



# CITY OF CAMBRIDGE

## BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2021 APR 28 PM 3:51

RECEIVED BY THE CITY CLERK  
APR 28 2021

### BZA Application Form

**BZA Number: 114770**

#### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X  

Variance:           

Appeal:           

**PETITIONER:** Hawthorne Development Ventures LLC C/O Brian Lavelle

**PETITIONER'S ADDRESS:** 41 Royal Avenue, Cambridge, MA 02138

**LOCATION OF PROPERTY:** 8 Day St., Cambridge, MA

**TYPE OF OCCUPANCY:** Two-family dwelling

**ZONING DISTRICT:** Residence B Zone

#### **REASON FOR PETITION:**

/New and altered windows within side yard setback; enlarged 3rd-floor dormer; bump-outs for fireplaces./

#### **DESCRIPTION OF PETITIONER'S PROPOSAL:**

Petitioner requests Special Permit relief to 1) alter existing and add new window openings within the side yard setback, and 2) enlarge an existing third-floor dormer, and 3) construct two bump-outs on the side walls of the building to accommodate new fireplaces. The additional gross floor area of the fireplace bump-outs and the dormer enlargement will be partially offset by a reduction in size of a covered porch, resulting in a net increase of 3 square feet to the existing gross floor area.

#### **SECTIONS OF ZONING ORDINANCE CITED:**

Article: 5.000      Section: 5.31 (Table of Dimensional Requirements).

Article: 8.000      Section: 8.22.2.C (Non-Conforming Structure).

Article: 10.000     Section: 10.40 (Special Permit).

Original  
Signature(s):

(Petitioner (s) / Owner)

(Print Name)

Address:

Tel. No.                      781-704-5117

E-Mail Address:      brianolavelle@gmail.com

Date: 4/25/21

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

**To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.**

I/We Brian Lavelle, Hawthorn Development Ventures LLC  
(OWNER)

Address: 41 ROYAL AVE Cambridge MA 02138

State that I/We own the property located at 8 DAY ST Cambridge  
which is the subject of this zoning application.

The record title of this property is in the name of Hawthorn Development Ventures LLC

\*Pursuant to a deed of duly recorded in the date 12/18/20, Middlesex South  
County Registry of Deeds at Book 76467, Page 62; or  
Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_.

Brian Lavelle  
SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

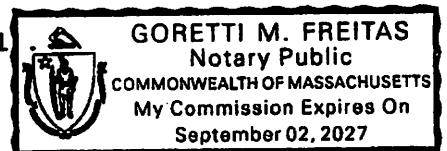
**\*Written evidence of Agent's standing to represent petitioner may be requested.**

Commonwealth of Massachusetts, County of Middlesex

The above-name Brian Lavelle personally appeared before me,  
this 27th of April, 2021, and made oath that the above statement is true.

Goretti M. Freitas Notary

My commission expires 9/2/2027 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

**Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.**

**Granting the Special Permit requested for 8 Day St., Cambridge, MA (location) would not be a detriment to the public interest because:**

**A) Requirements of the Ordinance can or will be met for the following reasons:**

With the requested relief the requirements of the Ordinance will be satisfied.

**B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:**

No congestion, hazard, or substantial change in the established neighborhood character will result from approval of the enlarged dormer, fireplace bumpouts, or added/alterd windows because the work will make the house more livable, benefitting the Petitioner, future occupants of the dwelling, and Cambridge's housing inventory of family-friendly properties.

**C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:**

The enlarged dormer, facing to the rear of the property, and the fireplace bump-outs will have no impact on privacy of adjacent uses. The enlarged/alterd windows on the left side will have little impact on privacy because there is a private lane between the subject property and the nearest abutter, creating distance between buildings and ensuring separation even in the event of future development.

**D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:**

No nuisance or hazard will be created nor will any detriment to the health, safety and/or welfare of the occupants of the proposed use or the citizens of the City because the proposed work will not cause change in use or occupancy of the structure and will improve the functionality of the dwelling, especially for families.

**E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:**

The proposed work will not impair the integrity of the district and is consistent with the intent of the Ordinance by allowing for the renovation and modernization of Cambridge's older housing stock in a manner that can accommodate a diversity of occupants, including families with small children and multi-generational living arrangements.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements,**

 **you should consult with an attorney.**



## BZA Application Form

### DIMENSIONAL INFORMATION

**Applicant:** Hawthorne Development Ventures LLC

**Present Use/Occupancy:** Two-family dwelling

**Location:** 41 Royal Avenue

**Zone:** Residence B Zone

**Phone:** 781-704-5117

**Requested Use/Occupancy:** Two-family dwelling

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	3,547	3,550	2,530	(max.)
<u>LOT AREA:</u>	5,059	5,059	5,000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u>	0.70	0.70	0.50	
<u>LOT AREA OF EACH DWELLING UNIT</u>	2,530	2,530	2,500	
<u>SIZE OF LOT:</u>				
WIDTH	45	45	50	
DEPTH	112'	112'	N/A	
<u>SETBACKS IN FEET:</u>				
FRONT	15.80	15.80	15.00	
REAR	43.00	31.00	25.00	
LEFT SIDE	0.50	0.50	7.50	
RIGHT SIDE	12.40	12.40	7.50	
<u>SIZE OF BUILDING:</u>				
HEIGHT	35.30	35.30	35.00	
WIDTH	57.57	57.57	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	42%	42%	40%	
<u>NO. OF DWELLING UNITS:</u>	2	2	2	
<u>NO. OF PARKING SPACES:</u>	0	0	2	
<u>NO. OF LOADING AREAS:</u>	0	0	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

ABBREVIATIONS

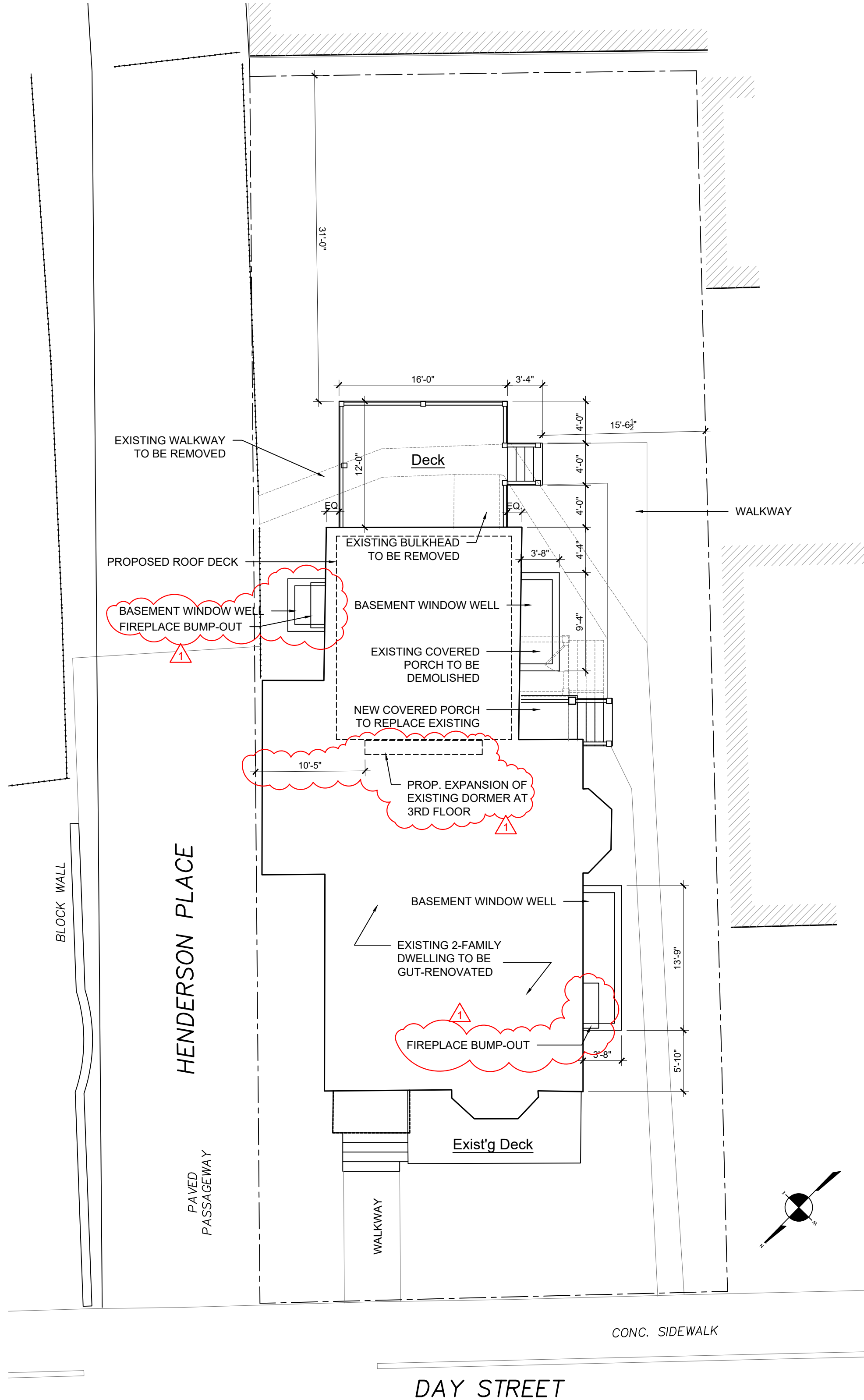
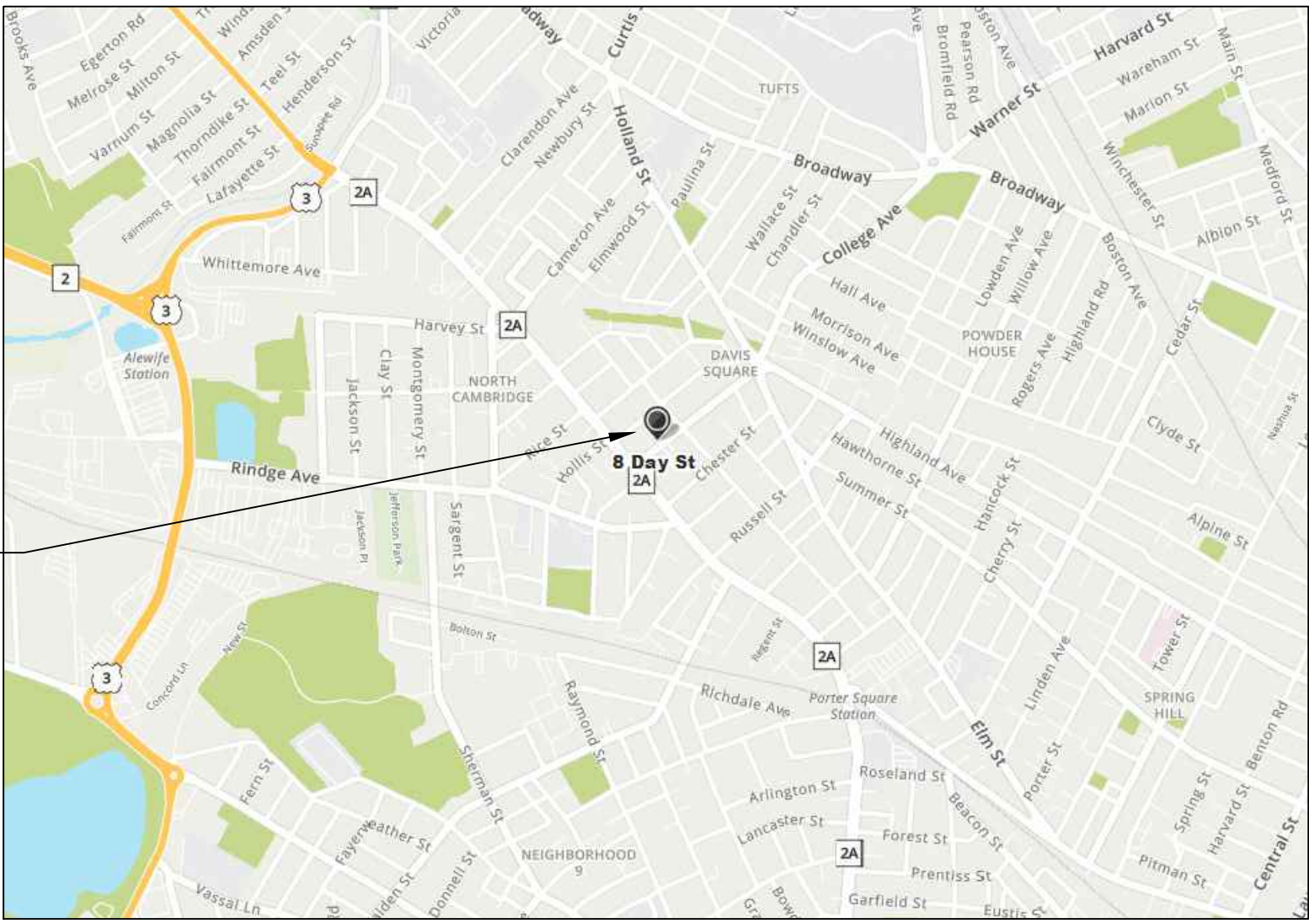
@	@ At	HHW	Hot Water Heater
A.B.	Anchor Bolt	INSUL.	Insulation
ABV.	Above	INT.	Interior
ADJ.	ADJ. Adjustable	J.H.	Joist Hanger
A.F.F.	Above Finish Floor	LAV.	Lavatory
ALT.	Alternate	LOC'N	Location
APPROX.	Approximate	MAS.	Masonry
BB	Baseboard	MAX.	Maximum
BBH	Baseboard Heater	M.D.O.	Medium Density Overlay
BD.	Board	MECH.	Mechanical
BEAR'G	Bearing	MIN.	Minimum
BETWN	Between	MISC.	Miscellaneous
BIT.	Bituminous	N.I.C.	Not in Contract
BLDG.	Building	N.T.S.	Not to Scale
BLOCK'G	Blocking	NOM.	Nominal
BM.	Beam	O.C.	On Center
B.O.	By Others	P.J.F.	Pre-molded joint filler
BOTT.	Bottom	PKT.	Pocket
C.B.	Catch Basin	P.LAM	Plastic Laminate
C.J.	Control Joint	PLAS.	Plastic
C.L.	C.L. Centerline	PLYWD.	Plywood
C.T.	Ceramic Tile	PORT.	Portable
CABT	Cabinet	P.T.	Pressure Treated
C.A.R.	Cold Air Return	PTD.	Painted
CER.	Ceramic	Q.T.	Quarry Tile
CLG.	Ceiling	RAD.	Radius
CLO.	Closet	REF.	Reference
CLR.	Clear	REQ'D	Required
COL.	Column	RESIL.	Resilient
CMU	Conc. Masonry Unit	RM.	Room
CONC.	Concrete	R.W.L.	Rain Water Leader
COND.	Conductor	S & R	Shelf and Rod
CONT.	Continuous	S.D.	Smoke Detector
CONTR.	Contractor	S.F.	Square Feet
CPT.	Carpet	S'FLR	Subfloor
DIA.	Diameter	SH.	Shelf or Shelves
DIM.	Dimension	SHT.	Sheet
DISP.	Disposal	SHWR.	Shower
D.J.	Double Joist	SIM.	Similar
DNSPT.	Downspout	SPRNKLR.	Sprinkler
DP.	Deep	SQ.	Square
DR.	Door	STD.	Standard
D.S.	Downspout	STL.	Steel
D/W	Dishwasher	S.V.	Sheet Vinyl
DWG.	Drawing	SW.	Switch
EA.	Each	SYP	Southern Yellow Pine
E.B.U.	Emerg. Battery Unit	T & B	Top and Bottom
E.H.	Emerg. (Light) Head	TB	Towel Bar
EL.	Elevation	TEMP.	Temporary
ELEC.	Electric(al)	TLT.	Toilet
EQ.	Equal	T.O.	Top of
E.W.	Each Way	T.O.C.	Top of Concrete
EXIST.	Existing	T.O.PL.	Top of Plate
EXP.	Exposed	T.O.S.	Top of Steel
FAM.	Family	T.O.W.	Top of Wall
F.E.	Fire Extinguisher	T.P.	Telephone pole (utility pole)
F.E.C.	Fire Extinguisher Cab't	TPH	Toilet Paper Holder
F.G.	Fixed Glass	TS	Tube Steel
FIN.	Finish	TYP.	Typical
FLR.	Floor	U.O.N.	Unless Otherwise Noted
FLUOR.	Fluorescent	U.P.	Utility Pole
FT.	Foot or Feet	U/S	Underside
FTG.	Footing	VAN.	Vanity
G.B.	Glass Block	V.C.T.	Vinyl Composition Tile
G.C.	General Contractor	V.I.F.	Verify in Field
GFI	Ground fault interrupt	V.P.	Veneer Plaster
GR.	Grade	V.T.R.	Vent to Roof
GWB	Gypsum Wallboard	W/	With
HD.	Head	W.C.	Water Closet
HT.	Height	WD.	Wood
		W.W.M.	Welded Wire Mesh

LEGEND

	EXISTING WALL OR PARTITION TO BE DEMOLISHED
	EXISTING WALL OR PARTITION TO REMAIN
	NEW WALL OR PARTITION
	ONE-HOUR RATED DWELLING UNIT SEPARATION WALL
	GRIDLINE OR CENTERLINE
	LINES OVERHEAD
	LINES BELOW
	SECTION DESIGNATOR
	DETAIL DESIGNATOR
	INTERIOR ELEVATION DESIGNATOR
	SMOKE DETECTOR
	SMOKE / CARBON MONOXIDE COMBO DETECTOR

LOCUS PLAN

PROJECT SITE

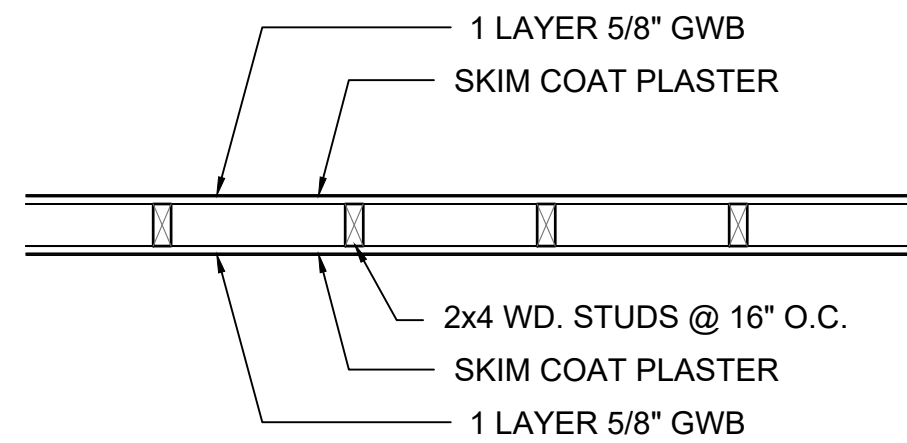


ALTERATIONS TO 8 DAY STREET  
CAMBRIDGE, MASSACHUSETTS

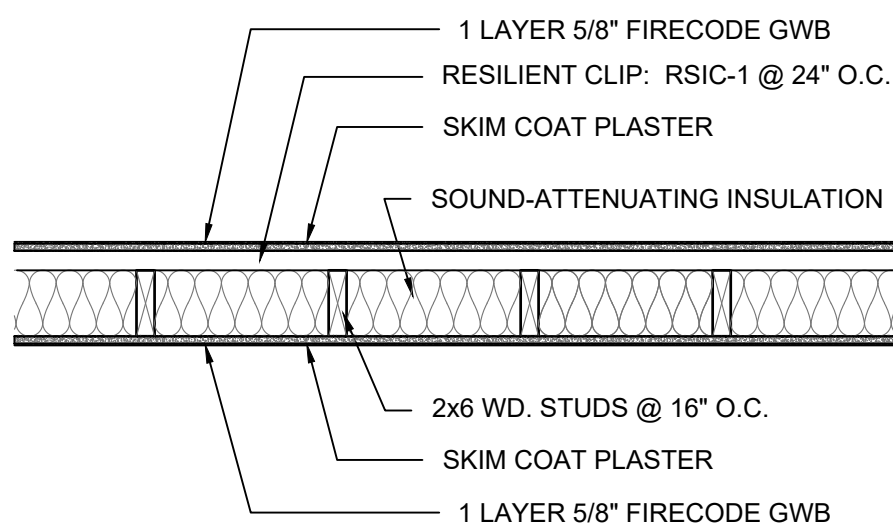
ZONING CHART

ZONING DISTRICT: RES-B

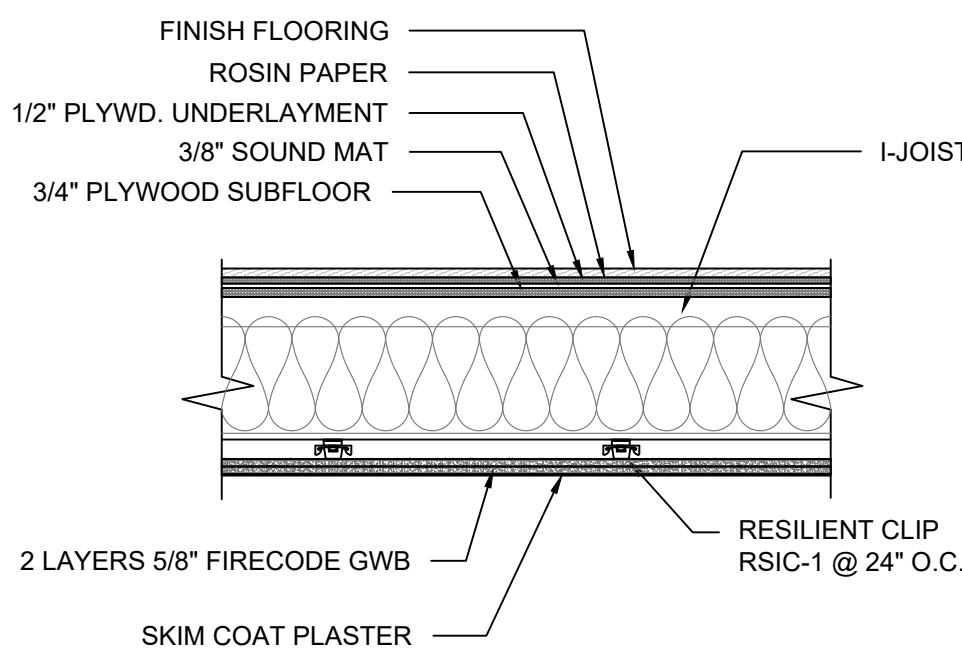
	REQUIRED - RES-B	EXISTING	PROPOSED	REMARKS
LOT AREA	MIN. 5,000 SF	5,059 ± SF	5,059 ± SF	NO CHANGE
NO. OF DWELLING UNITS	.	2	2	NO CHANGE
LOT AREA PER DWELLING UNIT	MIN. 2,500 SF	2,530 ± SF	2,530 ± SF	NO CHANGE
LOT LENGTH		112'	112'	NO CHANGE
LOT WIDTH	MIN. 50'	45'	45'	NO CHANGE
BUILDING LENGTH		57.57'	57.57'	NO CHANGE
BUILDING WIDTH		33.19'	33.19'	NO CHANGE
GROSS FLOOR AREA		3,547 S.F.	3,550 S.F.	INCREASE 3 S.F.
FLOOR AREA RATIO (F.A.R.)	MAX. 0.5	0.70	0.70	NO CHANGE
FRONT YARD SETBACK	15.00', OR EQUAL TO AVG. OF ADJACENT EXISTING STRUCTURES (MIN. 10.00')	15.80	15.80	NO CHANGE
SIDE YARD SETBACK	MIN. 7.50', SUM 13.50' (30% OF LOT WIDTH IF LESS THAN REQ'D WIDTH)	0.50' AT LEFT (EAST SIDE), 12.40' AT RIGHT (WEST SIDE), SUM 12.90'	0.50' AT LEFT (EAST SIDE), 12.40' AT RIGHT (WEST SIDE), SUM 12.90'	NO CHANGE NON-CONFORMING W.R.T. EAST SIDEYARD SETBACK
REAR YARD SETBACK	25'	43.00	31.00' (TO PROP. DECK)	COMPLIES
HEIGHT	MAX. 35.00'	35.30'	35.30'	NO CHANGE
PRIVATE OPEN SPACE	40%	42.0%	42.0%	NO CHANGE



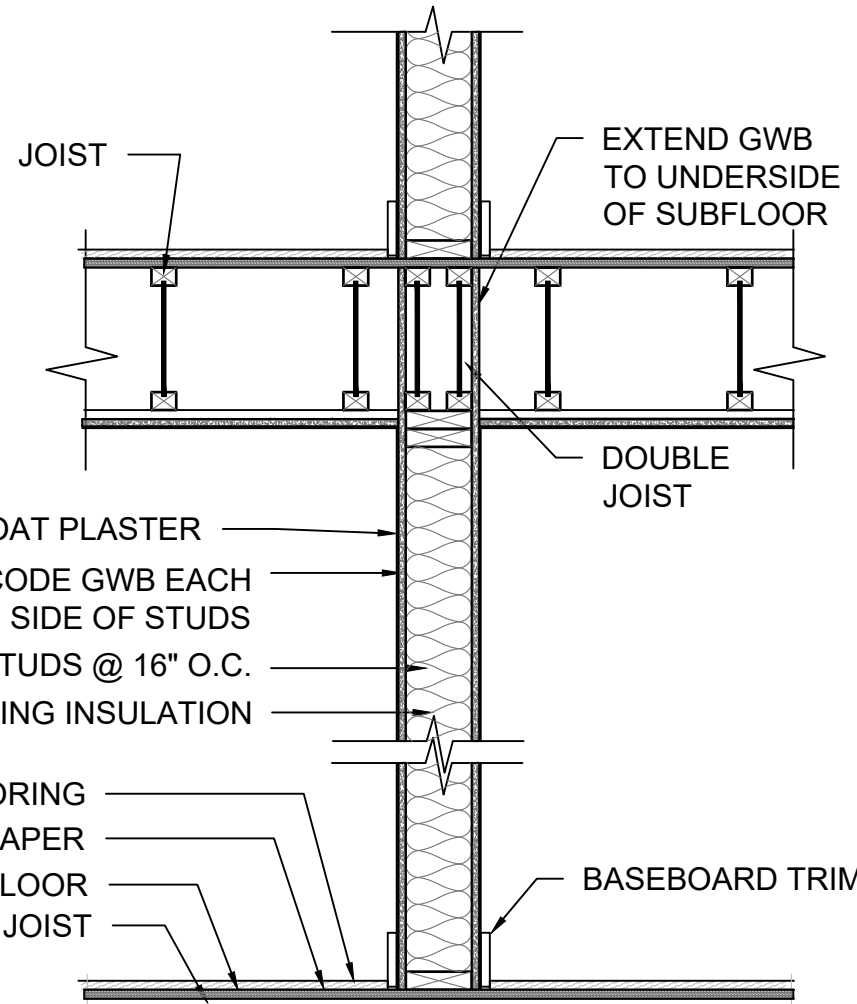
2 TYP. INTERIOR PARTITION  
3/4" = 1'-0"



3 TYP. ONE-HOUR DWELLING UNIT SEPARATION (U.L. U305)  
3/4" = 1'-0" STC: 51



4 TYP. ONE-HOUR FLOOR / CEILING ASSEMBLY (U.L. U514)  
3/4" = 1'-0"



1 RATED PARTITION @ FLOOR/CEILING ASSY  
3/4" = 1'-0"

PARTITION NOTES

- ALL ASSEMBLIES SHALL BE CONSTRUCTED PER DESIGNATED U.L. TESTED ASSEMBLY.
- AT ALL FIRE-RATED PARTITIONS, GYPSUM BOARDS SHALL BE 5/8" TYPE "X" (FIRE-CODE).
- FOR ALL SOUND PARTITIONS, PROVIDE ACOUSTICAL SEALANT AT TOP AND BOTTOM.
- USE FIRE-RATED SEALANT SUCH AS "HILTI" CP-506 SERIES SEALANT AT RATED PARTITIONS. USE RATED ACOUSTICAL SEALANT AT RATED ACOUSTICAL PARTITIONS.
- AT ALL TILED WALLS, USE 5/8" CEMENTITIOUS BACKER-BOARD ("DUROCK" OR APPROVED EQUAL) IN LIEU OF 5/8" FIRE-CODE GYPSUM WALLBOARD, MAINTAINING REQUIRED FIRE RATING.
- AT ALL TUB LOCATIONS ABUTTING A DEMISING OR FIRE SEPARATION WALL, EXTEND 5/8" FIRE-CODE GYPSUM WALLBOARD OR 5/8" "DUROCK" TO FLOOR DECK BEHIND FIXTURE, BEFORE PLACING THE FIXTURE, MAINTAINING FIRE-RATED ASSEMBLY NOTED.
- PROVIDE SOLID BLOCKING AS REQUIRED TO SUPPORT CABINETS AND TOILET ACCESSORIES.
- GWB LAYERS TO BE LAPPED AND JOINTED AS REQUIRED. TYPICAL LAP IS ONE STUD WIDTH. REFER TO THE SPECIFIED U.L. DESIGN FOR THE REQUIREMENTS OF EACH RATED CONSTRUCTION TYPE.

INSULATION:

EXISTING EXTERIOR WALLS (THICKNESS VARIES):  
Closed-cell spray-foam insulation

FLOORS OVER UNHEATED SPACES:  
Fiberglass batts or spray-foam insulation, min. R-30.

FLOORS BETWEEN DWELLING UNITS:  
Fiberglass batts or spray-foam insulation, min. R-30.

NEW FLAT CEILINGS WITH UNFINISHED ATTIC SPACE ABOVE:  
Spray-foam insulation, min. R-49.

ROOF AT CATHEDRAL CEILING AREAS AND FINISHED ATTICS:  
Spray-foam insulation, min R-49.

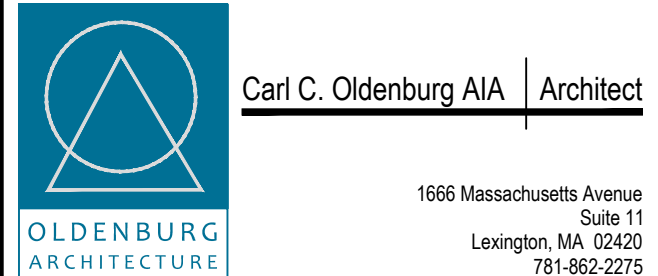
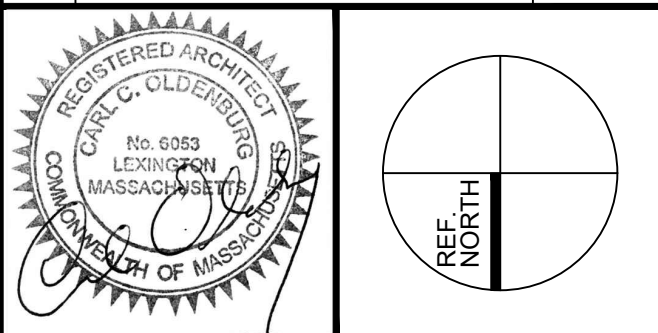
LIST OF DRAWINGS

- A-100 SITE PLAN, ZONING & CONSTRUCTION INFORMATION, ABBREVIATIONS AND LEGEND
- A-101 BASEMENT PLANS AND DEMO PLANS
- A-102 FIRST AND SECOND FLOOR PLANS
- A-103 THIRD FLOOR AND ROOF PLANS
- A-201 EXTERIOR ELEVATIONS
- A-301 SECTIONS
- S-101 FOUNDATION PLAN AND FIRST FLOOR FRAMING PLAN
- S-102 SECOND AND THIRD FLOOR FRAMING PLANS
- EX-01 EXISTING FLOOR PLANS
- EX-02 EXISTING ELEVATIONS

GENERAL NOTES

- These drawings and the designs, ideas, and arrangements represented herein are and shall remain the property of the Architect. These drawings shall not be copied, disclosed to others, or used in connection with any work or project other than the specified project for which they have been prepared, without the prior written consent of the Architect.
- Dimensions are to finish face of wall or to centerline of window or door, unless otherwise indicated. Dimensions pertaining to built-in cabinets, fixtures, accessories, and the like are typically to finish face of wall and finish face of cabinets or centerline of fixture or accessory, unless otherwise indicated. Foundation dimensions are to face of concrete. Exterior dimensions are to face of stud which is assumed to align with face of concrete at foundation walls. Exterior finish face of wall is assumed to be 1 1/4" from face of concrete or face of stud.
- All construction shall conform to the requirements of the "Commonwealth of Massachusetts State Building Code", latest edition, the Stretch Code, NFPA, the National Electrical Code, latest edition, to all other applicable codes, and to the requirements of regulatory agencies including the local fire department.
- Field-verify all dimensions and existing conditions. Notify Architect of discrepancies prior to commencing or continuing work.
- Written dimensions shall have precedence over scaled dimensions. Due to possible distortions in the drawings caused by reproduction processes, use care when scaling drawings.
- Details and larger-scale drawings shall have precedence over general drawings.
- All changes and deviations from the drawings shall be done in consultation with the Architect.

NO.	REVISION	DATE
1	SPECIAL PERMIT	4/1/2021



PROJECT

ALTERATIONS TO 8 DAY STREET

CAMBRIDGE, MASSACHUSETTS 02140

TITLE

SITE PLAN, ZONING & CONSTRUCTION INFORMATION, ABBREVIATIONS AND LEGEND

DATE  
2/23/2021

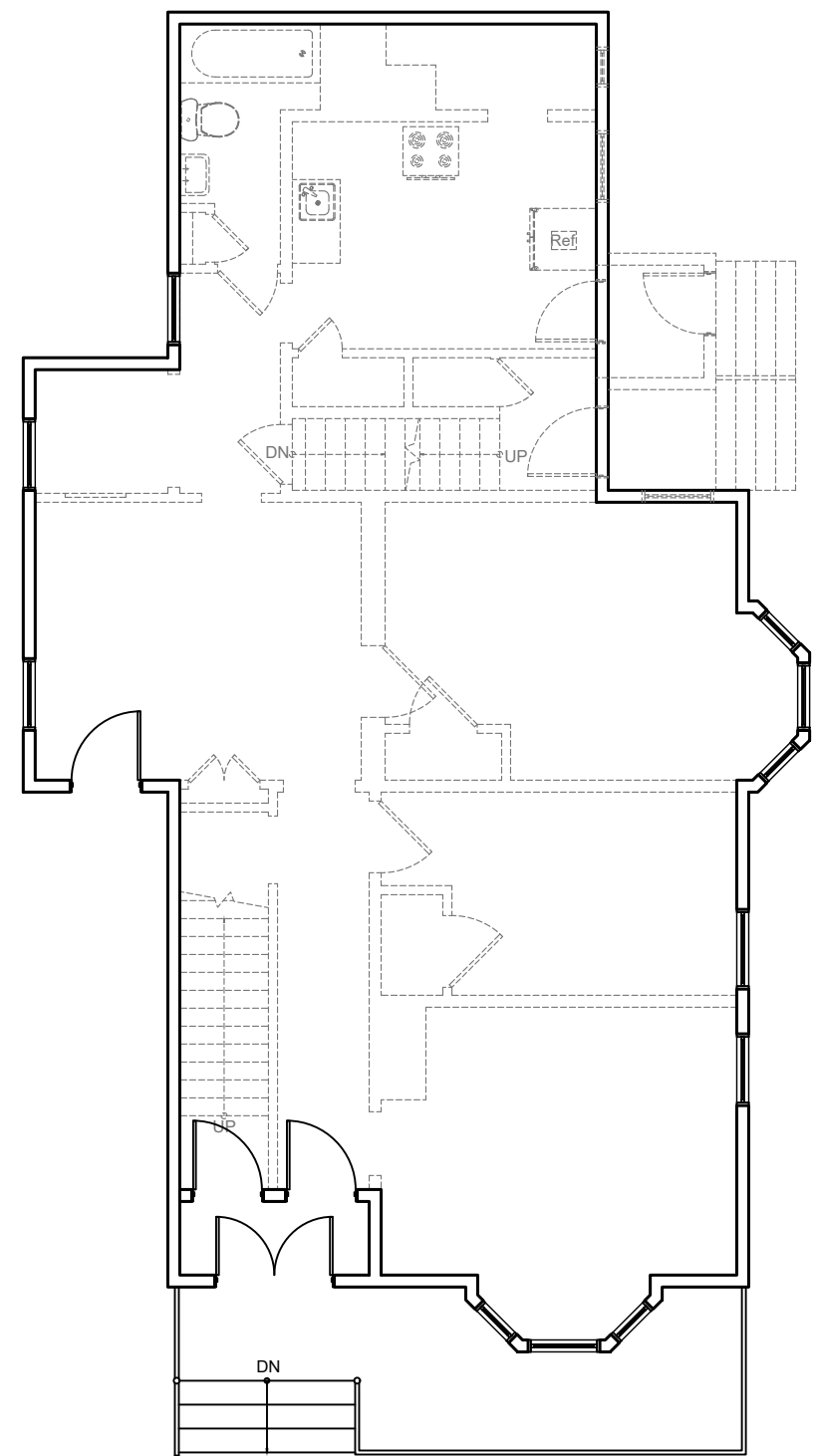
SCALE  
1/4" = 1'-0"

PROJECT NO.  
2014

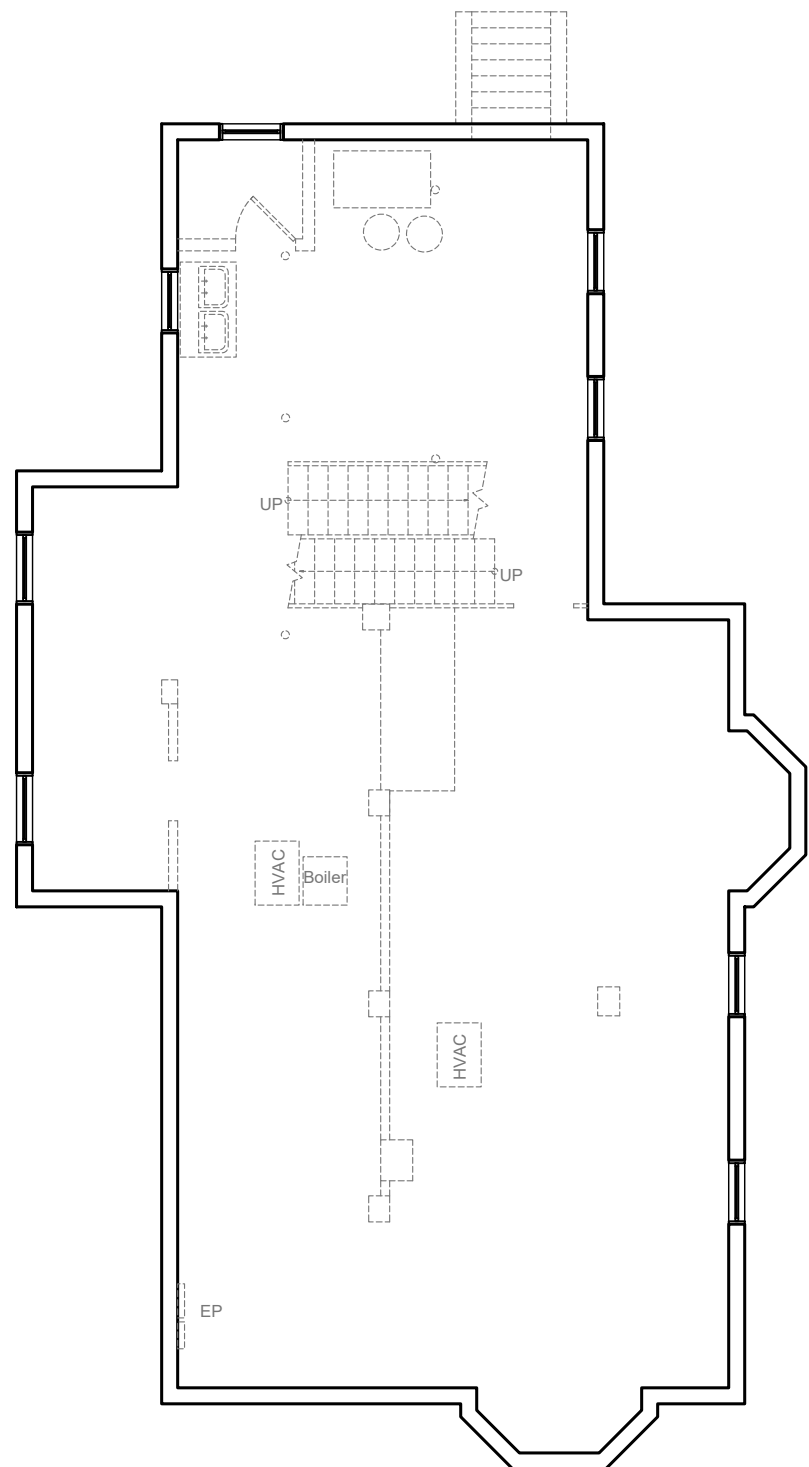
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SHEET NO.

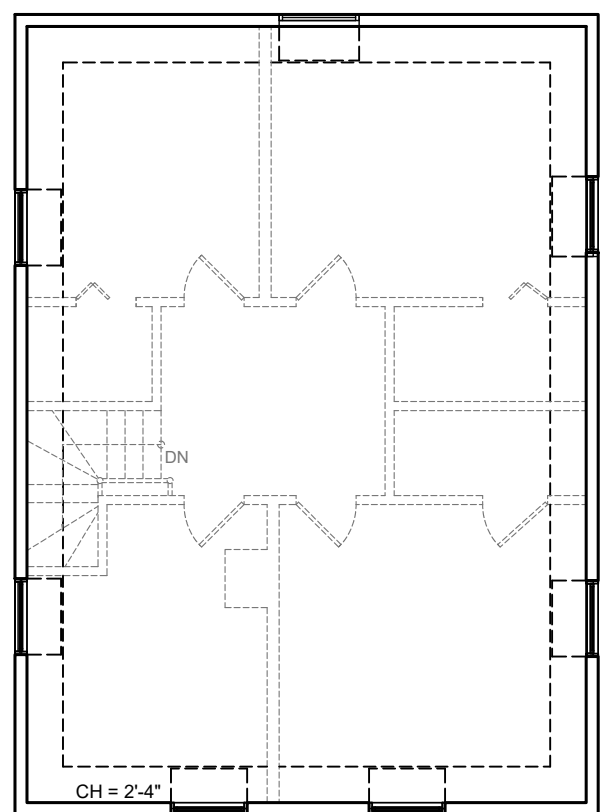
A-100



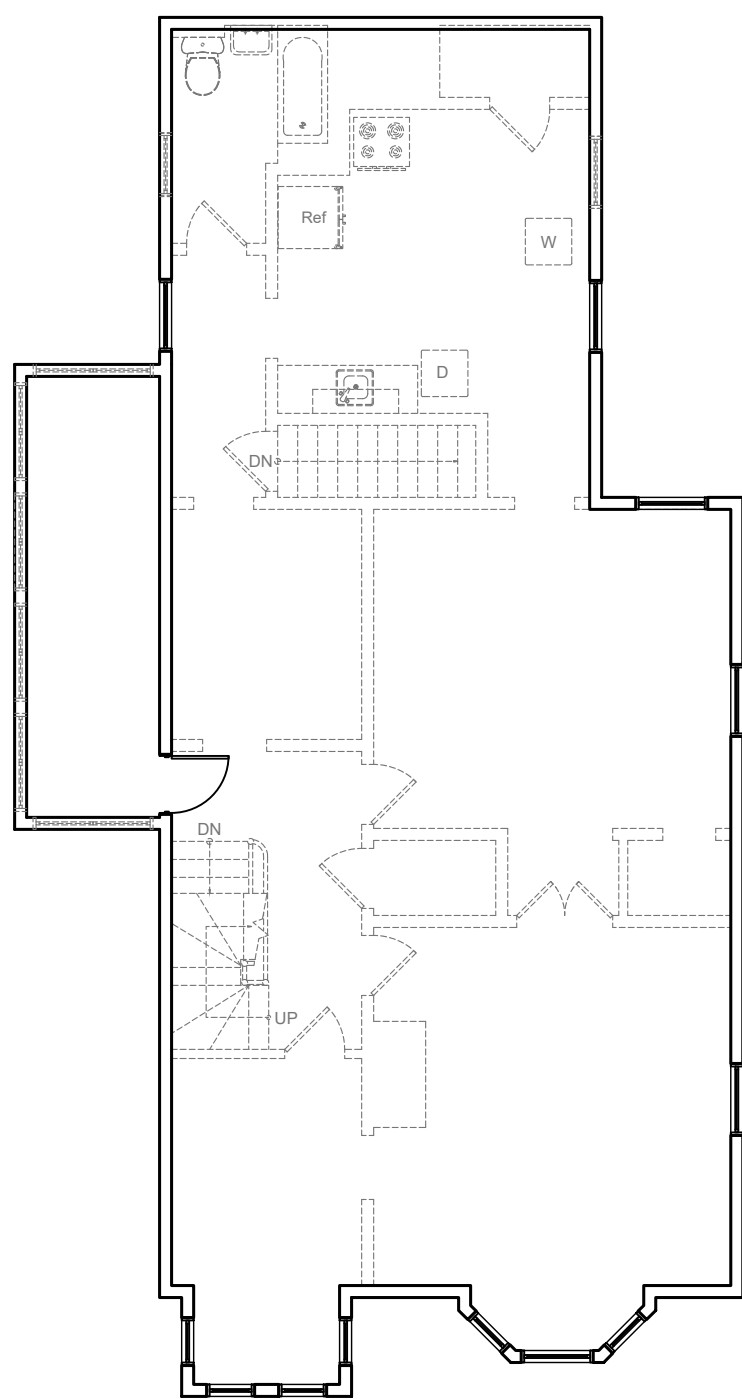
4 FIRST FLOOR DEMO PLAN  
1/8" = 1'-0"



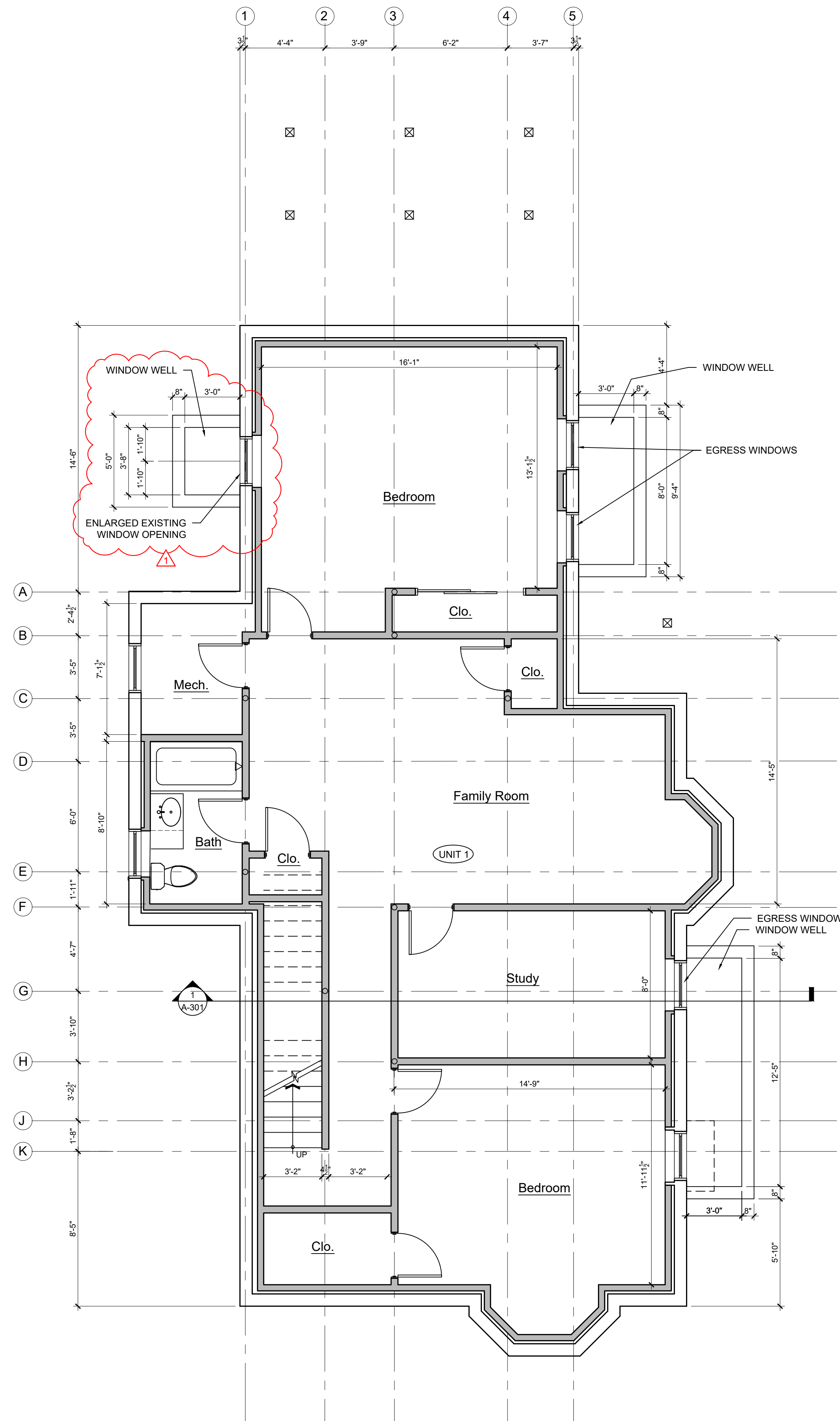
3 BASEMENT DEMO PLAN  
1/8" = 1'-0"



6 THIRD FLOOR DEMO PLAN  
1/8" = 1'-0"

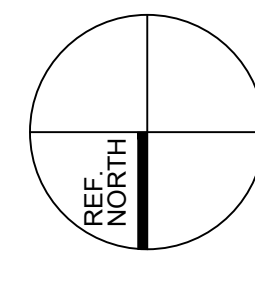
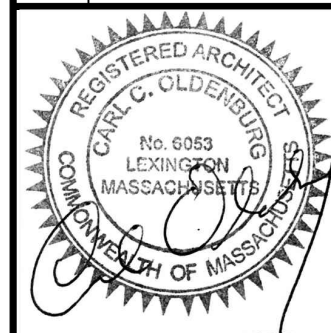


5 SECOND FLOOR DEMO PLAN  
1/8" = 1'-0"



1 BASEMENT LEVEL PLAN  
1/4" = 1'-0"

NO.	REVISION	DATE
1	SPECIAL PERMIT	4/1/2021

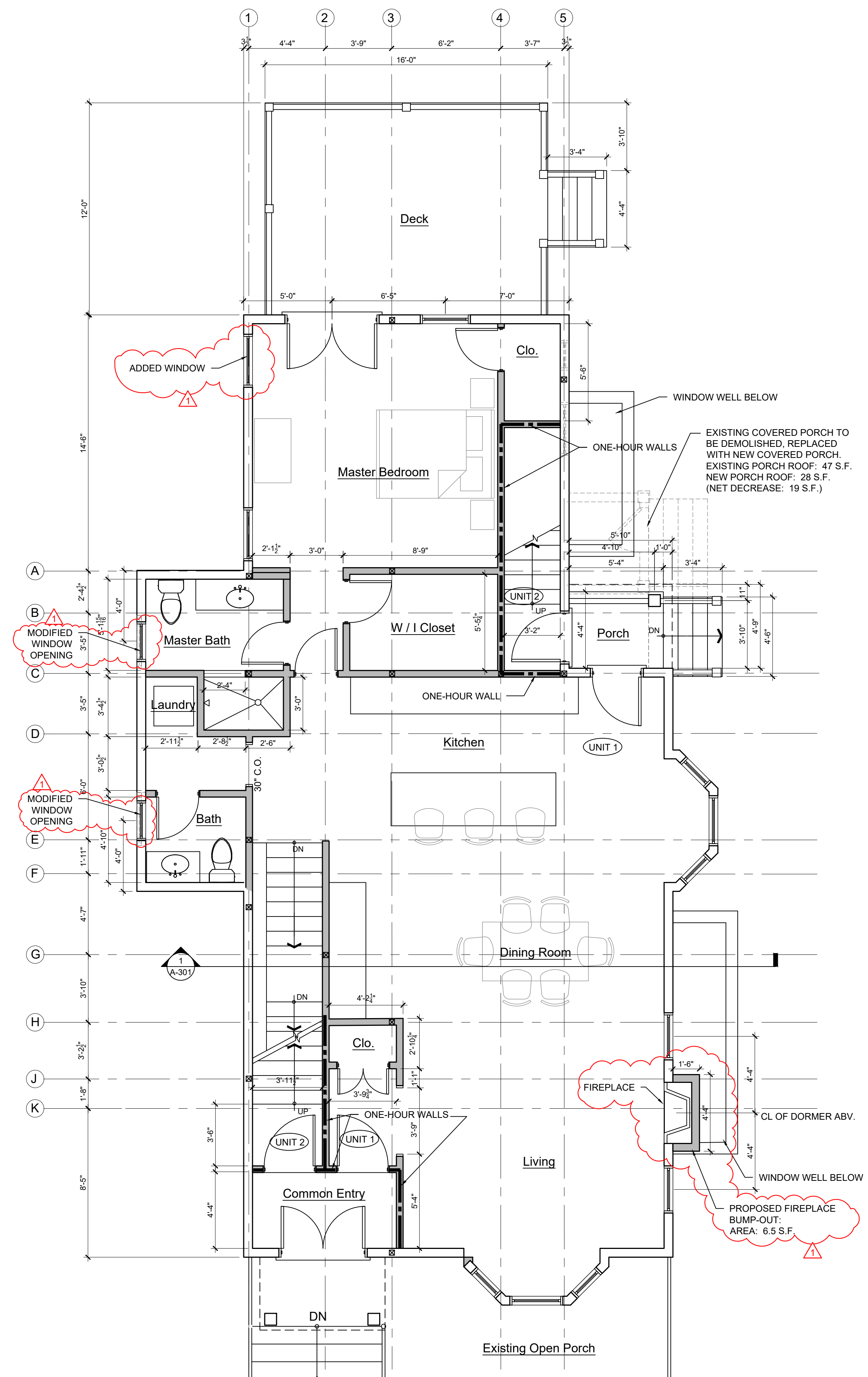
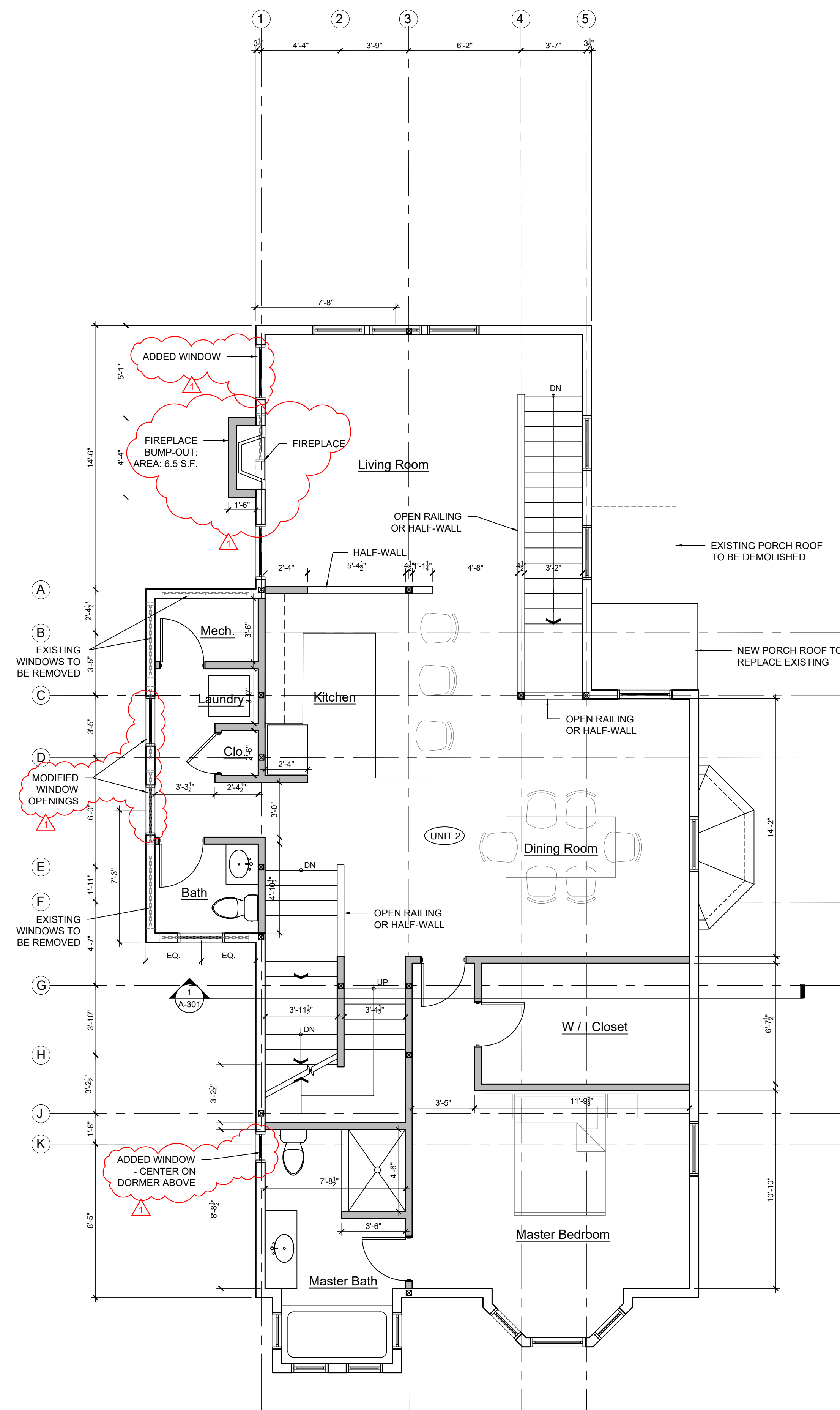
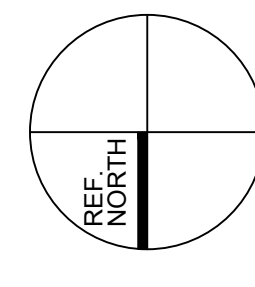
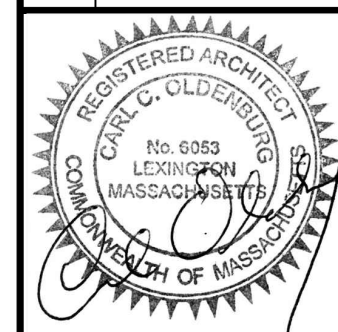


PROJECT  
**ALTERATIONS TO 8 DAY STREET**

CAMBRIDGE, MASSACHUSETTS 02140

TITLE  
**BASEMENT PLAN, AND DEMO PLANS**

DATE 2/23/2021	SHEET NO.
SCALE 1/4" = 1'-0"	<b>A-101</b>
PROJECT NO. 2014	
SET	

[illegible]

Carl C. Oldenburg AIA Architect

1666 Massachusetts Avenue  
Suite 11  
Lexington, MA 02420  
781-862-2275

PROJECT  
ALTERATIONS TO 8 DAY  
STREET

CAMBRIDGE, MASSACHUSETTS 02140

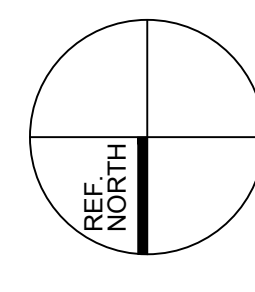
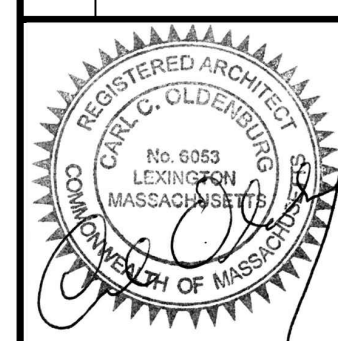
TITLE

FIRST AND SECOND FLOOR PLANS

DATE 2/23/2021	SHEET NO.  <div style="font-size: 48pt; text-align: center;">A-102</div>
SCALE 1/4" = 1'-0"	
PROJECT NO. 2014	
SET	

3 ROOF PLAN  
1/4" = 1'-0"

2 THIRD FLOOR PLAN  
1/4" = 1'-0"

[illegible]

Carl C. Oldenburg AIA | Architect

1666 Massachusetts Avenue  
Suite 11  
Lexington, MA 02420  
781-862-2275

PROJECT

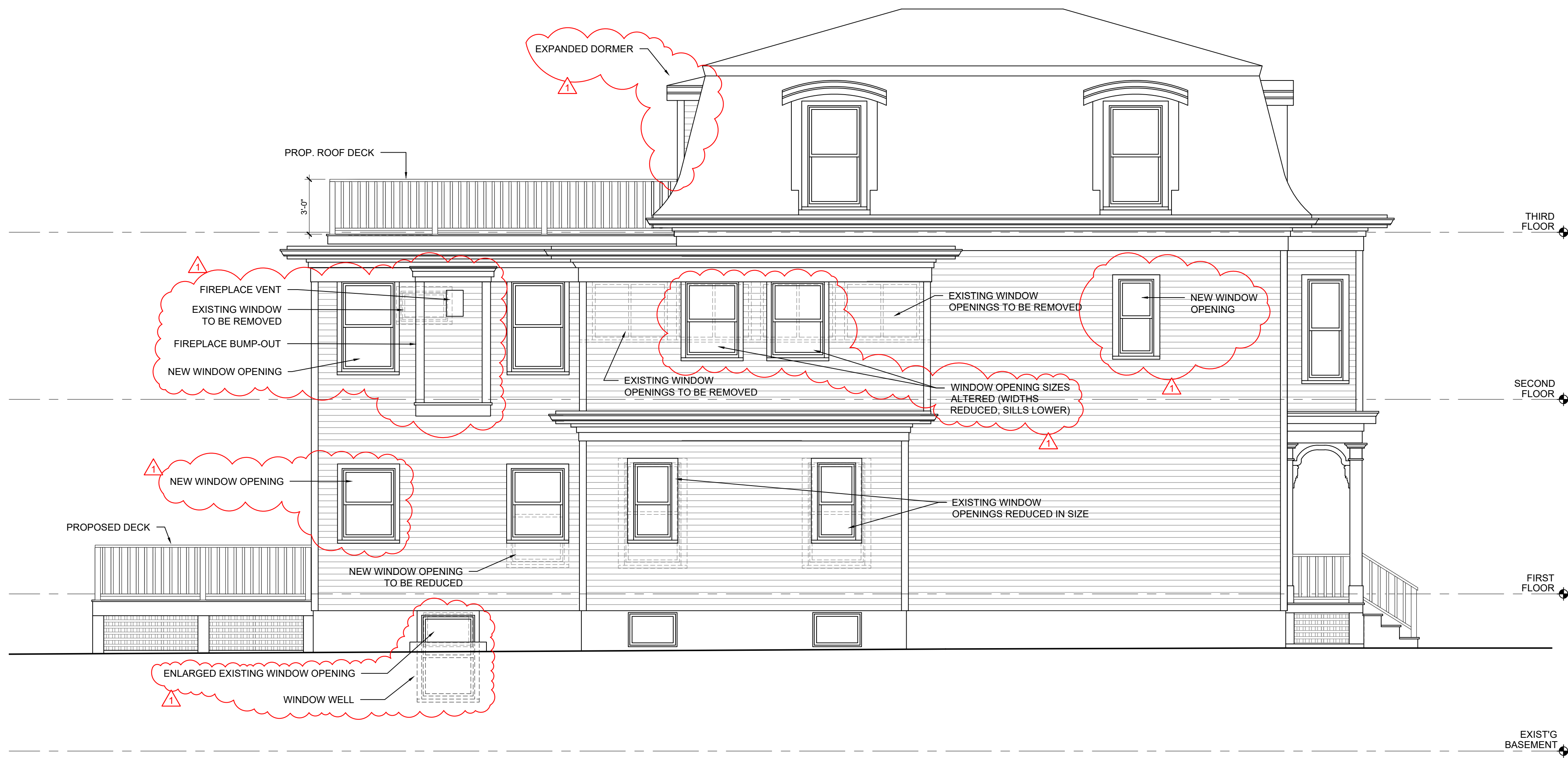
## ALTERATIONS TO 8 DAY STREET

CAMBRIDGE, MASSACHUSETTS 02140

TITLE

## THIRD FLOOR AND ROOF PLANS

DATE 2/23/2021	SHEET NO.  <b>A-103</b>
SCALE 1/4" = 1'-0"	
PROJECT NO. 2014	
SET	



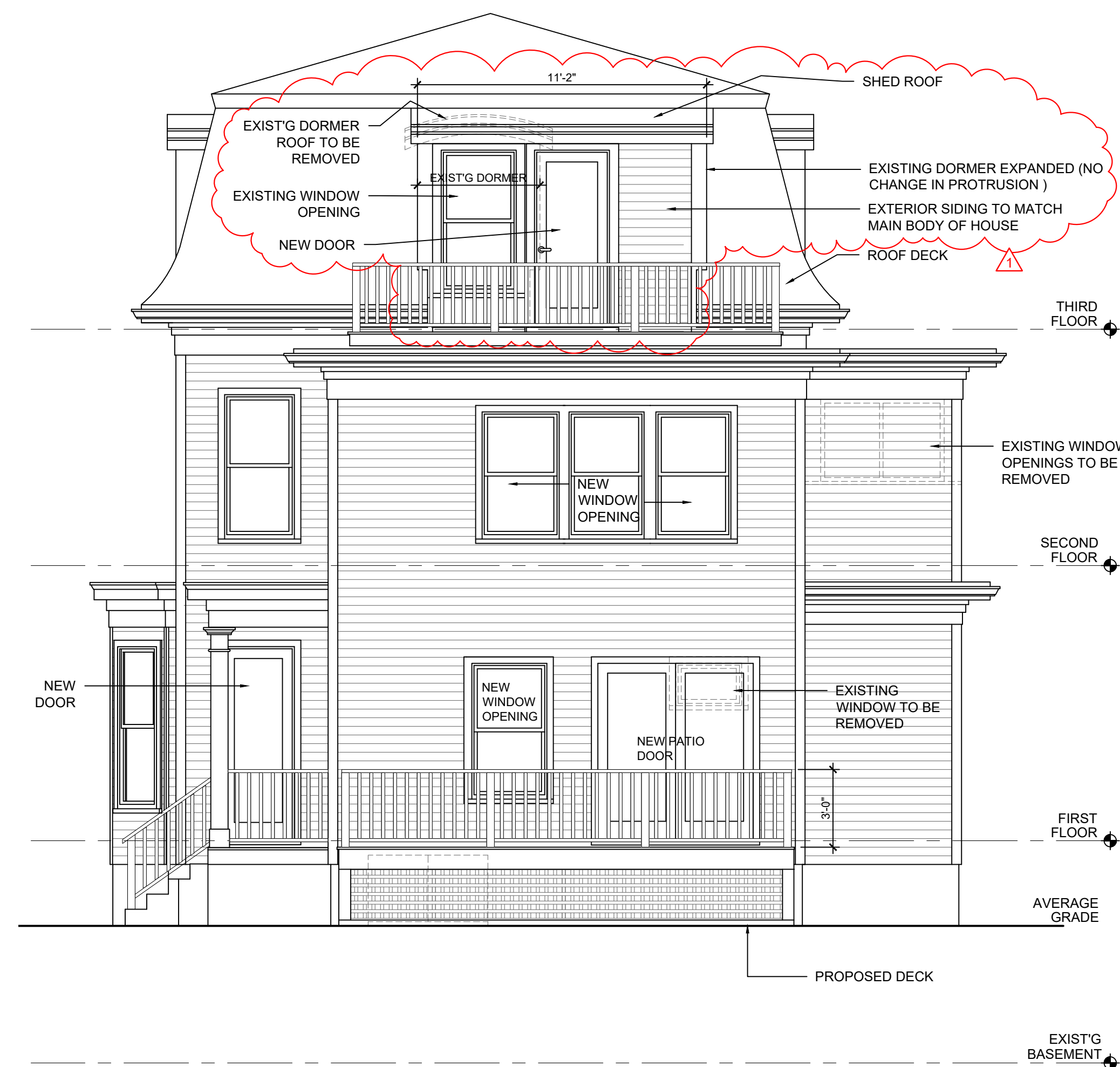
2 LEFT ELEVATION  
1/4" = 1'-0"



1 FRONT ELEVATION  
1/4" = 1'-0"



4 RIGHT ELEVATION  
1/4" = 1'-0"



3 REAR ELEVATION  
1/4" = 1'-0"

NOTES:  
1. ALL SIDING TO BE REPLACED.  
2. WINDOWS SHOWN ARE EXISTING TO BE REPLACED UNLESS OTHERWISE NOTED.

NO.	REVISION	DATE
1	SPECIAL PERMIT	4/1/2021

Carl C. Oldenburg AIA | Architect

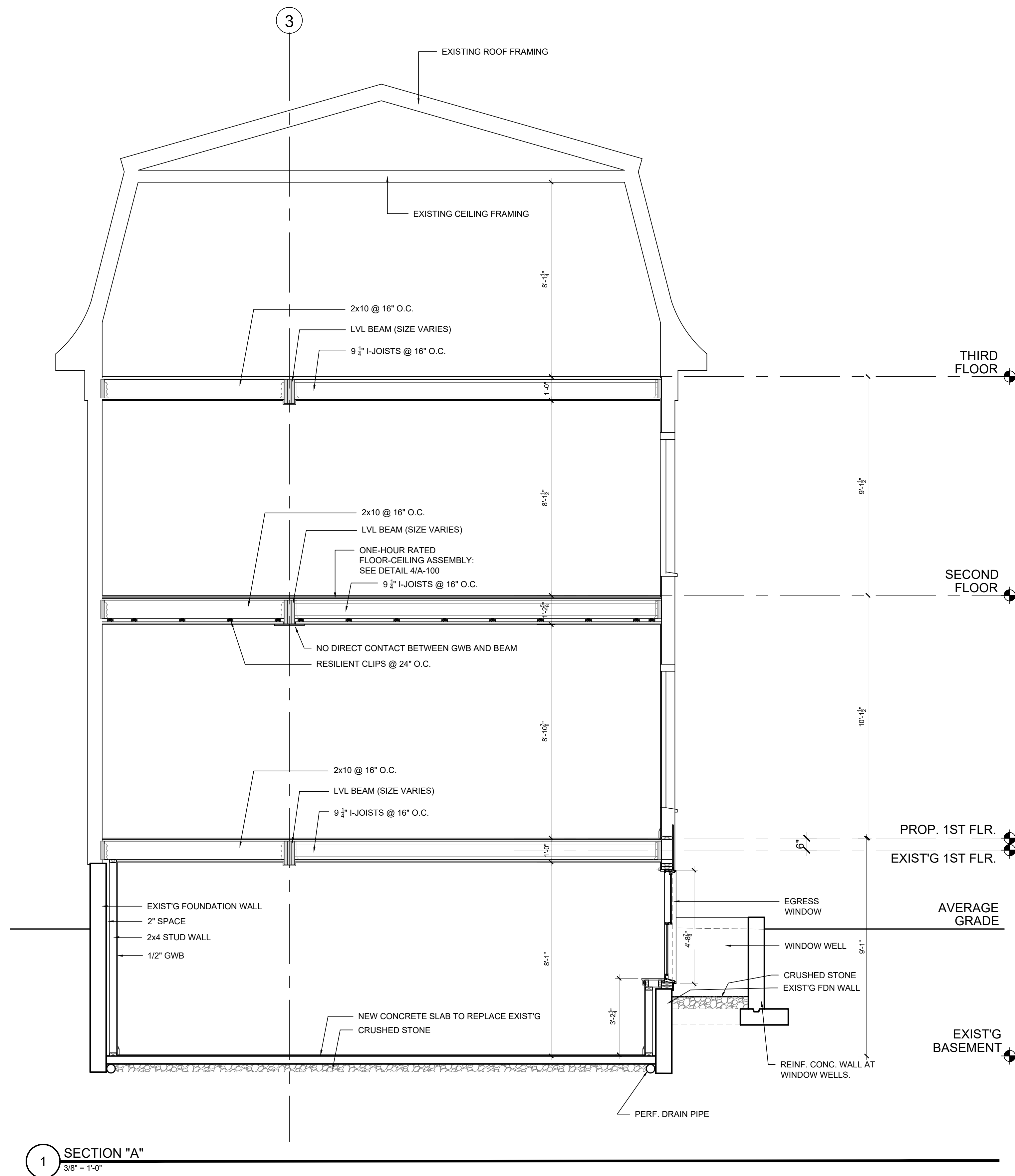
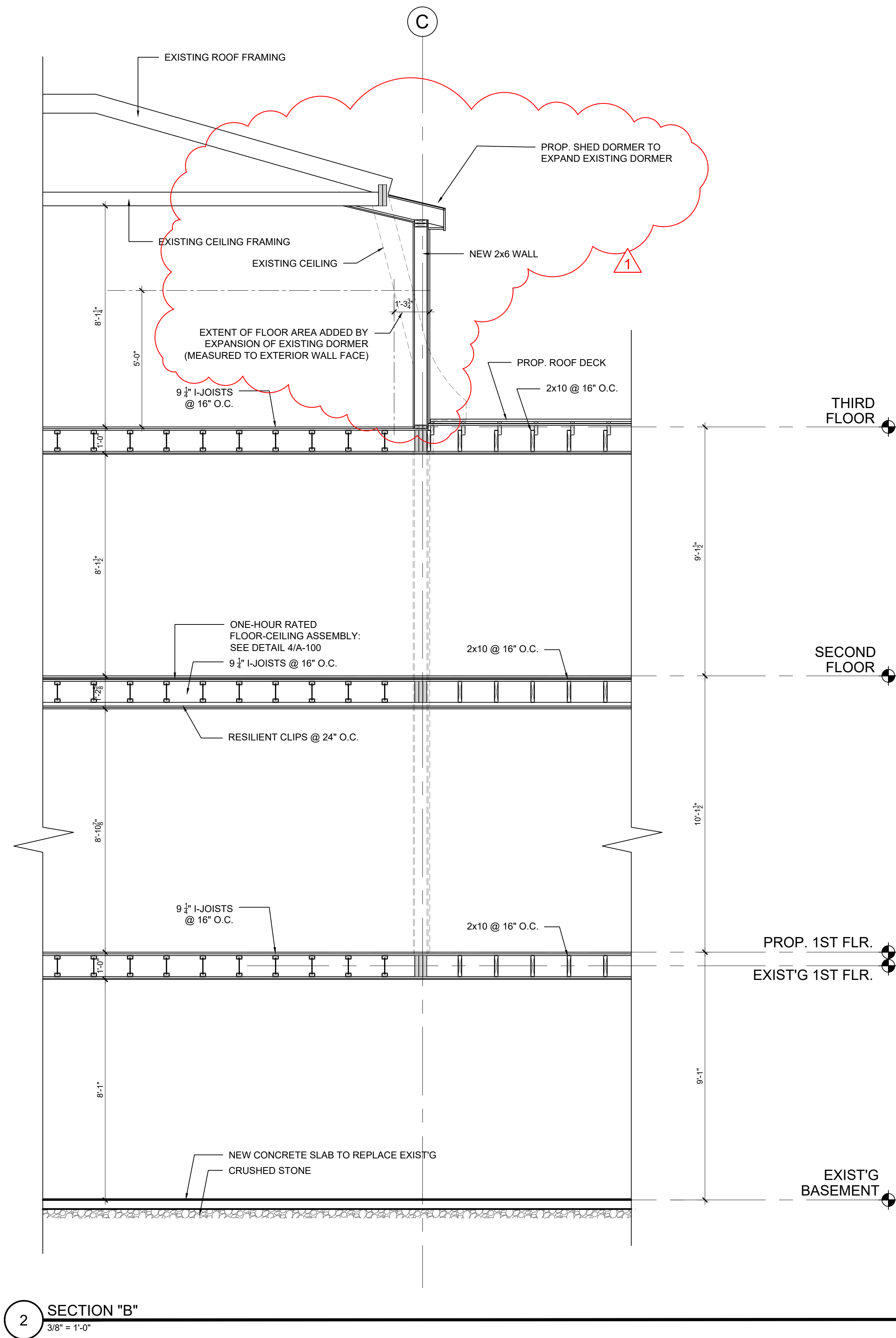
1666 Massachusetts Avenue  
Suite 11  
Lexington, MA 02420  
781-862-2275

PROJECT  
**ALTERATIONS TO 8 DAY STREET**

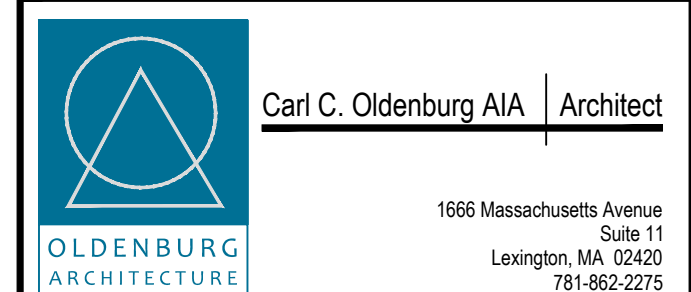
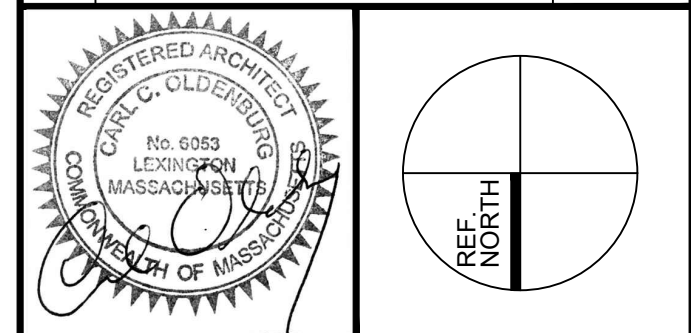
CAMBRIDGE, MASSACHUSETTS 02140

TITLE  
**ELEVATIONS**

DATE	SHEET NO.
2/23/2021	<b>A-201</b>
SCALE 1/4" = 1'-0"	
PROJECT NO. 2014	
SET	



NO.	REVISION	DATE
1	SPECIAL PERMIT	4/1/2021

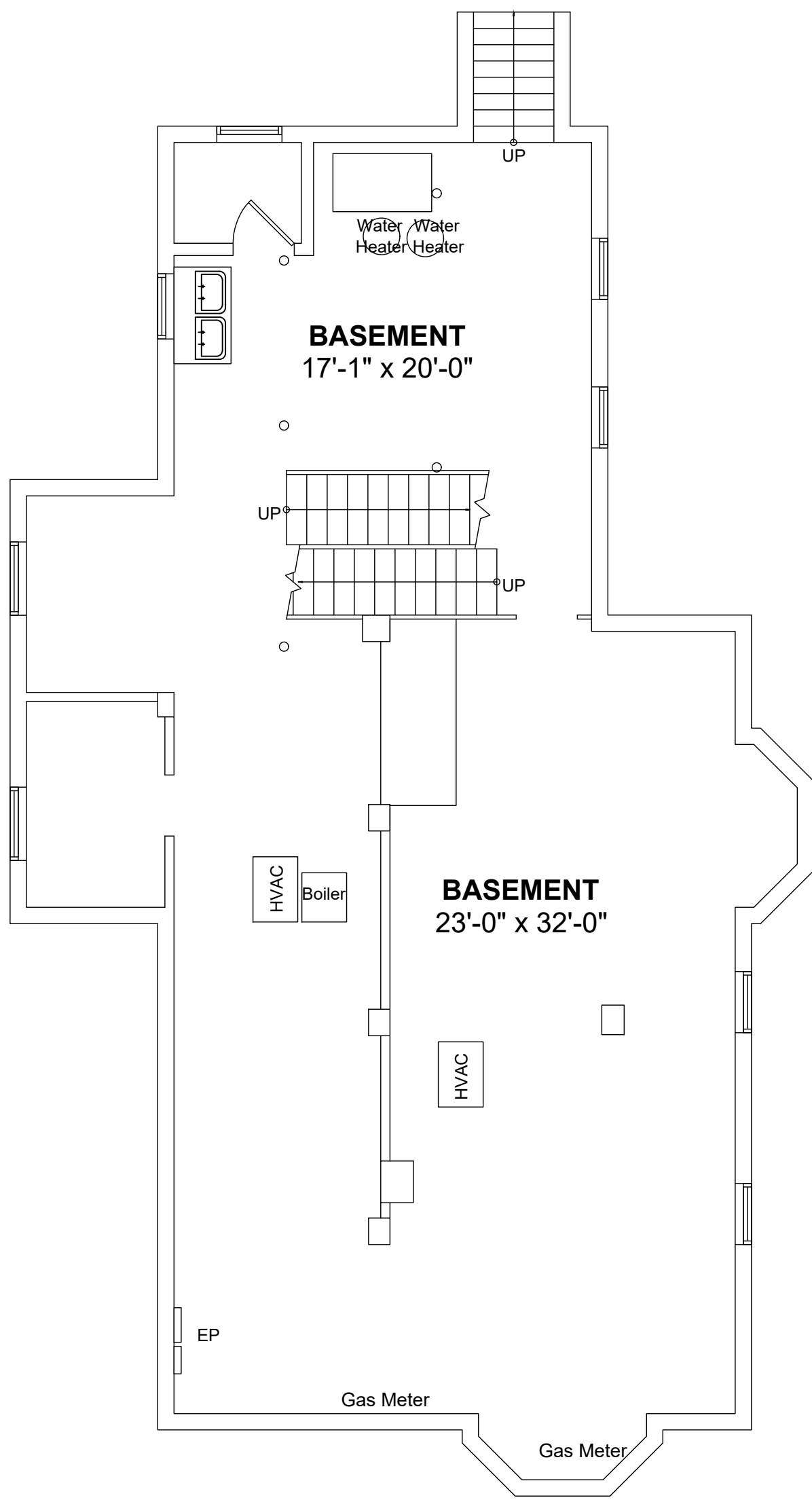


PROJECT  
ALTERATIONS TO 8 DAY STREET

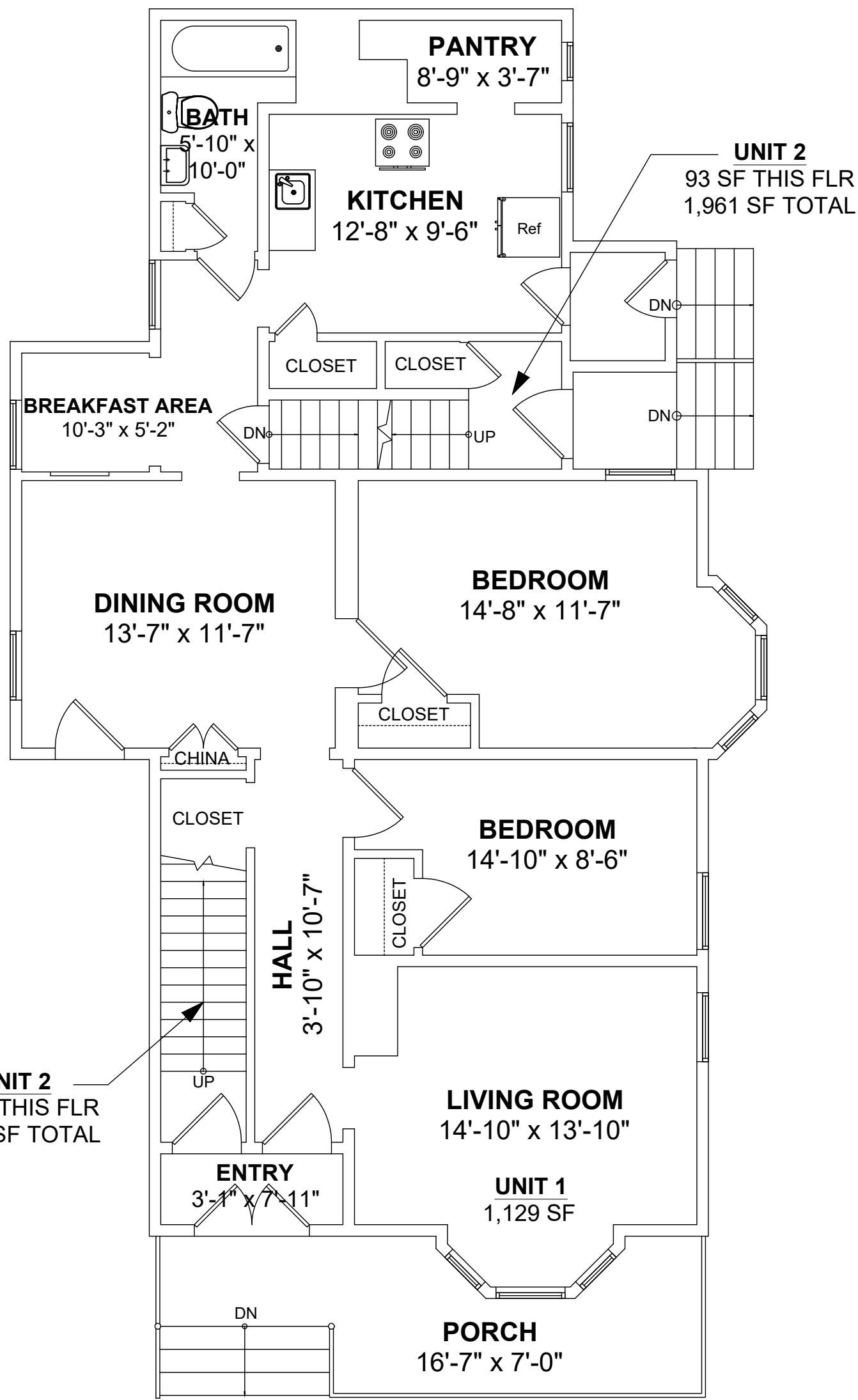
CAMBRIDGE, MASSACHUSETTS 02140

TITLE  
SECTIONS

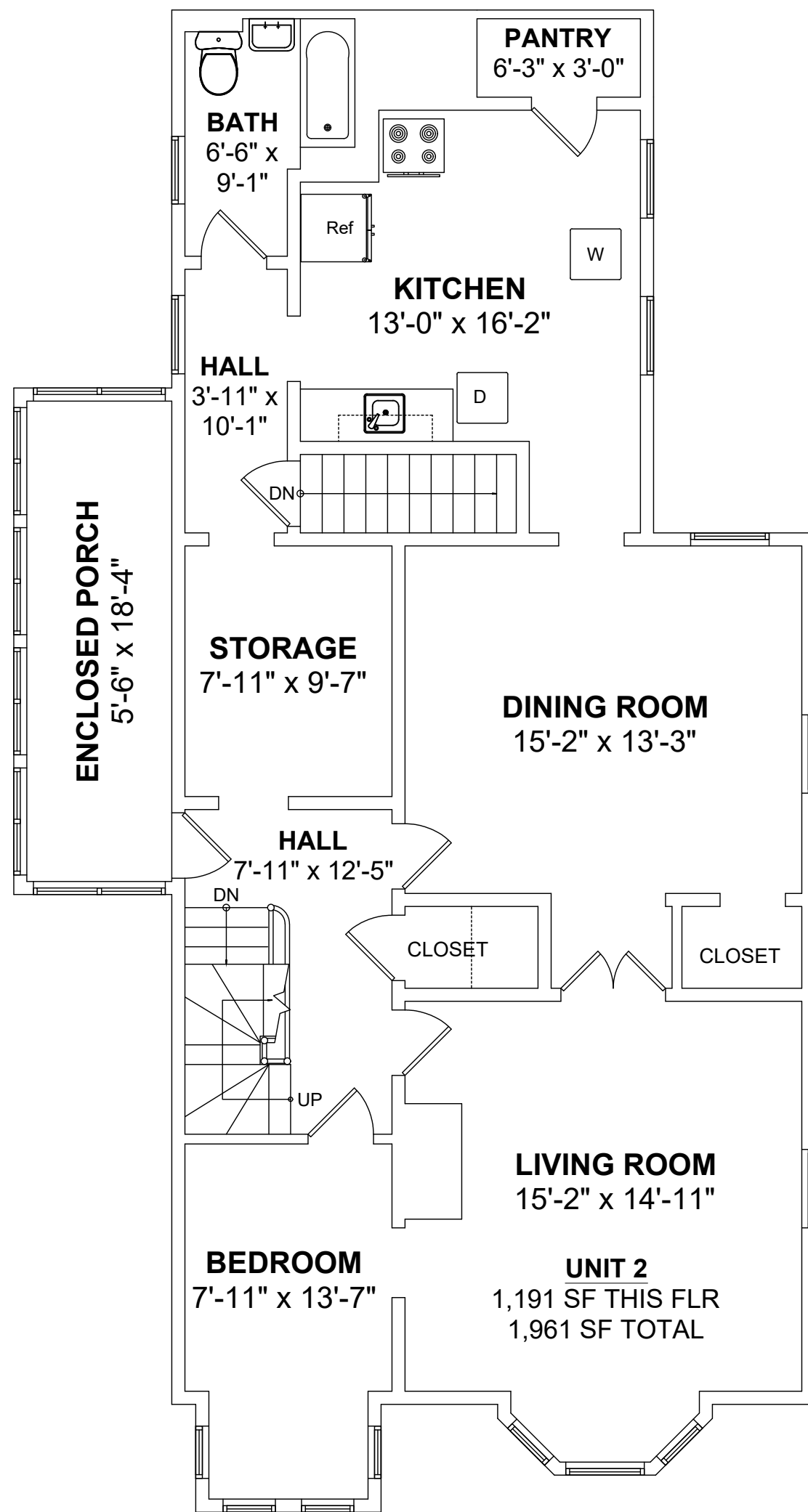
DATE 2/23/2021	SHEET NO. A-301
SCALE AS NOTED	
PROJECT NO. 2014	
SET	



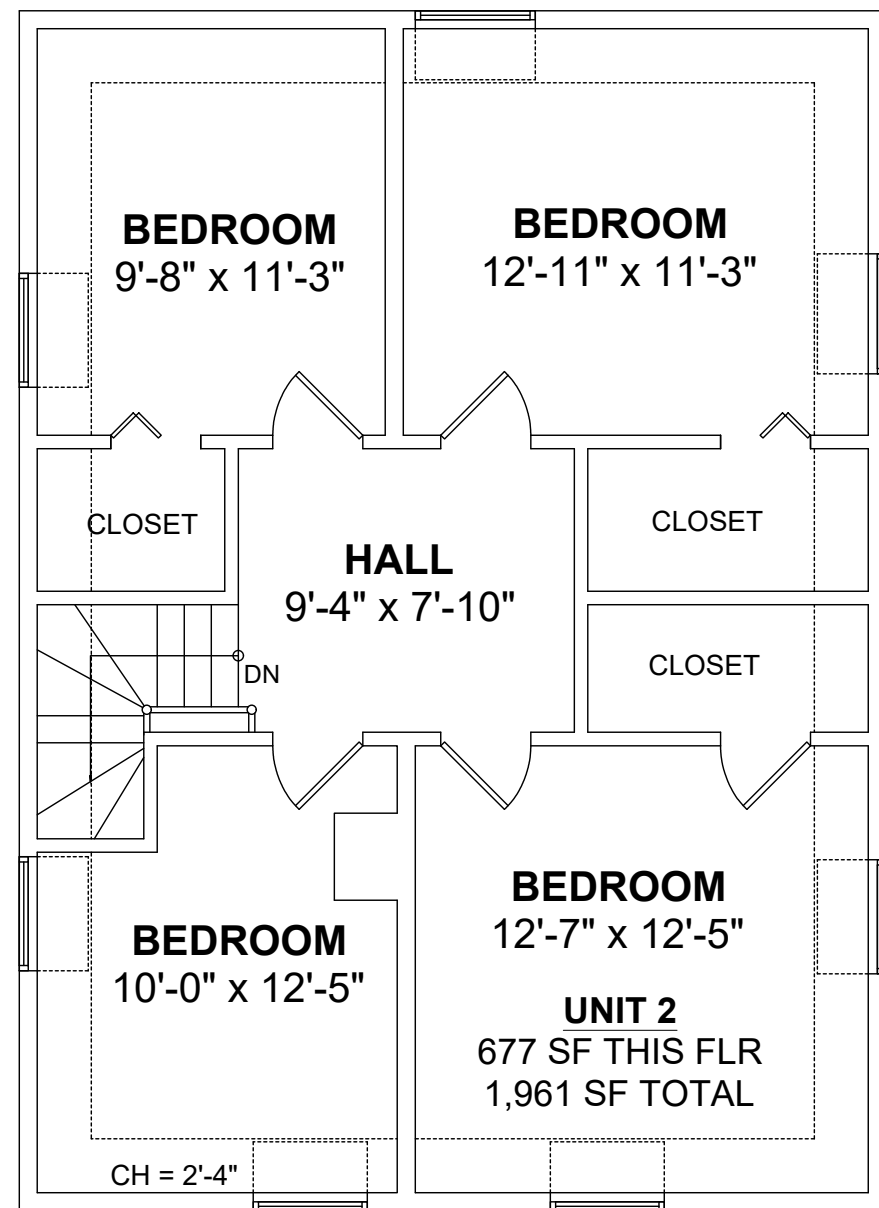
**BASEMENT PLAN**  
Ceiling Height = 7'-9"



**FIRST FLOOR PLAN**  
Ceiling Height = 9'-8"

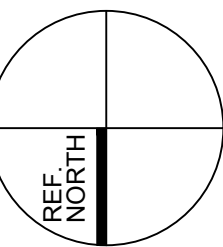



**SECOND FLOOR PLAN**  
Ceiling Height = 8'-2"



**THIRD FLOOR PLAN**  
Ceiling Height = 8'-1"

NO.	REVISION	DATE





Carl C. Oldenburg AIA | Architect  
1666 Massachusetts Avenue  
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Lexington, MA 02420  
781-862-2275

PROJECT  
**ALTERATIONS TO 8 DAY STREET**

CAMBRIDGE, MASSACHUSETTS 02140

TITLE  
**EXISTING PLANS**

DATE 2/23/2021	SHEET NO. <b>EX-01</b>
SCALE 3/16" = 1'-0"	
PROJECT NO. 2014	
SET	



2 LEFT ELEVATION  
1/4" = 1'-0"

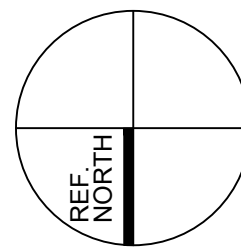
1 FRONT ELEVATION  
1/4" = 1'-0"



4 RIGHT ELEVATION  
1/4" = 1'-0"

3 REAR ELEVATION  
1/4" = 1'-0"

NO.	REVISION	DATE



Carl C. Oldenburg AIA | Architect

1666 Massachusetts Avenue  
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Lexington, MA 02420  
781-862-2275

PROJECT  
ALTERATIONS TO 8 DAY  
STREET

CAMBRIDGE, MASSACHUSETTS 02140

TITLE  
EXISTING ELEVATIONS

DATE 2/23/2021	SHEET NO. EX-02
SCALE 1/4" = 1'-0"	
PROJECT NO. 2014	
SET	

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF NOVEMBER 23, 2020 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS  
ZONE: X  
COMMUNITY PANEL: 25017C0419E  
EFFECTIVE DATE: 06/04/2010

PREPARED FOR:  
HAWTHORNE DEVELOPMENT VENTURES, LLC  
41 ROYAL AVENUE  
CAMBRIDGE, MA 02138

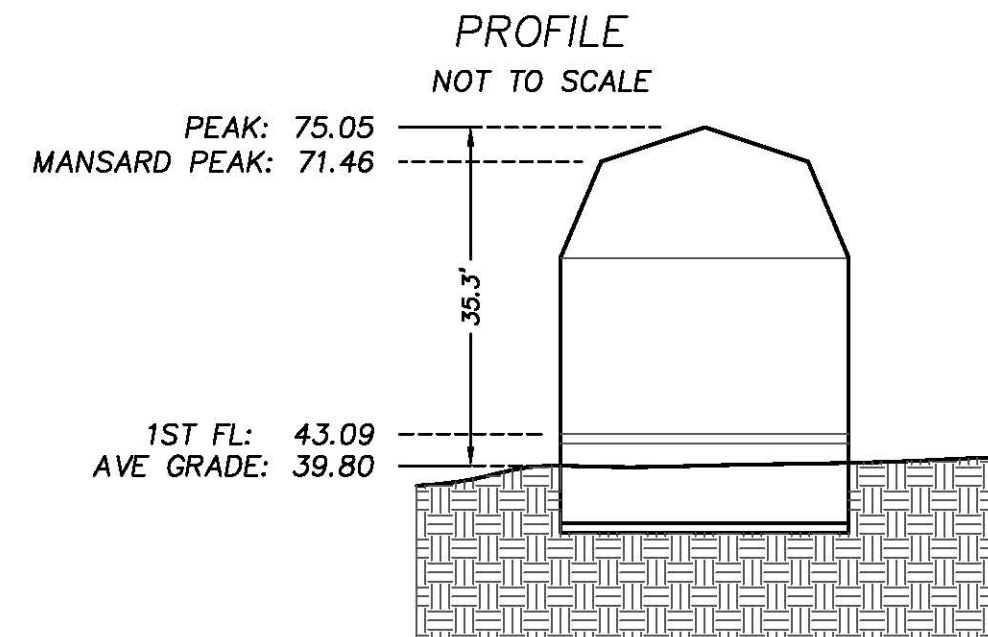
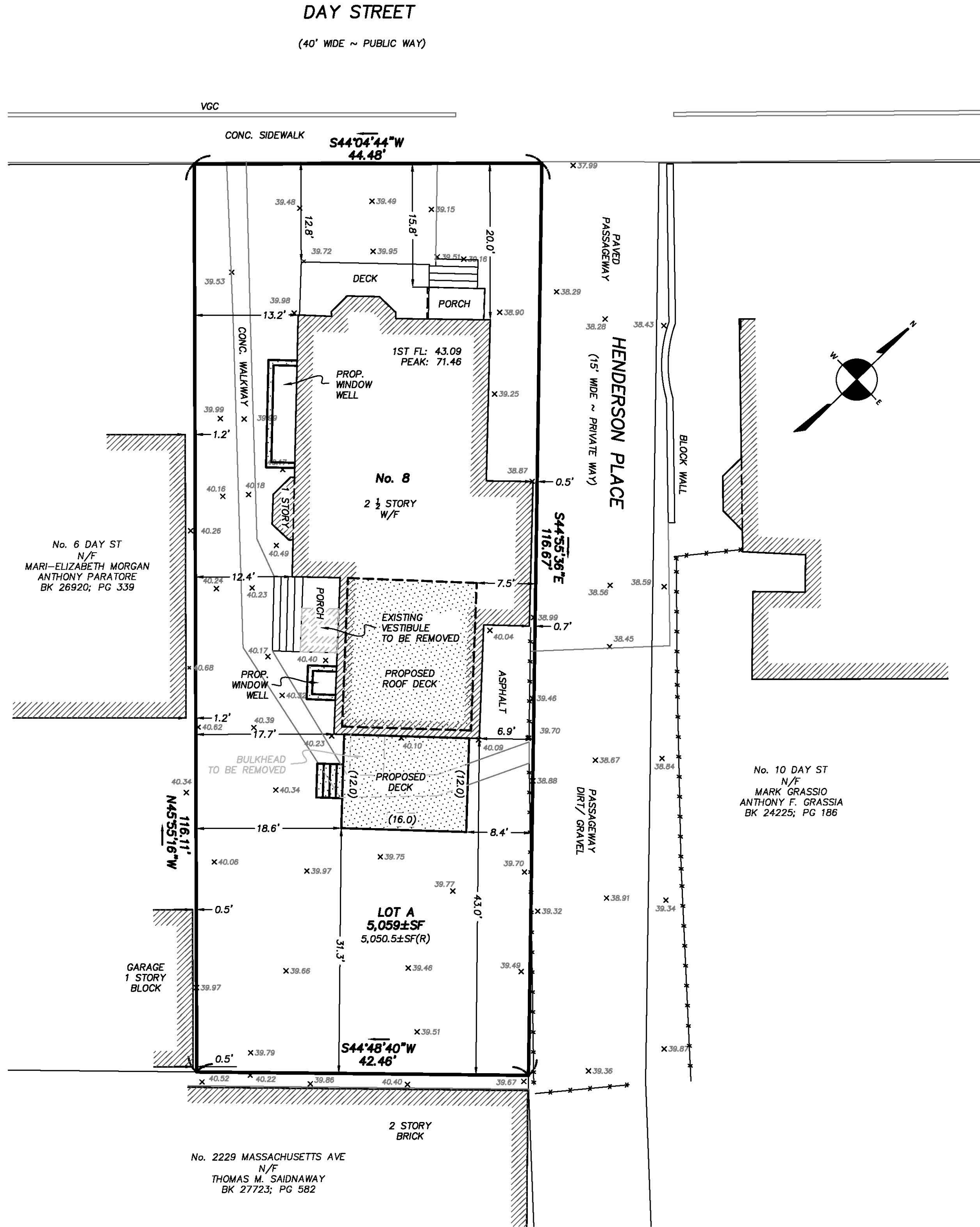
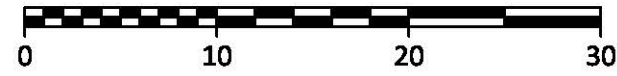
REFERENCES:  
OWNER OF RECORD:  
JOHN SOO HOO  
8 DAY STREET  
CAMBRIDGE, MA 02140

DEED: BK 61704; PG 349  
PLAN: PL BK 138; PL 38  
BK 4109; PG END  
PL 1974 #57  
PL 2004 #57  
LCC: 32889-A

NOTES:  
VERT. DATUM: CAMBRIDGE CITY BASE

# SITE PLAN OF LAND LOCATED AT 8 DAY STREET CAMBRIDGE, MA

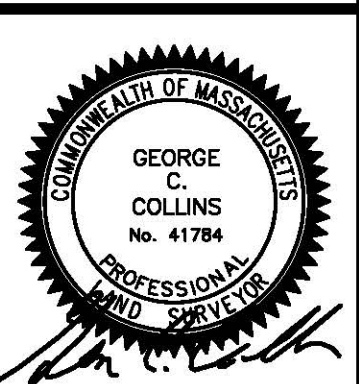
DATE: DECEMBER 17, 2020 SCALE: 1.0 INCH = 10.0 FEET



<b>ZONING:</b>				
MAP/LOT:	182-61			
DISTRICT:	B			
PROPERTY CLASS:	TWO-FAMILY			
FAR	(MAX.)	0.5	-	-
LOT SIZE	(MIN.)	5,000 SF	5,059±SF	5,059±SF
LOT AREA, DW/UNIT	(MIN.)	2,500 SF	2,529.5±SF	2,529.5±SF
LOT WIDTH	(MIN.)	50'	44.15'*	44.15'*
FRONT SETBACK	(MIN.)	15'	15.8'	15.8'
SIDE SETBACK 1	(MIN.)	7.5'	12.4'	12.4'
SIDE SETBACK 2	(MIN.)	7.5'	0.5'*	0.5'*
		SUM 20'	12.9'*	12.9'*
REAR SETBACK	(MIN.)	25'	43.0'	43.0'
HEIGHT, FEET	(MAX.)	35'	35.3'*	35.3'*
PVT. OP. SPACE	(MIN.)	40%	42%	42%

\* = NON-CONFORMING

FIELD: MO  
DRAFT: RAP  
CHECK: GCC  
DATE: 02/11/21  
JOB # 20-00542









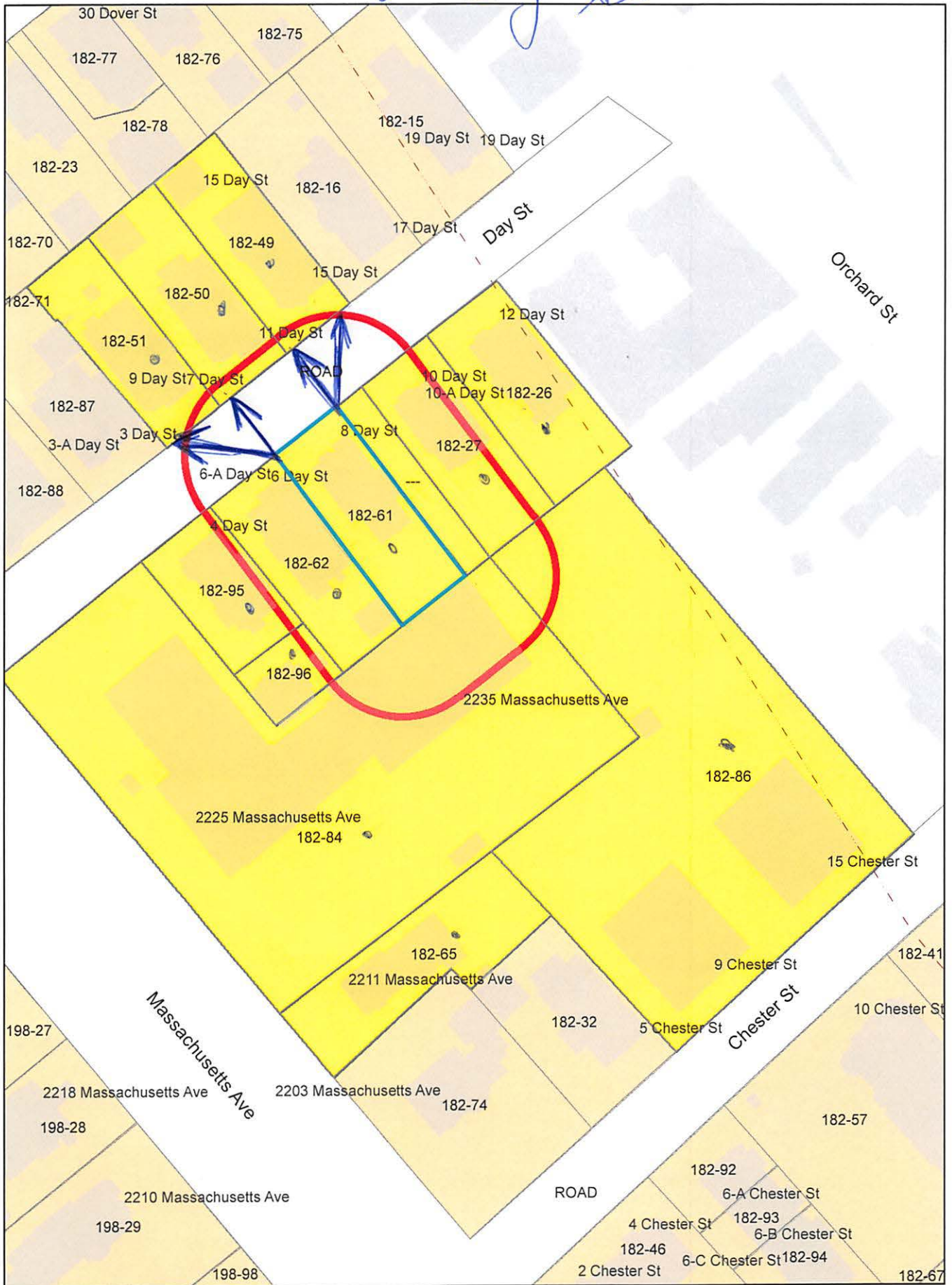








8 Day St.



8 Day St.

182-26  
SKENTZOS, JAMES & BESSIE SKENTZOS  
12 DAY ST  
CAMBRIDGE, MA 02140-1204

182-49  
TABRIZI, JOUBIN HATAMZADEH &  
RANA GHahremanpour  
15 DAY ST., #2  
CAMBRIDGE, MA 02141

182-27  
GRASSIA, MARK & ANTHONY F. GRASSIA  
71 MAGAZINE ST.  
CAMBRIDGE, MA 02140-1204

182-51  
GROSSI, JEANNE  
7-9 DAY ST  
CAMBRIDGE, MA 02140

182-86  
NOSTALGIA PROPERTIES, LLC,  
C/O NOSTALGIA PROPERTIES LLC  
39 BRIGHTON AVE.  
BOSTON, MA 02134

182-49  
ORLIK, PHILIP V. & CHRISTINE L. ORLIK  
15 DAY ST. UNIT#1  
CAMBRIDGE, MA 02140

182-84  
SAIDNAWAY, THOMAS M.  
2225 MASS AVE  
CAMBRIDGE, MA 02140

182-62  
MORGEN, MARI-ELIZABETH &  
ANTHONY PARATORE  
6 DAY ST  
CAMBRIDGE, MA 02140-1204

182-95  
MEISJESMACHT, LLC  
4 DAY ST  
CAMBRIDGE, MA 02140

182-49  
VULETIC, VLADAN &  
SIMONIDA CEKOVIC-VULETIC  
9 UNION STREET  
CAMBRIDGE, MA 02139

Petitioner

182-61  
HAWTHORNE DEVELOPMENT VENTRES LLC  
C/O BRIAN LAVELLE  
41 ROYAL AVE  
CAMBRIDGE, MA 02138

182-65  
SADO ESTATES, LLC,  
59 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138

182-50  
MORRISSEY, MICHELE  
MICHAEL MORRISSEY, TRS.  
11 DAY ST  
CAMBRIDGE, MA 02140

182-96  
MEISJESMACHT, LLC  
10 ELIOT ST  
CAMBRIDGE, MA 02138