



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2021 SEP -1 AM 11: 33

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 140631

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

PETITIONER: Orly Ullman and Tomer Ullman C/O Catherine Truman Architects, Inc.

PETITIONER'S ADDRESS: 29 Warren St, Cambridge, MA 02141

LOCATION OF PROPERTY: 8 Greenough Ave., Cambridge, MA

TYPE OF OCCUPANCY: Residential

ZONING DISTRICT: Residence C-1 Zone

REASON FOR PETITION:

/Dormer/ /Change windows in side elevation of house (pre-existing non-conforming for setback); enlarge dormer/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Changes to windows on existing nonconforming facade within zoning side yard setback limits. Enlarge existing dormer to 14'9" that results in combined length of all dormers to exceed 15 ft.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 8.000 Section: 8.22.2.D (Non-Conforming structure).

Article: 10.000 Section: 10.40 (Special Permit).

Original
Signature(s):

(Petitioner (s) / Owner)

PETER GULAIYEV,

(Print Name)

Catherine Truman Architects, Inc.

Address:

Tel. No. 857-285-2500

E-Mail Address: ctruman@truman-architects.com

Date: August 31, 2021

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Orly Ullman and Tomer Ullman
(OWNER)

Address: 54 Ellery Street, Unit 1, Cambridge, MA

State that I/We own the property located at 8 Greenough Avenue, Cambridge, MA, which is the subject of this zoning application.

The record title of this property is in the name of Tomer Ullman and Orly Ullman

*Pursuant to a deed of duly recorded in the date 11/06/2020, Middlesex South County Registry of Deeds at Book 76110, Page 250; or Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

[Signature]
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

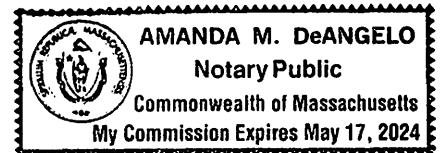
Commonwealth of Massachusetts, County of Middlesex

The above-name Orly Ullman & Tomer D. Ullman personally appeared before me, this 10th of August, 2021, and made oath that the above statement is true.

[Signature] Notary

My commission expires May 17, 2024 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



MEMORANDUM FOR THE RECORD

On 10/15/54, the following information was received from the [illegible] office:

[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

[Handwritten signature]

[illegible]

ADDITIONAL INFORMATION

ENCLOSURE TO [illegible]

[Handwritten signature]

ASOS, [illegible]



OFFICE OF THE ADJUTANT GENERAL
U.S. ARMY
WASHINGTON, D.C.

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 8 Greenough Ave , Cambridge, MA (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:
This project proposes no change in use, no accessory use, and no accessory apartment. There will be no accessory building on the lot after the removal of the existing garage.

- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:
No additional traffic will be generated. There will be no change to access or egress. The house will be converted from a two-family residence to a single-family residence, resulting in no substantial change in neighborhood character.

- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:
There will be no effect on adjacent uses. This project does not propose any increase in the footprint of the building which would extend into any setbacks.

- D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:
The proposed conversion of this two-family house into a single-family house will have no impact on the surrounding neighborhood or its residents.

- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:
With no change in use, and a simple change from a two-family residence to a single-family residence, this project will not impair the integrity of the district or adjoining districts. The proposed removal of an existing garage will increase the amount of usable open space to meet ordinance requirements and reduce the extent of paved asphalt driveway.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Orly Ullman and Tomer Ullman

Present Use/Occupancy: Residential

Location: 29 Warren St

Zone: Residence C-1 Zone

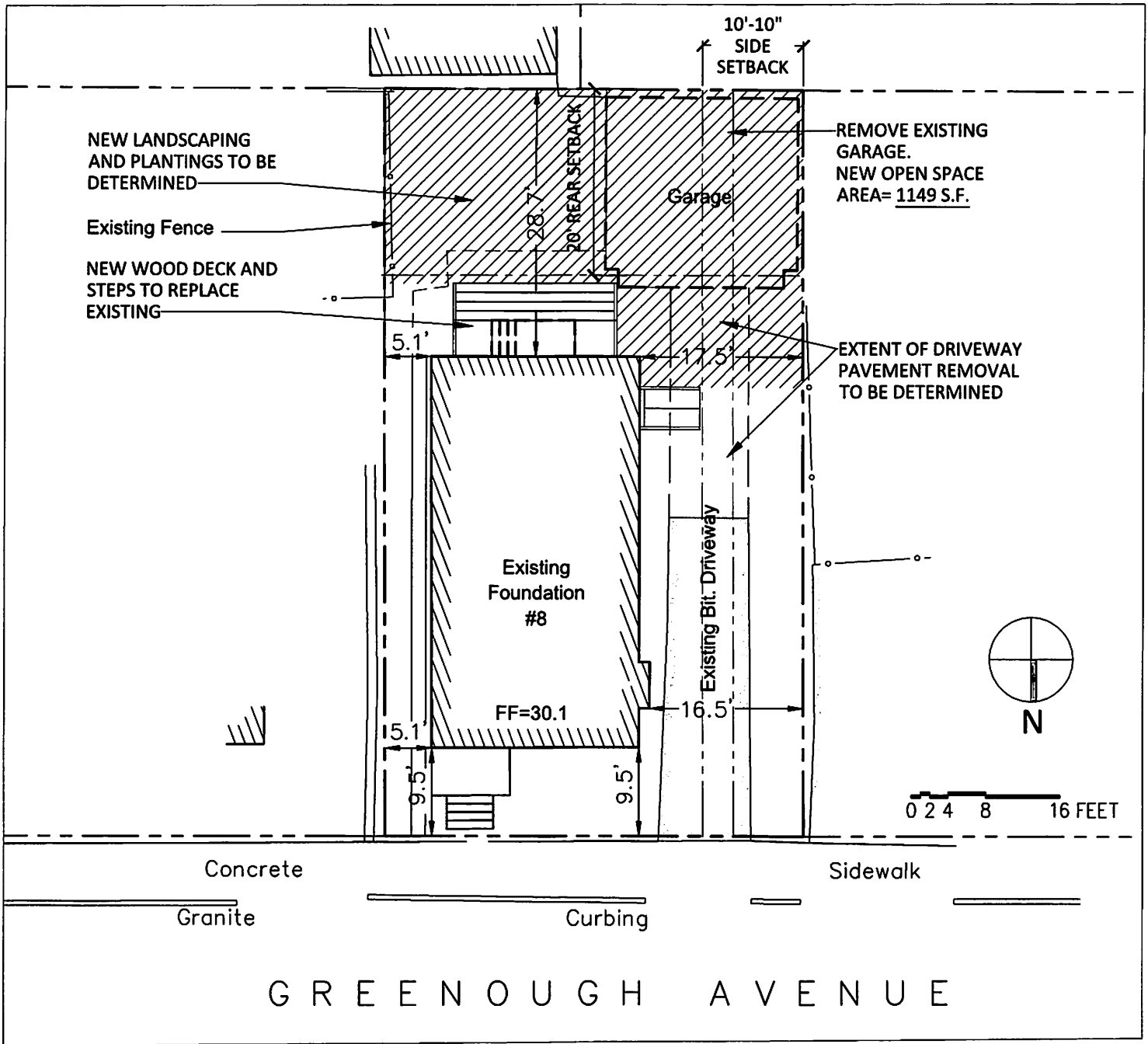
Phone: 857-285-2500

Requested Use/Occupancy: Residential

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		2479	2504	2700	(max.)
<u>LOT AREA:</u>		3600	NO CHANGE	N/A	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		0.69	0.70	0.75	
<u>LOT AREA OF EACH DWELLING UNIT</u>		N/A	N/A	N/A	
<u>SIZE OF LOT:</u>	WIDTH	45.00	NO CHANGE	50	
	DEPTH	80.00	NO CHANGE	N/A	
<u>SETBACKS IN FEET: FRONT</u>		9.5 (HOUSE); 4.3 (FRONT PORCH)	NO CHANGE	10	
	REAR	28.7	NO CHANGE (COMPLIANT W/ SECTION 5.24.2)	20 (per section 5.31.2(c))	
	LEFT SIDE	5.1	NO CHANGE	7.5	
	RIGHT SIDE	17.5	NO CHANGE	10.8 (per section 5.24.4); 8.4 (per section 5.21.1)	
<u>SIZE OF BUILDING:</u>	HEIGHT	34	NO CHANGE	35	
	WIDTH	41.8	NO CHANGE	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		702	1149 (after removal of existing garage)	1080	
<u>NO. OF DWELLING UNITS:</u>		2	1	2	
<u>NO. OF PARKING SPACES:</u>		4	2	1	
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



8 GREENOUGH AVENUE

FLOOR AREA (GROSS)

BASEMENT	0 S.F. (PER ARTICLE 2- DEFINITIONS)
FIRST FLOOR (22'-3" X 41-9 1/2") + (8'-7 1/2" X 5'-2 1/4")=	975 S.F. (INCL. FRONT PORCH)
SECOND FLOOR 22'-3" X 41-9 1/2"=	930 S.F.
THIRD FLOOR (11'-5 1/2" X 41'-9 3/4")+(5'-5" X 14'-9 1/4")+(5'-5" X 7'-5 1/4")=	599 S.F. (>5' HEADROOM)
TOTAL FLOOR AREA	2504 S.F.
LOT AREA	3600 S.F.
FLOOR AREA LOT AREA	= 0.70 (MAX. ALLOWABLE= 0.75)



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

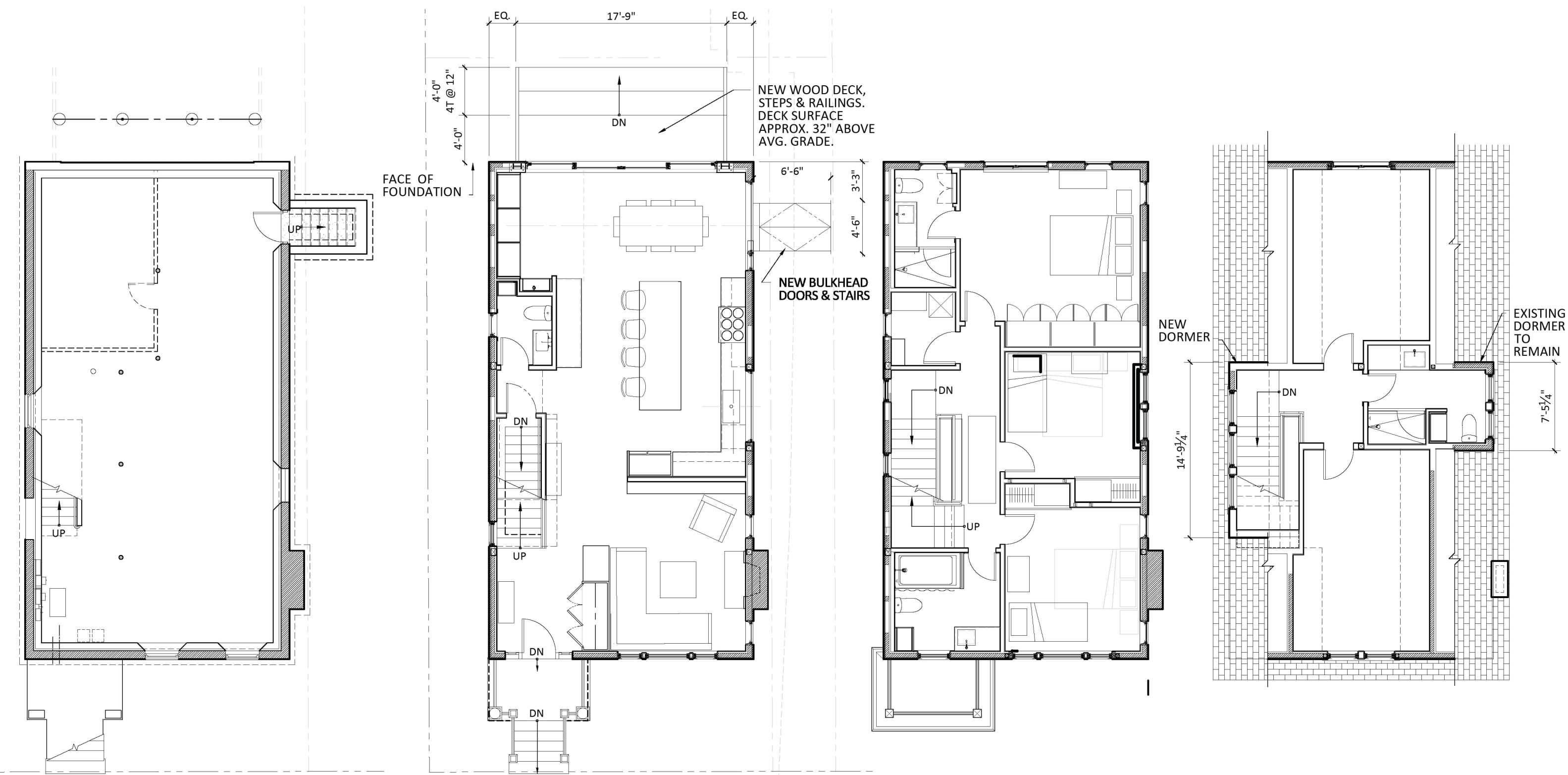
Name: NIM LORIAN Date: 10/4/2021
(Print)

Address: 8 Greenough Ave

Case No. BZA-140631

Hearing Date: 10/21/21

Thank you,
Bza Members



BASEMENT

FIRST

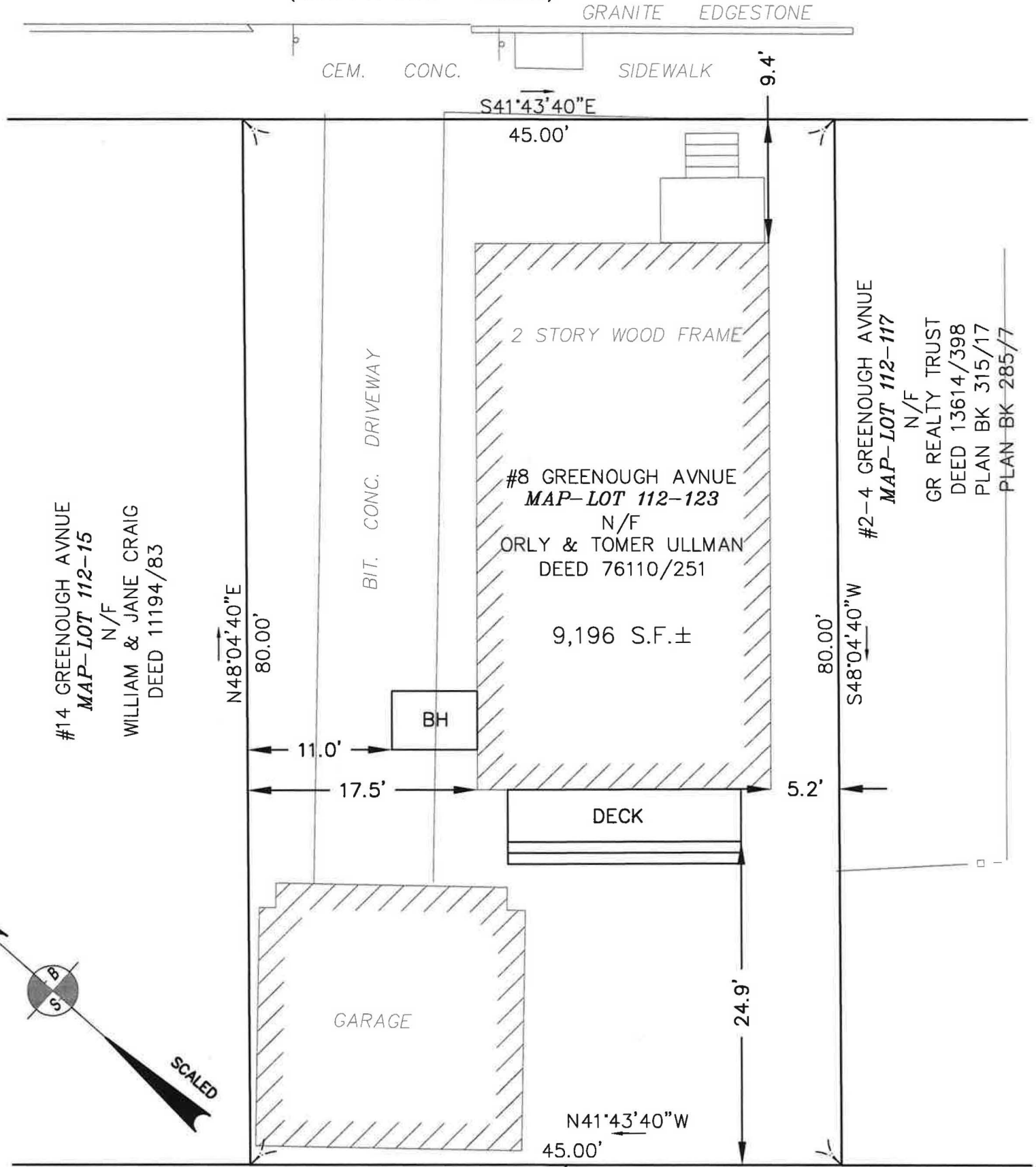
SECOND

THIRD

PROPOSED FLOOR PLANS



GREENOUGH AVENUE BIT. CONC. ROADWAY
(40.0 FT. WIDE - PUBLIC)

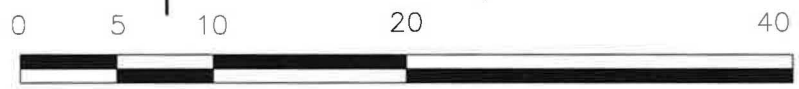


#14 GREENOUGH AVENUE
MAP-LOT 112-15
N/F
WILLIAM & JANE CRAIG
DEED 11194/83

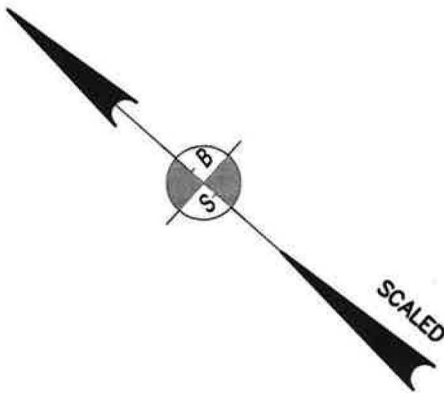
#2-4 GREENOUGH AVENUE
MAP-LOT 112-117
N/F
GR REALTY TRUST
DEED 13614/398
PLAN BK 315/17
PLAN BK 285/7

#5 ELLSWORTH PARK
MAP-LOT 112-7
N/F
VIRGINIA HURLEY REALTY
TRUST
DEED 39499/87
PLAN BK 86, PLAN 6

#43 HIGHLAND AVENUE
MAP-LOT 112-118
N/F
43 HIGHLAND AVENUE
CONDOMINIUM
MASTER DEED 50688/188
PLAN 8139/529

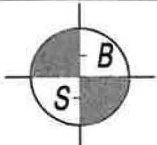


SCALE: 1"=10'



PLAN OF LAND
6 GREENOUGH AVENUE
CAMBRIDGE, MASSACHUSETTS
(MIDDLESEX-SOUTH REGISTRY OF DEEDS)

PREPARED FOR
STEVE DEERING

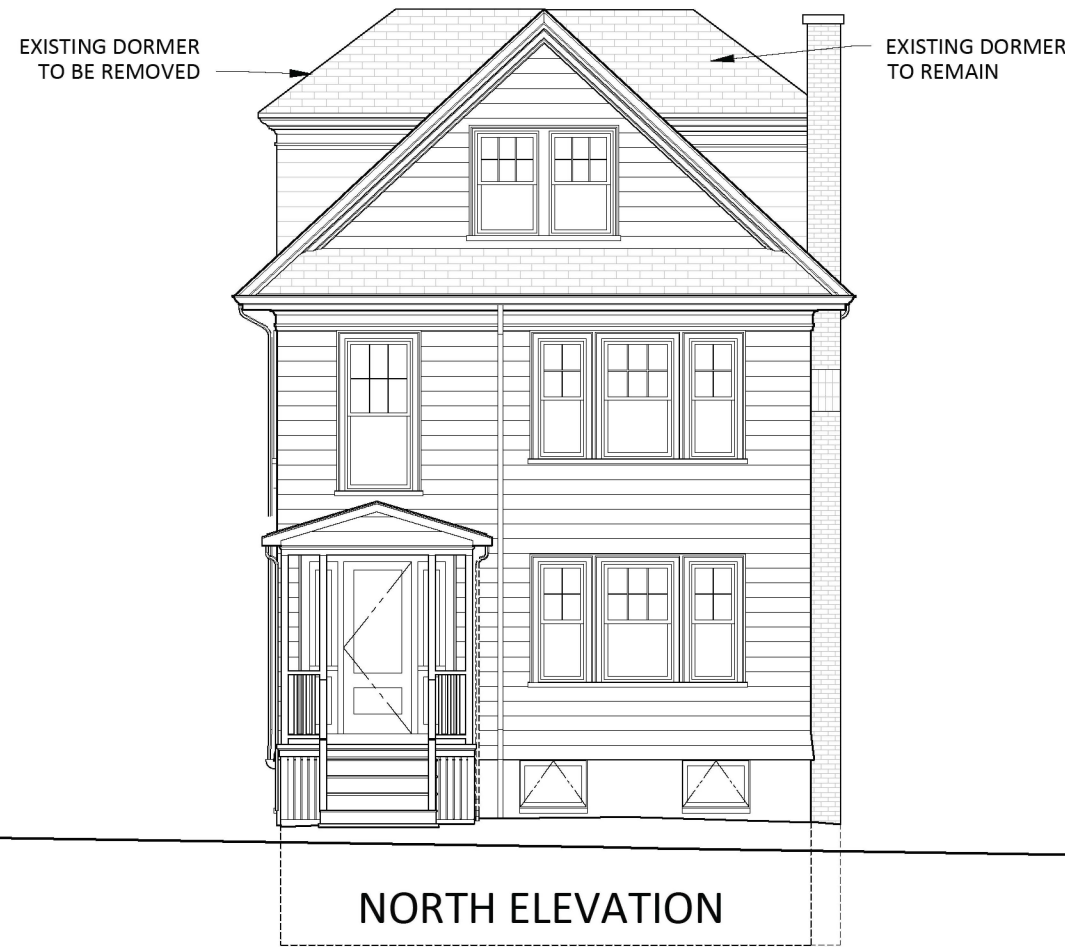


GREATER BOSTON SURVEYING AND ENGINEERING
19 FREDITH ROAD
WEYMOUTH, MA 02189
(781) 331-6128

CALC BY: PJT

DATE: JULY 1, 2021

SCALE: 1"=10'

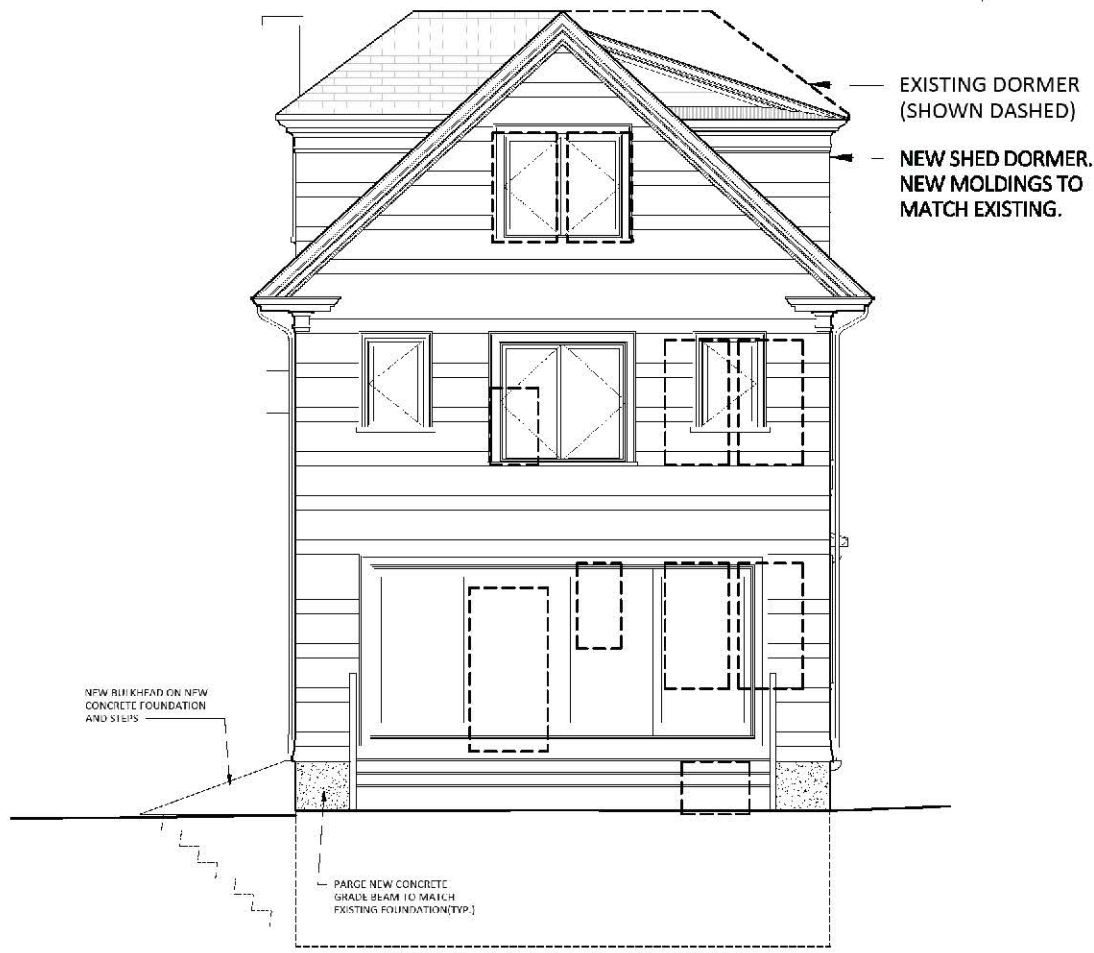




NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



East elevation (long) and North Elevation (street side)

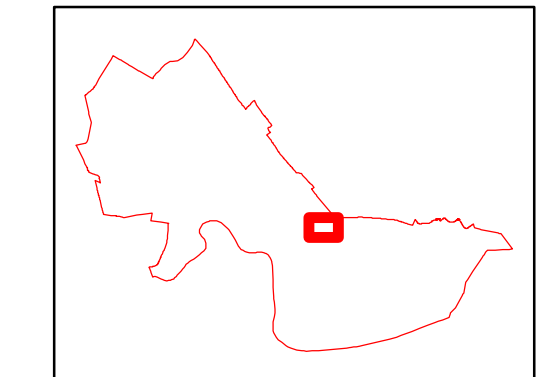
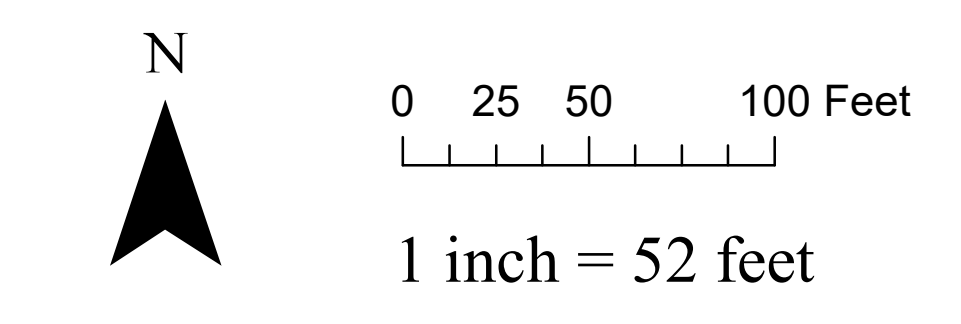




City of Cambridge
Assessing Department
795 Massachusetts Ave.
Cambridge, MA 02139

- | | | | |
|---------------|-----------------|------------------------|-----------------------------|
| Buildings | Water | 10 Lot Number | 100 Parcel size in Sq. Ft. |
| Lot Line | Sub-Parcel Line | 112 Block Number | 44.0LC Land Court Dimension |
| Block Line | Easement | 10 Cam Street Number | 65.0 Survey Dimensions |
| City Boundary | Railway | (125.0) Deed Dimension | |

DISCLAIMER:
All Real Property shown on this map was compiled from existing Assessor's Tax Maps dated 1920 to 2020 and maintained by the City Assessor's Office and the Department of Public Works. Subsequent maintenance has been completed using the City of Cambridge Geographic Information System (GIS). Parcels have not been created from surveys, and map is available for assessing purposes only.
The City of Cambridge assumes no legal responsibility for information shown on this map.



Parcel Block Map
112



Mid Cambridge Neighborhood Conservation District Commission

831 Massachusetts Avenue, Cambridge, Massachusetts 02139
Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112
E-mail: histncds@cambridgema.gov
URL: <http://www.cambridgema.gov/Historic/midcambridgehome.html>

Tony Hsiao, *Chair*, Lestra Litchfield, *Vice Chair*
Monika Pauli, Charles Redmon, *Members*
Margaret McMahon, *Alternate*

CERTIFICATE OF APPROPRIATENESS

PROPERTY: **8 Greenough Avenue**

OWNER: **Tomer and Orly Ullman**
8 Greenough Avenue
Cambridge, MA 02138

The Mid Cambridge Neighborhood Conservation District Commission hereby certifies, pursuant to Title 2, Chapter 2.78, Article III, Section 2.78.140-270 of the Code of the City of Cambridge and the City Council order establishing the Commission, that the construction described below is not incongruous to the historic aspects or architectural character of the building or district:

Extend existing dormer on the east side, modify previous proposed alterations to west façade including fenestration, window wells and basement entry, and restore front porch.

The Commission recommended lowering the dormer on the east side.

The plans and specifications that were submitted with the application are incorporated into this certificate, which is non binding on the applicant.

This certificate is granted upon the condition that the work authorized is commenced within six months after the date of issuance. If the work authorized by this certificate is not commenced within six months after the date of issuance, or if such work is suspended in significant part for a period of one year after the time the work is commenced, this certificate shall expire and be of no further effect; provided that, for cause, one or more extensions not exceeding ninety days each may be allowed in writing by the Chairman.

Case Number: **MC 6148**

Date of Certificate: **May 3, 2021**

Attest: A true and correct copy of decision filed with the office of the City Clerk and the Mid Cambridge Neighborhood Conservation District Commission on May 5, 2021.

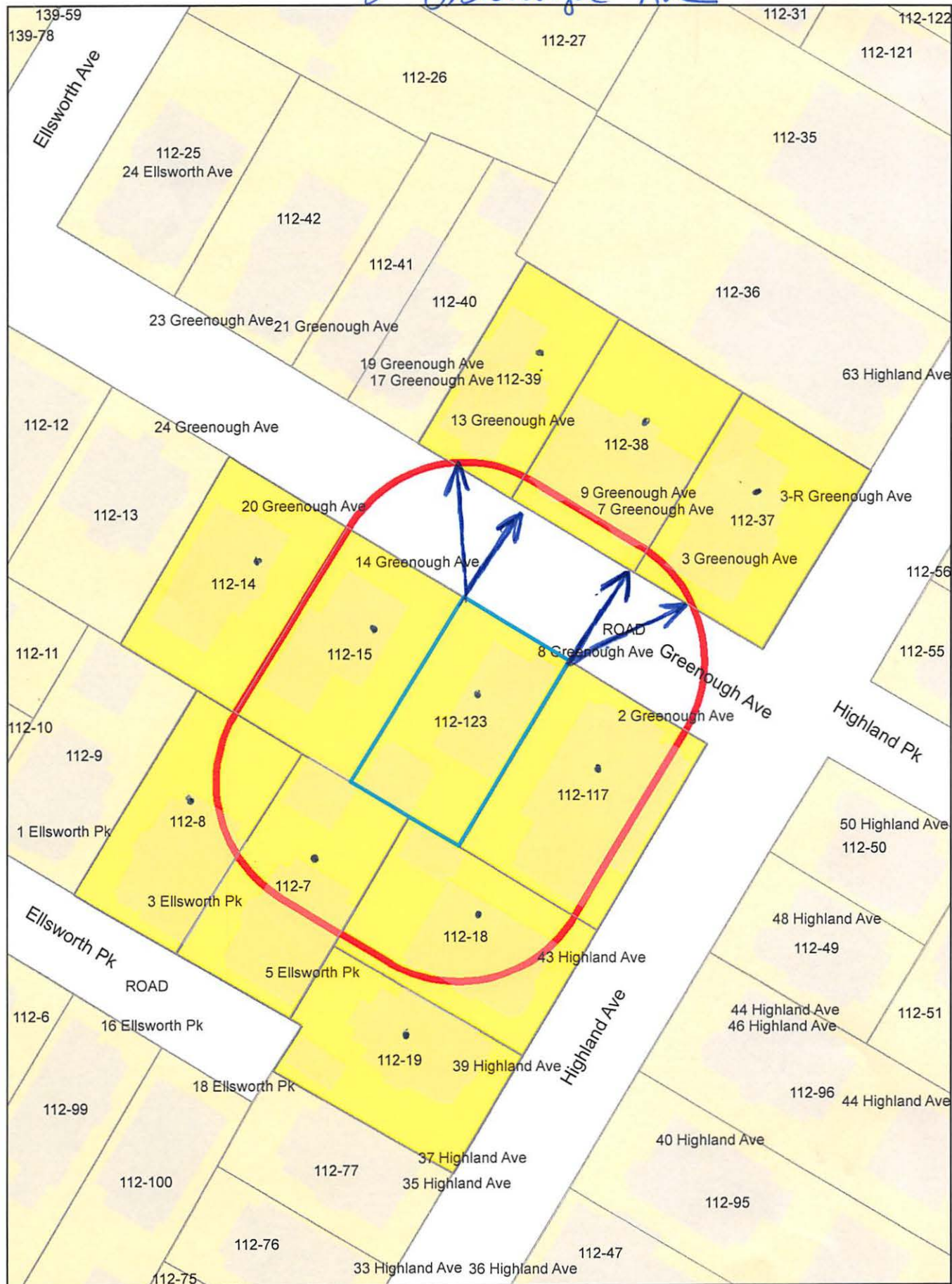
By Tony Hsiao/aac, Chair

Twenty days have elapsed since the filing of this decision.

No appeal has been filed _____ . Appeal has been filed _____ .

Date _____, City Clerk

8 Greenough Ave



8 Greenough Ave

Petitioner

112-117
BANKER, ROBERT
TRUSTEE G.R. REALTY TRUST
14A ELIOT ST
CAMBRIDGE, MA 02138-5796

112-7
ARNESON, JUDITH L. & DAVID POWELSTOCK
23 ALMA AVE
BELMONT, MA 02478

CATHERINE TRUMAN ARCHITECTS, INC.
C/O PETER GULAIEV
29 WARREN STREET
CAMBRIDGE, MA 02141

112-15
CRAIG, WILLIAM C. & JANE D. CRAIG
14 GREENOUGH AVE
CAMBRIDGE, MA 02139-1014

112-38
JACOBY, PATRICIA B. & JOHN B. JACOBY
7 GREENOUGH AVE.
CAMBRIDGE, MA 02139

112-123
ULLMAN ORLY & TOMER D ULLMAN
8 GREENOUGH AVE
CAMBRIDGE, MA 02139

112-18
PELEG, ADI & NITZAN PELEG
43 HIGHLAND AVE., #1
CAMBRIDGE, MA 02139

112-18
DOYLE, PETER J. & JEAN M.DOYLE
43 HIGHLAND AVE., UNIT #2
CAMBRIDGE, MA 02139-1015

ULLMAN ORLY & TOMER D ULLMAN
54 ELLERY STREET – UNIT 1
CAMBRIDGE, MA

112-38
SUMMERSGILL, CHRISTOPHER R. &
STEPHANIE RESSEL IRIARTE
9 GREENOUGH AVE.
CAMBRIDGE, MA 02139

112-18
THRELKELD, ROBERT C. & MEGHAN DOLAN
43 HIGHLAND AVE. UNIT#3
CAMBRIDGE, MA 02139

112-37
BARRETT, MATTHEW
3 GREENOUGH AVE., #1
CAMBRIDGE, MA 02139

112-37
DIKPESSÉ, HUGUES
3 GREENOUGH AVE. UNIT#2
CAMBRIDGE, MA 02139

112-37
BROWN, ERIC L.
3 GREENOUGH AVE #3
CAMBRIDGE, MA 02139

112-19
TETELBAUM, SERGEY & VERA TETELBAUM,
TRUSTEE
39 HIGHLAND AVE
CAMBRIDGE, MA 02139

112-19
SATIJA AMBIKA GROH NICKOLAUS M
39 HIGHLAND AVE - UNIT 2
CAMBRIDGE, MA 02139

112-39
ACHARYA, DEEPA & ANINDYA GUPTA
13 GREENOUGH AVE
CAMBRIDGE, MA 02139

112-14
KOCHMAN, JAMES H. & COLLEEN H. KOCHMAN
20 GREENOUGH AVENUE
CAMBRIDGE, MA 02139-4012

112-8
PELLMAN, DAVID & MARGARET MCLAUGHLIN
3 ELLSWORTH PK
CAMBRIDGE, MA 02139

Peter Gulaiev

From: Nitzan Peleg <nitzan86@gmail.com>
Sent: Friday, October 8, 2021 12:34 PM
To: Peter Gulaiev; Macy Radloff
Cc: orly.ullman@gmail.com; tomerullman@gmail.com; 'טל
Subject: 8 Greenough - BZA letter from neighbors

Hello,

Attached below is a letter for the BZA in support of the renovations planned for 8 Greenough.

Thank you,
Nitzan and Adi Peleg

Dear Members of the Board of Zoning Appeal,

We're writing in support of the proposed renovation to 8 Greenough Avenue. Our house is directly adjacent to the property being discussed (our backyards are bordering each other).

As a young family living in Cambridge for nearly 8 years, and specifically in the Mid-Cambridge neighborhood for 4 years, we're very happy to have Tomer and Orly Ullman move to the neighborhood with their two young children. We know they've been living in the area for 13 years, and that they've been involved in the Cambridge community throughout that time.

It's our understanding that the house is undergoing renovations, and as part of that they want to bring the current stairs up to code, since it's currently unsafe for kids and visiting elderly grandparents. We know the renovations require a larger dormer on the east side of the house, facing our property. The proposed plan which was presented to us keeps the original character of the house, and its relation with the rest of the neighborhood, while enhancing the house itself and the safety of its residents. We fully support their plans and hope the BZA will approve this application.

Sincerely,

Adi and Nitzan Peleg,
Owners of 43 Highland Avenue, Unit 1, Cambridge