

CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

BZA Application Form

BZA Number: 182043

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____

Variance: X

Appeal: _____

PETITIONER: Alexander Rapp

PETITIONER'S ADDRESS: 88 SPRING ST, MA, Cambridge 02141

LOCATION OF PROPERTY: 88 Spring St., Cambridge, MA

TYPE OF OCCUPANCY: residential

ZONING DISTRICT: Residence C-1 Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Create a shed dormer to re-enclose an exposed outdoor attic space in a nonconforming home, and restore the interior attic space closer to it's original floorplan.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000

Section: 5.31 (Table of Dimensional Requirements).

Article: 8.000

Section: 8.22.3 (Non-Conforming Structure).

Original
Signature(s):

(Petitioner (s) / Owner)

Alexander M Rapp

(Print Name)

Address:

88 Spring St

Tel. No.

857-212-6030

E-Mail Address:

alex@calcbench.com

Date:

6/27/2022

2022 JUN 28 PM 3:24
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We ALEXANDER RAPP and SARAH CHRISTOPHER
(OWNER)

Address: 88 SPRING ST, CAMBRIDGE MA 02141

State that I/We own the property located at 88 Spring St,
which is the subject of this zoning application.

The record title of this property is in the name of
ALEXANDER RAPP and SARAH CHRISTOPHER

*Pursuant to a deed of duly recorded in the date 1/3/2005, Middlesex South
County Registry of Deeds at Book 44416, Page 242; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

[Signature]

[Signature]

SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Alexander Rapp + Sarah Christopher personally appeared before me,
this 26 of June, 2022, and made oath that the above statement is true.

[Signature]

Notary

My commission expires 19-Dec-2025 (Notary Seal)



DONNA J. LECLERC
Notary Public
Commonwealth of Massachusetts
My Commission Expires
December 19, 2025

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant because the existing roofdeck is unsafe, leaks during rain storms, has water damage, and is an eyesore. The area of the roof deck was originally enclosed and was part of the original interior floorplan of the attic of the home. Covering it using a shed dormer restores the character of the house while repairing the damage issues.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:

The hardship is owing to the pre-existing non-conforming structure that was built prior to zoning such that any addition or alteration would require relief, even simply restoring the attic to the original floorplan, as is the case here.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

Desirable relief may be granted without detriment to the public good because we are simply restoring the house to its original floorplan, and closer to its original style.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Desirable relief may be granted without nullifying or substantially derogating from the intent of the Ordinance because the proposed additions will allow for a restoration of the structure. This home, built in 1800's, was originally ~1,750 Square feet, until a previous owner's renovation reduced the size of the attic and carved a roof deck into existing space. We are largely restoring to the original floorplan. All of the other identical townhouses in our row have this same area enclosed.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Alexander Rapp

Location: 88 Spring St., Cambridge, MA

Phone: 857-212-6030

Present Use/Occupancy: residential

Zone: Residence C-1 Zone

Requested Use/Occupancy: residential

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		1,645	1,737	1,050	(max.)
<u>LOT AREA:</u>		1,400	1,400	1,500	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		1.175	1.241	.75	
<u>LOT AREA OF EACH DWELLING UNIT</u>		1645	1737	1050	
<u>SIZE OF LOT:</u>	WIDTH	20	20	20	
	DEPTH	70	70	75	
<u>SETBACKS IN FEET:</u>	FRONT	0	0	10	
	REAR	35	35	20	
	LEFT SIDE	0	0	0	
	RIGHT SIDE	0	0	0	
<u>SIZE OF BUILDING:</u>	HEIGHT	30	30	35	
	WIDTH	32	32	50	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		40%	40%	30%	
<u>NO. OF DWELLING UNITS:</u>		1	1	1	
<u>NO. OF PARKING SPACES:</u>		1	1	1	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		na	na	na	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

na

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

ABBREVIATIONS

A.C.P.	ACOUSTIC CEILING PANEL	K	KIP
A/C	AIR CONDITION	LBL	LABEL
A.F.F.	ABOVE FINISH FLOOR	LAV	LAVATORY
ALUM	ALUMINUM	LG	LENGTH, LONG
A.B.	ANCHOR BOLT	LTL	LENGTH, LONG
&	AND	LVR	LOUVER
APPROX.	ANGLE	L.P.	LOW POINT
ARCH	APPROXIMATELY	M.H.	MANHOLE
ASG	ARCHITECTURAL	M	MARBLE
BL	ASPHALT & GRAVEL	MAS.	MASONRY
B.L.	BASE LINE	M.O.	MASONRY OPENING
B.PL	BASE PLATE	MATL	MATERIAL
BEAM	BEAM	MECH.	MECHANICAL
BPC	BED PAN	MTL	MATERIAL
BLK'G	BLOCKING	MIN.	MINIMUM
B.S.	BOTH SIDES	MISC.	MISCELLANEOUS
B.W.	BOTH WALLS	MTG.	MOUNTING
BOT	BOTTOM	NOM.	NOMINAL
BRK.	BRICK	N.I.C.	NOT IN CONTRACT
BLD'G	BUILDING	N.T.S.	NOT TO SCALE
B/	BOTTOM OF - - -	NO. #	NUMBER
CPT.	CARPET	NC	NURSE CALL
CLG	CEILING	OFF	OFFICE
CL	CENTER LINE	O.C.	ON CENTER
C.T.C.	CERAMIC TILE COVE	OPG	OPENING
C.T.	CERAMIC TILE	OPP	OPPOSITE
CERM	CERAMIC TILE	OZ.	OUNCE
C.F.	CEMENT FIBERBOARD	O.D.	OUTSIDE DIAMETER
C.L.F.	CHAIN LINK FENCE	O.F.	OUTSIDE FACE
CR	CHAIR RAIL	O.A.	OVERALL
C.O.	CLEAN OUT	O.H.O.	OVERHEAD DOOR
CLR.	CLEAR(ANCE)	OFI	OWNER FURNISHED AND INSTALLED
CLSR.	CLOSET	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
CLS.	CLOSET	PT.	PNEUMATIC TUBE SYSTEM
CHK	COAT HOOK	PCD	PAINTED
COL.	COLUMN	PNL.	PANEL
C.M.	COCOA MAT	P/H	PARTIAL HEIGHT
CONC	CONCRETE	P.F.	PARTICLE FILLED
C.B.	CONCRETE BLOCK	PTN	PLASTER
CONC. BD.	CONCRETE BLOCK	PLAS.	PLASTIC
C.M.U.	CONCRETE MASONRY UNIT	PL.	PLASTIC
CONSTR.	CONSTRUCTION	P.LAM.	PLASTIC LAMINATE
CONT.	CONTINUOUS	PLUM.	PLUMBING
C.J.	CONTROL JOINT	LB.	POUND
C.G.	CORNER GUARD	P.S.I.	POUNDS / SQUARE INCH
CORR.	CORRIDOR	P.S.F.	POUNDS / SQUARE FOOT
CTSK.	COUNTERSUNK	PREF.	PREFINISHED
CRS.	COURSE	P.M.	PRESSED METAL
CYL.	CYLINDER	PROP.	PROPERTY / PROPOSED
CH.	CEILING HEIGHT	Q.T.	QUARRY TILE
DEPT	DEPARTMENT	Q.T.C.	QUARRY TILE COVE
DEP	DEPRESSION	R.	RADIUS / RISER
DIAG	DIAGONAL	REC	RECTIPCE / ELECTRICAL
	DIAMETER, ROUND	RTH	
DIM	DIMENSION	REF	REFERENCE
DO	DITTO	REINF	REINFORCE(ING)
DR	DOOR	REM	REMOVE
D.L.	DOCK LEVELER	REQ'D	REQUIRED
D.A.	DOUBLE ACTING	REV.	REVISION / REVERSE
D.S.	DOWNSPOUT	R.F.	RIGID FRAME
DRAIN	DRAIN	RD.	ROAD
DWG.	DRAWING	R.D.	ROOF DRAIN
D.W.	DRYWALL	R.W.L.	RAIN WATER LEADER
EA.	EACH	RGH.	ROUGH
E.F.	EACH FACE	SECT	SECTION
E.W.	EACH WAY	S.S.	SERVICE SINK
ELEC	ELECTRIC	SS.	STAINLESS STEEL
E.W.C.	ELECTRIC WATER COOLER	SH.V.	SHEET VINYL
ELEV.	ELEVATOR, ELEVATION	S.W.	SHOP WELD
EL.	ELEVATION	SL.DR.	SLIDING DOOR
ENCL.	ENCLOSURE, ENCLOSURE	S.C.	SOLID CORE
ENG.	ENGINEERING(ING)	SPC.	SPECIFICATION
ENT	ENTRANCE	SPR.	SPRINKLER
EQ.	EQUAL	SQ. FT.	SQUARE FEET
EQUIP	EQUIPMENT	STD.	STANDARD
EXIST	EXISTING	STL	STEEL
EXP	EXPANSION, EXPOSED	STRUC.	STRUCTURAL
E.B.	EXPANSION BOLT	SUSP	SUSPENDED
E.J.	EXPANSION JOINT	SYMM.	SYMMETRICAL
EXTER	EXTERIOR	TELE	TELEPHONE
F.B.	FACE BRICK	TLB	THOUSAND POUND
F/	FACE OF - - -	THRD	THRESHOLD
F. TO F.	FACE TO FACE	TOIL.	TOILET
F.T.	FEET, FOOT	T/	TOP OF - - -
F.W.	FIELD WELD	TB	TOWEL BAR
FIN.	FINISH	TRU-GLAZ	TRU-GLAZE
F.E.C.	FIRE EXTINGUISHER CABINET	T.	TREAD
F.H.C.	FIRE HOSE CABINET	TYP.	TYPICAL
FLASH'G	FLASHING	UC.	UNDERCUT
FLR.	FLOOR	UNF	UNFINISHED
FLR'G	FLOORING	U.N.O	UNLESS NOTED OTHERWISE
F.D.	FLOOR DRAIN	V.P.	VENT PIPE
FLUOR.	FLUORESCENT	VERT.	VERTICAL
FTG	FOOTING	VIN.	VINYL
FRT	FIRE RETARDANT TREATED	V.I.F.	VERIFY IN FIELD
FDN.	FOUNDATION	V.C.T.	VINYL COMPOSITION TILE
F/H	FLUH HEIGHT	V.B.C.	VINYL BASE COVE
FUS LINK	FUSIBLE LINK	V.B.S.	VINYL BASE STRAIGHT
GA.	GAS GAUGE	V.T.R.	VENT THRU ROOF
GALV	GALVANIZED	V.W.C.	VINYL WALL COVERING
G.C.	GENERAL CONTRACTOR	WSCOT	WAINSCOT
GL.	GLASS	W.C.	WATER CLOSET
GB	GRAB RAIL	WT	WEIGHT
GYP. BD.	GYPSUM WALLBOARD	W.W.F.	WELODED WIRE FABRIC
G.W.B.	GYPSUM WALLBOARD	WG.	WIRE GLASS
HDOP	HANDICAP	W.M.	WIRE MESH
HDWR	HARDWARE	W/	WITH
H.D.	HEAVY DUTY	W/O	WITHOUT
HGT., HT.	HEIGHT	W.D.	WOOD
H.C.	HOLLOW CORE	WB.	WOOD BASE
H.M.	HOLLOW METAL	W.P.	WORKING POINT
HORIZ.	HORIZONTAL	W.P.	WATER PROOF
H.B.	HOSE BIBB		
H.W.H.	HOT WATER HEATER		
HUMI.	HUMIGUARD CEILING		
IN(")	INCHES		

CODES & STANDARDS

Residential Code

INTERNATIONAL RESIDENTIAL CODE - 2015 WITH
MA. AMENDMENTS 780 CMR 51

Building

INTERNATIONAL BUILDING CODE 2015 WITH MA. AMENDMENTS

INTERNATIONAL EXISTING BUILDING CODE (IEBC2015) WITH
AMENDMENTS 780 CMR CHAPTER 34

<h1 style="margin: 0;">ZONING REVIEW:</h1>				
1. ZONING DISTRICT CAMBRIDGE, MA - RESIDENCE C-1 DISTRIC				
2. GENERAL REQUIREMENTS				
SECTION	APPLICABILITY	DESCRIPTION	REQUIRED	
Neighborhood District - C-1	N/A	<input type="checkbox"/> Max. FAR : <input type="checkbox"/> Minimum Lot Area (square feet) : <input type="checkbox"/> Minimum Front Yard (feet) : <input type="checkbox"/> Minimum Side Yard (feet) : <input type="checkbox"/> Minimum Rear Yard (feet) : <input type="checkbox"/> Maximum Building Height (feet) : <input type="checkbox"/> Minimum OS (ratio) :	0.75 1,500 10 7.5 20 35 FT 30%	
3. PROPOSED		+/- SF		

FLOORS	GROSS AREA	LIVING AREA
FIRST FLOOR	545	545
BASEMENT, FINISHED	330	0
PORCH, OPEN	15	0
THREE QUARTER STORY	439	226
BASEMENT	215	0
TOTAL:	1,544	771

FAR CALCULATIONS:	LOT CALCULATIONS:
$[(A \times \text{FAR } 1) \times \text{Lot Area}] + [(B \times \text{FAR } 2) \times \text{Lot Area}]$ $[(36\% \times 0.75) \times 1,400] + [(64\% \times 0.75) \times 1,400]$ $[0.27 \times 1,400] + [0.48 \times 1,400]$ $378 + 672$ $1,050$	$(1,050 \times 100) / 1,400$ $105.00 / 1,400$ 75

SHEET LIST			
SHEET NUMBER	SHEET NAME	INITIAL ISSUE DATE	DESCRIPTION
TITLE SHEETS			
T-100	TITLE SHEET	04.11.2022	PERMIT SET
T-101	SHEET LIST, NOTES AND LEGENDS	04.11.2022	FIRE DEPARTMENT REVISION
LIFE SAFETY			
LS-01	LIFE SAFETY FLOOR PLANS	04.11.2022	FIRE DEPARTMENT REVISION
EXISTING ARCHITECTURAL			
AEX-100	EXISTING FLOOR PLANS	04.11.2022	PERMIT SET
ARCHITECTURAL			
A-100	PROPOSED FLOOR PLANS	04.11.2022	PERMIT SET
A-631	SECTIONS & PARTITIONS	04.11.2022	PERMIT SET
A-800	FINISH & COORDINATION PLANS	04.11.2022	PERMIT SET

GENERAL LEGEND

DEMOLITION NOTE KEY

- EXISTING DOOR TO BE REMOVED
- EXISTING PARTITION TO BE REMOVED

EXISTING DOOR

EXISTING PARTITION

EXISTING GLAZING

EXISTING WALL PROTECTION

NEW DOOR WITH REFERENCE NUMBER

NEW PARTITION TYPE

STRUCTURAL FLOOR FILL AT SLAB. SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT INFORMATION

HANDRAIL/CRASHRAIL IN CORRIDOR (SEE DETAIL 9/A703).

SECTION REFERENCE NUMBER

SECTION REFERENCE SHEET

DETAIL REFERENCE NUMBER

DETAIL REFERENCE SHEET

EXIT

NEW GLAZING WITH REFERENCE NUMBER

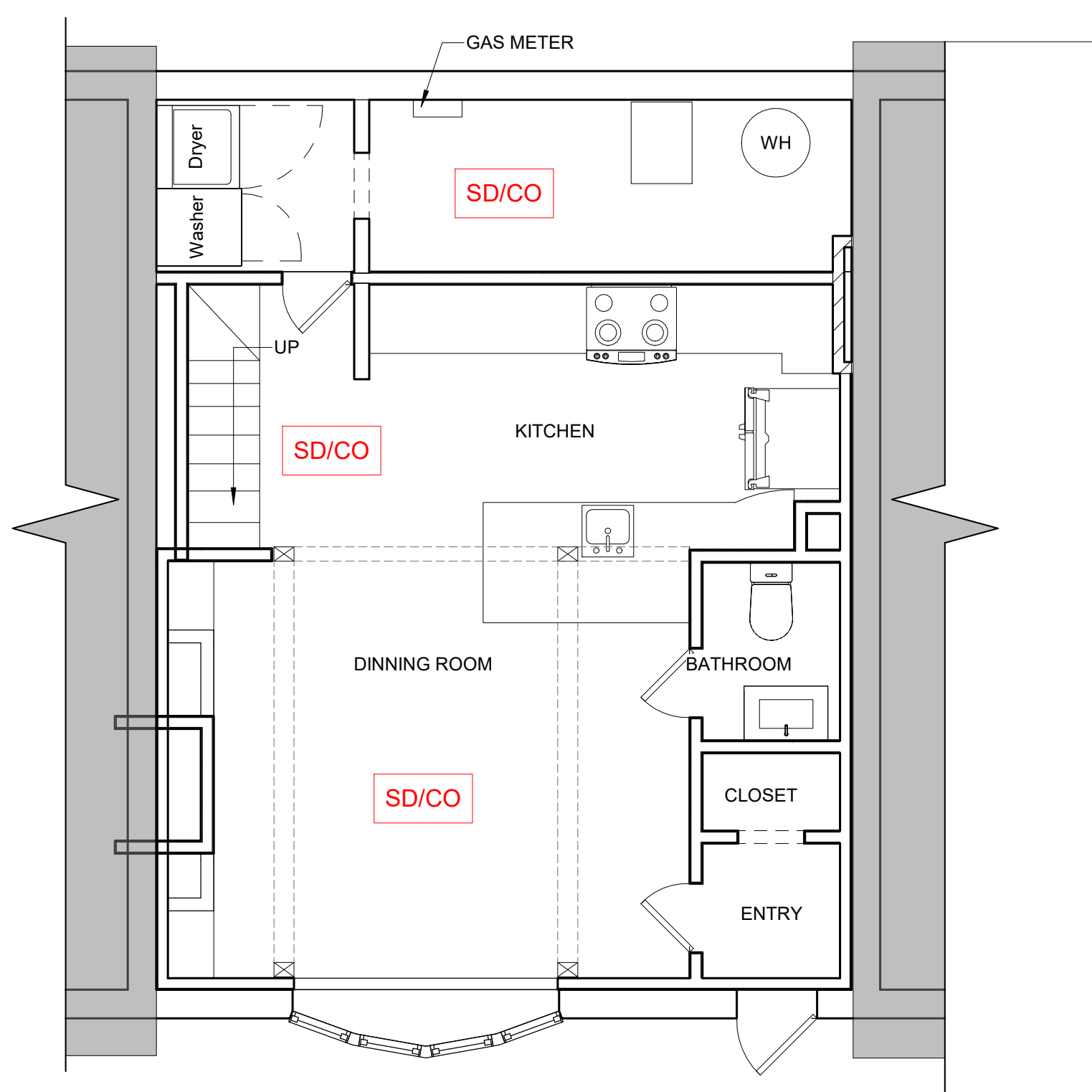
NEW WALL PROTECTION

6" CHAIR RAIL, ACROVYN PROTECTION BOARD, 6" VYNIL BASE IN ALL PATIENT ROOMS (SEE ELEVATIONS).

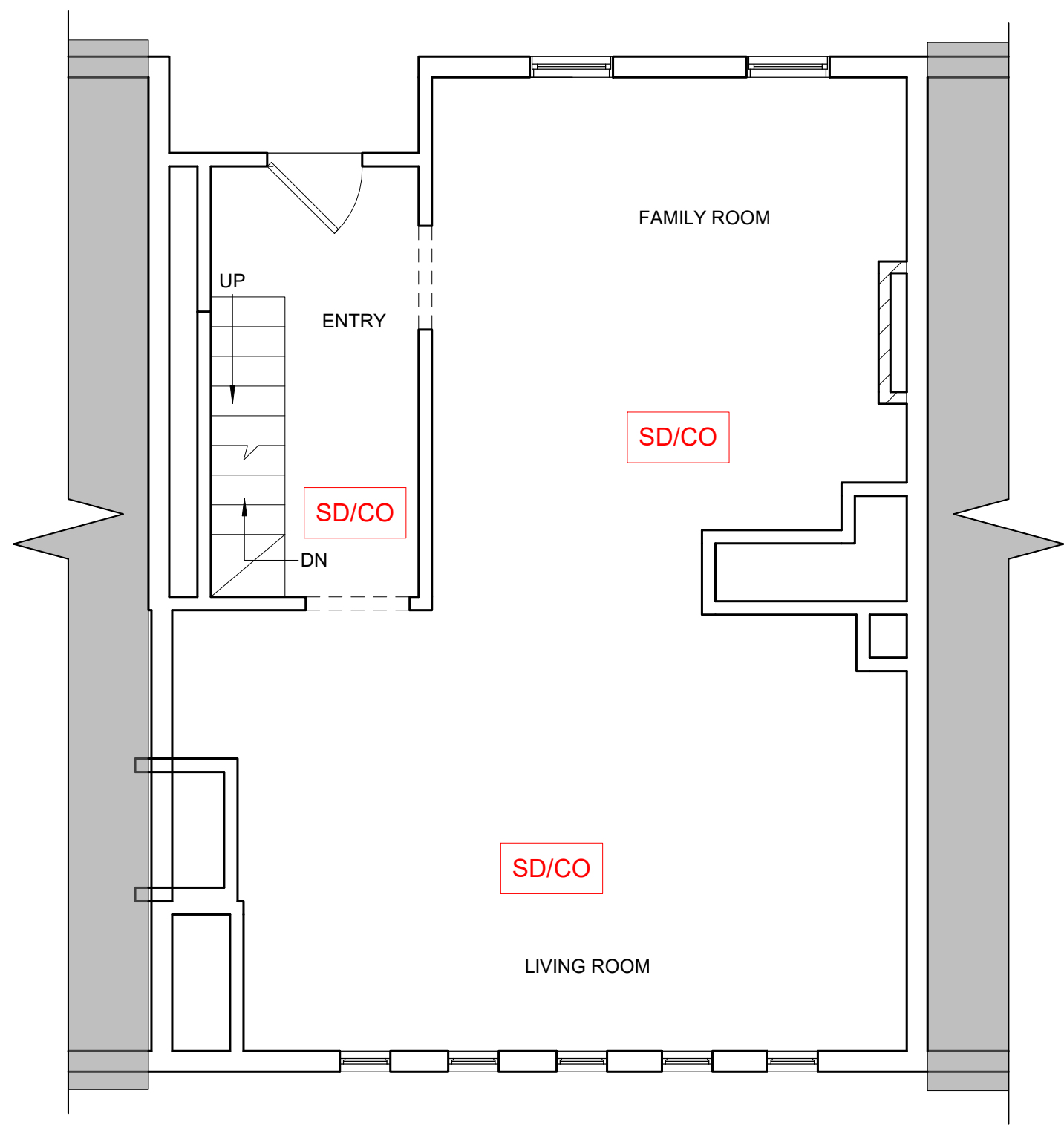
ALL RIGHTS RESERVED. ALL IDEAS, DESIGNS, PLANS AND SPECIFICATIONS ARE THE PROPERTY OF FLOW DESIGN INC. RIGHTS OF USE ARE CONDITIONAL, AND ARE LIMITED TO A ONE-TIME USE TO CONSTRUCT A SINGLE PROJECT ON THE SITE SO INDICATED. USE OF THE WORK AND ANY DERIVATIVE WORK COVERED UNDER THIS COPYRIGHT FOR OTHER PROJECTS IS PROHIBITED. THE USE OR REPRODUCTION OF THESE PLANS FOR ANY OTHER CONSTRUCTION OR PERMIT APPLICATION IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN PERMISSION OF FLOW DESIGN INC. AND THE ARCHITECT WHOSE SIGNATURE AND SEAL MAY BE AFFIXED TO THESE DRAWINGS.

PROJECT LOCATION

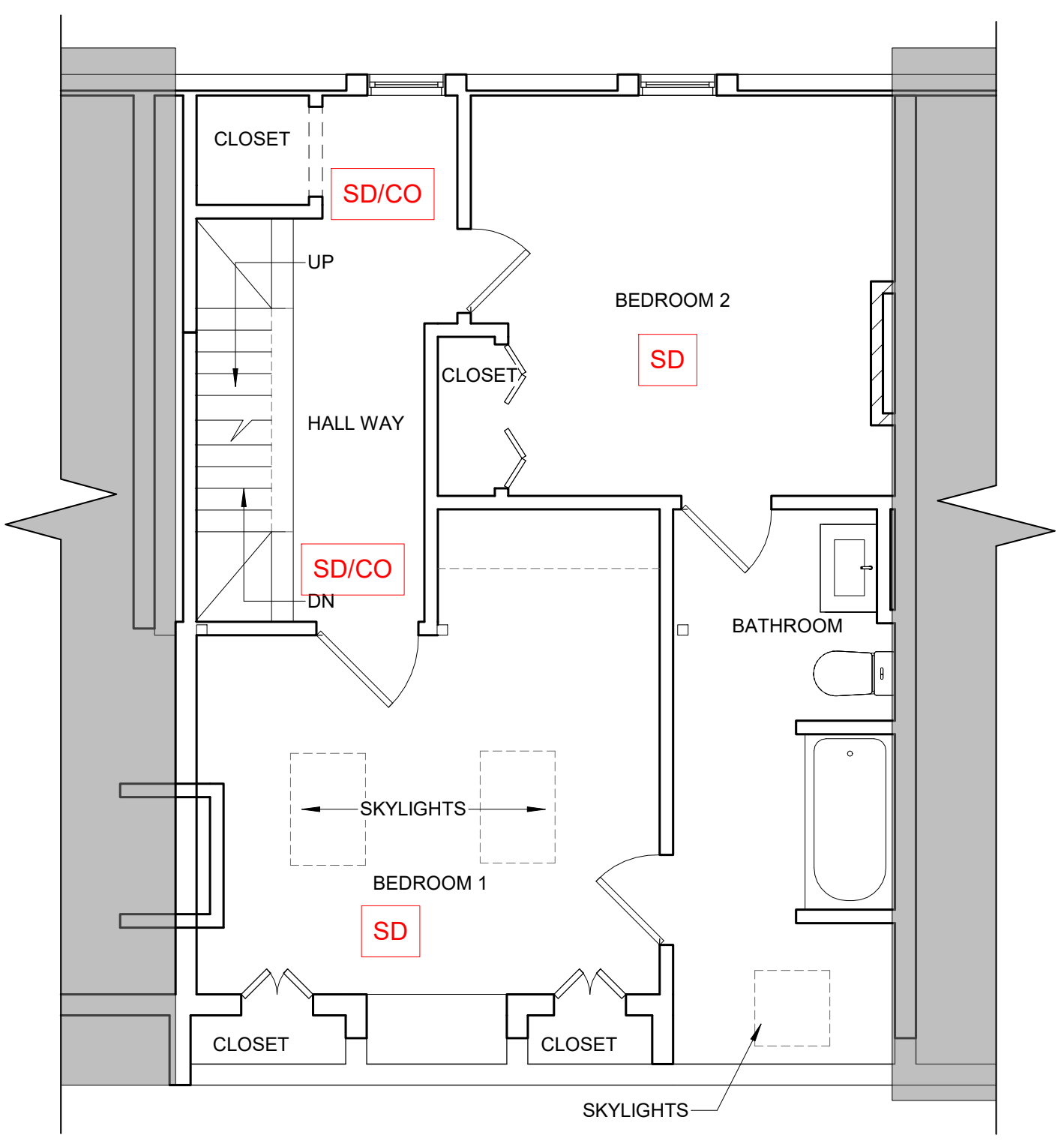
\\flow\Projects\Architecture\2022\22048 88 SPRING STREET, CAMBRIDGE - ATTIC
RENO\A_Revit\22048 88 SPRING ST, CAMBRIDGE - ATTIC RENO.rvt



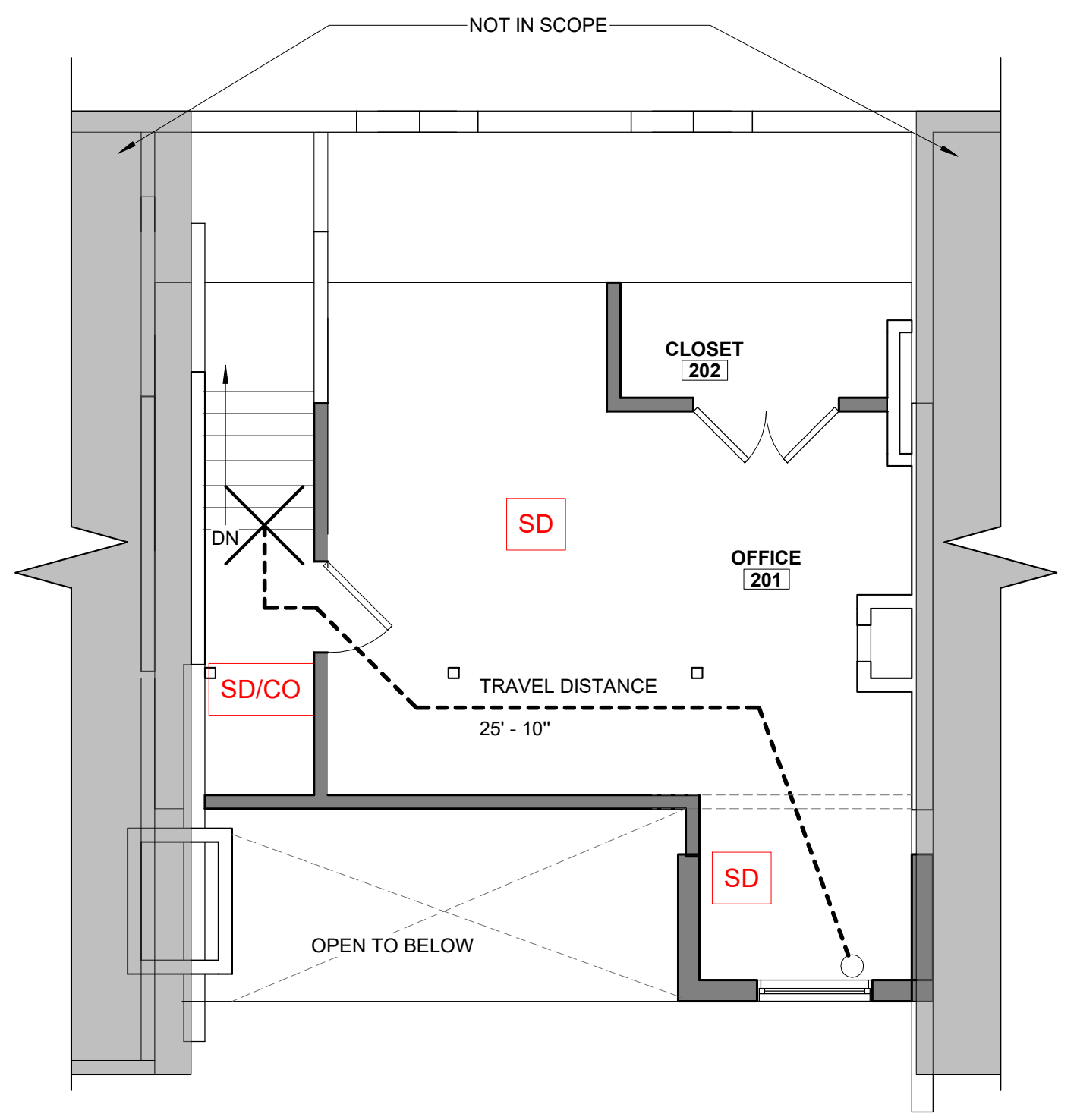
1 BASEMENT FLOOR LIFE SAFETY PLAN
1/4" = 1'-0"



2 FIRST FLOOR LIFE SAETY PLAN
1/4" = 1'-0"



3 SECOND FLOOR LIFE SAFETY PLAN
1/4" = 1'-0"



4 ATTIC FLOOR LIFE SAFETY PLAN
1/4" = 1'-0"

INTERNATIONAL RESIDENTIAL CODE 2015 W/ MA
AMMENDMENTS 780 CMR 51 RESIDENTIAL BUILDING
CODE:

Smoke alarms shall be the photoelectric type listed in accordance with UL 217 or UL 268. Combination smoke and carbon monoxide alarms shall be listed in accordance with UL 217 and UL 2034. (R314.1.1). Hardwired and Interconnected smoke alarms shall be required in the following locations as per International Residential Code for 1 and 2 Family Dwellings R314.3 with Massachusetts Amendments:

1. In each sleeping room
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
3. On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics.
4. In dwellings or dwelling units with split level and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
5. Smoke alarms shall be installed not less than 3 feet horizontally from the door opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by section R314.3
6. For each 1,000 sf of area or part thereof.
7. Near all stairs

A single heat detector listed for the ambient environment shall be installed in:

1. Any garage attached to or under the dwelling (detached garages do not require a heat detector. A new garage attached to an existing dwelling. If the existing house contains a fire detection system that is compatible with the garage heat detector, then the detector shall be interconnected to that system. Where the existing system is not compatible with the garage heat detector, the garage heat detector shall be connected to an alarm or compatible heat detector containing an alarm, located in the dwelling and within 20 ft of the nearest door to the garage from the dwelling. An alarm is not required in the garage, either integral or separate from the heat detector.
- 2.

R315.53 Carbon monoxide alarms in dwelling units shall be outside of each separate sleeping area within ten feet to the bedrooms. Where a fuel burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom. At least one alarm shall be installed on each story of a dwelling unit, including basements and cellars but not in crawl spaces and uninhabitable attics.

LIFE SAFETY LEGEND	
	EXIT LOCATION
	EXTERIOR EXIT DOOR
	LENGTH OF TRAVEL - EGRESS
	SMOKE DETECTOR & CARBON MONOXIDE COMBO
	SMOKE DETECTOR

PROJECT SPECIFIC NOTES
A 1 HOUR RATED SEPARATION PER IBC 2015 TABLE 508.2.5

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88 SPRING STREET - ATTIC RENO

88 SPRING STREET,
CAMBRIDGE, MA 02141

MR. ALEX RAPP

ARCHITECT:

Flow Design Inc.

ARCHITECTURE
RESIDENTIAL DESIGN
PLANNING
INTERIOR DESIGN
SALEM, MA 01970
30 GROVE ST. SUITE 226
SALEM, MA 01970
TEL: 978.498.4370
CEL: 978.818.5109
CEL: 774.317.0491

CONSULTANT:

CONSULTANT:

REVISION:

NO.	DATE	DESCRIPTION
1	04.11.2022	PERMIT SET
2	06.06.2022	FIRE DEPARTMENT REVISION

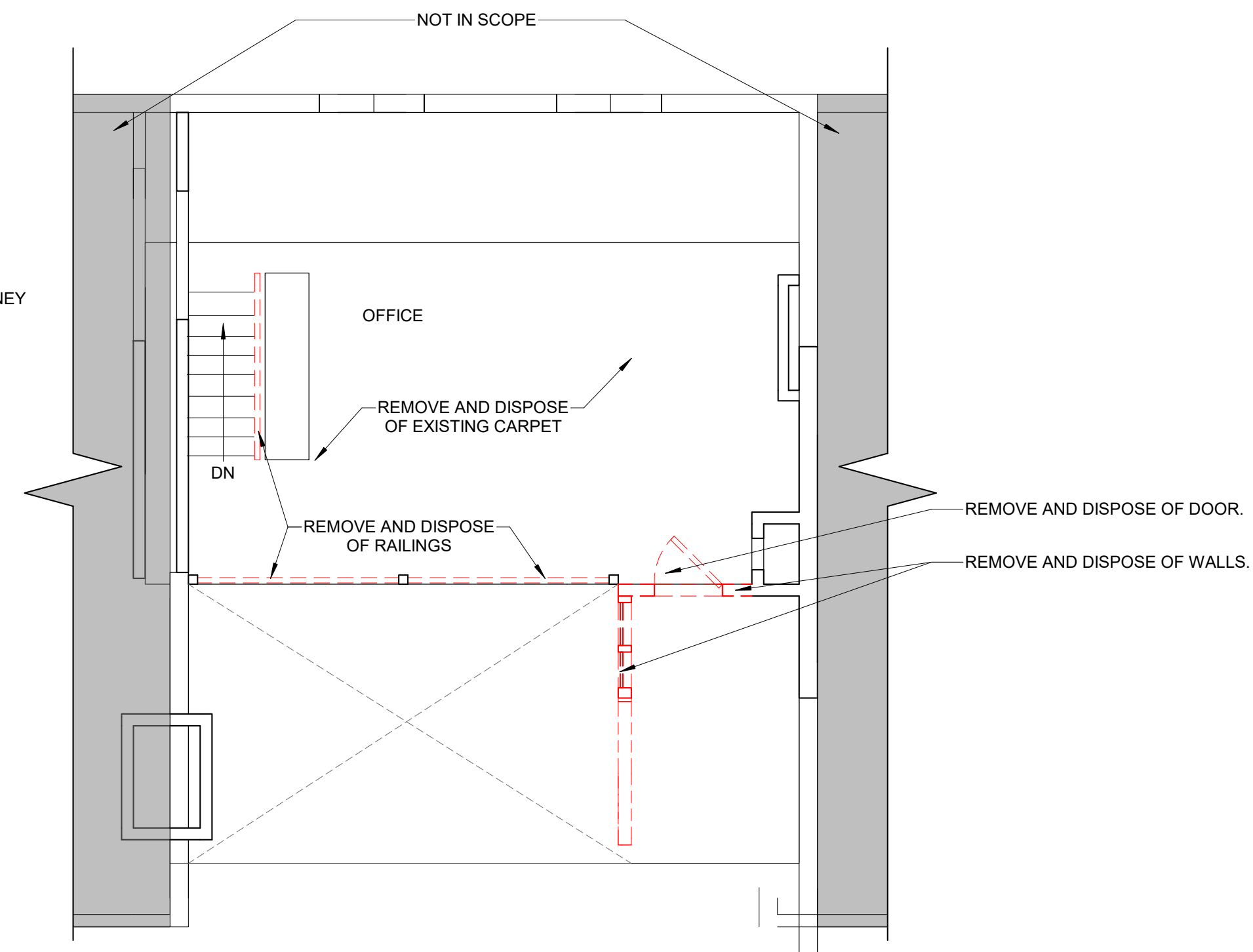
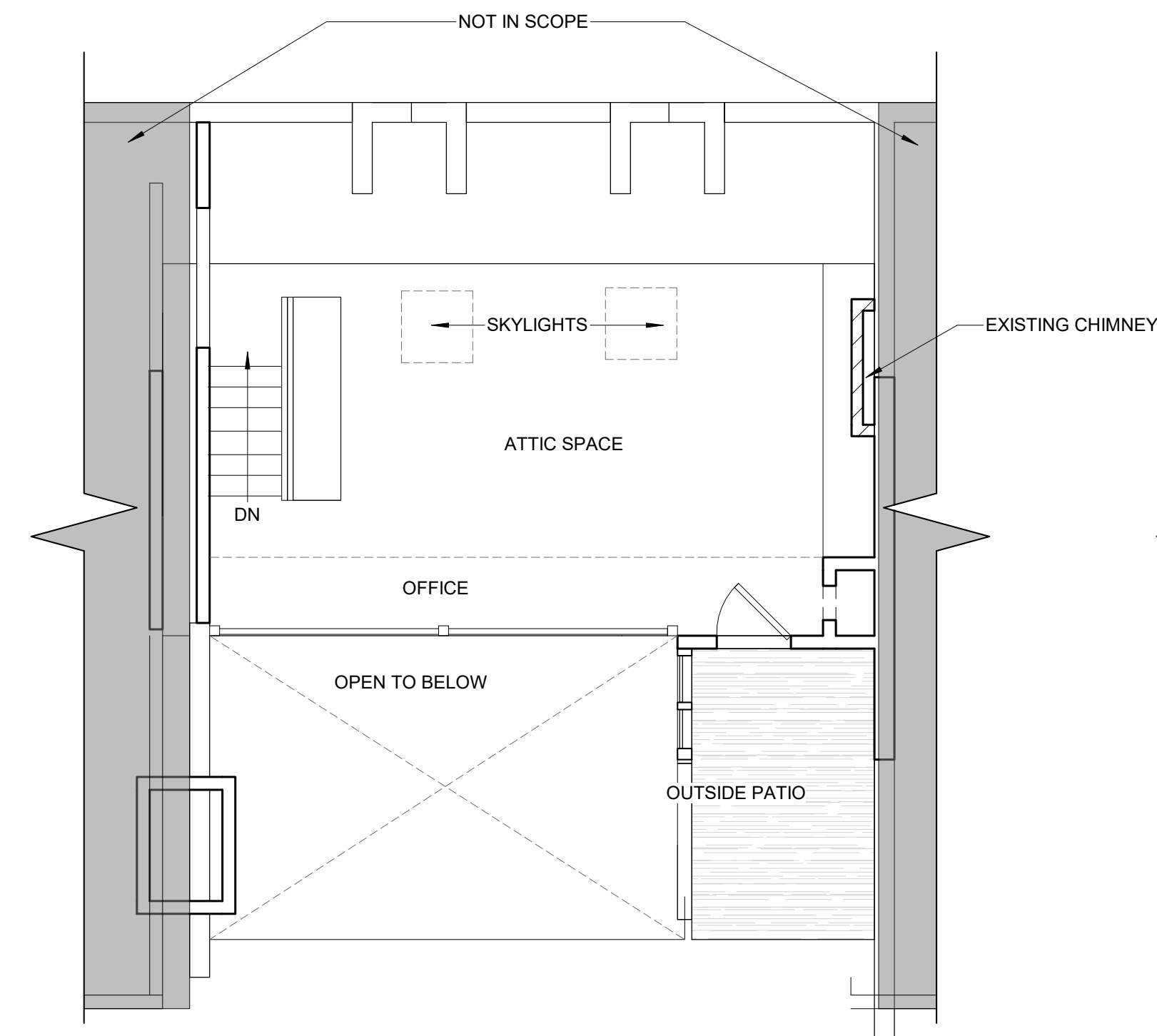
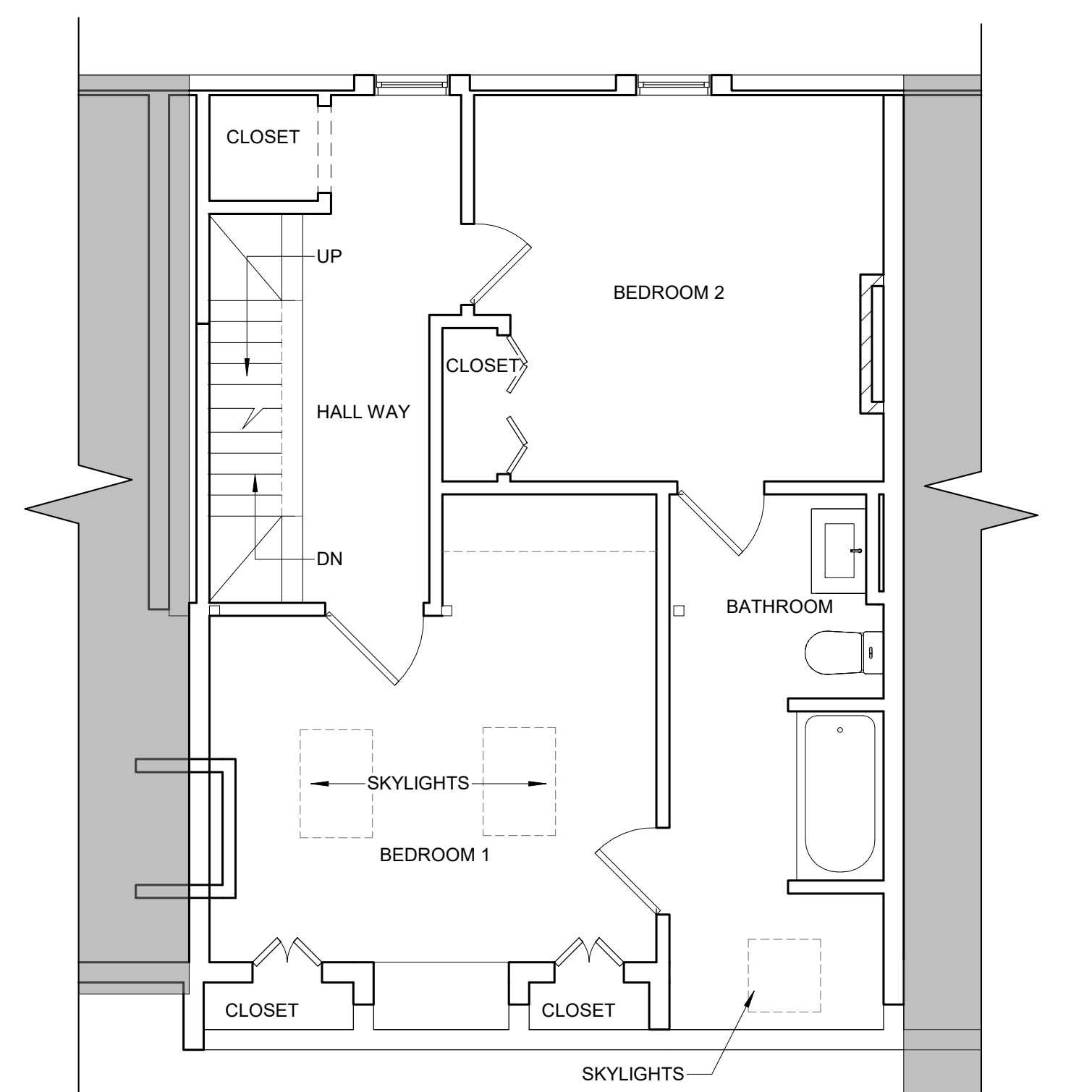
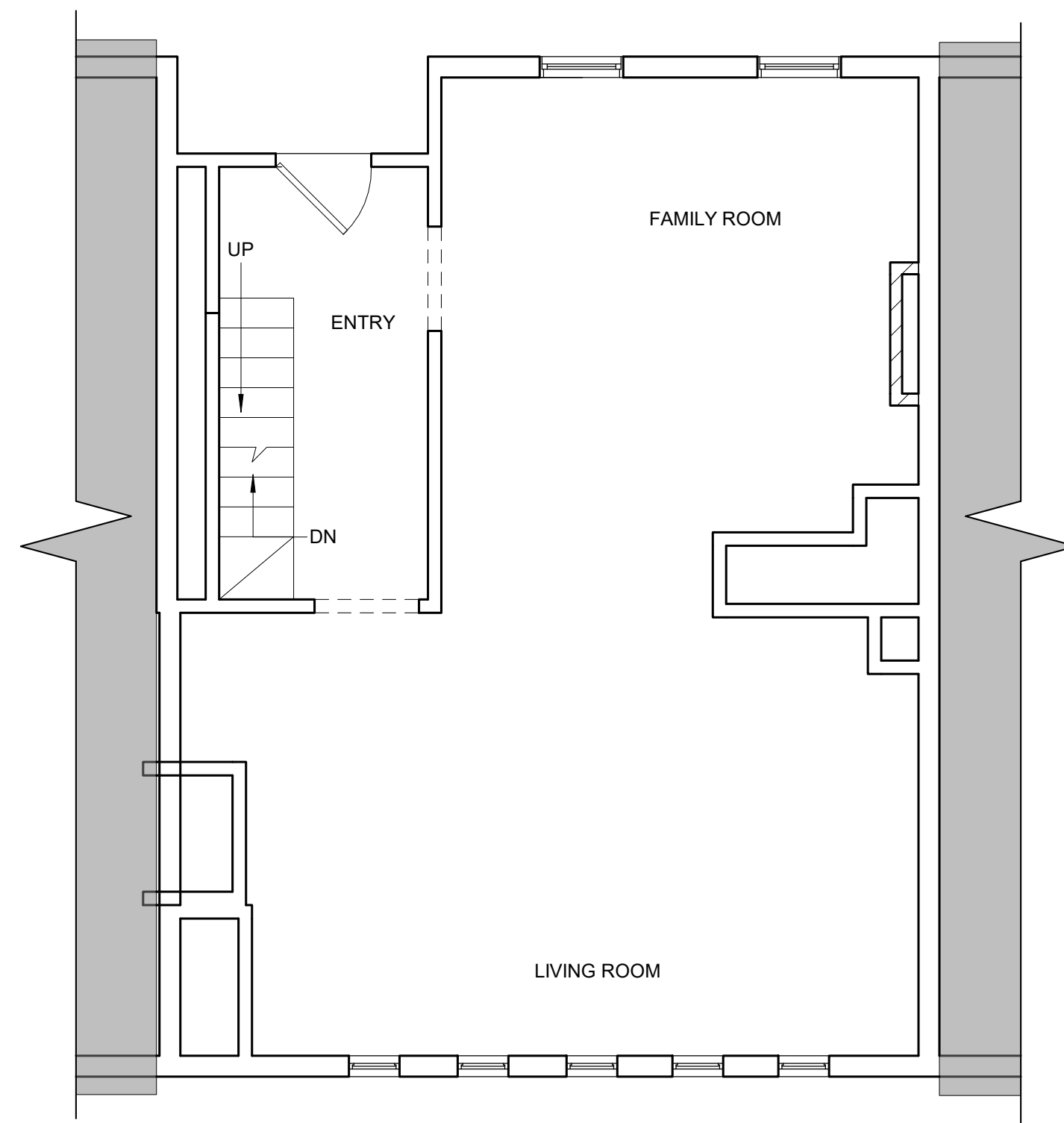
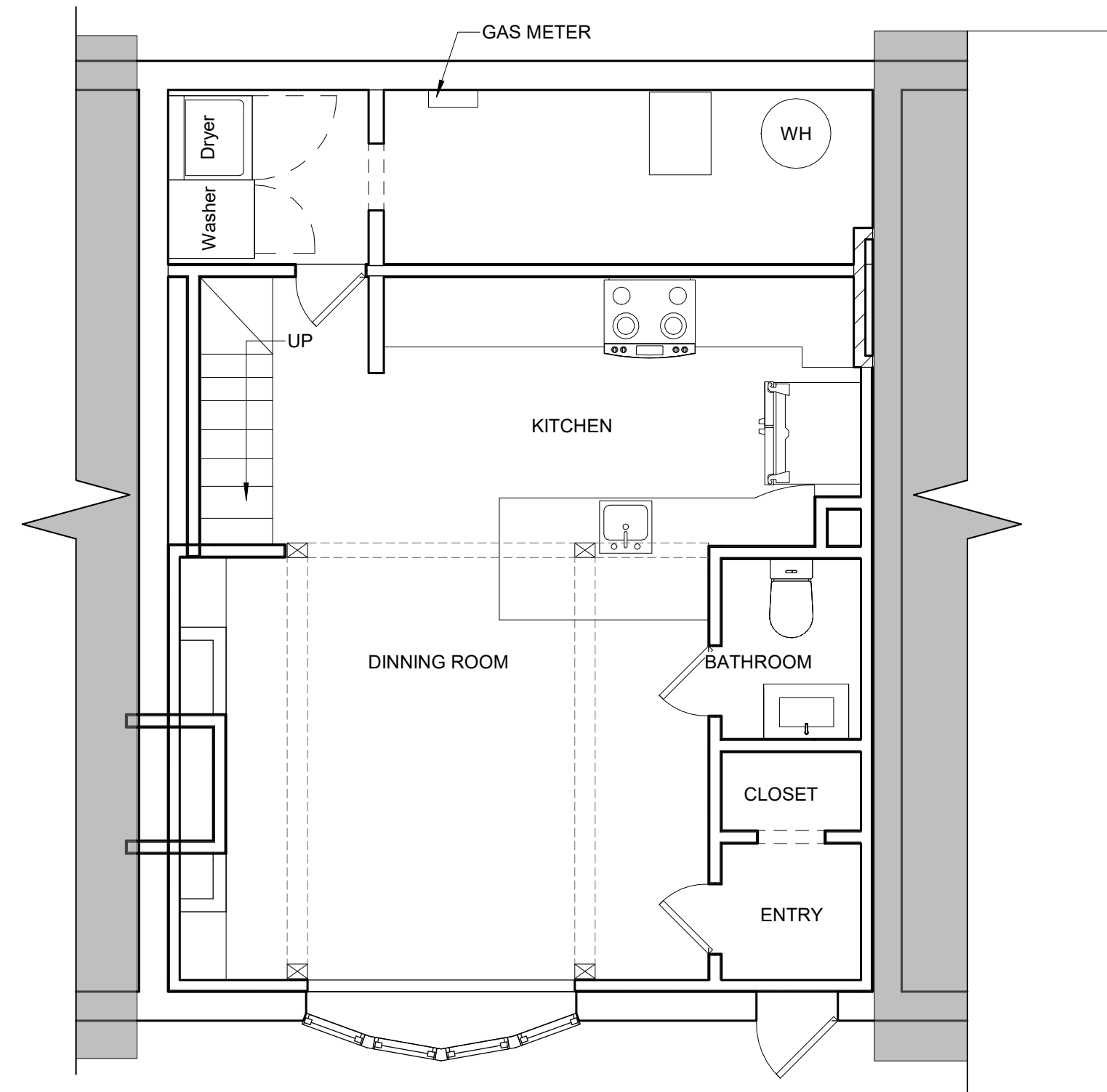
DRAWING TITLE:
**LIFE SAFETY FLOOR
PLANS**

DRAWN BY: JP	SEAL:
CHECKED BY: MS	
SCALE: As indicated	
DATE: 04.11.2022	
PROJECT NO.: 22048	

DRAWING NO.:




LS-01

PROJECT LOCATION:
I:\flow\Projects\Architecture\22048 88 SPRING STREET, CAMBRIDGE - ATTIC RENO\A_Rev22048 88 SPRING ST, CAMBRIDGE - ATTIC RENO.rvt



PARTITION	
	EXISTING WALL, VERIFY CONSTRUCTION IN FIELD

<p align="center">EXISTING CONDITIONS</p> <p align="center">GENERAL NOTES</p> <p>IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUBCONTRACTOR TO REVIEW EXISTING CONDITIONS OF THE BUILDING AND TO INFORM THE ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS.</p>
--

EXISTING TO BE REMOVED	
	ITEM TO BE REMOVED
	EXISTING TO BE REMOVED
	EXISTING TO REMAIN

GENERAL NOTES:

1. ALL INTERIOR DIMENSIONS ARE TO INTERIOR FACE OF GWB. U.N.O.
2. PROVIDE BLOCKING AT ALL WALLS W/ WALL MOUNTED FIXTURES AND ACCESSORIES. TYP.
3. CONFIRM CEILING HEIGHTS IN FIELD.

GENERAL DEMOLITION NOTES:

1. REMOVE AND DISPOSE EXISTING INTERIOR PARTITIONS AS INDICATED ON THE PLAN.
2. REMOVE AND DISCARD EXISTING INTERIOR DOORS AND FRAMES AS INDICATED ON THE PLAN.
3. PATCH ABANDONED MATH CEILINGS AS NEEDED. CONFIRM AND COORDINATE WITH OWNER.
4. PATCH AND REPAIR EXISTING WALLS TO REMAIN AS REQUIRED.
5. PATCH AND REPAIR WALLS AND FINISHED ADJACENT TO AREAS OF DEMOLITION AS REQUIRED.
6. COORDINATE REMOVAL AND RELOCATION OF EXISTING FURNITURE WITH OWNER.
7. REMOVE AND DISCARD ANY EXISTING MILLWORK. CONFIRM AND COORDINATE WITH OWNER.
8. PROTECT ALL AREAS NOT BEING AFFECTED BY DEMOLITION.
9. REMOVE FOR REUSE & STORAGE ALL EXISTING LIGHT FIXTURES. CONFIRM AND COORDINATE WITH OWNER.
10. OWNER, GC, AND ARCHITECT TO WALK THROUGH AND MARK EXISTING OUTLETS/ DATA PORTS TO REMAIN. THESE OUTLETS/ DATA PORTS MAY REQUIRE NEW PLATES AND/OR DEVICES.
11. GC TO PERFORM EXPLORATORY PROBES AT THICKENED WALL AREAS TO CONFIRM NO STRUCTURAL COLUMNS, DUCTS, PLUMBING, OR CHASES EXIST IN THESE CAVITIES PRIOR TO GENERAL DEMOLITION.
12. GC TO CUT BACK AND CAP ALL UNUSED WATER SUPPLY LINES BACK TO SOURCE.
13. REVIEW SPECIFICATIONS FOR ADDITIONAL DEMOLITION NOTES.

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88 SPRING STREET - ATTIC RENO

88 SPRING STREET,
CAMBRIDGE, MA 02141

MR. ALEX RAPP

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PLANNING SALEM, MA 01970
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CEL: 978.818.5109
CEL: 774.317.0491

CONSULTANT:

CONSULTANT:

REVISION:

NO:	DATE:	DESCRIPTION:
1	04.11.2022	PERMIT SET

DRAWING TITLE:

EXISTING FLOOR PLANS

DRAWN BY:

JP

CHECKED BY:

MS

SCALE:

As indicated

DATE:

04.11.2022

PROJECT NO. 5584

22048

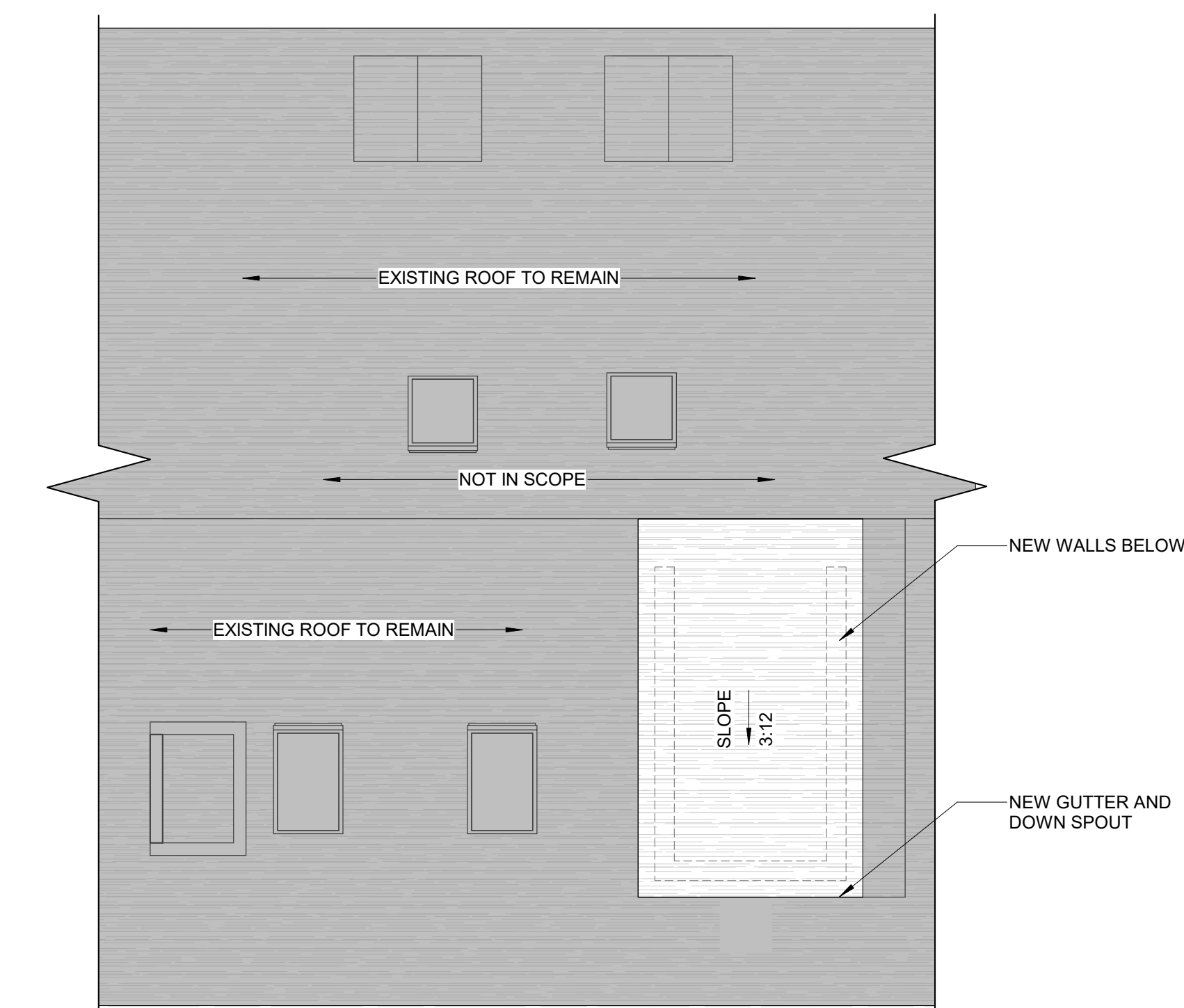
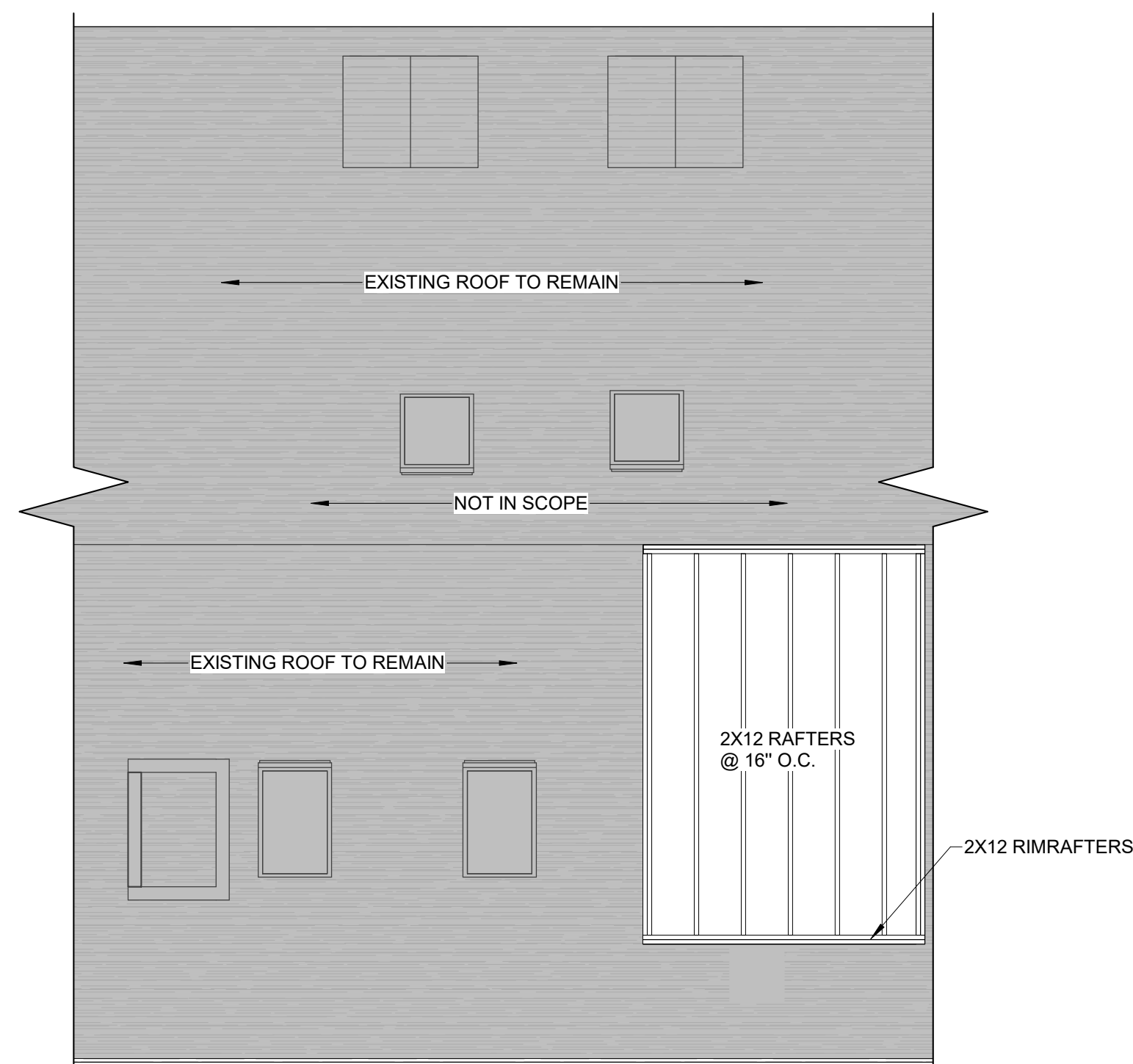
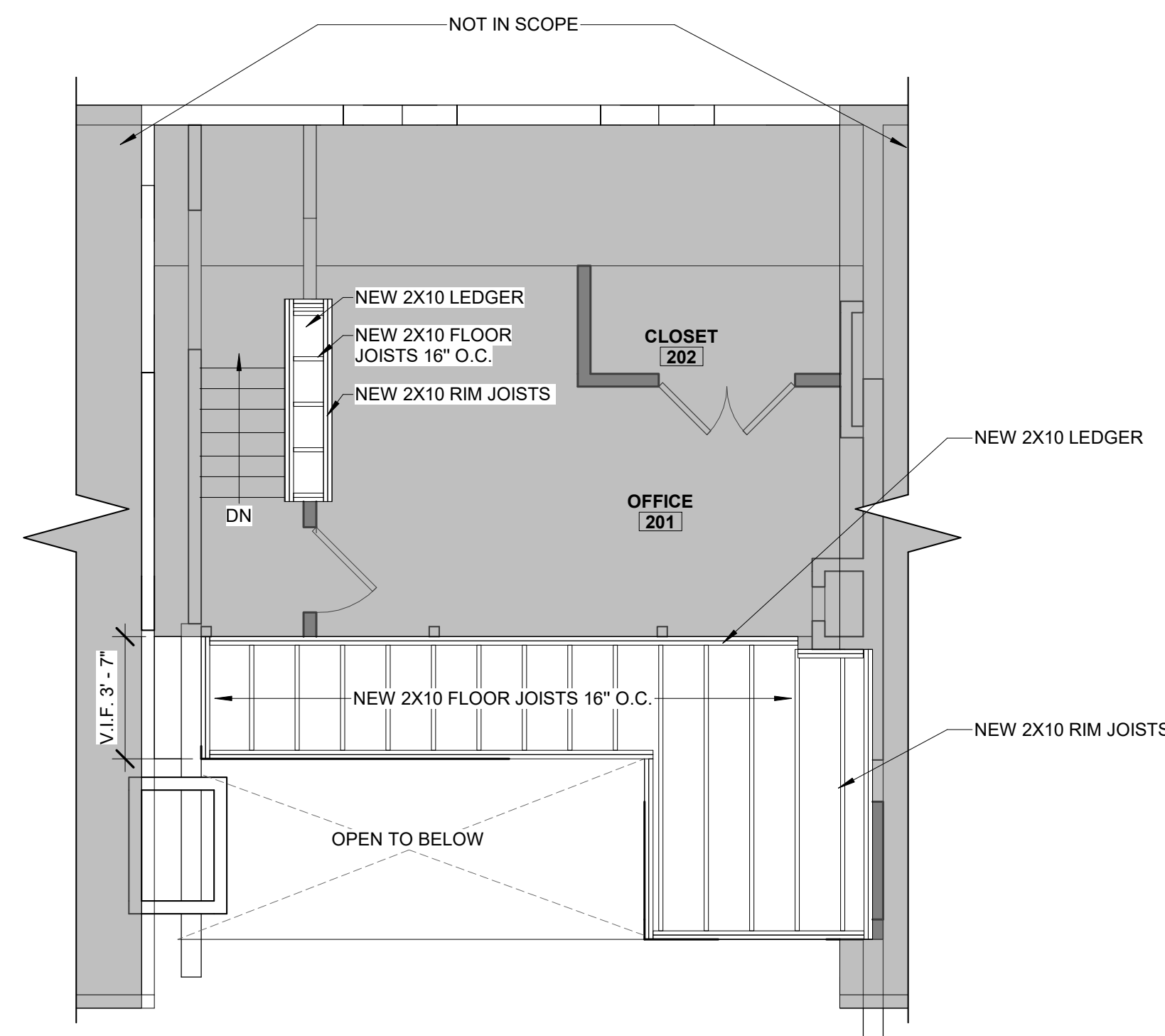
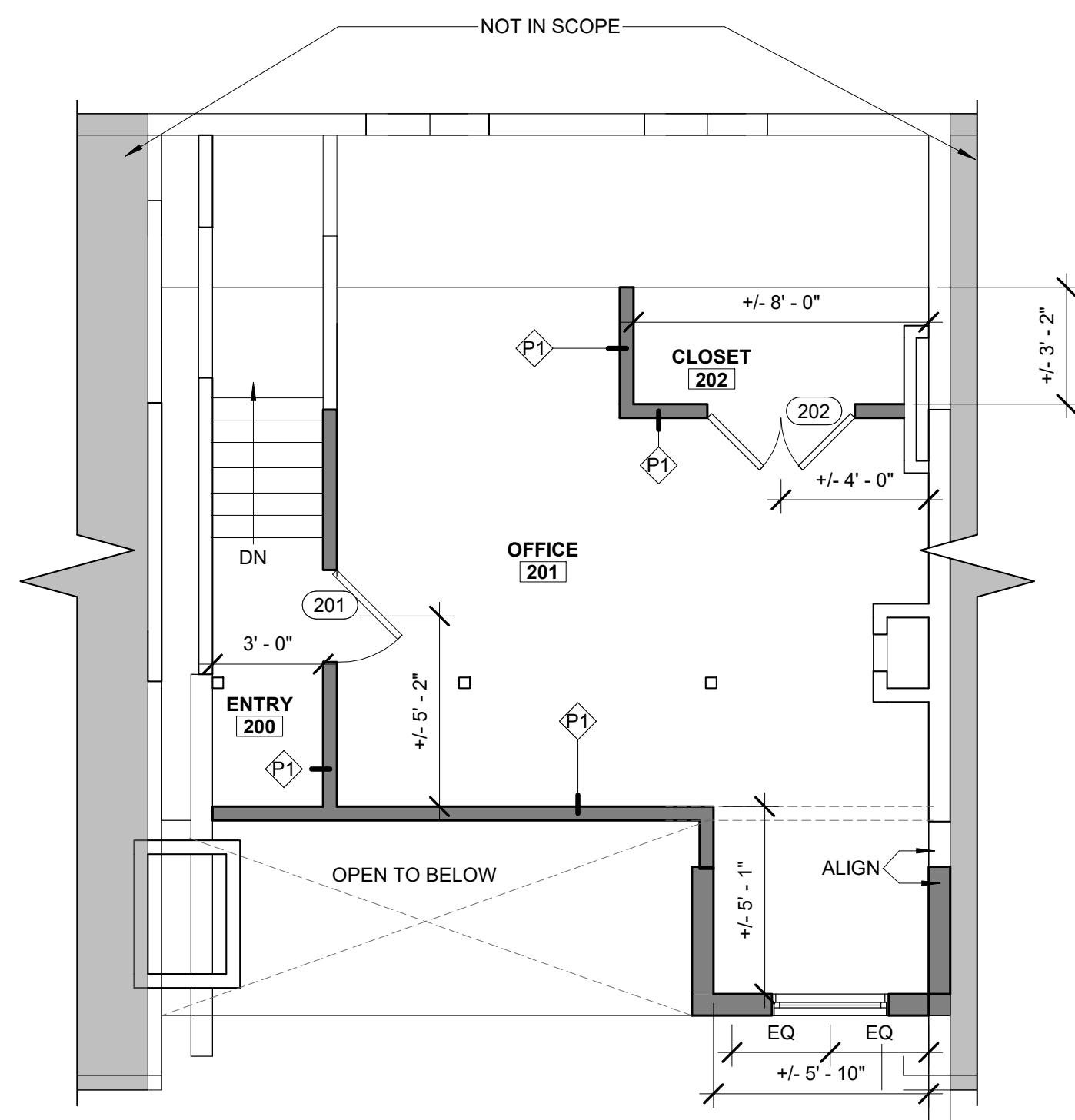
DRAWING NO.



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PROJECT LOCATION:
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RENO\A_Revit\22048 88 SPRING ST, CAMBRIDGE - ATTIC RENO.rvt

SEAL:





EXISTING & NEW WALLS	
	NEW WALL
	EXISTING TO REMAIN
<p><u>GENERAL CONTRACTOR NOTES:</u></p> <ol style="list-style-type: none"> 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD. 2. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE CODES AND REGULATIONS. 3. CONTRACTOR SHALL INFORM ARCHITECT OF ANY ERRORS OR DEVIATIONS PRIOR TO CONTINUING WORK. 4. CONTRACTOR SHALL COORDINATE WITH EACH SUB-CONTRACTOR AND ENSURE TO MEET ALL CODE AND SAFETY REQUIREMENTS. 	
<p><u>GENERAL NOTES:</u></p> <ol style="list-style-type: none"> 1. ALL INTERIOR DIMENSIONS ARE TO INTERIOR FACE OF G.W.B. U.N.O. 2. PROVIDE BLOCKING AT ALL WALLS W/ WALL MOUNTED FIXTURES AND ACCESSORIES. TYP. 3. CONFIRM CEILING HEIGHTS IN FIELD. 	

WOOD & ENGINEERED WOOD CONSTRUCTION

1. DIMENSIONAL LUMBER TO BE SPRUCE-PINE-FIR (SPF) NO. 2 OR BETTER OUNO.
2. ALL ENGINEERED LUMBER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
3. ALTERNATE PRODUCTS SHALL NOT BE SUBSTITUTED UNLESS APPROVED IN WRITING BY ENGINEER OF RECORD.
4. LVL'S (LAMINATED VENEER LUMBER) TO BE 1.9E MICROLAM LVL BY ILEVEL.
5. PSL'S (PARALLEL STRAND LUMBER) TO BE 2.0E PARALLAM PSL BY ILEVEL.
6. 1½" LSL'S (LAMINATED STRAND LUMBER) TO BE 1.55E TIMBERSTRAND LSL BY ILEVEL.
7. 1½" LSL'S TO BE 1.5E TIMBERSTRAND LSL BY ILEVEL.
8. WOOD I-JOISTS TO BE TJI BY ILEVEL.
9. PROVIDE SIMPSON CONNECTORS AT POST/BEAM, POST BASE, JOIST/BEAM AND BEAM/BEAM CONNECTIONS. USAGE AND INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PROVIDE SIMPSON HURRICANE TIES AT ROOF RAFTER CONNECTIONS TO STUD WALL CONNECTIONS OR SUPPORTING BEAMS.
10. PROVIDE MINIMUM ¾" PLYWOOD SHEATHING FOR FLOORS AND ROOFS. PLYWOOD TO BE APA-RATED EXPOSURE 1 GRADE C-D (CDX). PROVIDE ¾" SPACE BETWEEN EDGES OF ADJACENT PLYWOOD PANELS AND STAGGER PANEL JOINTS BETWEEN ROWS OF SHEATHING.
11. ALL PLYWOOD FLOOR AND ROOF SHEATHING SHALL BE GLUED AND SCREWED TO SUPPORTING WOOD FRAMING. GLUE SHALL CONSIST OF CONSTRUCTION GRADE ADHESIVE. SCREWS NOT TO BE PLACED WITHIN ¾" OF PANEL EDGES. MAXIMUM SCREW SPACING TO BE 6", UNO. SCREWS TO BE MIN #8x2½" LONG. SCREW LENGTH SHALL BE SUFFICIENT TO PROVIDE EMBEDMENT OF 10X SCREW DIAH INTO FRAMING.
12. PROVIDE MINIMUM ¾" PLYWOOD SHEATHING FOR EXTERIOR WALLS AND SHEAR WALLS. FASTEN SHEATHING TO STUDS WITH MINIMUM 8d NAILS @ 4" O.C..
13. PROVIDE CONTINUOUS BLOCKING ABOVE INTERIOR SHEAR WALLS.
14. MAXIMUM MOISTURE CONTENT OF DIMENSIONAL LUMBER AT TIME OF INSTALLATION TO BE 19%.
15. SILL PLATE ANCHOR BOLTS: PROVIDE ½"Ø ANCHOR BOLTS AT 3'-0" O.C. TWO BOLTS MINIMUM PER SILL PIECE WITH A BOLT WITHIN 10" OF EACH END OF EACH PIECE. BOLT SPACING SHALL BE EXCEEDED PRIOR TO PLACING OF STUDS AND POSTS TO AVOID CONFLICTS. ALL BOLTS SHALL HAVE STEEL WASHERS, SEE TYPICAL DETAILS AND SHEAR WALL SCHEDULE FOR ADDITIONAL SILL BOLT REQUIREMENTS.
16. PROVIDE PERPENDICULAR BLOCKING AT 32 INCHES O.C. BETWEEN ALL PERIMETER JOISTS AND EXTERIOR WALLS OR PERIMETER BEAMS.
17. STAND-ALONE WOOD POSTS OVER CONCRETE SHALL BEAR UPON SIMPSON POST BASE EMBEDDED IN OR ANCHORED TO CONCRETE FOUNDATION.
18. WASHERS SHALL ALWAYS BE INSTALLED BETWEEN BOLT HEADS OR NUTS AND WOOD OR ENGINEERED WOOD.

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88 SPRING STREET - ATTIC RENO

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MR. ALEX RAPP

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CEL: 774.317.0491


CONSULTANT:

CONSULTANT:

[illegible]

DRAWING TITLE:

**PROPOSED FLOOR
PLANS**

DRAWN BY: JP	SEAL:
CHECKED BY: MS	
SCALE: As indicated	
DATE: 04.11.2022	
PROJECT NO.: 22048	

DRAWING NO.:

PROJECT LOCATION:
\\flow\Projects\Architecture\2022\22048 88 SPRING STREET, CAMBRIDGE - ATTIC
RENO\A_Revit\22048 88 SPRING ST, CAMBRIDGE - ATTIC RENO.rvt

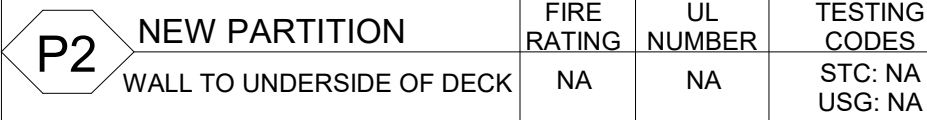
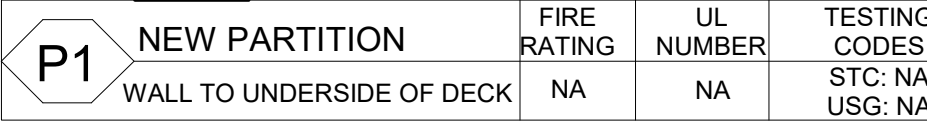
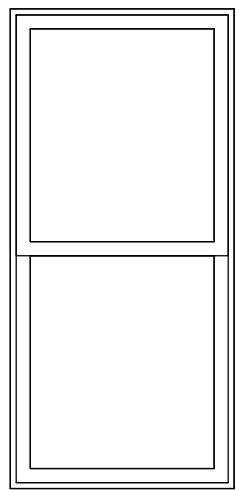
DOOR SCHEDULES				
NO.	DOOR SIZE		APPLICATION	COMMENTS
	HEIGHT	WIDTH		
201	6' - 0"	2' - 6"		
202	6' - 0"	4' - 0"		

NO.	DOOR SIZE		APPLICATION	COMMENTS
	HEIGHT	WIDTH		
201	6' - 0"	2' - 6"		
202	6' - 0"	4' - 0"		



WINDOW SCHEDULE					
TYPE	WIDTH	HEIGHT	TEMPERED GLASS	EGRESS WINDOW	COMMENTS
EG	3' - 2"	4' - 2"			

TYPE	WIDTH	HEIGHT	TEMPERED GLASS	EGRESS WINDOW	COMMENTS
EG	3' - 2"	4' - 2"			



1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD.
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4. CONTRACTOR SHALL COORDINATE WITH EACH SUB-CONTRACTOR AND ENSURE TO MEET ALL CODE AND SAFETY REQUIREMENTS.



FINISHED FLOOR

* EXCEPTION: 5.0 SF ALLOWED IF LOCATED AT GRADE FLOOR OR BELOW GRADE.



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88 SPRING STREET,
CAMBRIDGE, MA 02141

ARCHITECT:

CONSULTANT:

CONSULTANT:

[illegible]

SECTIONS & PARTITIONS

DRAWN BY

JP

CHECKED BY
MS

SCALE

As indicated

DATE:

04.11.2022

PROJECT NO. _____

22048

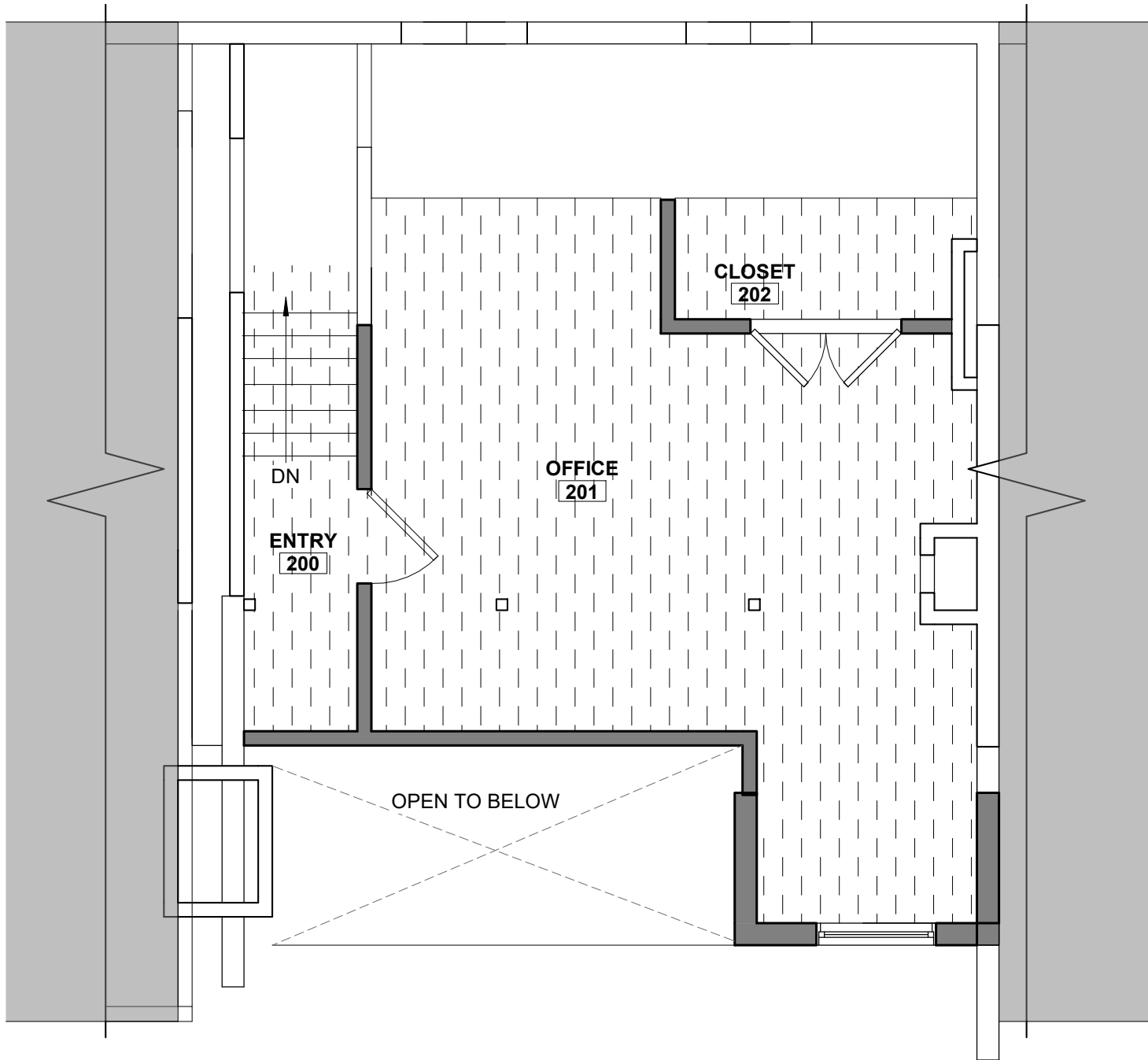
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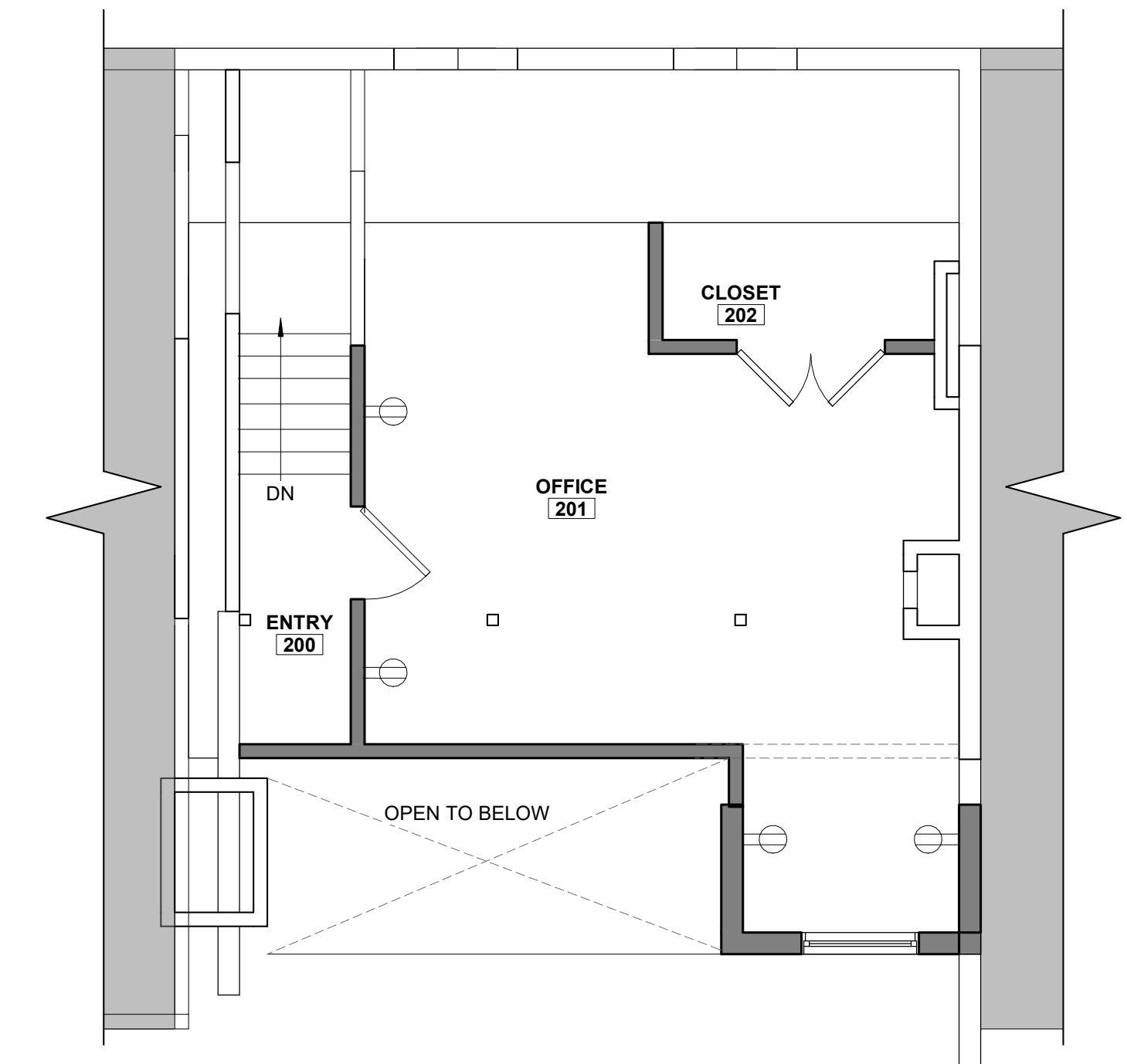
PROJECT LOCATION

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RENO\A_Revit\22048 88 SPRING ST, CAMBRIDGE - ATTIC RENO.rvt





2 ATTIC FINISH FLOOR PLAN
1/4" = 1'-0"



3 ATTIC COORDINATION FLOOR PLAN
1/4" = 1'-0"

FLOORING LEGEND
FINISHES

EXGEXISTING FLOORING TO REMAIN

CPT1CARPET - FINISH TO BE DETERMINED BY OWNER

WALL BASE LEGEND
FINISHES

WDWOOD BASE - TO BE DETERMINED BY OWNER

TRANSITION STRIP LEGEND
FINISHES

TS1SCHLUTER - SIZE; CONFORM TO FIELD CONDITIONS

ELECTRICAL LEGEND

⌀

DUPLEX OUTLET - CENTER OF OUTLET AT 18" AFF

ELECTRICAL NOTES

1. ELECTRICAL SUBCONTRACTOR IS TO PROVIDE PULL STRINGS AND JUNCTION BOXES FOR ALL DATA LINES, TYPICAL. ARCHITECTURAL PLANS DEPICT ELECTRICAL OUTLET TYPES AND LOCATIONS ARE FOR COORDINATION PURPOSES ONLY. FINAL OUTLET TYPES AND LOCATIONS TO BE DETERMINED BY ELECTRICAL ENGINEER.

2.

GENERAL CONTRACTOR NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD.

2. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE CODES AND REGULATIONS.

3. CONTRACTOR SHALL INFORM ARCHITECT OF ANY ERRORS OR DEVIATIONS PRIOR TO CONTINUING WORK.

4. CONTRACTOR SHALL COORDINATE WITH EACH SUB-CONTRACTOR AND ENSURE TO MEET ALL CODE AND SAFETY REQUIREMENTS.

GENERAL ELECTRICAL AND LIGHTING NOTES:

ELECTRICAL WORK SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL BUILDING CODES.

1. ALL WALL SWITCHES SHALL BE LEVITON RESIDENTIAL GRADE "DECORA QUIET ROCKER SWITCHES"; COLOR OF SWITCHES & SWITCH PLATES SHALL BE WHITE.

2. ALL ELECTRIC, TELEPHONE AND CATV RECEPTACLES SHALL BE LEVITON RESIDENTIAL GRADE "DECORA" RECEPTACLES; COLOR OF RECEPTACLES AND PLATES SHALL BE WHITE. PROVIDE GFI TYPE RECEPTACLES AT ALL BATHROOM LOCATIONS AND ELSEWHERE REQUIRED BY CODE.

3. ALL DIMMER SWITCHES SHALL BE LEVITON RESIDENTIAL GRADE "DECORA SURE SLIDE" DIMMER; COLOR OF DIMMERS & DIMMER PLATES SHALL BE WHITE.

4. ELECTRICIAN SHALL LOCATE ALL FIXTURES ACCORDING TO ELECTRICAL PLANS AND INTERIOR ELEVATIONS. COORDINATE ANY PROPOSED DEVIATION FROM PLANS WITH ARCHITECT BEFORE ROUGH-IN.

5. ALL DIMENSIONS ARE TO FINISH FACE AND/OR CENTERLINE UNLESS OTHERWISE NOTED.

6. ALL OUTLETS TO BE CENTERED IN LENGTH OF WALL UNLESS NOTED OTHERWISE.

7. OUTLETS AT FLOOR ARE TO BE MOUNTED SO THAT THE CENTER OF OUTLET IS AT 12 3/4" ABOVE SUBFLOOR, TYPICAL, UNLESS NOTED OTHERWISE. SEE INTERIOR ELEVATIONS FOR ALL ABOVE COUNTER LOCATIONS IN KITCHEN AND BATHROOMS.

8. SWITCHES ARE TO BE MOUNTED SO THAT THE CENTER OF SWITCH IS AT 44 3/4" INCHES ABOVE SUBFLOOR, TYPICAL, UNLESS NOTED OTHERWISE. SEE INTERIOR ELEVATIONS FOR ALL ABOVE COUNTER LOCATIONS IN KITCHEN AND BATHROOMS.

9. ALL CLOSET LIGHTS TO BE RECESSED MAGNETIC CONTACT SWITCHES RECESSED IN HEAD OF DOOR FRAME, UNLESS NOTED OTHERWISE.

10. AUTOMATIC CLOSET SWITCHES SHALL BE A GRI SECURITY PRODUCTS 3030-12 SWITCH WITH A CC-01 NS CURRENT CONTROLLER.

11. EXTERIOR LIGHTS TO HAVE DAYLIGHT AND OR TIMER SWITCHES TBD.

12. APPLICABLE POOL AREA CIRCUITS SHALL BE INTEGRATED IN AN EQUIPOTENTIAL BONDING GRID IN POOL AREA AS REQUIRED BY CODE. COORDINATE WITH LANDSCAPE ARCHITECT AND POOL CONTRACTOR.

13. AUDIBLE ALARM AS DESCRIBED BY MASS. BUILDING CODE 421.10.1.9.1 SHALL BE INSTALLED AT ALL DOORS EXITING TO THE POOL TERRACE.

14. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH MASS. BUILDING CODE. GC SHALL COORDINATE WALKTHROUGH WITH FIRE INSPECTOR AND ARCHITECT TO DETERMINE LOCATIONS OF DETECTORS. DETECTOR MODEL TO TBD AND SHALL BE REVIEWED BY THE ARCHITECT PRIOR TO INSTALLATION.

15. ELECTRICAL DRAWINGS ASSUME A CENTRAL EXHAUST FAN SYSTEM FOR BATHS IN MAIN HOUSE. SWITCH LOCATIONS ARE NOTED IN DRAWINGS. GC SHALL COORDINATE SWITCHES AND INSTALLATION WITH MECHANICAL SUB.

16. GC WILL DETERMINE ELECTRICAL REQUIREMENTS FOR ALL MECHANICAL AND POOL SYSTEMS ACCORDING TO MANUFACTURERS SPECIFICATION IN ADVANCE AND COORDINATE WITH ELECTRICAL SUB. NOTE THAT REQUIRED ELECTRICAL SUPPLY FOR THESE SYSTEMS IS NOT SHOWN ON THESE DRAWINGS.

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88 SPRING STREET - ATTIC RENO

88 SPRING STREET,
CAMBRIDGE, MA 02141

MR. ALEX RAPP

ARCHITECT:



ARCHITECTURE
RESIDENTIAL DESIGN
PLANNING
INTERIOR DESIGN

SALEM, MA 01970
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TEL: 978.498.4370
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CEL: 774.317.0491

CONSULTANT:

CONSULTANT:

REVISION:

NO:	DATE:	DESCRIPTION:
1	04.11.2022	PERMIT SET

DRAWING TITLE:

FINISH & COORDINATION PLANS

DRAWN BY:

JP

CHECKED BY:

MS

SCALE:

As indicated

DATE:

04.11.2022

PROJECT NO.:

22048

DRAWING NO.:

A-800

PROJECT LOCATION:

\\flow\Projects\Architecture\2022\22048 88 SPRING STREET - CAMBRIDGE - ATTIC RENO\A_Rev0\22048 88 SPRING ST, CAMBRIDGE - ATTIC RENO.rvt

SEAL:



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88 SPRING STREET,
CAMBRIDGE, MA 02141

ARCHITECT:

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50 GROVE ST. SUITE 226
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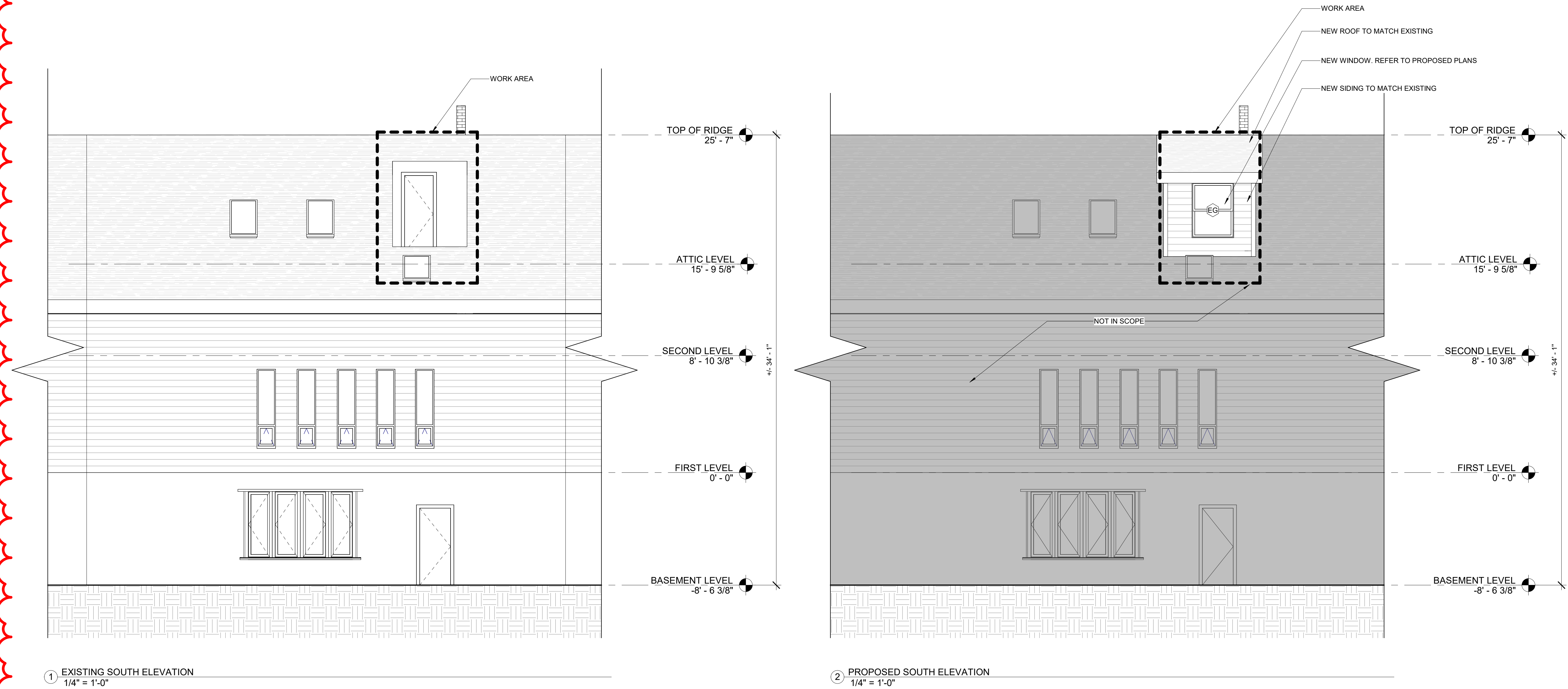
CONSULTANT:

[illegible]

DRAWN BY: JP	SEAL:
CHECKED BY: MS	
SCALE: 1/4" = 1'-0"	
DATE: 06/24/22	
PROJECT NO.: 22048	

A-200

PROJECT LOCATION:
\\flow\Projects\Architecture\2022\22048 88 SPRING STREET, CAMBRIDGE - ATTIC
RENO\A_Revit\22048 88 SPRING ST, CAMBRIDGE - ATTIC RENO.rvt



88 Spring Street FRONT



88 Spring Street REAR



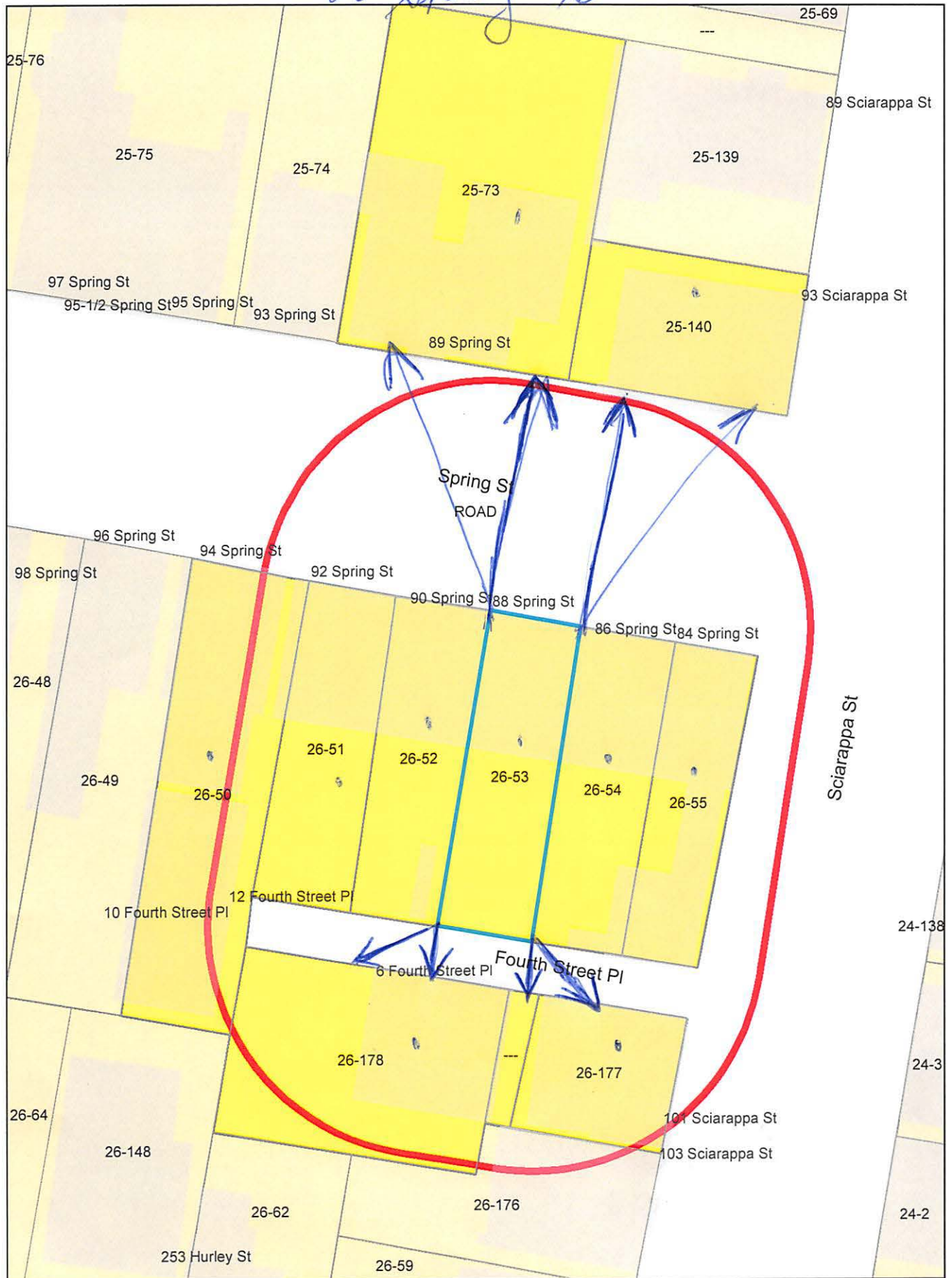
88 Spring Street CLOSE UP OF CARVED OUT ROOF DECK



Neighboring houses dormer examples



88 Spring St.



88 Spring St.

Petitioner

26-177
HAUNG, QIAN
101 SCIARAPPA ST., #3
CAMBRIDGE, MA 02141

26-54
WHITING, JUDITH RANDOLPH
86 SPRING STREET
CAMBRIDGE, MA 02141-1742

26-53
CHRISTOPHER, SARAH A. & ALEXANDER M. RAPP
88 SPRING ST
CAMBRIDGE, MA 02139

26-52
PAUL, JOHN E.
90 SPRING ST
CAMBRIDGE, MA 02139

26-55
CAVANAUGH, CATHERINE
84 SPRING ST
CAMBRIDGE, MA 02141-1742

26-177
DAVIS, DERRICK A. & MARK C. DAVIS
TRS. DAVIS FAMILY TRUST
101 SCIARAPPA ST., UNIT #1
CAMBRIDGE, MA 02141

26-178
WYNER, ROBERT H.
6 FOURTH STREET PL., #1
CAMBRIDGE, MA 02141

26-177
CAHILL, MICHAEL A.
101 SCIARAPPA ST., UNIT #2
CAMBRIDGE, MA 02141

25-73
ZHANG, HUANLING & RUWEN GAO
89 SPRING ST
CAMBRIDGE, MA 02141

26-50
TAURO, WALTER J. JR.
17 WESTWARD CIRCLE
NORTH READING, MA 01864

25-140
DION, ALYSSA R. & MICHAEL K. RODNING
13 DONIZETTI ST
WELLESLEY, MA 02482

25-140
HOWARD, BRIAN
81 KIRKLAND ST. APT 2
CAMBRIDGE, MA 02138

25-140
HEALY, ETHAN
93 SCIARAPPA ST., #2
CAMBRIDGE, MA 02141

26-178
WELLS, KATHRYN LEVITT,
TRUSTEE THE NORTON ROAD NOM TRUST
6 FOURTH STREET PL UNIT 3
CAMBRIDGE, MA 02141

26-51
OKOLO UNOMA
92 SPRING ST
CAMBRIDGE, MA 02141

26-178
MAGGINI, ELIO A JACQUELINE H. MAGGINI
15 DOUGLASS ST
CAMBRIDGE, MA 02139



CAMBRIDGE CITY COUNCIL

Alanna Mallon
Vice-Mayor

August 4, 2022

Constantine Alexander, Chair
Board of Zoning Appeals
831 Massachusetts Ave.
Cambridge, MA 02139

Re: Case No. BZA 182043-2022
88 Spring Street, Cambridge, MA 02138

Dear Chairman Alexander,

Please accept this letter of strong support for case no.182043-2022. Homeowners Alex Rapp and Sarah Christopher wish to enclose their current attic space with a dormer, and restore the space to its original floor plan to better accommodate their family. Sarah and Alex have been longtime residents of Cambridge, active community members in their neighborhood, and involved as parents with a child in Cambridge Public Schools.

Sarah and Alex have received approval from their neighbors, and gone through the necessary channels to make sure this dormer renovation does not negatively impact their direct abutters. Please grant this variance to Sarah and Alex so they can modify their home to fit their family, and add invaluable square footage to their family home.

Thank you,

A handwritten signature in black ink, appearing to read "Alanna Mallon", written in a cursive style.

Alanna Mallon
Vice Mayor



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2 Bds

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Alexander Rapp Date: 7/27/2022
(Print)

Address: 88 Spring St.

Case No. BZA-182043

Hearing Date: 8/18/22

Thank you,
Bza Members