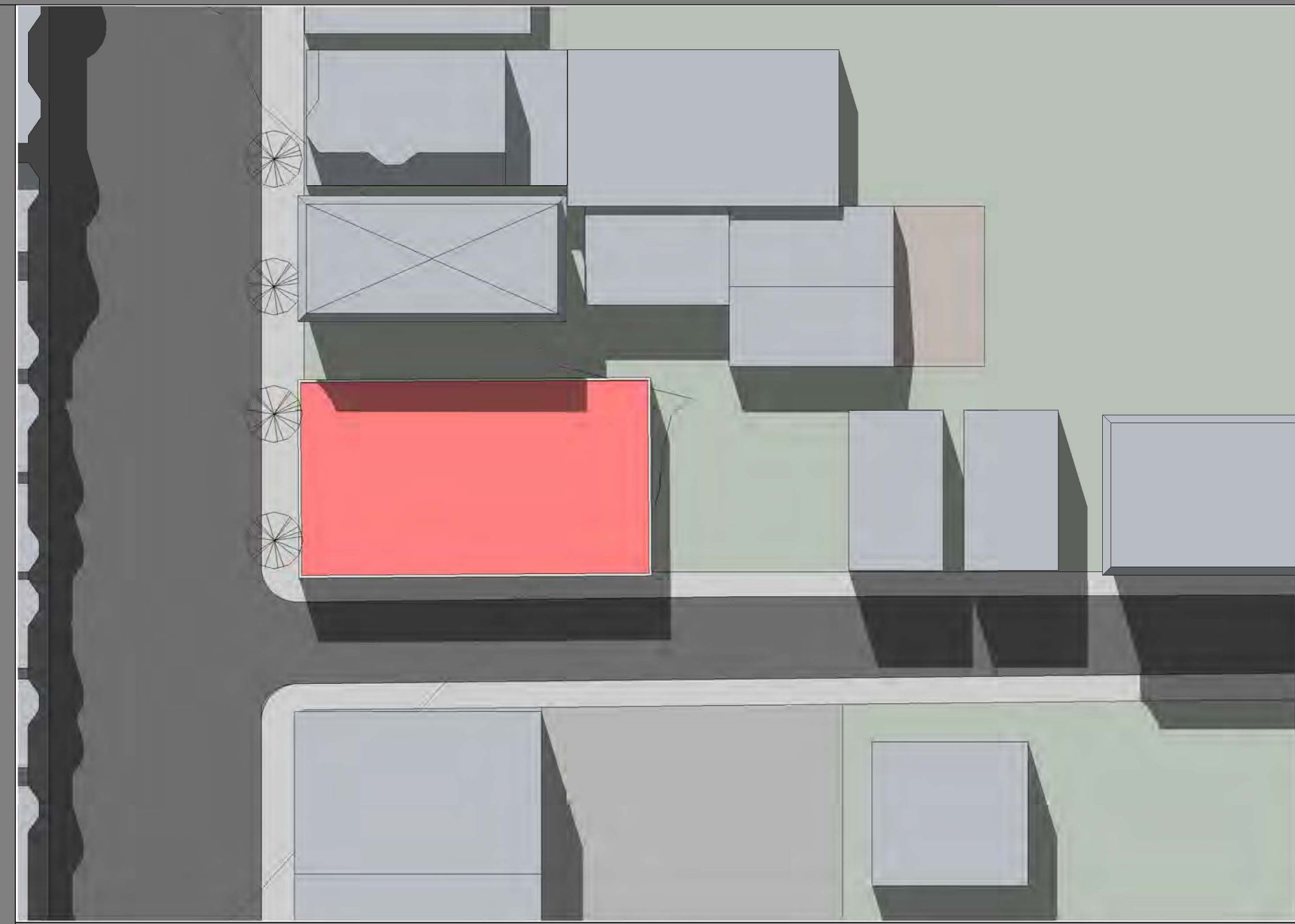
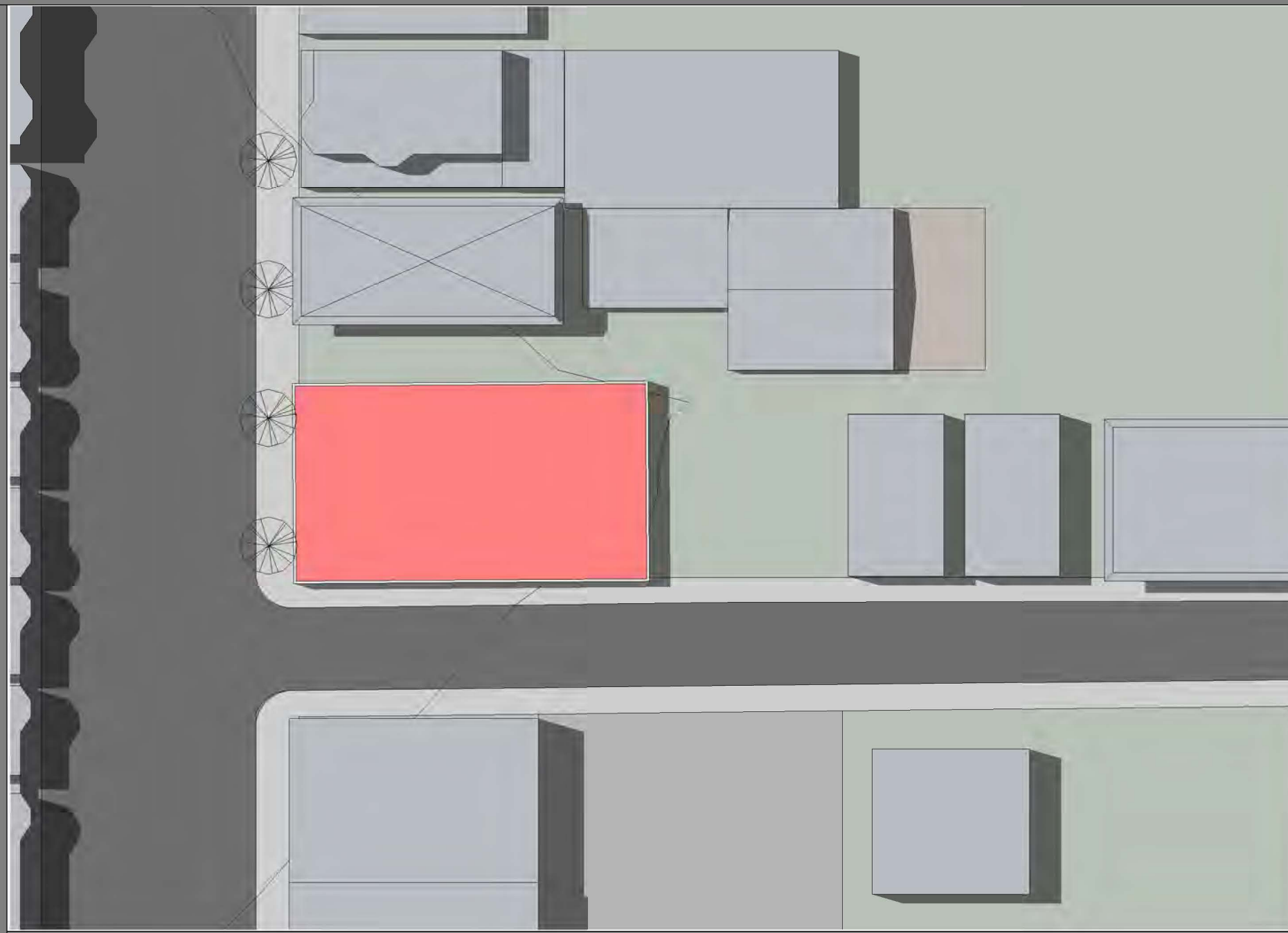


# MORNING (9-10 AM)

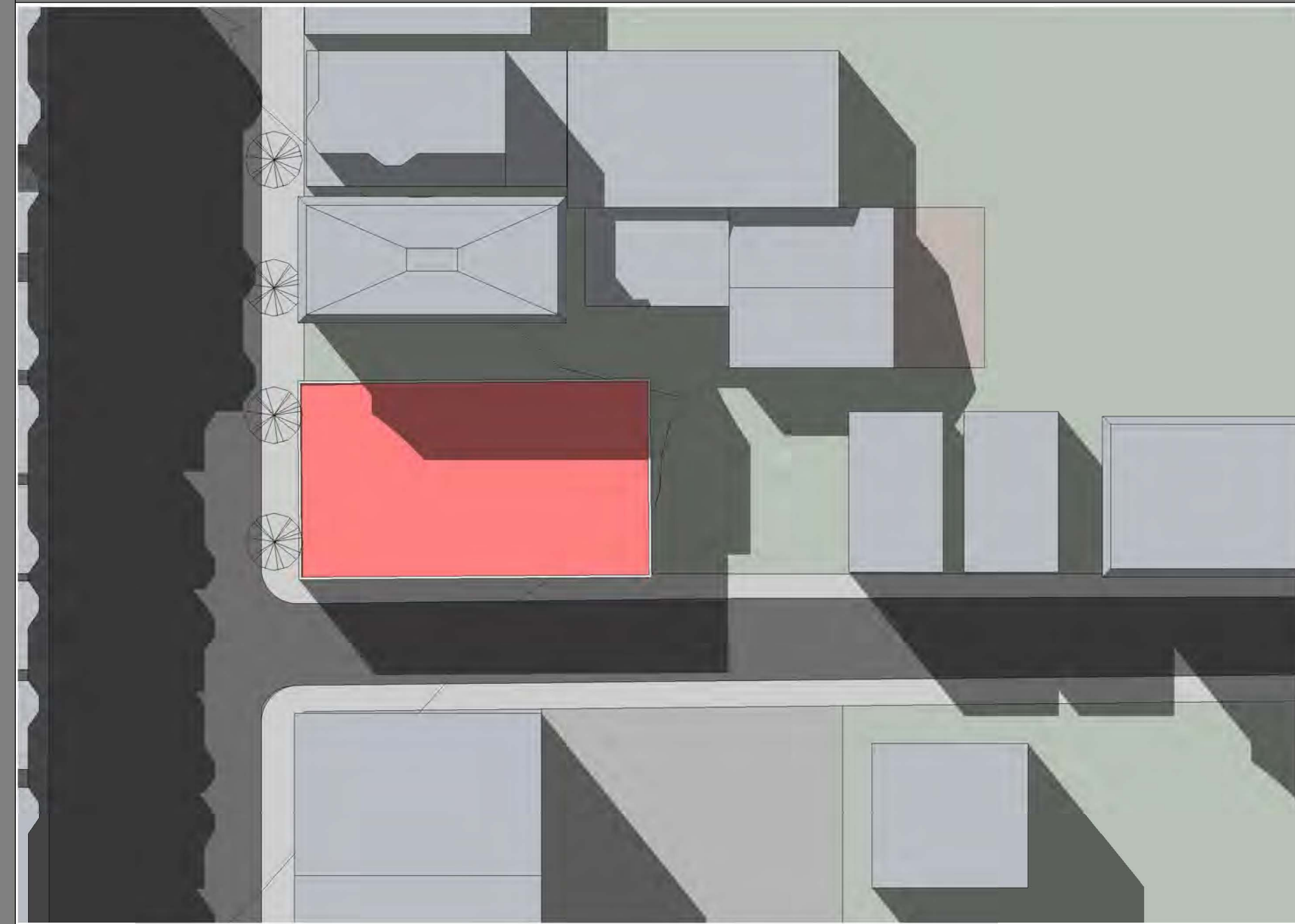
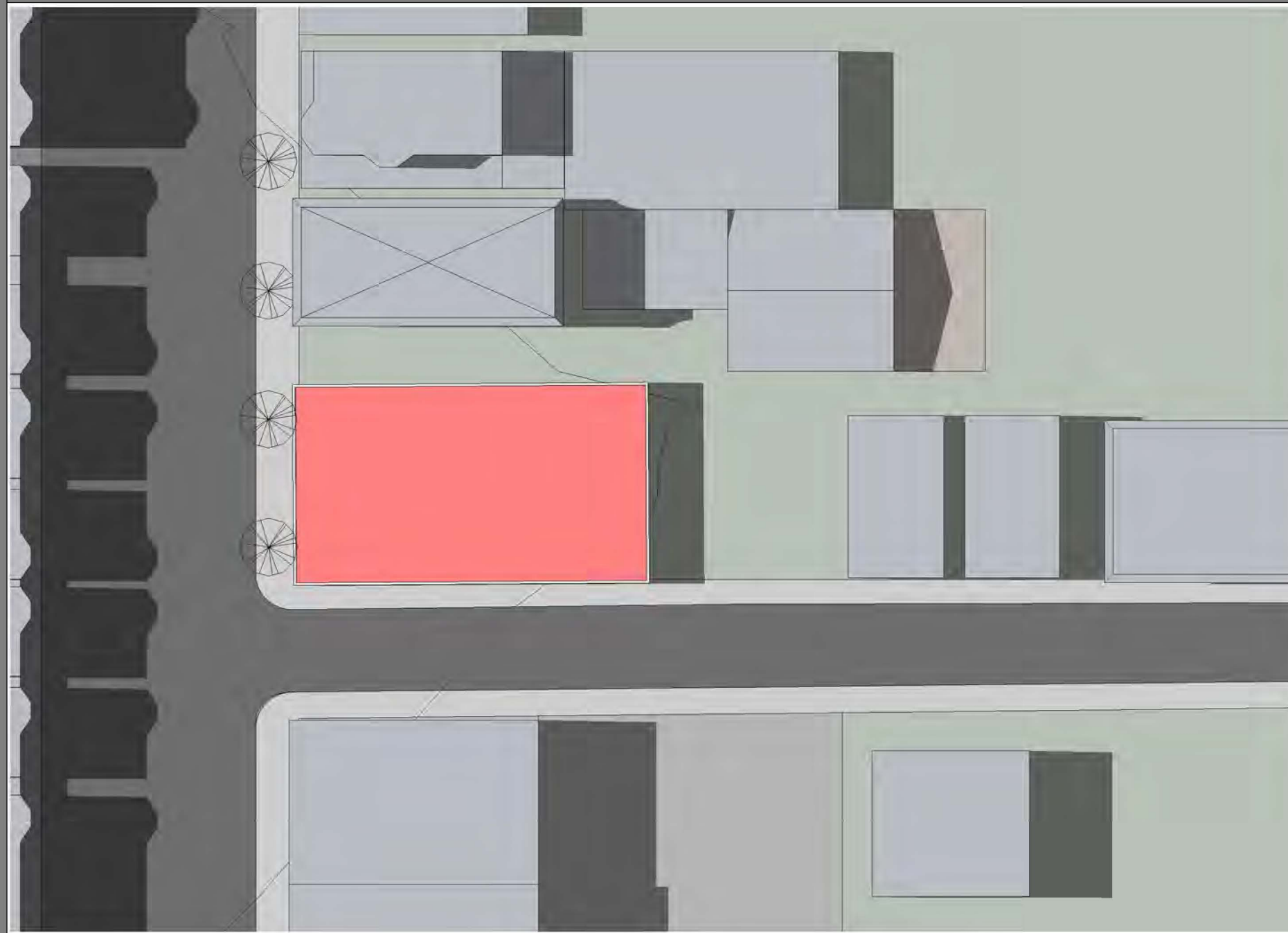
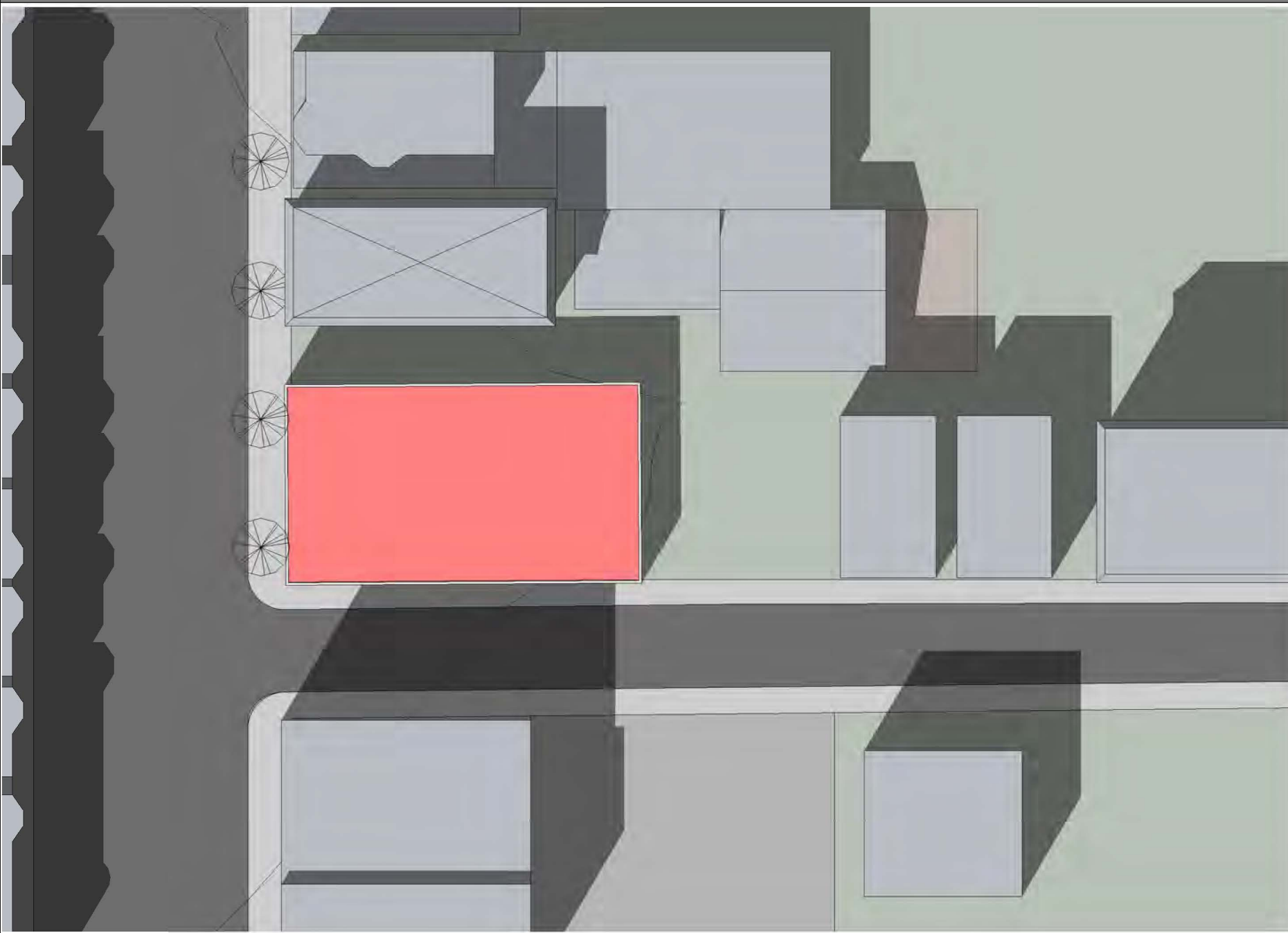
# NOON (12 AM-1 PM)

# AFTERNOON (3-4 PM)

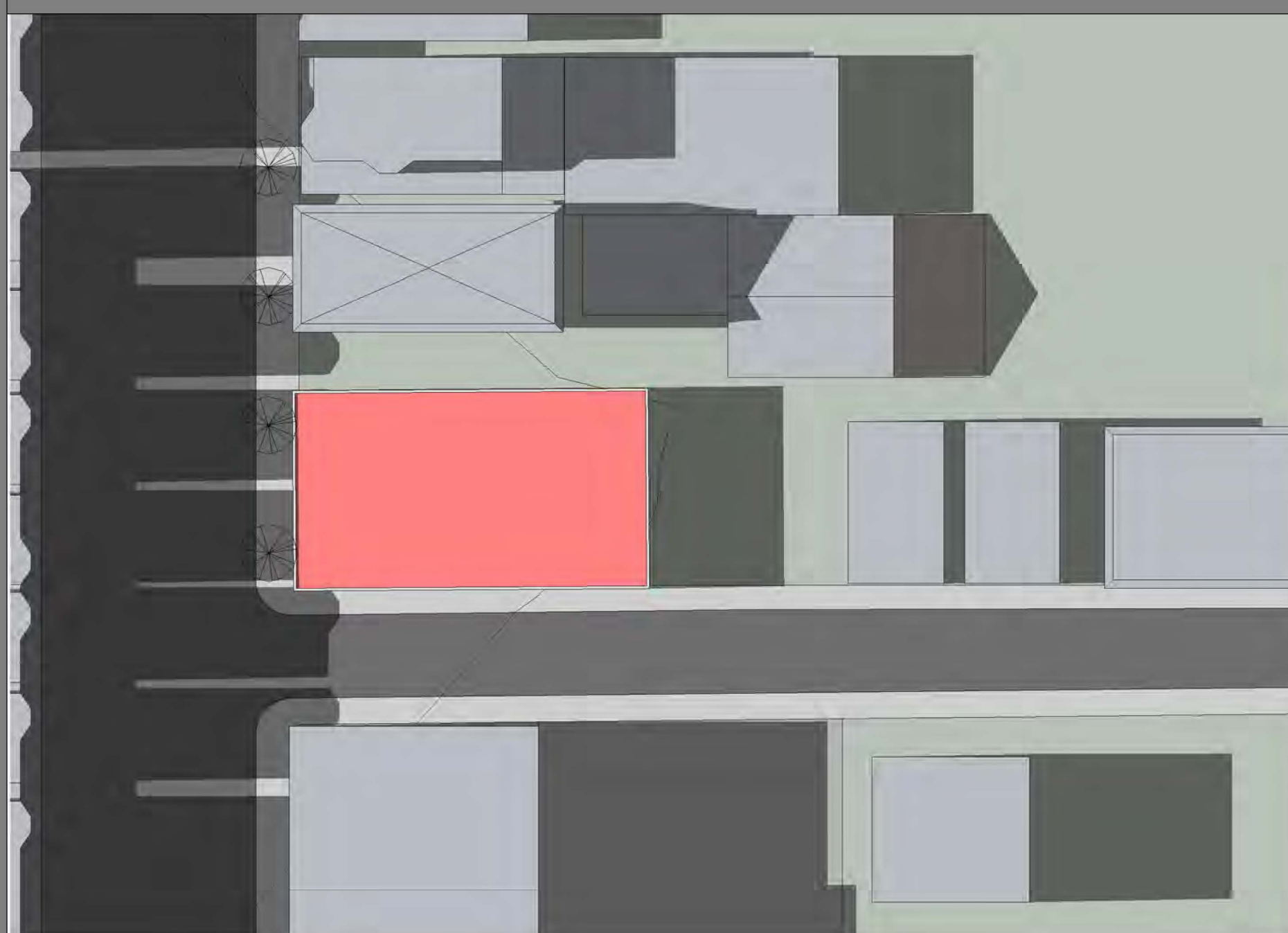
SUMMER SOLSTICE



FALL / SPRING EQUINOX




WINTER SOLSTICE



PROJECT NAME  
**Cambridge @  
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CLIENT  
**747 CAMBRIDGE  
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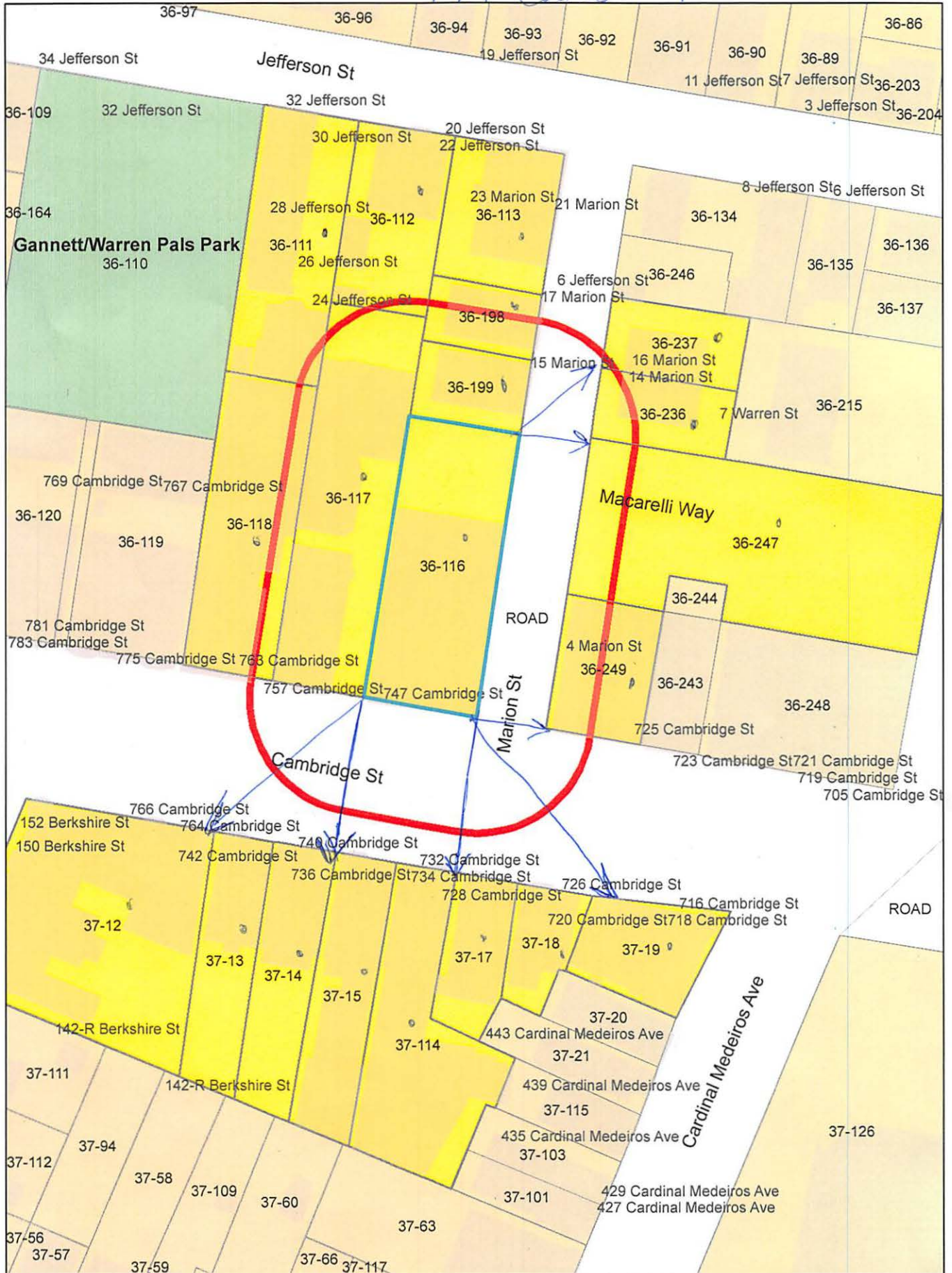
No.	Description	Date

Existing Shadow  
Study

**SS-2**  
Cambridge @ Marion Residences



747 Camb. St.



Petitioner

36-111  
FREITAS, JOSE R. & ZELIA C. FREITAS, TRUSTEES  
24 JEFFERSON ST  
CAMBRIDGE, MA 02141

36-249  
BARROS, MANUEL S. & MARIA T. BARROS,  
TRS. OF M & M BARROS REALTY TRUST  
4 MARION STREET  
CAMBRIDGE, MA 02141

KEMS HOLDING CORPORATION  
C/O ED DOHERTY  
200 BROADWAY – SUITE 103  
LYNNFIELD, MA 01940

36-116  
POLISH AMERICAN CITIZENS ASSOCIATION OF  
CAMBRIDGE &  
CITY OF CAMBRIDGE TAX TITLE  
747 CAMBRIDGE ST  
CAMBRIDGE, MA 02141-1428

36-117  
CLINTON, LAWRENCE F. &  
NANCY M. DILANDO TRUSTEES  
757 CAMBRIDGE ST  
CAMBRIDGE, MA 02141

37-114  
CENTRAL BAKERY, INC.  
732 CAMBRIDGE ST.  
CAMBRIDGE, MA 02141

36-236  
SAUER, JAMES W. & MAUREEN V. SAUER  
14 MARION STREET  
CAMBRIDGE, MA 02141-1030

36-237  
AUBOURG, MARIE I.  
16 MARION ST  
CAMBRIDGE, MA 02141-1030

37-14-13  
DIBIASE, GIRO & ELIZABETH DIABIASE  
TRS. NOMINEE TRUST  
26 GIRARD RD  
WINCHESTER, MA 01890-3339

37-19  
DIDOMENICO, SALVATORE &  
MARIE DIDOMENICO TRS  
716 CAMBRIDGE STREET  
CAMBRIDGE, MA 02141-1497

37-15  
MOREIRA, LISA & MANUEL MOREIRA TRUSTEE  
OF LMCM REAL ESTATE TRUST  
7 PEPPER HILL DR.  
WINCHESTER, MA 01890

37-18  
BERGANTINO, ANGELO A. & PAULINE M.  
TRS REALTY TRUST  
20 LANSDOWNE RD  
ARLINGTON, MA 02474

36-113  
PONDELLI, ALBERT J. & LUCIA Y. PONDELLI,  
TRS. OF THE MARION TRUST  
56 GILMAN STREET  
SOMERVILLE, MA 02145-3905

36-118  
761 CAMBRIDGE STREET, LLC  
47 IRMA AVE  
WATERTOWN, MA 02472

36-198  
DIBIASE, FELICIA  
17 MARION ST  
CAMBRIDGE, MA 02141

37-12  
SMITH, CHRISTA  
C/O CHRISTA S. SHARMA  
150 BERKSHIRE STREET – UNIT 1  
CAMBRIDGE, MA 02141

36-112  
REGO, JOSE R. & MARIA R. REGO  
TRUSTEES, THE REGO FAMILY TRUST  
20 JEFFERSON ST  
CAMBRIDGE, MA 02141

36-247  
CITY OF CAMBRIDGE  
C/O NANCY GLOWA  
CITY SOLICITOR

36-199  
DIBIASE, GIRO, JR. & FELICIA DIBIASE  
12 CHURCHILL RD  
WINCHESTER, MA 01890

36-247  
CAMBRIDGE CITY OF COMM DEV  
57 INMAN ST  
CAMBRIDGE, MA 02141

37-12  
LIN, BEVIN  
152 BERKSHIRE STREET #153/6  
CAMBRIDGE, MA 02141

37-17  
MEDEIROS, ANTONIO & MICHAEL VITAL, JOAO  
CARVALHO, TRUOF THE JAM REALTY TRUS  
732 CAMBRIDGE ST  
CAMBRIDGE, MA 02141-1401

36-247  
CITY OF CAMBRIDGE  
C/O LOUIS DePASQUALE,  
CITY MANAGER

37-12  
BERZANSKIS, AUDRIUS  
764 CAMBRIDGE STREET, UNIT #8  
CAMBRIDGE, MA 02141

37-12  
SPARROW, JANE,  
A LIFE ESTATE THE SPARROW FAM IREV TRUST  
152 BERKSHIRE ST. UNIT 1  
CAMBRIDGE, MA 02141

37-12  
DAVE, PRATIK K.  
148 BERKSHIRE ST., #3  
CAMBRIDGE, MA 02141

37-12  
MAIL, RANDI  
146 BERKSHIRE ST., UNIT #3  
CAMBRIDGE, MA 02141

37-12  
MILLER, LAUREN M.  
146 BERKSHIRE ST. UNIT#2  
CAMBRIDGE, MA 02141

37-12  
BENZ, MARCEL & LAUREN BENZ  
764 CAMBRIDGE ST., UNIT #5  
CAMBRIDGE, MA 02138

37-12  
LACY, BROCK T. & CYNTHIA M. POLLARD  
4469 MARIGOLD DR.  
CHINO, CA 91710-5033



37-12  
BEAUBIEN, SIMONE  
152 BERKSHIRE ST., UNIT #4  
CAMBRIDGE, MA 02141

37-12  
GATELY, JOSHUA J. & HEATHER M. SWEENEY  
152 BERKSHIRE STREET, UNIT #2  
CAMBRIDGE, MA 02141

37-12  
HANEY, BLAIR T.  
148 BERKSHIRE STREET, UNIT 148-8  
CAMBRIDGE, MA 02141

37-12  
VANDEVER, KATHRYN G.  
146 BERKSHIRE ST., #7  
CAMBRIDGE, MA 02141

37-12  
SHIMANOVSKAYA, VERONICA A.  
148 BERKSHIRE ST #5  
CAMBRIDGE, MA 02141

37-12  
BENEDICT, RACHEL A.  
146 BERKSHIRE ST., #148/4  
CAMBRIDGE, MA 02141

37-12  
PURCHON, SUSAN F.  
146 BERKSHIRE ST., #148/1  
CAMBRIDGE, MA 02141

37-12  
HILL, LENORE  
21 VILLAGE ST.  
SOMERVILLE, MA 02143

37-12  
HERNANDEZ, GUSTAVO  
146 BERKSHIRE ST. UNIT#1  
CAMBRIDGE, MA 02141

37-12  
BECHO, BZUMINA  
770 CAMBRIDGE ST  
CAMBRIDGE, MA 02141

37-12  
POEHLMAN, KRISTY & LARISSA POLLARD  
764 CAMBRIDGE ST., #764/7  
CAMBRIDGE, MA 02141

37-12  
MCCLENDON, CHRISTOPHER LEE  
TING YING WU MCCLENDON  
764 CAMBRIDGE ST., #764/3  
CAMBRIDGE, MA 02141

37-12  
YACCATO, KARIN J.  
764 CAMBRIDGE ST. UNIT#2  
CAMBRIDGE, MA 02141

37-12  
FEDERAL NATIONAL MORTGAGE ASSOCIATION  
1900 MARKET ST. SUITE 800  
PHILADELPHIA, MA 19103-0012

37-12  
MEDRANO, ELVIS  
6 MIDDLESEX CANAL PARK  
WOBURN, MA 01801

37-12  
SUTTON, BRYAN  
764 CAMBRIDGE ST., #6  
CAMBRIDGE, MA 02141

37-12  
WILLIAMS, ROBERTA L. & CAROL MILLER STINE  
764 CAMBRIDGE ST., UNIT #1  
CAMBRIDGE, MA 02141

37-12  
ANDERSON, RICHARD STANLEY & HEIDI  
WINSTON ALLISON TRU OF FLAMMIA FAM  
152 BERKSHIRE ST. UNIT#3  
CAMBRIDGE, MA 02141

37-12  
VAN MIDDLESWORTH, REX & DIANE UMSTEAD  
1201 CLAIRE AVE  
AUSTIN, TX 78703

37-12  
MALAVER, PEDRO J.  
148 BERKSHIRE ST., UNIT #2  
CAMBRIDGE, MA 02141

37-12  
PAPA, ALEXANDRIA  
152 BERKSHIRE ST #152/6  
CAMBRIDGE, MA 02141

37-12  
BRAVERMAN, JONATHAN  
150 BERKSHIRE ST UNIT #150  
CAMBRIDGE, MA 02141