

# CITY OF CAMBRIDGE BOARD OF ZONING APPEAL STATE Avenue, Cambridge MA 02139 AND OF ZONING APPEAL CARRESTON AND OF ZONING APPEAL CARRESTON AND OF ZONING APPEAL CARRESTON CARRESTON AND OF ZONING APPEAL CARRESTON C

**BZA Number: 182043** 

### **General Information**

The undersigned I	nereby petitions the Board of Zoning	g Appeal for the following:
Special Permit:	Variance:>	<u>C</u>
PETITIONER: Ale	<u>exander Rapp</u>	
PETITIONER'S A	DDRESS: 88 SPRING ST, MA, Can	nbridge 02141
LOCATION OF PI	ROPERTY: <u>88 Spring St , Cambrid</u>	<u>lge, MA</u>
TYPE OF OCCUP	PANCY: residential	ZONING DISTRICT: Residence C-1 Zone
REASON FOR PE	ETITION:	,
/Additions/		
DESCRIPTION	OF PETITIONER'S PROPOSAL	:
	mer to re-enclose an exposed outdo closer to it's original floorplan.	por attic space in a nonconforming home, and restore the
SECTIONS OF ZO	ONING ORDINANCE CITED:	
Article: 5.000 Article: 8.000	Section: 5.31 (Table of Dimensional Section: 8.22.3 (Non-Conforming S	·
	Original Signature(s):	Comp p
		(Petitioner (s) / Owner) Aleyandr M Raff
6/27	Address: Tel. No. E-Mail Address:	(Print Name)  5 f ing 5 f 857-212-6030 alex@calcbench.com

### BZA APPLICATION FORM - OWNERSHIP INFORMATION

*Pursuant to a deed of duly recorded in the date 1/3/2005, Middlesex South  County Registry of Deeds at Book 44416, Page 242; or  Middlesex Registry District of Land Court, Certificate No.  Book Page  SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*  *Written evidence of Agent's standing to represent petitioner may be requested.  Commonwealth of Massachusetts, County of Middlesex  The above-name Alexander Rapp + Sagin Chiptopersonally appeared before me, this 26 of Tunk, 2012, and made oath that the above statement is true.  My commission expires 19-Dec - 2025 (Notary Seal) DONNA J. LECLERC Notary Public Commonwealth of Massachusetts My Commission Expires	To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.
State that I/We own the property located at 88 \$1,7,7 \$5 , which is the subject of this zoning application.  The record title of this property is in the name of ACE ANDER RAPP 402 SARAH CHRISTOPHE.  *Pursuant to a deed of duly recorded in the date 1/3 2005, Middlesex South County Registry of Deeds at Book 444 16, Page 242; or Middlesex Registry District of Land Court, Certificate No.  Book Page SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*  *Written evidence of Agent's standing to represent petitioner may be requested.  Commonwealth of Massachusetts, County of Middlesex  The above-name Alexander Rapp + Sagah Christoppersonally appeared before me, this 26 of Junk, 2022, and made oath that the above statement is true.  My commission expires 19 - Dec - 2025 (Notary Seal) DONNA J. LECLERC Notary Public Commonwealth of Massachusetts My Commission Expires My Commission Expires	I/We ALEXANDER RAPP and SARAH CHRISTOPHE
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My Commission Expires	
• If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.	My Commission Expires     December 19, 2025      If ownership is not shown in recorded deed, e.g. if by court order, recent

### **BZA Application Form**

### SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant because the existing roofdeck is unsafe, leaks during rain storms, has water damage, and is an eyesore. The area of the roof deck was originally enclosed and was part of the original interior floorplan of the attic of the home. Covering it using a shed dormer restores the character of the house while repairing the damage issues.

The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:

The hardship is owing to the pre-existing non-conforming structure that was built prior to zoning such that any addition or alteration would require relief, even simply restoring the attic to the original floorplan, as is the case here.

### C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

1) Desirable relief may be granted without substantial detriment to the public good for the following reasons:

Desirable relief may be granted without detriment to the public good because we are simply restoring the house to it's original floorplan, and closer to its original style.

2) Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Desirable relief may be granted without nullifying or substantially derogating from the intent of the Ordinance because the proposed additions will allow for a restoration of the structure. This home, built in 1800's, was originally ~1,750 Square feet, until a previous owner's renovation reduced the size of the attic and carved a roof deck into existing space. We are largely restoring to the original floorplan. All of the other identical townhouses in our row have this same area enclosed.

\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.

### **BZA Application Form**

### **DIMENSIONAL INFORMATION**

Applicant: Alexander Rapp

Present Use/Occupancy: residential

Location:

88 Spring St , Cambridge, MA

Zone: Residence C-1 Zone

Phone:

857-212-6030

Requested Use/Occupancy: residential

		Existing Conditions	Requested Conditions	<u>Ordinance</u> Requirements	
TOTAL GROSS FLOOR AREA:		1,645	1,737	1,050	(max.)
LOT AREA:		1,400	1,400	1,500	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup>		1.175	1.241	.75	
LOT AREA OF EACH DWELLING UNIT		1645	1737	1050	
SIZE OF LOT:	WIDTH	20	20	20	
	DEPTH	70	70	75	
SETBACKS IN FEET:	FRONT	0	0	10	
	REAR	35	35	20	
	LEFT SIDE	0	0	0	
	RIGHT SIDE	0	0	0	
SIZE OF BUILDING:	HEIGHT	30	30	35	
	WIDTH	32	32	50	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		40%	40%	30%	
NO. OF DWELLING UNITS:		1	1	1	
NO. OF PARKING SPACES:		1	1	1	
NO. OF LOADING AREAS:		0	0	0	
DISTANCE TO NEAREST BLDG. ON SAME LOT		na	na	na	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

na

- 1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
- 2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
- 3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

# 88 SPRING STREET - ATTIC RENO

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CEL: 774.317.0491

# 88 SPRING STREET - ATTIC RENO

88 SPRING STREET, CAMBRIDGE, MA 02141

MR. ALEX RAPP

CONSULTANT:

CONSULTANT:

# MR. ALEX RAPP

88 SPRING STREET, CAMBRIDGE, MA 02141

FLOW PROJECT #22048

# PERMIT SET

# **PROJECT TEAM** PERSPECTIVE VIEW **AERIAL VIEW OWNER:** 93 Sciarappa Condo MR. ALEX RAPP 88 SPRING STREET. CAMBRIDGE, MA 02141 TEL:857-212-6030 **ARCHITECTURE:** FLOW DESIGN ARCHITECTS 50 GROVE ST. SUITE 226 SALEM, MA 01970 PROJECT LOCATION TEL: 978-498-4370 DRAWING TITLE: TITLE SHEET **GENERAL INFORMATION GENERAL CONTRACTOR:** J&L CONTRACTORS THE EXISTING PROPERTY AT 88 SPRING ST IS A 2 1/2 -12 CHANCERY COURT, UNIT 403 STORY WOOD FRAMED STRUCTURE. THE EXISTING LYNN, MA 01902 N.T.S RESIDENCE CURRENT USE IS ONE-FAMILY RESIDENTIAL. TEL: 978-595-4949 04.11.2022 THE SCOPE OF WORK INCLUDES COSMETIC RENOVATIONS OF THE EXISTING ATTIC SPACE. 22048 DRAWING NO.: T-100

FOR ILLUSTRATION PURPOSES ONLY

# **ABBREVIATIONS**

ACT AND CONTROL ID. LANG.  APPLICATION FOR THE PROPERTY OF THE	A.C.P.	ACOUSTIC CEILING PANEL	K	KIP
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	( )			

# **CODES & STANDARDS**

# Residential Code

INTERNATIONAL RESIDENTIAL CODE - 2015 WITH MA. AMENDMENTS 780 CMR 51

# **Building**

INTERNATIONAL BUILDING CODE 2015 WITH MA. AMENDMENTS

INTERNATIONAL EXISTING BUILDING CODE (IEBC2015) WITH AMENDMENTS 780 CMR CHAPTER 34

# **ZONING REVIEW:**

1. ZONING DISTRICT

CAMBRIDGE, MA - RESIDENCE C-1 DISTRIC

2. GENERAL REQUIREMENTS

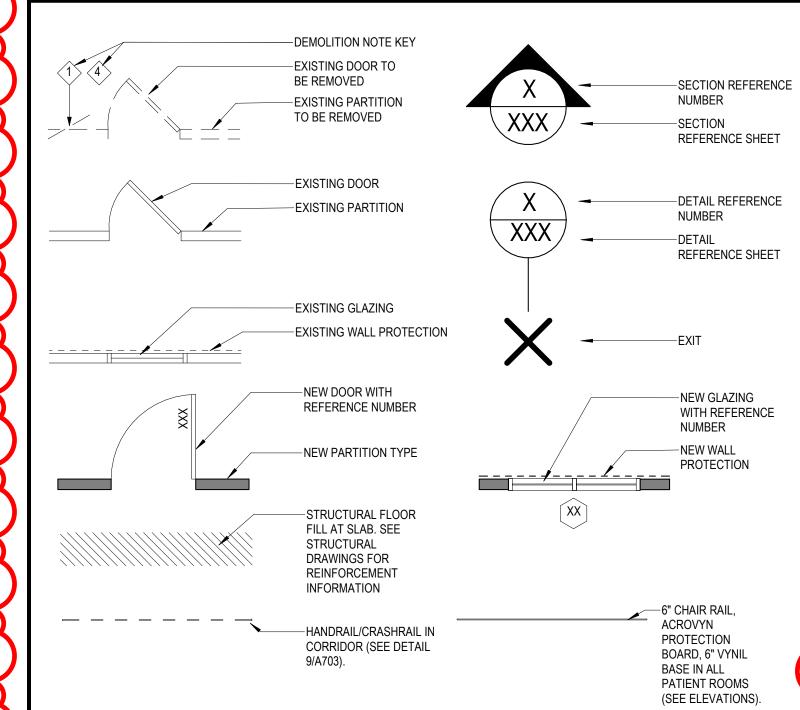
SECTION	APPLICABILITY	DESCRIPTION	REQUIRED	
Neighborhood District - C-1	N/A	<ul> <li>□ Max. FAR :</li> <li>□ Minimum Lot Area (square feet) :</li> <li>□ Minimum Front Yard (feet) :</li> <li>□ Minimum Side Yard (feet) :</li> <li>□ Minimum Rear Yard (feet) :</li> <li>□ Maximum Building Height (feet) :</li> <li>□ Minimum OS (ratio) :</li> </ul>	0.75 1,500 10 7.5 20 35 FT 30%	
3. PROPOSED		<u>+/- SF</u>		

	FLOORS	GROSS AREA	LIVING AREA
	FIRST FLOOR	545	545
	BASEMENT, FINISHED	330	0
	PORCH, OPEN	15	0
	THREE QUARTER STORY	439	226
	BASEMENT	215	0
ر	TOTAL:	1,544	771

ك	FAR CALCULATIONS:	LOT CALCULATIONS:
	[(A × FAR 1 ) × Lot Area] + [(B × FAR 2 ) × Lot Area] [(36% × 0.75 ) × 1,400] + [(64% × 0.75 ) × 1,400]	(1,050 × 100 ) / 1,400 105,00 / 1,400
	[0.27 × 1,400] + [0.48 × 1,400]	75
<b>\</b>	378 + 672	
	1,050	

	SHEET L	.IST	
SHEET NUMBER	SHEET NAME	INITIAL ISSUE DATE	DESCRIPTION
TITLE SHEETS			
T-100	TITLE SHEET	04.11.2022	PERMIT SET
T-101	SHEET LIST, NOTES AND LEGENDS	04.11.2022	FIRE DEPARMENT REVISION
LIFE SAFETY			
LS-01	LIFE SAFETY FLOOR PLANS	04.11.2022	FIRE DEPARMENT REVISION
EXISTING ARCHI	TECTURAL		
AEX-100	EXISTING FLOOR PLANS	04.11.2022	PERMIT SET
ARCHITECTURAL			
A-100	PROPOSED FLOOR PLANS	04.11.2022	PERMIT SET
A-631	SECTIONS & PARTITIONS	04.11.2022	PERMIT SET
A-800	FINISH & COORDINATION PLANS	04.11.2022	PERMIT SET

# **GENERAL LEGEND**



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# 88 SPRING STREET -**ATTIC RENO**

88 SPRING STREET, CAMBRIDGE, MA 02141

MR. ALEX RAPP

TEL: 978.498.4370

CEL: 978.818.5109

CEL: 774.317.0491

CONSULTANT:

CONSULTANT:

04.11.2022 PERMIT SET 06.06.2022 FIRE DEPARMENT REVISION

# DRAWING TITLE: SHEET LIST, NOTES AND LEGENDS

CHECKED BY: MS As indicated

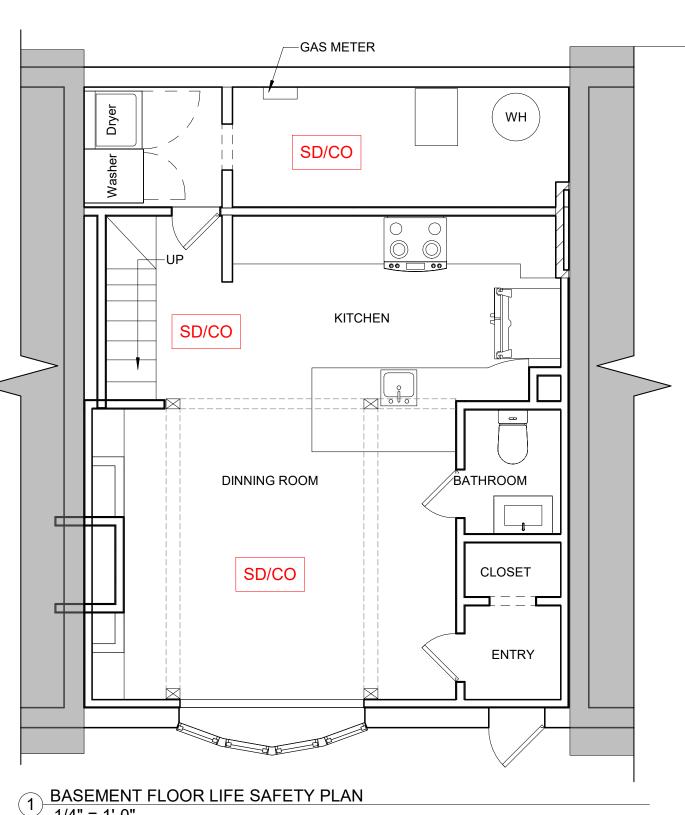
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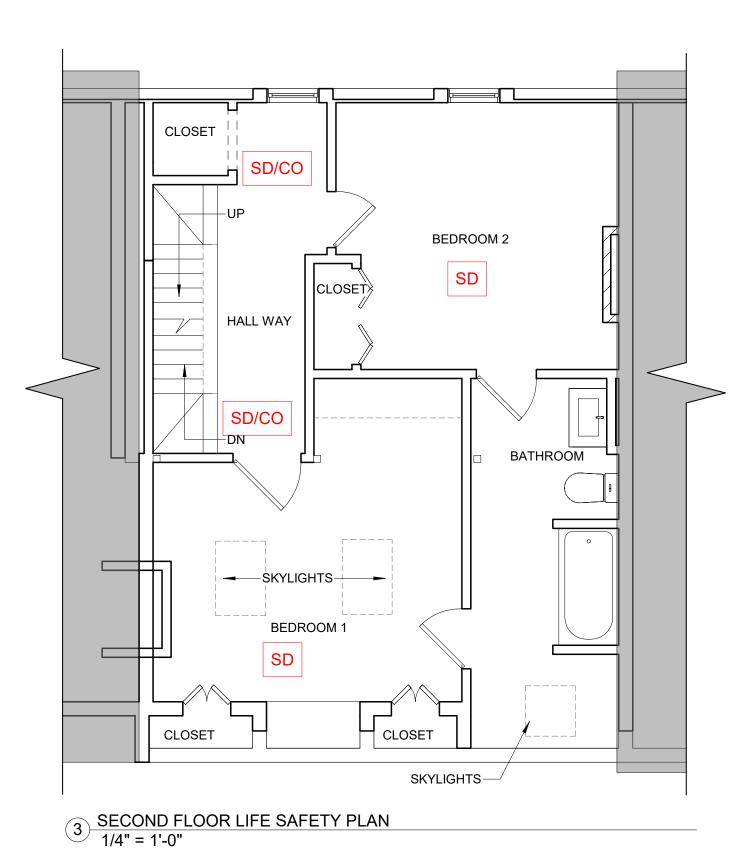
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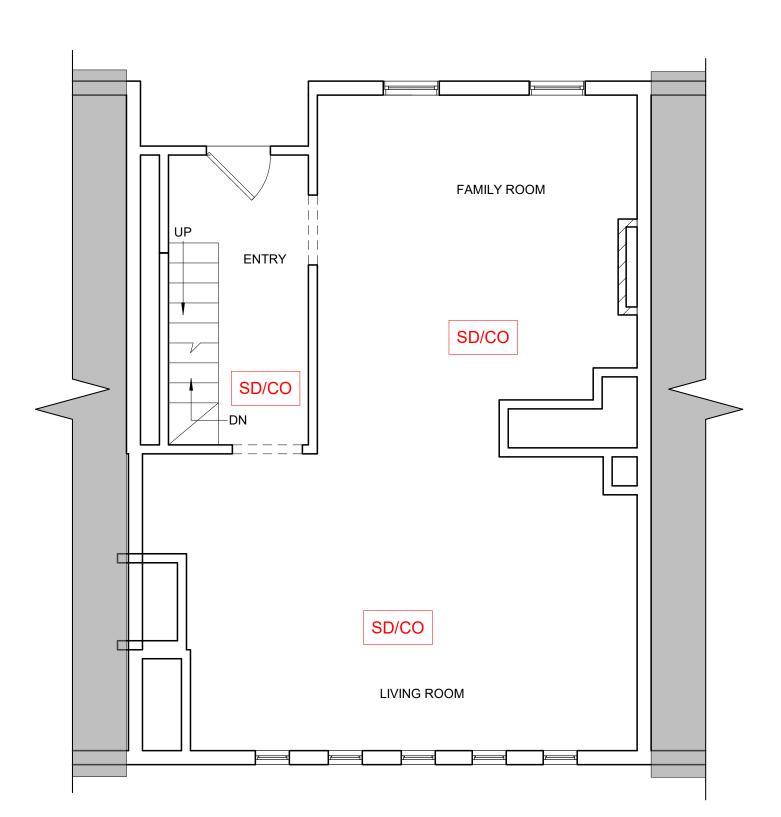
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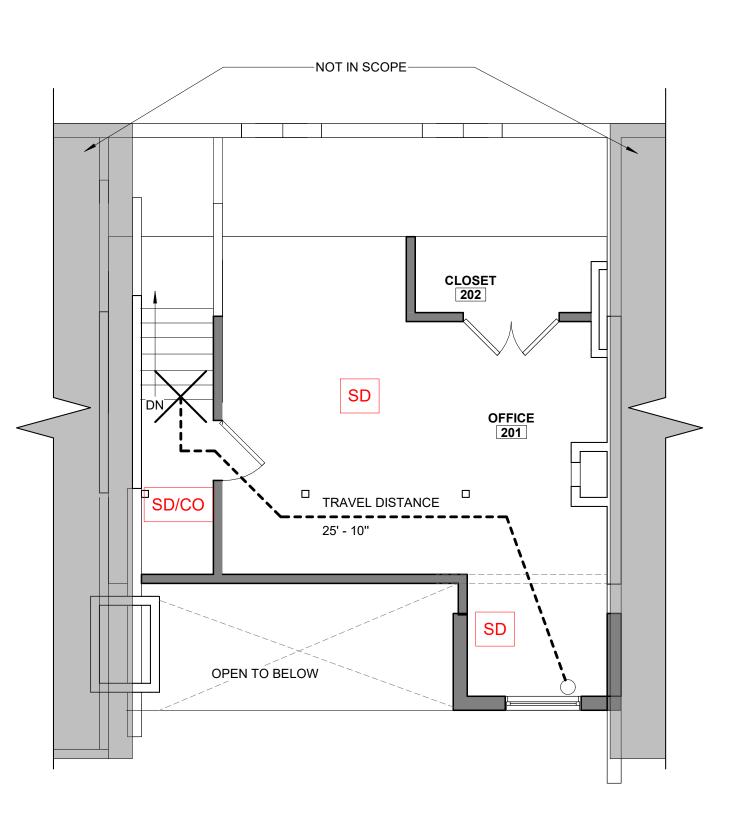








2 FIRST FLOOR LIFE SAETY PLAN
1/4" = 1'-0"



4 ATTIC FLOOR LIFE SAFETY PLAN 1/4" = 1'-0"

CODE:

Smoke alarms shall be the photoelectric type listed in accordance with UL 217 or UL 268. Combination smoke with UL 217 and UL 2034. (R314.1.1). Hardwired and Interconnected smoke alarms shall be required in the following locations as per International Residential Code for 1 and 2 Family Dwellings R314.3 with Massachusetts Amendments:

- Outside each separate sleeping area in the immediate vicinity of the bedrooms.
- On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics.
- In dwellings or dwelling units with split level and shall suffice for the adjacent lower level provided the upper level.
- Near all stairs

### A single heat detector listed for the ambient enviroment shall be installed in:

- Any garage attached to or under the dwelling (detached garages do not require a heat detector.
- detector shall be interconnected to that system. Where the existing system is not compatible with shall be connected to an alarm or compatible heat and within 20 ft of the nearest door to the garage from the dwelling. An alarm is not required in the garage, either integral or separate from the heat

R315.53 Carbon monoxide alarms in dwelling units shall be outside of each separate sleeping area within ten feet bedroom. At least one alarm shall be installed on each story of a dwelling unit, including basements and cellars

## INTERNATIONAL RESIDENTIAL CODE 2015 W/ MA AMMENDMENTS 780 CMR 51 RESIDENTIAL BUILDING

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88 SPRING STREET,

MR. ALEX RAPP

ARCHITECT:

CONSULTANT:

CONSULTANT:

CAMBRIDGE, MA 02141

■ SALEM, MA 01970

50 GROVE ST. SUITE 226

SALEM, MA 01970 TEL: 978.498.4370

CEL: 978.818.5109 CEL: 774.317.0491

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- In each sleeping room
- without an intervening door between the adjacent levels, a smoke alarm installed on the upper level that the lower level is less than one full story below
- Smoke alarms shall be installed not less than 3 feet horizontally from the door opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by section R314.3
- For each 1,000 sf of area or part thereof.

- A new garage attached to an existing dwelling. If the existing house contains a fire detection system that is compatible with the garage heat detector, then the the garage heat detector, the garage heat detector detector containing an alarm, located in the dwelling

fo the bedrooms. Where a fuel burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the

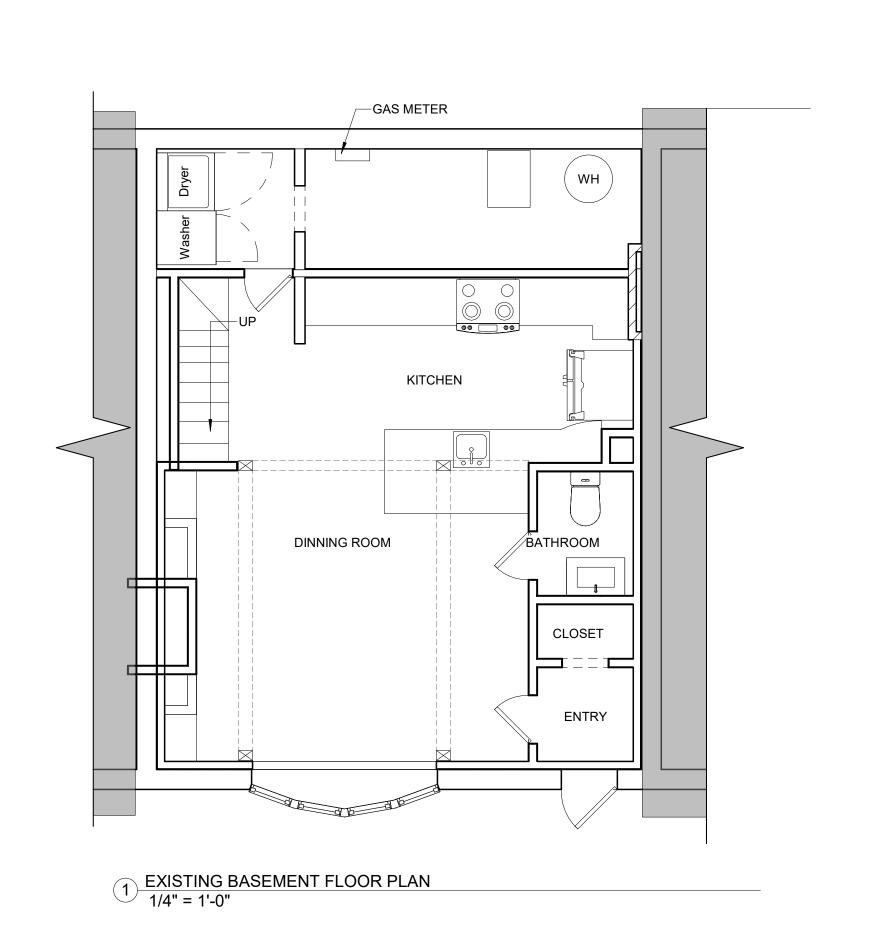
# but not in crawl spaces and uninhabilatble attics. LIFE SAFETY LEGEND DATE: DESCRIPTION: **EXIT LOCATION** 06.06.2022 FIRE DEPARMENT REVISION EXTERIOR EXIT DOOR LENGTH OF TRAVEL -EGRESS SMOKE DETECTOR & CARBON MONOXIDE COMBO SMOKE DETECTOR DRAWING TITLE: **PROJECT SPECIFIC NOTES** 1 HOUR RATED SEPARATION PER IBC 2015 TABLE 508.2.5 LIFE SAFETY FLOOR

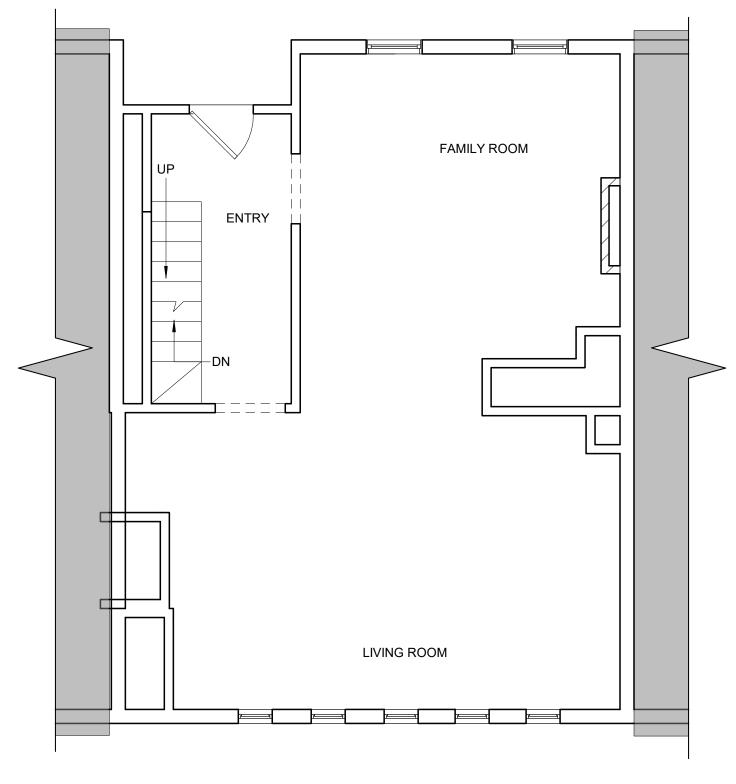
**PLANS** SEAL: DRAWN BY:

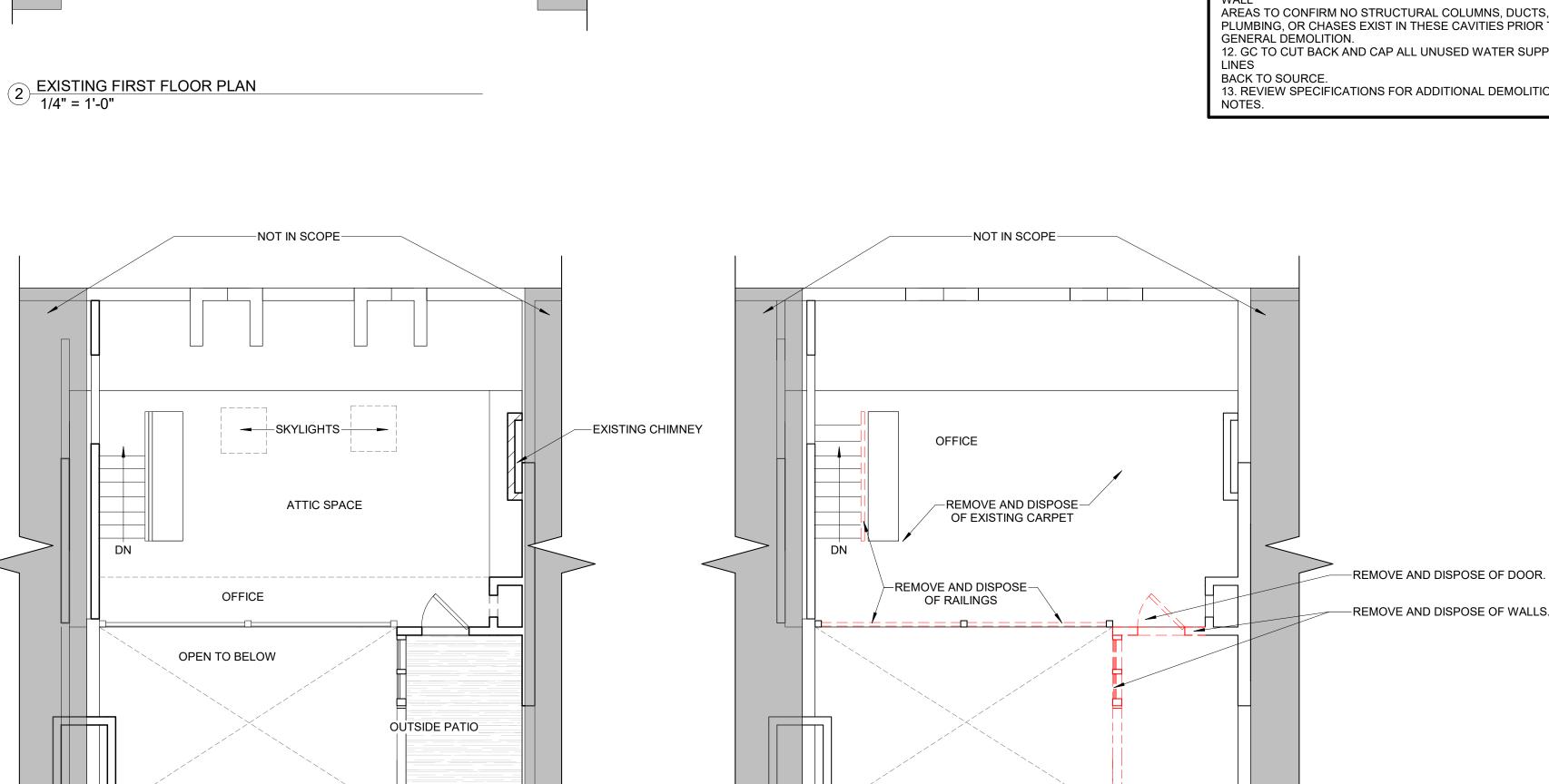
CHECKED BY: MS SCALE: As indicated 04.11.2022

PROJECT NO .: 22048

DRAWING NO.:







PARTITION EXISTING WALL, VERIFY CONSTRUCTION IN FIELD

EXISTING CONDITIONS

GENERAL NOTES IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUBCONTRACTOR TO REVIEW EXISTING CONDITIONS OF THE BUILDING AND TO INFORM THE ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS.

### EXISTING TO BE REMOVED

	ITEM TO BE REMOVED
	EXISTING TO BE REMOVE
	EXISTING TO REMAIN

### **GENERAL NOTES:**

1. ALL INTERIOR DIMENSIONS ARE TO INTERIOR FACE OF GWB. U.N.C 2. PROVIDE BLOCKING AT ALL WALLS W/ WALL MOUNTED FIXTURES AND ACCESSORIES. TYP. 3. CONFIRM CEILING HEIGHTS IN FIELD.

# GENERAL DEMOLITION NOTES:

- 1. REMOVE AND DISPOSE EXISTING INTERIOR PARTITIONS AS INDICATED ON THE PLAN 2. REMOVE AND DISCARD EXISTING INTERIOR DOORS AND
- **FRAMES** AS INDICATED ON THE PLAN. 3. PATCH AND MATH CEILINGS AS NEEDED. CONFIRM AND
- COORDINATE WITH OWNER. 4. PATCH AND REPAIR EXISTING WALLS TO REMAIN AS REQUIRED.
- 5. PATCH AND REPAIR WALLS AND FINISHED ADJACENT TO
- OF DEMOLITION AS REQUIRED. 6. COORDINATE REMOVAL AND RELOCATION OF EXISTING
- FURNITURE WITH OWNER.
- 7. REMOVE AND DISCARD ANY EXISTING MILLWORK. CONFIRM AND COORDINATE WITH OWNER.
- 8. PROTECT ALL AREAS NOT BEING AFFECTED BY
- 9. REMOVE FOR REUSE & STORAGE ALL EXISTING LIGHT FIXTURES.CONFIRM AND COORDINATE WITH OWNER.
- 10. OWNER, GC, AND ARCHITECT TO WALK THROUGH AND MARK ALL
- EXISTING OUTLETS/DATA PORTS TO REMAIN. THESE OUTLETS/DATA PORTS MAY REQUIRE NEW PLATES AND/OR
- 11. GC TO PERFORM EXPLORATORY PROBES AT THICKENED
- AREAS TO CONFIRM NO STRUCTURAL COLUMNS, DUCTS, PLUMBING, OR CHASES EXIST IN THESE CAVITIES PRIOR TO
- 12. GC TO CUT BACK AND CAP ALL UNUSED WATER SUPPLY
- 13. REVIEW SPECIFICATIONS FOR ADDITIONAL DEMOLITION

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CONSULTANT:

CONSULTANT:

REVISION: DESCRIPTION: DATE: 04.11.2022 PERMIT SET

SEAL:

# DRAWING TITLE: **EXISTING FLOOR PLANS**

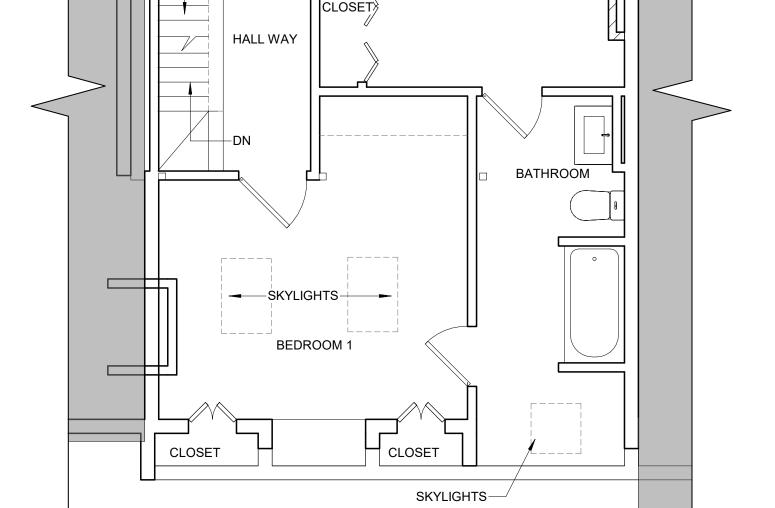
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04.11.2022 PROJECT NO .:

22048 DRAWING NO.:

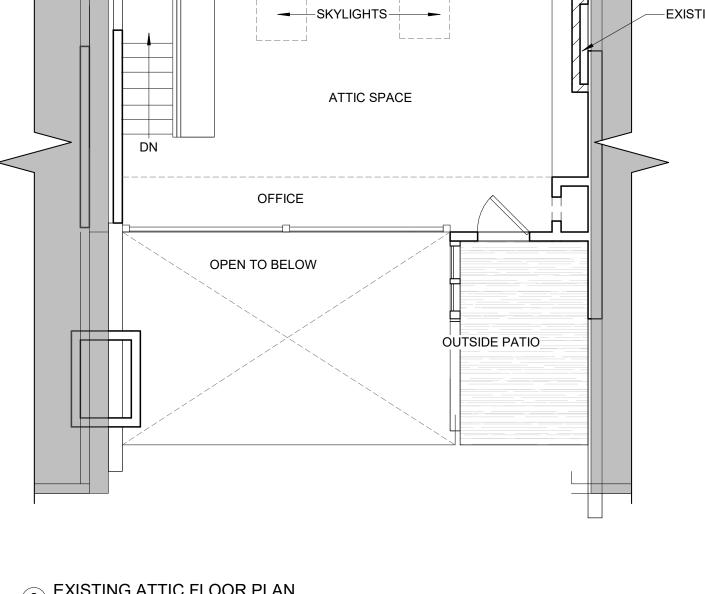
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PROJECT LOCATION: \\flow\\Projects\Architecture\2022\22048 88 SPRING STREET, CAMBRIDGE - ATTIC RENO\A\_Revit\22048 88 SPRING ST, CAMBRIDGE - ATTIC RENO.rvt



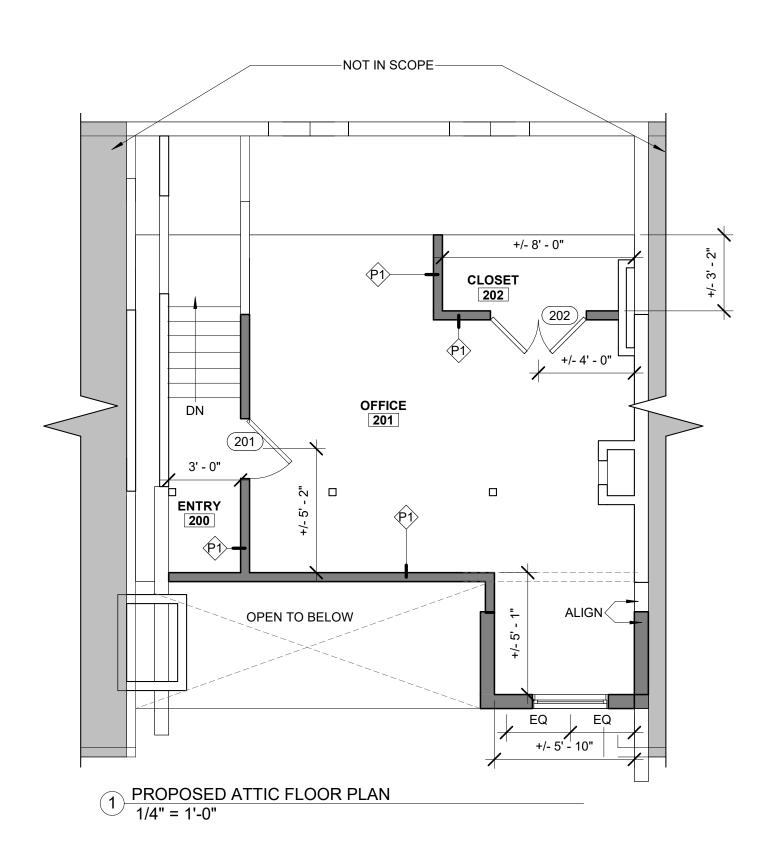
3 EXISTING SECOND FLOOR PLAN 1/4" = 1'-0"

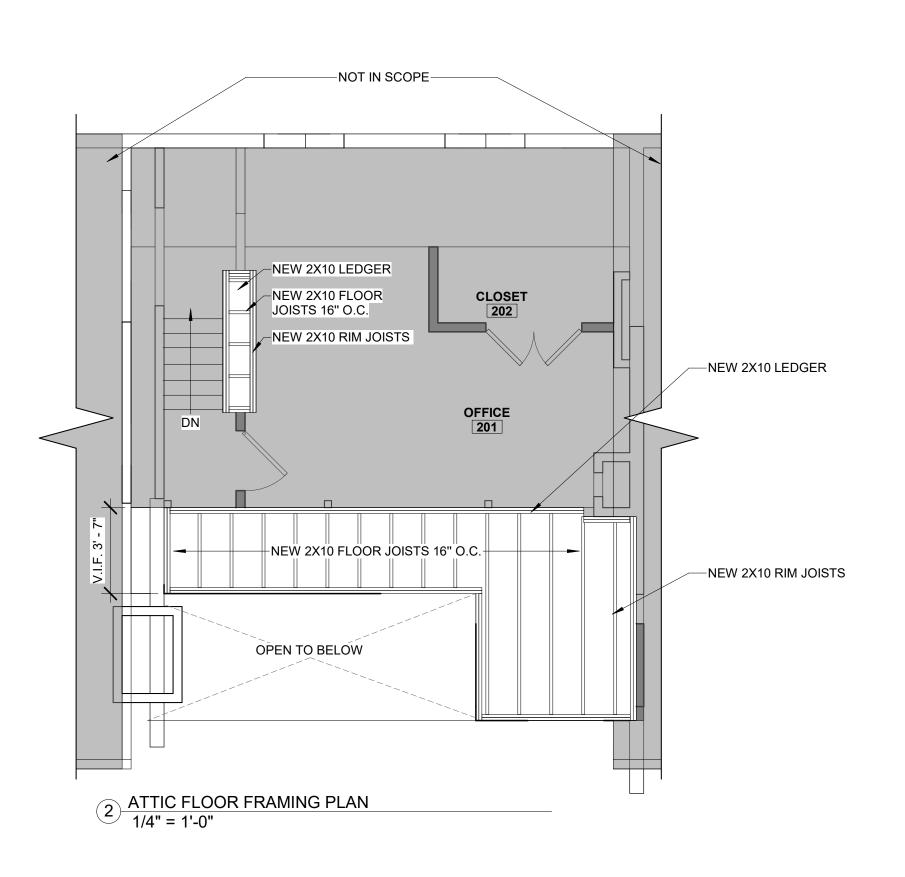
BEDROOM 2

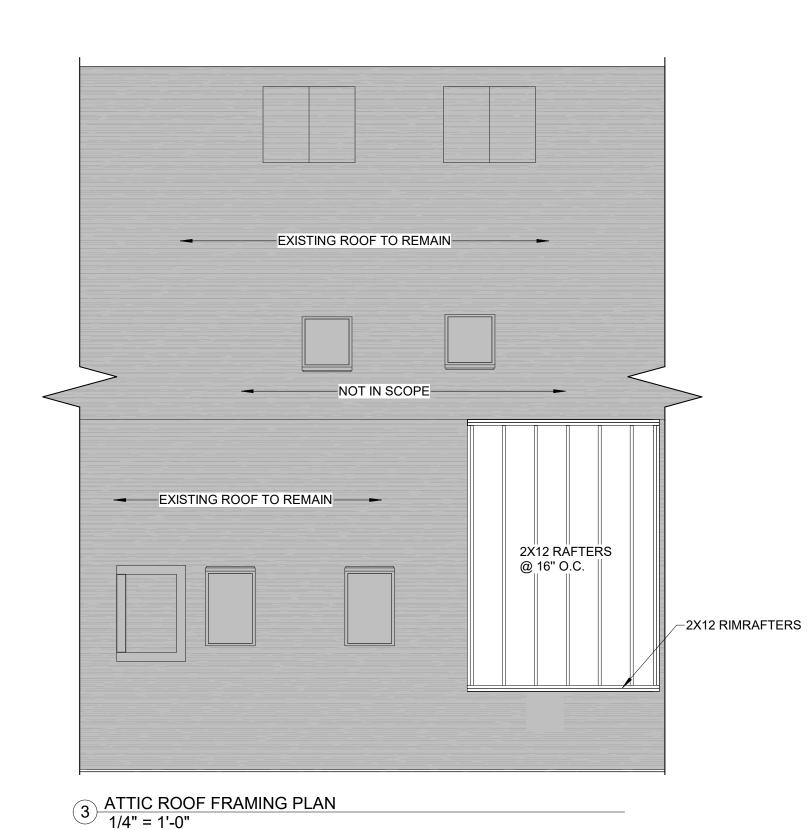


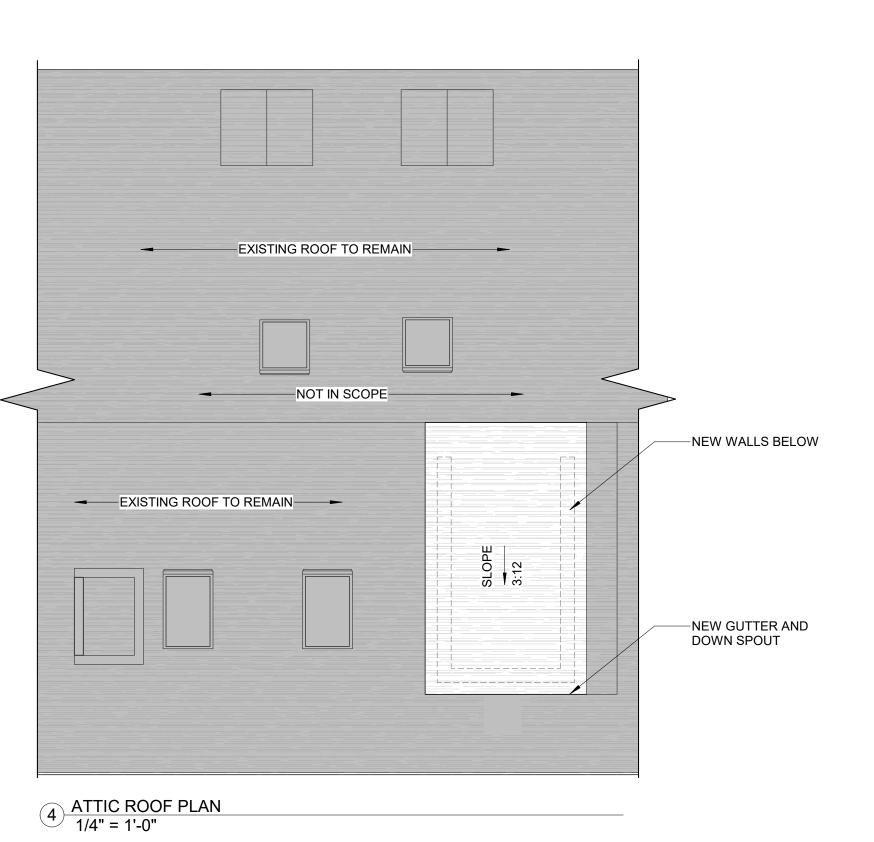
0 EXISTING ATTIC FLOOR PLAN
1/4" = 1'-0"

DEMO ATTIC FLOOR PLAN
1/4" = 1'-0"









**EXISTING & NEW WALLS** 

**EXISTING TO REMAIN** 

**NEW WALL** 

### **GENERAL CONTRACTOR NOTES:**

- 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN
- 2. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE CODES AND REGULATIONS. 3. CONTRACTOR SHALL INFORM ARCHITECT OF ANY
- ERRORS OR DEVIATIONS PRIOR TO CONTINUING 4. CONTRACTOR SHALL COORDINATE WITH EACH SUB
- CONTRACTOR AND ENSURE TO MEET ALL CODE AND SAFETY REQUIREMENTS.

### **GENERAL NOTES:**

1. ALL INTERIOR DIMENSIONS ARE TO INTERIOR FACE OF GWB. U.N.O. 2. PROVIDE BLOCKING AT ALL WALLS W/ WALL MOUNTED FIXTURES AND ACCESSORIES. TYP. 3. CONFIRM CEILING HEIGHTS IN FIELD.

# WOOD & ENGINEERED WOOD CONSTRUCTION

- DIMENSIONAL LUMBER TO BE SPRUCE-PINE-FIR (SPF) NO. 2 OR BETTER UNO.
- 2. ALL ENGINEERED LUMBER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- 3. ALTERNATE PRODUCTS SHALL NOT BE SUBSTITUTED UNLESS APPROVED IN WRITING BY ENGINEER OF RECORD.
- 4. LYL'S (LAMINATED YENEER LUMBER) TO BE 1.9E MICROLLAM LYL BY ILEVEL.
- PSL'S (PARALLEL STRAND LUMBER) TO BE 2.0E PARALLAM PSL BY ILEVEL.
- 6. 13/4" LSL'S (LAMINATED STRAND LUMBER) TO BE 1.55E TIMBERSTRAND LSL BY ILEVEL.
- 7. 1/2" LSL'S TO BE 1.5E TIMBERSTRAND LSL BY ILEVEL.
- WOOD I-JOISTS TO BE TJI BY ILEVEL.
- 9. PROVIDE SIMPSON CONNECTORS AT POST/BEAM, POST BASE, JOIST/BEAM AND BEAM/BEAM CONNECTIONS. USAGE AND INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PROVIDE SIMPSON HURRICANE TIES AT ROOF RAFTER CONNECTIONS TO STUD WALL CONNECTIONS OR SUPPORTING BEAMS.
- 10. PROVIDE MINIMUM 34" PLYWOOD SHEATHING FOR FLOORS AND ROOFS. PLYWOOD TO BE APA-RATED EXPOSURE 1 GRADE C-D (CDX). PROVIDE &" SPACE BETWEEN EDGES OF ADJACENT PLYWOOD PANELS AND STAGGER PANEL JOINTS BETWEEN ROWS OF SHEATHING.
- 11. ALL PLYWOOD FLOOR AND ROOF SHEATHING SHALL BE GLUED AND SCREWED TO SUPPORTING WOOD FRAMING. GLUE SHALL CONSIST OF CONSTRUCTION GRADE ADHESIVE. SCREWS NOT TO BE PLACED WITHIN 36" OF PANEL EDGES. MAXIMUM SCREW SPACING TO BE 6", UNO. SCREWS TO BE MIN #8x2/2" LONG. SCREW LENGTH SHALL BE SUFFICIENT TO PROVIDE EMBEDMENT OF 10X SCREW DIAM INTO FRAMING.
- 12. PROVIDE MINIMUM &" PLYWOOD SHEATHING FOR EXTERIOR WALLS AND SHEAR WALLS. FASTEN SHEATHING TO STUDS WITH MINIMUM 8d NAILS @ 4" O.C.,
- 13. PROVIDE CONTINUOUS BLOCKING ABOVE INTERIOR SHEAR WALLS.
- 14. MAXIMUM MOISTURE CONTENT OF DIMENSIONAL LUMBER AT TIME OF INSTALLATION TO BE 19%.
- 15. SILL PLATE ANCHOR BOLTS: PROVIDE 1/2" ANCHOR BOLTS AT 3'-0" O.C. TWO BOLTS MINIMUM PER SILL PIECE WITH A BOLT WITHIN 10" OF EACH END OF EACH PIECE. BOLT SPACING SHALL BE COORDINATED PRIOR TO PLACING OF STUDS AND POSTS TO AVOID CONFLICTS. ALL BOLTS SHALL HAVE STEEL WASHERS. SEE TYPICAL DETAILS AND SHEAR WALL SCHEDULE FOR ADDITIONAL SILL BOLT REQUIREMENTS.
- 16. PROVIDE PERPENDICULAR BLOCKING AT 32 INCHES O.C. BETWEEN ALL PERIMETER JOISTS AND EXTERIOR WALLS OR PERIMETER BEAMS.
- 17. STAND-ALONE WOOD POSTS OVER CONCRETE SHALL BEAR UPON SIMPSON POST BASE EMBEDDED IN OR ANCHORED TO CONCRETE FOUNDATION.
- 18. WASHERS SHALL ALWAYS BE INSTALLED BETWEEN BOLT HEADS OR NUTS AND WOOD OR ENGINEERED WOOD.

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# 88 SPRING STREET -**ATTIC RENO**

88 SPRING STREET, CAMBRIDGE, MA 02141

MR. ALEX RAPP

ARCHITECT:

SALEM, MA 01970

CEL: 978.818.5109 CEL: 774.317.0491

50 GROVE ST. SUITE 226 SALEM. MA 01970 TEL: 978.498.4370

CONSULTANT:

CONSULTANT:

REVI	ISION:	
NO:	DATE:	DESCRIPTION:
1	04.11.2022	PERMIT SET

# DRAWING TITLE: PROPOSED FLOOR **PLANS**

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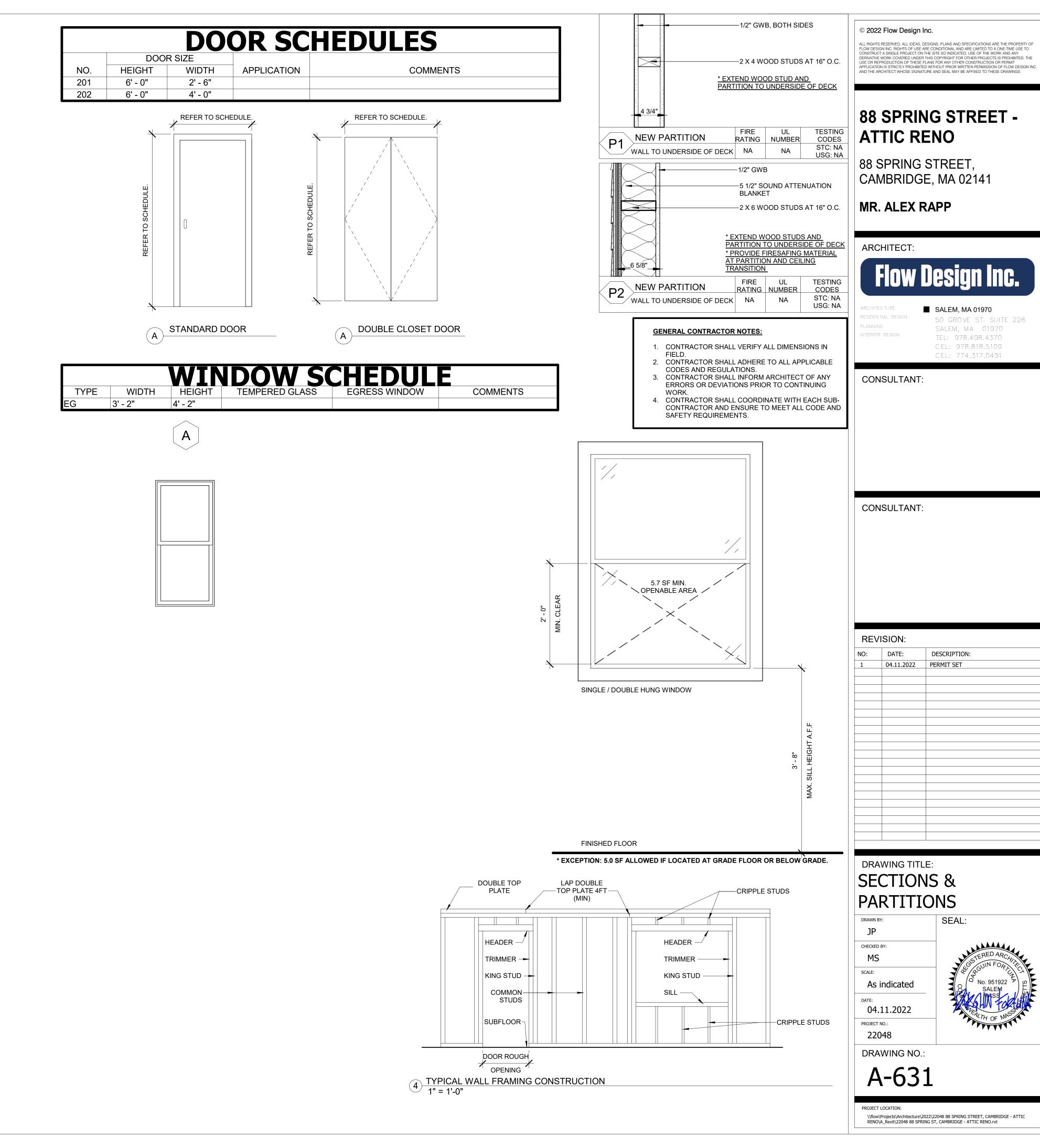
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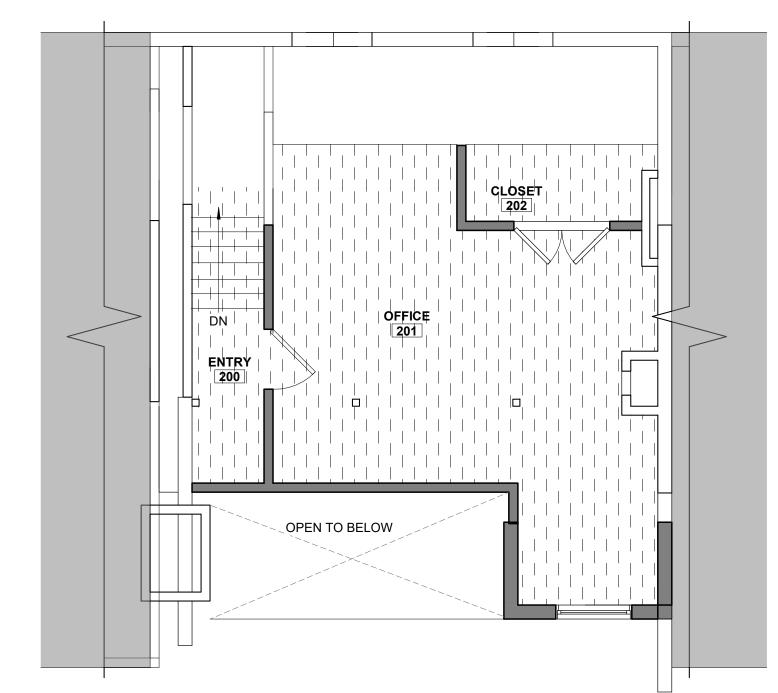
PROJECT NO .: 22048

DRAWING NO.:

PROJECT LOCATION: \\flow\Projects\Architecture\2022\22048 88 SPRING STREET, CAMBRIDGE - ATTIC RENO\A\_Revit\22048 88 SPRING ST, CAMBRIDGE - ATTIC RENO.rvt

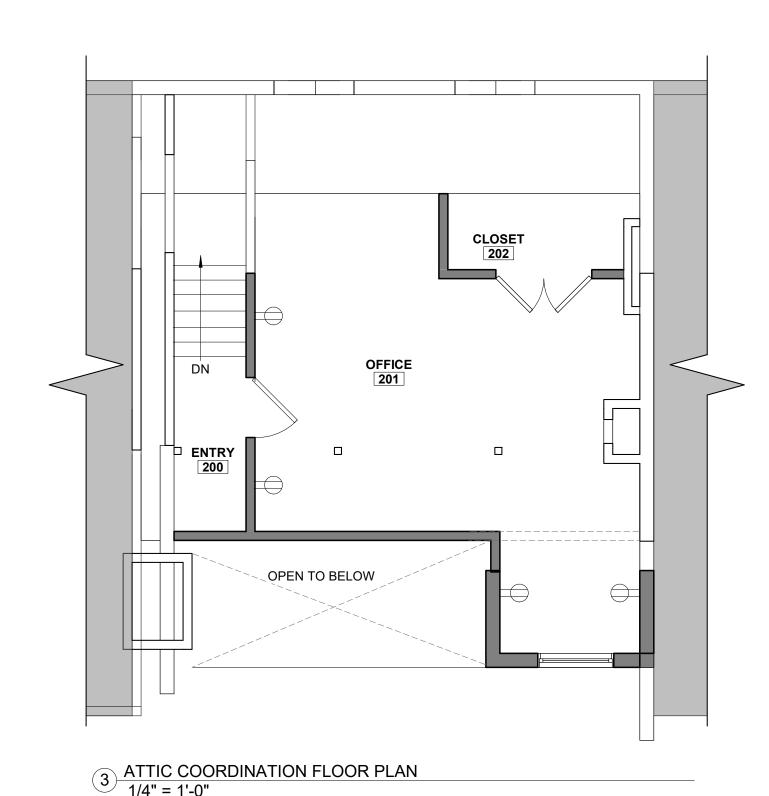


NO:	DATE:	DESCRIPTION:
1	04.11.2022	PERMIT SET



2 ATTIC FINISH FLOOR PLAN
1/4" = 1' 0" 1/4" = 1'-0"

1/4" = 1'-0"



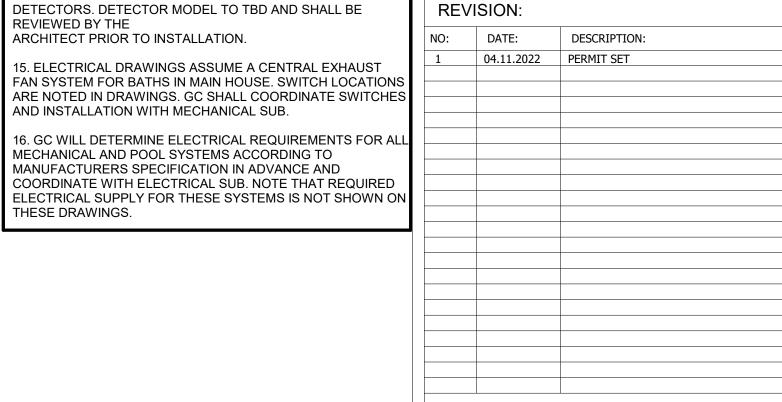
**FINISHES** EXG EXISTING FLOORING TO CPT1 CARPET - FINISH TO BE DETERMINED BY OWNER WALL BASE LEGEND WOOD BASE - TO BE DETERMINED BY OWNER TRANSITION STRIP LEGEND **FINISHES** SCHLUTER - SIZE: CONFORM TO FIELD CONDITIONS **ELECTRICAL LEGEND** DUPLEX OUTLET - CENTER OF OUTLET AT 18" AFF **ELECTRICAL NOTES** ELECTRICAL SUBCONTRACTOR IS TO PROVIDE PULL STRINGS AND JUNCTION BOXES FOR ALL DATA LINES, TYPICAL. ARCHITECTURAL PLANS DEPICT ELECTRICAL OUTLET TYPES AND LOCATIONS ARE FOR BATHROOMS. COORDINATION PURPOSES ONLY. FINAL OUTLET TYPES AND LOCATIONS TO BE DETERMINED BY ELECTRICAL ENGINEER. BATHROOMS. CONTROLLER. DETECTORS. DETECTOR MODEL TO TBD AND SHALL BE REVIEWED BY THE ARCHITECT PRIOR TO INSTALLATION.

FLOORING LEGEND **GENERAL CONTRACTOR NOTES:** © 2022 Flow Design Inc. 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN ALL RIGHTS RESERVED. ALL IDEAS, DESIGNS, PLANS AND SPECIFICATIONS ARE THE PROPERTY OF ALL HIGHTS RESERVED. ALL IDEAS, DESIGNS, PLANS AND SPECIFICATIONS ARE THE PROPERTY OF FLOW DESIGN INC. RIGHTS OF USE ARE CONDITIONAL AND ARE LIMITED TO A ONE-TIME USE TO CONSTRUCT A SINGLE PROJECT ON THE SITE SO INDICATED. USE OF THE WORK AND ANY DERIVATIVE WORK COVERED UNDER THIS COPYRIGHT FOR OTHER PROJECTS IS PROHIBITED. THE USE OR REPRODUCTION OF THESE PLANS FOR ANY OTHER CONSTRUCTION OR PERMIT APPLICATION IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN PERMISSION OF FLOW DESIGN INC. 2. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE CODES AND REGULATIONS. AND THE ARCHITECT WHOSE SIGNATURE AND SEAL MAY BE AFFIXED TO THESE DRAWINGS. 3. CONTRACTOR SHALL INFORM ARCHITECT OF ANY ERRORS OR DEVIATIONS PRIOR TO CONTINUING 4. CONTRACTOR SHALL COORDINATE WITH EACH SUB-CONTRACTOR AND ENSURE TO MEET ALL CODE AND SAFETY REQUIREMENTS. 88 SPRING STREET -**ATTIC RENO** GENERAL ELECTRICAL AND LIGHTING NOTES: ELECTRICAL WORK SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL BUILDING CODES. 88 SPRING STREET, 1. ALL WALL SWITCHES SHALL BE LEVITON RESIDENTIAL CAMBRIDGE, MA 02141 GRADE "DECORA QUIET ROCKER SWITCHES"; COLOR OF SWITCHES & SWITCH PLATES SHALL BE WHITE. MR. ALEX RAPP 2. ALL ELECTRIC, TELEPHONE AND CATV RECEPTACLES SHA BE LEVITON RESIDENTIAL GRADE "DECORA" RECEPTACLES; COLOR OF RECEPTACLES AND PLATES SHALL BE WHITE. PROVIDE GFI TYPE RECEPTACLES AT ALL BATHROOM LOCATIONS AND ELSEWHERE REQUIRED BY CODE. ARCHITECT: 3. ALL DIMMER SWITCHES SHALL BE LEVITON RESIDENTIAL GRADE "DECORA SURE SLIDE" DIMMER; COLOR OF DIMMERS & DIMMER PLATES SHALL BE WHITE. 4. ELECTRICIAN SHALL LOCATE ALL FIXTURES ACCORDING TO ELECTRICAL PLANS AND INTERIOR ELEVATIONS. COORDINATE ANY PROPOSED DEVIATION FROM PLANS WITH ARCHITECT BEFORE ROUGH-IN. 5. ALL DIMENSIONS ARE TO FINISH FACE AND/OR CENTERLINE UNLESS OTHERWISE NOTED. 6. ALL OUTLETS TO BE CENTERED IN LENGTH OF WALL UNLESS NOTED OTHERWISE. OUTLETS AT FLOOR ARE TO BE MOUNTED SO THAT THE CENTER OF OUTLET IS AT 12 3/4" ABOVE SUBFLOOR, TYPICAL CONSULTANT: UNLESS NOTED OTHERWISE. SEE INTERIOR ELEVATIONS FOR ALL ABOVE COUNTER LOCATIONS IN KITCHEN AND 8. SWITCHES ARE TO BE MOUNTED SO THAT THE CENTER OF SWITCH IS AT 44 3/4" INCHES ABOVE SUBFLOOR, TYPICAL UNLESS NOTED OTHERWISE. SEE INTERIOR ELEVATIONS FOR ALL ABOVE COUNTER LOCATIONS IN KITCHEN AND 9. ALL CLOSET LIGHTS TO BE RECESSED MAGNETIC CONTACT SWITCHES RECESSED IN HEAD OF DOOR FRAME, UNLESS NOTED OTHERWISE. 10. AUTOMATIC CLOSET SWITCHES SHALL BE A GRI SECURITY PRODUCTS 3030-12 SWITCH WITH A CC-01 NS CURRENT CONSULTANT: 11. EXTERIOR LIGHTS TO HAVE DAYLIGHT AND OR TIMER SWITCHES TBD. 12. APPLICABLE POOL AREA CIRCUITS SHALL BE INTEGRATED IN AN EQUIPOTENTIAL BONDING GRID IN POOL AREA AS REQUIRED BY CODE. COORDINATE WITH LANDSCAPE ARCHITECT AND POOL CONTRACTOR. 13. AUDIBLE ALARM AS DESCRIBED BY MASS. BUILDING CODE 421.10.1.9.1 SHALL BE INSTALLED AT ALL DOORS EXITING TO THE POOL TERRACE. 14. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH MASS. BUILDING CODE. GC SHALL COORDINATE WALKTHROUGH WITH FIRE INSPECTOR AND ARCHITECT TO DETERMINE LOCATIONS OF

AND INSTALLATION WITH MECHANICAL SUB.

THESE DRAWINGS.

MECHANICAL AND POOL SYSTEMS ACCORDING TO MANUFACTURERS SPECIFICATION IN ADVANCE AND



■ SALEM, MA 01970

50 GROVE ST. SUITE 226

SALEM, MA 01970

TEL: 978.498.4370

CEL: 978.818.5109

CEL: 774.317.0491

# DRAWING TITLE: FINISH & COORDINATION PLANS

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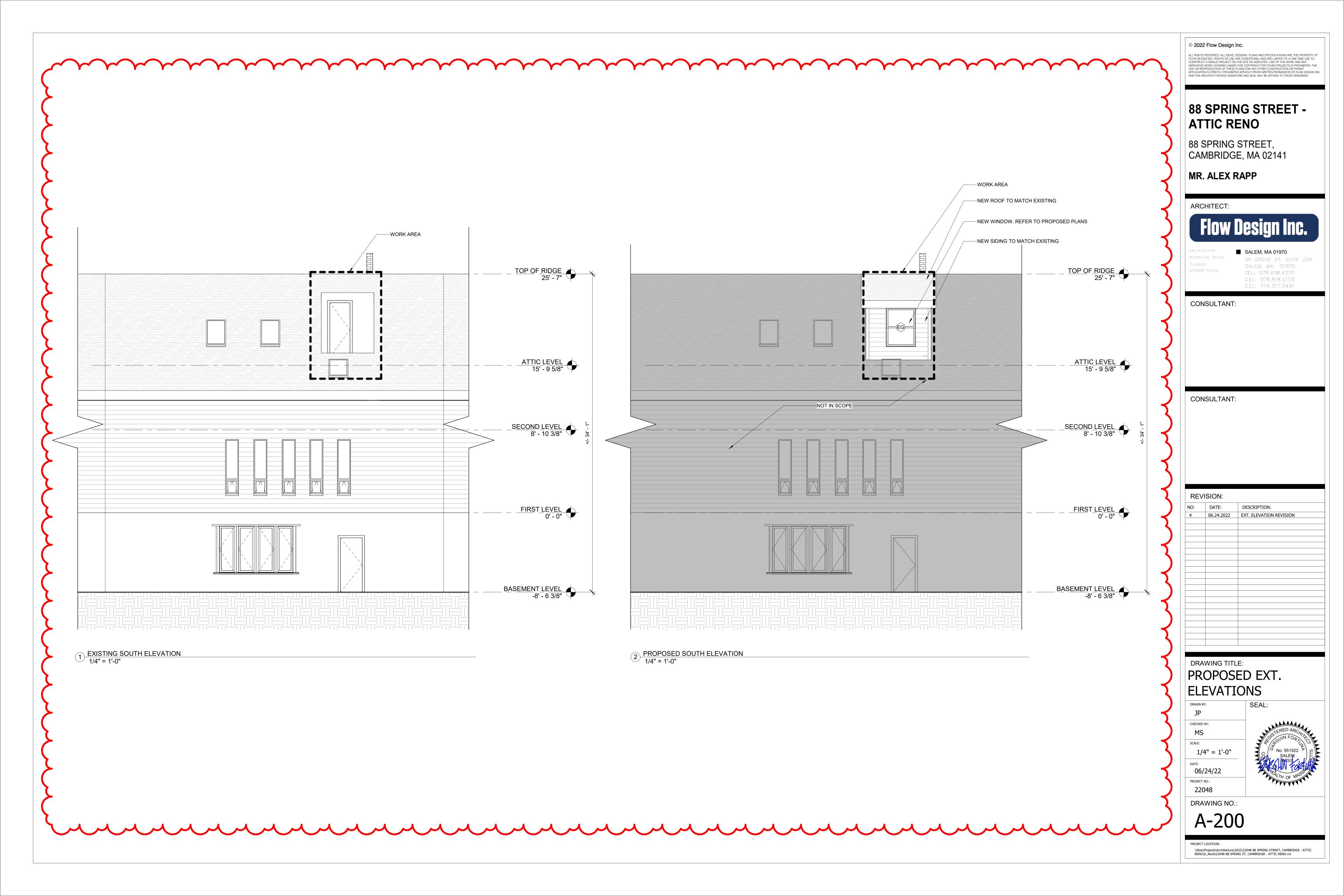
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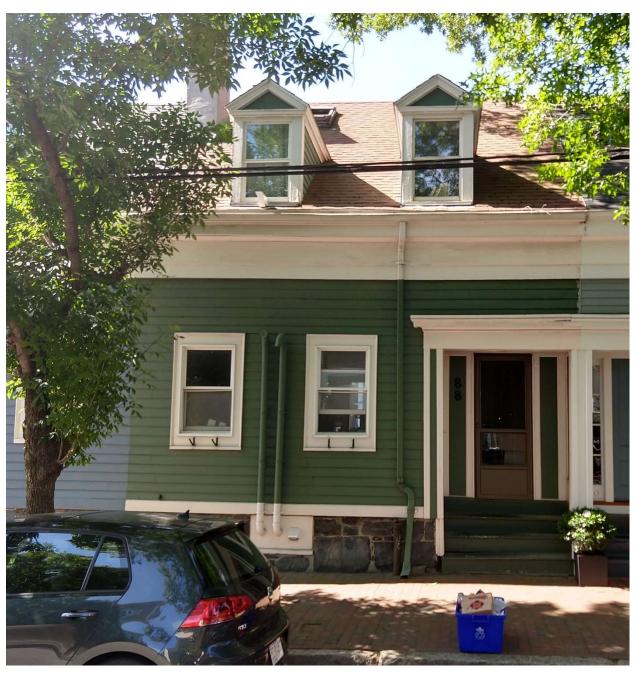
22048

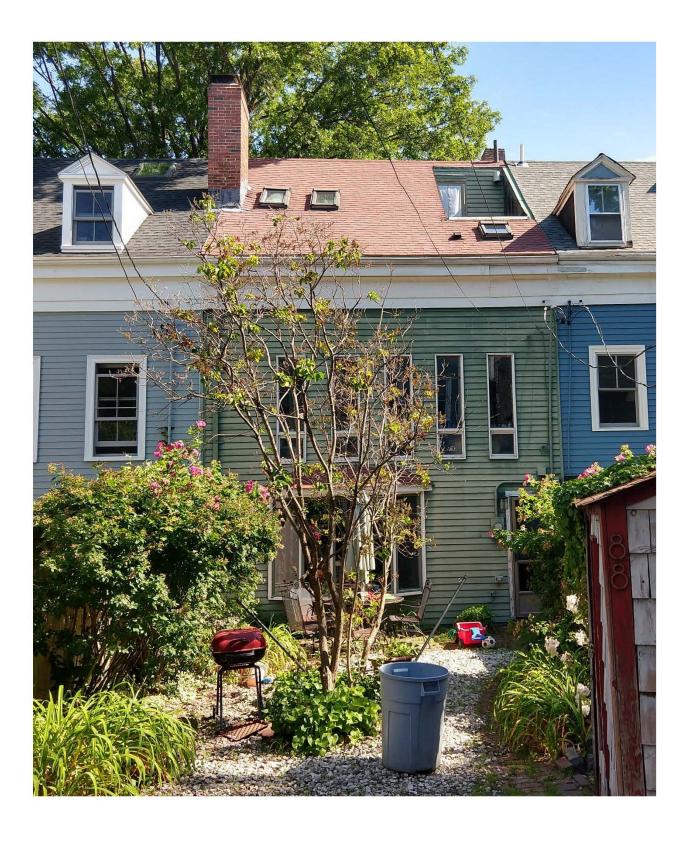
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PROJECT LOCATION: \\flow\Projects\Architecture\2022\22048 88 SPRING STREET, CAMBRIDGE - ATTIC RENO\A\_Revit\22048 88 SPRING ST, CAMBRIDGE - ATTIC RENO.rvt

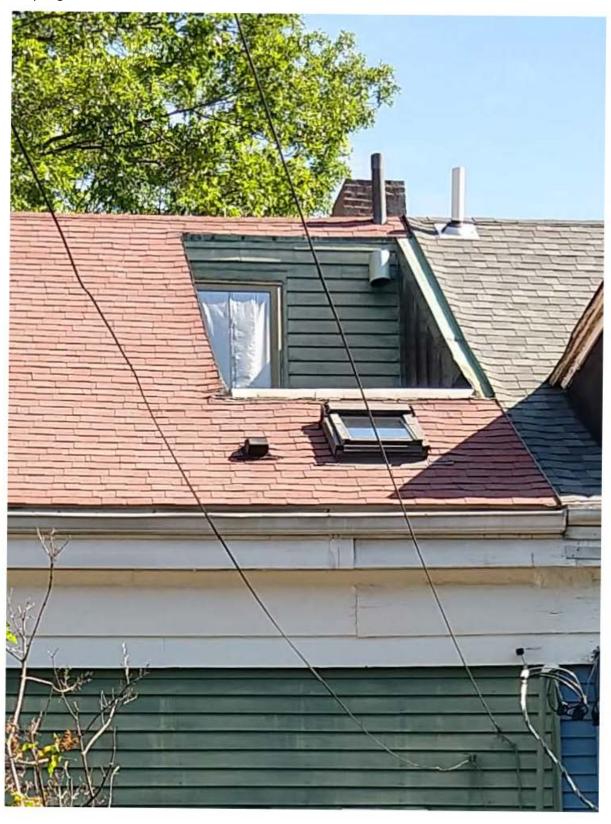


### 88 Spring Street FRONT



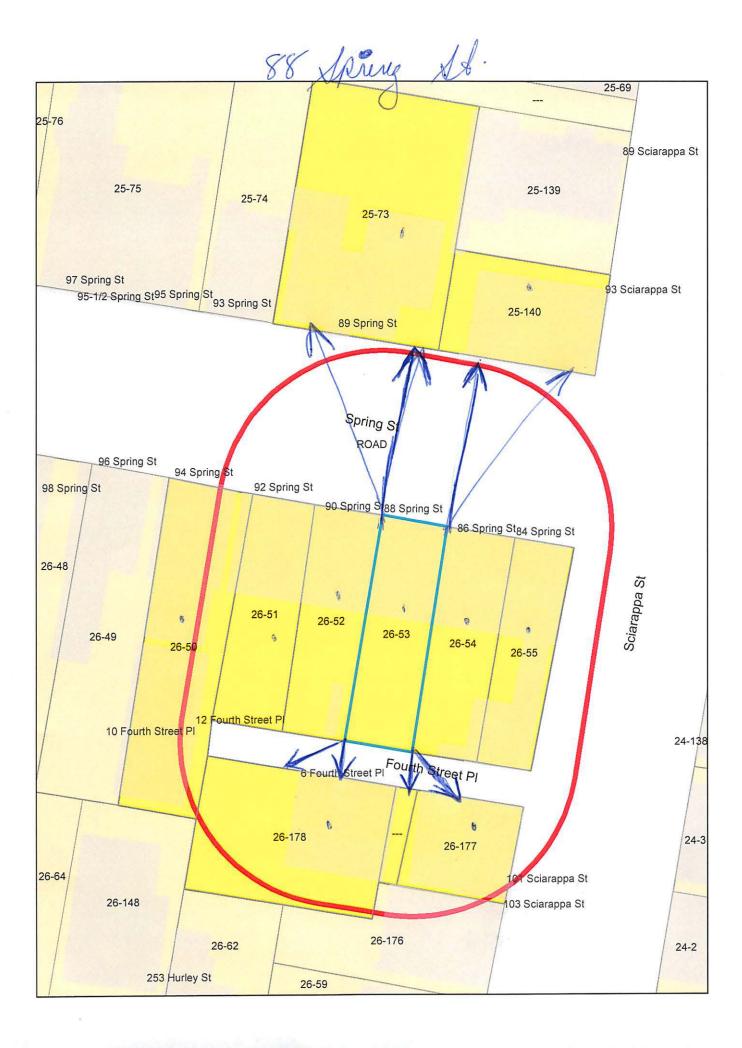


88 Spring Street CLOSE UP OF CARVED OUT ROOF DECK



Neighboring houses dormer examples





26-177 HAUNG, QIAN 101 SCIARAPPA ST., #3 CAMBRIDGE, MA 02141

26-52 PAUL, JOHN E. 90 SPRING ST CAMBRIDGE, MA 02139

26-178 WYNER, ROBERT H. 6 FOURTH STREET PL., #1 CAMBRIDGE, MA 02141

26-50 TAURO, WALTER J. JR. 17 WESTWARD CIRCLE NORTH READING, MA 01864

25-140 HEALY, ETHAN 93 SCIARAPPA ST., #2 CAMBRIDGE, MA 02141

26-178 MAGGINI, ELIO A JACQUELINE H. MAGGINI 15 DOUGLASS ST CAMBRIDGE, MA 02139 88 Sping St.

26-54 WHITING, JUDITH RANDOLPH 86 SPRING STREET CAMBRIDGE, MA 02141-1742

26-55 CAVANAUGH, CATHERINE 84 SPRING ST CAMBRIDGE, MA 02141-1742

26-177 CAHILL, MICHAEL A. 101 SCIARAPPA ST., UNIT #2 CAMBRIDGE, MA 02141

25-140 DION, ALYSSA R. & MICHAEL K. RODNING 13 DONIZETTI ST WELLESLEY, MA 02482

26-178
WELLS, KATHRYN LEVITT,
TRUSTEE THE NORTON ROAD NOM TRUST
6 FOURTH STREET PL UNIT 3
CAMBRIDGE, MA 02141

26-53 CHRISTOPHER, SARAH A. & ALEXANDER M. RAPP 88 SPRING ST CAMBRIDGE, MA 02139

26-177
DAVIS, DERRICK A. & MARK C. DAVIS
TRS. DAVIS FAMILY TRUST
101 SCIARAPPA ST., UNIT #1
CAMBRIDGE, MA 02141

25-73 ZHANG, HUANLING & RUWEN GAO 89 SPRING ST CAMBRIDGE, MA 02141

25-140 HOWARD, BRIAN 81 KIRKLAND ST. APT 2 CAMBRIDGE, MA 02138

26-51 OKOLO UNOMA 92 SPRING ST CAMBRIDGE, MA 02141



Alanna Mallon Vice-Mayor

August 4, 2022

Constantine Alexander, Chair Board of Zoning Appeals 831 Massachusetts Ave. Cambridge, MA 02139

> Re: Case No. BZA 182043-2022 88 Spring Street, Cambridge, MA 02138

Dear Chairman Alexander,

Please accept this letter of strong support for case no.182043-2022. Homeowners Alex Rapp and Sarah Christopher wish to enclose their current attic space with a dormer, and restore the space to its original floor plan to better accommodate their family. Sarah and Alex have been longtime residents of Cambridge, active community members in their neighborhood, and involved as parents with a child in Cambridge Public Schools.

Sarah and Alex have received approval from their neighbors, and gone through the necessary channels to make sure this dormer renovation does not negatively impact their direct abutters. Please grant this variance to Sarah and Alex so they can modify their home to fit their family, and add invaluable square footage to their family home.

Thank you,

Alanna Mallon Vice Mayor



# City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA. (617) 349-6100

2 Bds

### **BZA**

### **POSTING NOTICE – PICK UP SHEET**

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name:	Ale	YAN DER (Print)	Rap	) p	Date: _	7/21/20	22
Address:		88 Sp.	ina	KX	•	·	
Case No	BZ	A-182043	3				
Hearing D	Date:	8/18/22	7		×		

Thank you, Bza Members