



CITY OF CAMBRIDGE  
MASSACHUSETTS  
BOARD OF ZONING APPEAL  
831 MASSACHUSETTS AVENUE  
CAMBRIDGE, MA 02139  
617 349-6100

BZA APPLICATION FORM

Plan No: BZA-017122-2019

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : \_\_\_\_\_ Variance : ✓ Appeal : \_\_\_\_\_

PETITIONER : Phillip T. Ragon & Susan M. Ragon - C/O Megan M. Kemp, Esq. / Adam Dash & As

PETITIONER'S ADDRESS : 48 Grove Street, Suite 304 Somerville, MA 02144

LOCATION OF PROPERTY : 8 Follen St Cambridge, MA

TYPE OF OCCUPANCY : 101 ZONING DISTRICT : Residence A-1 Zone

REASON FOR PETITION :

Other: Alteration to Rear Door Overhang

DESCRIPTION OF PETITIONER'S PROPOSAL :

The existing structure has a pre-existing non-conforming FAR limiting petitioners' ability to make any alteration without relief. Petitioner is requesting relief to alter an existing overhang over a rear door to create a uniform overhang from a bay window to the side of the door on one side across to a window on the other side of said door. Said extension of the overhang will result in a minimal increase for the pre-existing non-conforming FAR from 0.588 to 0.589.

SECTIONS OF ZONING ORDINANCE CITED :

Article <u>5.000</u>	Section <u>5.31</u> (Table of Dimensional Requirements).
Article <u>8.000</u>	Section <u>8.22.3</u> (Non-Conforming Structure).
Article <u>10.000</u>	Section <u>10.30</u> (Variance).

Original Signature(s) :

  
(Petitioner(s) / Owner)

Megan M. Kemp, Esq. // Adam Dash & Associates

(Print Name)

Address : 48 Grove Street, Suite 304  
Somerville, MA 02144

Tel. No. : 617-625-7373

E-Mail Address : kemp@adamdashlaw.com

Date : May 9, 2019

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

*To be completed by OWNER, signed before a notary and returned to  
The Secretary of the Board of Zoning Appeals.*

I/We Phillip T. Ragon and Susan M. Ragon  
(OWNER)

Address: 8 Follen Street, Cambridge, MA

State that I/We own the property located at 8 Follen Street,  
which is the subject of this zoning application.

The record title of this property is in the name of Phillip T. Ragon and  
Susan M. Ragon

\*Pursuant to a deed of duly recorded in the date 8/3/1995, Middlesex South  
County Registry of Deeds at Book 25607, Page 081; or  
Middlesex Registry District of Land Court, Certificate No. n/a  
Book n/a Page n/a.

  
SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

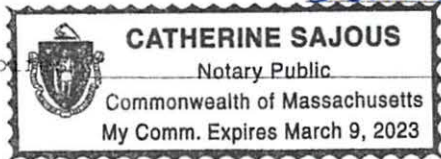
\*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Suffolk

The above-name Phillip T. and Susan M. Ragon personally appeared before me,  
this 24<sup>th</sup> of April, 2019, and made oath that the above statement is true.

 Notary

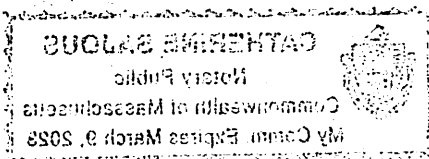
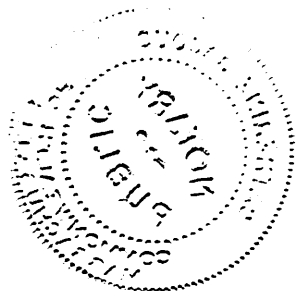
My commission expires



(Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

MAST 1001



**BZA APPLICATION FORM**

**SUPPORTING STATEMENT FOR A VARIANCE**

**EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:**

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the provisions of the Ordinance would prevent petitioner from being able to alter the overhang in any way leaving the door and neighboring window exposed. Individuals waiting to enter from this doorway would not have adequate overhead coverage in the elements.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The existing structure along with the unusual shape of the lot create a hardship for the petitioner which limits petitioner's ability to make any alterations to the property without relief from the Ordinance. The lot shape is unique to the property and is not generally an issue in the zoning district. Further, because of the location of the pre-existing decks/porches on the structure, any change to the overhangs affects the FAR, which would prevent any ability by the petitioner to better protect windows and doorways by altering same.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1) Substantial detriment to the public good for the following reasons:

The altered overhang is not visible by a public way and stays within the existing footprint of the structure resulting in no effect to neighbors or those passing through the neighborhood. The minor increase to the FAR does not result in any substantial or noticeable increase to the size of the building or the liveable space therein.

- 2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The minor alteration does not nullify or substantially derogate from the intent or purpose of the Ordinance as it allows for a better quality use of the property without negatively affecting congestion, density, or blight in the neighborhood. It is not an impermissible use of the premises and results in a benefit to the current and future owners.

- \* If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

**BZA APPLICATION FORM****DIMENSIONAL INFORMATION**

**APPLICANT:** Adam Dash & Associates      **PRESENT USE/OCCUPANCY:** Single Family Res  
**LOCATION:** 8 Follen St Cambridge, MA      **ZONE:** Residence A-1 Zone  
**PHONE:** \_\_\_\_\_ **REQUESTED USE/OCCUPANCY:** Single Family Res

		<b><u>EXISTING CONDITIONS</u></b>	<b><u>REQUESTED CONDITIONS</u></b>	<b><u>ORDINANCE REQUIREMENTS</u></b> <sup>1</sup>	
<b><u>TOTAL GROSS FLOOR AREA:</u></b>		<u>9023</u>	<u>9042</u>	<u>7671</u>	(max.)
<b><u>LOT AREA:</u></b>		<u>15343</u>	<u>15343</u>	<u>8000</u>	(min.)
<b><u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u></b> <sup>2</sup>		<u>0.588</u>	<u>0.589</u>	<u>0.5</u>	(max.)
<b><u>LOT AREA FOR EACH DWELLING UNIT:</u></b>		<u>15343</u>	<u>15343</u>	<u>6000</u>	(min.)
<b><u>SIZE OF LOT:</u></b>	<b>WIDTH</b>	<u>38.3</u>	<u>38.3</u>	<u>80</u>	(min.)
	<b>DEPTH</b>	<u>140</u>	<u>140</u>	<u>N/A</u>	
<b><u>SETBACKS IN FEET:</u></b>	<b>FRONT</b>	<u>28.9</u>	<u>28.9</u>	<u>25</u>	(min.)
	<b>REAR</b>	<u>4.6</u>	<u>4.6</u>	<u>25</u>	(min.)
	<b>LEFT SIDE</b>	<u>23.8</u>	<u>23.8</u>	<u>15</u>	(min.)
	<b>RIGHT SIDE</b>	<u>-0.2</u>	<u>-0.2</u>	<u>15</u>	(min.)
<b><u>SIZE OF BLDG.:</u></b>	<b>HEIGHT</b>	<u>36.1</u>	<u>36.1</u>	<u>35</u>	(max.)
	<b>LENGTH</b>	<u>57.6</u>	<u>57.6</u>	<u>N/A</u>	
	<b>WIDTH</b>	<u>53.1</u>	<u>53.1</u>	<u>N/A</u>	
<b><u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u></b>		<u>42</u>	<u>42</u>	<u>50</u>	(min.)
<b><u>NO. OF DWELLING UNITS:</u></b>		<u>1</u>	<u>1</u>	<u>2</u>	(max.)
<b><u>NO. OF PARKING SPACES:</u></b>		<u>2</u>	<u>2</u>	<u>1 pdu</u>	(min./max)
<b><u>NO. OF LOADING AREAS:</u></b>		<u>n/a</u>	<u>n/a</u>	<u>n/a</u>	(min.)
<b><u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u></b>		<u>n/a</u>	<u>n/a</u>	<u>n/a</u>	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

The construction will consist of added copper roofing and downspout to match the existing overhang with copper flashing and wood trim to match the existing trim. The only other building on the lot is a garage at the rear of the property.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



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831 MASSACHUSETTS AVENUE  
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2019 MAY 13 PM 1:37

BZA APPLICATION FORM

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OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

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(Petitioner(s) / Owner)

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(Print Name)

Address : 48 Grove Street, Suite 304  
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Tel. No. : 617-625-7373

E-Mail Address : kemp@adamdashlaw.com

Date : May 9, 2019





# 8 Follen St.

## Petitioner

172-21  
KAVET, MATTHEW S. & SABRINA BALOUN-KAVET  
TRUSTEES, THE 9-11 FOLLEN ST. REALTY TRS  
9 FOLLEN ST.  
CAMBRIDGE, MA 02138

172-21  
STUART, C. TODD  
11 FOLLEN ST., #11  
CAMBRIDGE, MA 02138

ADAM DASH & ASSOCIATES  
C/O MEGAN M. KEMP, ESQ.  
48 GROVE ST. - SUITE 304  
SOMERVILLE, MA 02144

172-29  
MERCY CORPS  
9 WATERHOUSE STREET  
CAMBRIDGE, MA 02138

172-26  
MNOOKIN, ROBERT H. & DALE S. MNOOKIN  
10 FOLLEN ST  
CAMBRIDGE, MA 02138

172-25  
RAGON, PHILLIP T. & SUSAN M. RAGON  
151 TREMONT ST. SUITE 110 PMB 397  
BOSTON, MA 02111

172-30  
SAFDIE, MOSHE MICHAL RONNEN SAFDIE  
7 WATERHOUSE ST  
CAMBRIDGE, MA 02138

172-37  
MCCLINTOCK, THOMAS K., EMILY N.  
MCCLINTOCK & CITY OF CAMBRIDGE TAX TITLE  
15 FOLLEN ST  
CAMBRIDGE, MA 02138

172-38  
DAINORA, AUDRA  
13 FOLLEN ST  
CAMBRIDGE, MA 02138

172-43-44  
BLEVINS, CHARLES,  
TRUSTEE OF THE WATERHOUSE TRUST  
C/O THE NILES CO.  
3000 DAVENPORT AVE #201  
CANTON, MA 02021

172-24  
PICARD, DONAL F.  
6 FOLLEN STREET  
CAMBRIDGE, MA 02138

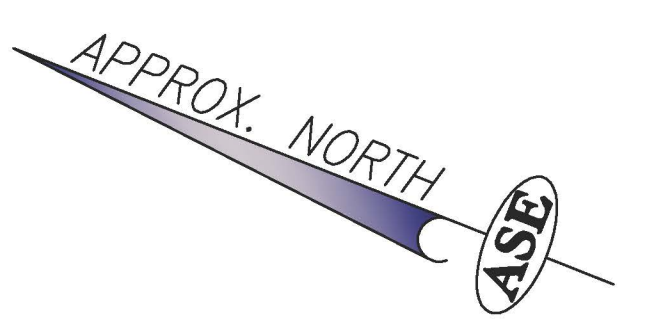
172-49  
NEUMAN, GERALD L. & CAROL JONES NEUMAN  
7 CONCORD AVE  
CAMBRIDGE, MA 02138

172-50  
SUTULA, MARY T. & FRANCIS SUTULA  
9 CONCORD AVENUE  
CAMBRIDGE, MA 02138

172-68  
FOLLEN STREET, LLC  
1770 MASSACHUSETTS AVE. #607  
CAMBRIDGE, MA 02140

172-69  
BIERER, MICHAEL F. &  
ELIZABETH PETERS BIERER  
5 FOLLEN ST  
CAMBRIDGE, MA 02138





LEGEND

- SBDH ..... STONE BOUND DRILL HOLE
- EOP ..... EDGE OF PAVEMENT
- GC ..... GRANITE CURB
- x ..... SPOT GRADE
- x ..... BOTTOM OF CURB
- x ..... TOP OF CURB
- 24.2x ..... BOTTOM OF WALL
- 24.9x ..... TOP OF WALL
- UP ..... UTILITY POLE
- OHW ..... OVERHEAD WIRES
- \* ..... FLOOD LIGHT
- EMH ..... ELECTRIC MANHOLE
- MH ..... MANHOLE
- DMH ..... DRAIN MANHOLE
- CB ..... CATCH BASIN
- ..... DRAIN
- ..... METAL DRAIN COVER
- ..... 3" GUTTER DRAIN PIPE
- PGD ..... PLASTIC GRATE DRAIN
- GG ..... GAS GATE
- WG ..... WATER GATE
- WSO ..... WATER SHUT OFF
- S ..... SPRINKLER HEAD
- ..... POOL ACCESS
- 2'X2' ..... 2'X2' AIR CONDITIONING UNIT
- ..... AIR CONDITIONING UNIT VENT
- LSA ..... LANDSCAPED AREA
- ..... DECIDUOUS TREE (AS SHOWN)
- ..... CONIFEROUS TREE (AS SHOWN)

N/F  
THOMAS K. MCCLINTOCK  
& EMILY N. MCCLINTOCK  
MAP 172, LOT 37

Follen Lane

N/F  
AUDRA DAINORA  
MAP 172, LOT 38

BENCHMARK #1  
SBDH FOUND  
ELEV=24.05

N/F  
9-11 FOLLEN STREET  
CONDOMINIUM  
MAP 172, LOT 21

N/F  
ROBERT H. MNOOKIN  
& DALE S. MNOOKIN  
MAP 172, LOT 26

N/F  
MOSHIE SAFDE  
& MICHAL RONNEN SAFDE  
MAP 172, LOT 30

EASEMENT  
AREA=130± S.F.  
(BOOK 16230, PAGE 85)

N/F  
CHARLES F. BELVINS,  
TRUSTEE OF THE WATERHOUSE TRUST  
MAP 172, LOT 43

N/F  
CHARLES F. BELVINS,  
TRUSTEE OF THE WATERHOUSE TRUST  
MAP 172, LOT 44

N/F  
DONALD F. PICARD  
MAP 172, LOT 24

NOTES

- SUBJECT TO ANY STATEMENT OF FACT AN UP-TO-DATE ABSTRACT OF TITLE WOULD DISCLOSE.
- SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
- UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS, THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES WHICH THE EXISTENCE OF ARE NOT KNOWN. SIZE, TYPE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED BY PROPER AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION. CALL, TOLL FREE, DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION.
- ELEVATIONS ON THIS PLAN ARE APPROXIMATE AND REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

REFERENCES

DEED REFERENCES: MIDDLESEX COUNTY REGISTRY OF DEEDS (SOUTHERN DISTRICT) BOOK 25607, PAGE 81

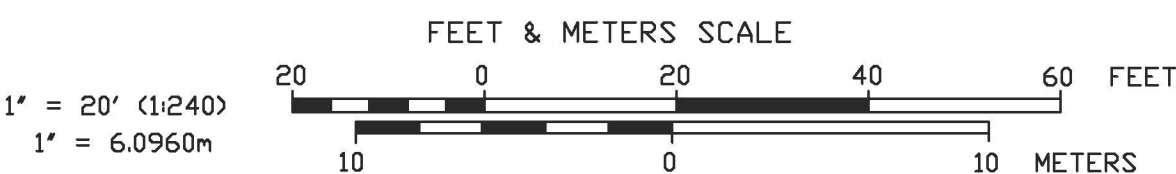
PLAN REFERENCES: PLAN ENTITLED "SUBDIVISION PLAN OF LAND APPROVAL NOT REQUIRED LOCATED AT 22 FOLLEN STREET, CAMBRIDGE, MA", PREPARED FOR ROBERT H. GILES, NANCY M. GILES, BY BOSTON SURVEY, INC., DATED 1/14/2010, PLAN NO. 188 OF 2010

PLAN ENTITLED "SITE PLAN 9-11 FOLLEN STREET CONDOMINIUM, CAMBRIDGE, MASS.", PREPARED BY WENDELL H. MASON, PROF. LAND SURVEYOR, DATED MAY 11, 1993, PLAN NO. 670 OF 1993, BOOK 23620, PAGE 566

PLAN ENTITLED "PLAN OF EASEMENT, CAMBRIDGE, MA", PREPARED BY HARRY R. FELDMAN, INC., LAND SURVEYORS, DATED MAY 24, 1985, PLAN NO. 743 OF 1985, BOOK 16230, PAGE 85

CITY OF CAMBRIDGE, MASSACHUSETTS INTENSITY REGULATIONS:  
RESIDENCE A-1 DISTRICT

	REQUIRED	EXISTING	PROPOSED	COMMENTS
MAXIMUM RATIO OF FLOOR AREA TO LOT AREA	0.5	0.588	0.589	Existing non-conforming
MINIMUM LOT SIZE	8,000 S.F.	15,343 S.F.	15,343 S.F.	
MINIMUM LOT AREA (PER DWELLING UNIT)	6,000 S.F.	15,343 S.F.	15,343 S.F.	
MINIMUM LOT WIDTH	80'	38.3'	38.3'	
MINIMUM FRONT YARD	25'	28.9'	28.9'	
MINIMUM SIDE YARD	15'	0.2' (OVER)	0.2' (OVER)	Existing non-conforming
MINIMUM REAR YARD	25'	4.6'	4.6'	Existing non-conforming
MAXIMUM BUILDING HEIGHT	35'	36.1'	36.1'	Existing non-conforming
MINIMUM RATIO OF PRIVATE OPEN SPACE TO LOT AREA	50%	42%	42%	Existing non-conforming



ZONING DESIGNATION:

CITY OF CAMBRIDGE ZONING DISTRICT  
RESIDENCE A-1 DISTRICT

ASSESSOR'S REFERENCE:

MAP 172, LOT 25

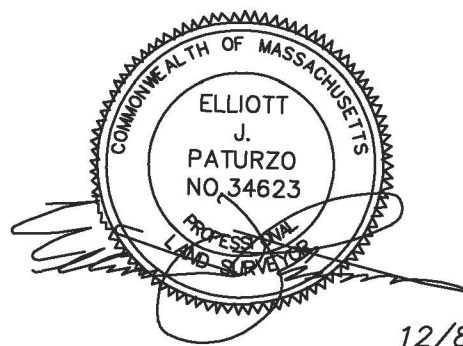
I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND ON MAY 29, 2018, AND THE LATEST PLANS AND DEEDS OF RECORD.

I CERTIFY THAT THE SUBJECT DWELLING SHOWN LIES IN A FLOOD ZONE "X" SHOWN ON MAP NUMBER 25017C0438E, HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.

REVISIONS

DATE	DESCRIPTION
12/8/18	PROP. ADD.
01/08/19	REV. #1

FIELD: EJP/BMD  
CALCS: EJP/SMI  
DRAWN BY: SMI  
FIELD EDIT: N/A  
CHECKED: EJP  
APPROVED:  
JOB #: 181644



A.S. Elliott & Associates

Professional Land Surveyors  
P.O. BOX 85 ~ HOPEDALE, MASSACHUSETTS  
(508) 634-0256  
www.aselliott.com

Plan of Land Showing  
Proposed Improvements

8 FOLLEN STREET

CAMBRIDGE, MASSACHUSETTS

PREPARED FOR: LYNNE GIESECKE

SCALE: 1"= 20' DATE: NOVEMBER 13, 2018



8 FOLLEN ST.

REAR DECK RENOVATION AND ENTRY OVERHANG ADDITION

CAMBRIDGE, MASSACHUSETTS 02138

ARCHITECT:

**PAUL LUKEZ**  
ARCHITECTURE

1310 BROADWAY SUITE 104, SOMERVILLE, MA 02144  
TEL:617-628-9160 FAX:617-628-9860 WWW.LUKEZ.COM

CONSULTANTS:

STRUCTURAL:

**RSE ASSOCIATES**

63 Pleasant Street, Suite 300, WATERTOWN, MA 02472  
TEL:617-926-9300 WWW.RSEASSOCIATES.COM

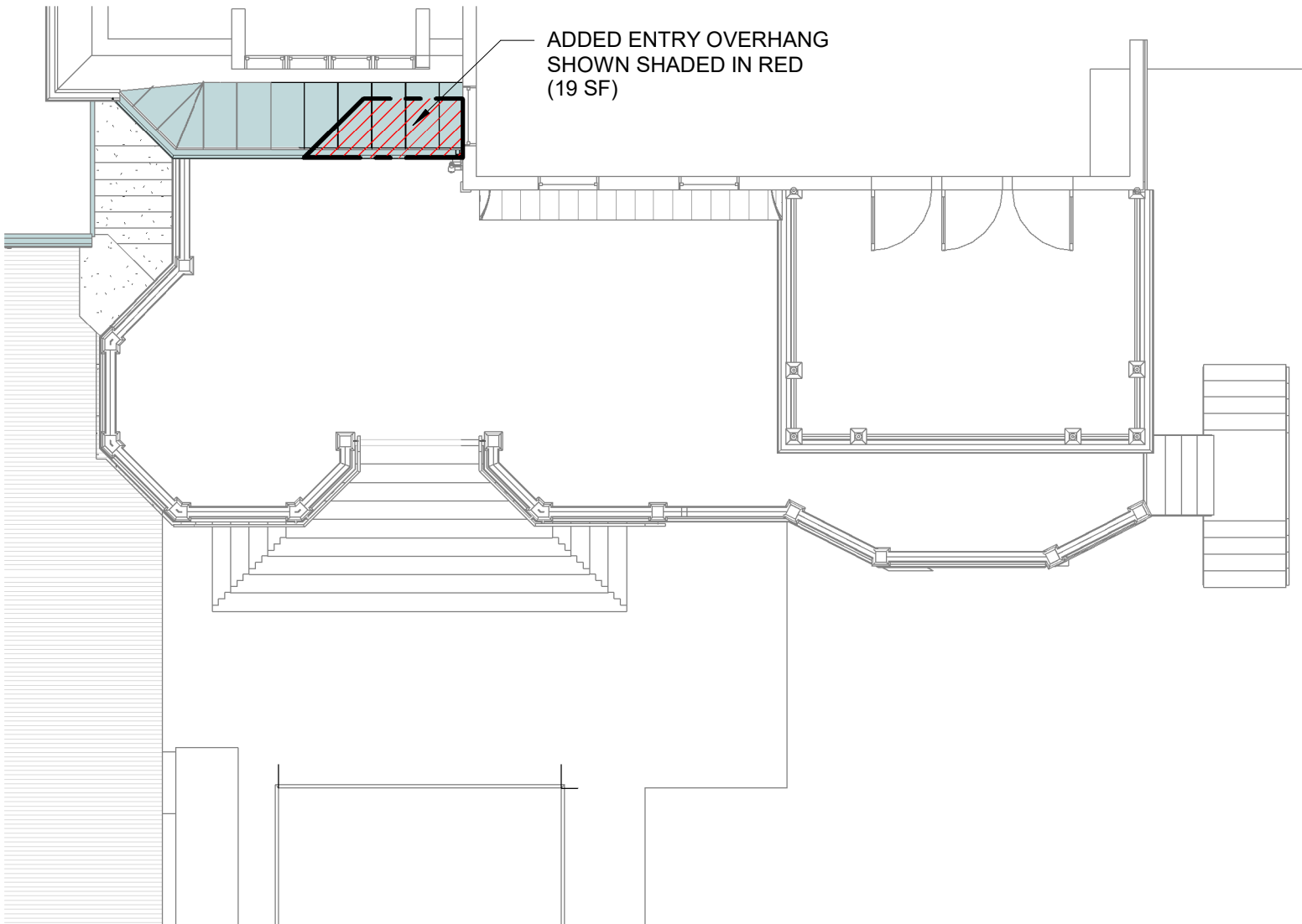
LIGHTING:

**COLLABORATIVE LIGHTING**

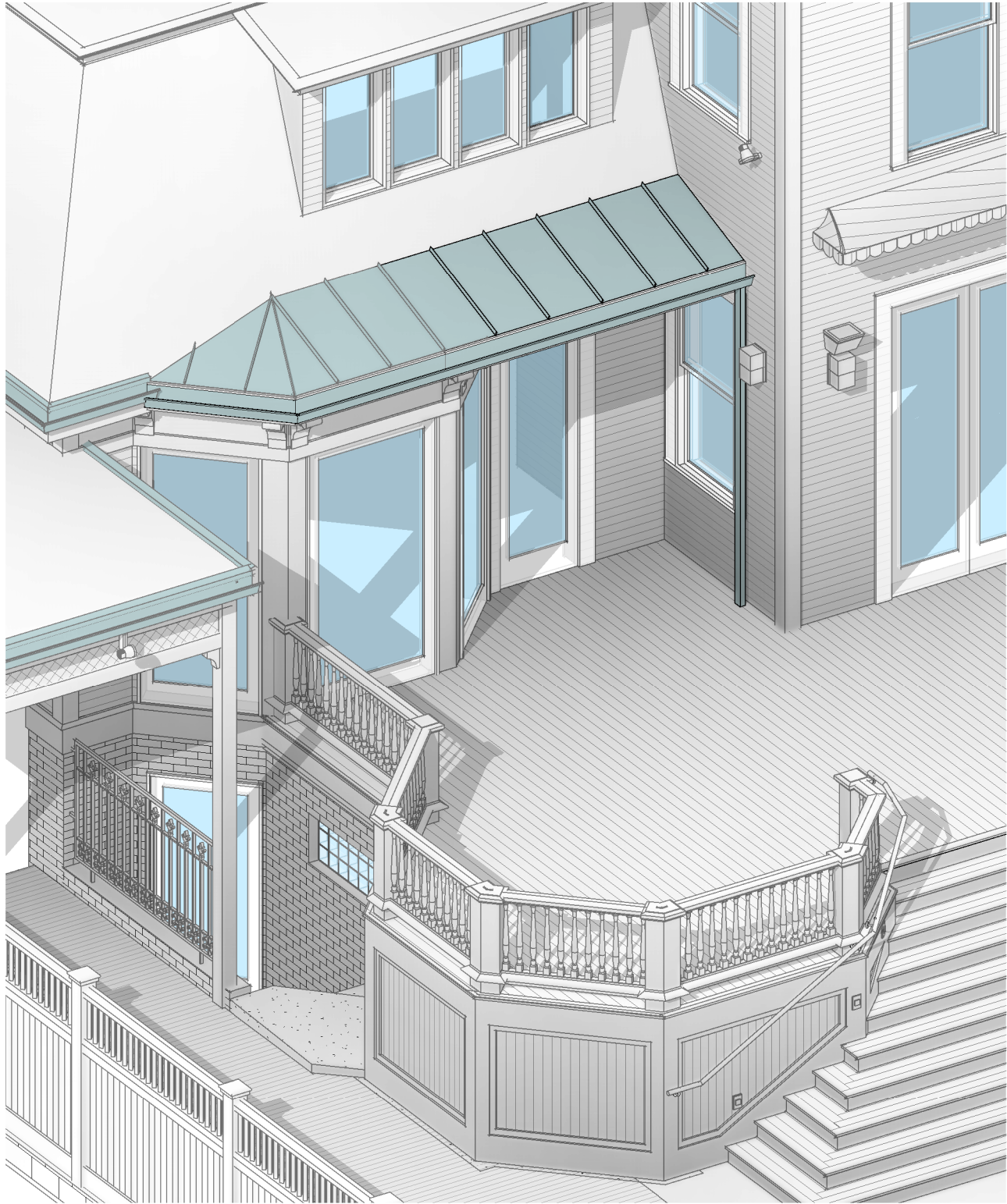
105 Great Fields Road, Brewster, MA 02631  
TEL: 978.460.1258 www.collaborativelighting.com

CONSTRUCTION DOCUMENT - ZONING VARIANCE APPLICATION

01/21/19



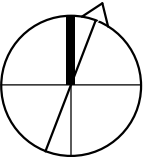
Sheet List	
Sheet Number	Sheet Name
COVER	COVER
A0.1	AXON VIEW & GENERAL NOTES
D1.1	DEMO PLAN & ELEVATION
A1.2	PROPOSED PLAN & ELEVATION
A3.1	ENTRY OVERHANG DETAILS
A3.2	ENTRY OVERHANG DETAILS



### GENERAL NOTES

1. CONTRACTOR SHALL INSURE ALL WORK IS IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS IN FIELD PRIOR CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES ON DRAWINGS.
2. CONTRACTOR SHALL COORDINATE W/ LANDSCAPE CONTRACTOR TO COORDINATE ALL DEMO AND NEW WORK AROUND DECK AND DECK STEPS.
3. VISIT THE SITE TO VERIFY EXISTING CONDITIONS. CONTRACTOR SHALL MAKE REQUIRED ADJUSTMENTS TO SYSTEM COMPONENTS AS NECESSITATED BY ACTUAL FIELD CONDITIONS. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT BEFORE CONSTRUCTION BEGINS.
4. CONTRACTOR TO OBTAIN AND PROVIDE ARCHITECT WITH COLOR SAMPLES FOR PROPER COLOR SELECTION AND FINAL APPROVAL OF ALL FINISHES PRIOR TO INSTALLATION.
5. CONTRACTOR (AND HIS SUBCONTRACTORS) SHALL BE LICENSED BY THE STATE IN WHICH THE PROJECT IS LOCATED AND APPROVED IN ADVANCE BY THE OWNER.
6. CONTRACTOR SHALL FILE ALL APPLICATIONS, PAY FOR ALL NECESSARY PERMITS AND SECURE CERTIFICATES OF OCCUPANCY FOR THE PROJECT.
7. CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM PROJECT SITE AND SHALL PROVIDE DUMPSTERS ETC. AS REQUIRED. REMOVE ALL DEBRIS ON A DAILY BASIS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING BUILDINGS AND OTHER INSTALLATIONS THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK. PROVIDE AND MAINTAIN FIRE EXTINGUISHERS ON PROJECT SITE DURING CONSTRUCTION.
9. PAINTING FOR WOOD CONSTRUCTION - PROVIDE TWO (2) FINISH COATS OF PREMIUM GRADE PAINT OVER SINGLE COAT OF COMPATIBLE PRIMER. ALL PAINT BY SINGLE MANUFACTURER.

TRUE



**PAUL LUKEZ**  
ARCHITECTURE

1310 BROADWAY SUITE 104  
SOMERVILLE, MA 02144  
TEL:617-628-9160  
FAX:617-628-9860  
WWW.LUKEZ.COM

8 FOLLEN ST.

REAR DECK RENOVATION AND ENTRY OVERHANG ADDITION

CAMBRIDGE, MASSACHUSETTS 02138

Rev.	AMENDMENT	DATE
1	REVISION	10/17/18

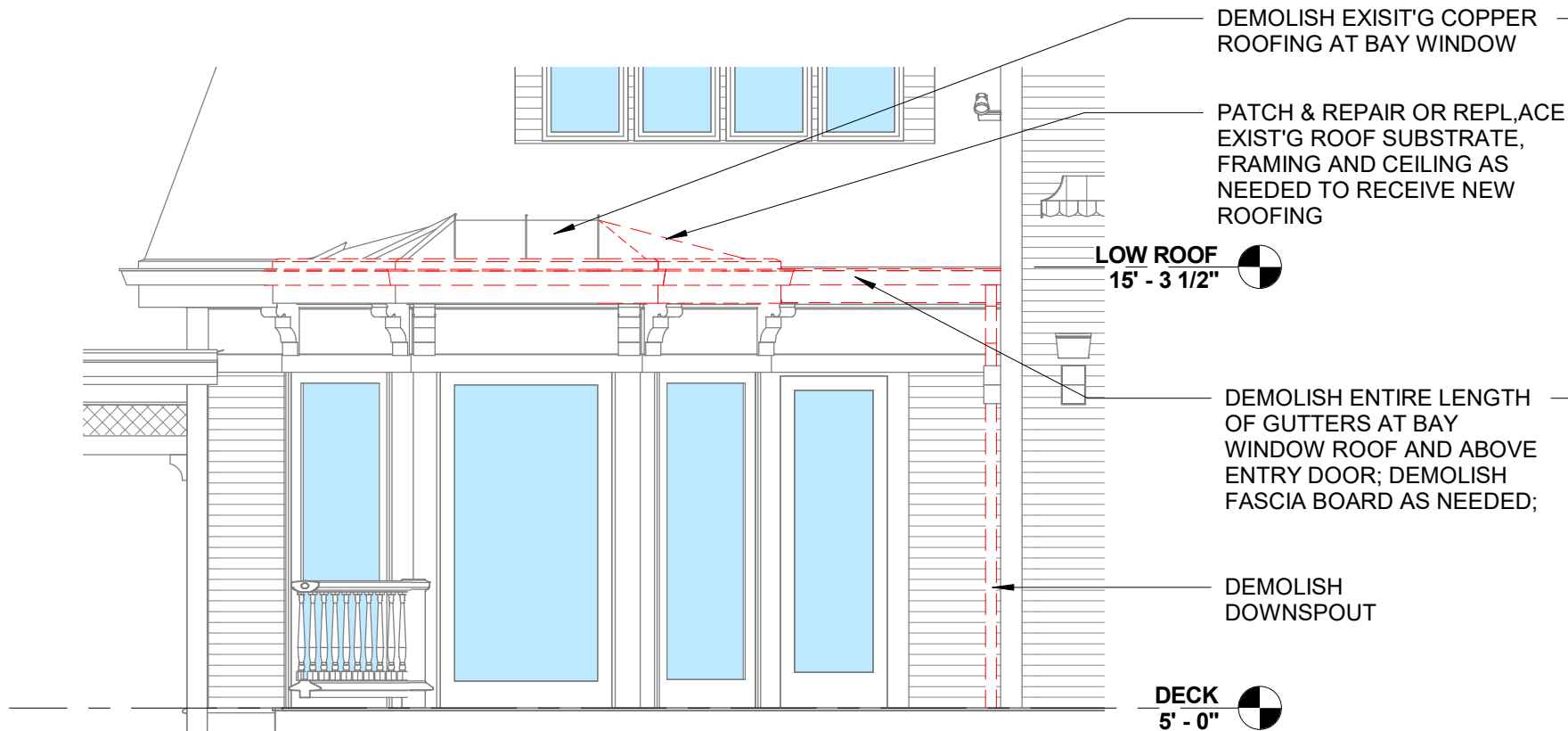
### AXON VIEW & GENERAL NOTES

SCALE: 1/4" = 1'-0"

DATE: 01/21/19

DRAWING No.

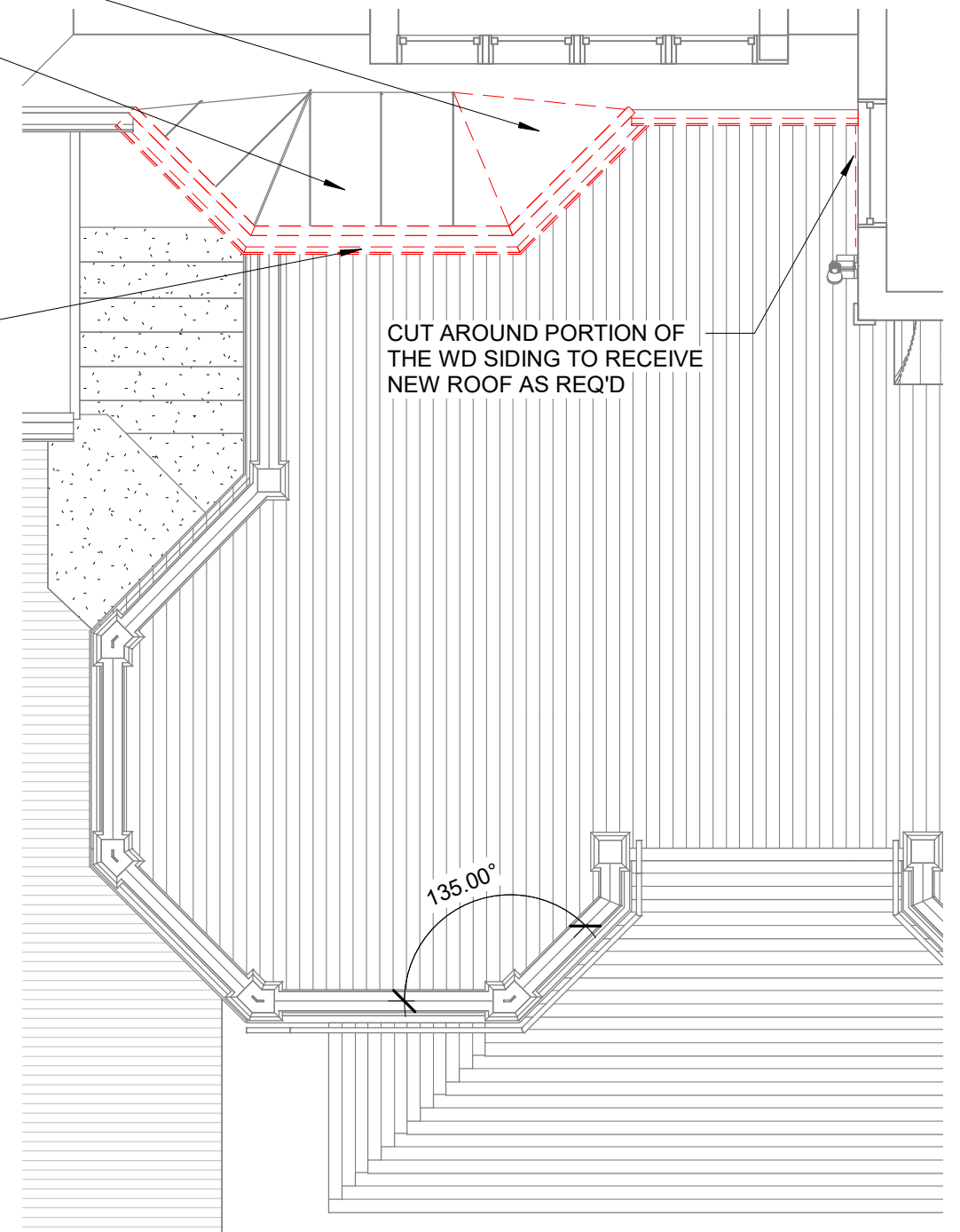
A0.1



2 DEMO ELEVATION  
1/4" = 1'-0"

#### DEMOLITION NOTES

1. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
2. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, WOOD TRIM, WALL PANELS, RAILS AND ROOFING. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. WITH ARCHITECT PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY ARCHITECT.
3. PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATES OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION.



1 DEMO PLAN  
1/4" = 1'-0"

#### PAUL LUKEZ ARCHITECTURE

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8 FOLLEN ST.

REAR DECK RENOVATION AND ENTRY OVERHANG ADDITION

CAMBRIDGE, MASSACHUSETTS 02138

Rev.	AMENDMENT	DATE
1	REVISION	10/17/18

#### DEMO PLAN & ELEVATION

SCALE: 1/4" = 1'-0"

DATE: 01/21/19

DRAWING No.

D1.1





NEW COPPER ENTRY  
OVERHANG; TO EXTEND FROM  
EXIST'G BAYWINDOW ROOF

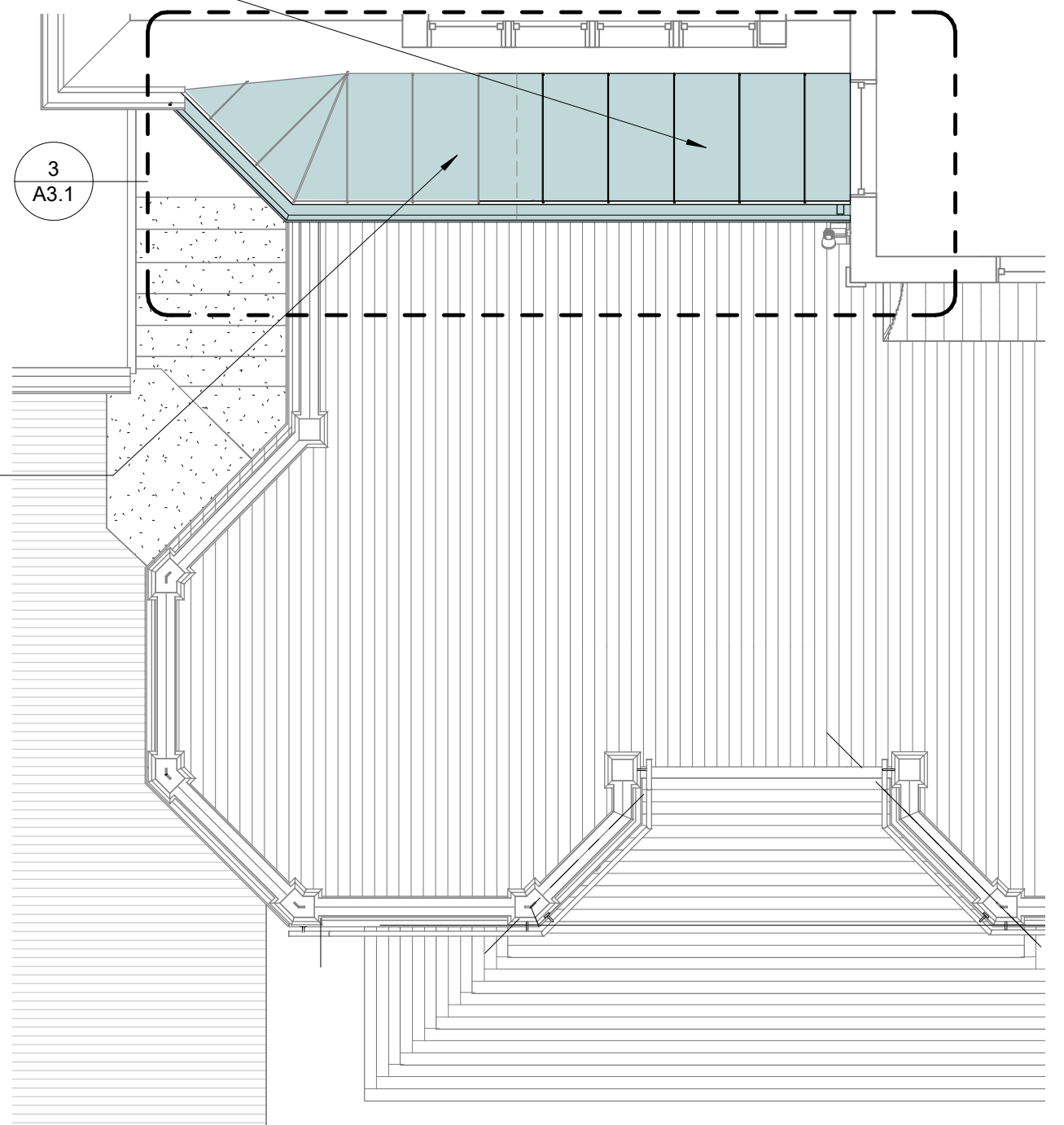
NEW ROOF OVERHANG

LOW ROOF  
15' - 3 1/2"

NEW COPPER ROOFING TO  
MATCH EXIST'G

DECK  
5' - 0"

SITE  
0' - 0"



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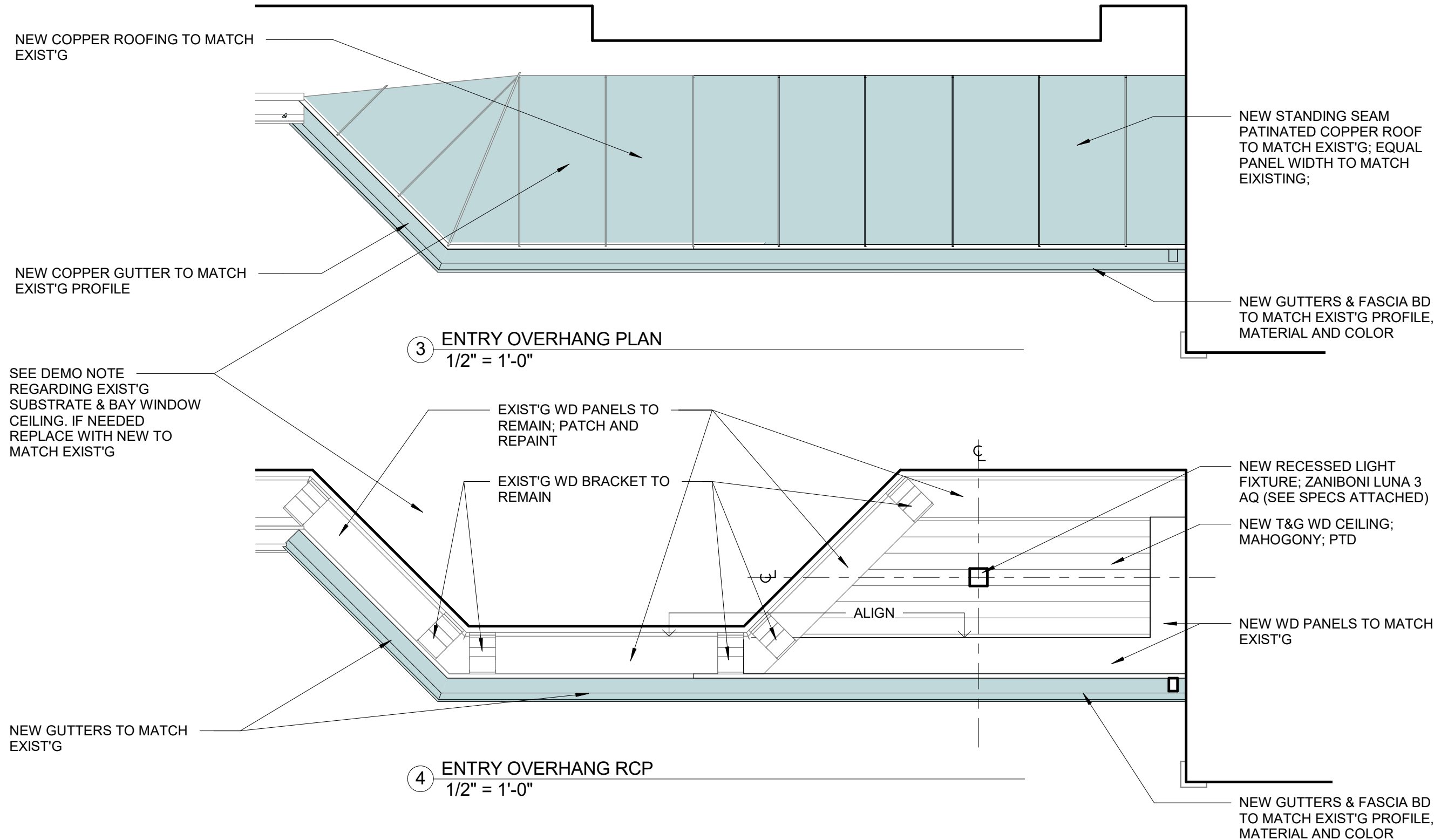
**PROPOSED PLAN & ELEVATION**

SCALE: 1/4" = 1'-0"

DATE: 01/21/19

DRAWING No.

**A1.2**



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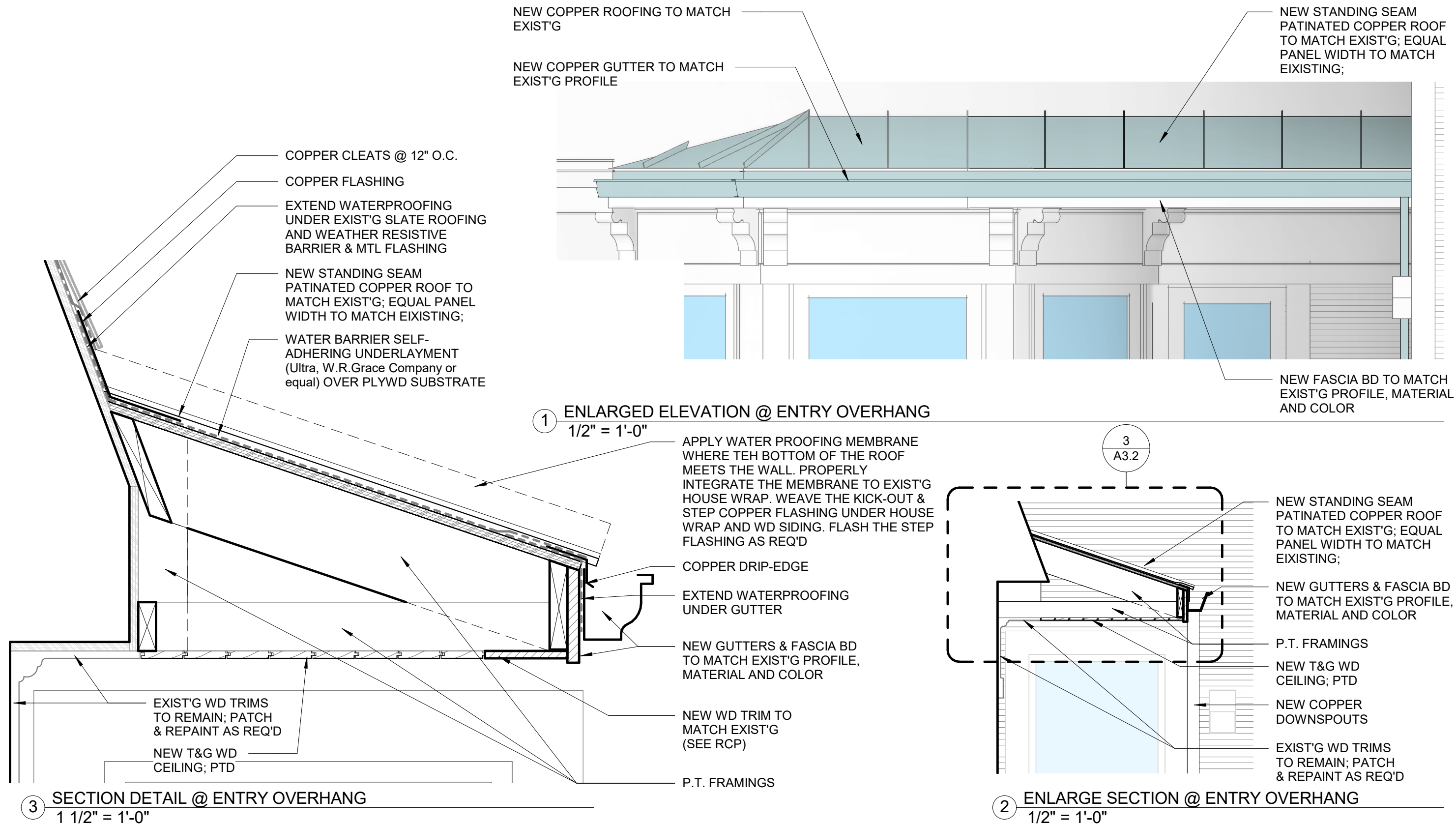
8 FOLLEN ST.  
REAR DECK RENOVATION AND ENTRY OVERHANG ADDITION  
CAMBRIDGE, MASSACHUSETTS 02138

Rev.	AMENDMENT	DATE
1	REVISION	10/17/18

## ENTRY OVERHANG DETAILS

SCALE: 1/2" = 1'-0"  
DATE: 01/21/19

DRAWING No.  
**A3.1**



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**8 FOLLEN ST.**  
**REAR DECK RENOVATION AND ENTRY OVERHANG ADDITION**  
CAMBRIDGE, MASSACHUSETTS 02138

Rev.	AMENDMENT	DATE
1	REVISION	10/17/18

## ENTRY OVERHANG DETAILS

SCALE: As indicated  
DATE: 01/21/19

DRAWING No.  
**A3.2**

S. Fallon St.

