



# CITY OF CAMBRIDGE

## BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 NOV -2 PM 12:13  
OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

### BZA Application Form

**BZA Number:** 200776

### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: \_\_\_\_\_

Variance:   X  

Appeal: \_\_\_\_\_

**PETITIONER:** Talanoa Lesatele C/O Lesatele LLC

**PETITIONER'S ADDRESS:** 10 Oak St., Cambridge, MA 02139

**LOCATION OF PROPERTY:** 89 Third St., Cambridge, MA

**TYPE OF OCCUPANCY:** Two-Family Residence

**ZONING DISTRICT:** Residence C-1 Zone

### **REASON FOR PETITION:**

/Petition to allow the addition of a composite wood over an existing EPDM roof and powder coated steel guardrails. Relief is needed as this roof deck encroaches into the existing side yard setback./

### **DESCRIPTION OF PETITIONER'S PROPOSAL:**

The proposed work requiring relief is to allow the addition of a composite wood over an existing EPDM roof and powder coated steel guardrails. Relief is needed as this roof deck encroaches into the existing side yard setback. The guardrail will not be solid but will be see through, comprising of vertical powder coated steel pickets. The increase in the net building volume for adding both the composite wood deck and steel guardrail will be less than 1% of the total building volume, which is in accordance with the maximum allowed change in volume of 25% or less as stated in 8.22.2.c. & 8.22.1 g

The gross floor area is NOT affected and as allowed per 8.22.2 is not further in violation of the dimensional requirements of Article 5.000 or the off street parking and loading requirements in Article 6.000.

### **SECTIONS OF ZONING ORDINANCE CITED:**

Article: 5.000      Section: 5.31 (Table of Dimensional Requirements).

Article: 8.000      Section: 8.22.2.C (Non-Conforming)

Article: 10.000      Section: 10.30 (Variance).

Original  
Signature(s):

(Petitioner (s) / Owner)

TALANOA LESATELE

(Print Name)

Address: 10 OAK ST. CAMBRIDGE, MA 02139  
 Tel. No. 617-800-3403  
 E-Mail Address: talanoa@lesatele.com

Date: 11/01/2022

## **BZA Application Form**

### **DIMENSIONAL INFORMATION**

**Applicant:** Talanoa Lesatele  
**Location:** 89 Third St., Cambridge, MA  
**Phone:** 617-800-3403

**Present Use/Occupancy:** Two-Family Residence  
**Zone:** Residence C-1 Zone  
**Requested Use/Occupancy:** Single-Family Residence

		<b><u>Existing Conditions</u></b>	<b><u>Requested Conditions</u></b>	<b><u>Ordinance Requirements</u></b>	
<b><u>TOTAL GROSS FLOOR AREA:</u></b>		2225	NO CHANGE	1500	(max.)
<b><u>LOT AREA:</u></b>		1600	NO CHANGE	5000	(min.)
<b><u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u></b>		1.39	NO CHANGE	0.75	
<b><u>LOT AREA OF EACH DWELLING UNIT</u></b>		1600	no change	1500	
<b><u>SIZE OF LOT:</u></b>	WIDTH	20 ft	NO CHANGE	50 ft	
	DEPTH	80 ft	NO CHANGE	100 ft	
<b><u>SETBACKS IN FEET:</u></b>	FRONT	9 ft	NO CHANGE	4 ft	
	REAR	18 ft	NO CHANGE	4 ft	
	LEFT SIDE	0 ft at Party Wall & Roof Deck	NO CHANGE	5 ft	
	RIGHT SIDE	0 ft at Party Wall / 9.66 ft at Roof Deck	NO CHANGE	5 ft	
<b><u>SIZE OF BUILDING:</u></b>	HEIGHT	40.3 ft	NO CHANGE	35 ft	
	WIDTH	37 ft at Main Building / 16 ft at Single Story Extension	NO CHANGE	N/A	
	LENGTH	20 ft	NO CHANGE	N/A	
<b><u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u></b>		0.33	NO CHANGE	0.30	
<b><u>NO. OF DWELLING UNITS:</u></b>		2	1	3 (Max)	
<b><u>NO. OF PARKING SPACES:</u></b>		0	NO CHANGE	1	
<b><u>NO. OF LOADING AREAS:</u></b>		0	NO CHANGE	N/A	
<b><u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u></b>		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

**To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.**


I/We Talanoa Lesatele (Owner of Cambridge Brown Stone LLC)  
(OWNER)

Address: 10 Oak Street, Cambridge, MA 02139

State that I/We own the property located at 89 Third Street, Cambridge, MA 02141,  
which is the subject of this zoning application.

The record title of this property is in the name of Cambridge Brown Stone LLC

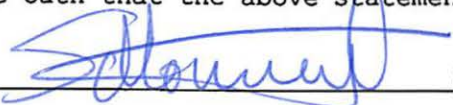
\*Pursuant to a deed of duly recorded in the date 06/15/2022, Middlesex South  
County Registry of Deeds at Book 80284, Page 400; or  
Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_.

  
\_\_\_\_\_  
SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

**\*Written evidence of Agent's standing to represent petitioner may be requested.**

-----  
Commonwealth of Massachusetts, County of Middlesex

The above-name Talanoa Lesatele personally appeared before me,  
this 31 of October, 2022, and made oath that the above statement is true.

  
\_\_\_\_\_  
Notary

My commission expires October 26, 2023 (Notary Seal).



**SALOME Y. MALONEY**  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires  
October 26, 2023

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A VARIANCE**

**EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.**

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:
- The property is narrow at 20 feet wide, and applying the required 7'-6" side yard setbacks from both sides would only leave 5 feet in the middle, allowing almost no room for the requested decking and guardrails.
- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:
- In addition to the narrow property, the existing main building on the property is a row house with zero lot line sides and the one story accessory structure with the existing roof deck has one zero lot line side. This configuration is typical for all abutting properties within the same building complex.
- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**
- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:
- The proposed roof deck will not be detrimental to the public good and the neighbors. However, it would enhance the neighborhood by mimicking the majority of existing abutters' roof decks and will be much more desirable than the existing bare loosing EPDM roof.
- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:
- The proposed deck and guardrail is not a substantial change because it will be added over the existing EPDM roof rather than on a newly constructed roof.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**



**To: Cambridge Board of Zoning Appeal**

**From: Marie and Betty Saccoccio, lifelong residents and owners of 55 Otis Street**

**Re: Support for Variance sought by owners of 89 Third Street, BZA No. 200776**

**Dear Chair and Members of the Board of Zoning Appeal:**

**We have reviewed the plans submitted and the request for a variance. Given the unique width of these identical plots in this historic row house, the variance is both needed and desirable from a visual perspective. Every other house in this row has a back deck. I suspect justifications for past variances were granted based on the same criteria. We are situated within ear shot and eye shot of this row and have never been bothered by noise or visual intrusion. We are happy to see this home is being restored and hope for an eventual viewing. We knew the prior owners well and are pleased to see the wrought iron banisters on the front of the house are being preserved since the prior owner was an ironsmith and made those himself. Also notable, the bushes in the front yard came from cuttings from the ancestral home in Italy.**

**Marie Elena and Betty Lee Saccoccio**

**55 Otis Street**

**Cambridge, MA 02141**



# City of Cambridge

MASSACHUSETTS

## BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

### BZA

### POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: TALANOA USATELE Date: 11/10/2022  
(Print)

Address: 89 Third St.

Case No. BZA-200776

Hearing Date: 12/1/22

Thank you,  
Bza Members



PROJECT NARRATIVE

EXISTING ROOF DECK OVER REAR BUILDING ONE STORY EXTENSION.

REQUESTING RELIEF TO ADD:

- A COMPOSITE WOOD DECK ON SLEEPERS OVER EXISTING EPDM ROOF DECK
- NEW POWDERCOATED STEEL RAILING TO MIMIC ABUTTERING ROOF DECK GUARDRAILS.

PROPERTY & BUILDING DATA

PROPERTY INFORMATION

	EXISTING	PROPOSED
Property Class	TWO-FAMILY RESIDENCE	SINGLE FAMILY RESIDENCE
Style	Row	
State Class Code	104	
Zoning (Unofficial)	Res. C-1	
Map/Lot	24-83	
Land Area (sq. ft.)	1,600	
Lot Width	20'	
Lot Depth	80'	

DIMENSIONL REQUIREMENTS

	ORDINACE REQUIREMENTS	EXISTING
FAR	0.75	1.39
Minimum Lot Area	5,000 SF	1,600 SF
Minimum Lot Area per Dwelling Unit	1,500 SF	1,600 SF
Minimum Lot Width	50'	20'
Front Yard Setback	H+L (a) 4'	9'
Side Yard Setback	H+L (b) 5'	9.66' (North) / 0' (South)
Rear Yard Setback	H+L (c) 4'	18'
Building Height	35'	40.3'
Min. Private Open Space Percentage	30%	33 %

- (a) Measured from the centerline of the street, but in no case may a building be nearer the street than ten (10) feet.
- (b) In a Residence C-1 District, no building plane (excluding projections as permitted by Section 5.24.2) may be nearer than seven feet, six inches (7'6") to a side lot line.
- (c) In Residence C and C-1 districts, no building may be nearer the rear lot line than twenty (20) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds 100 feet, up to a maximum of thirty (30) feet.

PRIVATE OPEN SPACE

PRIVATE OPEN SPACE - EXISTING		
PERMEABLE	531 SF	84 %
NON-PERMEABLE	100 SF	16 %
	631 SF	

RATIO OF PRIVATE <u>PERMEABLE</u> OPEN SPACE TO LOT AREA	33 %
--	------

PRIVATE OPEN SPACE - PROPOSED		
PERMEABLE	531 SF	84 %
NON-PERMEABLE	100 SF	16 %
	631 SF	

RATIO OF PRIVATE <u>PERMEABLE</u> OPEN SPACE TO LOT AREA	33 %
--	------

BUILDING INFORMATION

	EXISTING	PROPOSED
Number of Stories	3	
Year Built	1861	
Open Parking Spaces	0	0

BUILDING AREAS

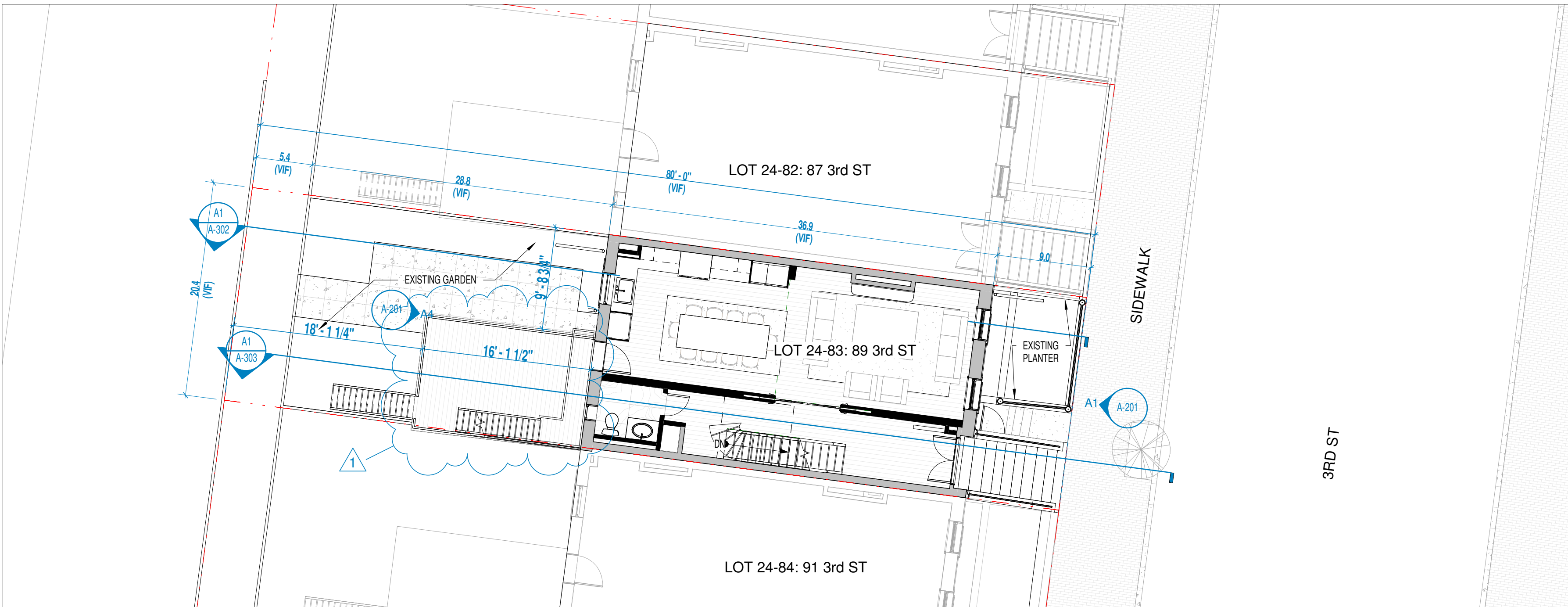
EXISTING GROSS FLOOR AREA	
FIRST FLOOR	740 SF
SECOND FLOOR	744 SF
THRID FLOOR	741 SF
TOTAL	2,225 SF

PROPOSED GROSS FLOOR AREA	
FIRST FLOOR	740 SF
SECOND FLOOR	744 SF
STHRID FLOOR	741 SF
TOTAL	2,225 SF

FLOOR AREA RATIO (FAR)

	GROSS FLOOR AREA	LOT AREA	FAR
EXISTING	2,225 SF	1,600 SF	1.39
PROPOSED	2,225 SF	1,600 SF	1.39

VICINITY MAP:



A1 GENERAL SITE PLAN  
1/8" = 1'-0"

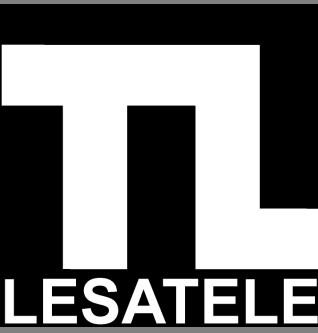
STAMPS



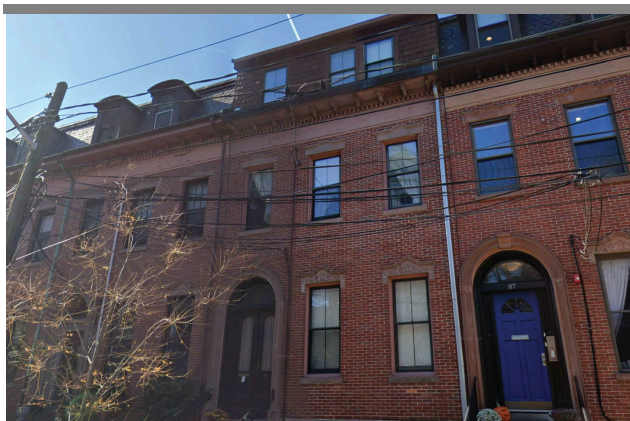
CONSULTANT

TALANOA LESATELE,  
AIA, NCARB, RIBA  
TEL +617-800-3403  
10 Oak St  
Cambridge, MA 02139  
USA

CLIENT



CAMBRIDGE BROWN STONE LLC



89 3rd STREET

RESIDENTIAL - EXISTING  
BUILDING RENOVATION

CAMBRIDGE, MA

ARCHITECTURAL DRAWINGS

"ISSUE FOR"	"DESCRIPTION"
RC REVIEW & COMMENTS	SD SCHEMATIC DESIGN
FA FOR APPROVAL	DD DESIGN DEVELOPMENT
PS PROGRESS SET	CD CONSTRUCTION DOCUMENTS
R FOR RECORD	TD TENDER DOCUMENTS
P PRELIMINARY	

1	9/8/2022	BUILDING PERMIT APPLICATION	FA	TL
REV	DATE	DESCRIPTION	Zoning FOR	TL BY ISSUED

ISSUE 9/8/2022

PROJECT NO. 21-003

PROJECT ARCHITECT TL

C:\Users\talanoa\Documents\21-003 89 3rd ST\_BZA APPLICATION\_Dxbcam.rvt

REVIT FILE

SCALE As indicated

DRAWN BY TL

CHECKED BY TL

MANAGEMENT TL

A-002

SHEET TITLE

GENERAL SITE  
PLAN/PROJECT DATA

PRINTING DATE/TIME

10/27/2022 7:49:08 PM



**C1** BASEMENT FLOOR DEMO PLAN  
1/4" = 1'-0"

**A1 BASEMENT FLOOR PLAN**  
1/4" = 1'-0"

- ## **DEMOLITION NOTES**
1. SEE DEMOLITION SPECIFICATIONS ON SHEET A0-100 FOR DEMOLITION SPECIFICATIONS.
  2. AS A HISTORIC STRUCTURE, SPECIAL CARE SHOULD BE EXERCISED THROUGHOUT THE DEMOLITION PROCESS. SUPPLEMENTARY TO THE DEMOLITION DRAWINGS, CONTRACTOR MUST SET UP A WALK-THROUGH COORDINATION MEETINGS WITH ARCHITECT AT THE PROPERTY TO SPECIFICALLY INDICATE WHAT TO BE DEMOLISHED AND WHAT TO BE PRESERVED.
  3. REMOVE EXISTING PLUMBING FIXTURES TURNING OVER ANY SALVAGED FIXTURES TO OWNER AS INDICATED ON PLANS. CALL ALL CONNECTIONS IN ACCORDANCE WITH LOCAL CODES AND AS DESCRIBED IN DEMOLITION SPECIFICATIONS.
  4. REMOVE EXISTING APPLIANCES. CALL OFF GAS PIPING OR PLUMBING AS REQ'D.
  5. REMOVE EXISTING CABINETRY AND BUILT-IN CASEWORK AS INDICATED ON DRAWINGS.
  6. REMOVE EXISTING HVAC GRILLES, DUCTWORK, RADIATORS AND BASEBOARD HEATERS.
  7. REMOVE EXISTING MEP EQUIPMENT (FURNACES, WATER HEATERS, ETC.).
  8. REMOVE EXISTING ELECTRICAL RECEPTACLES, LIGHT FIXTURES & WIRING. PROVIDE TEMPORARY POWER AS REQ'D.
  9. DASHED LINES INDICATE ITEMS TO BE REMOVED.

STAMPS

**CONSULTANT**

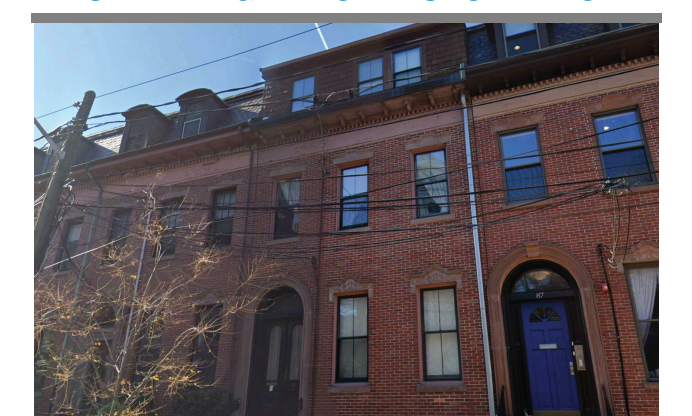
**TALANOA LESATELE,**  
**AIA, NCARB, RIBA**

TEL +617-800-3403  
10 Oak St  
Cambridge, MA 02139  
USA

**CLIENT**



**LESATELE**



**89 3rd STREET**

## RESIDENTIAL - EXISTING BUILDING RENOVATION

CAMBRIDGE, MA

<u>"ISSUE FOR"</u>		<u>"DESCRIPTION"</u>	
RC	REVIEW & COMMENTS	SD	SCHEMATIC DESIGN
FA	FOR APPROVAL	DD	DESIGN DEVELOPMENT
PS	PROGRESS SET	CD	CONSTRUCTION
R	FOR RECORD		DOCUMENTS
P	PRELIMINARY	TD	TENDER DOCUMENTS

1	9/8/2022	BUILDING PERMIT APPLICATION	FA	T/L
REV.	DATE	DESCRIPTION	FOR ISSUED	BY

ISSUE	09/03/22
PROJECT NO.	21 - 003
PROJECT ARCHITECT	TL
	C:\Users\tslan\Documents\21-003 B9 3rd St. SZA APPLICATION_Dxbcam.rvt
REVIT FILE	
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
MANAGEMENT	TL

**WALL LEGEND:**

EXISTING WALLS TO REMAIN AND BE REPAIRED  
AS REQUIRED WITH 1/2" PTD. GYP. BRD.  
(ALTERNATIVELY, DEMO PLASTER AND LATH  
TO BE REPLACED WITH 5/8" PTD. GYP. BRD.)

PTD. 5/8" GYP. BRD. OVER 2 x 4 WOOD STUDS @ 16" CENTER WITH  
SOUND ATTENUATING INSULATION AND THERMAL INSULATION  
ON EXTERIOR WALLS PER RII DING CODE

EXISTING WALLS TO BE REMOVED.  
(CONTRACTOR TO PROVIDE SHORING, SUPPORT,  
AND BRACING AS REQUIRED)

PROVIDE FURRING AS REQUIRED FOR NEW INFILL WALLS  
TO FLUSH AND MATCH WITH EXISTING ADJOINING WALLS

**WALL FINISHES:**

PAINTED 1/2" or 5/8" GYPSUM BOARD  
NOTES:  
1. MOISTURE RESISTANT GYPSUM BOARD IN WET AREAS AND BASEMENT.  
2. SEE INTERIOR ELEVATIONS FOR OTHER WALL FINISH MATERIAL VARIATIONS

**INSULATION:**

- INSTALL BLOW IN INSULATION IN ALL EXISTING EXTERIOR WALLS TO REMAIN U.O.N.

**DIMENSIONS:**

ALL DIMENSIONS MEASURED TO AND FROM FINISHES  
U.O.N.

## A-100

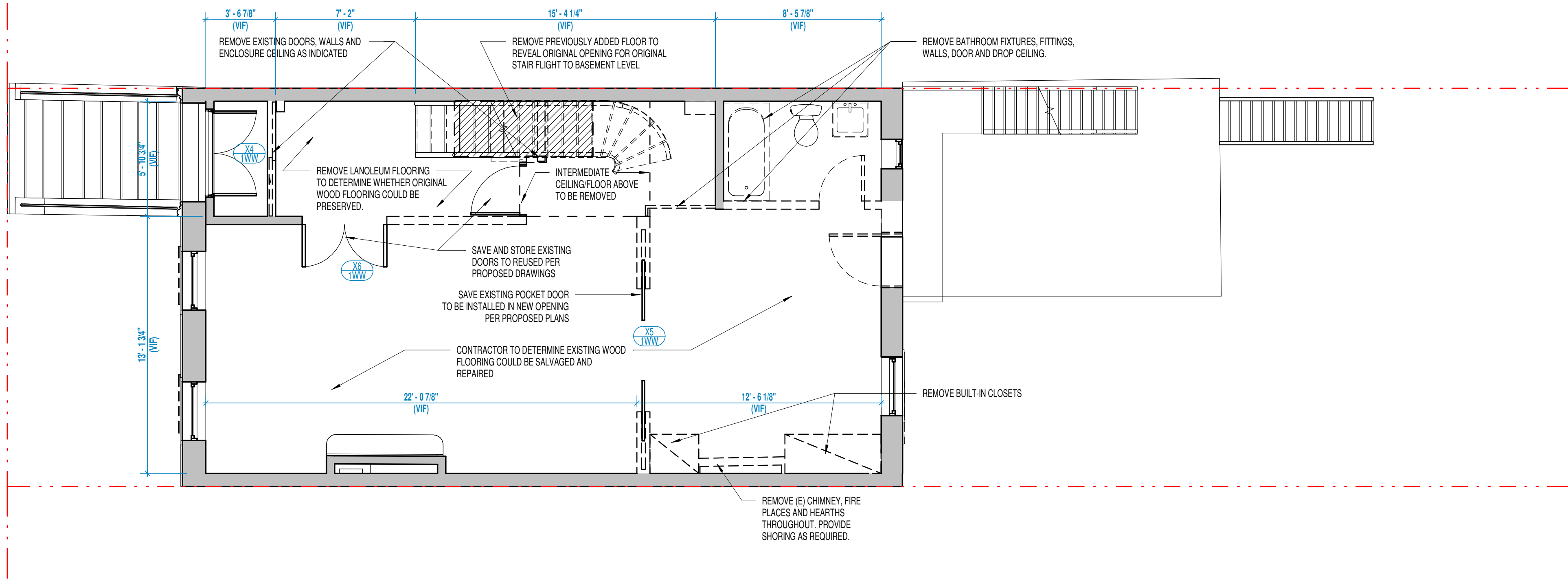
SHEET TITLE

## FLOOR PLANS 1

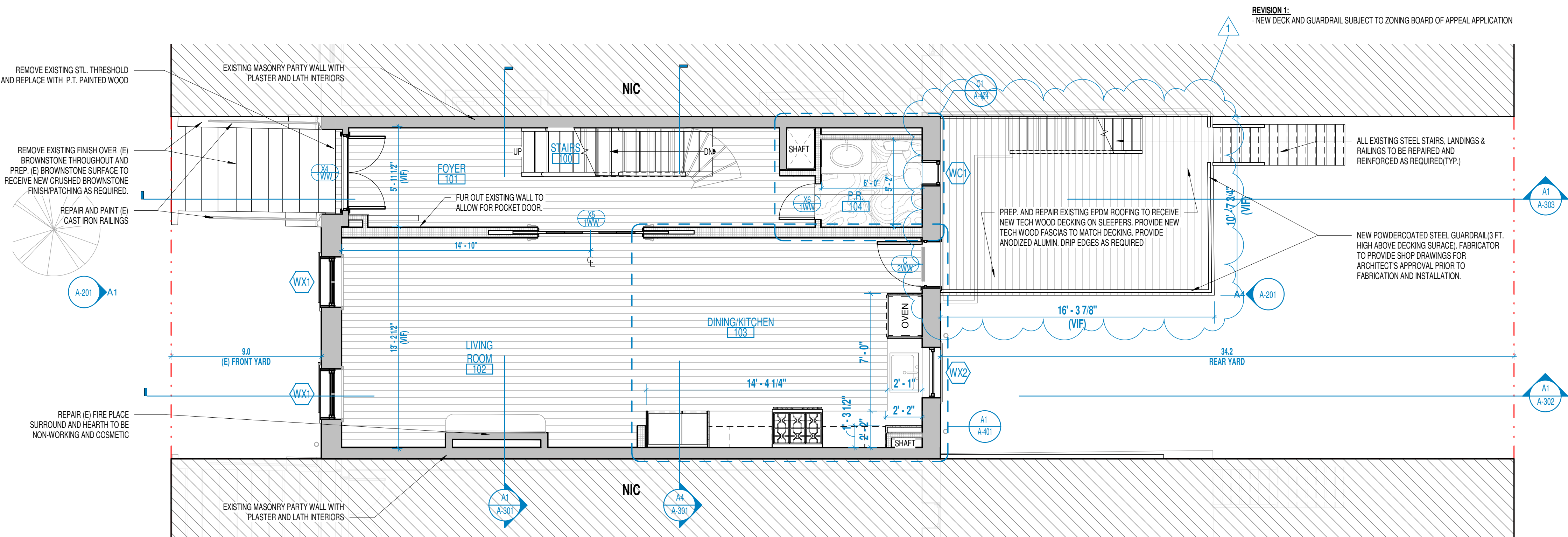
PRINTING DATE/TIME 10/27/2022 7:49:08 PM



**STAIR DEMOLITION NOTES:**  
REMOVE LANOLEUM AND OTHER STAIR RUNNERS ON RISERS AND TREADS TO EXPOSE ORIGINAL WOOD TO BE PRESERVED AND REPAIRED AS REQUIRED. REMOVE WALL PAPER WAINSCOTING AND PREP PLASTER & LATHE WALLS AROUND STAIRS TO BE PRESERVED AND REPAIRED AS REQUIRED.



**C1 1ST. FLOOR DEMO PLAN**  
1/4" = 1'-0"



**A1 1ST. FLOOR PLAN**  
1/4" = 1'-0"

**DEMOLITION NOTES**

1. SEE DEMOLITION SPECIFICATIONS ON SHEET AD-100 FOR DEMOLITION SPECIFICATIONS.
2. AS A HISTORIC STRUCTURE, SPECIAL CARE SHOULD BE EXERCISED THROUGHOUT THE DEMOLITION PROCESS. SUPPLEMENTARY TO THE DEMOLITION DRAWINGS, CONTRACTOR MUST SETUP A WALK-THROUGH COORDINATION MEETING WITH ARCHITECT AT THE PROPERTY TO SPECIFICALLY INDICATE WHAT TO BE DEMOLISHED AND WHAT TO BE PRESERVED.
3. REMOVE EXISTING PLUMBING FIXTURES TURNING OVER ANY SALVAGED FIXTURES TO OWNER AS INDICATED ON PLANS. CAP ALL CONNECTIONS IN ACCORDANCE WITH LOCAL CODES AND AS DESCRIBED IN DEMOLITION SPECIFICATIONS.
4. REMOVE EXISTING APPLIANCES. CAP OFF GAS PIPING OR PLUMBING AS REQD.
5. REMOVE EXISTING CABINETRY AND BUILT-IN CASEWORK AS INDICATED ON DRAWINGS.
6. REMOVE EXISTING HVAC GRILLES, DUCTWORK, RADIATORS AND BASEBOARD HEATERS.
7. REMOVE EXISTING MEP EQUIPMENT (FURNACES, WATER HEATERS, ETC.).
8. REMOVE EXISTING ELECTRICAL RECEPTALS, LIGHT FIXTURES & WIRING. PROVIDE TEMPORARY POWER AS REQD.
9. DASHED LINES INDICATE ITEMS TO BE REMOVED.

**WALL LEGEND:**

- EXISTING WALLS TO REMAIN AND BE REPAIRED AS REQUIRED WITH 1/2" PTD. GYP. BRD. (ALTERNATIVELY, DEMO PLASTER AND LATH TO BE REPLACED WITH 5/8" PTD. GYP. BRD.)
- PTD. 5/8" GYP. BRD. OVER 2 x 4 WOOD STUDS @ 16" CENTER WITH SOUND ATTENUATING INSULATION AND THERMAL INSULATION ON EXTERIOR WALLS PER BUILDING CODE
- EXISTING WALLS TO BE REMOVED. (CONTRACTOR TO PROVIDE SHORING, SUPPORT, AND BRACING AS REQUIRED)

**WALL FINISHES:**

PAINTED 1/2" or 5/8" GYPSUM BOARD  
NOTES:  
1. MOISTURE RESISTANT GYPSUM BOARD IN WET AREAS AND BASEMENT.  
2. SEE INTERIOR ELEVATIONS FOR OTHER WALL FINISH MATERIAL VARIATIONS

**INSULATION:**

- INSTALL BLOW IN INSULATION IN ALL EXISTING EXTERIOR WALLS TO REMAIN U.O.N.

**DIMENSIONS:**

ALL DIMENSIONS MEASURED TO AND FROM FINISHES U.O.N.

**STAMPS**



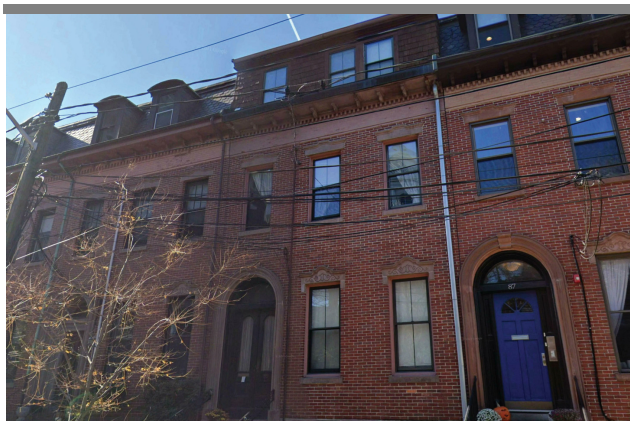
**CONSULTANT**

**TALANOA LESATELE,**  
AIA, NCARB, RIBA  
TEL +617-800-3403  
10 Oak St  
Cambridge, MA 02139  
USA



**CLIENT**

**CAMBRIDGE BROWN STONE LLC**



**89 3rd STREET**

**RESIDENTIAL - EXISTING  
BUILDING RENOVATION**

**CAMBRIDGE, MA**

**ARCHITECTURAL DRAWINGS**

"ISSUE FOR"		"DESCRIPTION"	
RC	REVIEW & COMMENTS	SD	SCHEMATIC DESIGN
FA	FOR APPROVAL	DD	DESIGN DEVELOPMENT
PS	PROGRESS SET	CD	CONSTRUCTION DOCUMENTS
R	FOR RECORD		
P	PRELIMINARY	TD	TENDER DOCUMENTS

1	9/8/2022	BUILDING PERMIT APPLICATION	FA	TL
REV	DATE	DESCRIPTION	Zoning FOR	TL BY ISSUED

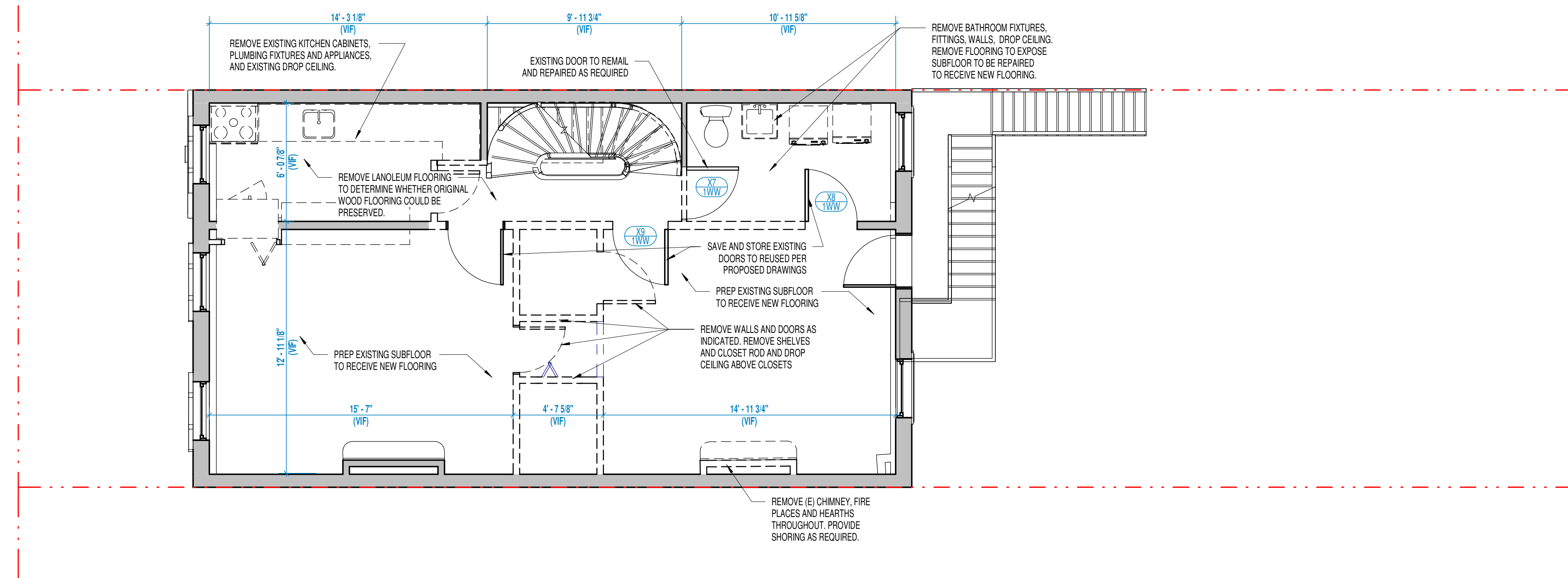
ISSUE	9/8/2022
PROJECT NO.	21-003
PROJECT ARCHITECT	TL
REVISIT FILE	C:\Users\talanoa\Documents\21-003 89 3rd ST_B2A APPLICATION_Dbscam.rvt
SCALE	As indicated
DRAWN BY	TL
CHECKED BY	TL
MANAGEMENT	TL

**A-101**

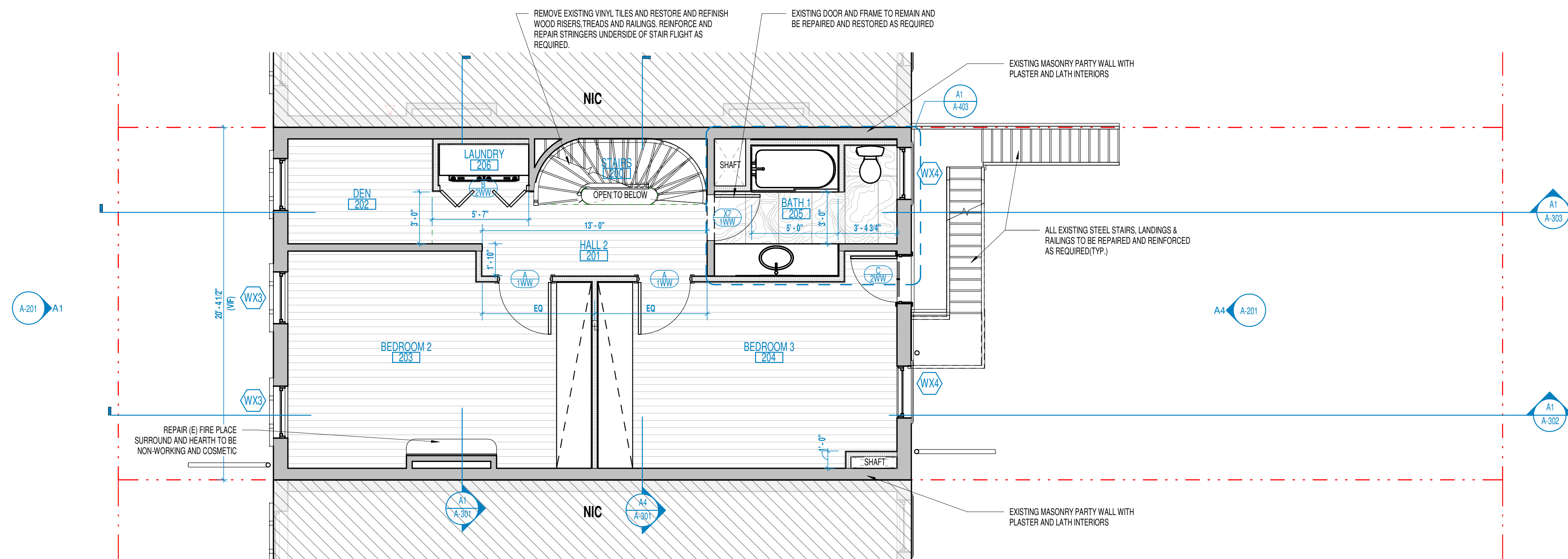
**SHEET TITLE**

**FLOOR PLANS 2**





C1 2ND. FLOOR DEMO PLAN  
1/4" = 1'-0"



**A1** 2ND. FLOOR PLAN  
1/4" = 1'-0"

### DEMOLITION NOTES

1. SEE DEMOLITION SPECIFICATIONS ON SHEET AD-100 FOR DEMOLITION SPECIFICATIONS.
2. AS A HISTORIC STRUCTURE, SPECIAL CARE SHOULD BE EXERCISED THROUGHOUT THE DEMOLITION PROCESS. SUPPLEMENTARY TO THE DEMOLITION DRAWINGS, CONTRACTOR MUST SETUP A WALK-THROUGH COORDINATION MEETING WITH ARCHITECT AT THE PROPERTY TO SPECIFICALLY INDICATE WHAT IS TO BE DEMOLISHED AND WHAT IS TO BE PRESERVED.
3. REMOVE EXISTING PLUMBING FIXTURES TURNING OVER ANY SALVAGED FIXTURES TO OWNER AS INDICATED ON PLANS. CAP ALL CONNECTIONS IN ACCORDANCE WITH LOCAL CODES AND AS DESCRIBED IN DEMOLITION SPECIFICATIONS.
4. REMOVE EXISTING APPLIANCES, CAP OFF GAS PIPING OR PLUMBING AS REQD.
5. REMOVE EXISTING CABINETRY AND BUILT-IN CASEWORK AS INDICATED ON DRAWINGS.
6. REMOVE EXISTING HVAC GRILLES, DUCTWORK, RADIATORS AND BASEBOARD HEATERS.
7. REMOVE EXISTING MEP EQUIPMENT (FURNACES, WATER HEATERS, ETC.).
8. REMOVE EXISTING ELECTRICAL RECEPTALS, LIGHT FIXTURES & WIRING. PROVIDE TEMPORARY POWER AS REQD.
9. DASHED LINES INDICATE ITEMS TO BE REMOVED.



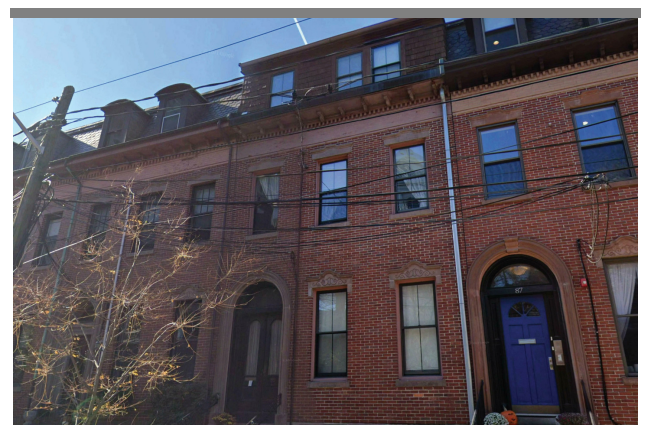
CONSULTANT

**TALANOA LESATELE,  
AIA, NCARB, RIBA**  
TEL +617-800-3403  
10 Oak St  
Cambridge, MA 02139  
USA



**CLIENT**

CAMBRIDGE BROWN STONE LLC



89 3rd STREET

## RESIDENTIAL - EXISTING BUILDING RENOVATION

CAMBRIDGE, MA

## ARCHITECTURAL DRAWINGS

<u>"ISSUE FOR"</u>		<u>"DESCRIPTION"</u>	
RC	REVIEW & COMMENTS	SD	SCHEMATIC DESIGN
FA	FOR APPROVAL	DD	DESIGN DEVELOPMENT
PS	PROGRESS SET	CD	CONSTRUCTION
R	FOR RECORD		DOCUMENTS
P	PRELIMINARY	TD	TENDER DOCUMENTS

1	9/8/2022	BUILDING PERMIT APPLICATION	FA	TL
REV .	DATE	DESCRIPTION	FOR ISSUED	BY

ISSUE 9/8/2022

PROJECT NO. 21 - 003

PROJECT ARCHITECT TL

C:\Users\talan\Documents\21-003 89  
3rd ST\_BZA  
APPLICATION\_Dxbcam.rvt

REVIT FILE

SCALE As indicated

DRAWN BY TL

CHECKED BY TL

MANAGEMENT TL

**WALL LEGEND:**

EXISTING WALLS TO REMAIN AND BE REPAIRED  
AS REQUIRED WITH 1/2" PTD. GYP. BRD.  
(ALTERNATIVELY, DEMO PLASTER AND LATH  
TO BE REPLACED WITH 5/8" PTD. GYP. BRD.)

PTD. 5/8" GYP. BRD. OVER 2 x 4 WOOD STUDS @ 16" CENTER WITH SOUND ATTENUATING INSULATION AND THERMAL INSULATION ON EXTERIOR WALLS PER BUILDING CODE

 EXISTING WALLS TO BE REMOVED.  
(CONTRACTOR TO PROVIDE SHORING, SUPPORT,  
AND BRACING AS REQUIRED)

PROVIDE FURRING AS REQUIRED FOR NEW INFILL WALLS  
TO FLUSH AND MATCH WITH EXISTING ADJOINING WALLS

**WALL FINISHES:**

PAINTED 1/2" or 5/8" GYPSUM BOARD

**NOTES:**  
1. MOISTURE RESISTANT GYPSUM BOARD IN WET AREAS AND BASEMENT.  
2. SEE INTERIOR ELEVATIONS FOR OTHER WALL FINISH MATERIAL VARIATIONS

INSULATION:

- INSTALL BLOW IN INSULATION IN ALL EXISTING EXTERIOR WALLS TO REMAIN U.O.N.

**DIMENSIONS:**

ALL DIMENSIONS MEASURED TO AND FROM FINISHES  
U.O.N.

A-102

SHEET TITLE

### FLOOR PLANS 3

PRINTING DATE/TIME 10/27/2022 7:49:11 PM

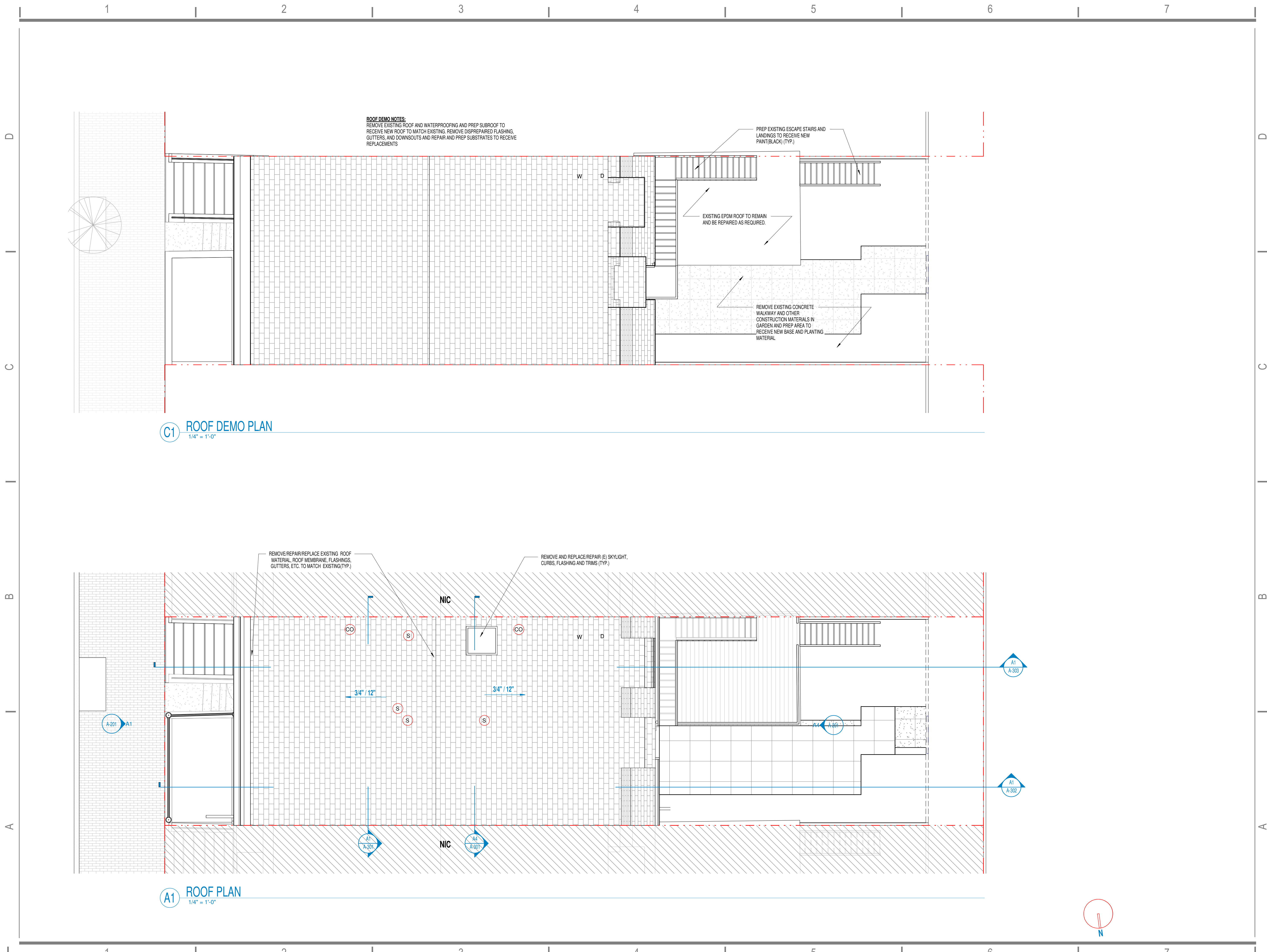


Floor plan details include:

- Rooms and Dimensions:**
  - Master Bedroom (302): 19'-2" x 12'-8 3/8"
  - Hall (301): 3'-5" wide
  - Master Bath (305): 6'-5" x 6'-5"
  - Master Closet (304): 5'-3 5/8" x 12'-8 3/8"
  - WC (307): 3'-0" x 3'-0"
  - Shower (306): 3'-0" x 3'-0"
  - MEP Storage (308): 3'-10" x 6'-5"
  - Linen: 6'-5" x 6'-5"
  - Stairs (309): 7'-7 1/2" x 3'-5"
- Notes:**
  - REPAIR AND CLEAN EXISTING GUTTER AS REQUIRED.
  - EXISTING MASONRY PARTY WALL WITH PLASTER AND LATH INTERIORS.
  - REPLACE (E) ALUMIN. GUTTERS, FLASHINGS, DRIP EDGES AS REQUIRED.
  - NEW ROOF TO MATCH EXISTING(TYP.)
  - ALL EXISTING STEEL STAIRS, LANDINGS & RAILINGS TO BE REPAIRED AND REINFORCED AS REQUIRED(TYP.)
- Other Features:**
  - NIC (Not In Contract)
  - SHAFT
  - OPEN TO BELOW
  - Window types: WX (Wood X-glass), TW (Timber Window), SW (Single Window)
  - Door types: A (Architectural)

PRINTING DATE/TIME 10/27/2022 7:49:12 PM





STAMPS



CONSULTANT

**TALANOA LESATELE,**  
AIA, NCARB, RIBA  
TEL +617-800-3403  
10 Oak St  
Cambridge, MA 02139  
USA

CLIENT



**RESIDENTIAL - EXISTING  
BUILDING RENOVATION**

CAMBRIDGE, MA

**ARCHITECTURAL DRAWINGS**

"ISSUE FOR"	"DESCRIPTION"
RC REVIEW & COMMENTS	SD SCHEMATIC DESIGN
FA FOR APPROVAL	DD DESIGN DEVELOPMENT
PS PROGRESS SET	CD CONSTRUCTION DOCUMENTS
R FOR RECORD	TD TENDER DOCUMENTS
P PRELIMINARY	

REV	DATE	DESCRIPTION	FOR	BY
1	9/8/2022	BUILDING PERMIT APPLICATION	FA	TL

ISSUE	9/8/2022
PROJECT NO.	21-003
PROJECT ARCHITECT	TL
REVIT FILE	C:\Users\talan\Documents\21-003 89 3rd ST_B2A APPLICATION_Dxbcam.rvt
SCALE	As indicated
DRAWN BY	TL
CHECKED BY	TL
MANAGEMENT	TL

**A-104**

SHEET TITLE

**ROOF PLAN**

**NEW ENGLAND LAND SURVEY  
PROFESSIONAL LAND SURVEYORS**



**710 MAIN STREET  
NORTH OXFORD, MA 01537**

**PHONE: (508) 987-0025**

**FAX: (508) 438-6604**

**MORTGAGE INSPECTION PLAN**

**NAME TALANOA LESATELE**

**LOCATION 89 THIRD STREET  
CAMBRIDGE, MA**

**SCALE 1"= 20'**

**DATE 05/18/22**

22MIP06525

BASED UPON DOCUMENTATION PROVIDED, REQUIRED MEASUREMENTS WERE MADE OF THE FRONTAGE AND BUILDING(S) SHOWN ON THIS MORTGAGE INSPECTION PLAN. IN OUR JUDGMENT ALL VISIBLE EASEMENTS ARE SHOWN AND THERE ARE NO VIOLATIONS OF ZONING REQUIREMENTS REGARDING DWELLING STRUCTURES TO PROPERTY LINE OFFSETS (UNLESS OTHERWISE NOTED IN DRAWING BELOW). NOTE: NOT DEFINED ARE ABOVE GROUND POOLS, DRIVEWAYS, OR SHEDS WITH NO FOUNDATIONS, ETC. THIS IS A MORTGAGE INSPECTION PLAN; NOT AN INSTRUMENT SURVEY. DO NOT USE TO ERECT FENCES, OTHER BOUNDARY STRUCTURES, OR TO PLANT SHRUBS. LOCATION OF THE STRUCTURE(S) SHOWN HEREON IS EITHER IN COMPLIANCE WITH LOCAL ZONING FOR PROPERTY LINE OFFSET REQUIREMENTS, OR IS EXEMPT FROM VIOLATION ENFORCEMENT ACTION UNDER MASS. G.L. TITLE VII, CHAP. 40A, SEC. 7, UNLESS OTHERWISE NOTED. THIS CERTIFICATION IS NON-TRANSFERABLE. THE ABOVE CERTIFICATIONS ARE MADE WITH THE PROVISION THAT THE INFORMATION PROVIDED IS ACCURATE AND THAT THE MEASUREMENTS USED ARE ACCURATELY LOCATED IN RELATION TO THE PROPERTY LINES.



**CERTIFY TO: QS LENDING TRUST**

**REGISTRY: SOUTHERN MIDDLESEX**

**DEED REFERENCE: 51988/265**

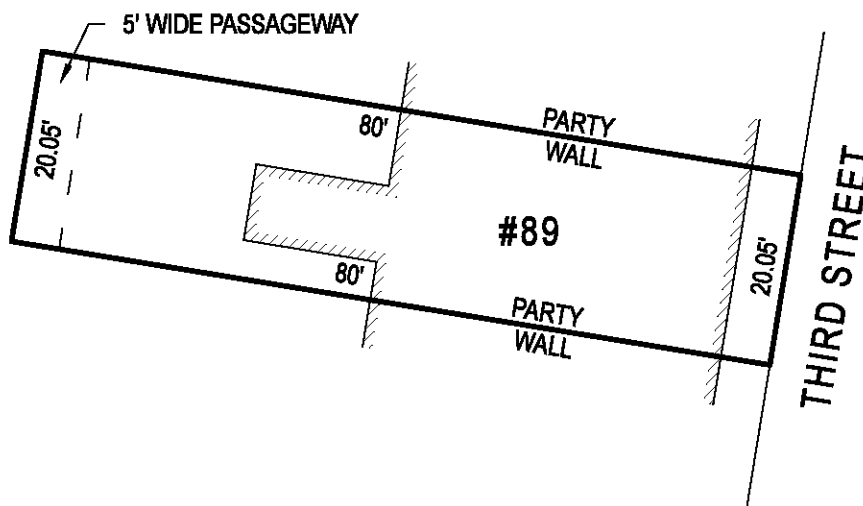
**PLAN REFERENCE: N/A**

WE CERTIFY THAT THE BUILDING(S) ARE NOT WITHIN THE SPECIAL FLOOD HAZARD AREA. SEE FIRM

**25017C0577E**

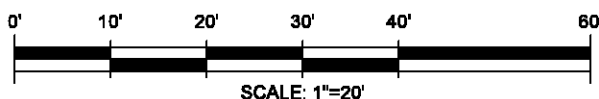
**DTD: 06/04/2010**

FLOOD HAZARD ZONE HAS BEEN DETERMINED BY SCALE AND IS NOT NECESSARILY ACCURATE. UNTIL DEFINITIVE PLANS ARE ISSUED BY HUD AND/OR A VERTICAL CONTROL SURVEY IS PERFORMED, PRECISE ELEVATIONS CANNOT BE DETERMINED.

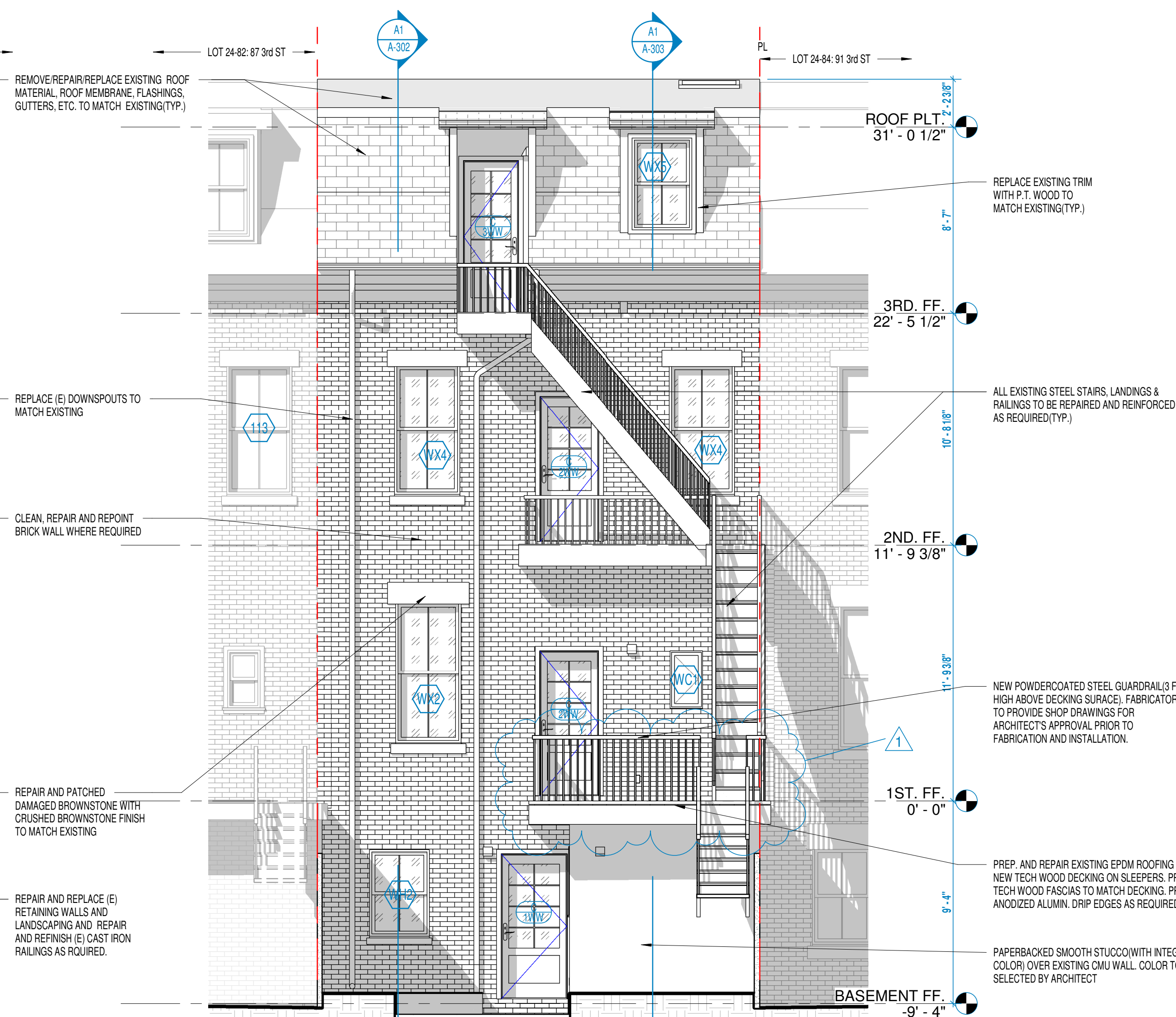
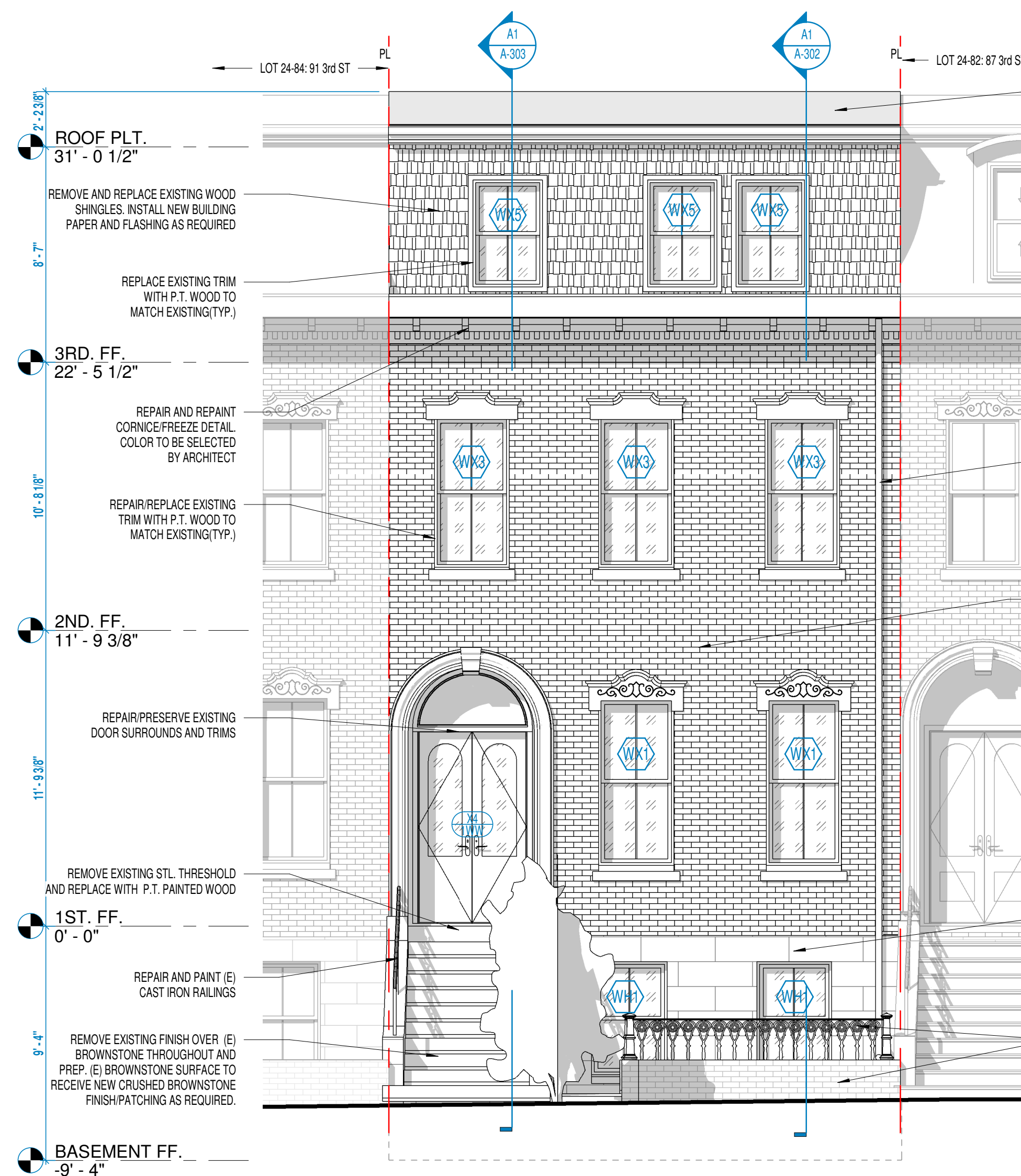


\* NO ACCESS TO REAR OF LOT AT TIME OF INSPECTION.

REQUESTED BY: PRESSMAN & KRUSKAL  
DRAWN BY: CSA  
FIELD BY: BC  
CHECKED BY: GES  
FILE: 22MIP08525







**REVISION 1:**  
- NEW DECK AND GUARDRAIL SUBJECT TO ZONING BOARD OF  
APPEAL APPLICATION

## STAMPS



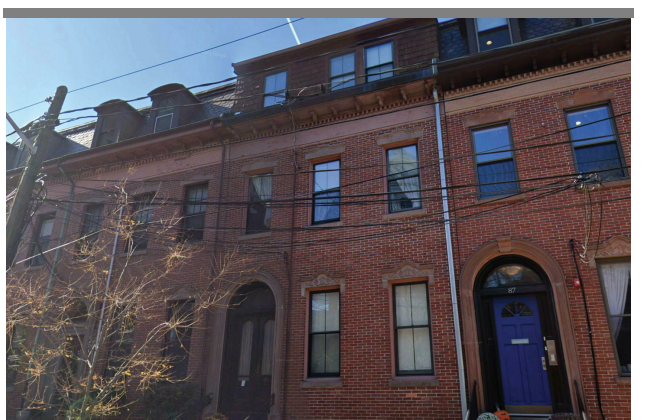
CONSULTANT

**TALANOA LESATELE,  
AIA, NCARB, RIBA**  
TEL +617-800-3403  
10 Oak St  
Cambridge, MA 02139  
USA

CLIENT



CAMBRIDGE BROWN STONE LLC



89 3rd STREET

## RESIDENTIAL - EXISTING BUILDING RENOVATION

CAMBRIDGE, MA

## ARCHITECTURAL DRAWINGS

<u>"ISSUE FOR"</u>		<u>"DESCRIPTION"</u>	
RC	REVIEW & COMMENTS	SD	SCHEMATIC DESIGN
FA	FOR APPROVAL	DD	DESIGN DEVELOPMENT
PS	PROGRESS SET	CD	CONSTRUCTION
R	FOR RECORD		DOCUMENTS
P	PRELIMINARY	TD	TENDER DOCUMENTS

[illegible]

ISSUE	9/8/2022
PROJECT NO.	21 - 003
PROJECT ARCHITECT	TL C:\Users\italani\Documents\21-003 89 3rd ST_BZA APPLICATION_Dxbcam.rvt
REVIT FILE	
SCALE	As indicated
DRAWN BY	TL
CHECKED BY	TL
MANAGEMENT	TL

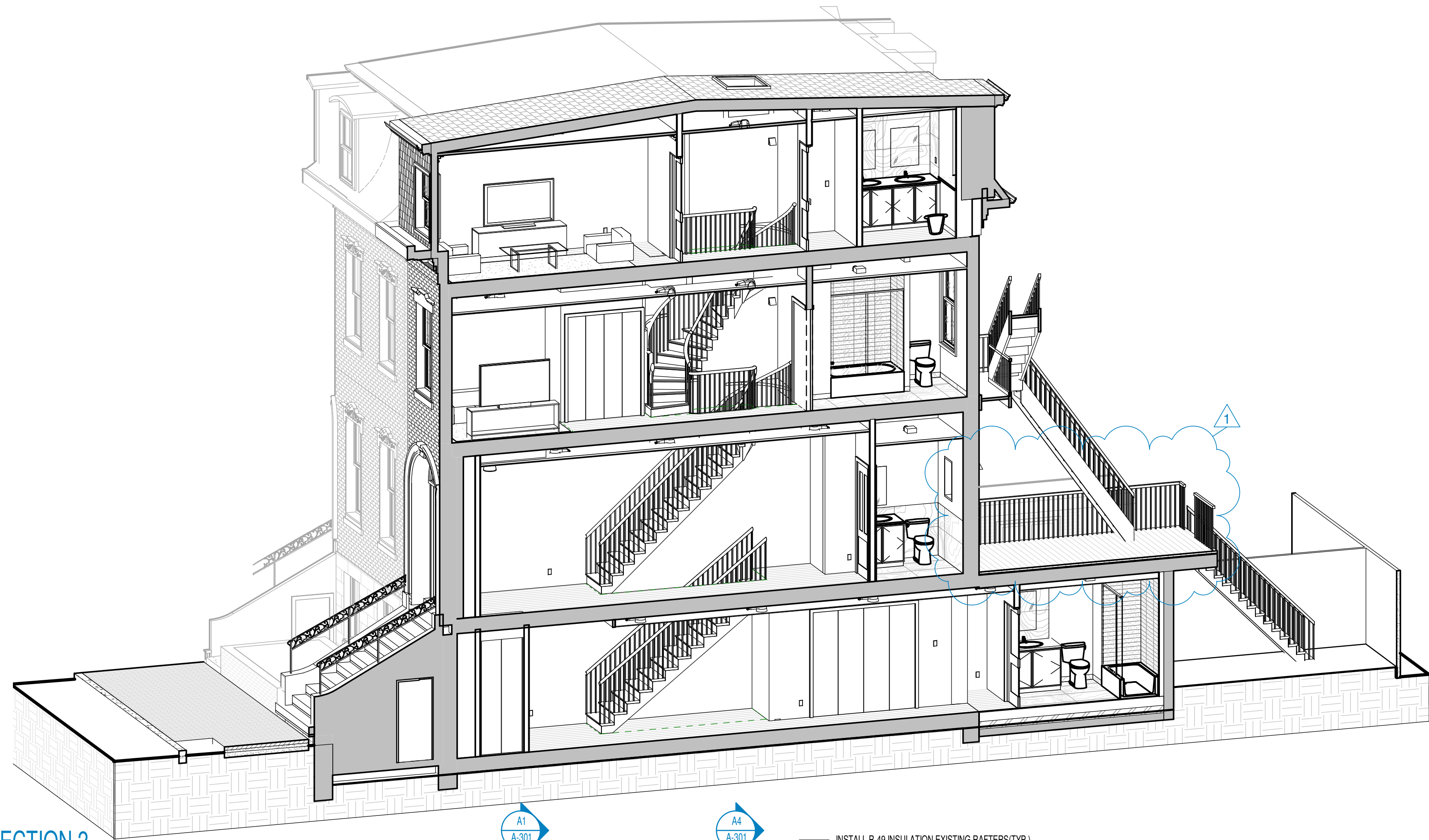
A-201

SHEET TITLE

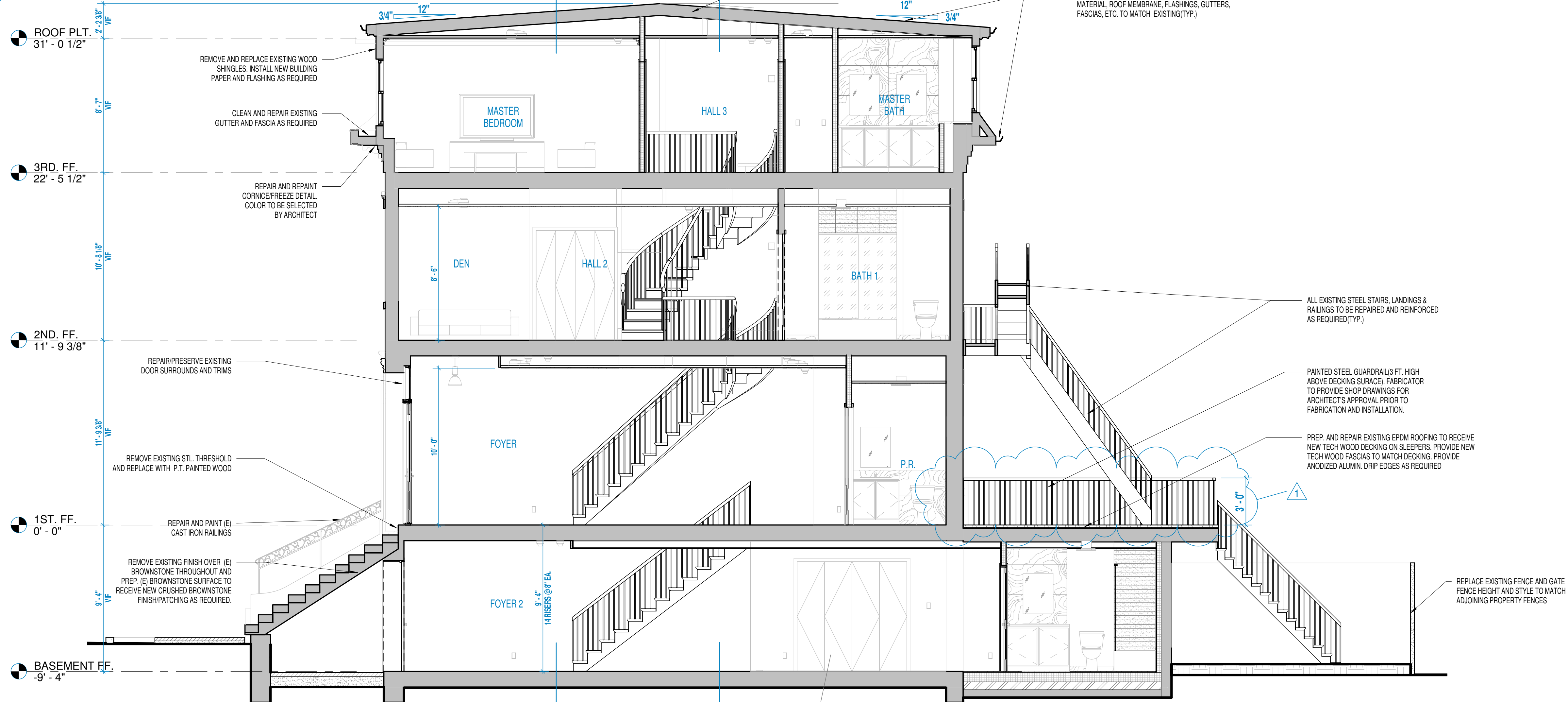
## BUILDING ELEVATIONS 1

PRINTING DATE/TIME 10/27/2022 7:49:18 PM





C1 LONGITUDINAL 3D SECTION 2



A1 LONGITUDINAL SECTION 2  
1/4" = 1'-0"

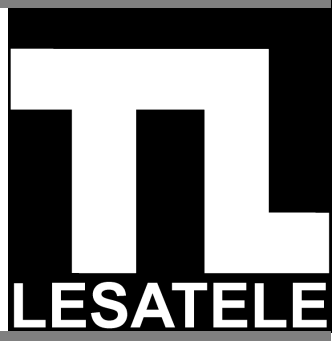
REVISION 1:  
NEW DECK AND GUARDRAIL SUBJECT TO ZONING BOARD OF APPEAL APPLICATION

STAMPS



CONSULTANT

TALANOA LESATELE,  
AIA, NCARB, RIBA  
TEL +617-800-3403  
10 Oak St  
Cambridge, MA 02139  
USA



CLIENT

CAMBRIDGE BROWN STONE LLC



89 3rd STREET

RESIDENTIAL - EXISTING  
BUILDING RENOVATION

CAMBRIDGE, MA

## ARCHITECTURAL DRAWINGS

"ISSUE FOR"		"DESCRIPTION"	
RC	REVIEW & COMMENTS	SD	SCHEMATIC DESIGN
FA	FOR APPROVAL	DD	DESIGN DEVELOPMENT
PS	PROGRESS SET	CD	CONSTRUCTION DOCUMENTS
R	FOR RECORD		
P	PRELIMINARY	TD	TENDER DOCUMENTS

1	9/8/2022	BUILDING PERMIT APPLICATION	FA	TL
REV	DATE	DESCRIPTION	FOR	BY
1	10/26/2022	Zoning	Zoning	TL

ISSUE	9/8/2022
PROJECT NO.	21-003
PROJECT ARCHITECT	TL
REVIT FILE	C:\Users\talanoa\Documents\21-003 89 3rd ST_BZA APPLICATION_Dxbcam.rvt
SCALE	As indicated
DRAWN BY	TL
CHECKED BY	TL
MANAGEMENT	TL

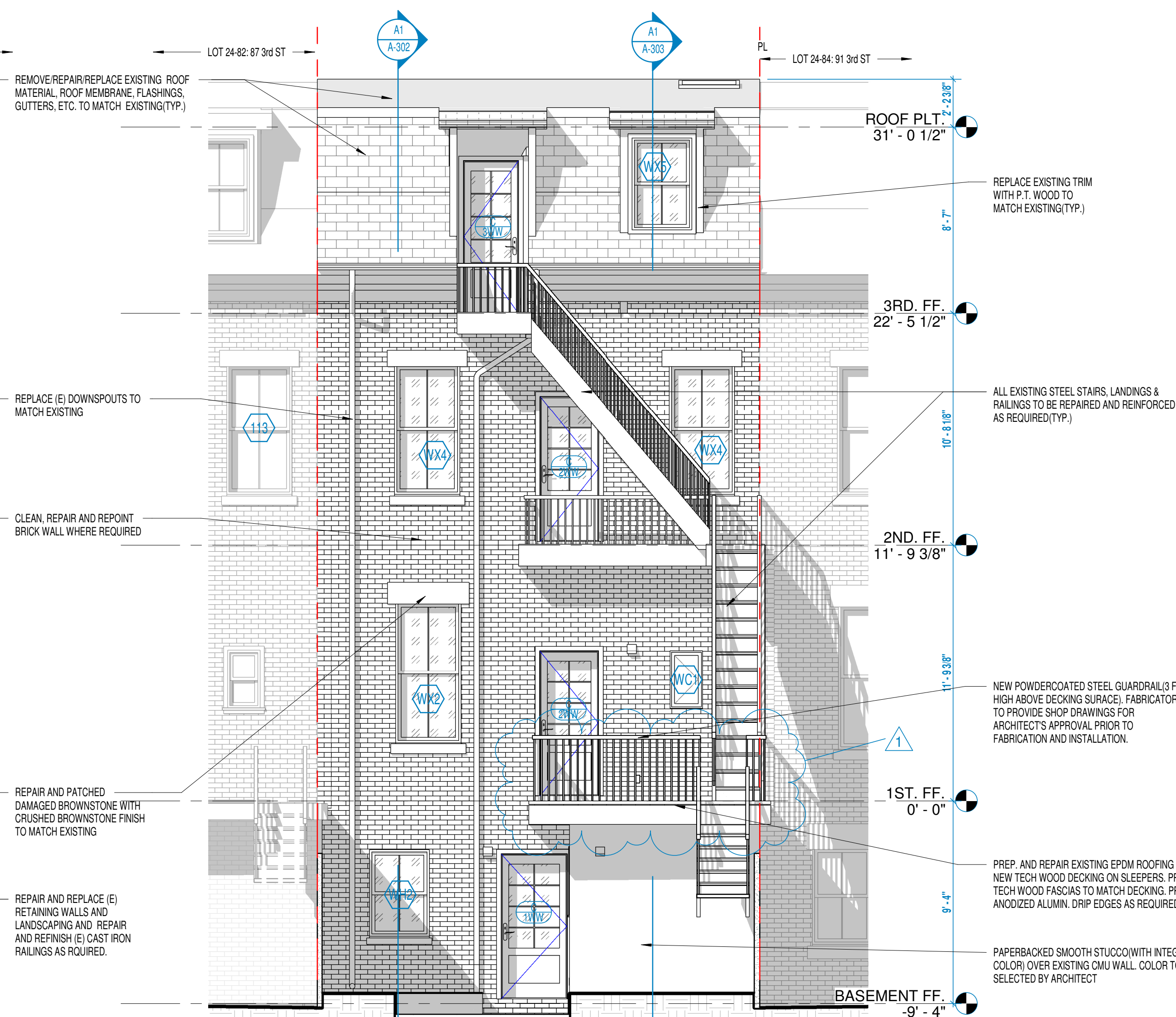
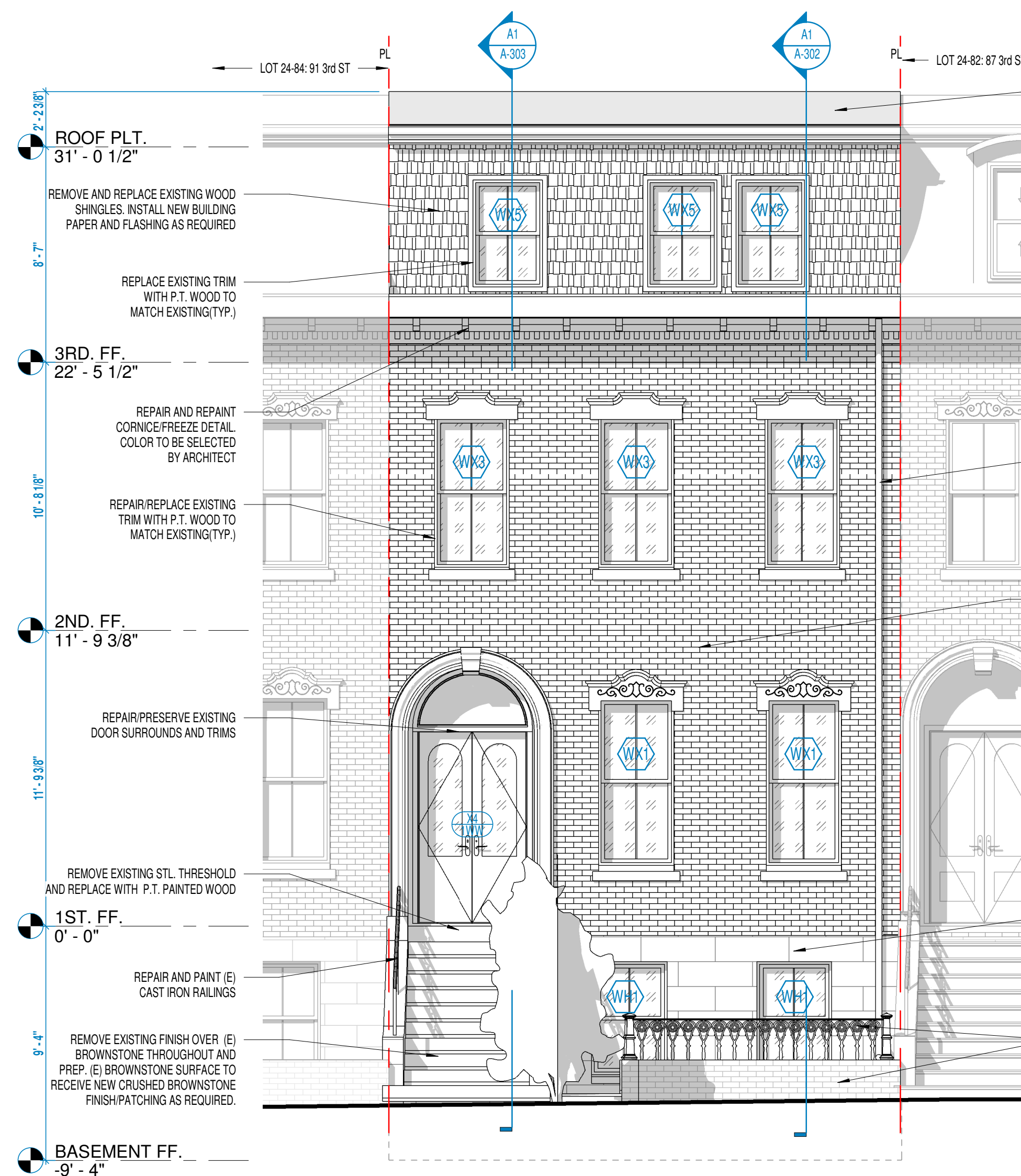
A-303

SHEET TITLE

LONGITUDINAL BUILDING  
SECTIONS 2

PRINTING DATE/TIME 10/27/2022 7:49:26 PM





**REVISION 1:**  
- NEW DECK AND GUARDRAIL SUBJECT TO ZONING BOARD OF  
APPEAL APPLICATION

## STAMPS



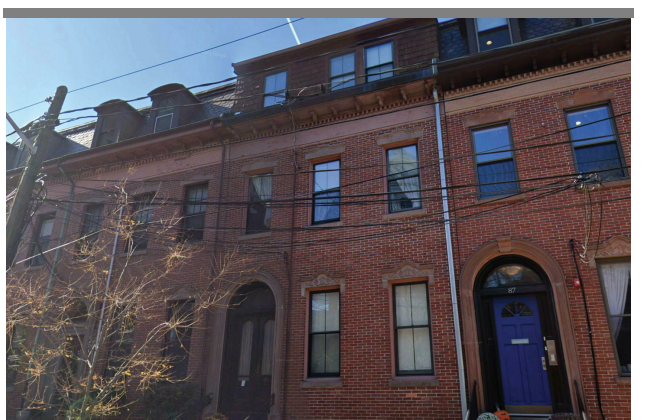
CONSULTANT

**TALANOA LESATELE,**  
**AIA, NCARB, RIBA**  
TEL +617-800-3403  
10 Oak St  
Cambridge, MA 02139  
USA

CLIENT



CAMBRIDGE BROWN STONE LLC



89 3rd STREET

## RESIDENTIAL - EXISTING BUILDING RENOVATION

CAMBRIDGE, MA

## ARCHITECTURAL DRAWINGS

<u>"ISSUE FOR"</u>		<u>"DESCRIPTION"</u>	
RC	REVIEW & COMMENTS	SD	SCHEMATIC DESIGN
FA	FOR APPROVAL	DD	DESIGN DEVELOPMENT
PS	PROGRESS SET	CD	CONSTRUCTION
R	FOR RECORD		DOCUMENTS
P	PRELIMINARY	TD	TENDER DOCUMENTS

[illegible]

ISSUE	9/8/2022
PROJECT NO.	21 - 003
PROJECT ARCHITECT	TL C:\Users\italani\Documents\21-003 89 3rd ST_BZA APPLICATION_Dxbcam.rvt
REVIT FILE	
SCALE	As indicated
DRAWN BY	TL
CHECKED BY	TL
MANAGEMENT	TL

A-201

SHEET TITLE

## BUILDING ELEVATIONS 1

PRINTING DATE/TIME 10/27/2022 7:49:18 PM







**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

**To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.**

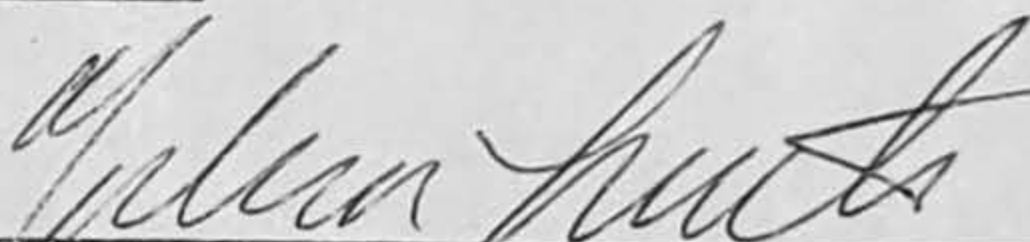
I/We Talanoa Lesatele (Owner of Cambridge Brown Stone LLC)  
**(OWNER)**

Address: 10 Oak Street, Cambridge, MA 02139

State that I/We own the property located at 89 Third Street, Cambridge, MA 02141,  
which is the subject of this zoning application.

The record title of this property is in the name of Cambridge Brown Stone LLC

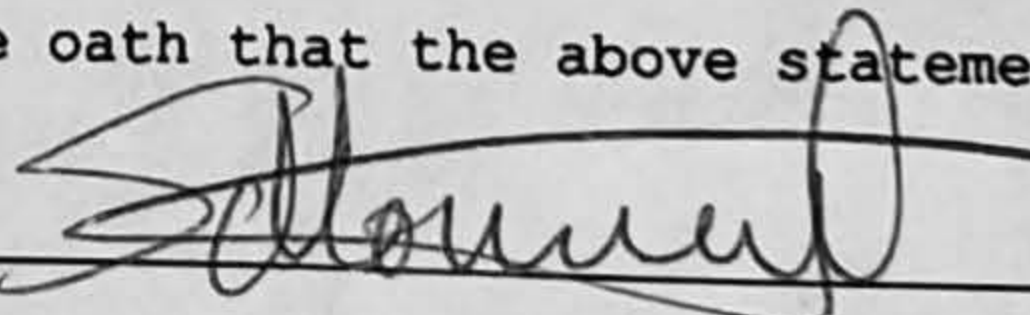
\*Pursuant to a deed of duly recorded in the date 06/15/2022, Middlesex South  
County Registry of Deeds at Book 80284, Page 400; or  
Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_.

  
\_\_\_\_\_  
**SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\***

**\*Written evidence of Agent's standing to represent petitioner may be requested.**

-----  
Commonwealth of Massachusetts, County of Middlesex

The above-name Talanoa Lesatele personally appeared before me,  
this 31 of October, 2022, and made oath that the above statement is true.

  
\_\_\_\_\_  
Notary

My commission expires October 26, 2023 (Notary Seal).



**SALOME Y. MALONEY**  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires  
October 26, 2023

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

## PROJECT NARRATIVE

*This narrative is a supplement to the request for a Special Permit to allow the addition of a composite wood over an existing EPDM roof and powder coated steel guardrails. Relief is needed as this roof deck encroaches into the existing side yard setback.*

The project consists of the conversion of an existing 3 story two-family residence located at 89 Third Street to a single-family residence interior renovations and alterations.

As shown in the property and building data below the existing building is a non-conforming building. Therefore, the proposed exterior alterations fall under two zoning ordinance sections: those allowed under a building permit per 8.22.1 and those requiring the granting of a special permit per 8.22.2.

The exterior alterations to a non-conforming building of which a Special Permit is required per 8.22.2 are as follows:

- Adding a composite wood deck on sleepers over the existing EPDM roof deck and adding a powder coated steel guardrail around the roof deck. The guardrail will not be solid but will be see through, comprising of vertical powder coated steel pickets. The increase in the net building volume for adding both the composite wood deck and steel guardrail will be less than 1% of the total building volume, which is in accordance with the maximum allowed change in volume of 25% or less as stated in 8.22.2.c.

No other alterations will be made to the existing building exterior except for repairing and replacing parts of the exterior that have fallen into disrepair.



## PROPERTY & BUILDING DATA

### PROPERTY INFORMATION

	EXISTING	PROPOSED
Property Class	TWO-FAMILY RESIDENCE	SINGLE FAMILY RESIDENCE
Style	Row	
State Class Code	104	
Zoning (Unofficial)	Res. C-1	
Map/Lot	24-83	
Land Area (sq. ft.)	1,600	
Lot Width	20'	
Lot Depth	80'	

### DIMENSIONAL REQUIREMENTS

	ORDINANCE REQUIREMENTS	EXISTING
FAR	0.75	1.39
Minimum Lot Area	5,000 SF	1,600 SF
Minimum Lot Area per Dwelling Unit	1,500 SF	1,600 SF
Minimum Lot Width	50'	20'
Front Yard Setback	$\frac{H+L}{4}$ (a) 4'	9'
Side Yard Setback	$\frac{H+L}{5}$ (b) 5'	9.66' (North) / 0' (South)
Rear Yard Setback	$\frac{H+L}{4}$ (c) 4'	18'
Building Height	35'	40.3'
Min. Private Open Space Percentage	30%	33 %

(a) Measured from the centerline of the street, but in no case may a building be nearer the street than ten (10) feet.

(b) In a Residence C-1 District, no building plane (excluding projections as permitted by Section 5.24.2) may be nearer than seven feet, six inches (7'6") to a side lot line.

(c) In Residence C and C-1 districts, no building may be nearer the rear lot line than twenty (20) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds 100 feet, up to a maximum of thirty (30) feet.

### PRIVATE OPEN SPACE

PRIVATE OPEN SPACE - EXISTING		
PERMEABLE	531 SF	84 %
NON-PERMEABLE	100 SF	16 %
	<b>631 SF</b>	

RATIO OF PRIVATE <u>PERMEABLE</u> OPEN SPACE TO LOT AREA	33 %
---	------

PRIVATE OPEN SPACE - PROPOSED		
PERMEABLE	531 SF	84 %
NON-PERMEABLE	100 SF	16 %
	<b>631 SF</b>	

RATIO OF PRIVATE <u>PERMEABLE</u> OPEN SPACE TO LOT AREA	33 %
---	------

### *BUILDING INFORMATION*

	EXISTING	PROPOSED
Number of Stories	3	
Year Built	1861	
Open Parking Spaces	0	0

### BUILDING AREAS

EXISTING GROSS FLOOR AREA	
FIRST FLOOR	740 SF
SECOND FLOOR	744 SF
THRID FLOOR	741 SF
<b>TOTAL</b>	<b>2,225 SF</b>

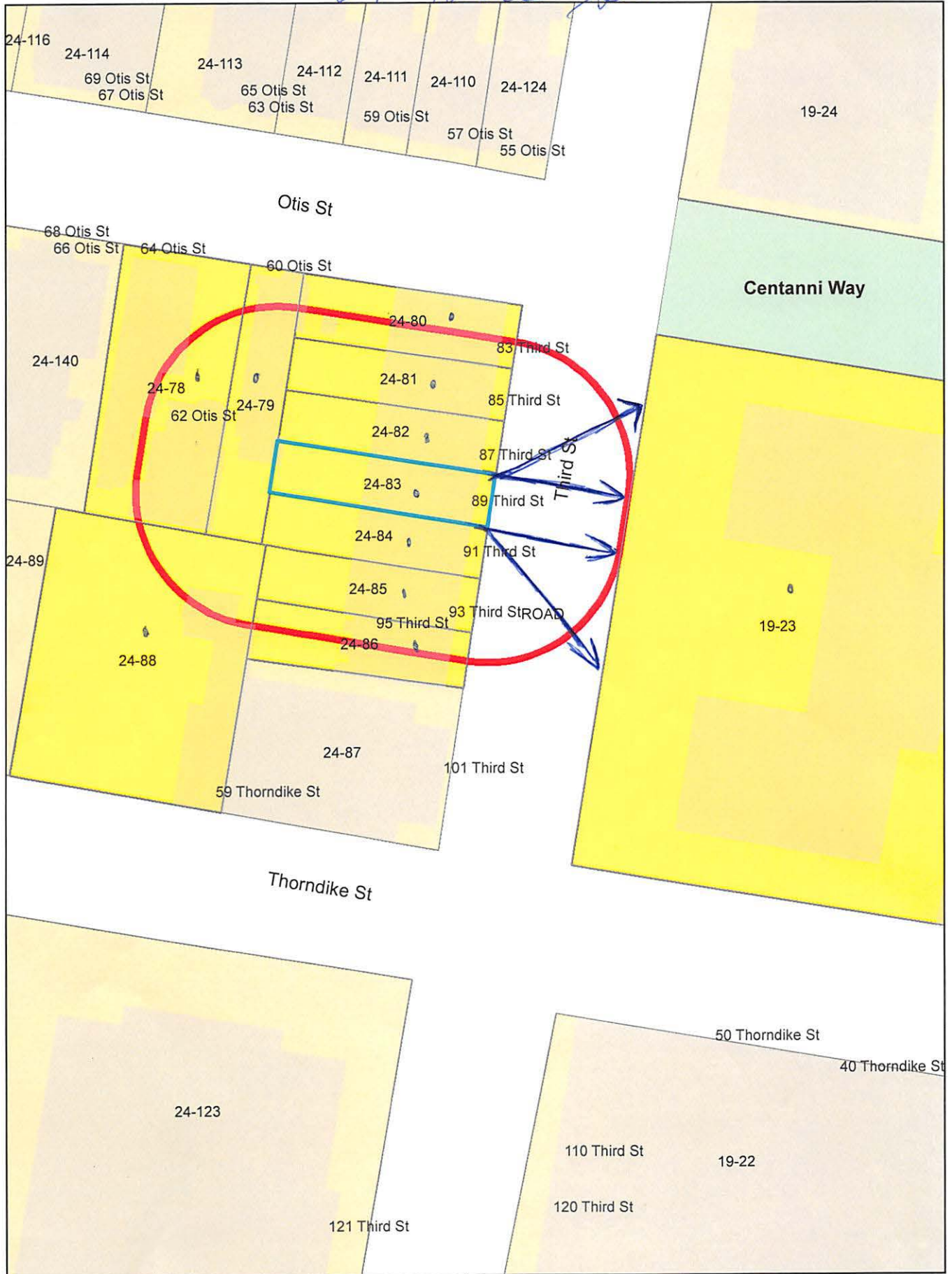
PROPOSED GROSS FLOOR AREA	
FIRST FLOOR	740 SF
SECOND FLOOR	744 SF
STHRID FLOOR	741 SF
<b>TOTAL</b>	<b>2,225 SF</b>

### FLOOR AREA RATIO (FAR)

	GROSS FLOOR AREA	LOT AREA	FAR
EXISTING	2,225 SF	1,600 SF	1.39
PROPOSED	2,225 SF	1,600 SF	1.39



89 Third St.



89 Third St.

Petitioner

19-23  
MIDDLESEX, COUNTY OF BULFINCH SQUARE  
IRB REAL ESTATE  
TWO BRATTLE SQ  
CAMBRIDGE, MA 02138

24-79  
OTASH, JAMES A.,  
TRUSTEE TOBEY NOMINEE TRUST  
58 TOBEY RD.  
BELMONT, MA 02478

LESATELE, LLC  
C/O TALANO A LESATELE  
10 OAK STREET  
CAMBRIDGE, MA 02139

24-80  
MCANDREW, ELISA E.  
83 THIRD ST. UNIT#2  
CAMBRIDGE, MA 02141

24-80  
MILLER, BENJAMIN W. & CATHERINE R. TAYLOR  
200 APPLETON ST  
CAMBRIDGE, MA 02138

24-82  
WILDASH, JAMES & SONIA KOWAL  
59 MARKET ST  
CAMBRIDGE, MA 02139

24-84  
FIELD, FRANK R. & KAREN A FIELD  
91 THIRD ST  
CAMBRIDGE, MA 02141

24-85  
VAN DER LANS, JEROEN ANTOINE &  
DAVID ROBERT ELLIS  
93 THIRD ST  
CAMBRIDGE, MA 02141

24-86  
FEAU, CLEMENTINE O.  
95 THIRD ST, UNIT #3  
CAMBRIDGE, MA 02141

24-78  
LEPAGE, MARILYN NOVELLO  
62-64 OTIS ST., UNIT #1  
CAMBRIDGE, MA 02141-1719

24-88  
KIRYLO, JOSEPH & SUSAN KIRYLO  
59 THORNDIKE ST  
CAMBRIDGE, MA 02141

24-86  
RICHARD, PAUL M. & SAMANTHA C. RICHARD  
95 THIRD ST., #1  
CAMBRIDGE, MA 02141

24-86  
CLINTON, LAWRENCE F. & NANCY M. DILANDO  
TRS. OF THE DI LANDO/CLINTON FAMILY TRT  
757 CAMBRIDGE ST  
CAMBRIDGE, MA 02141

24-83  
CAMBRIDGE BROWN STONE LLC  
10 OAK ST  
CAMBRIDGE, MA 02139

24-81  
SLEEPER, JAMES H., COLLEEN A. SLEEPER  
85 THIRD ST  
CAMBRIDGE, MA 02141

24-78  
TAURO, WALTER JR. & DANIEL P. TAURO  
NASCIMENTO, GINA D TAURO ETAL TRS  
40 SHELLEY ROAD  
ARLINGTON, MA 02476

24-80  
DOYLE, ROBERT L.  
83 THIRD ST. UNIT#1  
CAMBRIDGE, MA 02141



To Whom It May Concern:

I am writing to add to the record for the upcoming zoning board appeal hearing to be held on December 1, 2022, specifically Case Number **BZA-200776**.

I and my wife, Karen, are the owners of 91 3<sup>rd</sup> Street, one of the properties immediately abutting 89 3<sup>rd</sup> Street, whose deck plans are the subject of this hearing. Karen and I have been living at 91 for over 20 years, and we have come to treasure the neighborhood and our neighbors in Quality Row.

It is my understanding that this hearing pertains to Talanoa Lesatele's plans to construct a roof deck on the roof of the small room that extends out of the back of his property into the backyard. As you probably know, most of the properties in Quality Row have such a room, although they vary widely in size across the Row.

Most of them, however, have had roof decks constructed on top of them: there are decks at 95, 93, 91, and 83. There was a deck on our property at 91 when we purchased the home, which we have enjoyed immensely. Because, in fact, there are decks at 93 and 95, we have found that they serve as a great way to meet the neighbors and they have formed the basis for many get-togethers among the people living in our neighborhood.

We were, therefore, quite surprised to learn that a variance would be required in order to build a similar deck at 89. While I understand the rationale for property line set-backs when considering construction projects for approval, the rule seems ill-suited to properties like those at Quality Row. The low roof at 89, like many others in the Row, is already set up to serve as an emergency exit, since most of the existing fire escapes on the Row feed into these roofs. To a certain extent, therefore, one might imagine that a deck would improve occupant safety through the addition of railings and stairways more in keeping with conventional construction.

However, it is also simply the case that these set-backs effectively ban the construction of any kind of deck on Quality Row, which seems a real detriment, not only to 89, but also to the rest of us who have found our decks to be an important part of our community.

After a review of Mr. Lesatele's plans, Karen and I find that his proposal is consonant with our deck and those around us, and we would like to use this letter to recommend that the Zoning Board APPROVE Mr. Lesatele's request for a variance in order to build the deck that he has planned.

Sincerely,

Karen and Frank Field  
91 3<sup>rd</sup> Street, Cambridge  
November 19, 2022