



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2021 APR 28 PM 3:50

BZA Application Form

BZA Number: 117709

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance: X

Appeal:

PETITIONER: Anderson Porter Design C/O Dan Anderson

PETITIONER'S ADDRESS: 875 Main Street, Cambridge, MA 02139

LOCATION OF PROPERTY: 8 Poplar Rd., Cambridge, MA

TYPE OF OCCUPANCY: Residential 3 Units

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Areaway lowers average grade increasing non-conforming height, window well railings in non-conforming setbacks

Changes of openings in non-conforming setbacks

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000	Section: 5:31 (Table of Dimensional Requirements).
Article: 8.000	Section: 8.22.3 (Non-Conforming Structure).
Article: 8.000	Section: Section 8.22.2.C (Non-Conforming Structure).
Article: 10.000	Section: 10.30 (Variance).
Article: 10.000	Section: 10.40 (Special Permit).

Original
Signature(s):

(Petitioner (s) / Owner)

DANIEL P. ANDERSON

(Print Name)

Address:

Tel. No. 617-794-2371

E-Mail Address: dan@andersonporter.com

Date: 9/26/2021

BZA APPLICATION FORM -OWNERSHIP INFORMATION

(To be completed by OWNER, signed before a notary, and returned to Secretary of Board of Appeal).

I/We B POPLAR ROAD LLC
(OWNER).

Address: 610 DND HOMES, 1 GARFIELD CIRCLE, UNIT 6, BURLINGTON, MA 01803

State that I/We own the property located at B POPLAR ROAD which is the subject of this zoning application.

The record title of this property is in the name of B POPLAR ROAD LLC

*Pursuant to a deed of duly recorded in the date 9/22/20, Middlesex South County Registry of Deeds at Book _____, Page _____; or Middlesex Registry District of Land Court, Certificate No. 274211
Book 01563 Page 2

Dokmecioglu

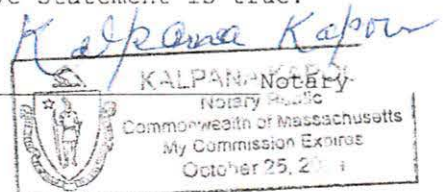
SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Ozan Dokmecioglu personally appeared before me,
this March 10 of, 2021, and made oath that the above statement is true.

My commission expires October 25, 2024 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The literal enforcement of the provisions of this Ordinance would involve a substantial hardship by precluding direct exterior access to the commonly accessible sprinkler mechanical room and window wells at the basement emergency egress windows required by state building code.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:

The hardship is owing to the following circumstances related to the shape of the lot and placement of the existing structure on a small lot. The placement of the areaway access stair is in the only location not violating yard setbacks. The placement of proposed window wells allowing for bedroom emergency egress windows are in the only locations feasible. These conditions do not affect generally the zoning district in which it is located.

- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

Desirable relief may be granted without substantial detriment to the public good as the location of the areaway access stair is at the rear of the property not readily visible to the public. The code required guardrails at the window wells are provided for safety and are visually unobtrusive.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Desirable relief may be granted with out nullifying or substantially derogating from the intent or purpose of this Ordinance as the proposed increase in height is due to the minimal change in average grade, no additional stories or change to the existing roof structure is proposed. Therefore not disturbing open views to the sky, increasing shadow impact or otherwise impacting abutters. The code required guardrails at the window wells are provided for safety and are visually unobtrusive.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 8 Poplar Rd., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The proposed project at 8 Poplar Road improves an existing non-conforming three family structure within its existing footprint and proposes no increase in gross building area. The project includes the installation of a full building sprinkler system. The proposed basement window wells serve the code required bedroom emergency egress windows and are located in the only locations feasible. The left side yard is too narrow and the right side yard is occupied by parking, unit access, and access to the common sprinkler mechanical room.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The traffic generated or patterns of egress will not cause congestion hazard, or substantial change in established neighborhood character as no change in the existing occupancy or parking is proposed.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The continued operation of adjacent uses as permitted in the Ordinance would not be adversely affected as there is minimal change from existing. Basement window wells and areaway access stairs create no limitations on existing uses.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No nuisance or hazard will be created to the detriment of the health, safety, and/or welfare of the occupants of the structure or the citizens of the City since the addition of a full building fire protection system will improve the safety of the occupants and citizens.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance as basement window wells and access areaways are typical additions that allow the full use and occupancy of otherwise underutilized

building areas. No changes in use, intensity, or area are proposed and the district will remain unaffected by the proposed improvements.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form**DIMENSIONAL INFORMATION****Applicant:** Anderson Porter Design**Present Use/Occupancy:** Residential 3 Units**Location:** 875 Main Street**Zone:** Residence B Zone**Phone:** 617-794-2371**Requested Use/Occupancy:** Residential 3 Units

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	5774	5774	1546.5	(max.)
<u>LOT AREA:</u>	3093	3093	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>	1.86	1.86	.5	
<u>LOT AREA OF EACH DWELLING UNIT</u>	1031	1031	2500	
<u>SIZE OF LOT:</u>				
WIDTH	40.2	40.2	50	
DEPTH	75	75	NA	
<u>SETBACKS IN FEET:</u>				
FRONT	5	5	15	
REAR	7.8	7.8	25	
LEFT SIDE	4.4	4.4	12.5	
RIGHT SIDE	10.2	10.2	7.5	
<u>SIZE OF BUILDING:</u>				
HEIGHT	35.3	38.1	35	
WIDTH	55.6	55.6	NA	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	.28	.28	.40	
<u>NO. OF DWELLING UNITS:</u>	3	3	1	
<u>NO. OF PARKING SPACES:</u>	1	1	3	
<u>NO. OF LOADING AREAS:</u>	NA	NA	NA	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	NA	NA	10	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA Application Form**SUPPORTING STATEMENT FOR A VARIANCE**

PERMIT SET

8 POPLAR ROAD

CAMBRIDGE, MA 02138

GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS.
2. THE DRAWINGS SHALL BE WORKED IN CONJUNCTION WITH THE SPECIFICATIONS AND/OR PROJECT MANUAL.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO THE START OF WORK. NOTIFY THE ARCHITECT OF CHANGES IN DIMENSIONS OR CONDITIONS.
4. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND NECESSARY FACILITIES, AND PERFORM ALL LABOR AND SERVICES OF EVERY DESCRIPTION AS MAY BE NECESSARY TO COMPLETE THE SCOPE OF WORK DEFINED ON THE DRAWINGS.
5. THE CONTRACTOR SHALL ARRANGE FOR, OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, INSPECTIONS, AGENCY APPROVALS, ETC. AND PAY ALL FEES LEVIED BY STATE, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER WORK PERFORMED UNDER THIS CONTRACT. PROVIDE COPIES OF ALL REQUIRED PERMITS, CERTIFICATES, INSPECTIONS, AND AGENCY APPROVALS TO THE OWNER.
6. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING DEMOLITION.
7. ALL WORK SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL BUILDING/RESIDENTIAL CODE, ALL APPLICABLE STATE AND LOCAL CODES, AND THE GENERAL AND SUPPLEMENTARY CONDITIONS OF THE CONTRACT.
8. THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS, AS WELL AS THE DRAWINGS AND SPECIFICATIONS. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
9. ALL CONTRACTORS AND SUBCONTRACTORS SHALL HAVE PREFERENCE OVER SCALE AND BE FIELD-VERIFIED AND COORDINATED WITH WORK OF ALL TRADES. IF NO DIMENSIONS ARE GIVEN OR DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION BEFORE BIDDING OR COMMENCING THE WORK.
10. CUTTING AND PATCHING SHALL BE PERFORMED BY EACH TRADE AS NECESSARY FOR THE PERFORMANCE AND INSTALLATION OF THEIR WORK. CUTTING AND PATCHING SHALL BE PERFORMED IN A WORKMANLIKE MANNER CONSISTENT WITH INDUSTRY STANDARDS FOR FINISHES AND SUBSTRATES AFFECTED.
11. THE CONTRACTOR SHALL PROTECT THE FACILITY FROM WEATHER AND MAINTAIN SECURITY DURING ALL CONSTRUCTION WORK.
12. THE EXISTING PROPERTY SHALL BE PROTECTED DURING CONSTRUCTION. REPAIR OR REPLACE, WITHOUT ADDITIONAL CHARGE TO THE OWNER, ANY EXISTING WORK DAMAGED DURING THE COURSE OF CONSTRUCTION.
13. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A PLUMB, LEVEL, AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS GENERAL INTENT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE BIDDING THE PROJECT OR THE COMMENCEMENT OF WORK. THE OWNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF/HERSELF WITH EXISTING CONDITIONS.
15. DO NOT SCALE DRAWINGS: ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND BE FIELD-VERIFIED AND COORDINATED WITH WORK OF ALL TRADES. IF NO DIMENSIONS ARE GIVEN OR DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION BEFORE BIDDING OR COMMENCING THE WORK.
16. DETAILS ARE INTENDED TO SHOW METHODS AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATION MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
17. THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, WATER, AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT WITH THE EQUIPMENT MANUFACTURER. DEVIATION OF THE AFOREMENTIONED REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
18. UNLESS ITEMS, MATERIALS, EQUIPMENT, OR WORK ARE SPECIFICALLY NOTED TO BE PROVIDED OR FURNISHED BY OTHERS, THEY SHALL BE PROVIDED BY THE CONTRACTOR UNDER THIS CONTRACT.
19. ALL WORK SHALL BE PERFORMED BY SKILLED WORKERS IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH INDUSTRY STANDARDS.
20. MATERIALS AND COMPONENTS AS SPECIFIED CONSTITUTE A STANDARD OF QUALITY, UNLESS OTHERWISE NOTED. EQUAL SUBSTITUTES WILL BE ACCEPTABLE ONLY WITH WRITTEN PRIOR APPROVAL BY THE ARCHITECT.
21. THE CONTRACTOR SHALL PERFORM TESTS AT HIS/HER OWN EXPENSE, AS NECESSARY OR AS REQUIRED BY ANY INSPECTION AGENCY. TESTS SHALL BE MADE TO VERIFY WHETHER THE SYSTEM OR COMPONENTS INSTALLED COMPLY WITH THE SPECIFICATIONS AND ARE IN WORKING ORDER.
22. THE CONTRACTOR SHALL LEAVE THE WORK IN PROPER WORKING ORDER AND SHALL, WITHOUT ADDITIONAL CHARGE, REPLACE ANY WORK, MATERIALS, OR EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT WHICH DEVELOPS DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.

DEMOLITION NOTES

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS.
2. THE DEMOLITION PLANS ARE DERIVED FROM EXISTING PLANS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS.
3. DEMOLITION NOTES ON THE DRAWINGS IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION IS COMPLETE.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE DIMENSION OF ALL COMPONENTS TO BE DEMOLISHED.
5. CONTRACTOR SHALL NOTIFY "D&S" PRIOR TO COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
6. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF MATERIALS TO BE DEMOLISHED. VERIFY WITH OWNER, THE DISPOSAL AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
8. REMOVE FROM THE JOBSITE, AS SOON AS PRACTICAL, DEMOLISHED MATERIALS, DEBRIS, AND RUBBISH. DO NOT ACCUMULATE DEBRIS ON THE FLOOR OR AT THE SITE.
9. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
10. REMOVE ONLY NON-LOAD-BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS (I.E. BEARING WALLS, BEAMS, HEADERS, ETC.) SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD-BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
11. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY TEMPORARY SHORING ASSOCIATED WITH ANY DEMOLITION WORK.
13. CONTRACTOR SHALL COORDINATE EXISTING UTILITY DEMOLITION AND CREATING ANY NEW TEMPORARY SERVICE FOR TEMPORARY-USE ITEMS.
14. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO: GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, AND RAILS. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN: COLOR, TEXTURE, THICKNESS, AND CUT TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED - TO BE APPROVED BY ARCHITECT AND OWNER.
15. PATCH EXISTING WALLS, GYPSUM BOARD, OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPACKLING, SANDED, AND LEFT IN A PAINT-READY CONDITION.



PERMIT SET

REVISIONS		
No.	Description	Date



AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: 8 POPLAR ROAD	
Address: 8 POPLAR ROAD CAMBRIDGE, MA 02138	
Title: COVER SHEET	
Drawing issued By: ANDERSON PORTER DESIGN	
Project # 2017	Drawn No.
Date 10/22/2020	Scale 3/8" = 1'-0"
G0.1	
Drawn by: DA/ER/KA	

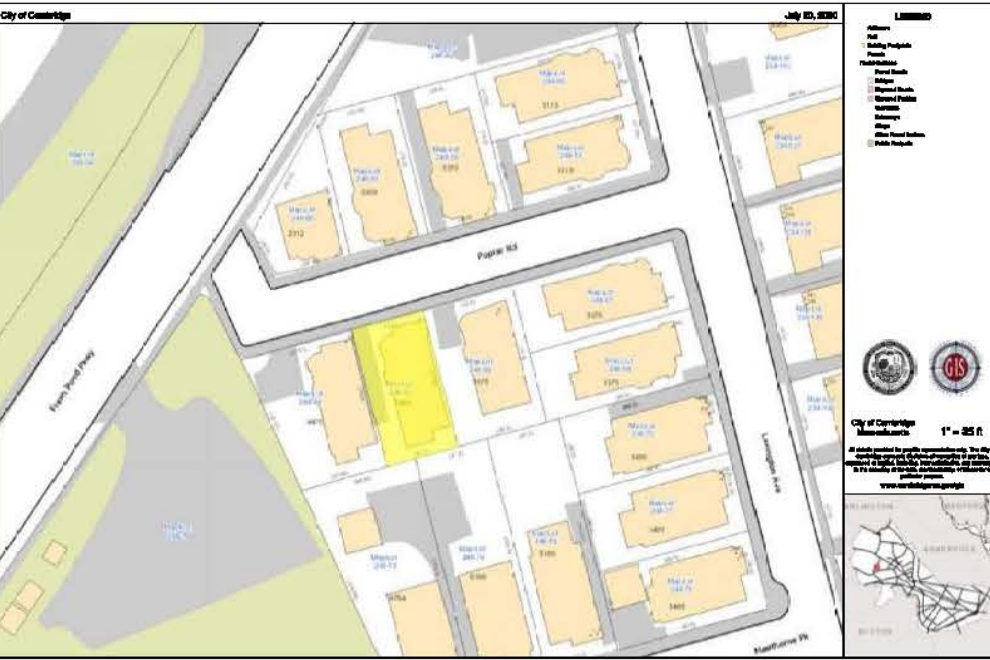
LIST OF SYMBOLS

- EXISTING PARTITION OR PARTITION W/ DOOR TO BE REMOVED
- EXISTING STRUCTURE OR PARTITION TO REMAIN
- NEW STRUCTURE OR PARTITION
- FINISH ELEVATION
- ROOM TAG
- GENERAL DETAIL
- WALL SECTION
- INTERIOR ELEVATION
- FINISH TAG
- DOOR IDENTIFICATION SYMBOL
- WALL TYPE TAG
- WINDOW IDENTIFICATION SYMBOL
- FLOOR FINISH SYMBOL
- DUPLEX OUTLET
- GROUND FAULT OUTLET
- CAT 5/COAX/DATA
- CARBON MONOXIDE DETECTOR
- SMOKE ALARM

ABBREVIATIONS

- AFF ABOVE FINISHED FOOR
- CJ CONTROL JOINT
- CLG CEILING
- CLK CLEAK
- CO CLEAN OUT
- COL COLUMN
- CONC CONCRETE
- CONT CONTINUOUS
- DN DOWN
- EJ EXPANSION JOINT
- EL ELEVATION
- EQ EQUAL
- EXIST EXISTING
- FUR FURRING CHANNEL
- FD FLOOR DRAIN
- FIN FINISH
- FLYD FLYWOOD
- GL GLASS
- GWB GYPSUM WALLBOARD
- HT HEIGHT
- HVAC HARDWOOD HEATING VENTILATION AND AIR CONDITIONING
- INSUL INSULATION
- MAX MAXIMUM
- MFR MANUFACTURER
- MIN MINIMUM
- MCONRY MASONRY OPENING
- MTL METAL
- NIC NOT IN CONTRACT
- NTS NOT TO SCALE
- OC ON CENTER
- PLAM PLASTIC LAMINATE
- PLYWD PLYWOOD
- PTD PAINTED
- REQD REQUIRED
- RAIN LEADER
- STL STRUCTURE/STRUCTURAL
- TYP TYPICAL
- UNO UNLESS NOTED OTHERWISE
- VCT VINYL COMPOSITION TILE
- WD WOOD
- W/ WITH
- WINDW WINDOW

SITE LOCATION



CONTACTS

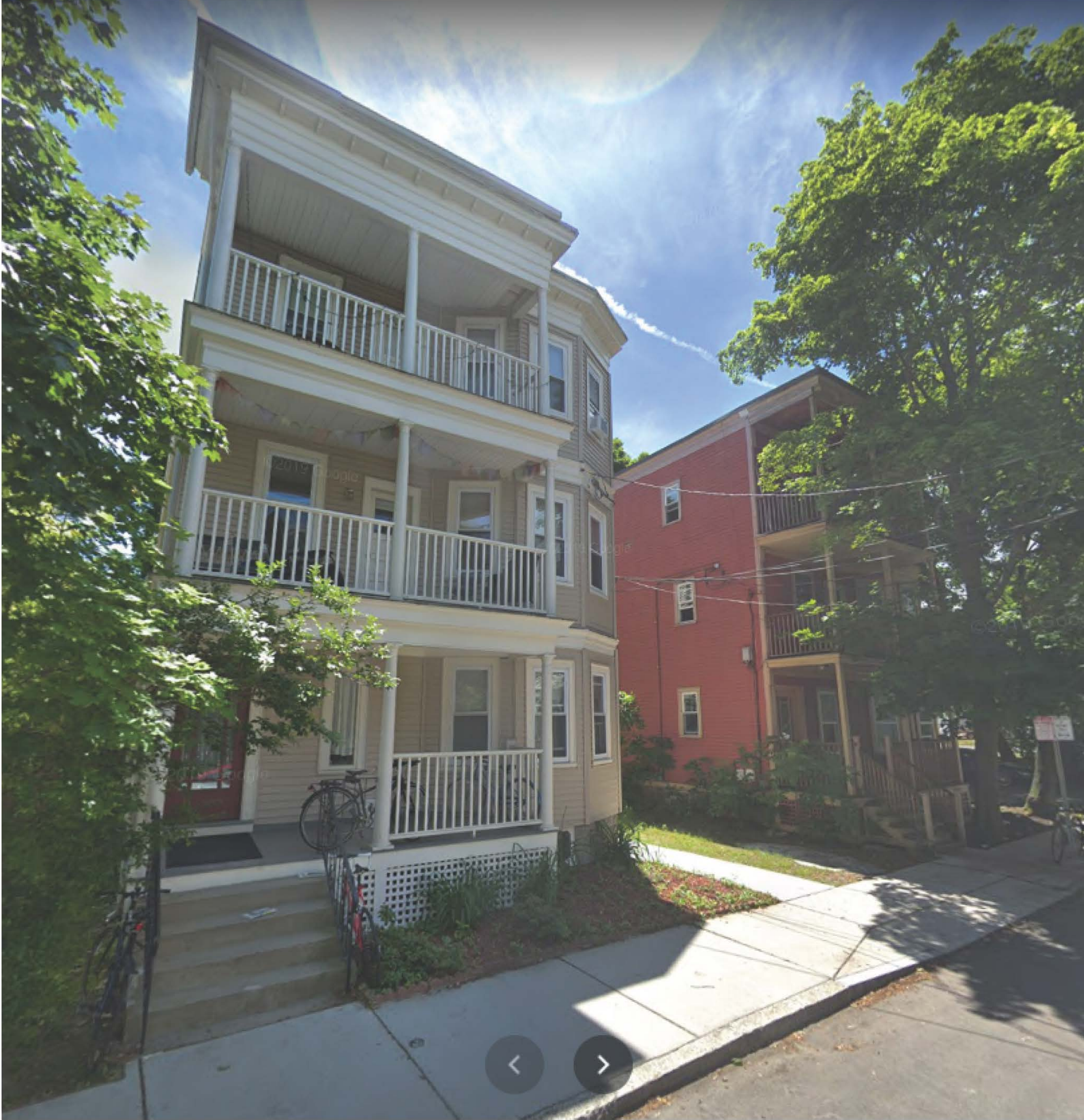
- ARCHITECT**
Anderson Porter Design
875 Main Street
Cambridge MA 02139
- SPRINKLER SYSTEM CONTRACTOR**
Fire Tech Systems
136 Golden Road
Stoughton MA 02072
- Dan Anderson
617.354.2501
- 617-892-2803
- OWNER**
DND Homes LLC
271 Lincoln Street, STE 10
Lexington MA 02421
781-460-8437

DRAWING LIST

- G0.1 COVER SHEET
- C-1 EXISTING CIVIL PLAN
- A0.1 PROPOSED LANDSCAPE PLAN
- Z1.1 ZONING CODE REVIEW
- AX1.1 EXISTING FLOOR PLANS
- AX2.1 EXISTING FLOOR PLANS
- AX2.2 EXISTING ELEVATIONS
- AD1.1 DEMOLITION FLOOR PLANS
- AD1.2 DEMOLITION FLOOR PLANS
- A1.1 PROPOSED FLOOR PLANS
- A1.2 PROPOSED FLOOR PLANS
- A2.1 PROPOSED ELEVATIONS
- A2.2 PROPOSED ELEVATIONS
- A3.1 PROPOSED SECTIONS
- A3.2 PROPOSED SECTIONS
- AS.1 SCHEDULES AND DETAILS
- AB.1 REFLECTED CEILING PLANS
- AB.2 REFLECTED CEILING PLANS
- FP-1 FIRE SPRINKLER BASEMENT PLAN
- FP-2 NOTES AND DETAILS
- 1ST-3RD FLR SIRE SPRINKLER FLOOR PLANS

CODE SUMMARY

- CODE REFERENCE: MASSACHUSETTS STATE BUILDING CODE 780 CMR 9TH EDITION, COMMERCIAL CODE AMENDMENTS: IBC 2015; IEBC 2015
- USE AND OCCUPANCY - RESIDENTIAL (DETACHED THREE-FAMILY DWELLING)**
- BUILDING CONSTRUCTION - TYPE V-B**
- ALTERATIONS - LEVEL 3**
- CHAPTER 3 - BUILDING PLANNING**
- SECTION R302 FIRE-RESISTANT CONSTRUCTION**
- R302.3 Dwelling units shall be separated by a 1-hour fire-resistance rated wall.
- R302.7 Enclosed space under stairs that is accessed by door or access panel shall be covered with 1/2" gypsum board.
- R302.11 Fireblocking shall be provided per code.
- SECTION R303 LIGHT, VENTILATION AND HEATING**
- R303.3 Mechanical ventilation shall be provided.
- R303.10 Dwelling units shall be provided with required heating.
- SECTION R304 MINIMUM ROOM AREAS**
- All habitable room areas shall comply with code.
- SECTION 305 CEILING HEIGHT**
- R305.1 Ceiling heights shall be equal to, or greater than, minimum requirements.
- SECTION 306 SANITATION**
- Toilet fixtures, kitchens, sewage disposal, and water supply to fixtures shall be provided.
- SECTION 307 TOILET, BATH AND SHOWER SPACES**
- Toilet, baths, and showers spaces shall comply with code.
- SECTION 308 GLAZING**
- All glazing shall comply with code.
- SECTION 309 GARAGES AND CARPORTS**
- This section of the code is not applicable to the proposed design.
- SECTION 310 EMERGENCY ESCAPE AND RESCUE OPENINGS**
- R310.2.1 Emergency and escape rescue openings shall have net clear openings that comply with code.
- SECTION 311 MEANS OF EGRESS**
- R311.1 Each dwelling unit shall be provided with a means of egress with clear widths that comply with code. Code Reference 1008.2.1 In Group R-2 and R-3 occupancies, one means of egress is permitted within and from individual dwelling units with a maximum occupant load of 20 where the dwelling unit is equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2 and the common path of egress travel does not exceed 125 feet.
- R311.2.1 All interior doors shall have nominal widths and heights that comply with code.
- R311.7.5.1-2 Riser heights shall not be more than 81/4". Tread depths shall not be less than 9". Winders shall have a minimum tread depth of 3" at any point.
- SECTION 312 GUARDS AND WINDOW FALL PROTECTION**
- Guard locations and heights, and window openings and fall protections shall comply with code.
- SECTION 313 AUTOMATIC FIRE SPRINKLER SYSTEMS**
- R313.2 The proposed design does not have an aggregate area greater than 14,400 square feet.
- The proposed design includes a fire sprinkler system.
- SECTION R314 SMOKE ALARMS**
- R314.3 Smoke alarms shall be provided and located as required.
- SECTION 315 CARBON MONOXIDE ALARMS**
- R315.3 Carbon monoxide alarms shall be provided and located as required.
- SECTION 316 FOAM PLASTIC**
- GC shall verify that any form plastics used shall comply with code.
- SECTION 317 PROTECTION OF WOOD AND WOOD-BASED PRODUCTS AGAINST DECAY**
- GC shall verify that construction complies with code.
- SECTION 318 PROTECTION AGAINST SUBTERRANEAN TERMITES**
- GC shall verify that construction complies with code.
- SECTION 319 SITE ADDRESS**
- Both units shall be provided with address identification that complies with code.
- SECTION 320 ACCESSIBILITY**
- This section is not applicable to the proposed design.
- SECTION 321 ELEVATORS AND PLATFORM LIFTS**
- This section is not applicable to the proposed design.
- SECTION 322 FLOOD-RESISTANT CONSTRUCTION**
- The basement shall be constructed to anticipate the estimated seasonal high ground water level.
- SECTION 323 STORM SHELTERS**
- This section is not applicable to the proposed design.
- SECTION 324 SOLAR ENERGY SYSTEMS**
- This section is not applicable to the proposed design.
- CHAPTER 4 - FOUNDATIONS**
- GC shall verify that construction complies with code.
- CHAPTER 5 - FLOORS**
- GC shall verify that construction complies with code.
- CHAPTER 6 - WALL CONSTRUCTION**
- GC shall verify that construction complies with code.
- CHAPTER 7 - WALL COVERING**
- GC shall verify that construction complies with code.
- CHAPTER 8 - ROOF-CEILING CONSTRUCTION**
- GC shall verify that construction complies with code.
- CHAPTER 9 - ROOF ASSEMBLIES**
- GC shall verify that construction complies with code.
- CHAPTER 10 - CHIMNEY AND FIREPLACES**
- GC shall verify that construction complies with code.
- CHAPTER 11 - ENERGY EFFICIENCY**
- N101.1 GC shall use the energy efficiency requirements of 780 CMR 110 Appendix AA.
- AA104 The proposed design is the alteration, renovation, addition, and repair of an existing building.



PERMIT SET

REVISIONS		
No.	Description	Date



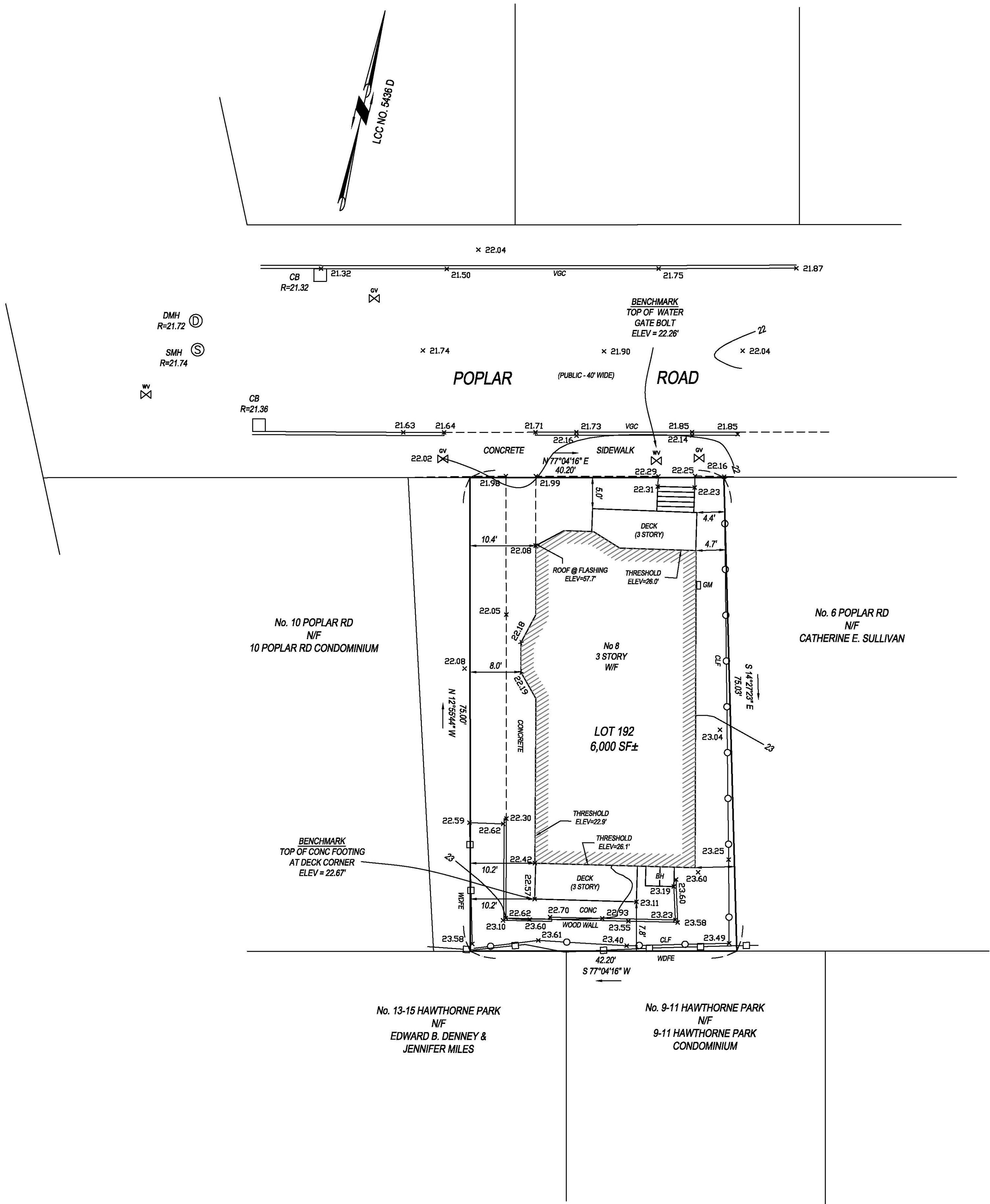
AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: 8 POPLAR ROAD
Address: 8 POPLAR ROAD
CAMBRIDGE, MA 02138
Title: SITE PHOTOS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2017
Date: 10/22/2020
Scale: 1/4" = 1'-0"
Drawn by: ER/DS/KA
Drawn No.: A0.0

LEGEND:

BH	BULKHEAD
BIT	BITUMINOUS
CB	CATCH BASIN
CONC	CONCRETE
CLF	CHAIN LINK FENCE
DMH	DRAIN MANHOLE
GM	GAS METER
GV	GAS VALVE
SMH	SEWER MANHOLE
VGC	VERTICAL GRANITE CURB
WDFE	WOOD FENCE
W/F	WOOD FRAME
WV	WATER VALVE



RECORD OWNERS:

SERIES E OF LEGACIES PROPERTY, LLC
1837 TRAPELO ROAD
WALTHAM, MA 02451

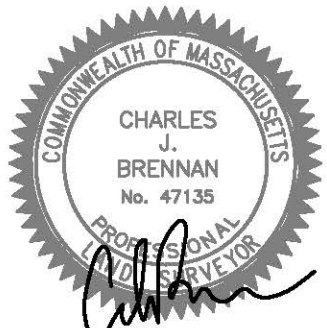
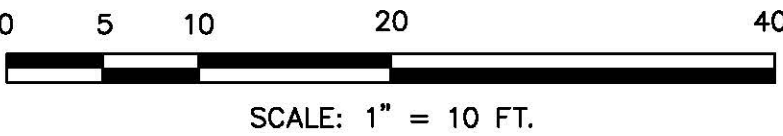
REFERENCES:

CERTIFICATE NO. 239559

LCC NO. 5436 C
LCC NO. 5436 D
LCC NO. 5436 G

NOTES:

- 1.) THIS PLAN WAS PREPARED FROM AN INSTRUMENT SURVEY PERFORMED IN SEPTEMBER 15, 2020.
- 2.) THE LOCATION OF SUBSURFACE UTILITIES WERE NOT INCLUDED AS PART OF THIS SURVEY. UTILITY STRUCTURES SHOWN HEREON ARE FROM THE LOCATION OF VISIBLE SURFACE EVIDENCE. THE LOCATION OF SUBSURFACE UTILITIES ARE NOT WARRANTED TO BE CORRECT, NOR DOES THE SURVEYOR GUARANTEE THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND CONTACT "DIG SAFE" (1-800-DIG-SAFE) PRIOR TO THE COMMENCEMENT OF WORK.
- 3.) A TITLE EXAMINATION WAS NOT PROVIDED FOR THIS SURVEY. AS SUCH OTHER MATTERS OF RECORD MAY EXIST AND NOT BE SHOWN HEREON.
- 4.) VERTICAL DATUM IS NAVD 88.



SIGNATURE:

9-23-20
DATE:

TOPOGRAPHIC
SITE PLAN
IN
CAMBRIDGE, MA
AT 8 POPLAR ROAD
PREPARED FOR

DND HOMES LLC
BY

SUMMIT SURVEYING INC.

4 SOUTH POND STREET, NEWBURYPORT, MA 01950

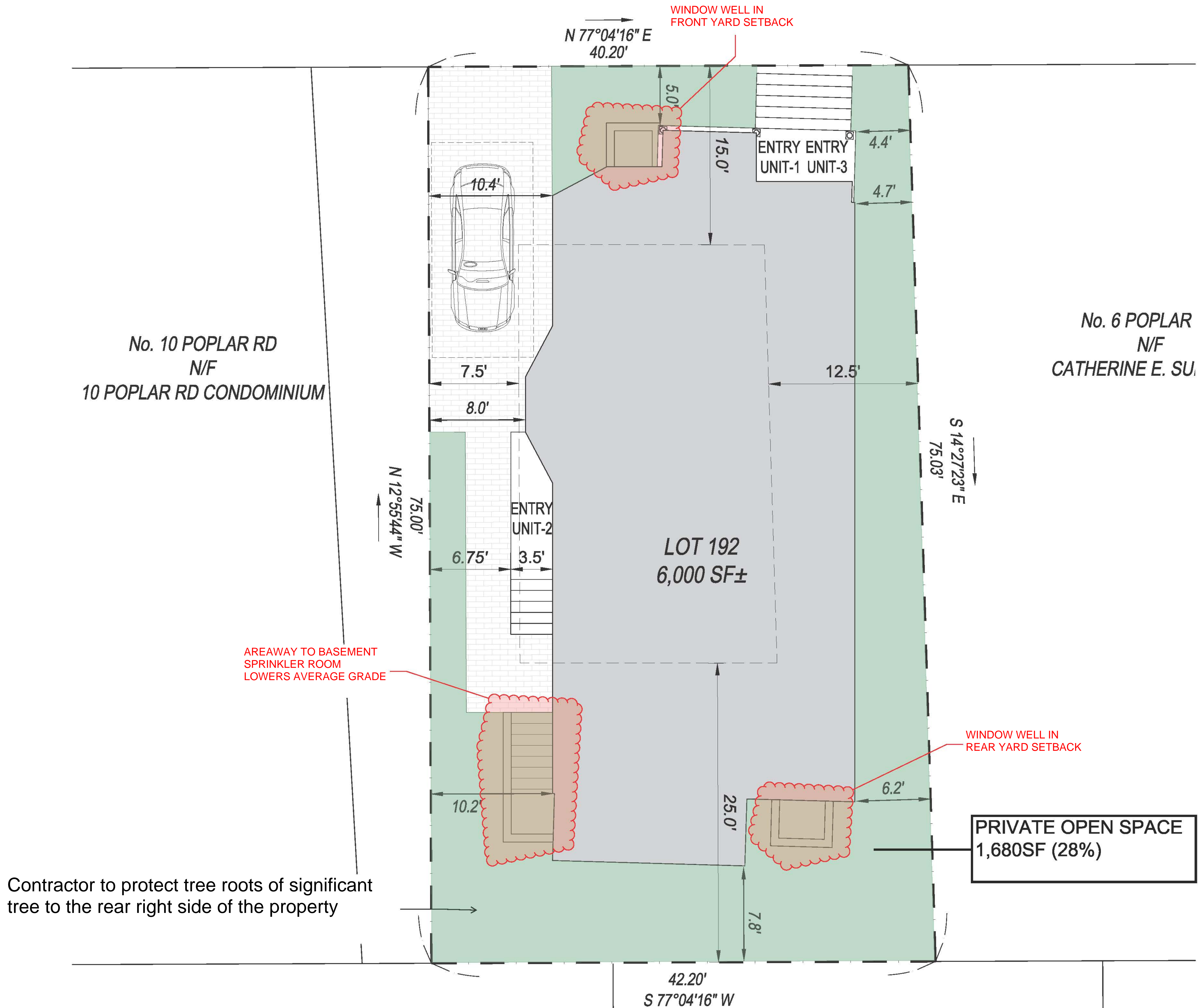
TEL. 978-692-7109
SEPTEMBER 23, 2020
WWW.SUMMITSURVEYINGINC.COM
20-0151

POPLAR ROAD

(PUBLIC - 40' WIDE)

VGC

ANDERSON
PORTER
DESIGN



REVISIONS		
No.	Description	Date



AndersonPorterDesign
875 Main Street Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: 8 POPLAR ROAD
Address: 8 POPLAR ROAD
CAMBRIDGE MA
02138
Title: SITE PLAN

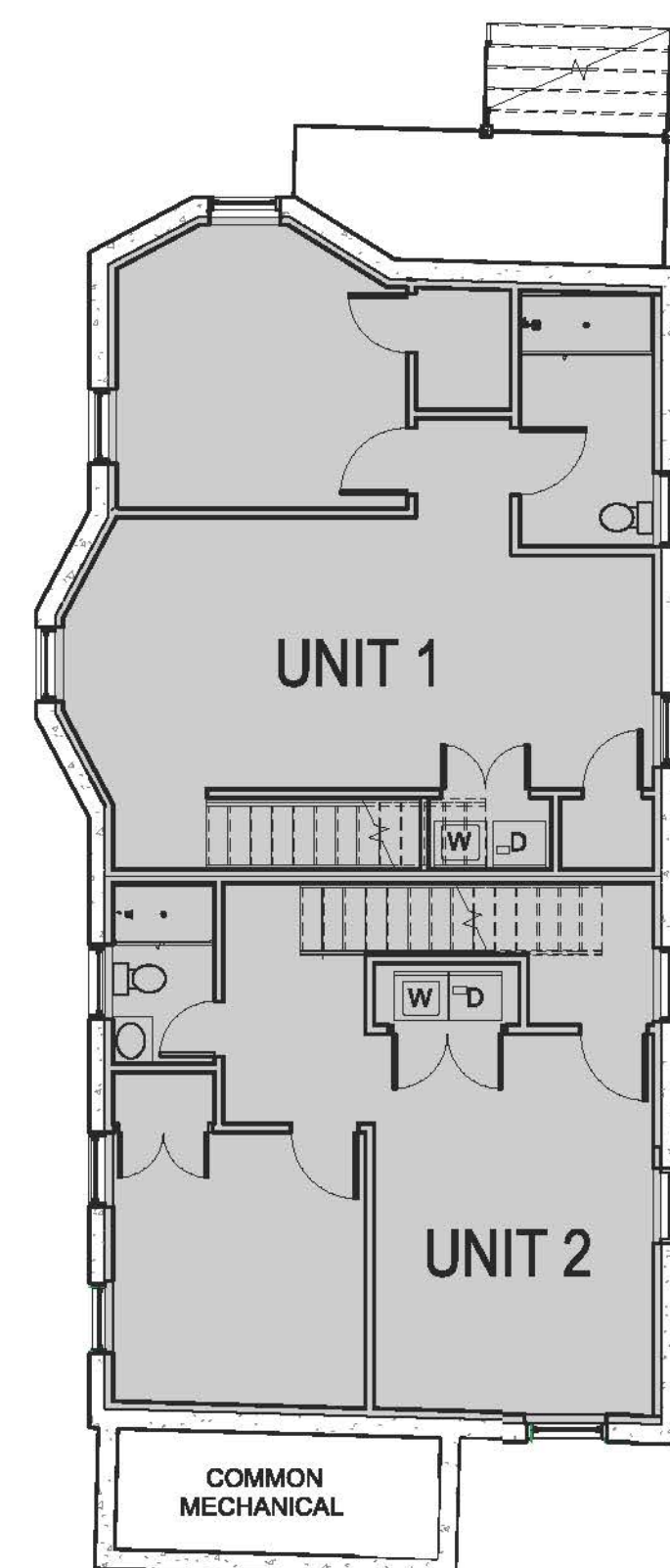
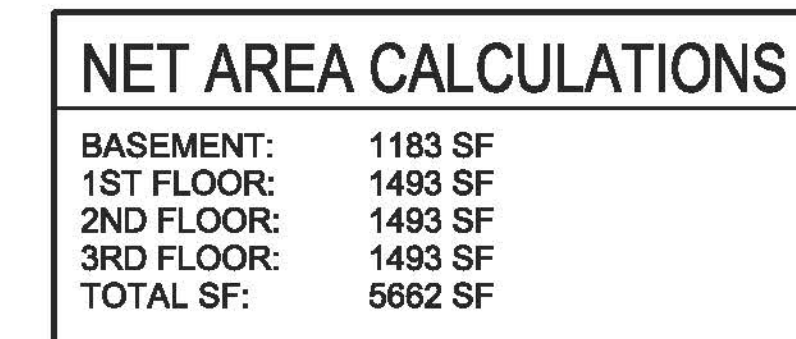
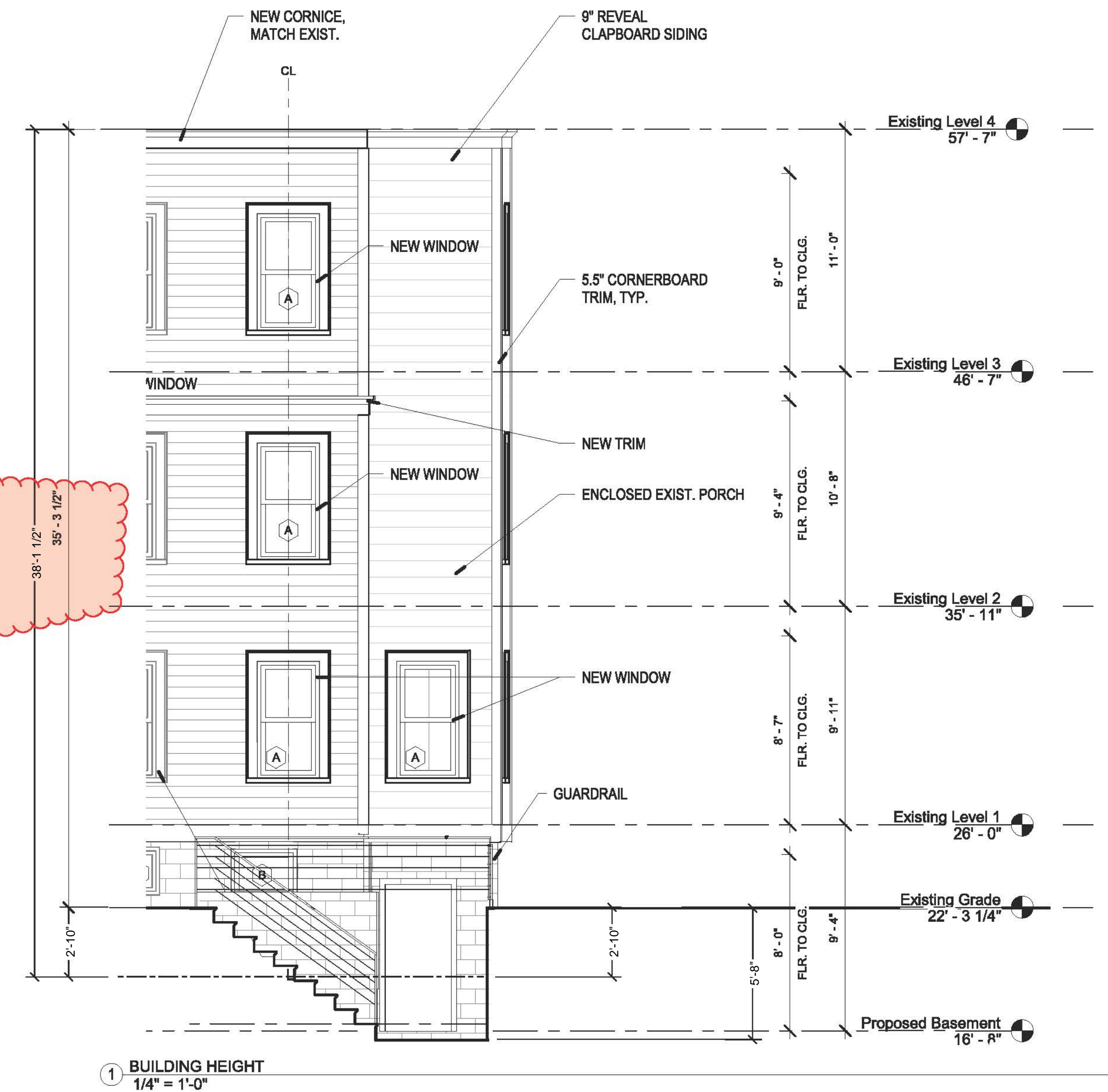
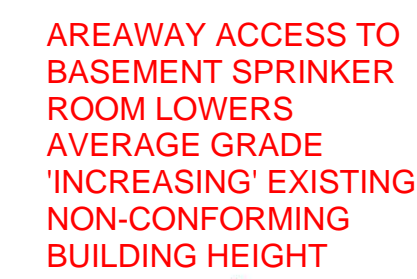
Drawing Issued By: ANDERSON PORTER DESIGN
Proj #: 2017
Date: 09/24/2020
Scale: AS NOTED
Drawn By: DA
Drawing No: A0.1

ANDERSON
PORTER
DESIGN

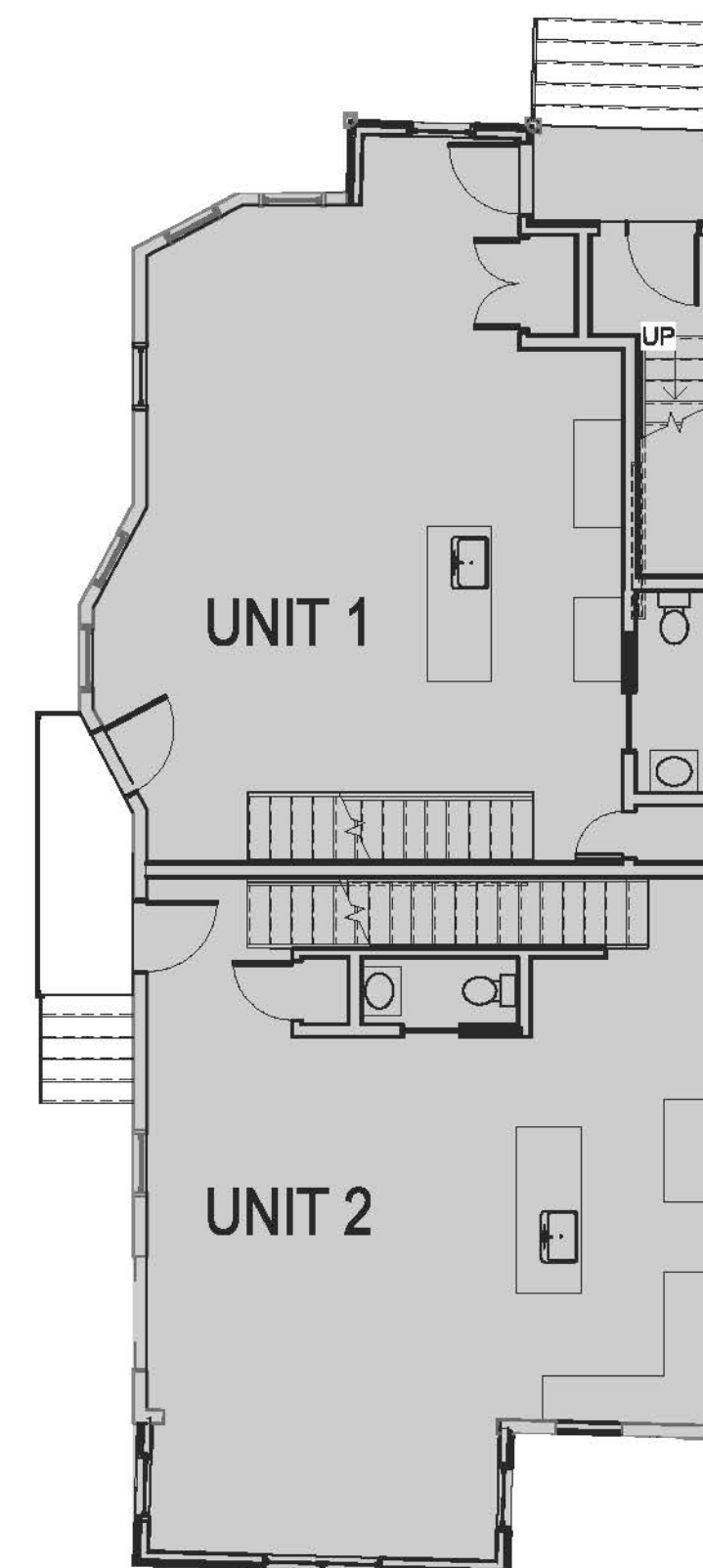
LOCATION: 8 Poplar Road ZONE: Res. B

PHONE: 617-794/2371 REQUESTED USE/OCCUPANCY: Residential 3 family

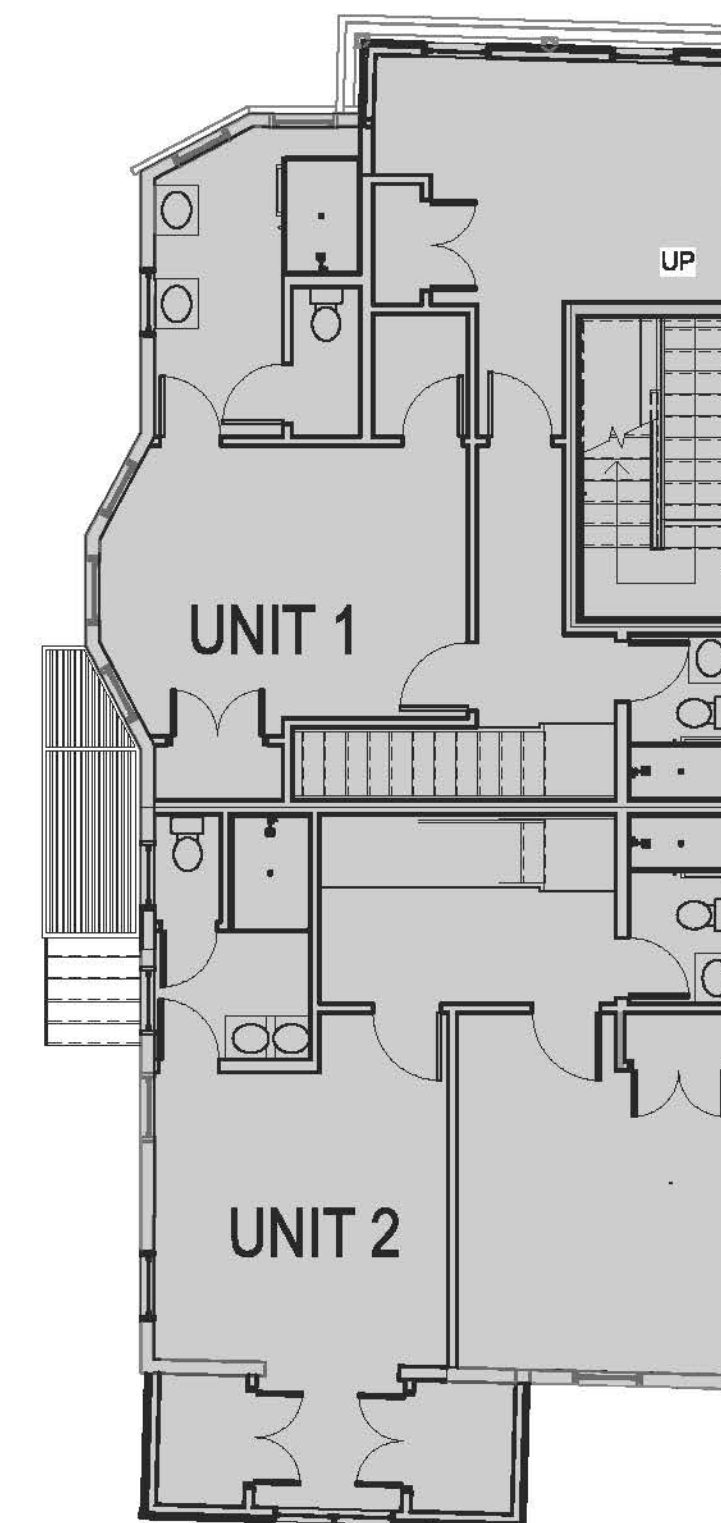
	<u>EXITING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS1</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	<u>5662</u>	<u>5662</u>	<u>1546.5</u>	(max.)
<u>LOT AREA:</u>	<u>3093</u>		<u>5000</u>	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: 2</u>	<u>1.83</u>	<u>1.83</u>	<u>.5</u>	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	<u>1031</u>	<u>1031</u>	<u>2500</u>	(min.)
<u>SIZE OF LOT:</u>				
WIDTH	<u>40.20</u>		<u>50</u>	(min.)
DEPTH	<u>75.00</u>			
<u>Setbacks in Feet:</u>				
FRONT	<u>5</u>	<u>5</u>	<u>15</u>	(min.)
REAR	<u>7.8</u>	<u>7.8</u>	<u>25</u>	(min.)
LEFT SIDE	<u>4.4</u>	<u>4.4</u>	<u>12.5 (sum 20)</u>	(min.)
RIGHT SIDE	<u>10.2</u>	<u>10.2</u>	<u>7.5</u>	(min.)
<u>SIZE OF BUILDING:</u>				
HEIGHT	<u>35.3</u>	<u>38.1</u>	<u>35</u>	(max.)
LENGTH	<u>52.5</u>	<u>52.5</u>		
WIDTH	<u>25.3</u>	<u>25.3</u>		
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	<u>28%</u>	<u>28%</u>	<u>40%</u>	(min.)
<u>NO. OF DWELLING UNITS:</u>	<u>3</u>	<u>3</u>	<u>1</u>	(max.)
<u>NO. OF PARKING SPACES:</u>	<u>1</u>	<u>1</u>	<u>3</u>	(min/max.)
<u>NO. OF LOADING AREAS:</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	(min.)



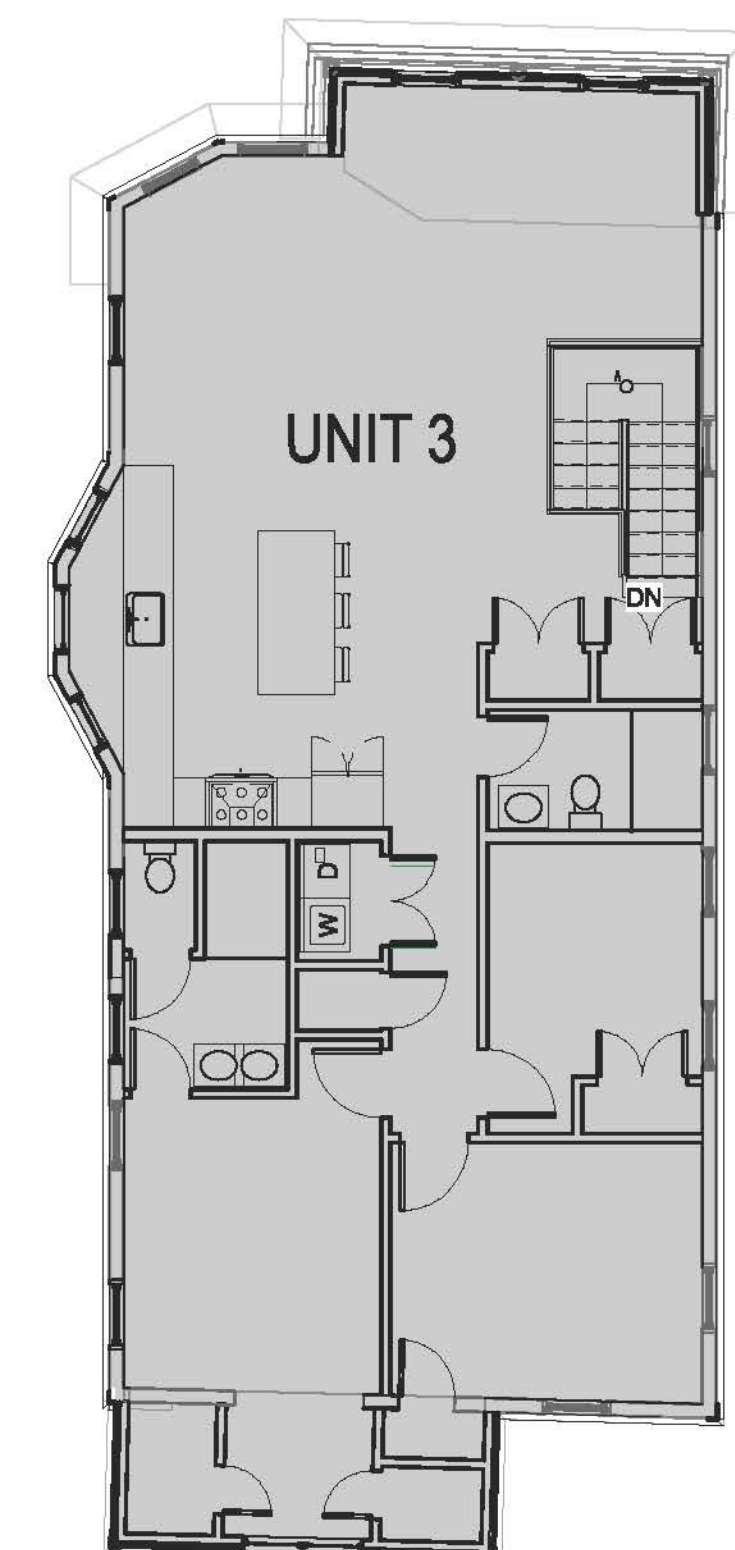
② **Level 0 - Square Footage**
1/8" = 1'-0"



③ **Level 1 - Square Footage**
1/8" = 1'-0"



4 Level 2 - Square Footage
1/8" = 1'-0"



5 Level 3 - Square Footage
 $1/8" = 1'-0"$

PERMIT SET

[illegible]

AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: 8 POPLAR ROAD

Address:
8 POPLAR ROAD
CAMBRIDGE, MA 02138

Title: **ZONING SUMMARY PAGE**

Drawing Issued By: ANDERSON PORTER DESIGN

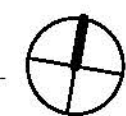
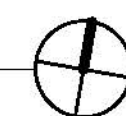
Project #	2017	Drawn No.
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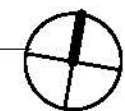
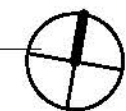
Date	10/22/2020	
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Scale	As indicated	Z1.1
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Drawn by	ER
----------	----

Z1.1

[illegible]

[illegible]

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Tel. 617.354.2501 Fax. 617.354.2509

Project: 8 POPLAR ROAD

Address: 8 POPLAR ROAD
CAMBRIDGE, MA 02138

Title: **EXISTING FLOOR PLANS**

Drawing Issued By: ANDERSON PORTER DESIGN

Project #	2017	Drawn No.
-----------	------	-----------

Date 10/22/2020 AY18

Scale 1/4" = 1'-0" **AX1.2**

Drawn by **ER/DS/KA**

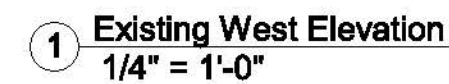
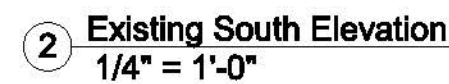
AX1.2

Scale 1/4" = 1'-0" **AXZ.1**

Drawn by ER/DS/KA

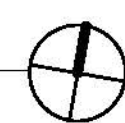
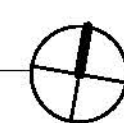


Project:	
8 POPLAR ROAD	
Address:	
8 POPLAR ROAD CAMBRIDGE, MA 02138	
Title:	
EXISTING ELEVATIONS	
Drawing issued by: ANDERSON PORTER DESIGN	
Project #	2017
Date	10/22/2022
Scale	1/4" = 1'-0"
Drawn by	ER/DS/KA
Drawn No.	
AX2.2	



[illegible]

Scale 1/4" = 1'-0" AD1.



PERMIT SET

REVISIONS		
No.	Description	Date

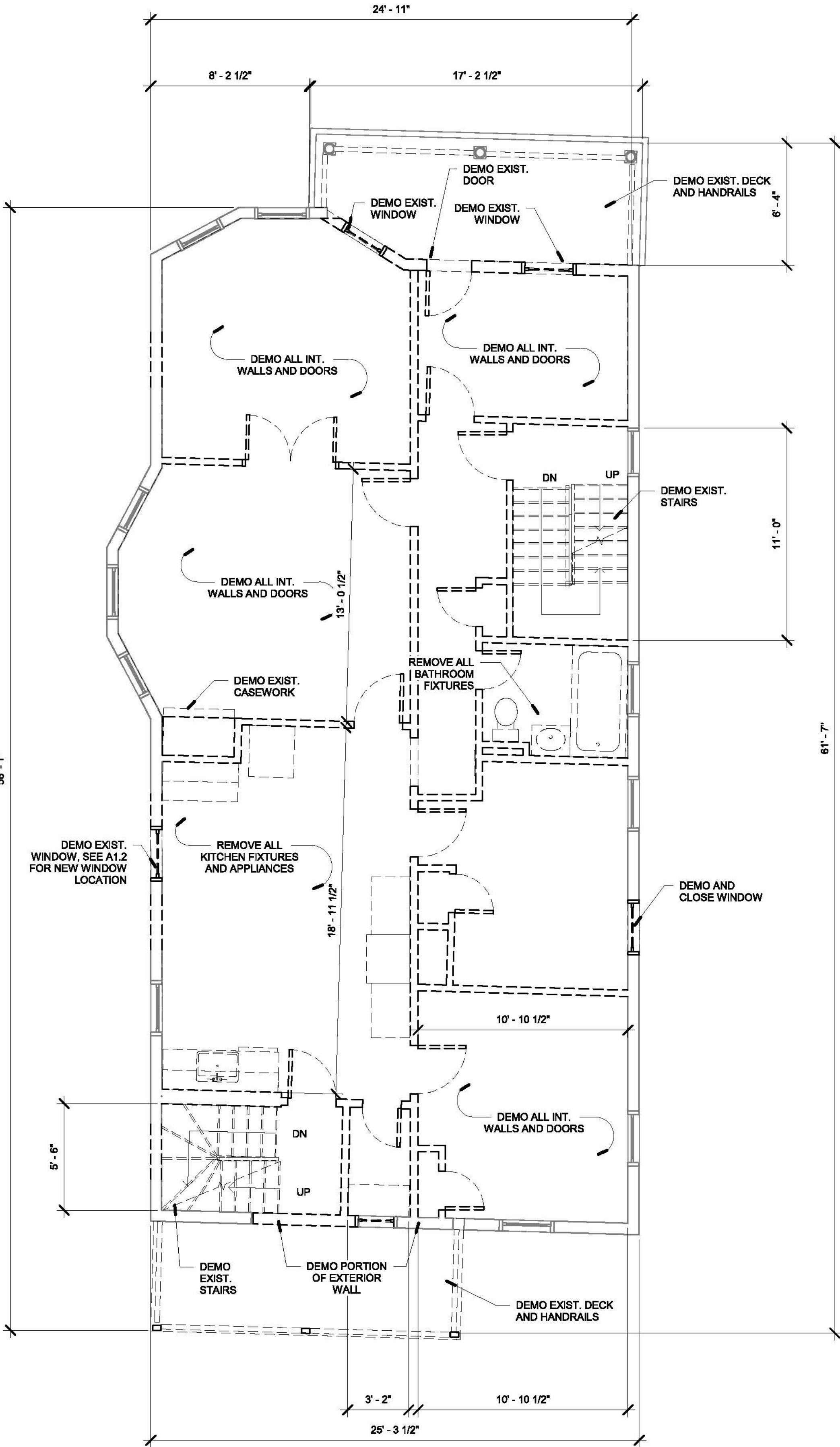


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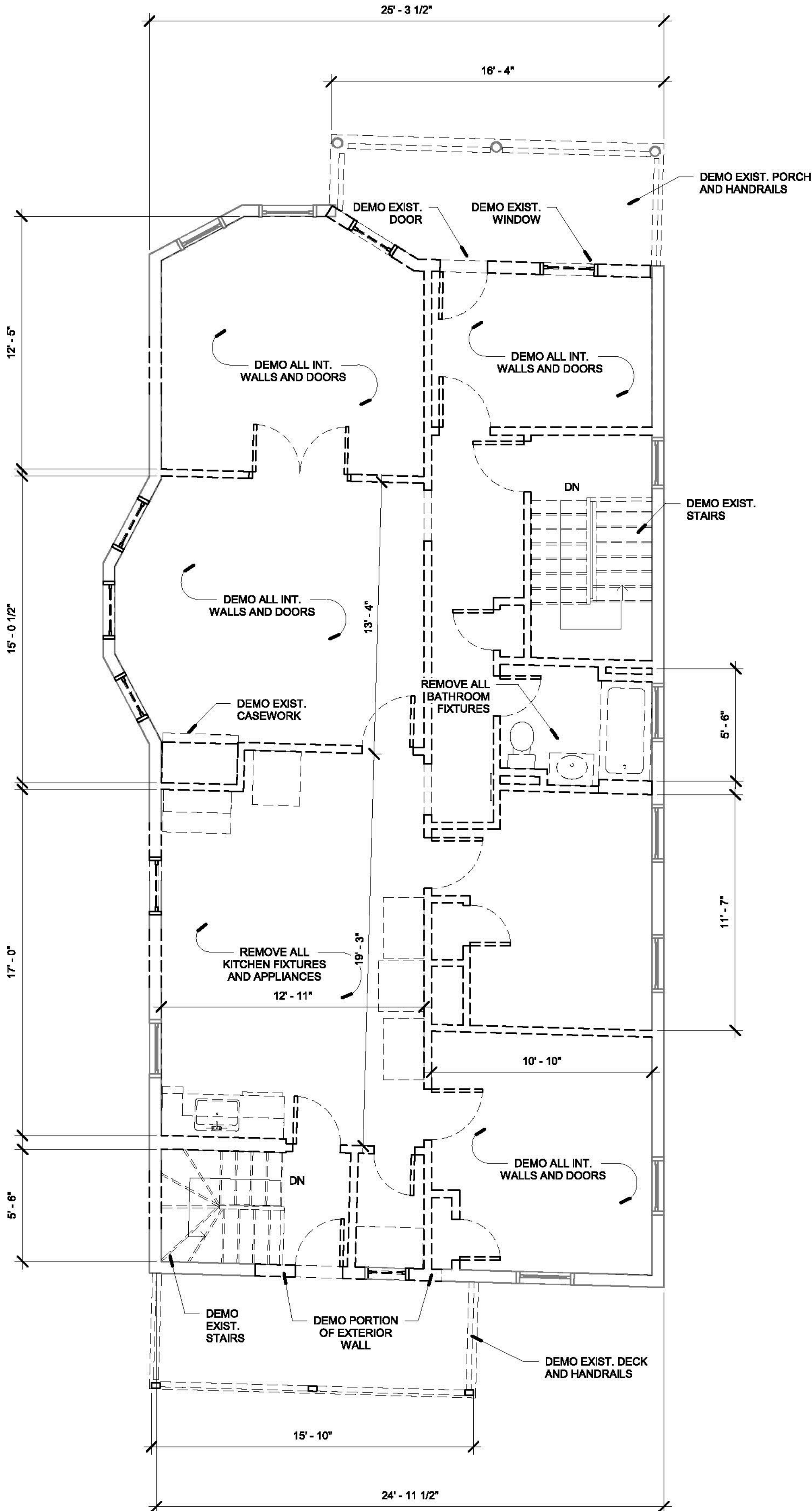
Project: 8 POPLAR ROAD
Address: 8 POPLAR ROAD
CAMBRIDGE, MA 02138

Title: DEMOLITION PLANS

Drawing issued by: ANDERSON PORTER DESIGN		
Project #	2017	Drawn No.
Date	10/22/2020	AD1.2
Scale	1/4" = 1'-0"	
Drawn by	ER/DS/KA	



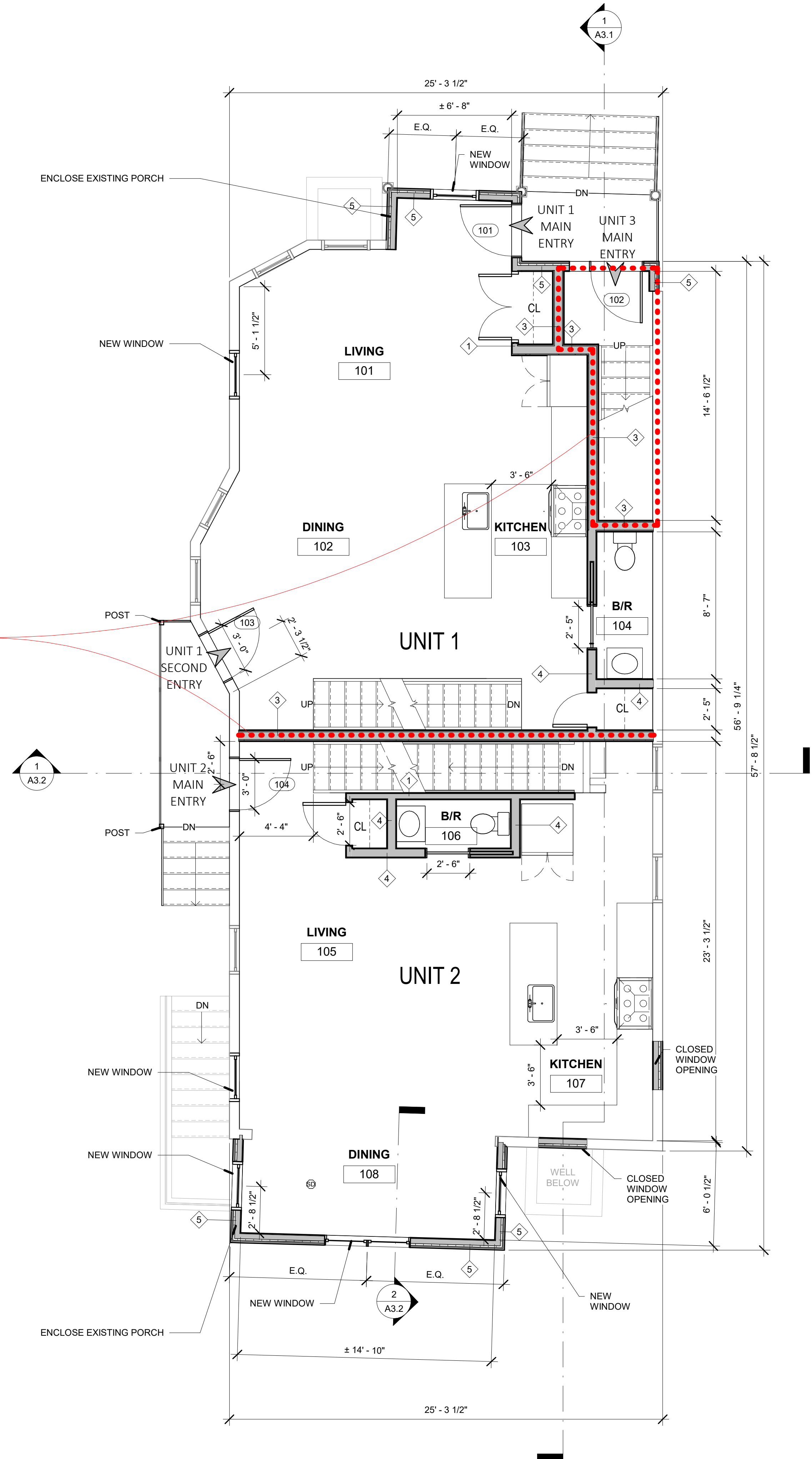
1 Demolition Level 2
1/4" = 1'-0"



2 Demolition Level 3
1/4" = 1'-0"

Scale 1/4 = 1'-0"

Drawn by DA/DS/KA



② Proposed Level 1
1/4" = 1'-0"

PERMIT SET

REVISIONS		
No.	Description	Date



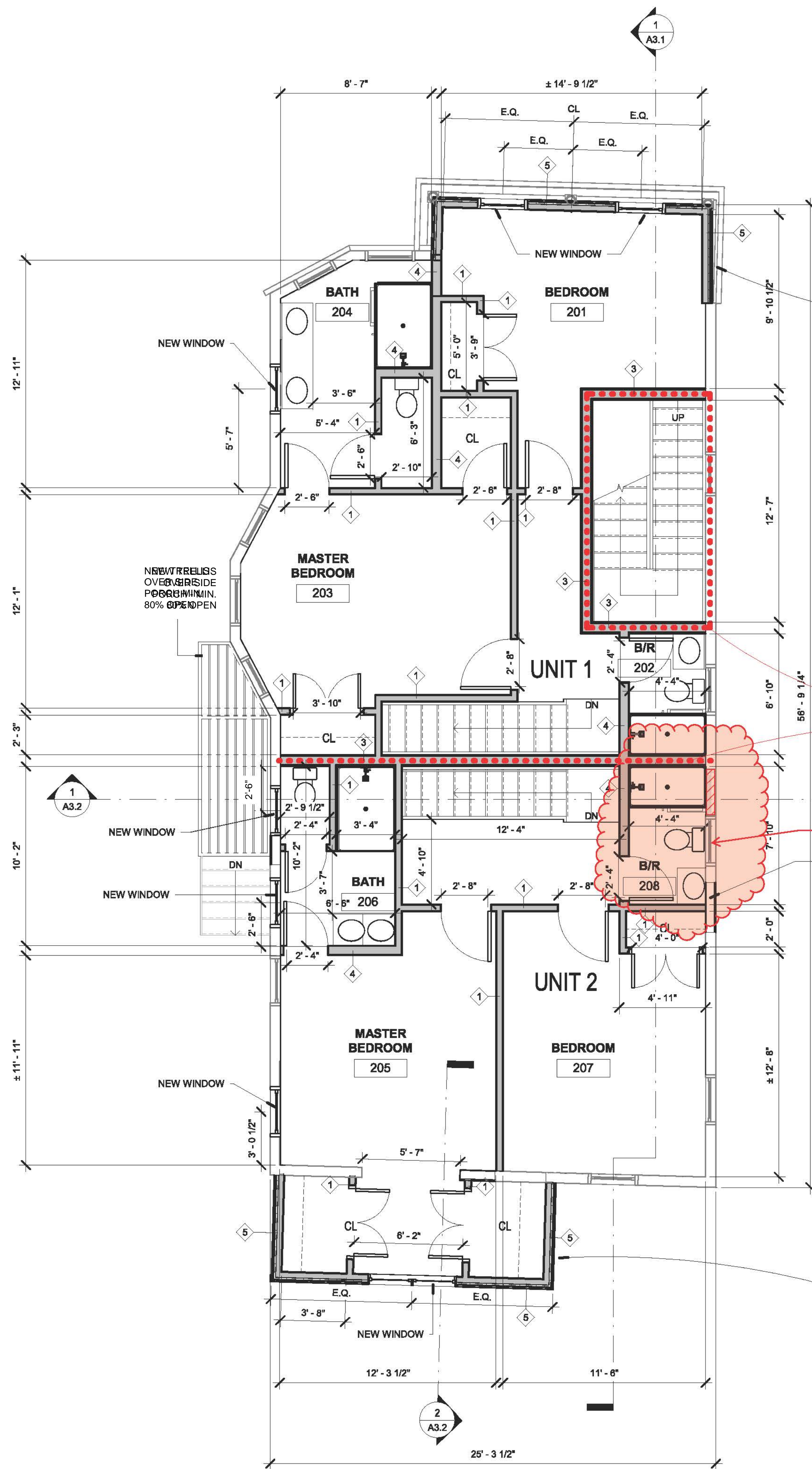
AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: 8 POPLAR ROAD
Address: 8 POPLAR ROAD
CAMBRIDGE, MA 02138

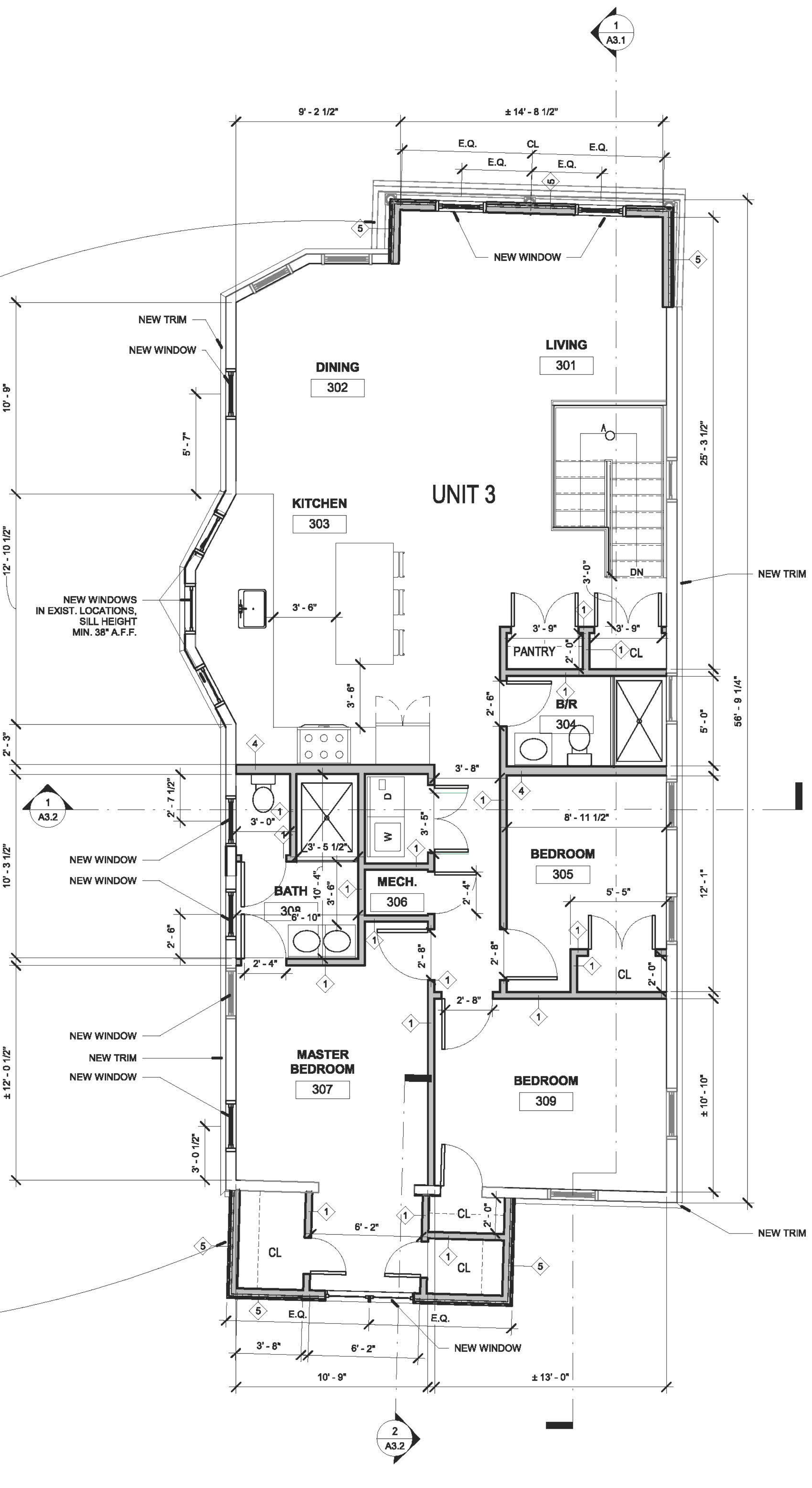
Title: PROPOSED FLOOR PLANS

Drawing Issued By: ANDERSON PORTER DESIGN
Project # 2017
Date: 10/22/2020
Scale: 1/4" = 1'-0"
Drawn by: DA/DS/KA

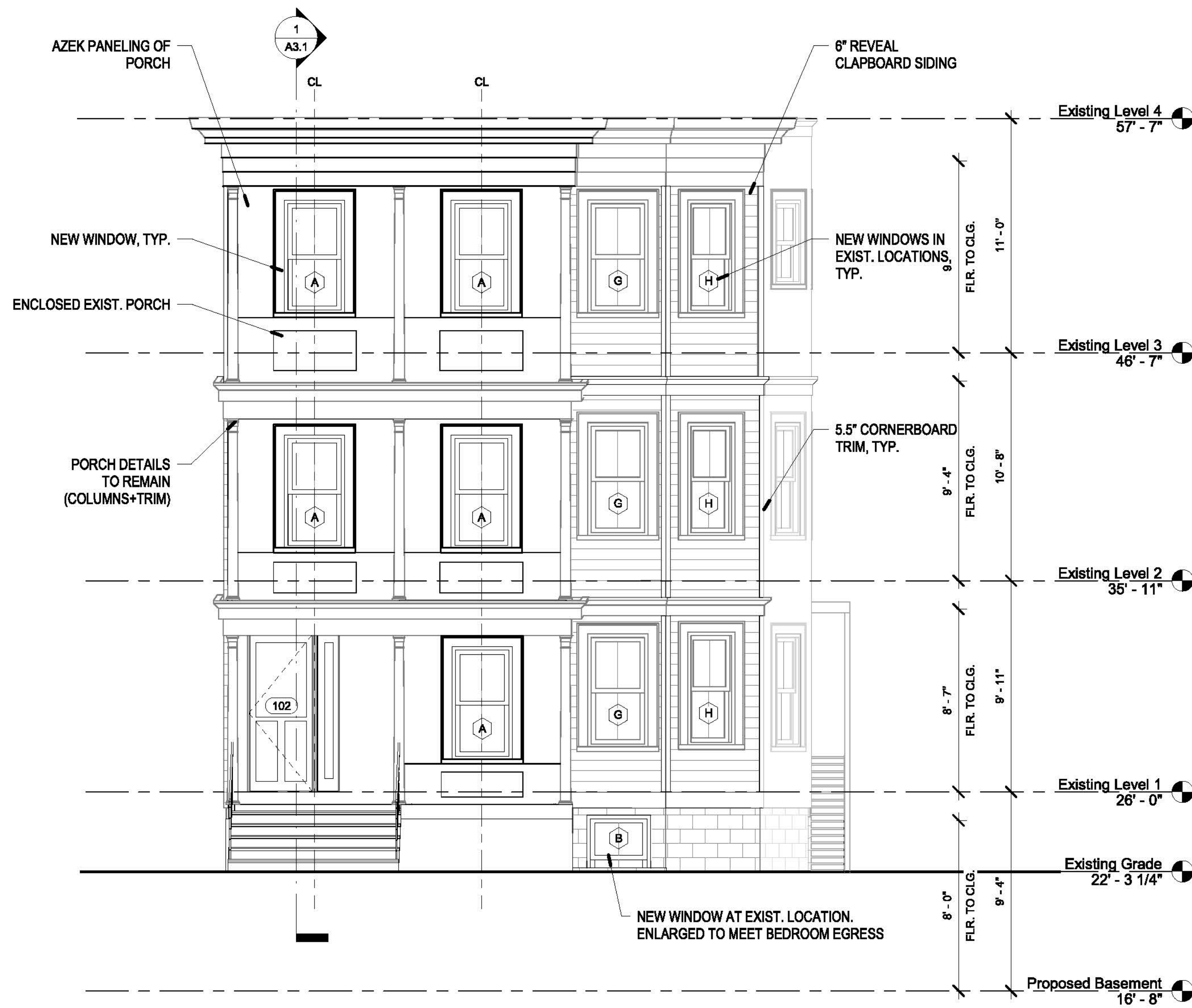
A1.2



1 Proposed Level 2
1/4" = 1'-0"

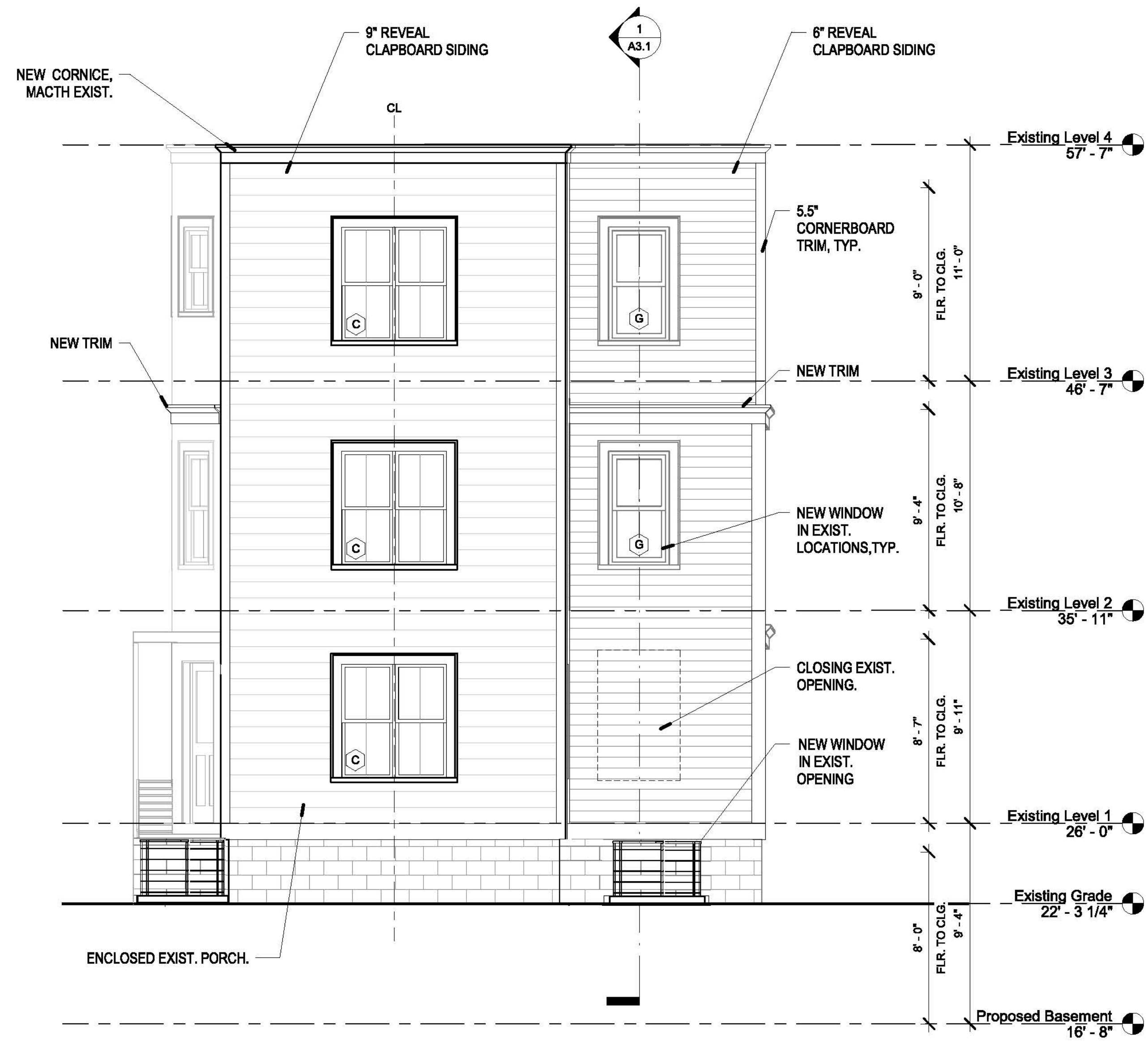


2 Proposed Level 3
1/4" = 1'-0"



*ALL NEW WINDOWS IN EXIST. LOCATIONS
UNLESS OTHERWISE NOTED, GC TO VERIFY
HEIGHT AND WIDTH IN FIELD*

2 Proposed North Elevation
1/4" = 1'-0"



*ALL NEW WINDOWS IN EXIST. LOCATIONS
UNLESS OTHERWISE NOTED, GC TO VERIFY
HEIGHT AND WIDTH IN FIELD*

1 Proposed South Elevation
1/4" = 1'-0"

PERMIT SET

REVISIONS		
No.	Description	Date



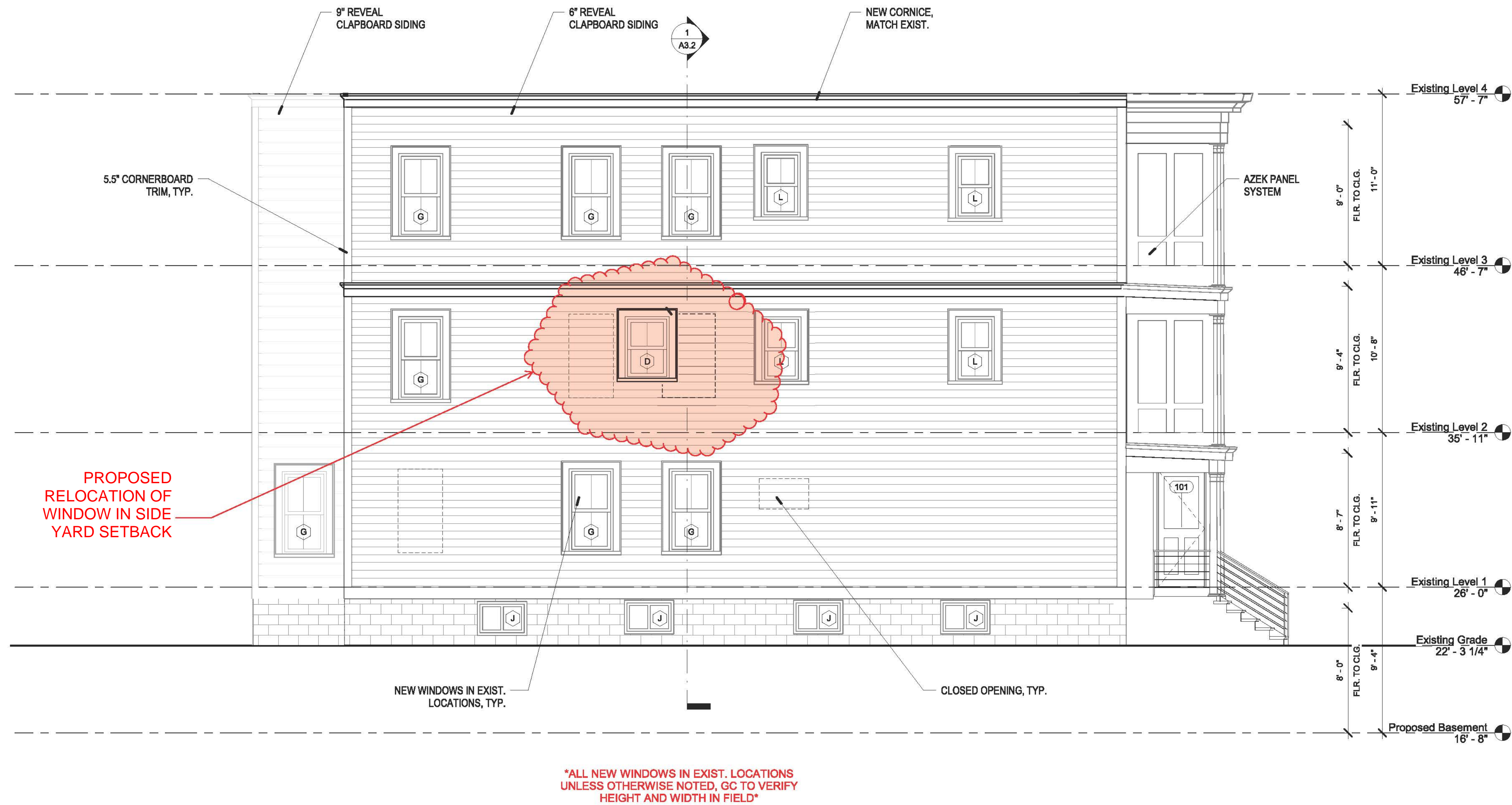
AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: 8 POPLAR ROAD
Address: 8 POPLAR ROAD
CAMBRIDGE, MA 02138
Title: PROPOSED ELEVATIONS

Drawing issued by: ANDERSON PORTER DESIGN	
Project # 2017	Drawn No.
Date 10/22/2020	A2.1
Scale 1/4" = 1'-0"	
Drawn by ER/DS/KA	



② Proposed West Elevation
1/4" = 1'-0"



1 Proposed East Elevation
1/4" = 1'-0"

PERMIT SET

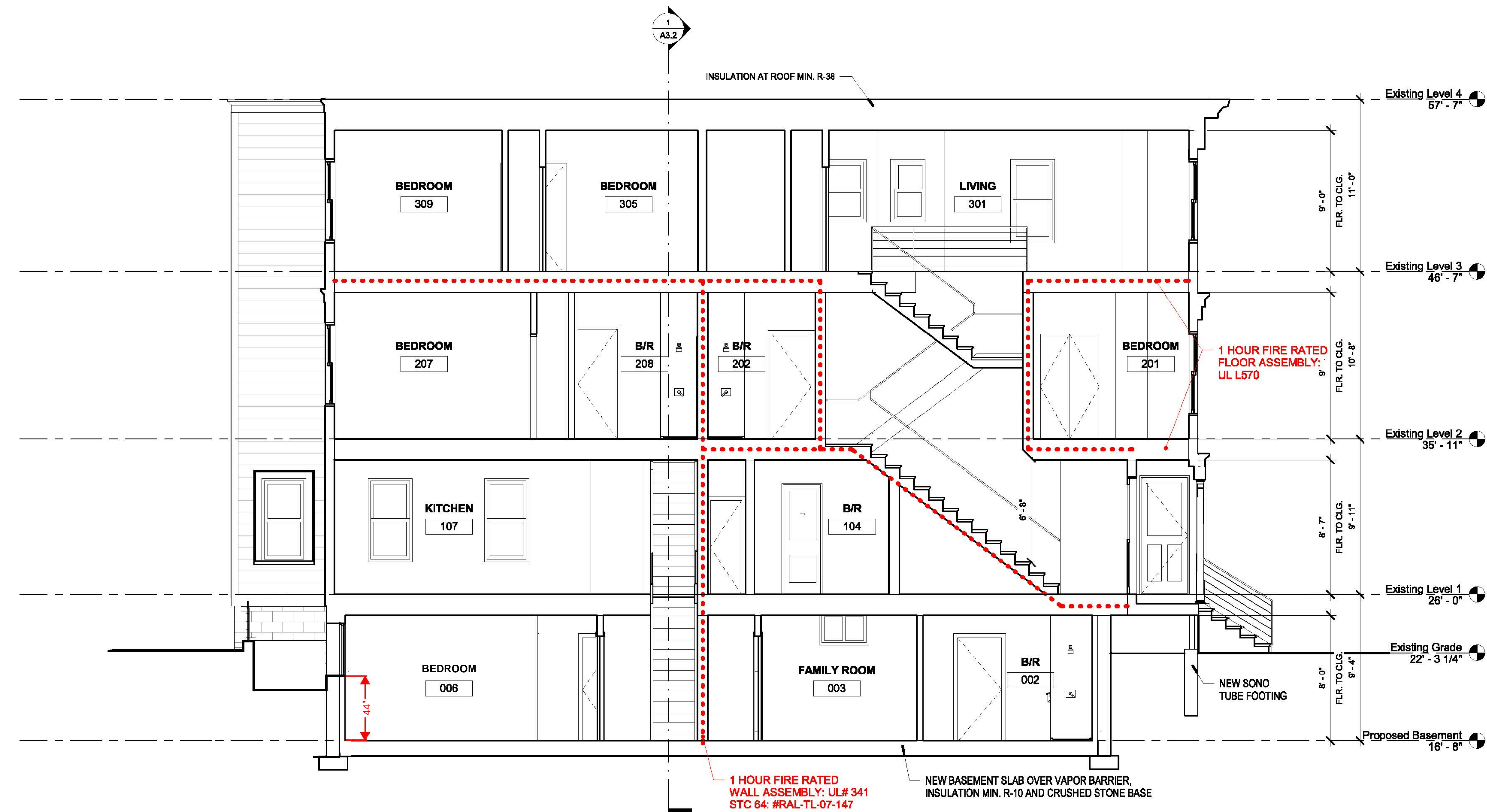
REVISIONS		
No.	Description	Date
1	REVISION	1/27/2021



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Tel. 617.354.2501 Fax. 617.354.2509

Project: 8 POPLAR ROAD
Address: 8 POPLAR ROAD
CAMBRIDGE, MA 02138
Title: PROPOSED ELEVATIONS

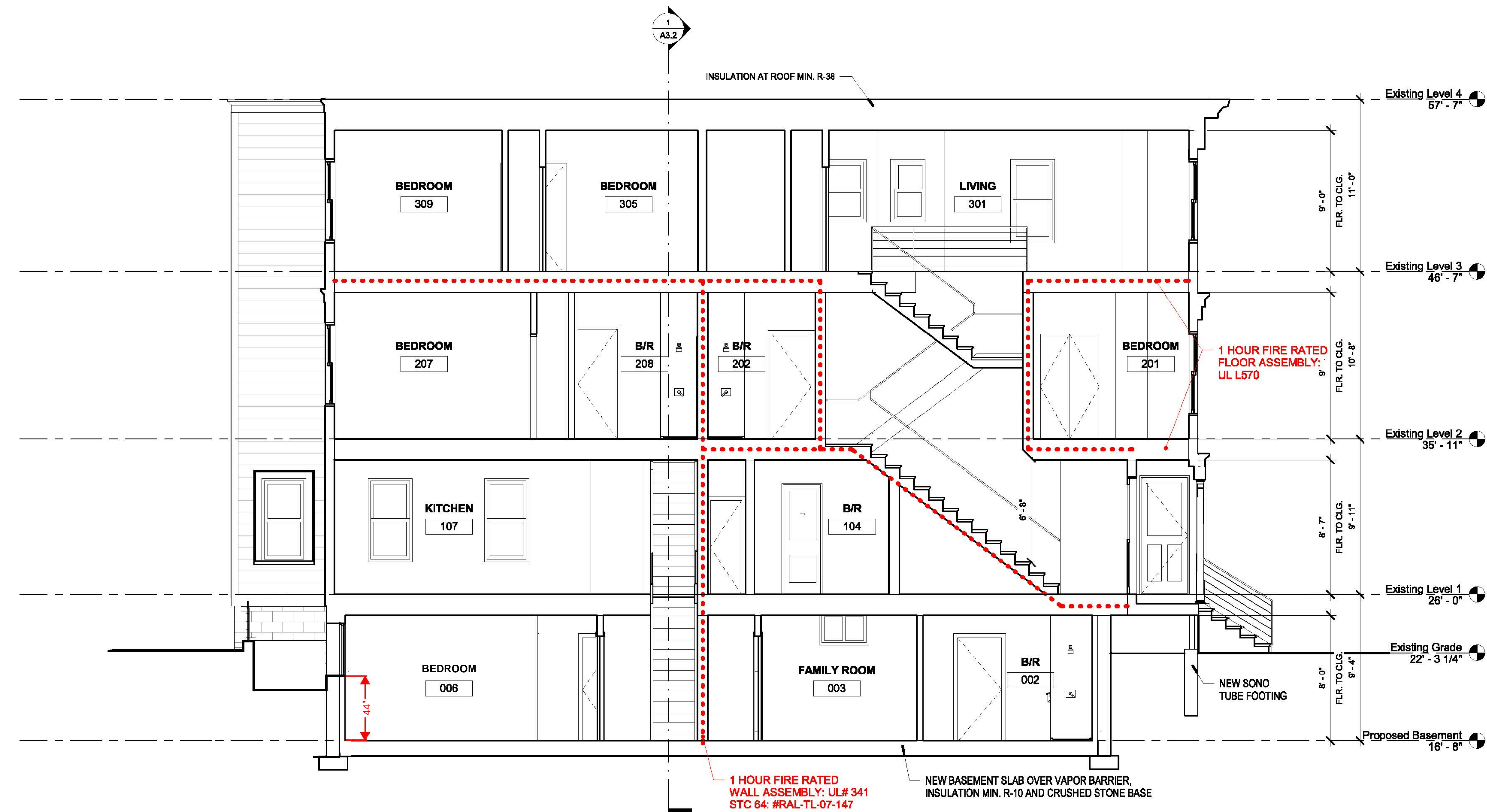
Drawing Issued By: ANDERSON PORTER DESIGN
Project # 2017
Date 10/22/2020
Scale 1/4" = 1'-0"
Drawn by ER/DS/KA
Drawn No. A2.3

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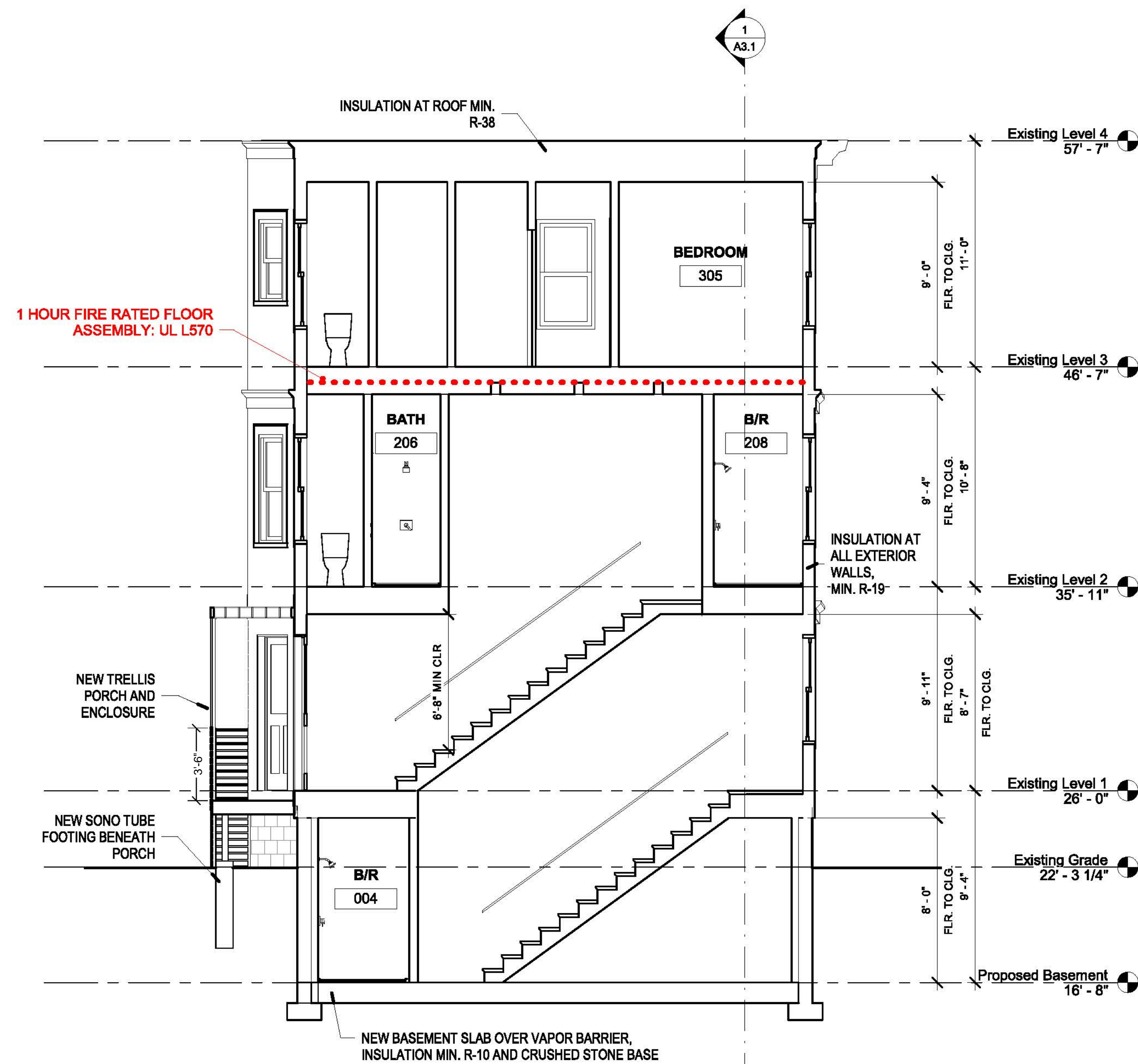
① **Section 1**
 $1/4" = 1'-0"$

Project:	8 POPLAR ROAD
Address:	8 POPLAR ROAD CAMBRIDGE, MA 02138
Title:	PROPOSED SECTIONS

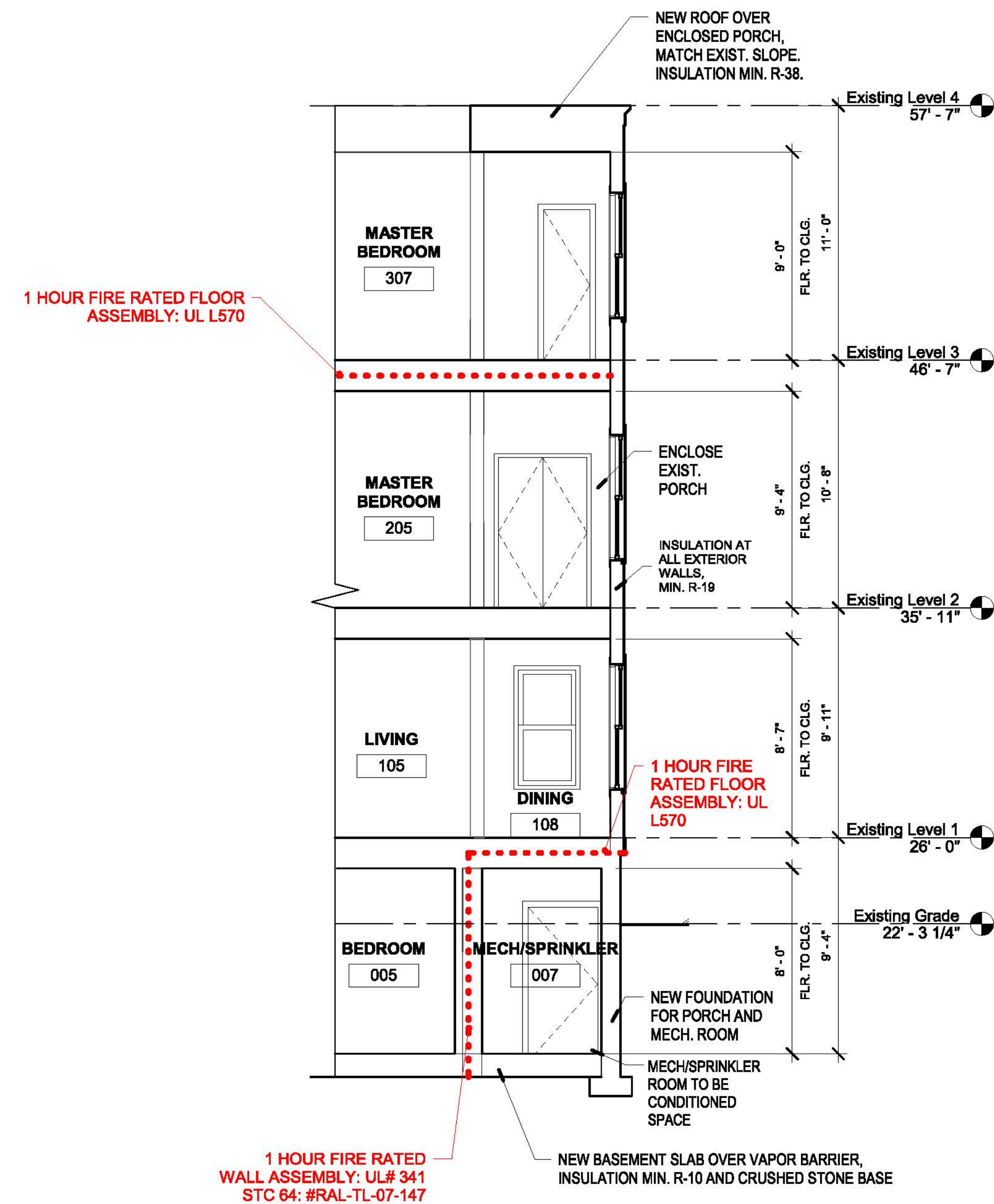
Drawing issued by: ANDERSON PORTER DESIGN	
Project # 2017	Drawn No. <h1>A3.1</h1>
Date 10/22/2020	
Scale 1/4" = 1'-0"	
Drawn by ER/DS/KA	



① **Section 1**
 $1/4" = 1'-0"$



1 Section 2
1/4" = 1'-0"



2 Section Through Rear Porch
1/4" = 1'-0"

PERMIT SET

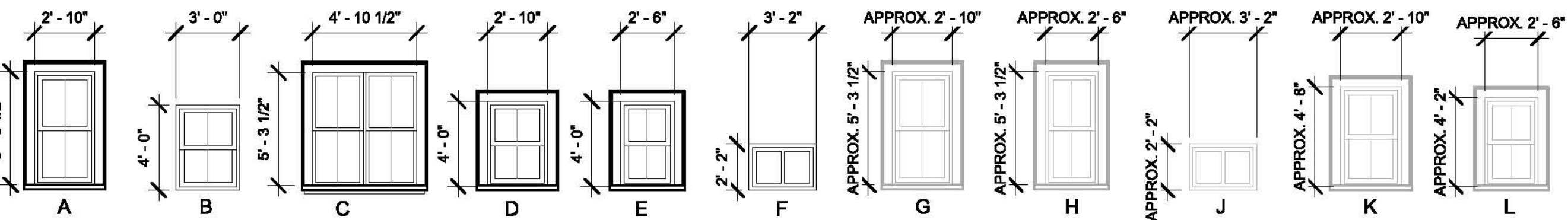
REVISIONS		
No.	Description	Date



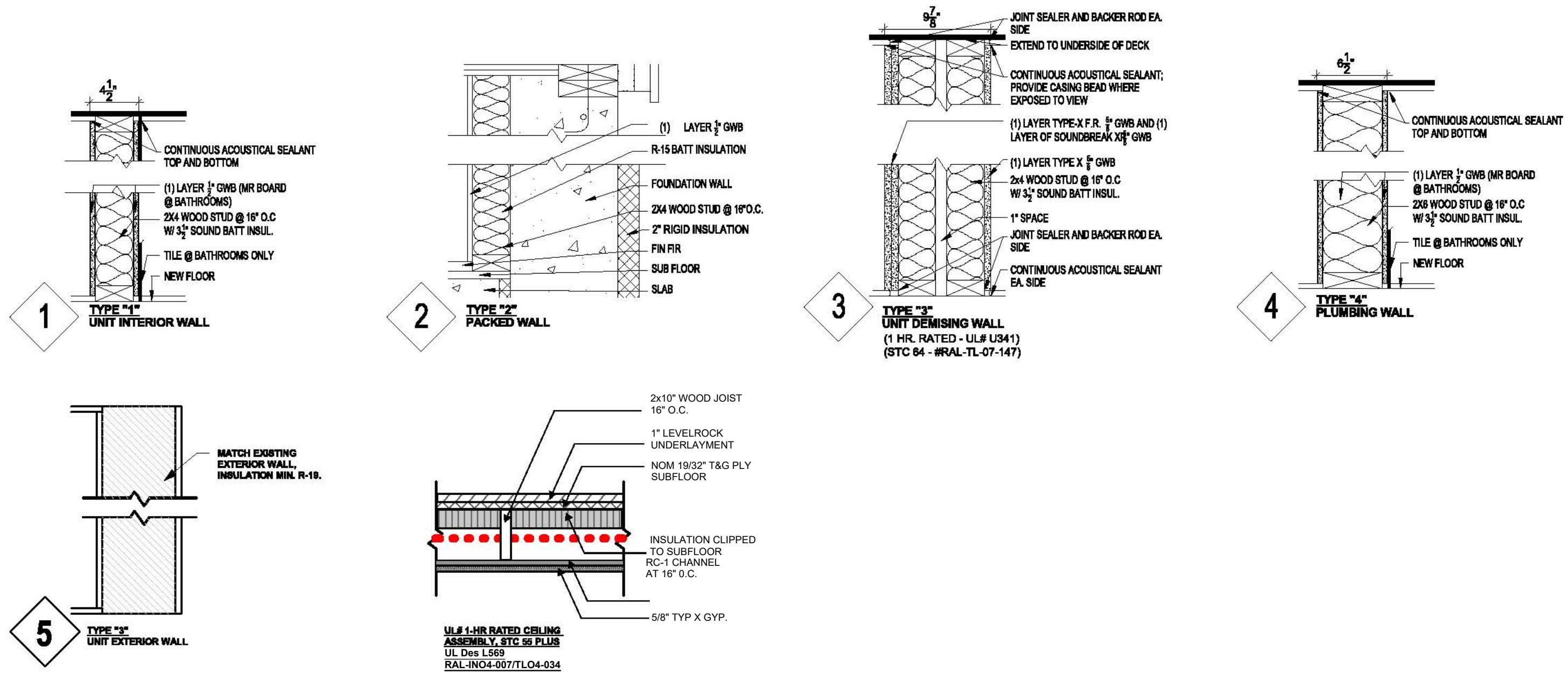
AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project:	8 POPLAR ROAD	
Address:	8 POPLAR ROAD CAMBRIDGE, MA 02138	
Title:	PROPOSED SECTIONS	
Drawing issued by:	ANDERSON PORTER DESIGN	
Project #	2017	Drawn No.
Date	10/22/2020	A3.2
Scale	1/4" = 1'-0"	
Drawn by:	BER/DS/KA	

WINDOW SCHEDULE						
TYPE	NEW/ EXISTING	LOCATION	HEAD HEIGHT	FRAME		REMARKS
				INTERIOR	EXTERIOR	
A	NEW	NEW	VIF	WOOD	CLAD	<ol style="list-style-type: none"> 1. Provide egress windows as code requires. 2. Provide tempered glass as code requires. 3. Assume all window to be Jeld-Wen double hung 2-over-2 light. 4. All simulated divided lite muntin bars to be fixed, 7/8" with low conductance spacer bar typical exterior casings to match existing trim style. 5. GC to verify height, width, and jamb depths in field prior to ordering windows. 6. Price screens (wood framed) as alternate. 7. Manufacturer to provide shop drawings for approval prior to ordering windows. 8. Do not order without architect's written approval. 9.
B	NEW	NEW	VIF	WOOD	CLAD	
C	NEW	NEW	VIF	WOOD	CLAD	
D	NEW	NEW	VIF	WOOD	CLAD	
E	NEW	NEW	VIF	WOOD	CLAD	
F	NEW	NEW	VIF	WOOD	CLAD	
G	NEW	EXISTING	VIF	WOOD	CLAD	
H	NEW	EXISTING	VIF	WOOD	CLAD	
J	NEW	EXISTING	VIF	WOOD	CLAD	
K	NEW	EXISTING	VIF	WOOD	CLAD	
L	NEW	EXISTING	VIF	WOOD	CLAD	

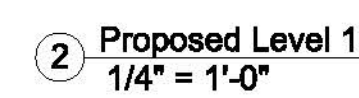
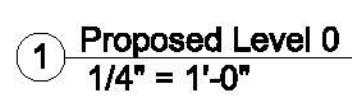


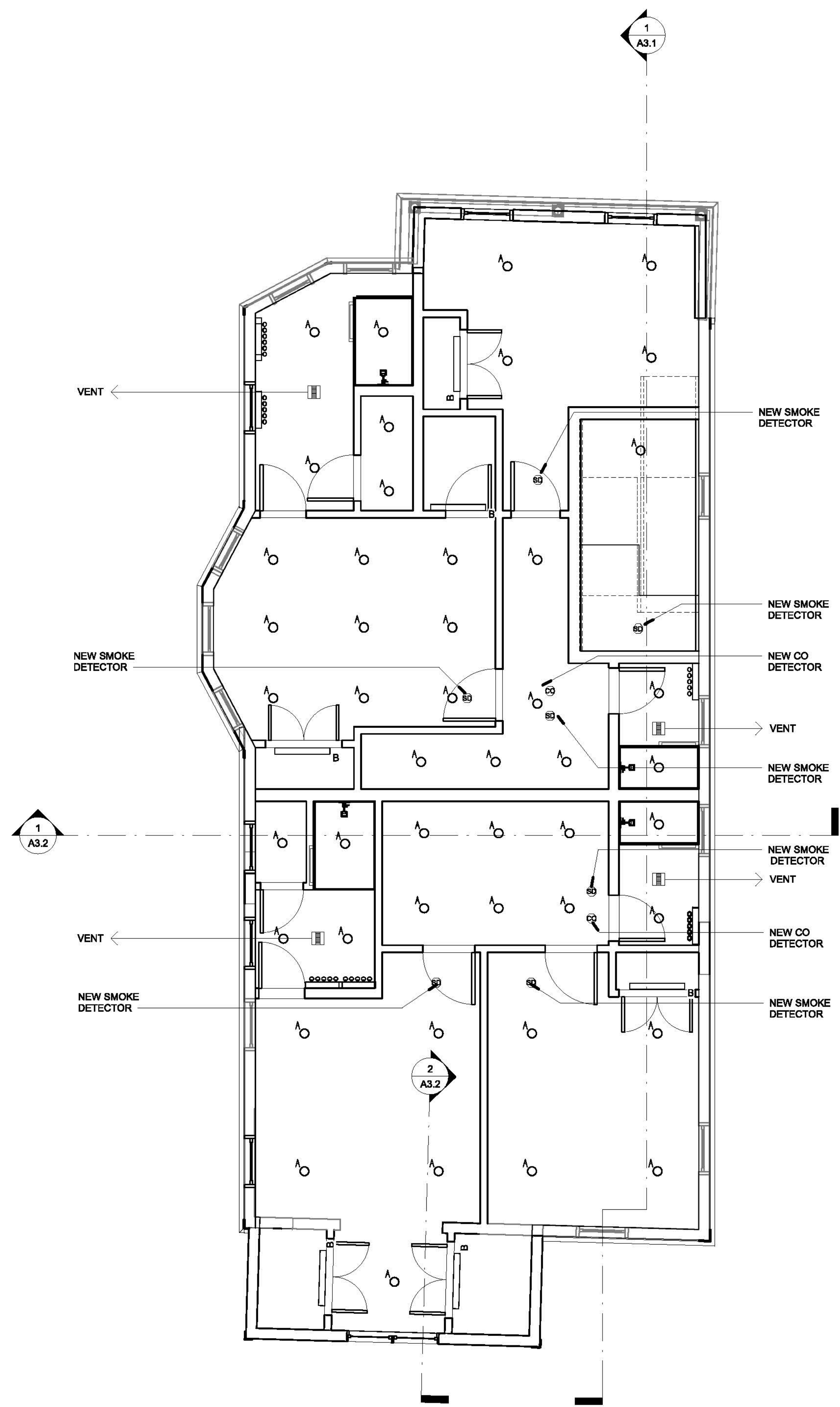
WINDOWS
3/16" = 1'-0"



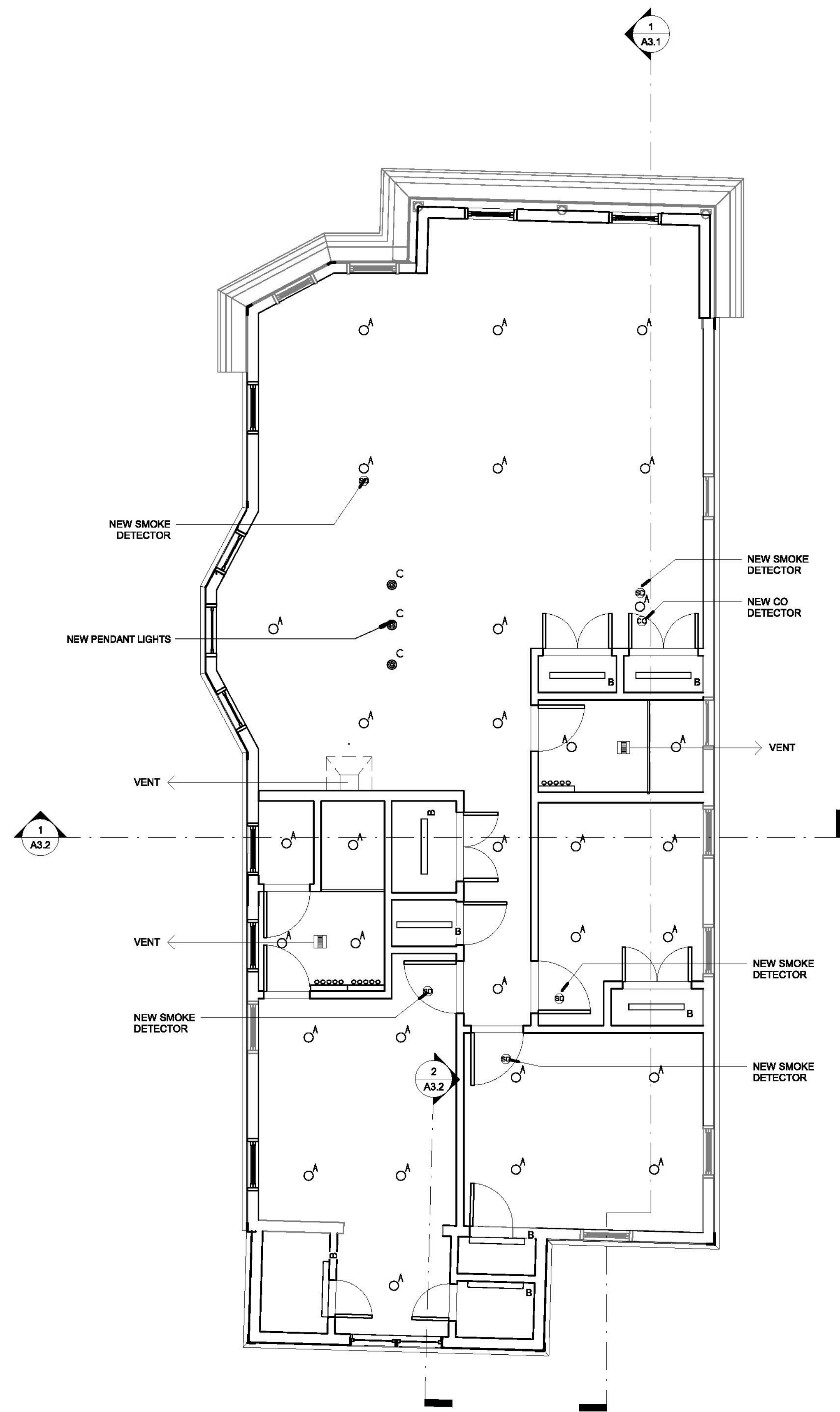
NOSINGS AT TREADS, LANDINGS, AND FLOORS OF STAIRWAYS SHALL HAVE A RADIUS OF CURVATURE AT THE NOSING NOT GREATER THAN 9/16 INCH OR A BEVEL NOT GREATER THAN 1/2 INCH. A NOSING PROJECTION NOT LESS THAN 3/4 INCH AND NOT MORE THAN 1-1/4 INCHES SHALL BE PROVIDED ON STAIRWAYS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH WITHIN A STAIRWAY.

1 TYPICAL STAIR DETAIL
1 1/2" = 1'-0"





1 Proposed Level 2
1/4" = 1'-0"



2 Proposed Level 3
1/4" = 1'-0"

PERMIT SET

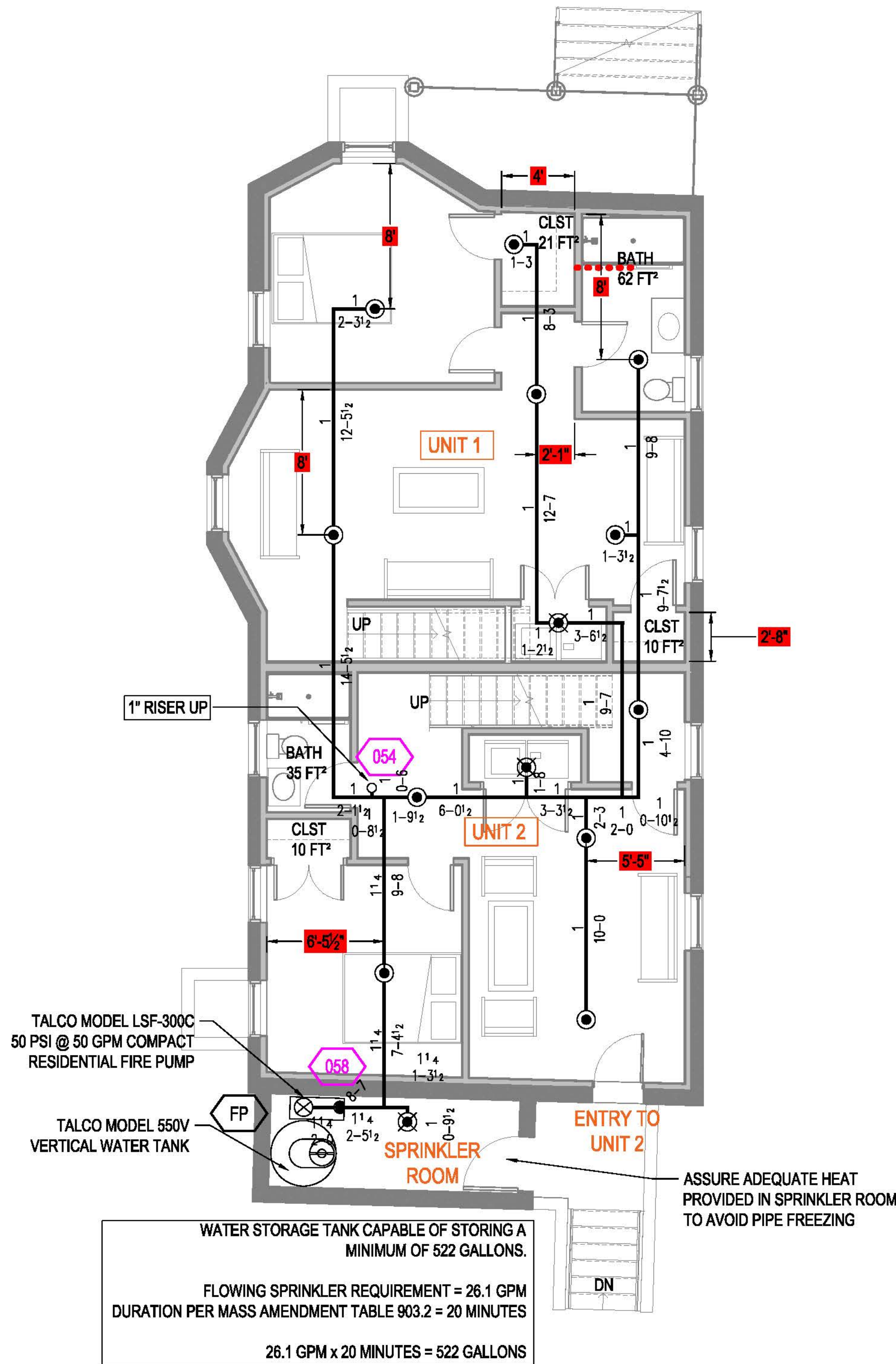
REVISIONS		
No.	Description	Date



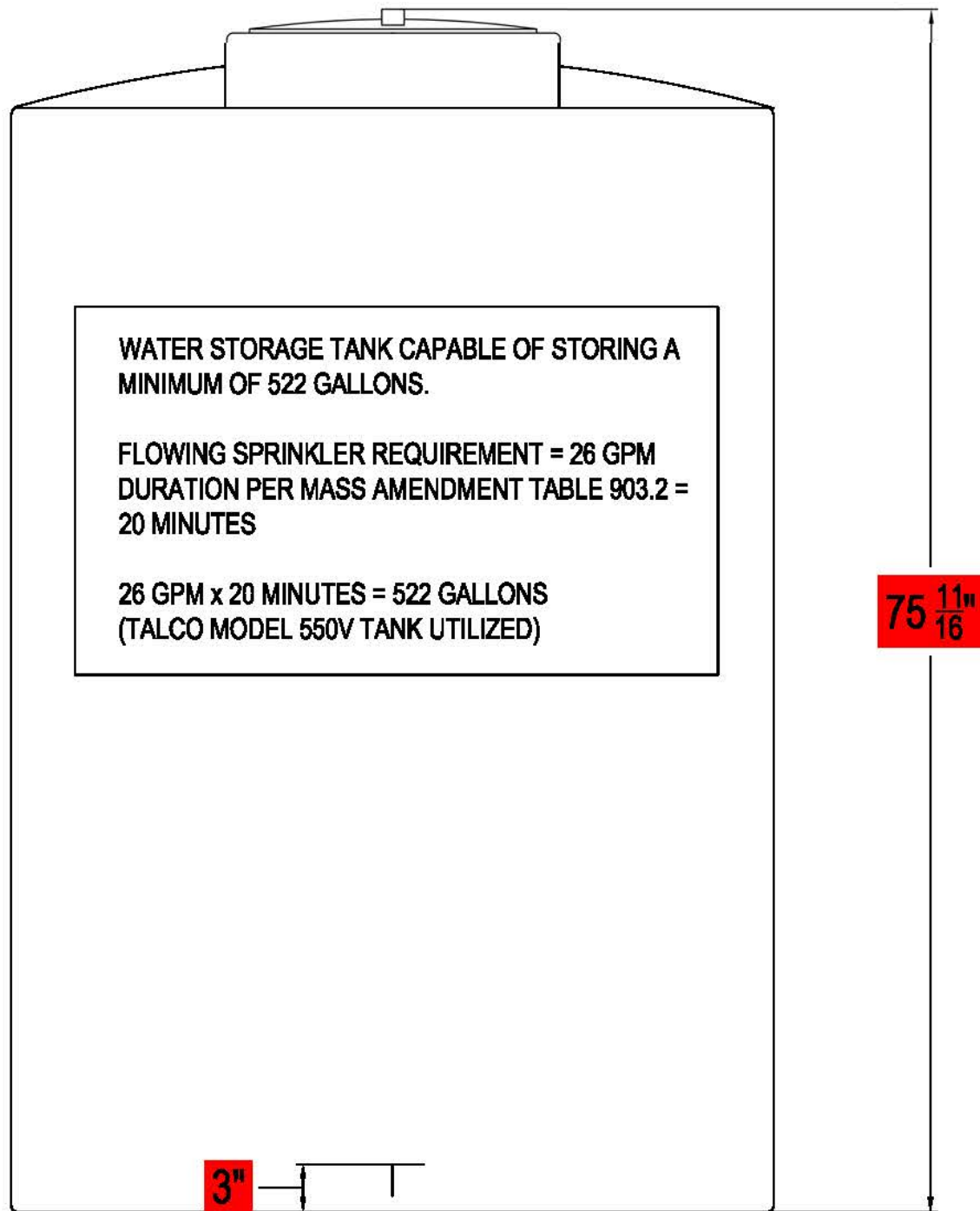
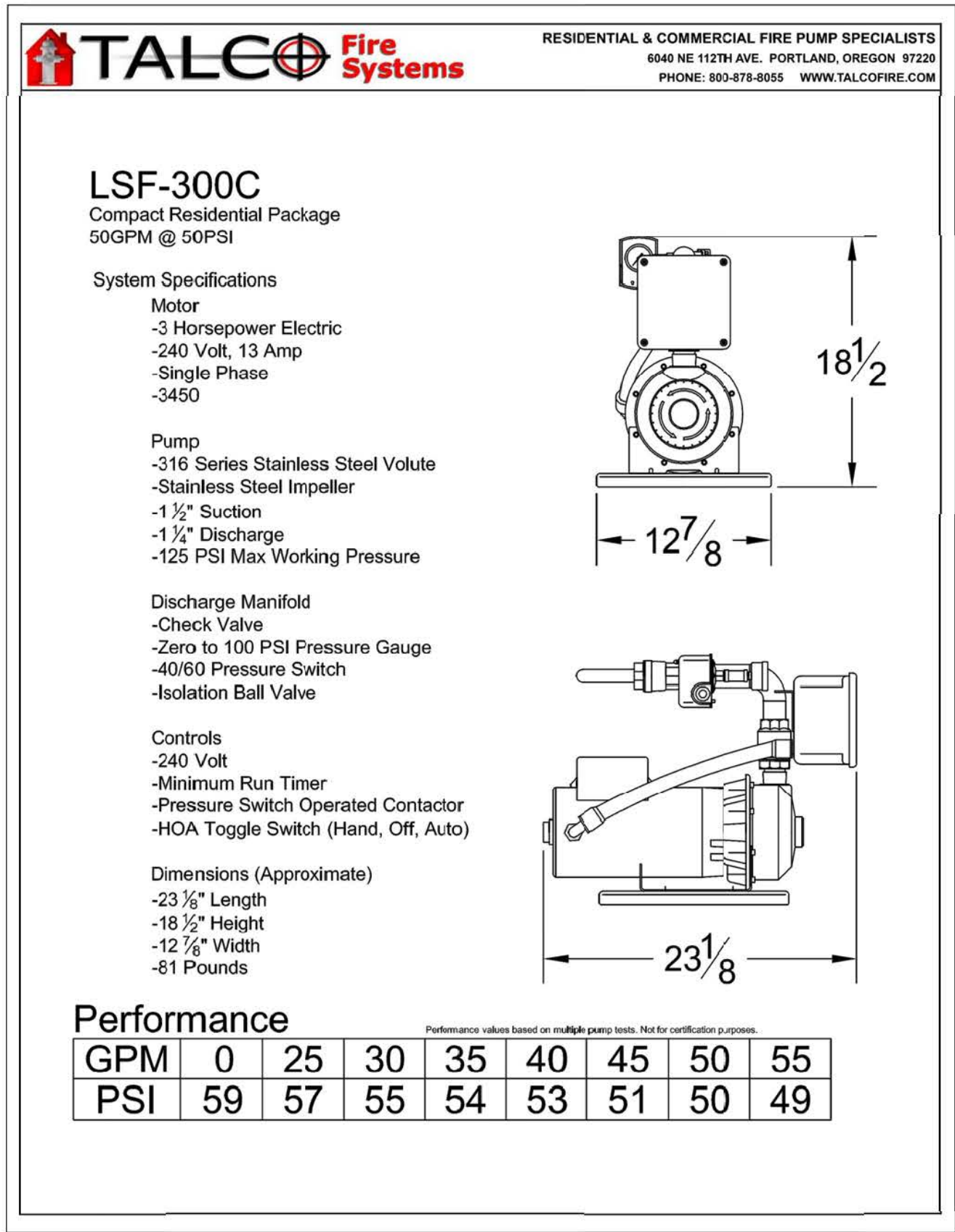
AndersonPorterDesign
875 Main Street, Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: 8 POPLAR ROAD
Address: 8 POPLAR ROAD
CAMBRIDGE, MA 02138
Title: REFLECTED CLG. PLANS

Drawing issued by: ANDERSON PORTER DESIGN	
Project # 2017	Drawn No.
Date 10/22/2020	A8.2
Scale 1/4" = 1'-0"	
Drawn by Author	



BASEMENT FLOOR PLAN - 1/4" = 1'-0"
AREA = 1,218 S.F. +/-



WATER STORAGE TANK DETAIL
NOT TO SCALE

Calculation results for Design Area 1 - 3rd Flr - Unit 3	
This system as shown on _____	company print no _____ dated _____
for 8 Poplar Road _____ at 8 Poplar Road _____	
contract no _____	is designed to discharge at a rate of 0.05 _____ gpm/ft ² (L/min/m ²) of floor area over a maximum area of 286 ft ² when supplied with water at a rate of 26.1 gpm at 33.8 psi at the base of the riser.
Hose stream allowance of _____	is included in the above.
Occupancy classification: Residential	Number of heads flowing: 2
Commodity classification: _____	System Type: Wet
Maximum storage height: _____	Maximum velocity: 8.79 ft/s
Storage arrangement: _____	
Flow from In-Rack sprinklers: 0 gpm	Pressure Required at Source: 33.8 psi
Flow from Overhead sprinklers: 26.1 gpm	Pressure Available at Source: 56.3 psi
Flow from Inside Hoses: 0 gpm	Surplus Pressure at Source: 22.5 psi
Flow from Outside Hoses: 0 gpm	
Other fixed flows: 0 gpm	
Total flow in system piping: 26.1 gpm	
Additional flow at/beyond source: 0 gpm	
Total of all flows: 26.1 gpm	

GENERAL NOTES:

8 POPLAR ROAD IS AN EXISTING WOOD STRUCTURE MULTI-FAMILY HOME CONTAINING 3 SEPARATE LIVING AREAS. IT IS CLASSIFIED AS AN R-3 DWELLING / TYPE V CONSTRUCTION AND IS APPROXIMATELY 40'-0" (3 STORIES) IN HEIGHT FROM GRADE PLUS 1 LEVEL BELOW GRADE. TOTAL AREA OF LIVABLE SPACE EQUALS 5,343 SQ. FT.

THE DRAWING BACKGROUND, INCLUDING WALL AND DOOR LOCATIONS HAVE BEEN PROVIDED BY OTHERS. ACCURACY OF WALL LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR WITH REGARDS TO PIPE ROUTING AND PROXIMITY TO OBSTRUCTIONS.

ALL MATERIALS USED ARE TO BE UL LISTED AND COMPLY WITH NFPA 13D (2013 EDITION) AND THE MASSACHUSETTS STATE BUILDING CODE (9TH EDITION).

SPRINKLER SYSTEM INSTALLATION IS TO CONFORM TO NFPA 13D (2013 EDITION). DESIGN AREA 1 IS HYDRAULICALLY CALCULATED AT A .25 DENSITY FLOWING 2 RESIDENTIAL SPRINKLERS. THE SYSTEM IS SUPPLIED BY A TALCO MODEL 550V VERTICAL WATER TANK AND A 50 PSI @ 50 GPM TALCO LSF-300C FIRE PUMP.

OWNER IS REQUIRED TO PROVIDE HEAT THROUGHOUT THE ENTIRE BUILDING TO MAINTAIN MINIMUM TEMPERATURE OF 40°F FOR ALL AREAS PROTECTED WITH A WET PIPE SPRINKLER SYSTEM. ALL THIRD FLOOR SPRINKLER PIPING IS TO BE INSTALLED BENEATH ROOF / ATTIC INSULATION. THE SYSTEM IS TO BE MAINTAINED BY THE OWNER AS REQUIRED BY NFPA-25.

ALL PIPING IS BLAZEMASTER CPVC WITH CPVC FITTINGS. CPVC PIPING IS TO BE SUPPORTED PER BLAZEMASTER AND NFPA GUIDELINES FOR PLASTIC PIPING. PIPING CONNECTING TO FIRE PUMP SHALL BE BLACK STEEL SCHEDULE 40.

ALL PENDENT SPRINKLER HEADS WILL BE LOCATED AS REQUIRED BY NFPA13D STANDARDS TO ASSURE PROPER CLEARANCES FROM SURFACE-MOUNTED OBSTRUCTIONS.

LOCATION OF ANY HIGH TEMPERATURE SPRINKLERS TO BE DETERMINED IN THE FIELD.

PIPING IS TO BE SUPPORTED AS REQUIRED BY NFPA-13D. HANGERS ARE TO BE FIELD LOCATED TO BEST SUPPORT THE PIPE.

ALL PIPING WILL BE HYDROSTATICALLY TESTED AT 200 PSI FOR 2 HOURS.

PIPING ELEVATIONS SHOWN ARE MEASURED FROM THE BASEMENT FLOOR FOR HYDRAULIC CALCULATION PURPOSES.

STRUCTURAL LOAD BEARING ANALYSIS IS NOT INCLUDED WITHIN THE SCOPE OF THE SPRINKLER INSTALLATION.

ELECTRICAL OR ALARM WIRING OF DEVICES PROVIDED UNDER THE SPRINKLER SCOPE IS TO BE DONE BY OTHERS IN ACCORDANCE WITH NFPA72 - LATEST EDITION.

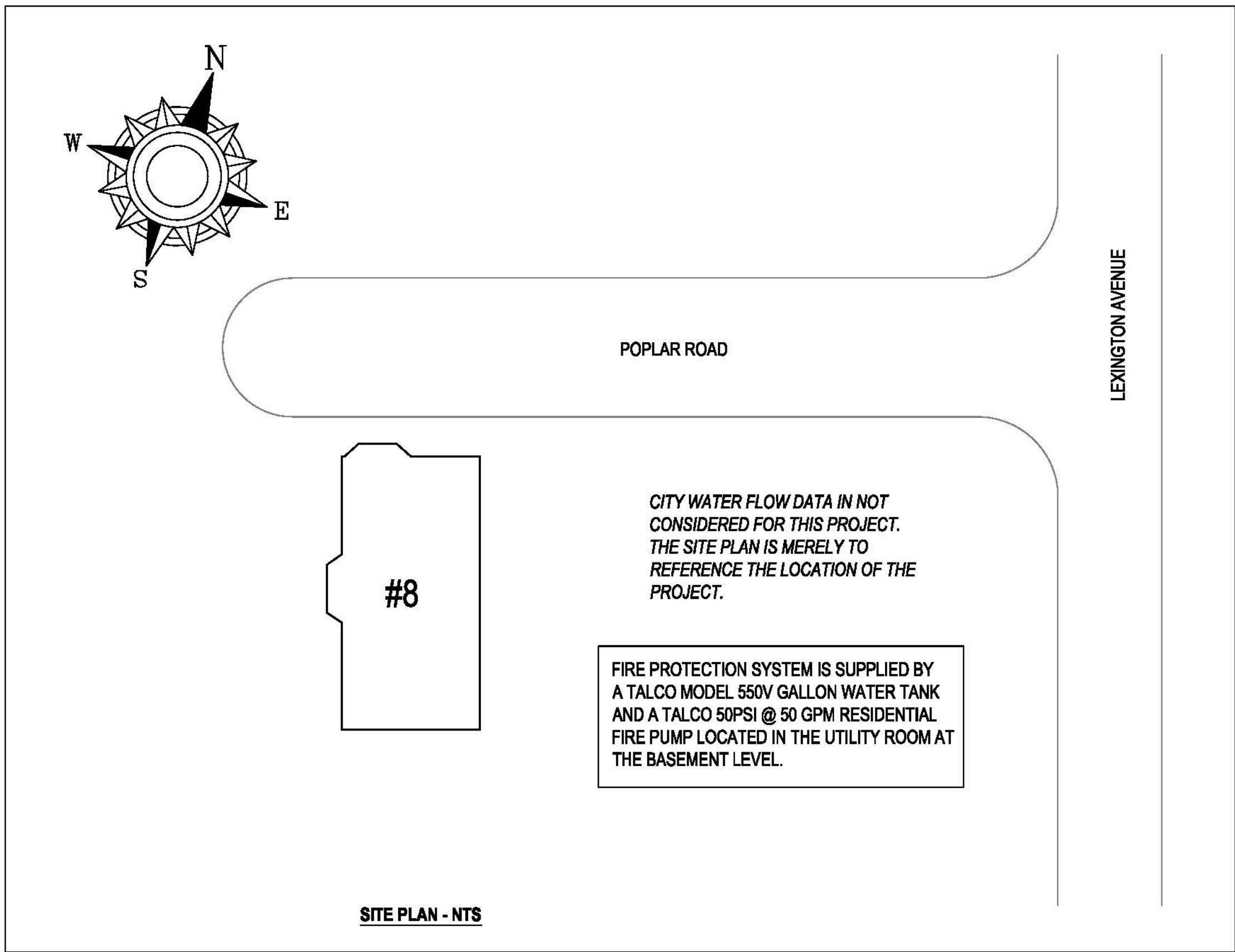
SPRINKLERS ARE NOT REQUIRED IN THE FOLLOWING AREAS AS OUTLINED IN NFPA13D, 2013 EDITION AS LONG AS THE WALLS AND CEILINGS ARE SURFACED WITH NONCOMBUSTIBLE OR LIMITED COMBUSTIBLE MATERIALS AS DEFINED BY NFPA 222 - STANDARD ON TYPES OF BUILDING CONSTRUCTION:

- BATHROOMS NOT EXCEEDING 55 SQUARE FEET (PER SECTION 8.3.2)
- CLOTHES CLOSETS, LINEN CLOSETS AND PANTRIES NOT EXCEEDING 24 SQUARE FEET OR THE LEAST DIMENSION NOT EXCEEDING 3'-0" (PER SECTION 8.3.3)
- SPRINKLERS SHALL BE INSTALLED IN ANY CLOSET USED FOR HEATING AND AIR-CONDITIONING EQUIPMENT. (PER SECTION 8.3.3)
- SPRINKLERS SHALL NOT BE REQUIRED IN ANY PORCHES, BALCONIES, CORRIDORS, AND STAIRS THAT ARE OPEN AND ATTACHED. (PER SECTION 8.3.4)
- SPRINKLERS SHALL NOT BE REQUIRED IN ATTICS, PENTHOUSE, EQUIPMENT ROOMS, CRAWL SPACES, FLOOR/CEILING SPACES, ELEVATOR SHAFTS AND OTHER AREAS NOT INTENDED FOR LIVING PURPOSES OR STORAGE (PER SECTION 8.3.5)
- SPRINKLERS SHALL NOT BE REQUIRED IN CLOSETS ON EXTERIOR BALCONIES, REGARDLESS OF SIZE, AS LONG AS THERE ARE NO DOORS OR UNPROTECTED PENETRATIONS FROM THE CLOSET DIRECTLY INTO THE DWELLING UNIT. (PER SECTION 8.3.6)

SPRINKLER HEAD LEGEND:

SYM	CNT	NAME	RESPONSE	METAL	TEMP	K	NPT	SIN #	MFG.	MODEL#	ESCU
⊙	49	RES. PENDENT	Q.R.	WHITE	160	4.90	1/2"	TY3596	TYCO	LFII	CONCEALED
⊗	4	PENDENT	Q.R.	CHROME	200	5.60	1/2"	TY3231	TYCO	LFII	RECESSED

TYCO RESIDENTIAL PENDENTS: 16' x 16' COVERAGE (NO MORE THAN 8'-0" FROM A WALL)
WATER REQUIREMENTS: 13 GPM @ 7.0 PSI PER SPRINKLER

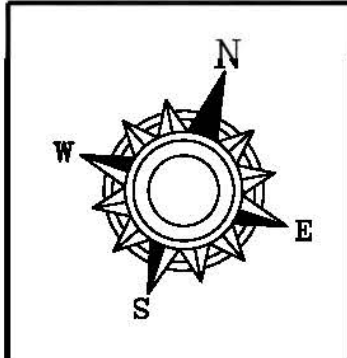
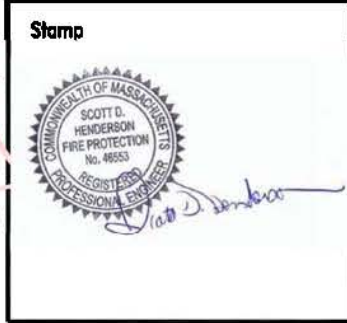


RESIDENTIAL NOTES:

AS PER NFPA 13D TABLE 7.5.6.3 MINIMUM DISTANCES FOR ORDINARY AND INTERMEDIATE TEMPERATURE RESIDENTIAL SPRINKLERS:

HEAT SOURCE	MINIMUM DISTANCE FROM EDGE OF SOURCE TO ORDINARY-TEMP SPRINKLER
SIDE OF OPEN OR RECESSED FIREPLACE	36"
FRONT OF RECESSED FIREPLACE	60"
COAL OR WOOD BURNING STOVE	42"
SIDE OF CEILING OR WALL MOUNTED HOT AIR DIFFUSERS	24"
HOT WATER HEATER OR FURNACE	6"
LIGHT FIXTURE 0 W - 250 W 250 W - 498 W	6" 12"
KITCHEN RANGE / WALL OVEN HOT AIR FLUES	18"
UNINSULATED HEAT DUCTS	18"
UNINSULATED HOT WATER PIPES	12"

Digitally signed by
Scott Henderson
Date: 2020.10.17
18:47:13 -04'00



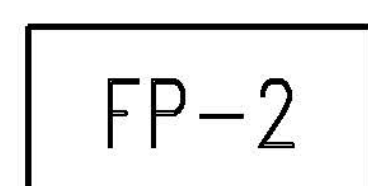
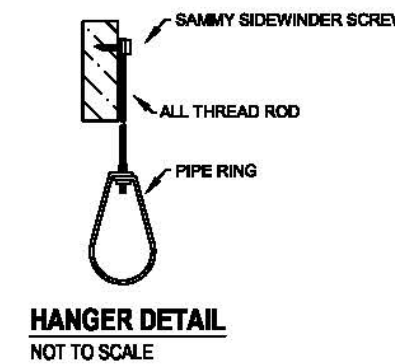
Drawing Date: 10-13-20
Drawn By: JC
Scale: AS NOTED

FIRE TECH
SYSTEMS
136 GOLDEN RD
STOUGHTON, MA 02072
(p) 617-892-2803
LICENSE # SC-006837
EXP: 02-23-22

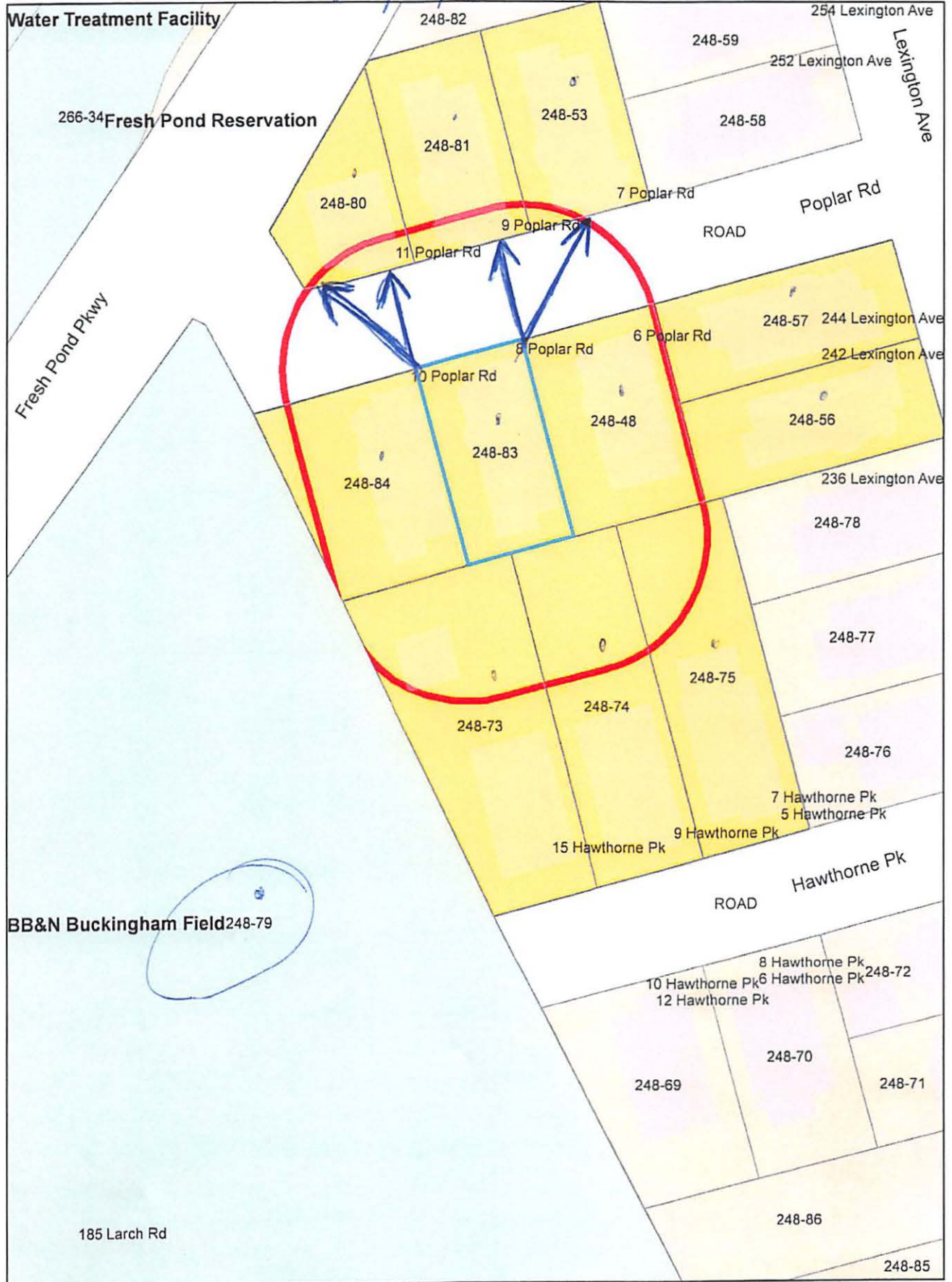
Project Name and Address
8 POPLAR ROAD
CAMBRIDGE, MA 02138

Sheet Title
FIRE SPRINKLER
BASEMENT PLAN
NOTES & DETAILS

FP-1



8 Poplar Rd.



8 Poplar Rd.

Petitioner

248-53
SANDS, GEORGE WALKER JR. &
DARLENE P. SANDS
7 POPLAR RD
CAMBRIDGE, MA 02138

248-56
BADIE, NICOLE
242 LEXINGTON AVE., #3
CAMBRIDGE, MA 02138

ANDERSON PORTER DESIGN
C/O DANIEL P. ANDERSON
875 MAIN STREET
CAMBRIDGE, MA 02139

248-73
DENNEY, EDWARD B. & JENNIFER MILES
15 HAWTHORNE PK
CAMBRIDGE, MA 02138

248-75
RUSSELL, SHEILA T. &
EILEEN M. STRUZZIERY, TRUSTEES
5 HAWTHORNE PK
CAMBRIDGE, MA 02138

248-80
ROCHOW, JENNIFER J.
13 POPLAR ROAD
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248-81
PAQUETTE, MARY ELLEN
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248-57
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248-56
ST. JOHN, KATHLEEN M.
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248-81
BUGBEE, PATRICK J. & ELIZABETH E. UTZ
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248-84
BACHMAN, RONALD CLAYTON
10 POPLAR RD., #1
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248-84
PERROTTI, JEFFREY
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248-48
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248-57
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NISHA G. SMOLENSKI
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248-79
BUCKINGHAM BROWNE AND NICHOLS SCHOOL
80 GERRYS LANDING ROAD
CAMBRIDGE, MA 02138

248-81
ARTHUR, JOSEPH F. & MANJUSHA GOKHALE
9 POPLAR ROAD, #2
CAMBRIDGE, MA 02138

248-84
BAER, STEPHEN C. & CHRISTINE BAER
10 POPLAR RD., #3
CAMBRIDGE, MA 02138

248-74
JOSLIN, RICHARD S.,
TR. THE RICHARD S. JOSLIN REV LIV TRUST
9-11 HAWTHORNE PK., #1
CAMBRIDGE, MA 02138

248-74
LUDEN, ERIC & JEANNE SYBYLLA SMITH
9-11 HAWTHORNE PK., #2
CAMBRIDGE, MA 02138

248-56
MCHUGH, GERARD P. & ANNETTE KLEIN
242 LEXINGTON AVE UNIT 2
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248-83
8 POPLAR ROAD LLC
271 LINCOLN ST - STE 10
LEXINGTON, MA 02421

248-83
8 POPLAR RD. LLC
C/O DND HOMES
1 GARFIELD CIRCLE – UNIT 6
BURLINGTON, MA 01803