



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139 2023 JUN 28 PM 2:48

617-349-6100

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 227724

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

PETITIONER: 68 Pearson Somerville, LLC C/O James J. Rafferty

PETITIONER'S ADDRESS: 907 Massachusetts Avenue, Cambridge, MA 02139

LOCATION OF PROPERTY: 91 Clifton St, Cambridge, MA

TYPE OF OCCUPANCY: three family

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

DESCRIPTION OF PETITIONER'S PROPOSAL:

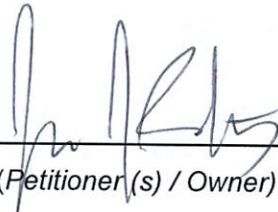
Petitioner seeks to permit the installation of windows on nonconforming walls.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 8.000 Section: 8.22.2.c (Non-Conforming Structure).

Article: 10.000 Section: 10.40 (Special Permit).

Original
Signature(s):


(Petitioner(s) / Owner)

James J. Rafferty, Attorney for Petitioner
(Print Name)

Address: 907 Massachusetts Avenue, Suite 300 Cambridge, MA 02139
Tel. No. 617.492.4100
E-Mail Address: jrafferty@adamsrafferty.com

Date: June 27, 2023

BZA Application Form

DIMENSIONAL INFORMATION

OWNERSHIP INFORMATION FOR BOARD OF ZONING APPEAL RECORD

To be completed by OWNER, signed and returned to Secretary of Board of Appeal

68 Pearson Somerville LLC / James Ferraro
(Owner or Petitioner)

Address: c/o James J. Rafferty 907 Massachusetts Avenue, Cambridge MA 02139

Location of Premises: 89-91 Clifton Street

the record title standing in the name of 68 Pearson Somerville, LLC

whose address is 161 Third Street, Cambridge MA 02141
(Street) (City or Town) (State & Zip Code)

by a deed duly recorded in the Middlesex South County Registry of Deeds in

Book 80237 Page 432 or _____ Registry

District of Land Court Certificate No. _____ Book _____ Page _____

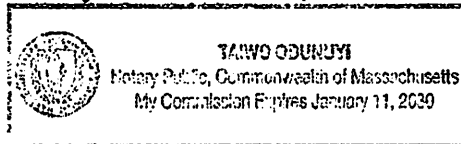
James Ferraro
(Owner) 68 Pearson Somerville LLC
James Ferraro, manager

=====

On this 9th day of June, 2023, before me, the undersigned notary public, personally appeared James Ferraro proved to me through satisfactory evidence of identification, which were MASS. driver's license, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.

Taiwo Odunji
Notary Public

My commission expires:



BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 91 Clifton St., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

Article 8.22.2(c) permits the creation of windows on non-conforming walls when, as in this case, there are no further violations of the dimensional requirements of Article 5.000.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

There will not be any change in traffic patterns as a result of adding windows.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

Adjacent uses will not be affected since the use of the property as a three family dwelling will not be changed.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

Adding windows will benefit the health, safety, and welfare of the occupants of this dwelling.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The proposed windows will not change the use of the property and are consistent with the residential uses in the district.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

Applicant: 68 Pearson Somerville, LLC
Location: 91 Clifton St., Cambridge, MA
Phone: 617.492.4100

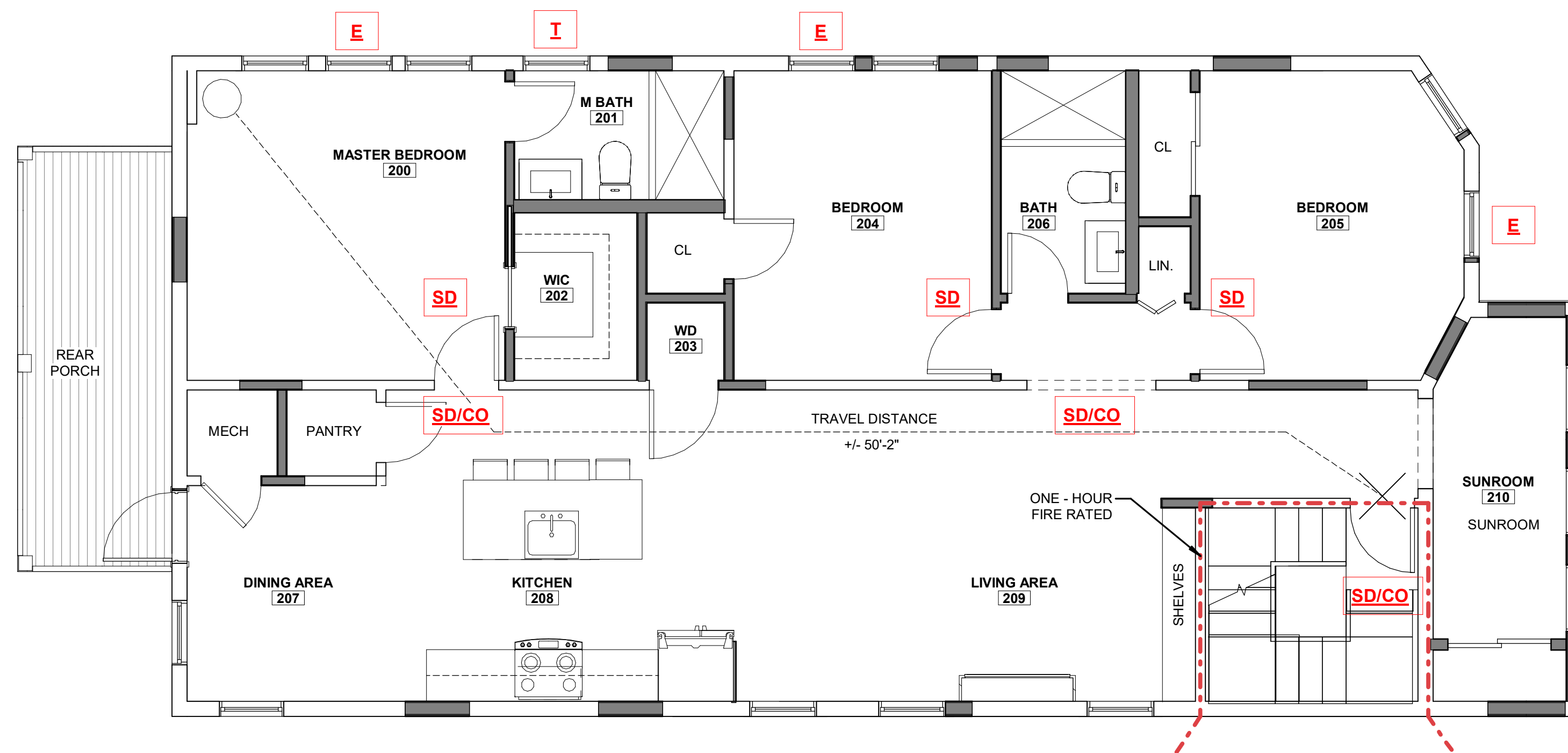
Present Use/Occupancy: three family
Zone: Residence B Zone
Requested Use/Occupancy: three family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		3948	no change	2850	(max.)
<u>LOT AREA:</u>		5999	no change	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		.65	no change	.5/.35	
<u>LOT AREA OF EACH DWELLING UNIT</u>		1999	no change	2500/3500	
<u>SIZE OF LOT:</u>	<u>WIDTH</u>	50	no change	50	
	<u>DEPTH</u>	120	no change	N/A	
<u>SETBACKS IN FEET:</u>	<u>FRONT</u>	+/- 5	no change	15	
	<u>REAR</u>	+/- 15	no change	25	
	<u>LEFT SIDE</u>	+/- 2	no change	7'6" (sum 20)	
	<u>RIGHT SIDE</u>	+/- 15	no change	7'6" (sum 20)	
<u>SIZE OF BUILDING:</u>	<u>HEIGHT</u>	+/- 30	no change	35	
	<u>WIDTH</u>	48	no change	N/A	
	<u>LENGTH</u>	27	no change	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		+/- 40%	no change	40%	
<u>NO. OF DWELLING UNITS:</u>		3	no change	2	
<u>NO. OF PARKING SPACES:</u>		3	no change	0	
<u>NO. OF LOADING AREAS:</u>		N/A	no change	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	no change	N/A	

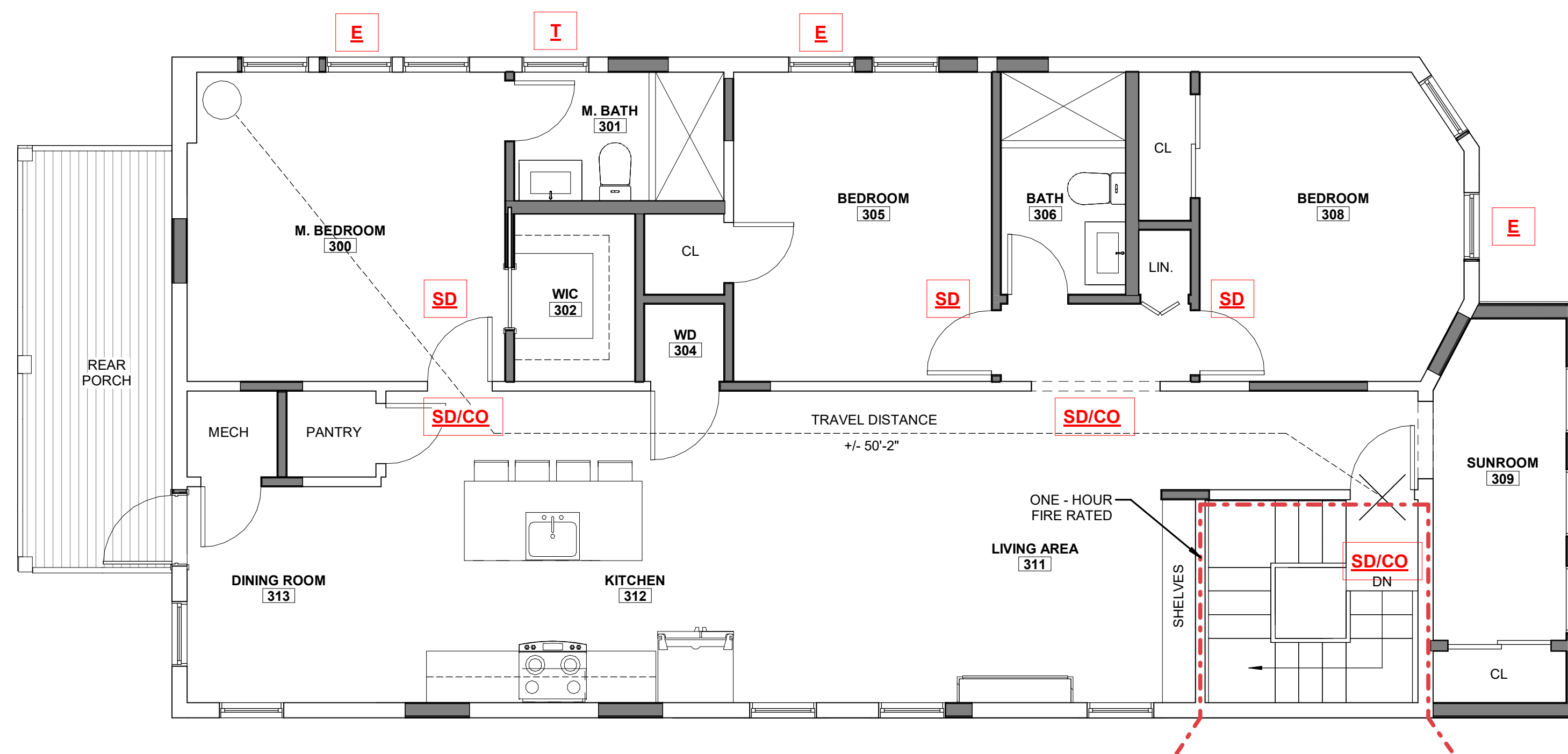
Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



1 LIFE SAFETY SECOND FLOOR PLAN
1/4" = 1'-0"



2 LIFE SAFETY THIRD FLOOR PLAN
1/4" = 1'-0"

INTERNATIONAL RESIDENTIAL CODE 2015 W/ MA AMMENDMENTS 780 CMR 51 RESIDENTIAL BUILDING CODE:

Smoke alarms shall be the photoelectric type listed in accordance with UL 217 or UL 268. Combination smoke and carbon monoxide alarms shall be listed in accordance with UL 217 and UL 2034. (R314.1.1). Hardwired and interconnected smoke alarms shall be required in the following locations as per International Residential Code for 1 and 2 Family Dwellings R314.3 with Massachusetts Amendments:

- In each sleeping room
- Outside each separate sleeping area in the immediate vicinity of the bedrooms.
- On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics.
- In dwellings or dwelling units with split level and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- Smoke alarms shall be installed not less than 3 feet horizontally from the door opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by section R314.3
- For each 1,000 sf of area or part thereof.
- Near all stairs

A single heat detector listed for the ambient environment shall be installed in:

- Any garage attached to or under the dwelling (detached garages do not require a heat detector. A new garage attached to an existing dwelling. If the existing house contains a fire detection system that is compatible with the garage heat detector, then the detector shall be interconnected to that system. Where the existing system is not compatible with the garage heat detector, the garage heat detector shall be connected to an alarm or compatible heat detector containing an alarm, located in the dwelling and within 20 ft of the nearest door to the garage from the dwelling. An alarm is not required in the garage, either integral or separate from the heat detector.

R315.53 Carbon monoxide alarms in dwelling units shall be outside of each separate sleeping area within ten feet to the bedrooms. Where a fuel burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom. At least one alarm shall be installed on each story of a dwelling unit, including basements and cellars but not in crawl spaces and uninhabitable attics.

LIFE SAFETY LEGEND

	1 HOUR FIRE RATED ASSEMBLY
	EXIT LOCATION
	EXTERIOR EXIT DOOR
	LENGTH OF TRAVEL - EGRESS
	SMOKE DETECTOR
	SMOKE DETECTOR & CARBON MONOXIDE COMBO
	EGRESS WINDOW AT LEAST ONE SHALL COMPLY @ EACH BEDROOM IF NOT ALL
	TEMPERED GLASS LOCATION AS PE CODE

PROJECT SPECIFIC NOTES

- (A) 1 HOUR RATED SEPARATION PER IBC 2015 TABLE 508.2.5

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89-91 CLIFTON ST. HOME RENO

89 CLIFTON ST,
CAMBRIDGE, MA 02140

NELSON GROUP

ARCHITECT:



ARCHITECTURE ■ SALEM, MA 01970
RESIDENTIAL DESIGN 30 GROVE ST. SUITE 225 SALEM, MA 01970
PLANNING TEL: 978.498.4370
INTERIOR DESIGN TEL: 978.818.5109
CEL: 978.818.5109
CEL: 774.317.0491

CONTRACTOR/OWNER:



MEDFORD, MA 02155
264 SALEM ST.
MEDFORD, MA 02155
TEL: 617.300.0188

CONSULTANT:

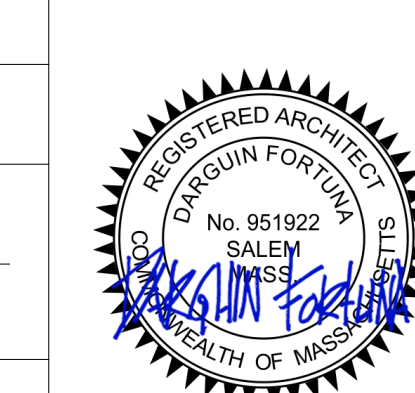
REVISION:

NO:	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

DRAWING TITLE:
LIFE SAFETY PLAN

DRAWN BY: JG
CHECKED BY: DF
SCALE: As indicated
DATE: 05.20.2022
PROJECT NO.: 22129

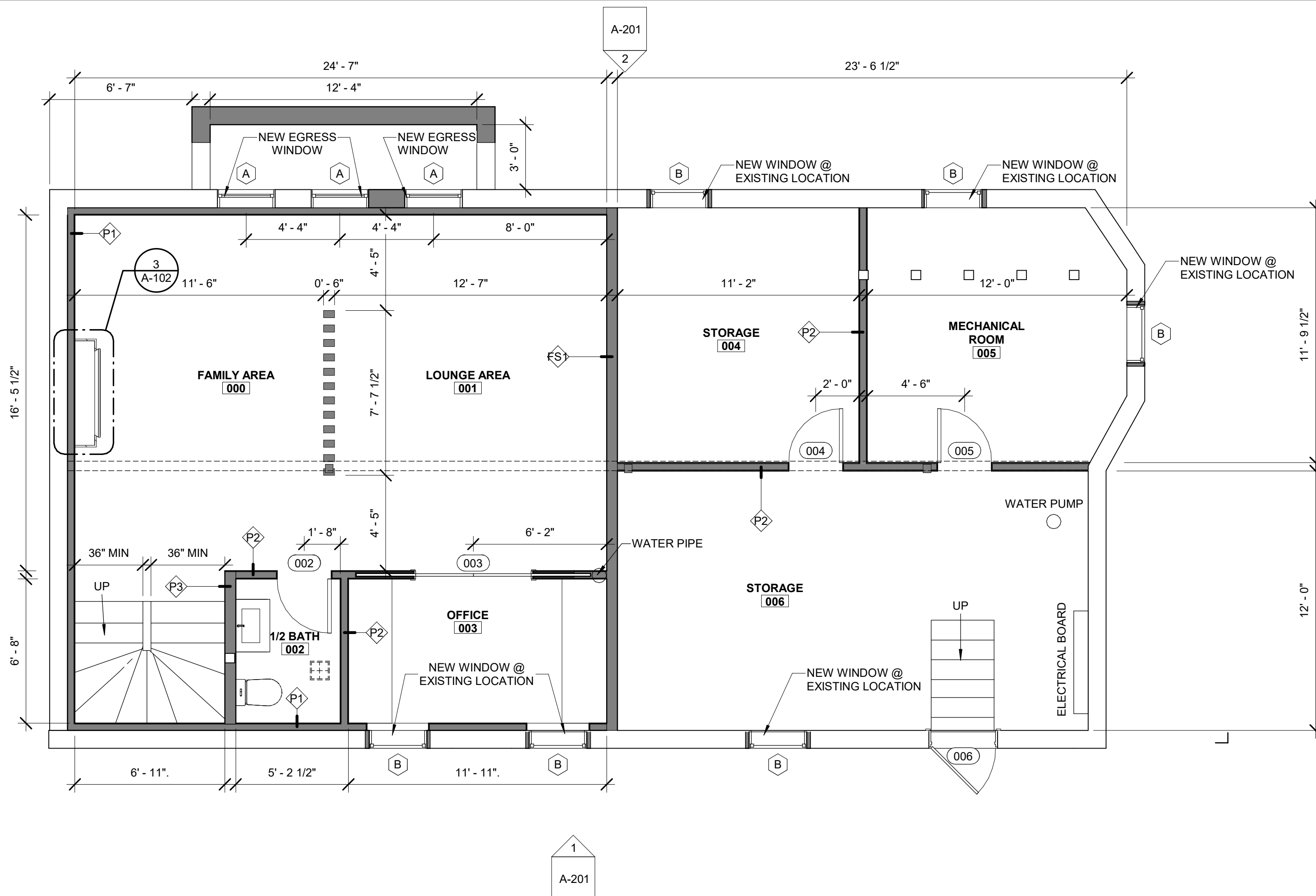
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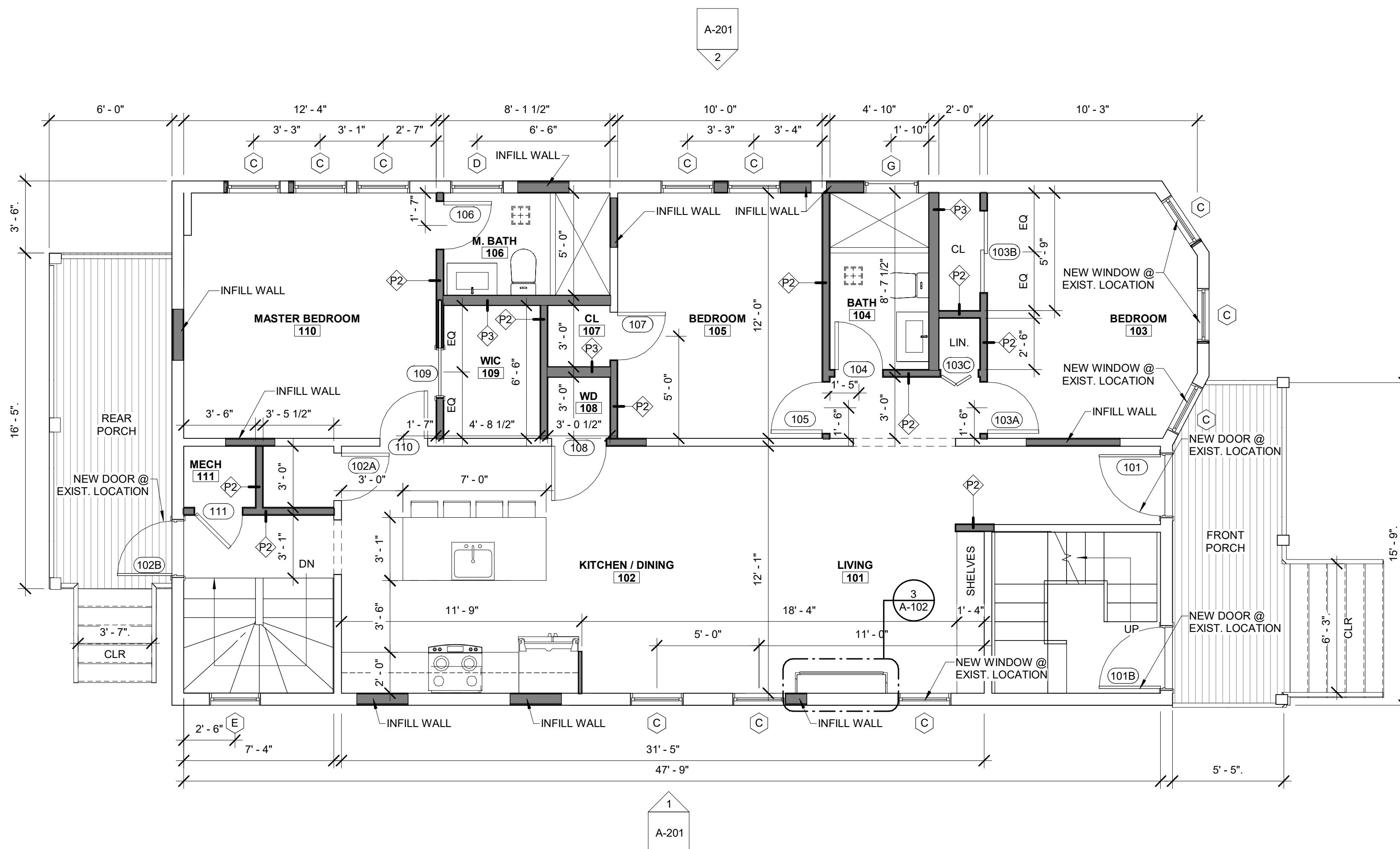
DRAWING NO.:

LS-01

PROJECT LOCATION:
Y:\Flow\Projects\Architecture\2022\22129 89-91 CLIFTON ST. CAMBRIDGE, MA - 3 FAMILY RENOVATION\Rev\22129 89-91 CLIFTON ST PERMIT SET.rvt



1 PROPOSED BASEMENT FLOOR
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR
1/4" = 1'-0"

EXISTING & NEW WALLS	
	NEW WALL
	EXISTING TO REMAIN

GENERAL CONTRACTOR NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL ADHERE TO ALL APPLICABLE CODES AND REGULATIONS.
- CONTRACTOR SHALL INFORM ARCHITECT OF ANY ERRORS OR DEVIATIONS PRIOR TO CONTINUING WORK.
- CONTRACTOR SHALL COORDINATE WITH EACH SUB-CONTRACTOR AND ENSURE TO MEET ALL CODE AND SAFETY REQUIREMENTS.

GENERAL NOTES:

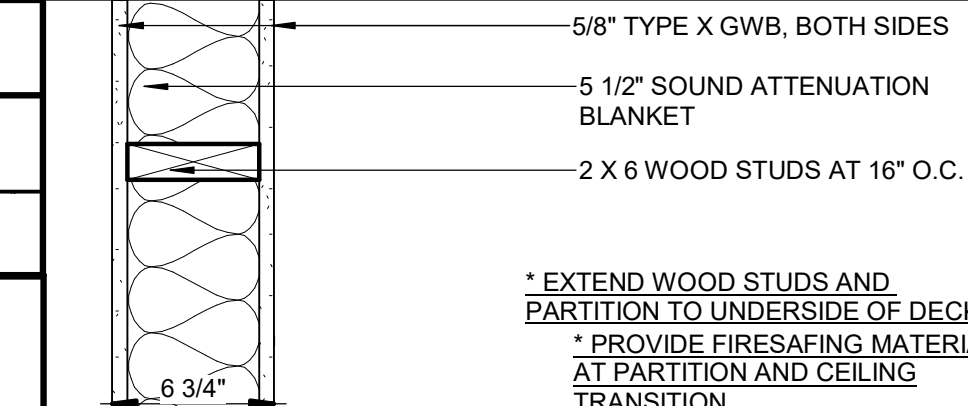
- ALL INTERIOR DIMENSIONS ARE TO INTERIOR FACE OF GWB. U.N.O.
- PROVIDE BLOCKING AT ALL WALLS W/ WALL MOUNTED FIXTURES AND ACCESSORIES. TYP.
- CONFIRM CEILING HEIGHTS IN FIELD.

GENERAL LIGHTING NOTE:

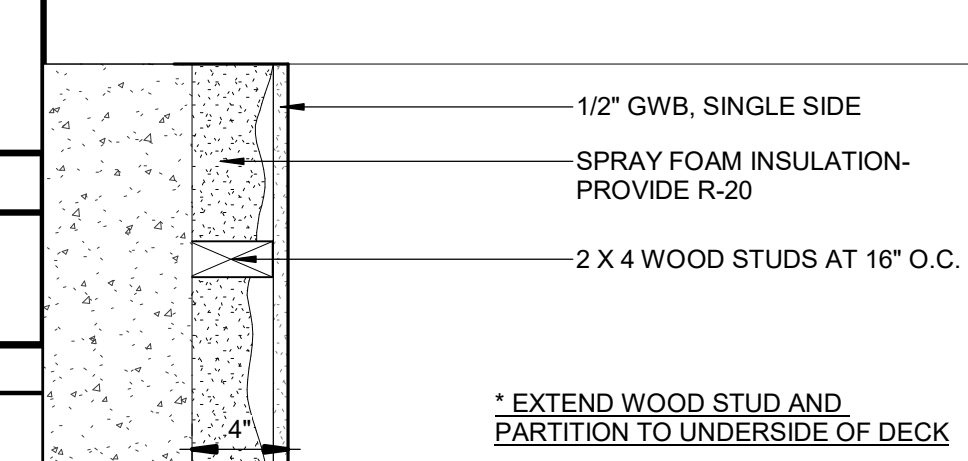
*CONTRACTOR SHALL ENSURE TO MAINTAIN ALL LIGHTING FIXTURE ALIGNMENTS. NOTIFY THE ARCHITECT IF CRITICAL ALIGNMENTS ARE TO CONFLICT WITH OTHER TRADES.

*CONTRACTOR TO COORDINATE ALL NEW HVAC LOCATION (RETURNS AND SUPPLY)

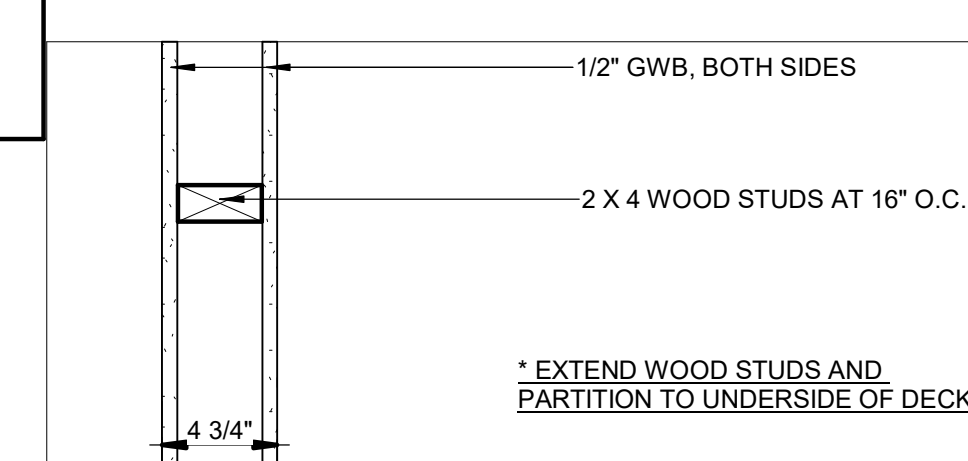
	EXHAUST FAN W/LIGHT
	ALL LIGHTS 2700K



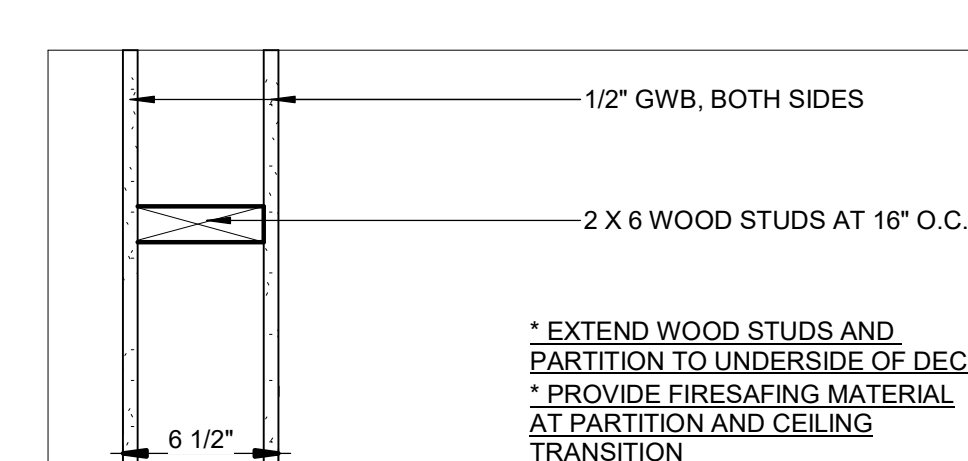
FS1	FIRE SEPARATION 1 HOUR RATED WALL	FIRE RATING 1 HOUR	UL NUMBER U485	TESTING CODES STC: 49 USG: 87.0717
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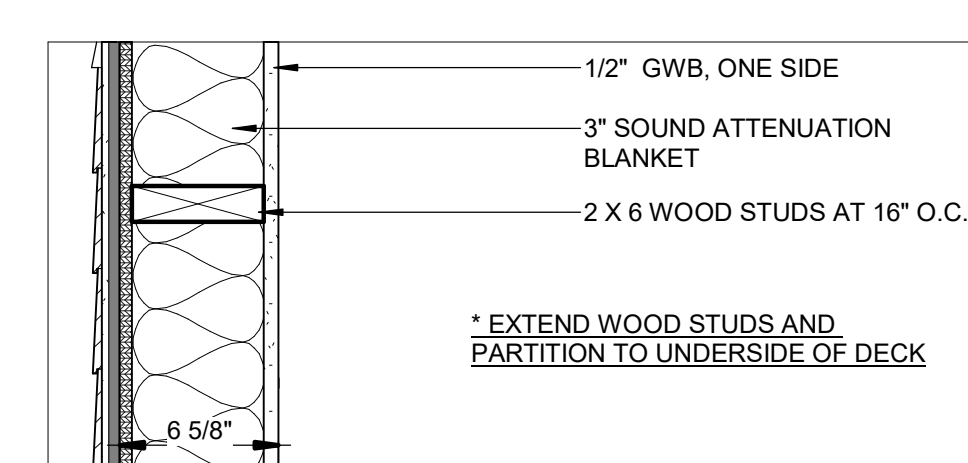
P1	NEW PARTITION WALL TO UNDERSIDE OF DECK	FIRE RATING NA	UL NUMBER NA	TESTING CODES STC: NA USG: NA
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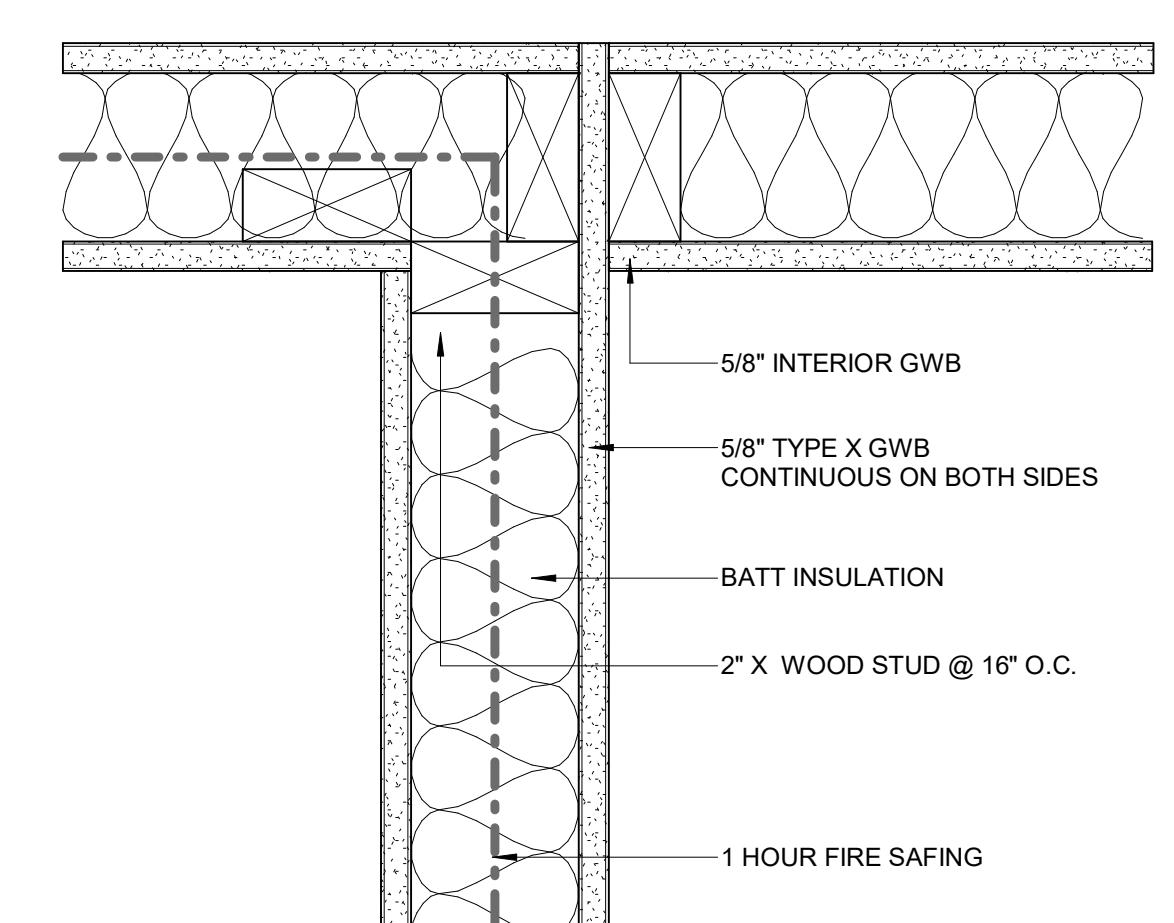
P2	NEW PARTITION WALL TO UNDERSIDE OF DECK	FIRE RATING NA	UL NUMBER NA	TESTING CODES STC: NA USG: NA
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P3	NEW PARTITION WALL TO UNDERSIDE OF DECK	FIRE RATING NA	UL NUMBER NA	TESTING CODES STC: NA USG: NA
-----------	---------------------------------------------------	-------------------	-----------------	-------------------------------------



P4	NEW PARTITION EXTERIOR WALL	FIRE RATING NA	UL NUMBER NA	TESTING CODES STC: NA USG: NA
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○ TYPICAL DETAIL AT FIRE RATED INTERSECTION
3" = 1'-0"

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NO.	DATE	DESCRIPTION
1	05.20.2022	PERMIT SET

REVISION:

NO.	DATE	DESCRIPTION
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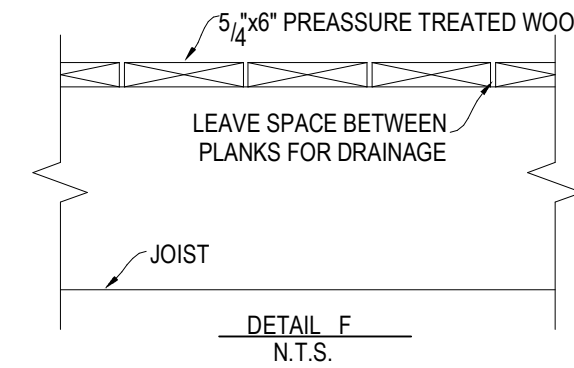
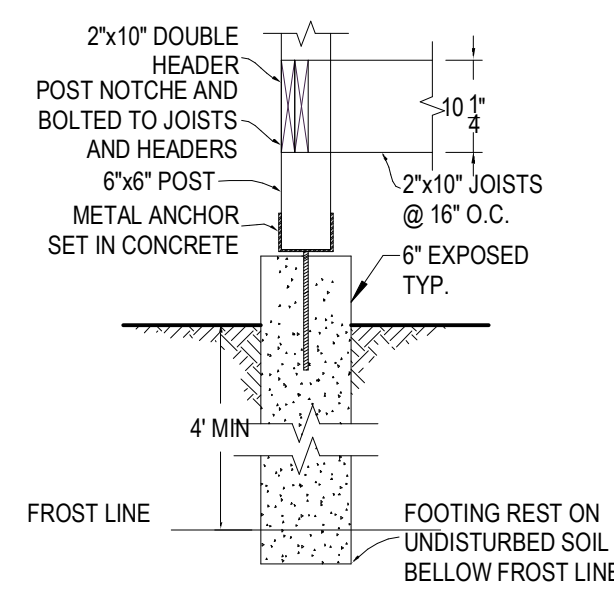
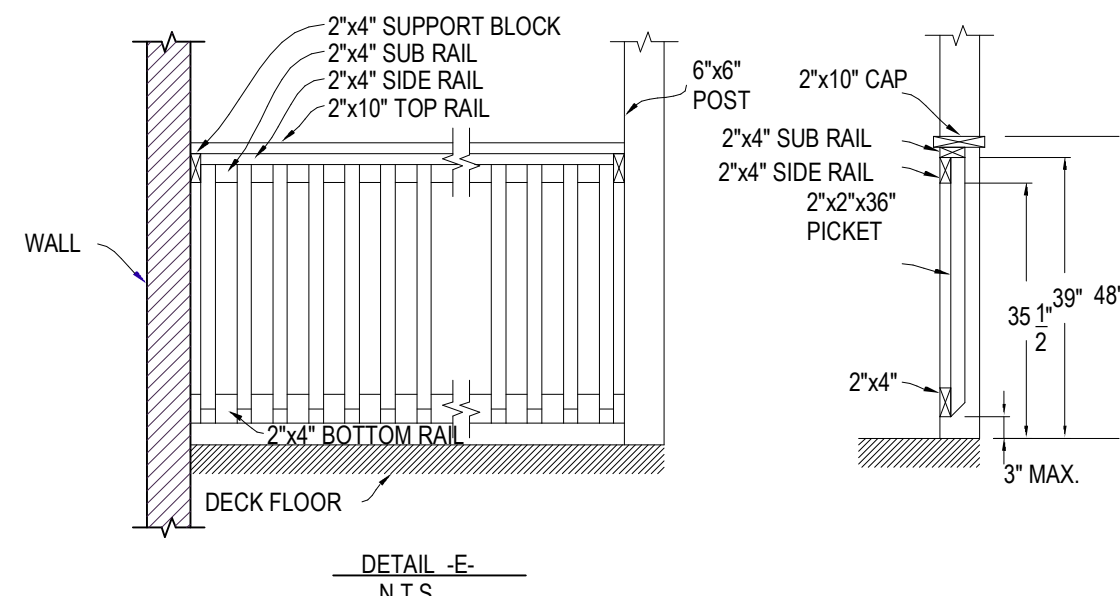
DRAWING TITLE: PROPOSED FLOOR PLANS

DRAWN BY: IP	SEAL:
CHECKED BY: DF	
SCALE: As indicated	
DATE: 05.20.2022	
PROJECT NO.: 22129	
DRAWING NO.: A-101	

PROJECT LOCATION:
Y:\flow\Projects\Architecture\2022\22129 89-91 CLIFTON ST. CAMBRIDGE, MA - 3 FAMILY RENOVATION\A_Ren\22129 89-91 CLIFTON ST PERMIT SET.dwg

DOOR SCHEDULES

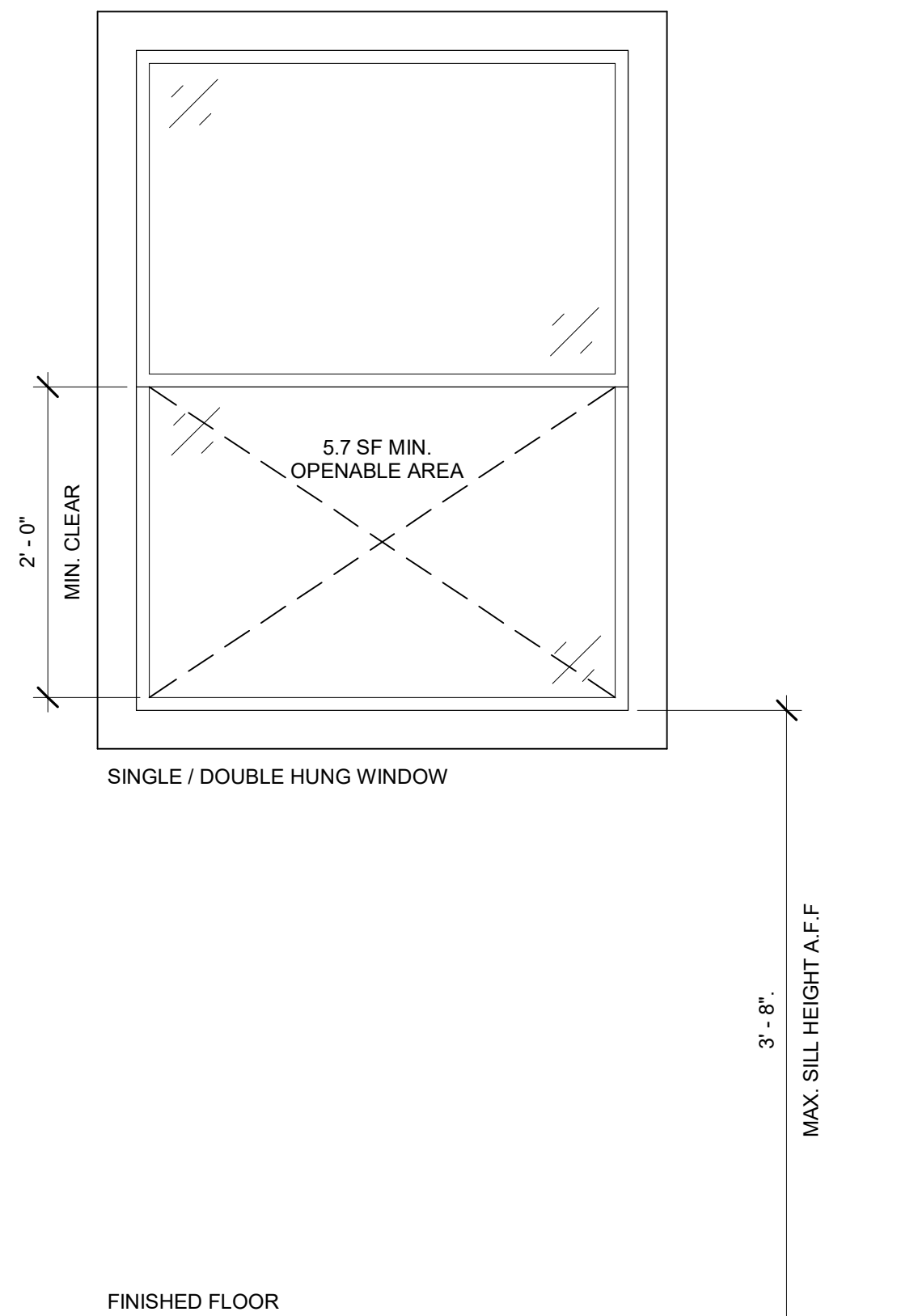
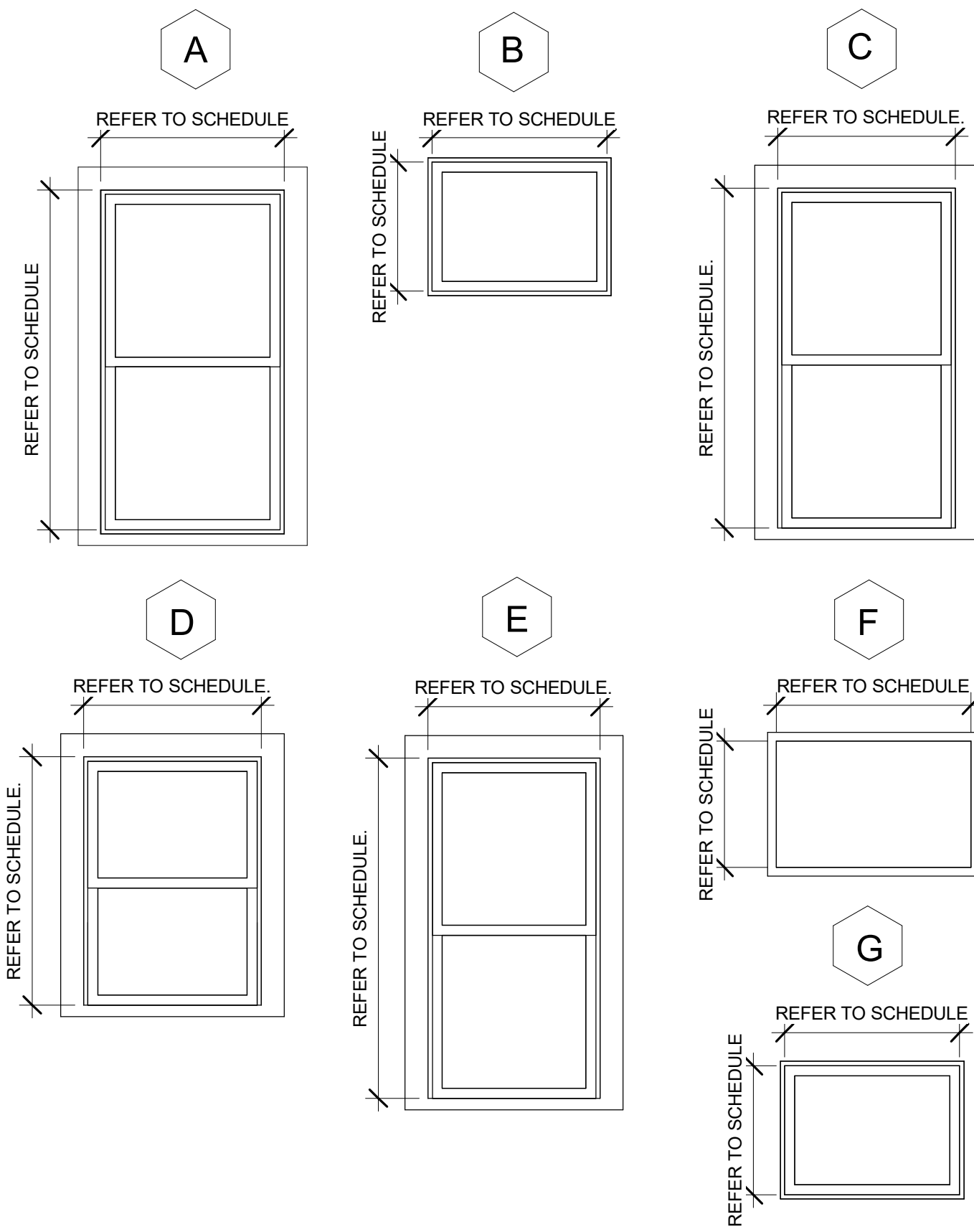
NO.	DOOR SIZE	APPLICATION	COMMENTS
	HEIGHT WIDTH		
002	6' - 8" 2' - 6"		
003	6' - 8" 5' - 4"		
004	6' - 8" 2' - 6"		
005	6' - 8" 2' - 6"	FIRE RATED	HINGED DOOR, 20 MINUTES RATED, SELF CLOSING
006	6' - 8" 3' - 0"	EXTERIOR	
101	6' - 8" 3' - 0"	EXTERIOR	
101B	6' - 8" 3' - 0"	EXTERIOR / FIRE RATED	HINGED DOOR, 20 MINUTES RATED, SELF CLOSING
102A	6' - 8" 2' - 4"		
102B	6' - 8" 2' - 8"	EXTERIOR	
103A	6' - 8" 2' - 6"		
103B	6' - 8" 4' - 0"		
103C	6' - 8" 1' - 10"		
104	6' - 8" 2' - 4"		
105	6' - 1" 2' - 6"		
106	6' - 8" 2' - 4"		
107	6' - 8" 2' - 4"		
108	6' - 8" 2' - 8"		
109	6' - 8" 2' - 4"		
110	6' - 8" 2' - 4"		
111	6' - 8" 2' - 4"		
200	6' - 8" 2' - 6"		
201	6' - 8" 2' - 4"		
202	6' - 8" 2' - 4"		
203	6' - 8" 2' - 8"		
204	6' - 8" 2' - 6"		
204A	6' - 8" 2' - 4"		
205	6' - 8" 2' - 6"		
205A	6' - 8" 4' - 0"		
205B	6' - 8" 1' - 10"		
206	6' - 8" 2' - 4"		
207	6' - 8" 2' - 8"	EXTERIOR	
208	6' - 8" 2' - 4"		
209	6' - 8" 4' - 0"	FIRE RATED	HINGED DOOR, 20 MINUTES RATED, SELF CLOSING
212	6' - 8" 2' - 4"		
300	6' - 8" 2' - 6"		
301	6' - 8" 2' - 4"		
302	6' - 8" 2' - 4"		
303	6' - 8" 2' - 4"	EXTERIOR	
304	6' - 8" 2' - 8"		
305	6' - 8" 2' - 6"		
306	6' - 8" 2' - 4"		
307	6' - 8" 4' - 0"		
308	6' - 8" 2' - 6"		
310	6' - 8" 4' - 0"		
311	6' - 8" 1' - 10"	FIRE RATED	HINGED DOOR, 20 MINUTES RATED, SELF CLOSING
311	6' - 8" 2' - 6"		
312	6' - 8" 2' - 4"		
313	6' - 8" 2' - 8"		
314	6' - 8" 2' - 4"		



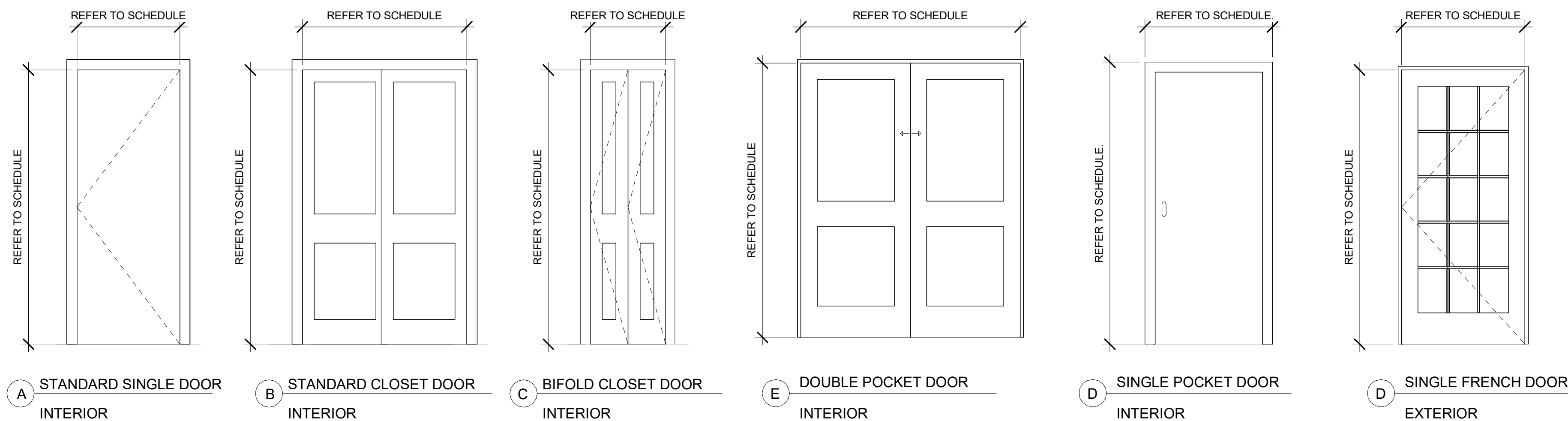
2 RAILING AND DECK DETAILS
1/4" = 1'-0"

WINDOW SCHEDULE

TYPE	WIDTH	HEIGHT	TEMPERED GLASS	EGRESS WINDOW	COMMENTS
A	2' - 8"	5' - 0"		Yes	
B	2' - 8"	2' - 0"			
C	2' - 7"	5' - 0"			
D	2' - 7"	3' - 8"	Yes		
E	2' - 6"	5' - 0"			
F	3' - 0"	2' - 0"			
G	2' - 8"	2' - 0"	Yes		

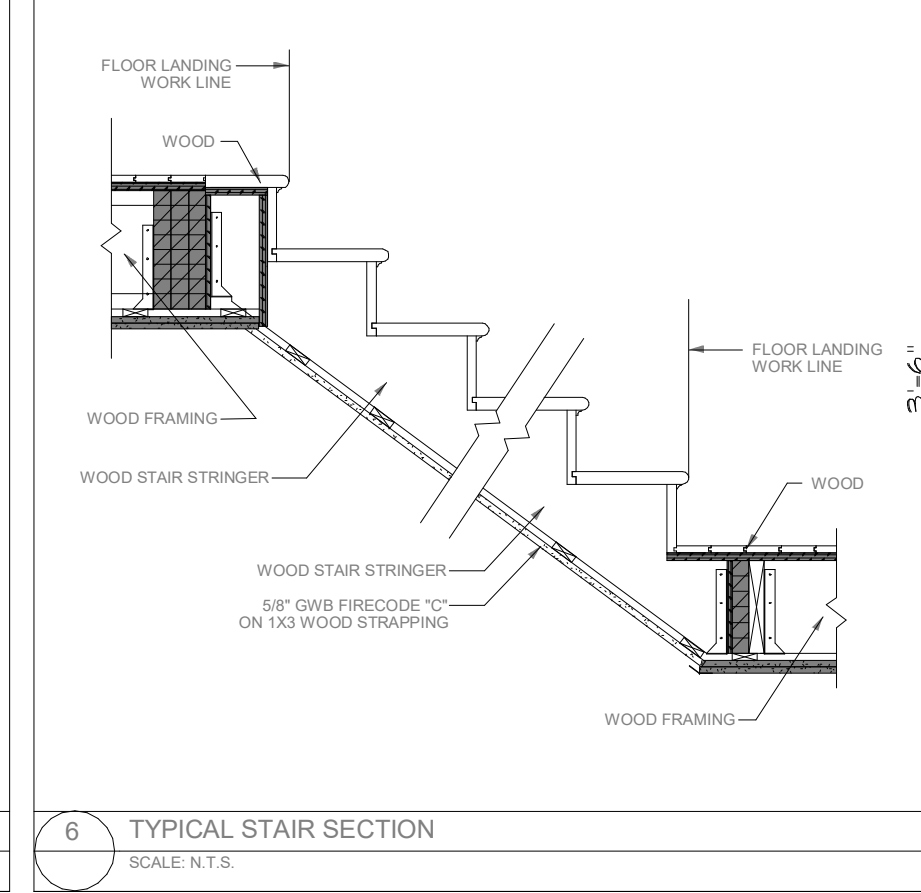
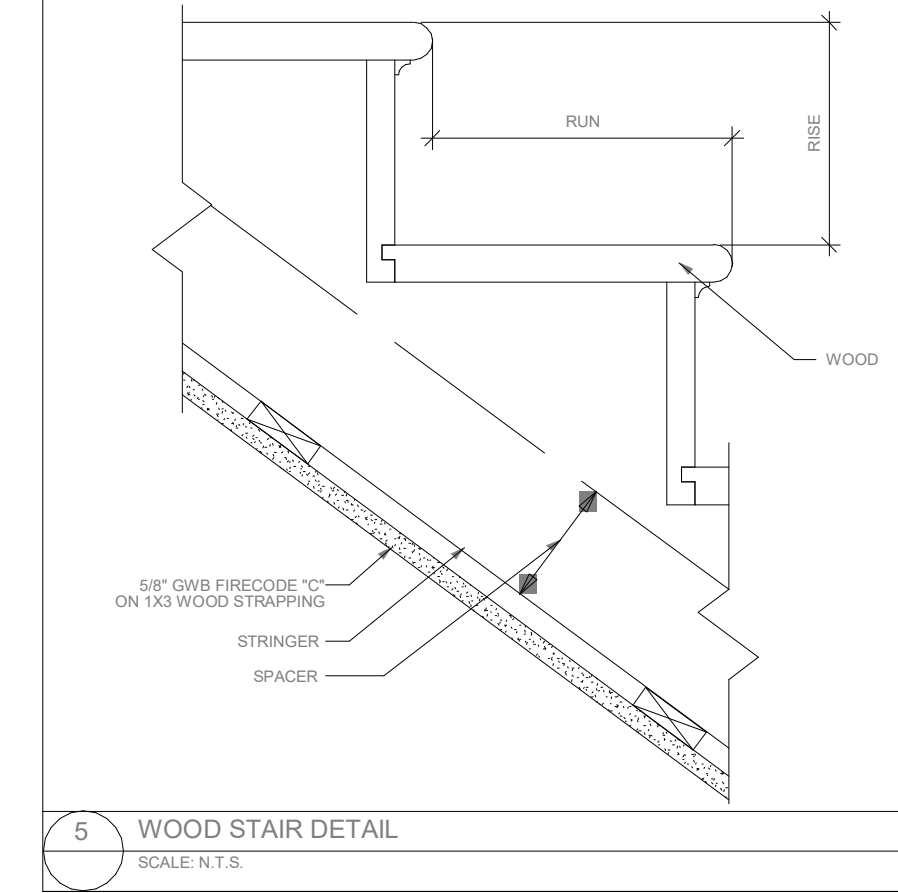
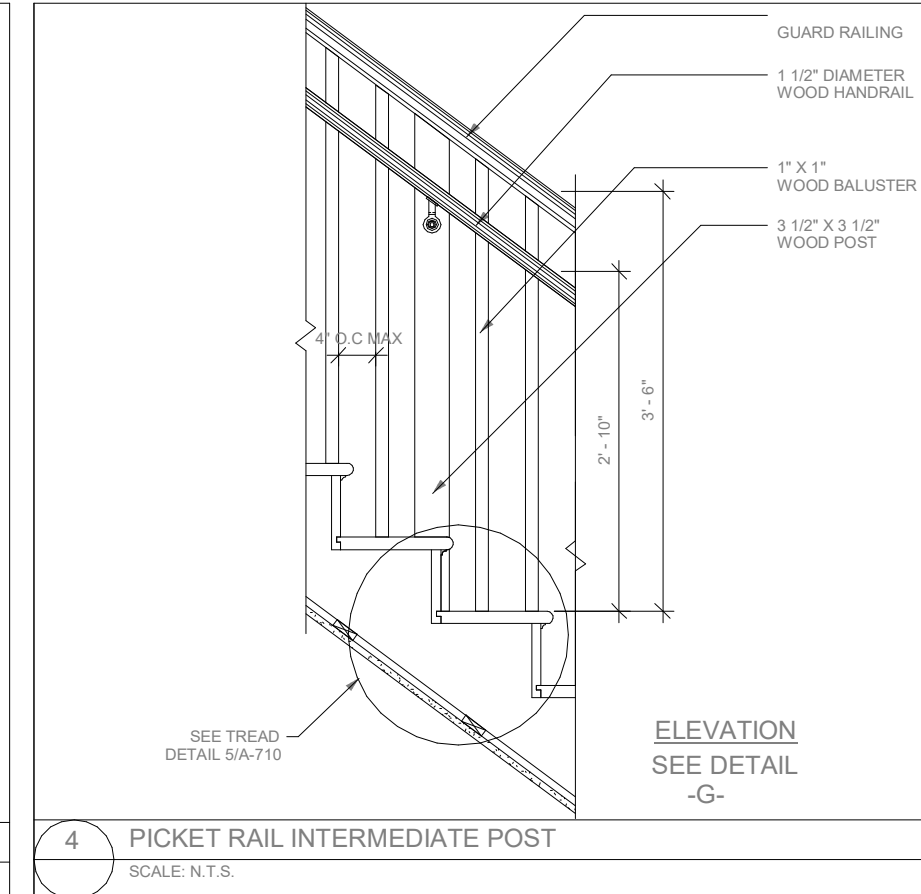
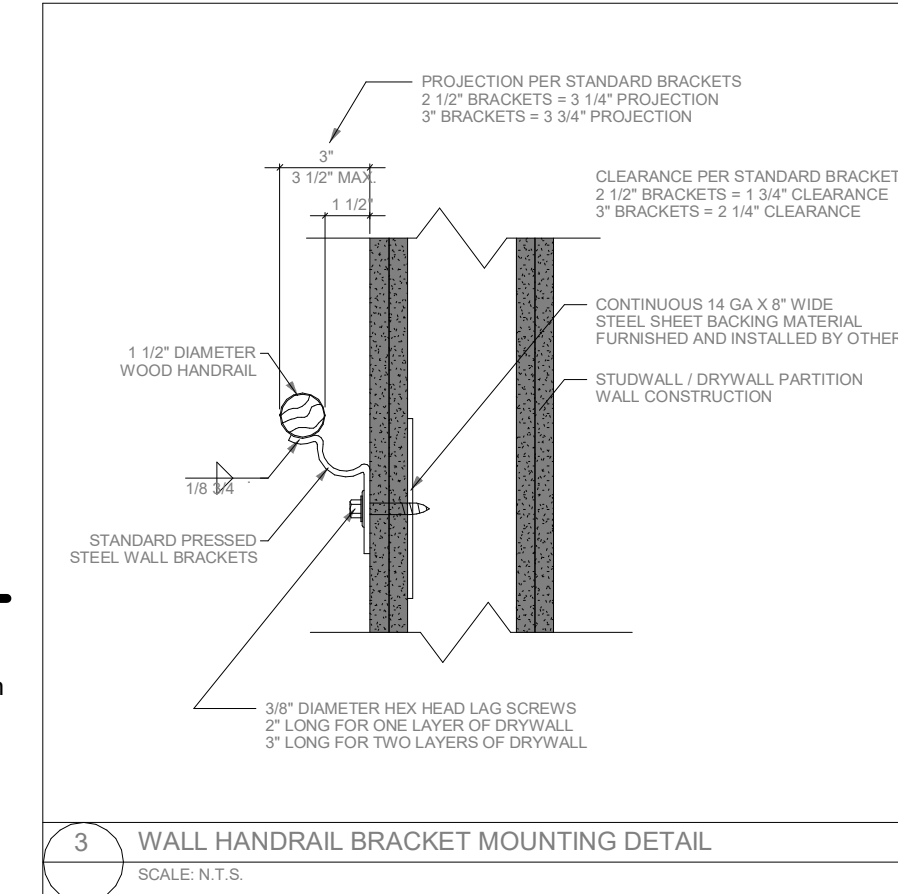
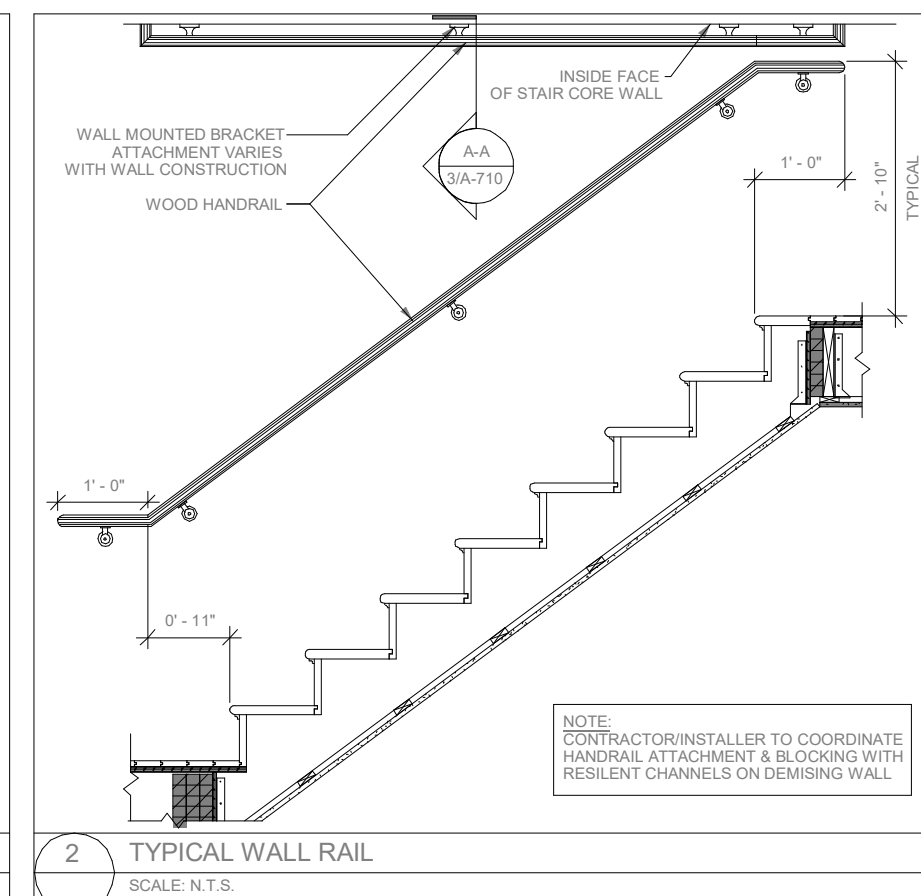
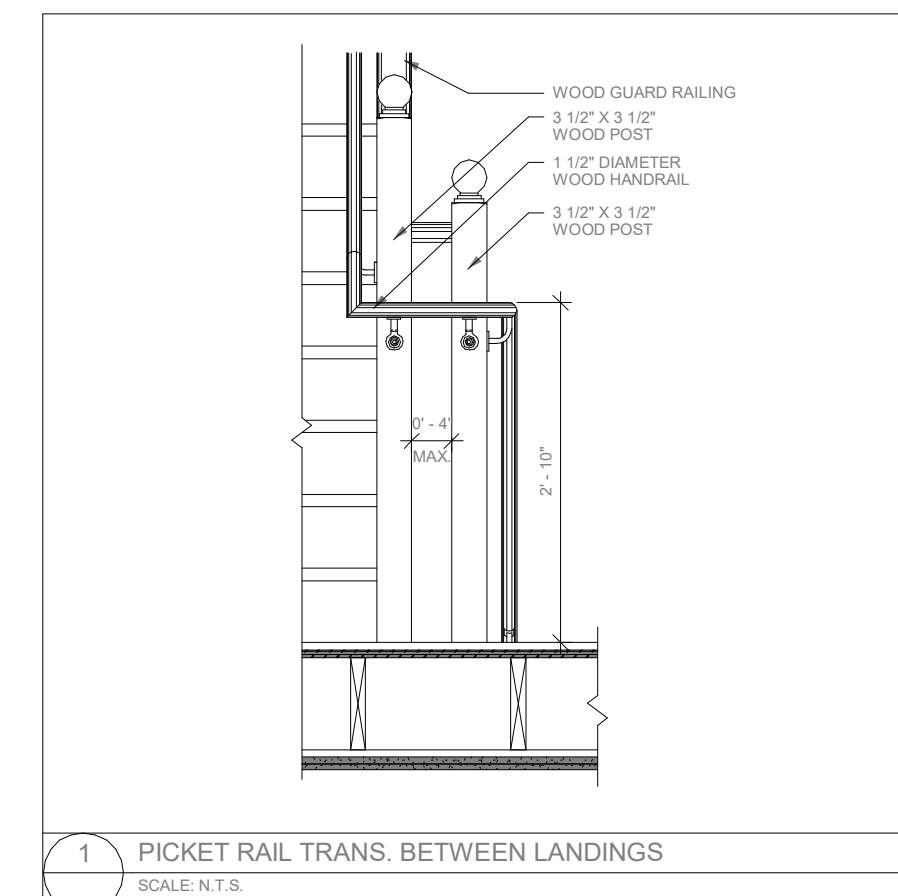
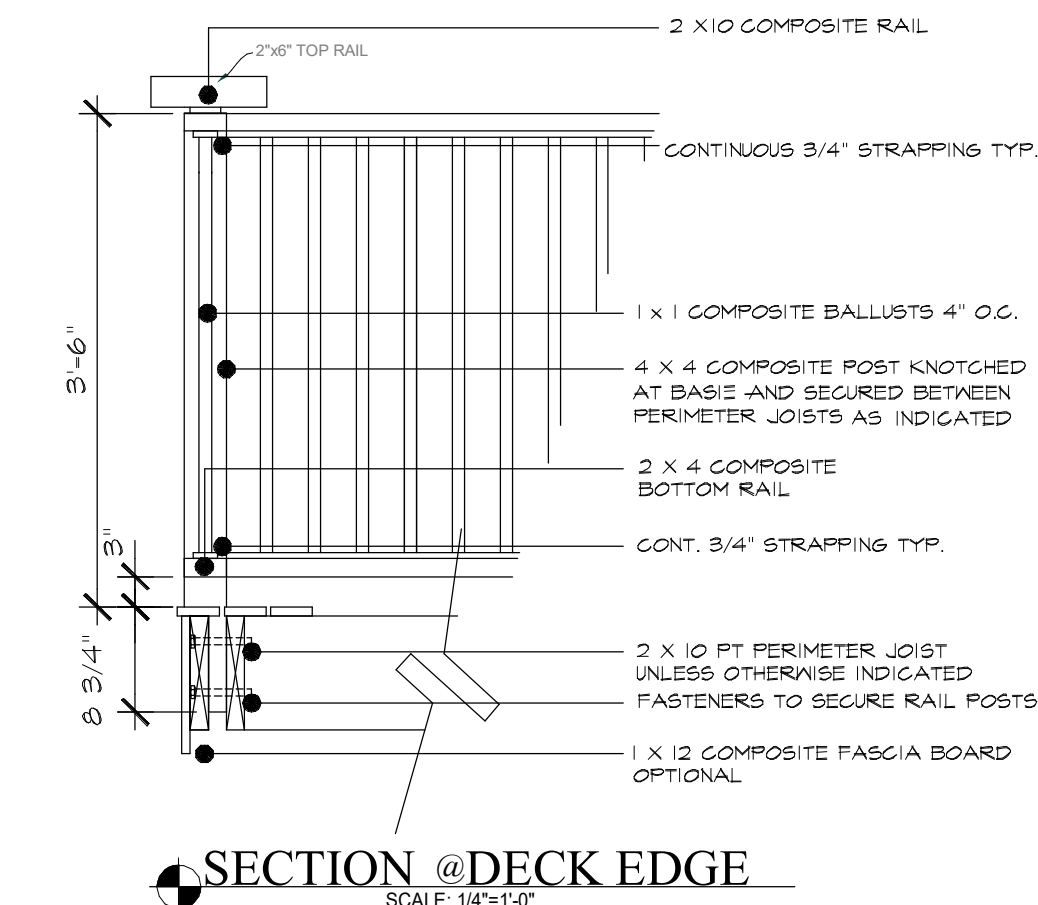


EXCEPTIONS:
1. Grade floor or below grade openings shall have a net clear opening of not less than **five ft2**.
2. Single-hung and/or double hung windows shall have a minimum net clear opening of **3.3 ft2**. In such cases, the minimum net clear opening dimensions shall be **20 inches by 24 inches** in either direction.



GENERAL CONTRACTOR NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL ADHERE TO ALL APPLICABLE CODES AND REGULATIONS.
- CONTRACTOR SHALL INFORM ARCHITECT OF ANY ERRORS OR DEVIATIONS PRIOR TO CONTINUING WORK.
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INTERIOR DESIGN TEL: 978.818.5109
CEL: 978.818.5109
CEL: 774.317.0491

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MEDFORD, MA 02155
264 SALEM ST.
MEDFORD, MA 02155
TEL: 617.300.0188

CONSULTANT:

REVISION:

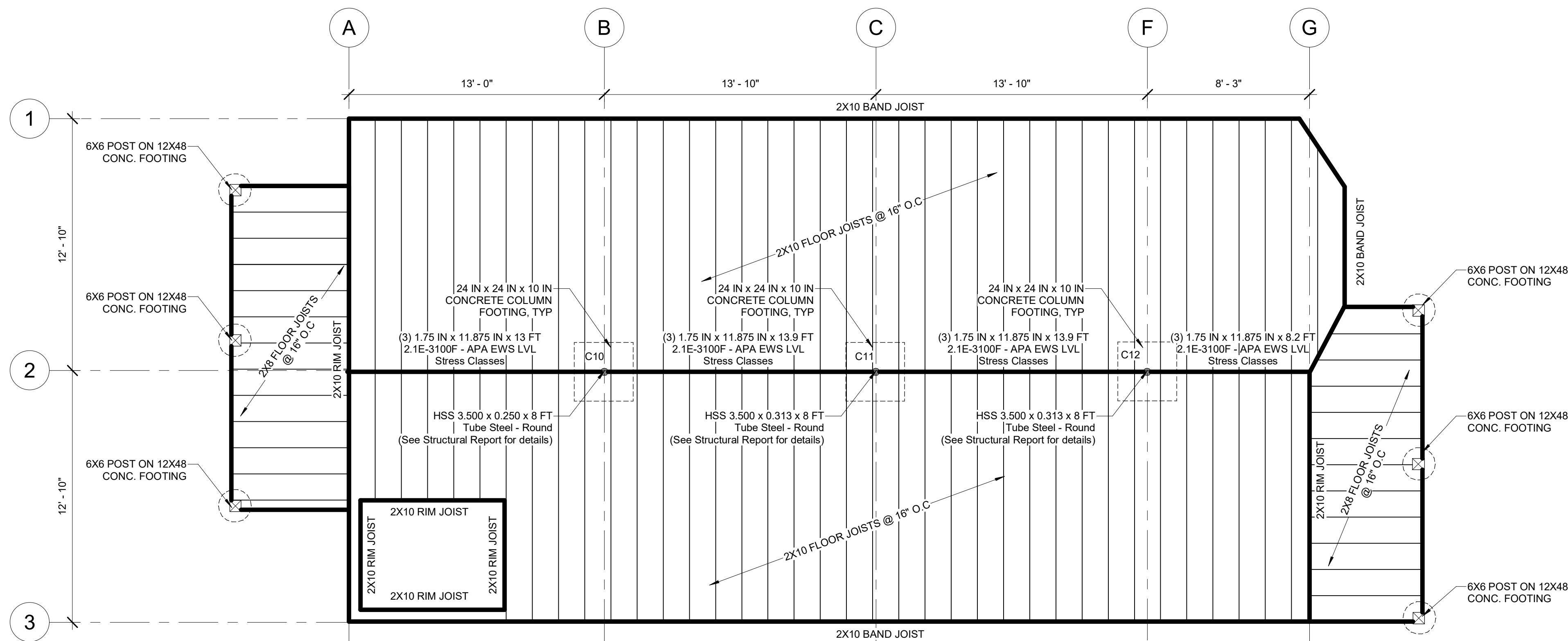
NO.	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

DRAWING TITLE:
SECTIONS & PARTITIONS

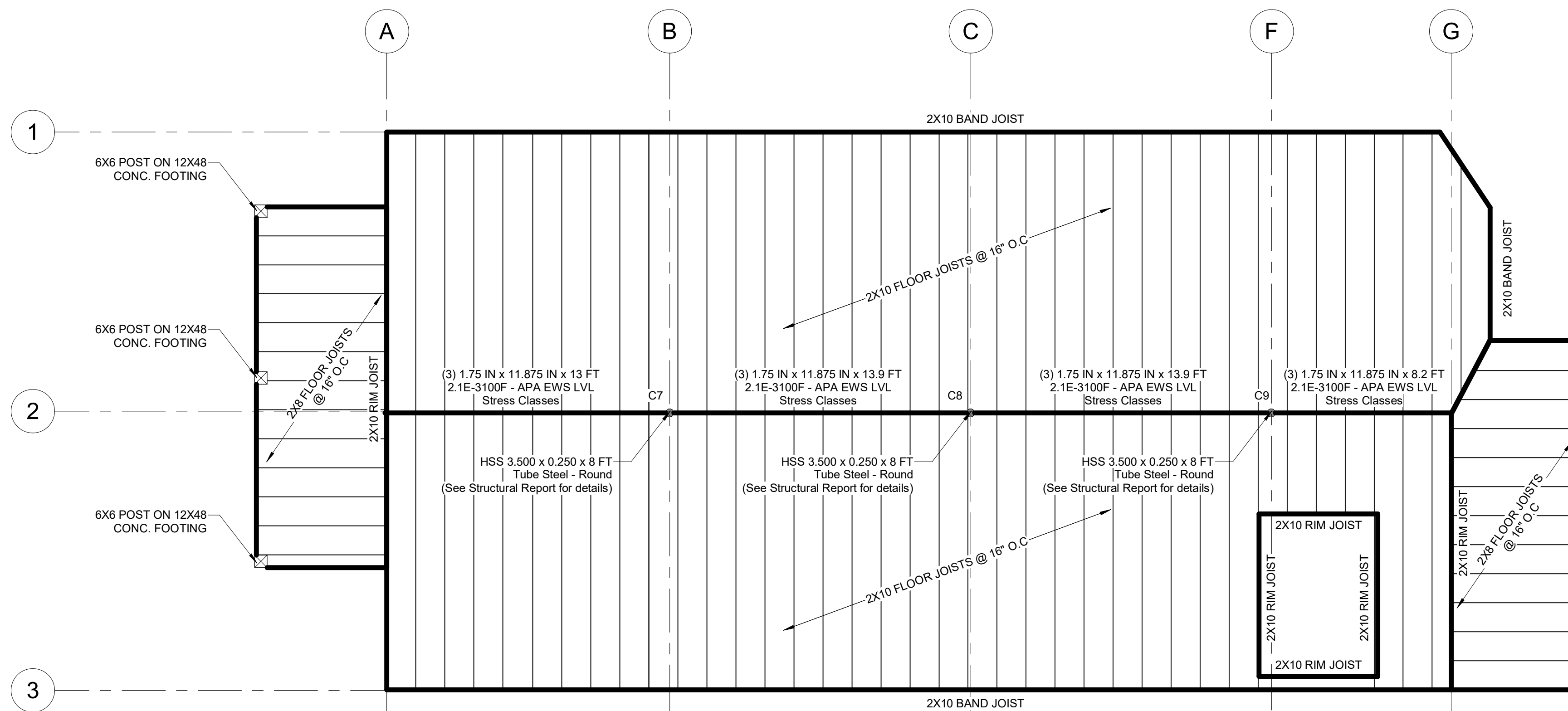
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CHECKED BY: DF
SCALE: As indicated
DATE: 05.20.2022
PROJECT NO.: 22129
DRAWING NO.: **A-631**



PROJECT LOCATION:
Y:\Flow\Projects\Architecture\2022\22129 89-91 CLIFTON ST. CAMBRIDGE, MA - 3 FAMILY RENOVATION\Rev\22129 89-91 CLIFTON ST PERMIT SET.rvt



1 FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"



2 SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"

WOOD & ENGINEERED WOOD CONSTRUCTION

- DIMENSIONAL LUMBER TO BE SPRUCE-PINE-FIR (SPF) NO. 2 OR BETTER UNO.
- ALL ENGINEERED LUMBER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- ALTERNATE PRODUCTS SHALL NOT BE SUBSTITUTED UNLESS APPROVED IN WRITING BY ENGINEER OF RECORD.
- LVL'S (LAMINATED VENEER LUMBER) TO BE 1.9E MICROLAM LVL BY ILEVEL.
- PSL'S (PARALLEL STRAND LUMBER) TO BE 2.0E PARALLAM PSL BY ILEVEL.
- 1 3/4" LSL'S (LAMINATED STRAND LUMBER) TO BE 1.55E TIMBERSTRAND LSL BY ILEVEL.
- 1 1/2" LSL'S TO BE 1.5E TIMBERSTRAND LSL BY ILEVEL.
- WOOD I-JOISTS TO BE TJI BY ILEVEL.
- PROVIDE SIMPSON CONNECTORS AT POST/BEAM, POST BASE, JOIST/BEAM AND BEAM/BEAM CONNECTIONS. USAGE AND INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PROVIDE SIMPSON HURRICANE TIES AT ROOF RAFTER CONNECTIONS TO STUD WALL CONNECTIONS OR SUPPORTING BEAMS.
- PROVIDE MINIMUM 3/4" PLYWOOD SHEATHING FOR FLOORS AND ROOFS. PLYWOOD TO BE APA-RATED EXPOSURE 1 GRADE C-D (CDX). PROVIDE 1/8" SPACE BETWEEN EDGES OF ADJACENT PLYWOOD PANELS AND STAGGER PANEL JOINTS BETWEEN ROWS OF SHEATHING.
- ALL PLYWOOD FLOOR AND ROOF SHEATHING SHALL BE GLUED AND SCREWED TO SUPPORTING WOOD FRAMING. GLUE SHALL CONSIST OF CONSTRUCTION GRADE ADHESIVE. SCREWS NOT TO BE PLACED WITHIN 3/8" OF PANEL EDGES. MAXIMUM SCREW SPACING TO BE 6" UNO. SCREWS TO BE MIN #8x2 1/2" LONG. SCREW LENGTH SHALL BE SUFFICIENT TO PROVIDE EMBEDMENT OF 10X SCREW DIAM INTO FRAMING.
- PROVIDE MINIMUM 1/2" PLYWOOD SHEATHING FOR EXTERIOR WALLS AND SHEAR WALLS. FASTEN SHEATHING TO STUDS WITH MINIMUM 8d NAILS @ 4" O.C..
- PROVIDE CONTINUOUS BLOCKING ABOVE INTERIOR SHEAR WALLS.
- MAXIMUM MOISTURE CONTENT OF DIMENSIONAL LUMBER AT TIME OF INSTALLATION TO BE 19%.
- SILL PLATE ANCHOR BOLTS: PROVIDE 1/2" ANCHOR BOLTS AT 3'-0" O.C. TWO BOLTS MINIMUM PER SILL PIECE WITH A BOLT WITHIN 10" OF EACH END OF EACH PIECE. BOLT SPACING SHALL BE COORDINATED PRIOR TO PLACING OF STUDS AND POSTS TO AVOID CONFLICTS. ALL BOLTS SHALL HAVE STEEL WASHERS. SEE TYPICAL DETAILS AND SHEAR WALL SCHEDULE FOR ADDITIONAL SILL BOLT REQUIREMENTS.
- PROVIDE PERPENDICULAR BLOCKING AT 32 INCHES O.C. BETWEEN ALL PERIMETER JOISTS AND EXTERIOR WALLS OR PERIMETER BEAMS.
- STAND-ALONE WOOD POSTS OVER CONCRETE SHALL BEAR UPON SIMPSON POST BASE EMBEDDED IN OR ANCHORED TO CONCRETE FOUNDATION.
- WASHERS SHALL ALWAYS BE INSTALLED BETWEEN BOLT HEADS OR NUTS AND WOOD OR ENGINEERED WOOD.

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89-91 CLIFTON ST. HOME RENO

89 CLIFTON ST,
CAMBRIDGE, MA 02140

NELSON GROUP

ARCHITECT:



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RESIDENTIAL DESIGN 50 GROVE ST., SUITE 226 SALEM, MA 01970
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CONTRACTOR/OWNER:



MEDFORD, MA 02155
264 SALEM ST.
MEDFORD, MA 02155
TEL: 617.300.0188

CONSULTANT:

REVISION:

NO:	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

DRAWING TITLE:
FRAMING FLOOR PLAN

DRAWN BY:
IP

CHECKED BY:
DF

SCALE:
1/4" = 1'-0"

DATE:
05.20.2022

PROJECT NO.:
22129

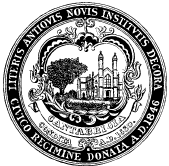
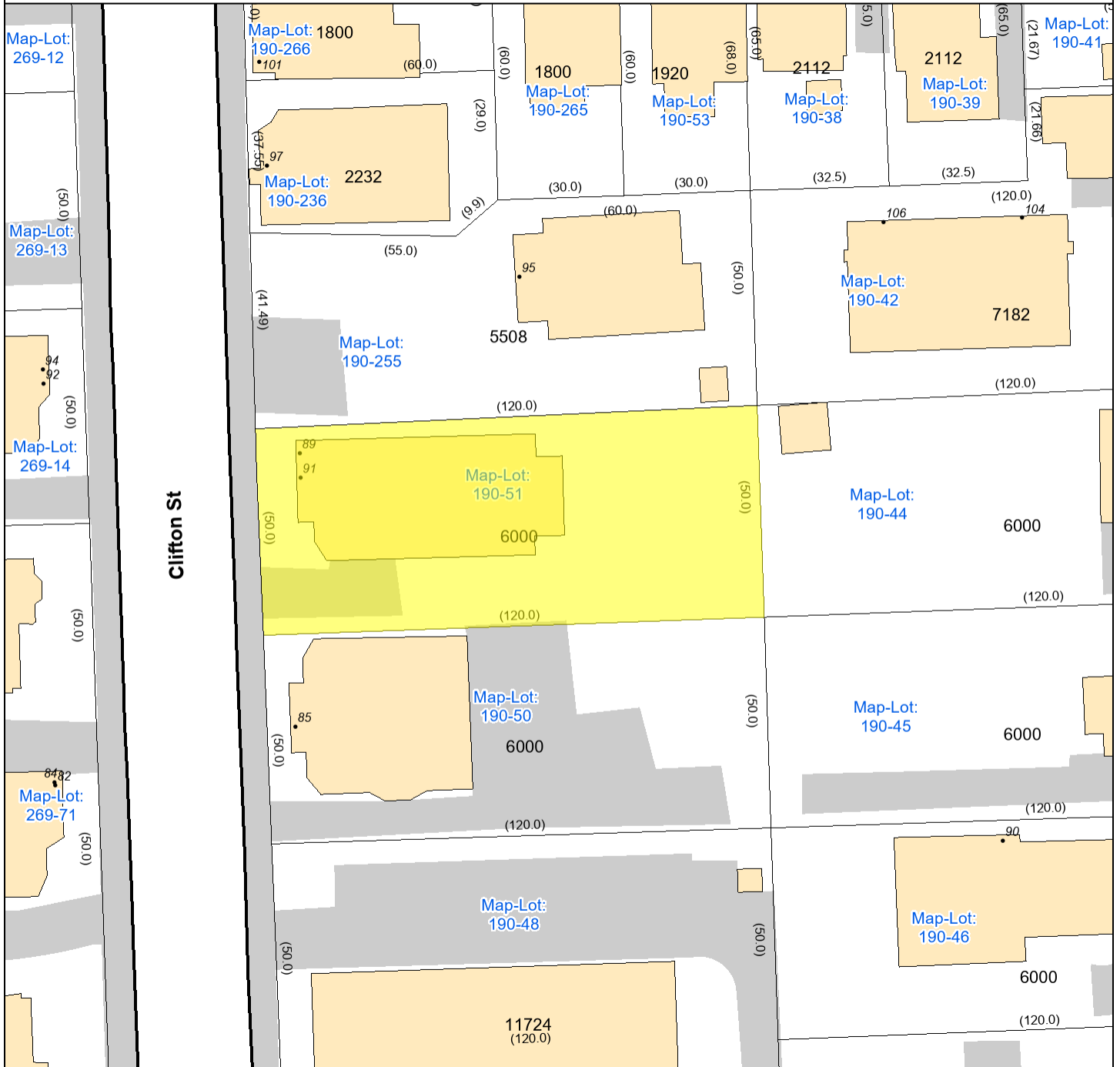
SEAL:



DRAWING NO.:

FP-900

PROJECT LOCATION:
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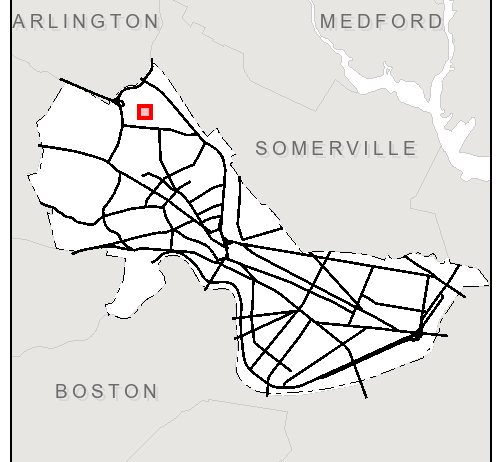
City of Cambridge
Massachusetts

1" = 35 ft

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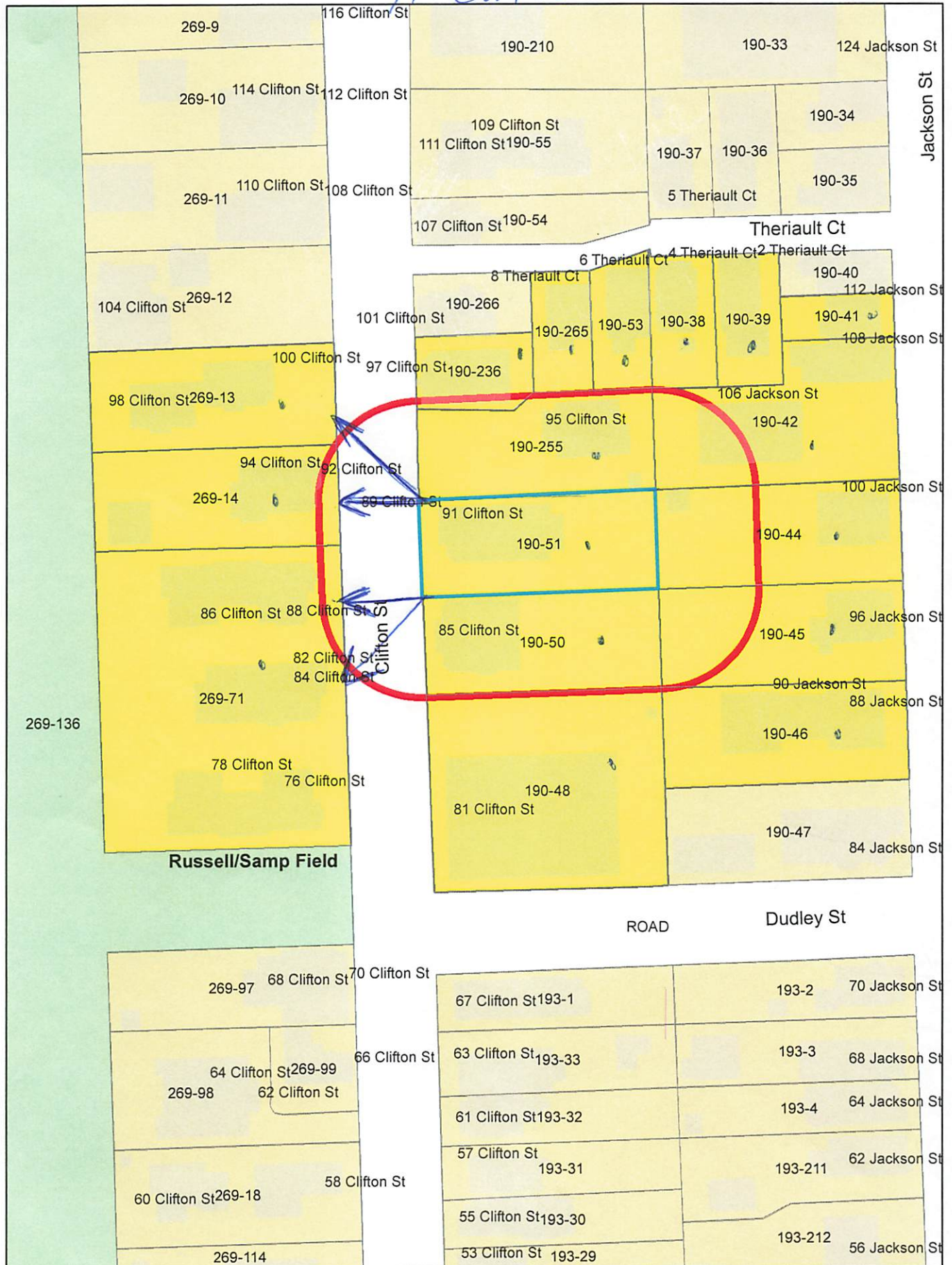
- Address
- Rail
- Building Footprints
- Parcels
- Paved Surfaces
 - Paved Roads
 - Bridges
 - Unpaved Roads
 - Unpaved Parking
 - Sidewalks
 - Driveways
 - Alleys
 - Other Paved Surface
 - Public Footpath





RESERVED PARKING
♿

91 Clifton St.



190-38
SMALL, FREDERICK EMERSON &
JULIA EMERSON WORMSER
4 THERIAULT CT
CAMBRIDGE, MA 02140

190-42
BOUFFORD, DAVID E.
104 JACKSON ST. #104
CAMBRIDGE, MA 02140

190-45
CHEN, NELSON & TAO TAO
96 JACKSON ST
CAMBRIDGE, MA 02140

190-48
CAMBRIDGE HOUSING AUTHORITY
10 PARK PLAZA
BOSTON, MA 02116

190-50
NICKERSON, ANDREW
85 CLIFTON ST., #3
CAMBRIDGE, MA 02140

269-71
GADDAM, PREETHAM & SHARVARI GUJJA
78 CLIFTON ST
CAMBRIDGE, MA 02140

269-71
HITCZENKO, MARCIN ELIZABETH ROSE
ELLEN LOUGHLIN
76 CLIFTON ST
CAMBRIDGE, MA 02140

269-71
SHELDON JOSHUA E & DOUGLAS L SHELDON
SHELDON MARGARET V ET AL
84 CLIFTON ST
CAMBRIDGE, MA 02140

190-44
COHEN, TRUDI ESTHER & JOHN T BELL
TRS COHEN-BELL FAMILY TR
100 JACKSON ST
CAMBRIDGE, MA 02140

269-13
SHELDON, JOSHUA ERIC
98 CLIFTON ST
CAMBRIDGE, MA 02140

190-42
VOIGT, JOHN F. & CAROLYN R. VOIGT
108 JACKSON ST., #108
CAMBRIDGE, MA 02140

190-53
PADEN, CURT & ELIZABETH MALENFANT PADEN
6 THERIAULT CT
CAMBRIDGE, MA 02140

190-255
HAMS, MARCIA L. & SUSAN SHEPARD
95 CLIFTON ST.
CAMBRIDGE, MA 02140-1712

269-13
CUMBERBATCH, JOHN O. &
SHARON M. CUMBERBATCH
100 CLIFTON ST., #100
CAMBRIDGE, MA 02140

269-14
GOODWIN, HANNAH R., JOEL NOGIC,
DAVID E. LOWE & KATHRYN A. EHRESMAN
92-94 CLIFTON STREET
CAMBRIDGE, MA 02140

269-71
MULLAHY, LAURA N.,
TRS THE LAURA N. MULLAHY 2019 REVOC TRT
82 CLIFTON ST
CAMBRIDGE, MA 02140

190-50
CHIN, MICHAEL & HUI L. CHIN
85 CLIFTON ST UNIT 1
CAMBRIDGE, MA 02139

190-46
STARIS, INA
1104 BAHAMA-BND - UNIT F1
COCONUT CREEK, FL 33066

190-51
68 PEARSON SOMERVILLE LLC
161 THIRD ST
CAMBRIDGE, MA 02141

269-71
KIMMERMAN, MARK BRADWAY & B.
KIMMERMAN
76-88 CLIFTON ST - UNIT 80
CAMBRIDGE, MA 02139

JAMES J. RAFFERTY, ESQ.
907 MASS AVE – 3RD FLOOR
CAMBRIDGE, MA 02139

190-42
GURRY, SUSAN E. & NEAL L. MICHAELS
106 JACKSON ST #106
CAMBRIDGE, MA 02140

190-41
SCHLAPIK, EVE
110 JACKSON ST
CAMBRIDGE, MA 02140

190-50
MORAN, STACY J.
85 CLIFTON ST., UNIT #2
CAMBRIDGE, MA 02139

269-71
WHITEMAN, CHARLES A. &
ALISSA K. WHITEMAN
88 CLIFTON ST
CAMBRIDGE, MA 02140

190-236
CHAN, LAN YING
97 CLIFTON ST
CAMBRIDGE, MA 02140

190-265
WARRINGTON, PETER C & KATHRYN ROWAN
8 THERIAULT CT
CAMBRIDGE, MA 02140

190-46
TEAGUE, CHARLES D
90 JACKSON ST
CAMBRIDGE, MA 02140

269-71
LEE PAUL W
86 CLIFTON ST - UNIT 86
CAMBRIDGE, MA 02140

190-39
HUNTER, MARSHA
2 THERIAULT COURT
CAMBRIDGE, MA 02140-1728

89-91 CLIFTON ST. HOME RENO

NELSON GROUP

89 CLIFTON ST, CAMBRIDGE, MA 02140

FLOW PROJECT #22129

PERMIT SET

PROJECT TEAM

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 CAMBRIDGE, MA 02140
 TEL: 617-300-0188

ARCHITECTURE :
FLOW DESIGN ARCHITECTS
 50 GROVE ST. SUITE 226
 SALEM, MA 01970
 TEL: 978-498-4370

PERSPECTIVE VIEW



FOR ILLUSTRATION PURPOSES ONLY

AERIAL VIEW



PROJECT LOCATION

GENERAL INFORMATION

THE EXISTING PROPERTY AT 89-91 CLIFTON ST. IS A THREE-STORY WOOD FRAMED STRUCTURE. THE EXISTING RESIDENCE IS APPROXIMATELY 30'-0" TALL AND ENCOMPASSES 3,700 SQUARE FEET. THE CURRENT USE FOR THE PROPERTY IS THREE-FAMILY RESIDENTIAL. THE PROJECT INCLUDES GENERAL INTERIOR RENOVATIONS.

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89-91 CLIFTON ST. HOME RENO

89 CLIFTON ST,
 CAMBRIDGE, MA 02140

NELSON GROUP

ARCHITECT:



ARCHITECTURE ■ SALEM, MA 01970
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 PLANNING SALEM, MA 01970
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 TEL: 978.818.5109
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 264 SALEM ST.
 MEDFORD, MA 02155
 TEL: 617.300.0188

CONSULTANT:

REVISION:

NO:	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

DRAWING TITLE:
TITLE SHEET

DRAWN BY: IP	SEAL:
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SCALE: N.T.S	
DATE: 05.20.2022	
PROJECT NO.: 22129	

DRAWING NO.:
T-100

PROJECT LOCATION:
 2:89 - 91 Clifton St, Cambridge1 - Plans(CAD-BIM Files)22129 89-91 CLIFTON ST
 PERMIT SET_5-9-2022.rvt

ABBREVIATIONS

A.C.P.	ACOUSTIC CEILING PANEL	K	KIP
A.C.	AIR CONDITION	L.B.L.	LABEL
A.F.F.	ABOVE FINISH FLOOR	LAV.	LAVATORY
ALUM	ALUMINUM	LG	LENGTH, LONG
A.B.	ANCHOR BOLT	L.T.L.	LIPT
&	AND	L.V.R.	LOW POINT
APPROX.	APPROXIMATELY	L.P.	LOW POINT
ARCH	ARCHITECTURAL	M.H.	MANHOLE
A&G	ASPHALT & GRAVEL	M	MARBLE
BL	BASE LINE	MAS.	MASONRY
B.P.L.	BASE PLATE	M.O.	MASONRY OPENING
BEAM	BEAM	MAT'L.	MATERIAL
BPC	BED PAN	MECH.	MECHANICAL
BLK'G	BLOCKING	M.T.L.	MATERIAL
B.S.	BOTH SIDES	MIN.	MINIMUM
B.W.	BOTH WAYS	MISC.	MISCELLANEOUS
BOT	BOTTOM	M.T.G.	MOUNTING
BRK.	BRICK	NOM.	NOMINAL
BLD'G	BUILDING	N.I.C.	NOT IN CONTRACT
B/	BOTTOM OF ...	N.T.S.	NOT TO SCALE
CPT.	CARPET	NO. #	NUMBER
CLG	CEILING	NC	NURSE CALL
CL	CENTER LINE	OFF.	OFFICE
C.T.C.	CERAMIC TILE COVE	O.C.	ON CENTER
C.T.	CERAMIC TILE	OPG	OPENING
CERM	CERMAGUARD	OPP.	OPPOSITE
C.F.	CEMENT FIBERBOARD	OZ.	OUNCE
C.L.F.	CHAIN LINK FENCE	O.D.	OUTSIDE DIAMETER
CR	CHAIR RAIL	O.F.	OUTSIDE FACE
C.O.	CLEAN OUT	O.A.	OVERALL
CLR.	CLEAR(ANCE)	O.H.D.	OVERHEAD DOOR
CLSR.	CLOSER	OFI	OWNER FURNISHED AND INSTALLED
CLS	CLOSET	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
CHK	COAT HOOK	OTS	OWNER SUPPLIED
COL	COLUMN	PTD.	PAINTED
C.M.	COCOA MAT	PNL.	PANEL
CONC	CONCRETE	PH	PARTIAL HEIGHT
C.B.	CONCRETE BLOCK	P.F.	PARTICLE FILLED
CONC. BD.	CONCRETE BOUND	P.T.	PARTITION
C.M.U.	CONCRETE MASONRY UNIT	PLAS.	PLASTIC
CONSTR.	CONSTRUCTION	PL.	PLASTIC
CONT.	CONTINUOUS	P.LAM.	PLASTIC LAMINATE
C.J.	CONTROL JOINT	PLUM.	PLUMBING
C.G.	CORNER GUARD	P.O.	POUND
CORR.	CORRIDOR	P.S.I.	POUNDS / SQUARE INCH
CTSK.	COUNTERSUNK	P.S.F.	POUNDS / SQUARE FOOT
CRS.	COURSE	PREF.	PREFINISHED
CYL.	CYLINDER	P.M.	PRESSED METAL
CH	CEILING HEIGHT	PROP.	PROPERTY / PROPOSED
DEPT	DEPARTMENT	Q.T.	QUARRY TILE
DEP	DEPRESSION	Q.T.C.	QUARRY TILE COVE
DIAG	DIAGONAL	R.	RADIUS / RISER
		REC	RECEPTICLE / ELECTRICAL
		RTH	RECEPTICLE
DIM	DIMENSION	REF	REFERENCE
DO	DOOR	REIN	REINFORCE(ING)
DR	DOOR	REM	REMOVE
D.L.	DOCK LEVELER	REQ'D	REQUIRED
D.A.	DOUBLE ACTING	REV.	REVISION / REVERSE
D.S.	DOWNSPOUT	R.F.	RIGID FRAME
D.	DRAIN	R.D.	ROAD
DWG.	DRAWING	R.O.	ROOF DRAIN
D.W.	DRYWALL	R.W.L.	RAIN WATER LEADER
EA.	EACH	RGH.	ROUGH
E.F.	EACH FACE	SECT	SECTION
E.W.	EACH WAY	S.S.	SERVICE SINK
ELEC.	ELECTRIC	S.S.	STAINLESS STEEL
E.W.C.	ELECTRIC WATER COOLER	S.S.	STAINLESS STEEL
ELEV.	ELEVATOR, ELEVATION	SH.V.	SHOP WELD
EL.	ELEVATION	S.W.	SHOP WELD
ENCL.	ENCLOSE, ENCLOSURE	SLDR.	SLIDING DOOR
ENG.	ENGINEER(ING)	S.C.	SOLID CORE
ENT	ENTRANCE	SPEC.	SPECIFICATION
EQ.	EQUAL	SPR.	SPRINKLER
EQUIP	EQUIPMENT	SQ. FT.	SQUARE FEET
EXIST	EXISTING	STD.	STANDARD
EXP	EXPANSION, EXPOSED	STL	STEEL
E.B.	EXPANSION BOLT	STRUC.	STRUCTURAL
E.J.	EXPANSION JOINT	SUSP.	SUSPENDED
EXTER	EXTERIOR	SYMM.	SYMMETRICAL
F.B.	FACE BRICK	TELE	TELEPHONE
F/	FACE OF ...	TLB	THOUSAND POUND
F. TO F.	FACE TO FACE	THRD	THRESHOLD
FT.	FEET, FOOT	TOIL.	TOILET
F.W.	FIELD WELD	T.	TOP OF ...
FIN.	FINISH	TB	TOWEL BAR
F.E.C.	FIRE EXTINGUISHER CABINET	TRU-GLZE	TRU-GLAZE
F.H.C.	FIRE HOSE CABINET	T.	TREAD
FLASHG	FLASHING	TYP.	TYPICAL
FLR	FLOOR	UC	UNDERCUT
FLR'G	FLOORING	UNF	UNFINISHED
F.D.	FLOOR DRAIN	UNO	UNLESS NOTED OTHERWISE
FLUOR.	FLUORESCENT	V.P.	VENT PIPE
FTG	FOTING	VERT.	VERTICAL
FRT	FIRE RETARDANT TREATED	VIN.	VINYL
FDN	FOUNDATION	V.I.F.	VERIFY IN FIELD
F/H	FULL HEIGHT	V.C.T.	VINYL COMPOSITION TILE
FUS.LINK	FUSIBLE LINK	V.B.C.	VINYL BASE COVE
GA.	GAGE OR GAUGE	V.B.S.	VINYL BASE STRAIGHT
GALV.	GALVANIZED	V.T.R.	VENT THRU ROOF
G.C.	GENERAL CONTRACTOR	V.W.C.	VINYL WALL COVERING
GL.	GLASS	WSCOT	WAINSCOT
GB	GRAB RAIL	W.C.	WATER CLOSET
GYP. BD.	GYPSUM WALLBOARD	WT	WEIGHT
G.W.B.	GYPSUM WALLBOARD	W.W.F.	WELDED WIRE FABRIC
HDCAP	HANDICAP	W.G.	WIRE GLASS
HDWR	HARDWARE	W.M.	WIRE MESH
H.D.	HEAVY DUTY	WI	WITH
HGT., HT.	HEIGHT	W/O	WITHOUT
H.C.	HOLLOW CORE	WD.	WOOD
H.M.	HOLLOW METAL	WB.	WOOD BASE
HORIZ.	HORIZONTAL	W.P.	WORKING POINT
H.B.	HOSE BIBB	W.P.	WORKING POINT
H.W.H.	HOT WATER HEATER		
HUMI.	HUMIGUARD CEILING		
IN. (*)	INCHES		

CODES & STANDARDS

Building
 INTERNATIONAL BUILDING CODE 2015 WITH MA. AMENDMENTS
 INTERNATIONAL EXISTING BUILDING CODE (IEBC2015) WITH AMENDMENTS 780 CMR CHAPTER 34

Accessibility
 MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) 521 CMR

Mechanical
 INTERNATIONAL MECHANICAL CODE - 2015 WITH MA. AMENDMENTS

Electrical
 NATIONAL ELECTRICAL CODE - 2015 WITH MA. AMENDMENTS

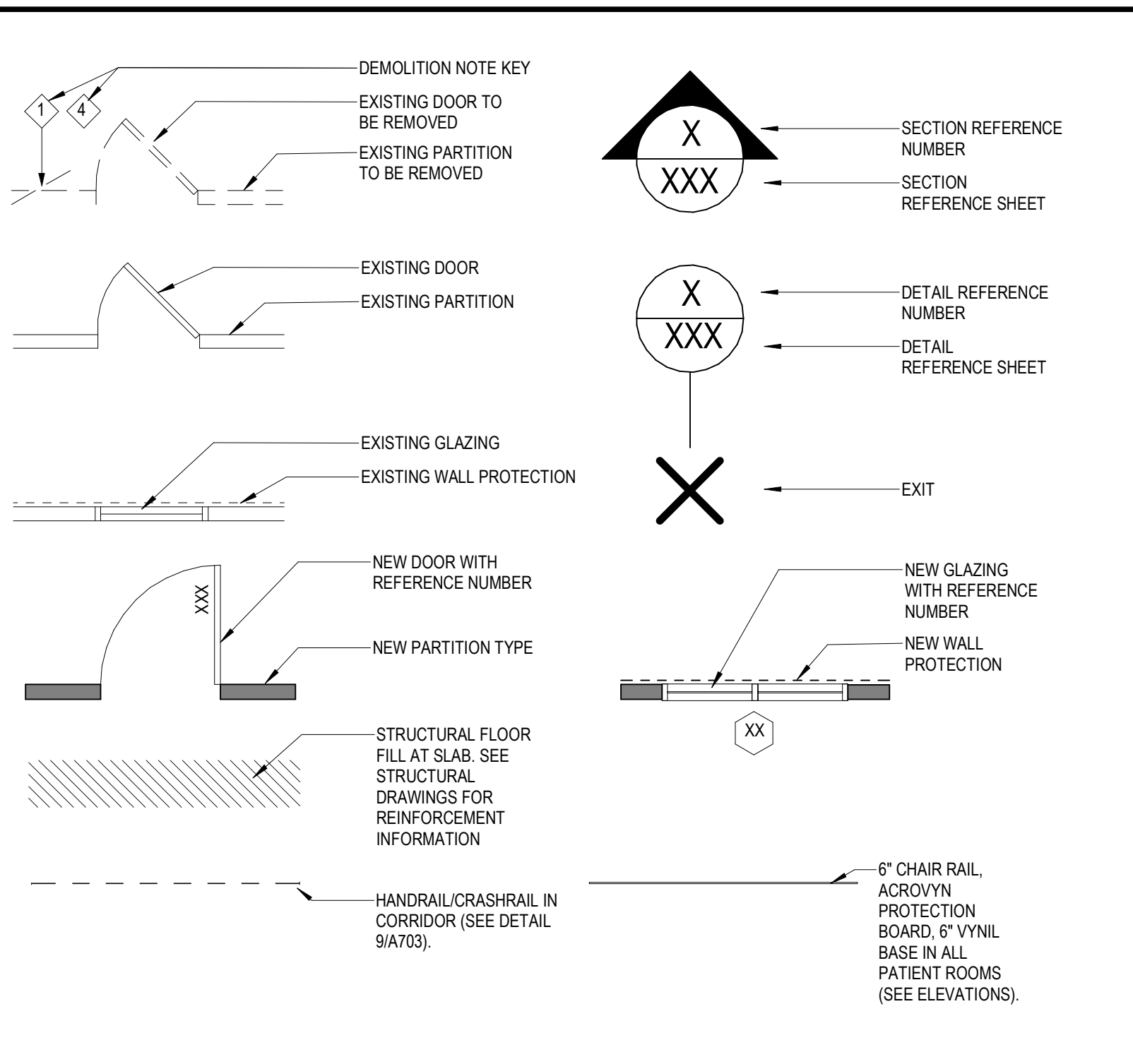
Plumbing
 INTERNATIONAL PLUMBING CODE - 2015 WITH MA. AMENDMENTS

Fire/Life Safety
 NFPA 1 - 101 - 2015 EDITION WITH MA. AMENDMENTS
 527 CMR 1.00 & 780 CMR 51

STATE FIRE CODE SAF - C 6000 WITH MA. AMENDMENTS

Energy
 INTERNATIONAL ENERGY CONSERVATION CODE- 2015 EDITION W/ MA. AMENDMENTS

GENERAL LEGEND



SHEET LIST

SHEET NUMBER	SHEET NAME	INITIAL ISSUE DATE	DESCRIPTION
A-202	Unnamed	10/11/22	
TITLE SHEETS			
T-100	TITLE SHEET	05.20.2022	PERMIT SET
T-101	SHEET LIST, NOTES AND LEGENDS	05.20.2022	PERMIT SET
LIFE SAFETY			
LS-00	LIFE SAFETY PLAN	05.20.2022	PERMIT SET
LS-01	LIFE SAFETY PLAN	05.20.2022	PERMIT SET
EXISTING ARCHITECTURAL			
AEX-100	EXISTING FLOOR PLANS	05.20.2022	PERMIT SET
AEX-200	EXISTING ELEVATIONS	05.20.2022	PERMIT SET
DEMO ARCHITECTURAL			
AD-100	DEMO BASEMENT & FIRST FLOOR PLAN	05.20.2022	PERMIT SET
AD-101	DEMO SECOND & ATTIC FLOOR PLAN	05.20.2022	PERMIT SET
AD-200	DEMO ELEVATIONS	05.20.2022	PERMIT SET
ARCHITECTURAL			
A-101	PROPOSED FLOOR PLANS	05.20.2022	PERMIT SET
A-102	PROPOSED FLOOR PLANS	05.20.2022	PERMIT SET
A-103	PROPOSED ROOF PLAN	05.20.2022	
A-200	PROPOSED EXT. ELEVATIONS	05.20.2022	PERMIT SET
A-201	PROPOSED EXT. ELEVATIONS	05.20.2022	PERMIT SET
A-631	SECTIONS & PARTITIONS	05.20.2022	PERMIT SET
FRAMING PLANS			
FP-900	FRAMING FLOOR PLAN	05.20.2022	PERMIT SET
FP-901	FRAMING FLOOR PLAN	05.20.2022	PERMIT SET

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89-91 CLIFTON ST. HOME RENO

89 CLIFTON ST,
 CAMBRIDGE, MA 02140

NELSON GROUP

ARCHITECT:



ARCHITECTURE ■ SALEM, MA 01970
 RESIDENTIAL DESIGN 50 GROVE ST. SUITE 225 SALEM, MA 01970
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 INTERIOR DESIGN TEL: 978.818.5109
 TEL: 774.317.0491

CONTRACTOR/OWNER:



CONSULTANT:

REVISION:

NO:	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

DRAWING TITLE:

SHEET LIST, NOTES AND LEGENDS

DRAWN BY: _____ SEAL: _____

CHECKED BY: DF

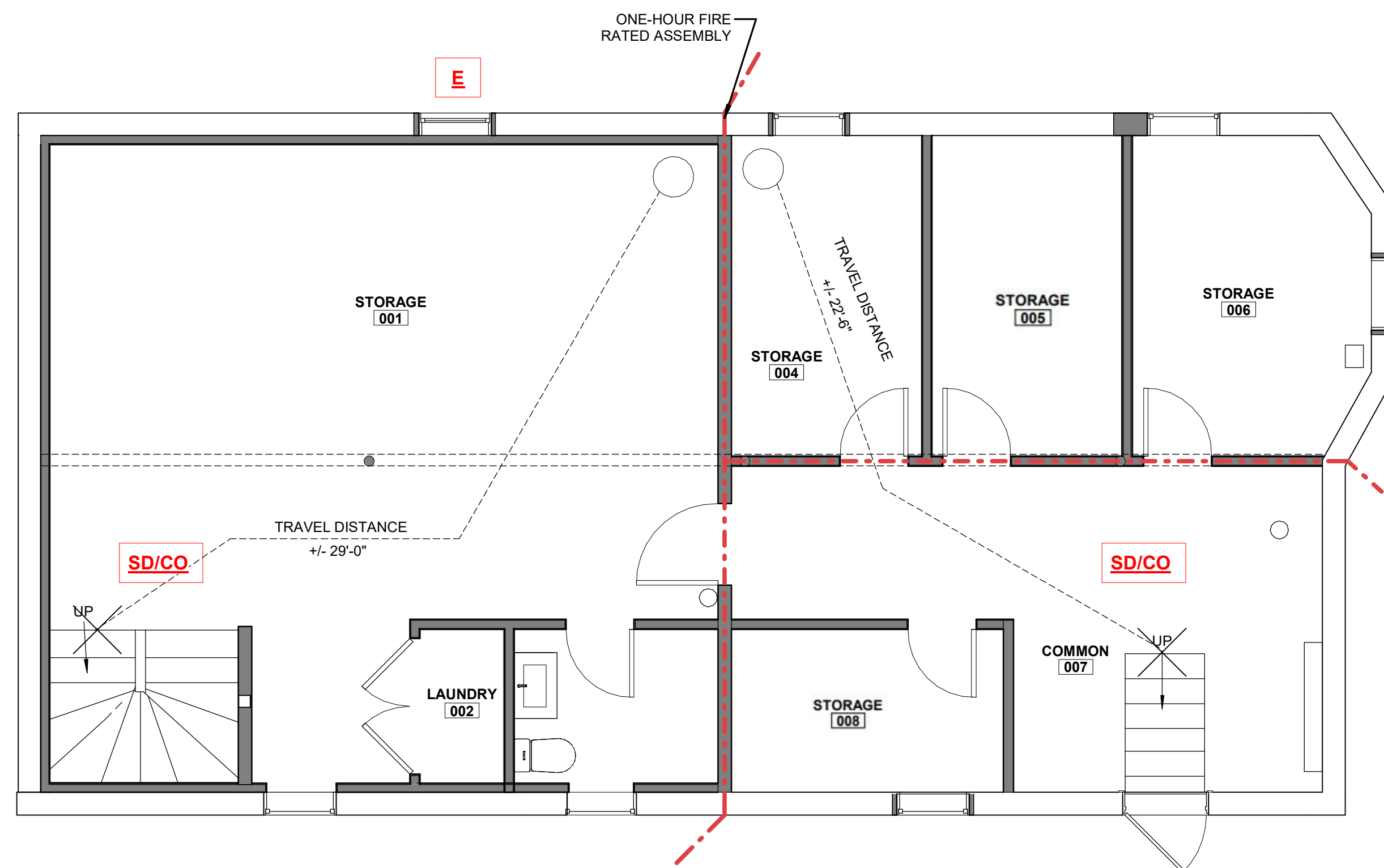
SCALE: As indicated

DATE: 05.20.2022

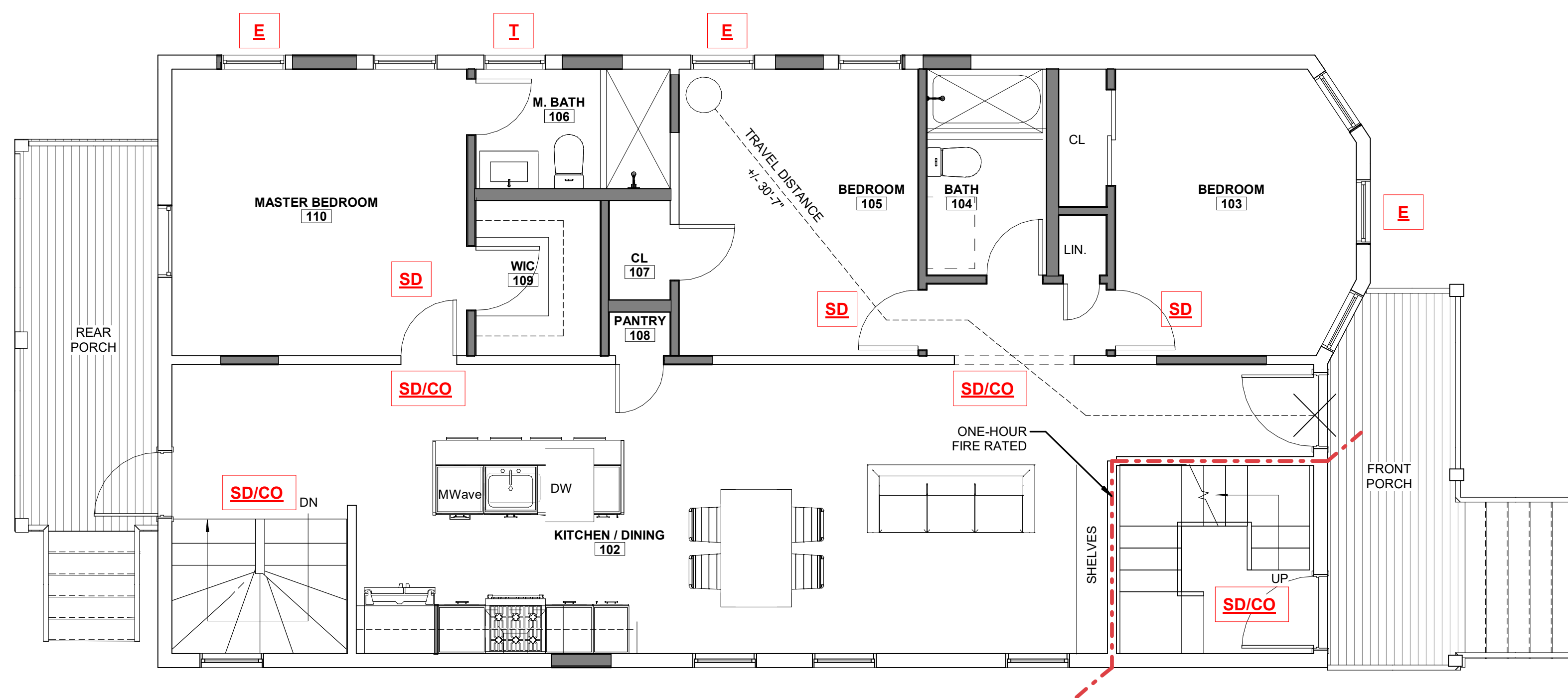
PROJECT NO.: 22129

DRAWING NO.: T-101





1 LIFE SAFETY BASEMENT FLOOR PLAN
1/4" = 1'-0"



2 LIFE SAFETY FIRST FLOOR PLAN
1/4" = 1'-0"

INTERNATIONAL RESIDENTIAL CODE 2015 W/ MA AMMENDMENTS 780 CMR 51 RESIDENTIAL BUILDING CODE:

Smoke alarms shall be the photoelectric type listed in accordance with UL 217 or UL 268. Combination smoke and carbon monoxide alarms shall be listed in accordance with UL 217 and UL 2034. (R314.1.1). Hardwired and interconnected smoke alarms shall be required in the following locations as per International Residential Code for 1 and 2 Family Dwellings R314.3 with Massachusetts Amendments:

- In each sleeping room
- Outside each separate sleeping area in the immediate vicinity of the bedrooms.
- On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics.
- In dwellings or dwelling units with split level and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- Smoke alarms shall be installed not less than 3 feet horizontally from the door opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by section R314.3
- For each 1,000 sf of area or part thereof.
- Near all stairs

A single heat detector listed for the ambient environment shall be installed in:

- Any garage attached to or under the dwelling (detached garages do not require a heat detector. A new garage attached to an existing dwelling. If the existing house contains a fire detection system that is compatible with the garage heat detector, then the detector shall be interconnected to that system. Where the existing system is not compatible with the garage heat detector, the garage heat detector shall be connected to an alarm or compatible heat detector containing an alarm, located in the dwelling and within 20 ft of the nearest door to the garage from the dwelling. An alarm is not required in the garage, either integral or separate from the heat detector.

R315.53 Carbon monoxide alarms in dwelling units shall be outside of each separate sleeping area within ten feet to the bedrooms. Where a fuel burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom. At least one alarm shall be installed on each story of a dwelling unit, including basements and cellars but not in crawl spaces and uninhabitable attics.

LIFE SAFETY LEGEND

	1 HOUR FIRE RATED ASSEMBLY
	EXIT LOCATION
	EXTERIOR EXIT DOOR
	LENGTH OF TRAVEL - EGRESS
	SMOKE DETECTOR
	SMOKE DETECTOR & CARBON MONOXIDE COMBO
	EGRESS WINDOW AT LEAST ONE SHALL COMPLY @ EACH BEDROOM IF NOT ALL
	TEMPERED GLASS LOCATION AS PE CODE

PROJECT SPECIFIC NOTES

- (A) 1 HOUR RATED SEPARATION PER IBC 2015 TABLE 508.2.5

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89-91 CLIFTON ST. HOME RENO

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Flow Design Inc.

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CEL: 978.818.5109
CEL: 774.317.0491

CONTRACTOR/OWNER:

NELSONGROUP

MEDFORD, MA 02155
264 SALEM ST.
MEDFORD, MA 02155
TEL: 617.300.0188

CONSULTANT:

REVISION:

NO:	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

DRAWING TITLE:
LIFE SAFETY PLAN

DRAWN BY: JG
CHECKED BY: DF
SCALE: As indicated
DATE: 05.20.2022
PROJECT NO.: 22129

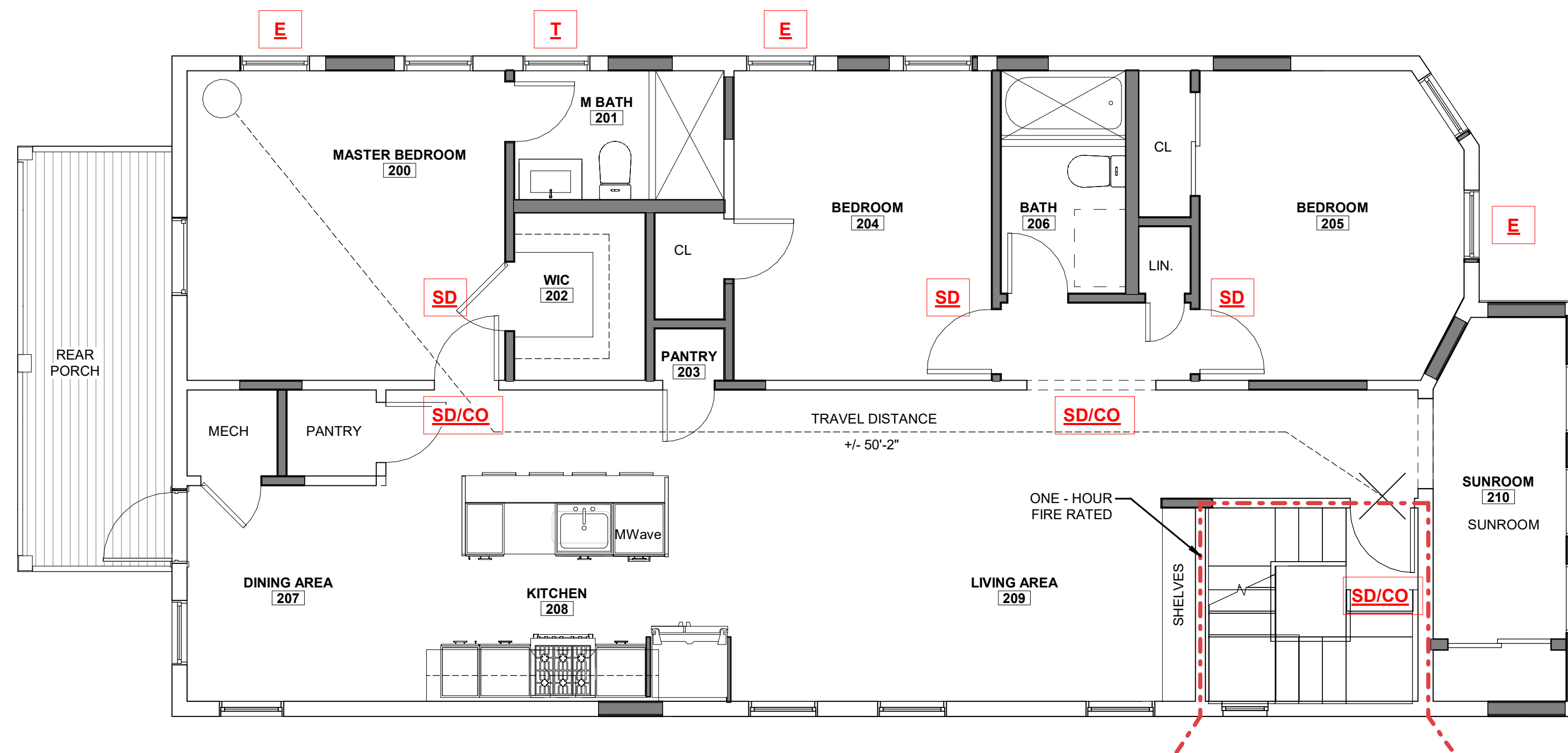
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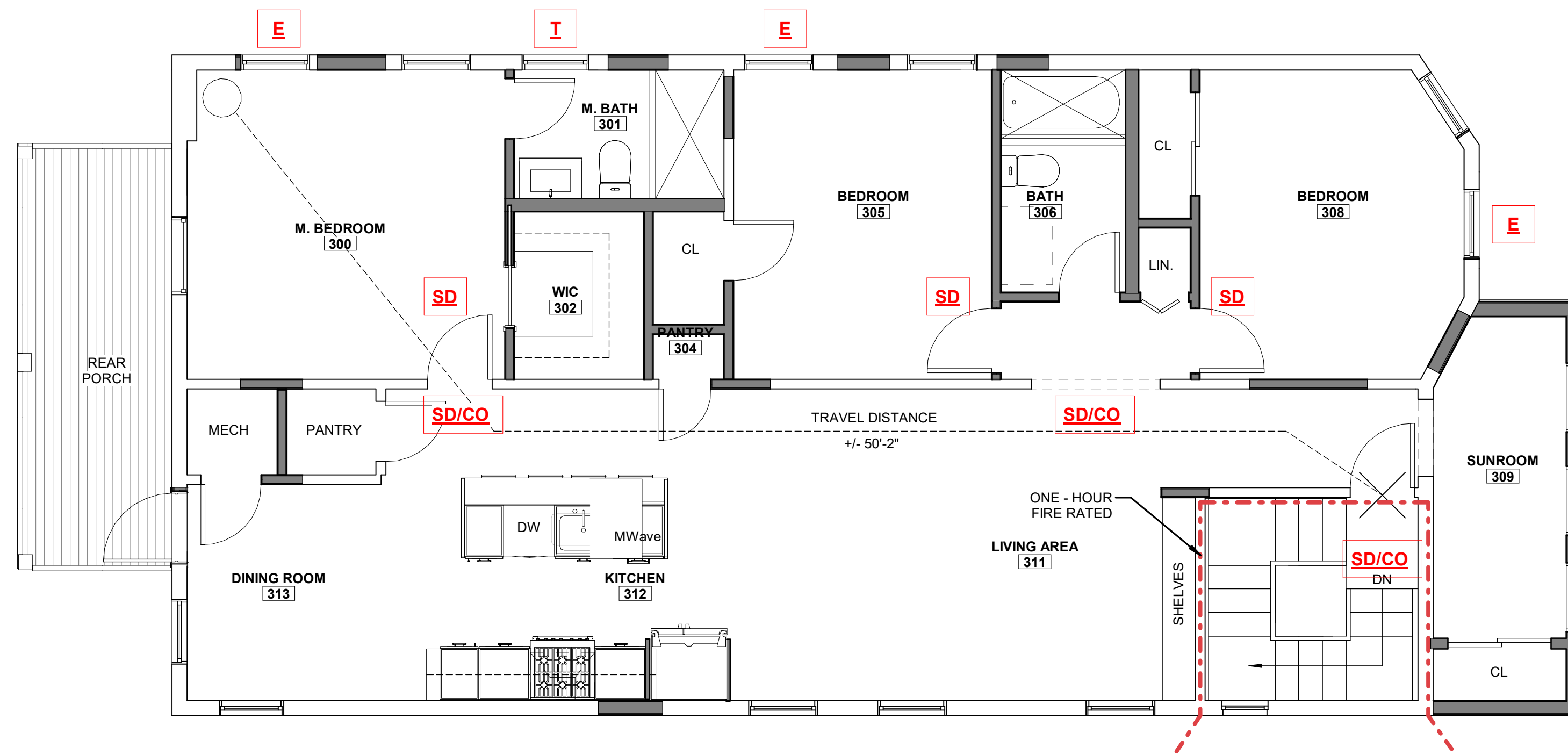
DRAWING NO.:

LS-00

PROJECT LOCATION:
2389 - 91 Clifton St, Cambridge1 - Plans\CAD-BIM Files\22129 89-91 CLIFTON ST PERMIT SET_5-9-2022.rvt



① LIFE SAFETY SECOND FLOOR PLAN
1/4" = 1'-0"



② LIFE SAFETY THIRD FLOOR PLAN
1/4" = 1'-0"

INTERNATIONAL RESIDENTIAL CODE 2015 W/ MA AMMENDMENTS 780 CMR 51 RESIDENTIAL BUILDING CODE:

Smoke alarms shall be the photoelectric type listed in accordance with UL 217 or UL 268. Combination smoke and carbon monoxide alarms shall be listed in accordance with UL 217 and UL 2034. (R314.1.1). Hardwired and interconnected smoke alarms shall be required in the following locations as per International Residential Code for 1 and 2 Family Dwellings R314.3 with Massachusetts Amendments:

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5. Smoke alarms shall be installed not less than 3 feet horizontally from the door opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by section R314.3
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7. Near all stairs

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R315.53 Carbon monoxide alarms in dwelling units shall be outside of each separate sleeping area within ten feet to the bedrooms. Where a fuel burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom. At least one alarm shall be installed on each story of a dwelling unit, including basements and cellars but not in crawl spaces and uninhabitable attics.

LIFE SAFETY LEGEND

	1 HOUR FIRE RATED ASSEMBLY
	EXIT LOCATION
	EXTERIOR EXIT DOOR
	LENGTH OF TRAVEL - EGRESS
	SMOKE DETECTOR
	SMOKE DETECTOR & CARBON MONOXIDE COMBO
	EGRESS WINDOW AT LEAST ONE SHALL COMPLY @ EACH BEDROOM IF NOT ALL
	TEMPERED GLASS LOCATION AS PE CODE

PROJECT SPECIFIC NOTES

- (A) 1 HOUR RATED SEPARATION PER IBC 2015 TABLE 508.2.5

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89-91 CLIFTON ST. HOME RENO

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CEL: 978.818.5109
CEL: 774.317.0491

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MEDFORD, MA 02155
TEL: 617.300.0188

CONSULTANT:

REVISION:

NO:	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

**DRAWING TITLE:
LIFE SAFETY PLAN**

DRAWN BY:

JG

CHECKED BY:

DF

SCALE:

As indicated

DATE:

05.20.2022

PROJECT NO.:

22129

DRAWING NO.:

LS-01

SEAL:



PARTITION
EXISTING WALL, VERIFY CONSTRUCTION IN FIELD

**EXISTING CONDITIONS
GENERAL NOTES**

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUBCONTRACTOR TO REVIEW EXISTING CONDITIONS OF THE BUILDING AND TO INFORM THE ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS.

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CONSULTANT:

REVISION:

NO.	DATE	DESCRIPTION
1	05.20.2022	PERMIT SET

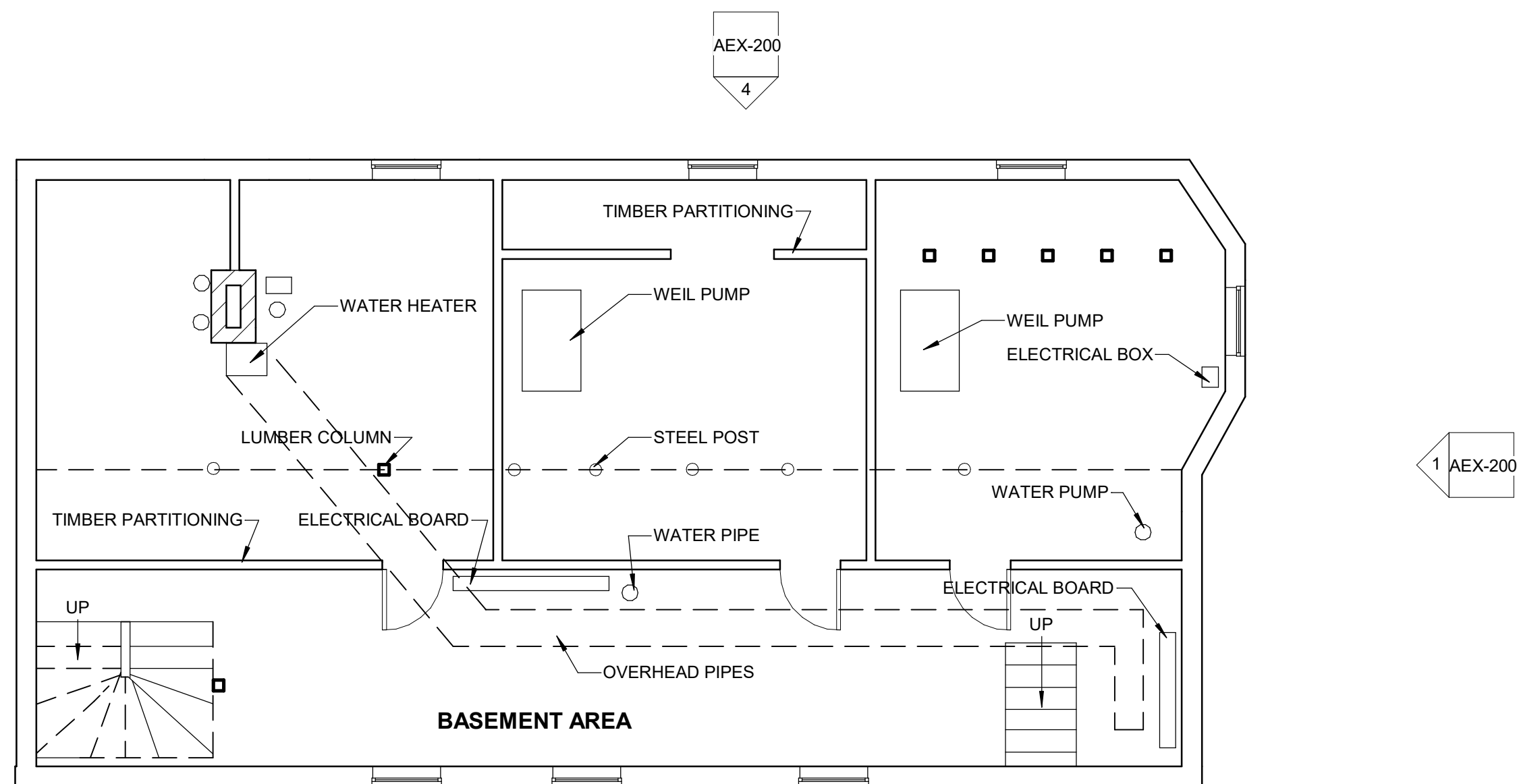
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EXISTING FLOOR PLANS

DRAWN BY:	JG	SEAL:
CHECKED BY:	DF	
SCALE:	As indicated	
DATE:	05.20.2022	
PROJECT NO.:	22129	

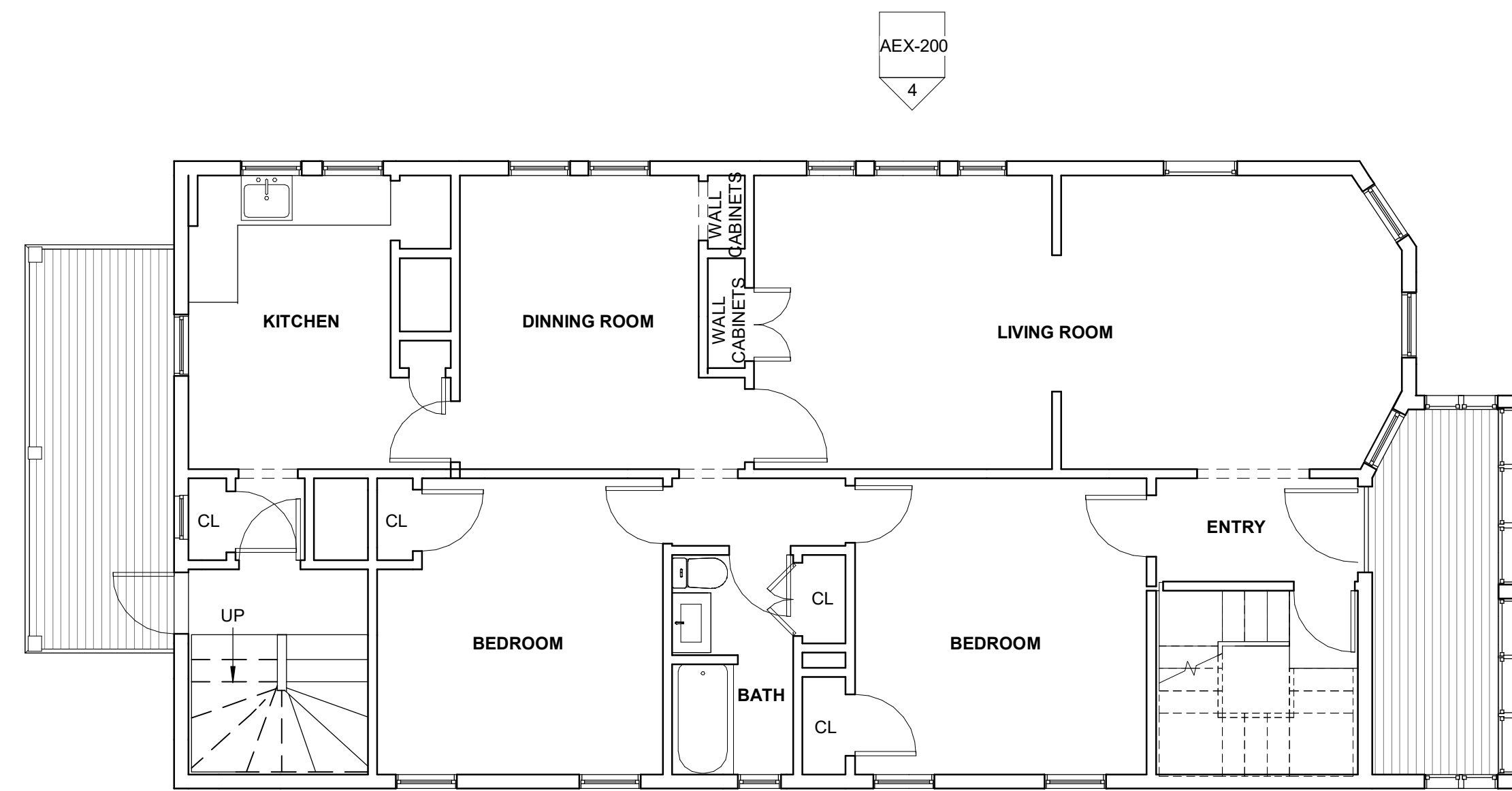
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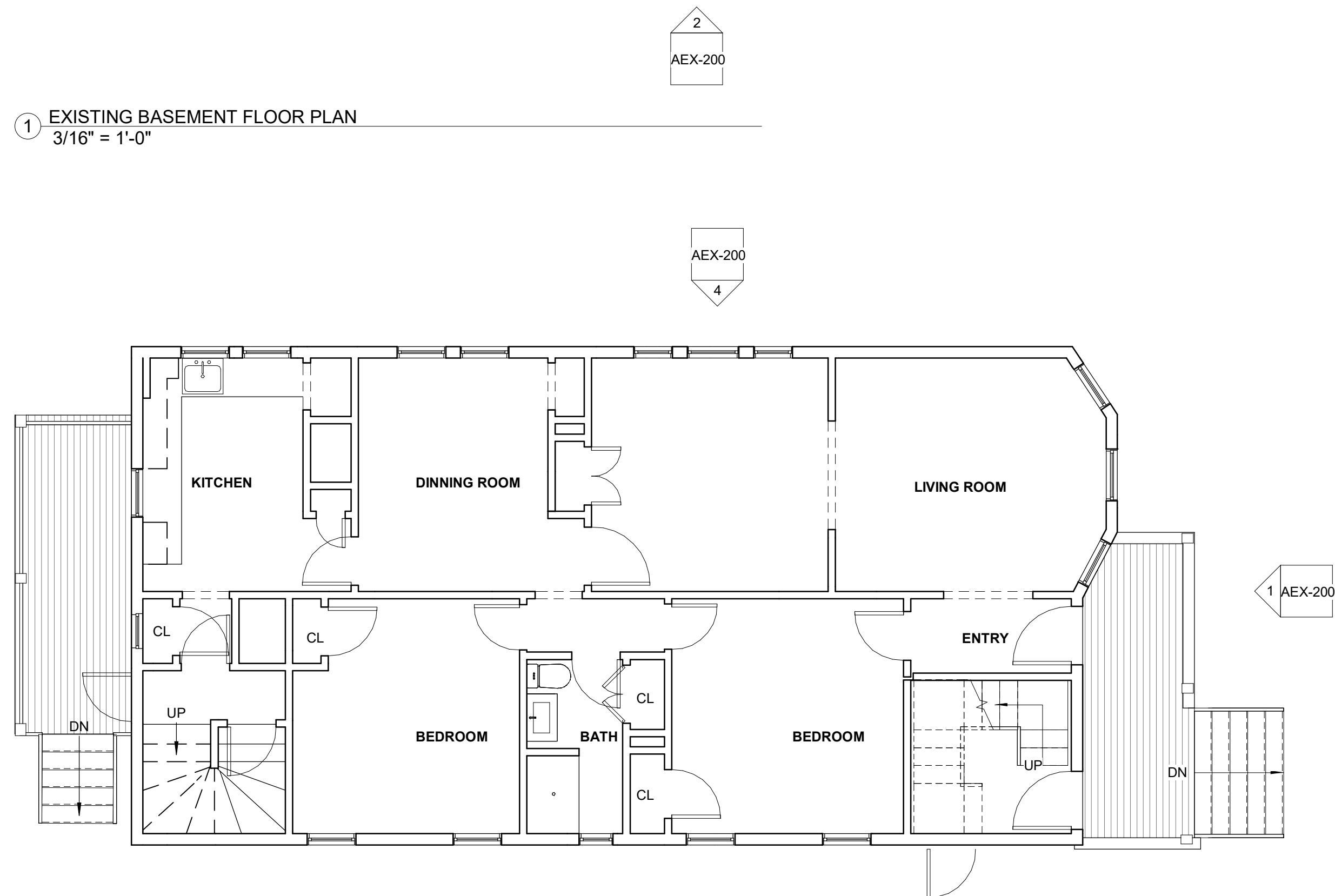
PROJECT LOCATION:
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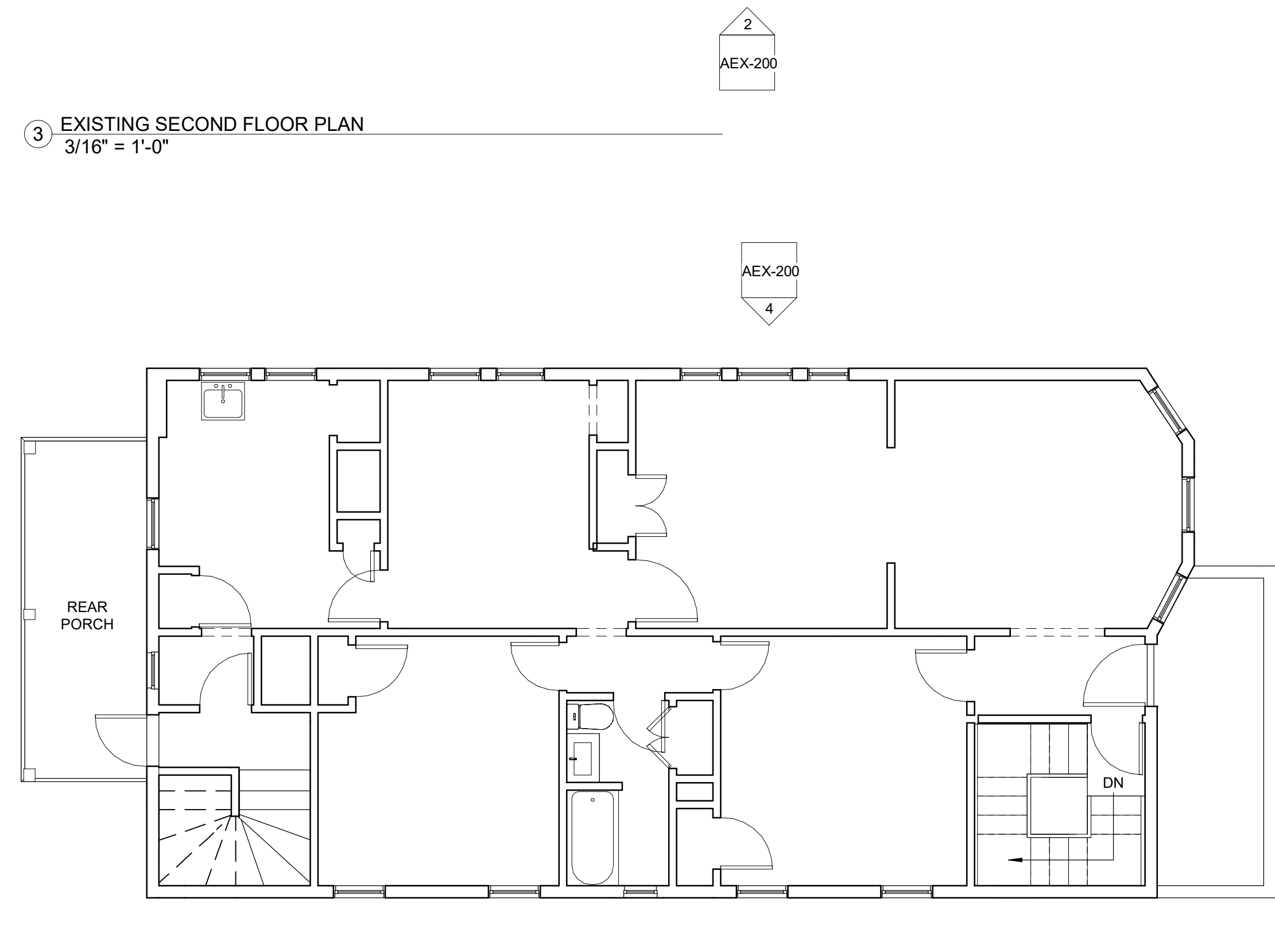
1 EXISTING BASEMENT FLOOR PLAN
3/16" = 1'-0"



3 EXISTING SECOND FLOOR PLAN
3/16" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
3/16" = 1'-0"



4 EXISTING THIRD FLOOR PLAN
3/16" = 1'-0"

PARTITION	
	EXISTING WALL, VERIFY CONSTRUCTION IN FIELD

EXISTING CONDITIONS
GENERAL NOTES
 IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUBCONTRACTOR TO REVIEW EXISTING CONDITIONS OF THE BUILDING AND TO INFORM THE ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS.

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CONTRACTOR/OWNER:



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 MEDFORD, MA 02155
 TEL: 617.300.0188

CONSULTANT:

REVISION:

NO:	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

DRAWING TITLE:
EXISTING ELEVATIONS

DRAWN BY:
IP

CHECKED BY:
DF

SCALE:
As indicated

DATE:
05.20.2022

PROJECT NO.:
22129

SEAL:



DRAWING NO.:
AEX-200

PROJECT LOCATION:
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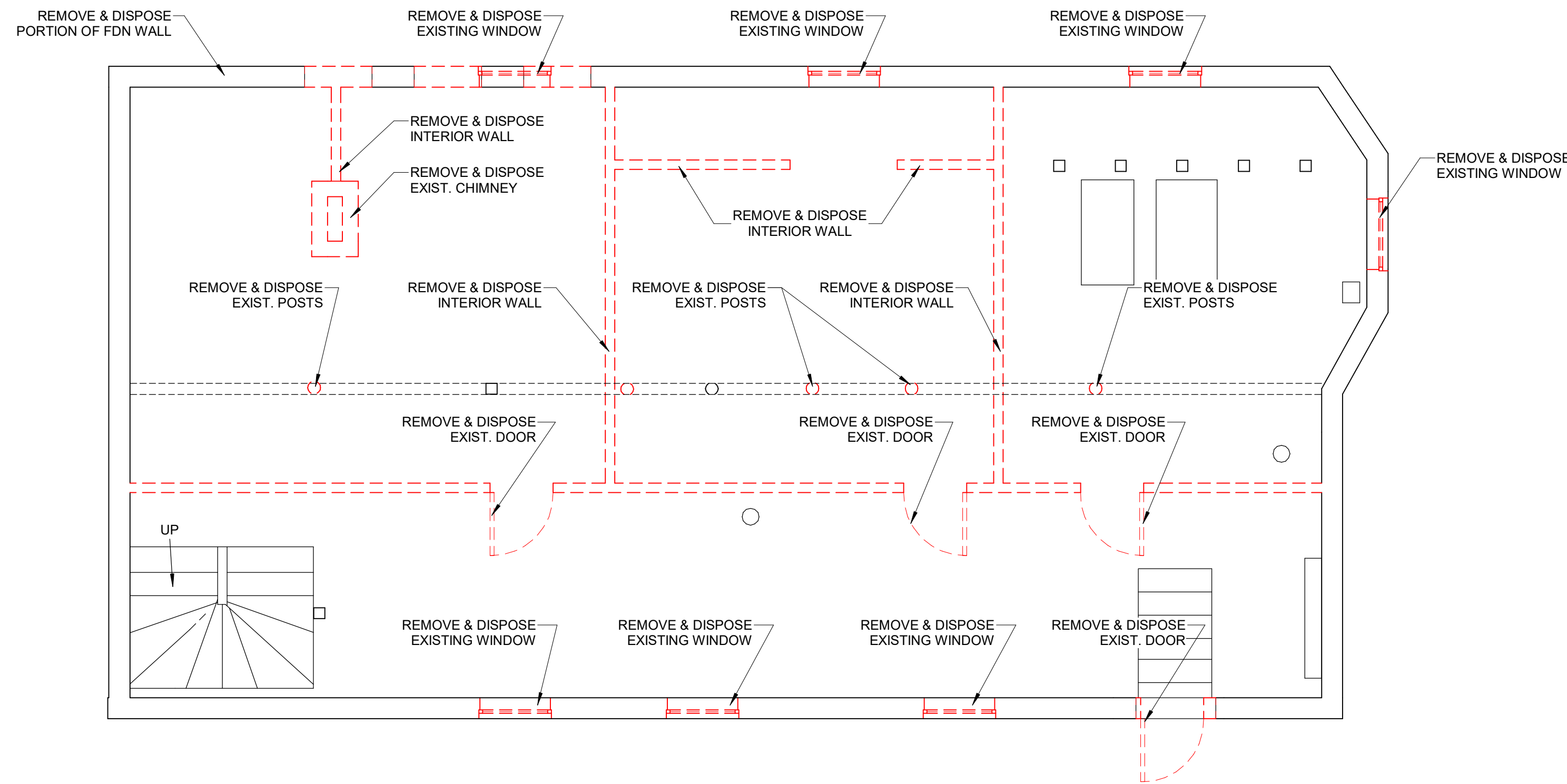
① EXISTING FRONT ELEVATION
 1/4" = 1'-0"

② EXISTING LEFT ELEVATION
 1/4" = 1'-0"

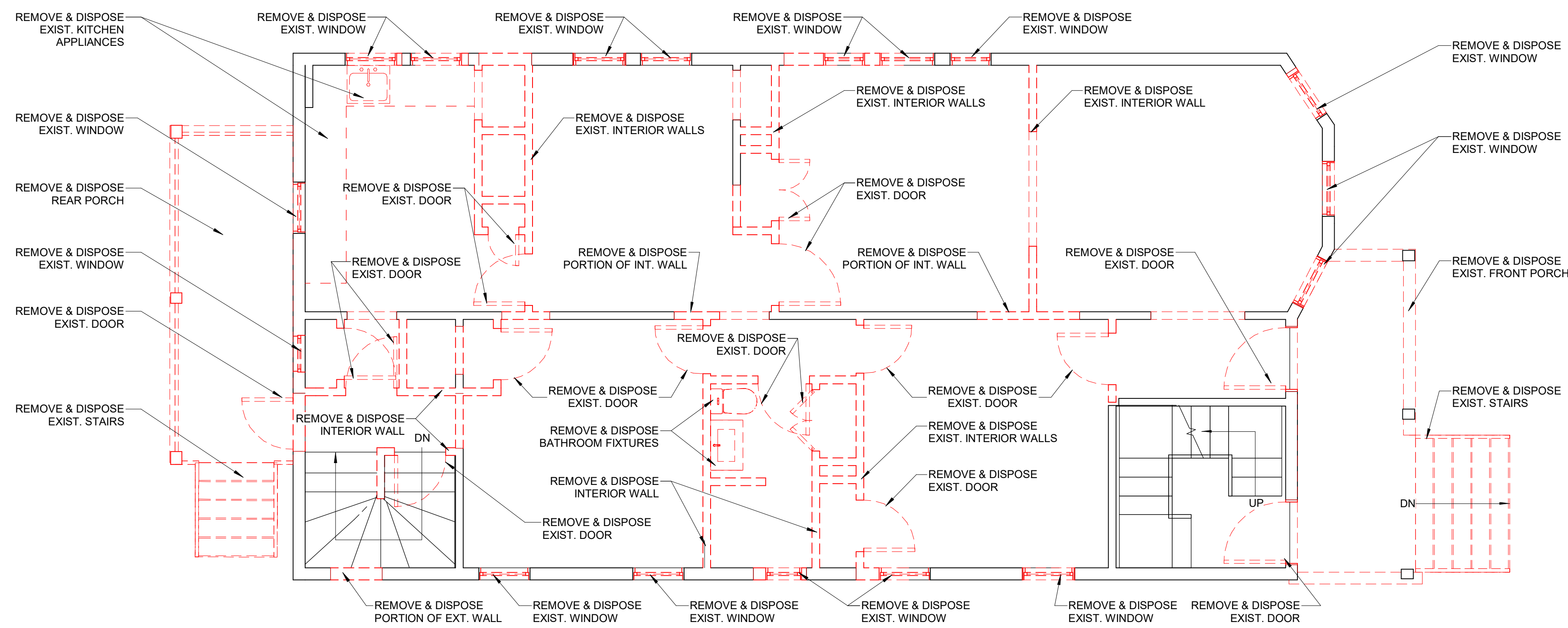


③ EXISTING REAR ELEVATION
 1/4" = 1'-0"

④ EXISTING RIGHT ELEVATION
 1/4" = 1'-0"



1 DEMO BASEMENT FLOOR
1/4" = 1'-0"



2 DEMO FIRST FLOOR
1/4" = 1'-0"

EXISTING TO BE REMOVED	
	ITEM TO BE REMOVED
	EXISTING TO BE REMOVED
	EXISTING TO REMAIN

GENERAL NOTES:

- ALL INTERIOR DIMENSIONS ARE TO INTERIOR FACE OF GWB. U.N.O.
- PROVIDE BLOCKING AT ALL WALLS W/ WALL MOUNTED FIXTURES AND ACCESSORIES. TYP.
- CONFIRM CEILING HEIGHTS IN FIELD.

GENERAL DEMOLITION NOTES:

- REMOVE AND DISPOSE EXISTING INTERIOR PARTITIONS AS INDICATED ON THE PLAN
- REMOVE AND DISCARD EXISTING INTERIOR DOORS AND FRAMES AS INDICATED ON THE PLAN.
- PATCH AND MATH CEILINGS AS NEEDED. CONFIRM AND COORDINATE WITH OWNER .
- PATCH AND REPAIR EXISTING WALLS TO REMAIN AS REQUIRED.
- PATCH AND REPAIR WALLS AND FINISHED ADJACENT TO AREAS OF DEMOLITION AS REQUIRED.
- COORDINATE REMOVAL AND RELOCATION OF EXISTING FURNITURE WITH OWNER.
- REMOVE AND DISCARD ANY EXISTING MILLWORK. CONFIRM AND COORDINATE WITH OWNER .
- PROTECT ALL AREAS NOT BEING AFFECTED BY DEMOLITION.
- REMOVE FOR REUSE & STORAGE ALL EXISTING LIGHT FIXTURES.CONFIRM AND COORDINATE WITH OWNER .
- OWNER, GC, AND ARCHITECT TO WALK THROUGH AND MARK ALL EXISTING OUTLETS/DATA PORTS TO REMAIN. THESE OUTLETS/DATA PORTS MAY REQUIRE NEW PLATES AND/OR DEVICES.
- GC TO PERFORM EXPLORATORY PROBES AT THICKENED WALL AREAS TO CONFIRM NO STRUCTURAL COLUMNS, DUCTS, PLUMBING, OR CHASES EXIST IN THESE CAVITIES PRIOR TO GENERAL DEMOLITION.
- GC TO CUT BACK AND CAP ALL UNUSED WATER SUPPLY LINES BACK TO SOURCE.
- REVIEW SPECIFICATIONS FOR ADDITIONAL DEMOLITION NOTES.

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89-91 CLIFTON ST. HOME RENO

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CAMBRIDGE, MA 02140

NELSON GROUP

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CONTRACTOR/OWNER:



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264 SALEM ST.
MEDFORD, MA 02155
TEL: 617.300.0188

CONSULTANT:

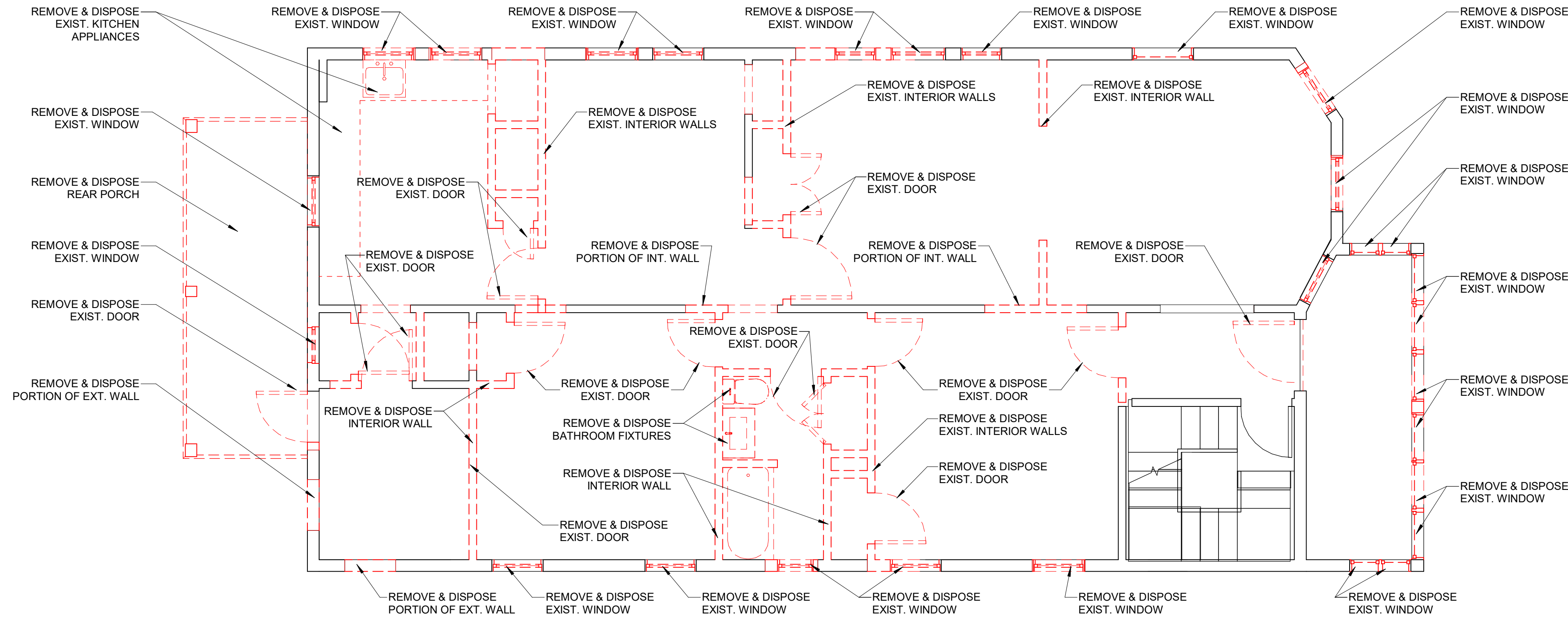
REVISION:

NO:	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

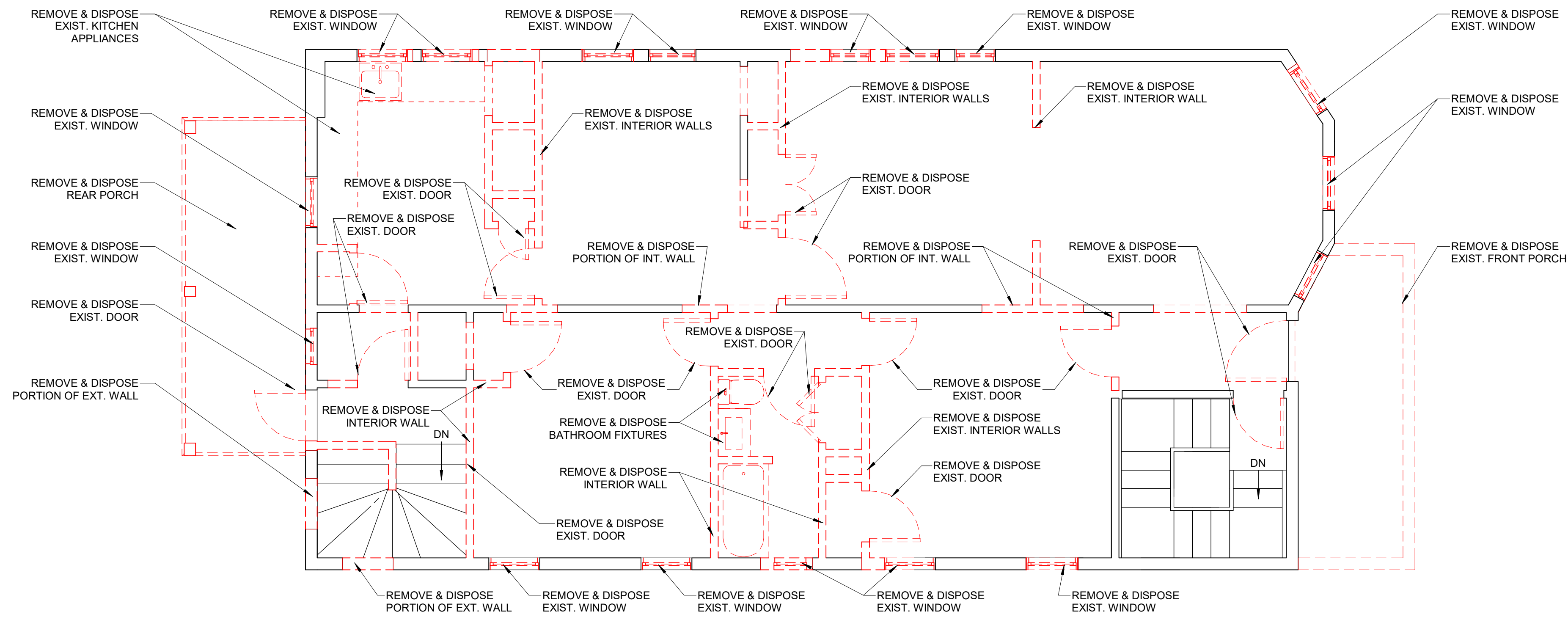
DRAWING TITLE: DEMO BASEMENT & FIRST FLOOR PLAN

DRAWN BY: JG	SEAL:
CHECKED BY: DF	
SCALE: As indicated	
DATE: 05.20.2022	
PROJECT NO.: 22129	
DRAWING NO.: AD-100	

PROJECT LOCATION:
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1 DEMOLITION SECOND FLOOR
1/4" = 1'-0"



2 DEMOLITION THIRD FLOOR
1/4" = 1'-0"

EXISTING TO BE REMOVED	
[Red dashed line]	ITEM TO BE REMOVED
[Red dashed line]	EXISTING TO BE REMOVED
[Solid line]	EXISTING TO REMAIN

GENERAL NOTES:
 1. ALL INTERIOR DIMENSIONS ARE TO INTERIOR FACE OF GWB. U.N.O.
 2. PROVIDE BLOCKING AT ALL WALLS W/ WALL MOUNTED FIXTURES AND ACCESSORIES. TYP.
 3. CONFIRM CEILING HEIGHTS IN FIELD.

GENERAL DEMOLITION NOTES:
 1. REMOVE AND DISPOSE EXISTING INTERIOR PARTITIONS AS INDICATED ON THE PLAN
 2. REMOVE AND DISCARD EXISTING INTERIOR DOORS AND FRAMES AS INDICATED ON THE PLAN
 3. PATCH AND MATH CEILINGS AS NEEDED. CONFIRM AND COORDINATE WITH OWNER.
 4. PATCH AND REPAIR EXISTING WALLS TO REMAIN AS REQUIRED.
 5. PATCH AND REPAIR WALLS AND FINISHED ADJACENT TO AREAS OF DEMOLITION AS REQUIRED.
 6. COORDINATE REMOVAL AND RELOCATION OF EXISTING FURNITURE WITH OWNER.
 7. REMOVE AND DISCARD ANY EXISTING MILLWORK. CONFIRM AND COORDINATE WITH OWNER.
 8. PROTECT ALL AREAS NOT BEING AFFECTED BY DEMOLITION.
 9. REMOVE FOR REUSE & STORAGE ALL EXISTING LIGHT FIXTURES. CONFIRM AND COORDINATE WITH OWNER.
 10. OWNER, GC, AND ARCHITECT TO WALK THROUGH AND MARK ALL EXISTING OUTLETS/DATA PORTS TO REMAIN. THESE OUTLETS/DATA PORTS MAY REQUIRE NEW PLATES AND/OR DEVICES.
 11. GC TO PERFORM EXPLORATORY PROBES AT THICKENED WALL AREAS TO CONFIRM NO STRUCTURAL COLUMNS, DUCTS, PLUMBING, OR CHASES EXIST IN THESE CAVITIES PRIOR TO GENERAL DEMOLITION.
 12. GC TO CUT BACK AND CAP ALL UNUSED WATER SUPPLY LINES BACK TO SOURCE.
 13. REVIEW SPECIFICATIONS FOR ADDITIONAL DEMOLITION NOTES.

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NELSON GROUP

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 TEL: 817.300.0188

CONSULTANT:

REVISION:

NO:	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

DRAWING TITLE:
DEMO SECOND & ATTIC FLOOR PLAN

DRAWN BY:
JG
 CHECKED BY:
DF
 SCALE:
As indicated
 DATE:
05.20.2022
 PROJECT NO.:
22129



DRAWING NO.:

AD-101

PROJECT LOCATION:
 C:\Users\pelo\Downloads\22129 89-91 CLIFTON ST PERMIT SET_CLEAN.rvt

EXISTING TO BE REMOVED	
	ITEM TO BE REMOVED
	EXISTING TO BE REMOVED
	EXISTING TO REMAIN

GENERAL NOTES:

- ALL INTERIOR DIMENSIONS ARE TO INTERIOR FACE OF GWB. U.N.O.
- PROVIDE BLOCKING AT ALL WALLS W/ WALL MOUNTED FIXTURES AND ACCESSORIES. TYP.
- CONFIRM CEILING HEIGHTS IN FIELD.

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NELSON GROUP



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 PLANNING TEL: 978.498.4370
 INTERIOR DESIGN TEL: 978.818.5109
 C.E.L.: 774.317.0491



CONSULTANT:

REVISION:

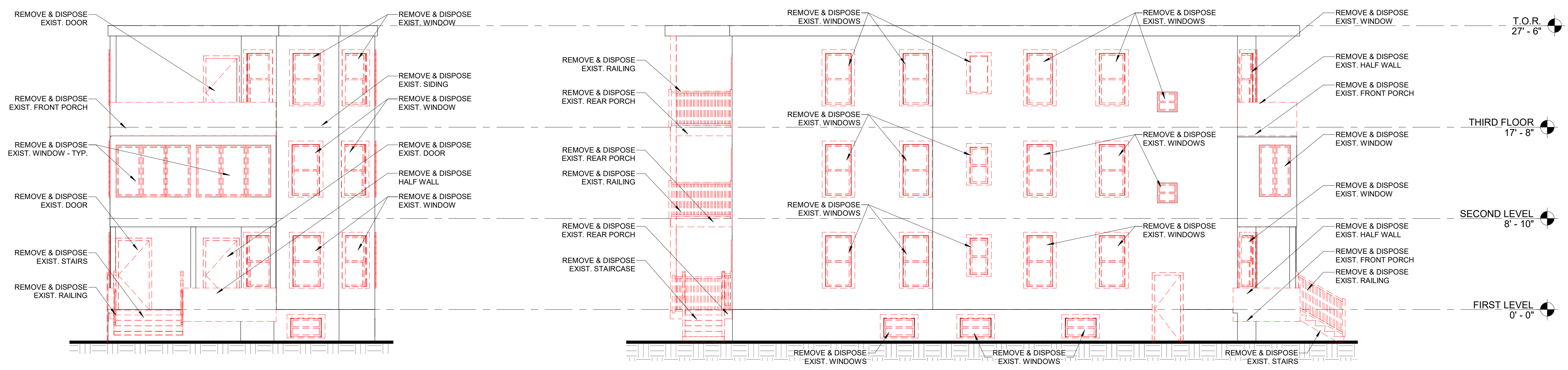
NO.	DATE	DESCRIPTION
1	05.20.2022	PERMIT SET

DRAWING TITLE: DEMO ELEVATIONS

DRAWN BY: IP	SEAL:
CHECKED BY: DF	
SCALE: As indicated	
DATE: 05.20.2022	
PROJECT NO.: 22129	

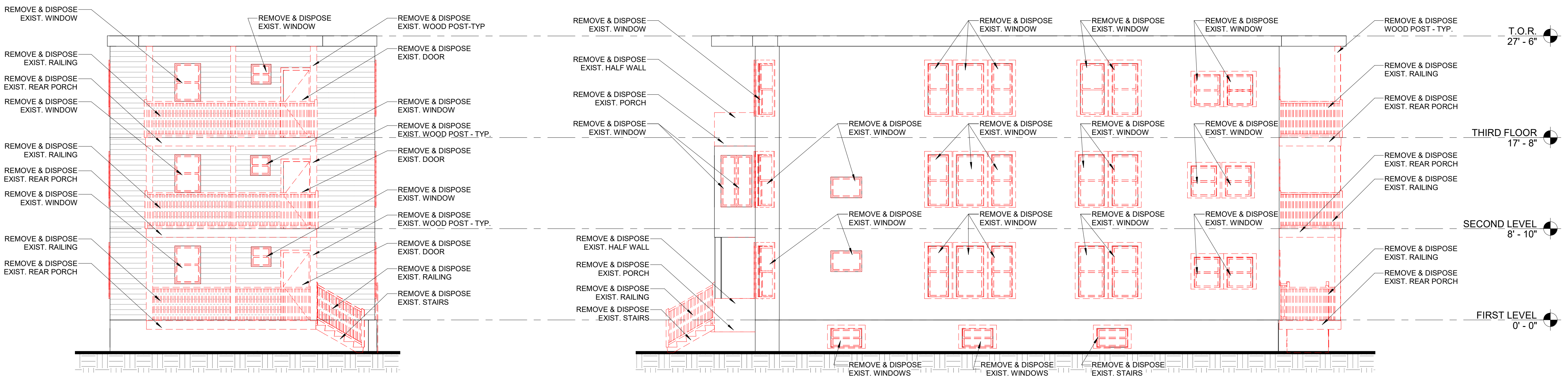
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PROJECT LOCATION:
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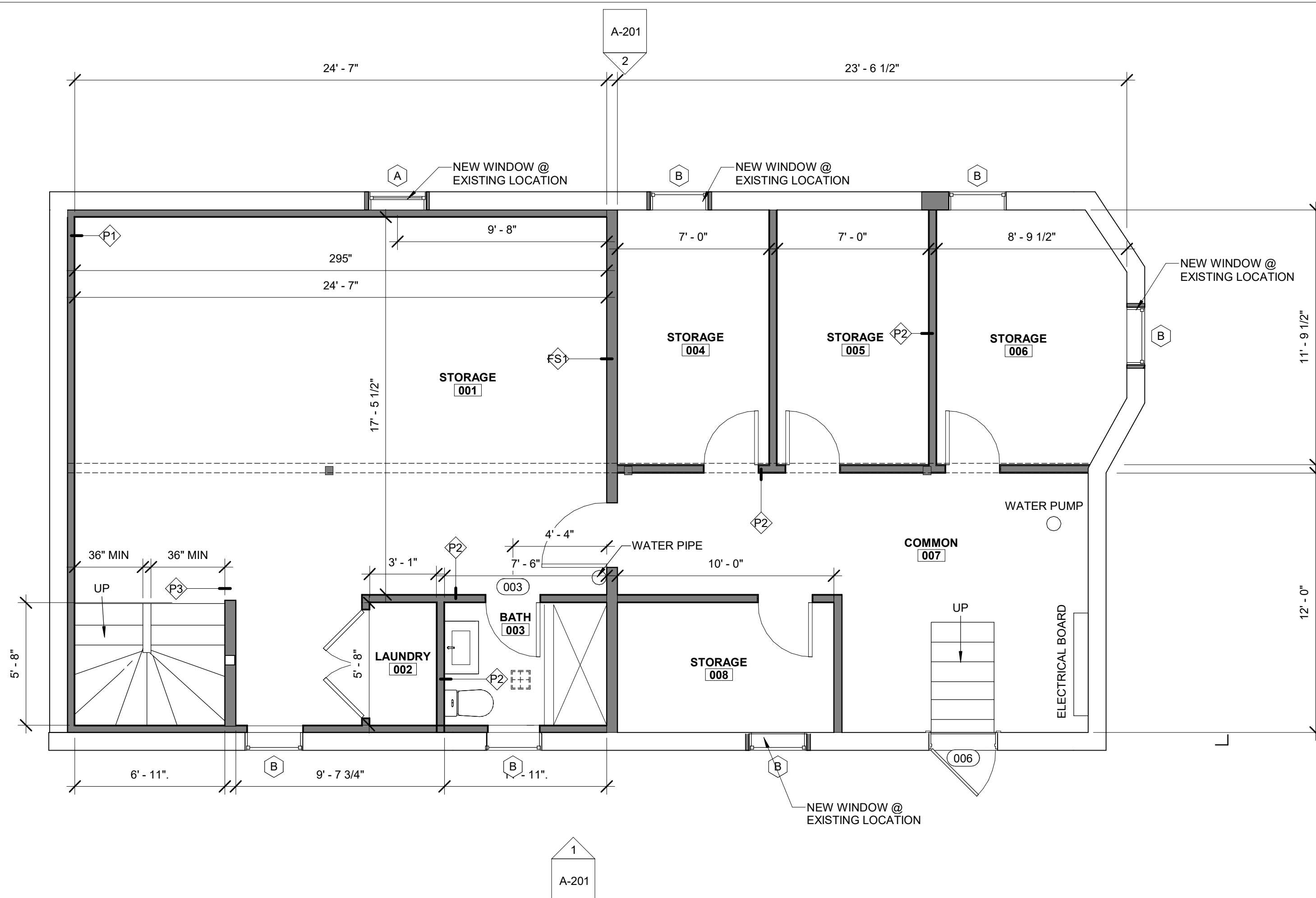
1 DEMO FRONT ELEVATION
3/16" = 1'-0"

2 DEMO LEFT ELEVATION
3/16" = 1'-0"

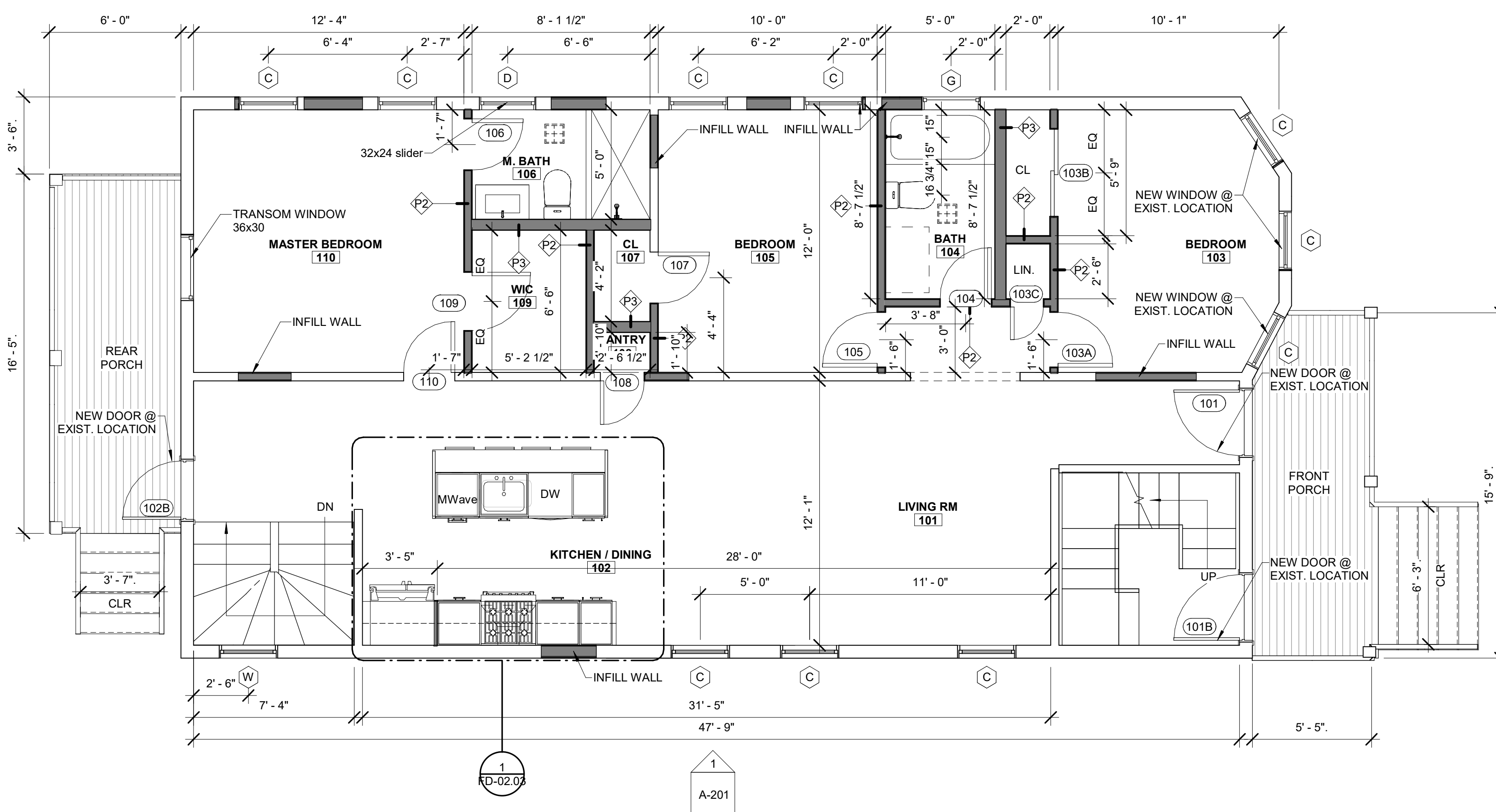


3 EXISTING REAR ELEVATION Copy 1
3/16" = 1'-0"

4 EXISTING RIGHT ELEVATION Copy 1
3/16" = 1'-0"



1 PROPOSED BASEMENT FLOOR
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR
1/4" = 1'-0"

EXISTING & NEW WALLS	
	NEW WALL
	EXISTING TO REMAIN

GENERAL CONTRACTOR NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL ADHERE TO ALL APPLICABLE CODES AND REGULATIONS.
- CONTRACTOR SHALL INFORM ARCHITECT OF ANY ERRORS OR DEVIATIONS PRIOR TO CONTINUING WORK.
- CONTRACTOR SHALL COORDINATE WITH EACH SUB-CONTRACTOR AND ENSURE TO MEET ALL CODE AND SAFETY REQUIREMENTS.

GENERAL NOTES:

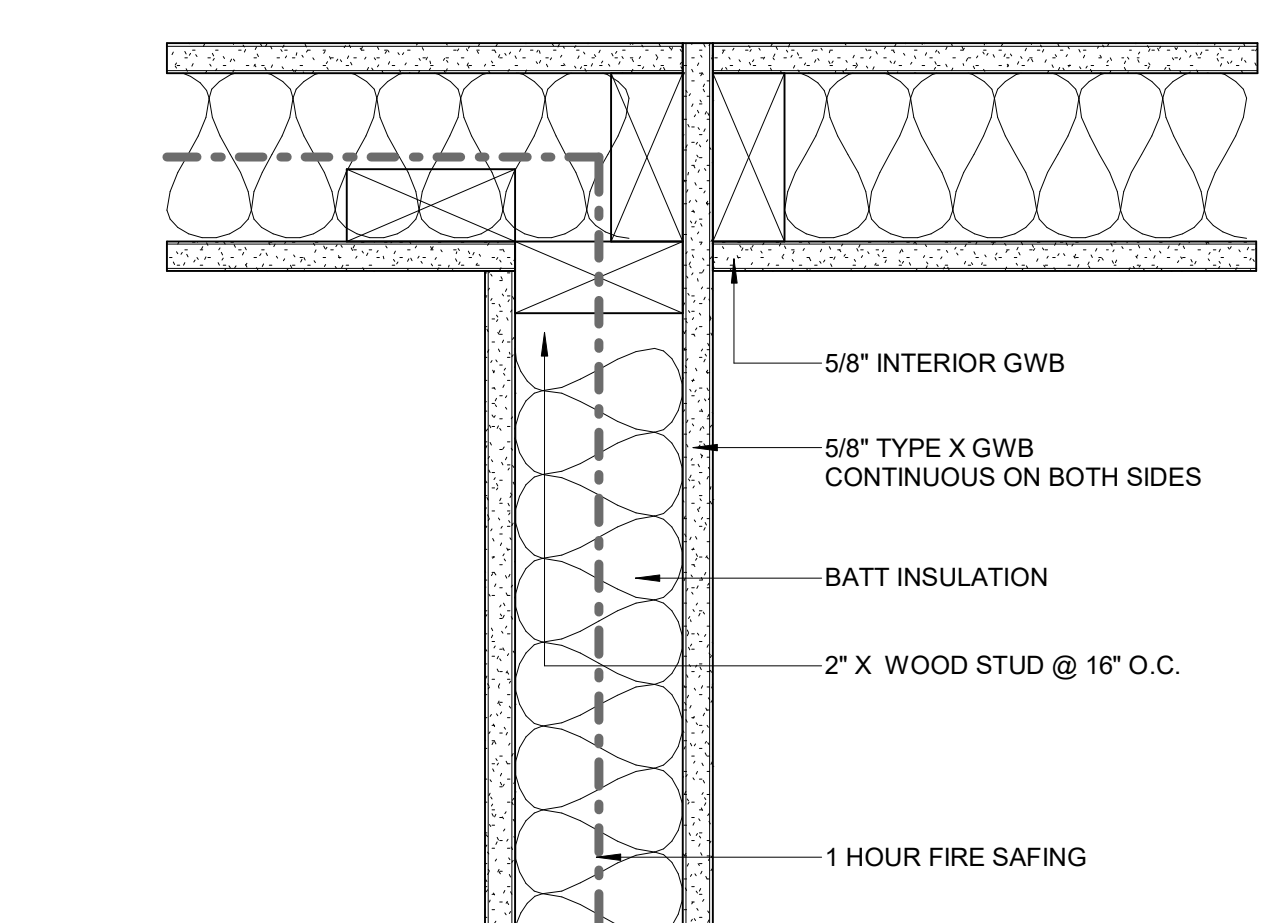
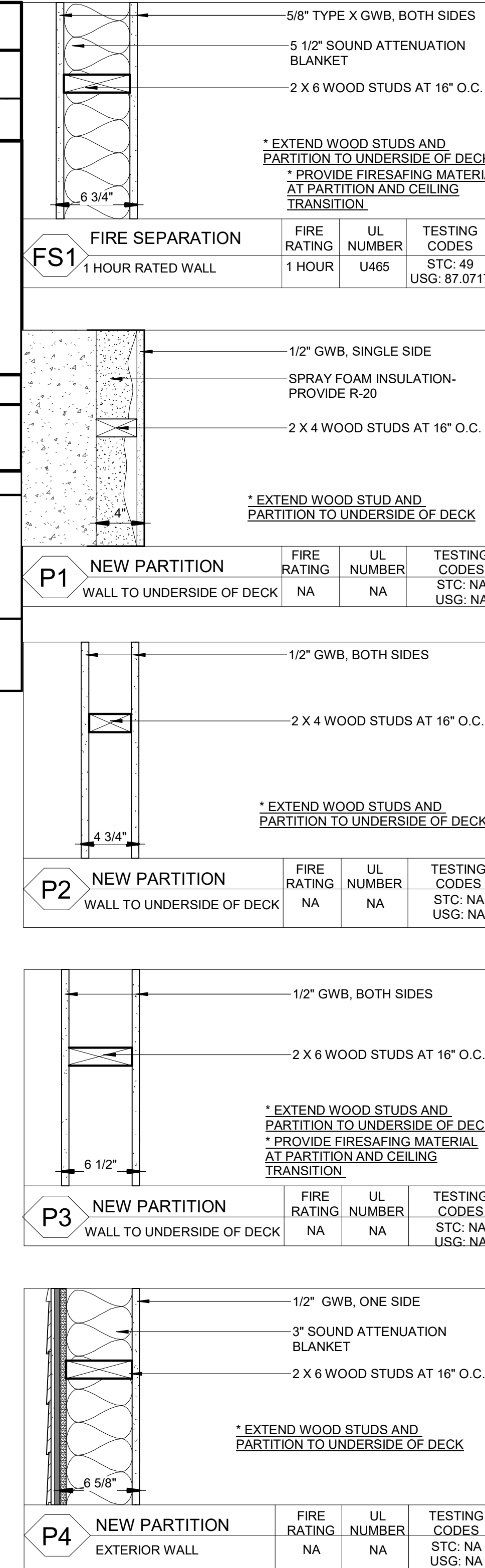
- ALL INTERIOR DIMENSIONS ARE TO INTERIOR FACE OF GWB. U.N.O.
- PROVIDE BLOCKING AT ALL WALLS W/ WALL MOUNTED FIXTURES AND ACCESSORIES. TYP.
- CONFIRM CEILING HEIGHTS IN FIELD.

GENERAL LIGHTING NOTE:

*CONTRACTOR SHALL ENSURE TO MAINTAIN ALL LIGHTING FIXTURE ALIGNMENTS. NOTIFY THE ARCHITECT IF CRITICAL ALIGNMENTS ARE TO CONFLICT WITH OTHER TRADES.

*CONTRACTOR TO COORDINATE ALL NEW HVAC LOCATION (RETURNS AND SUPPLY)

	EXHAUST FAN W/LIGHT
	ALL LIGHTS 2700K



TYPICAL DETAIL AT FIRE RATED INTERSECTION
3" = 1'-0"

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89-91 CLIFTON ST. HOME RENO

89 CLIFTON ST,
CAMBRIDGE, MA 02140

NELSON GROUP

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Flow Design Inc.

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CONTRACTOR/OWNER:

NELSONGROUP

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264 SALEM ST.
MEDFORD, MA 02155
TEL: 617.300.0188

CONSULTANT:

REVISION:

NO.	DATE	DESCRIPTION
1	05.20.2022	PERMIT SET

DRAWING TITLE:
PROPOSED FLOOR PLANS

DRAWN BY:
IP

CHECKED BY:
DF

SCALE:
As indicated

DATE:
05.20.2022

PROJECT NO.:
22129

DRAWING NO.:
A-101

PROJECT LOCATION:
2189 - 91 Clifton St, Cambridge1 - Plans(CAD-BIM Files)22129 89-91 CLIFTON ST
PERMIT SET_5-2022.rvt

EXISTING & NEW WALLS	
	NEW WALL
	EXISTING TO REMAIN

- GENERAL CONTRACTOR NOTES:**
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CONSULTANT:

REVISION:

NO:	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

DRAWING TITLE:
PROPOSED FLOOR PLANS

DRAWN BY: IP
CHECKED BY: DF
SCALE: As indicated
DATE: 05.20.2022
PROJECT NO.: 22129

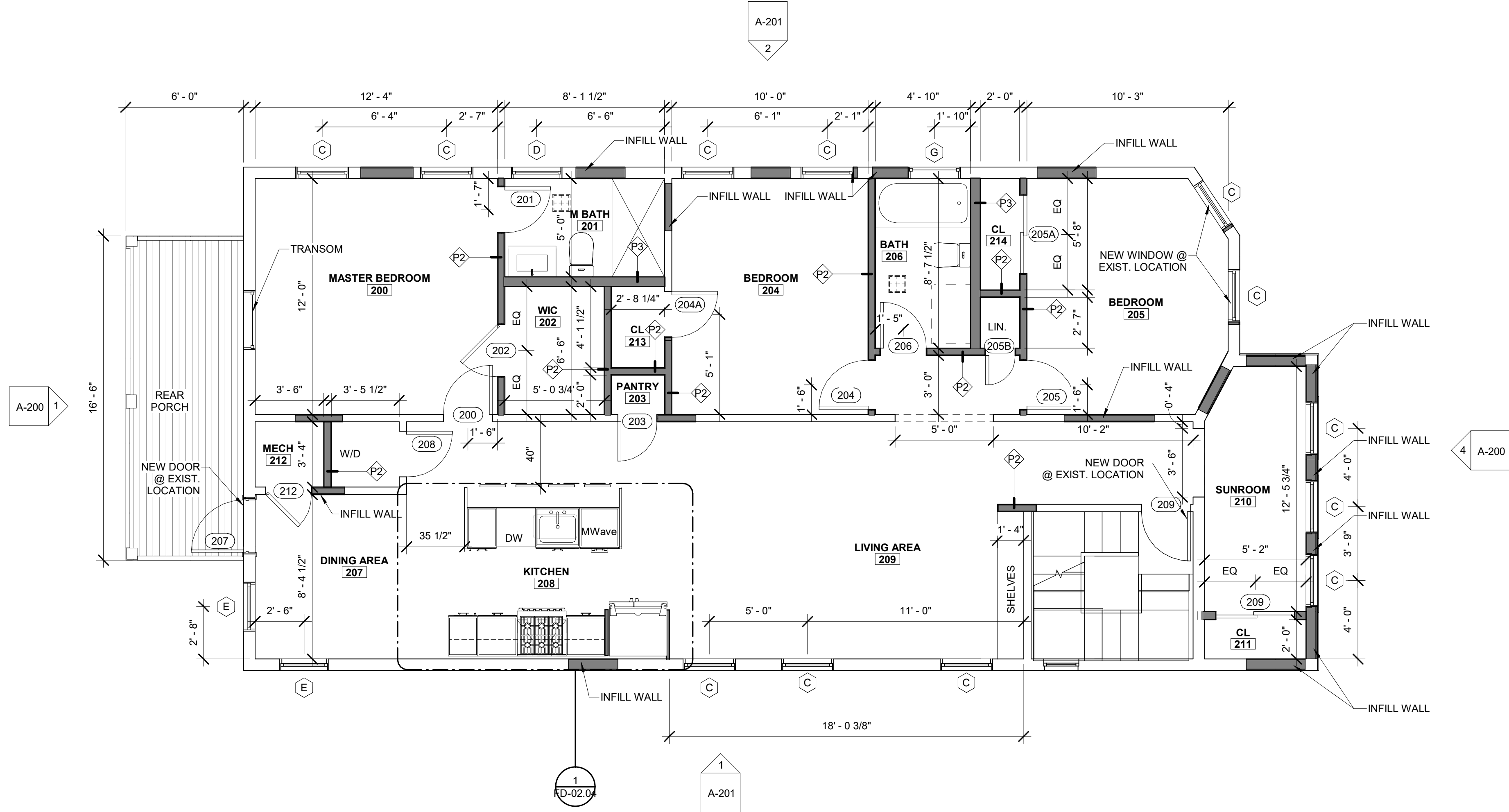
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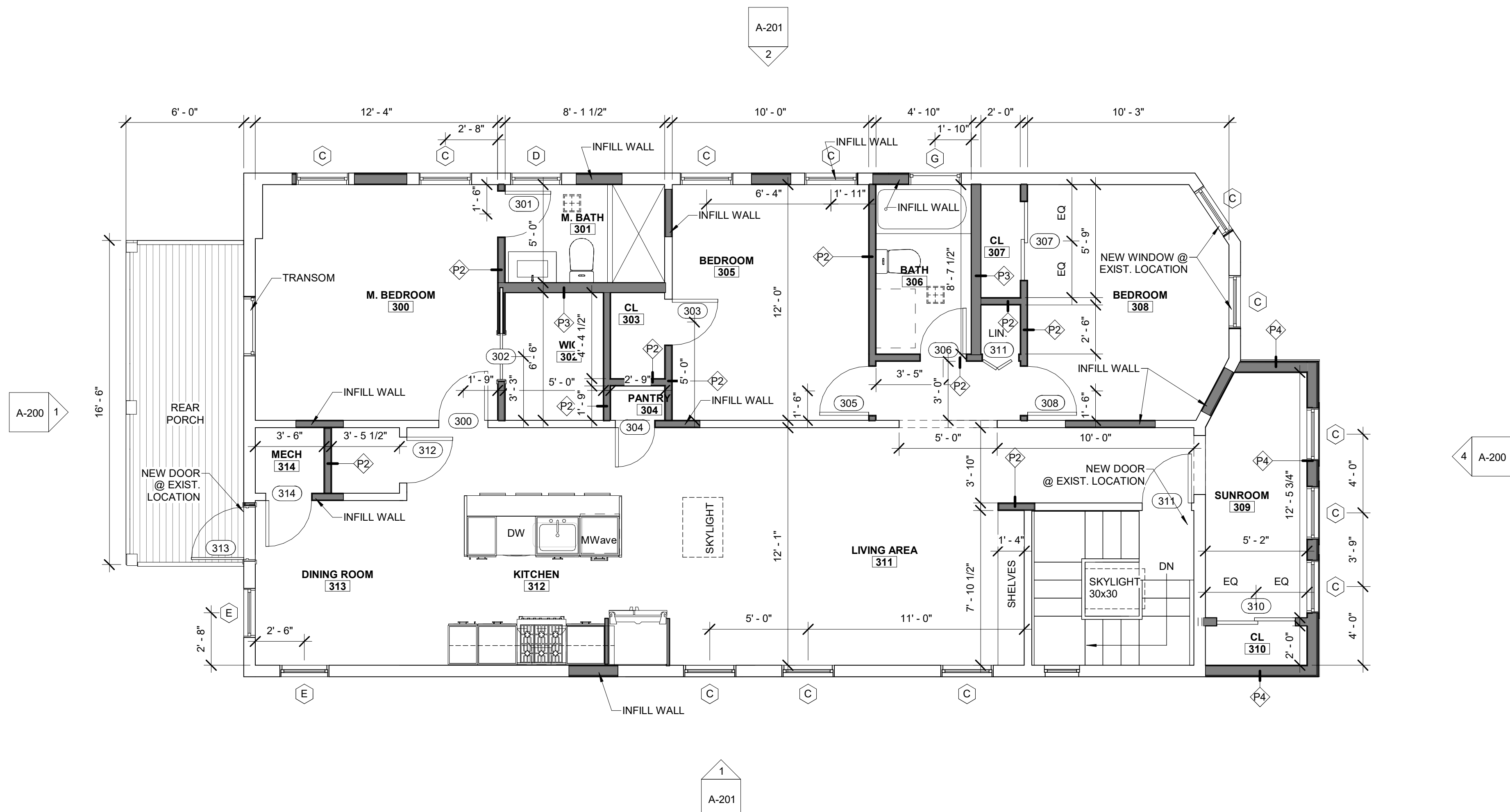
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PROJECT LOCATION:
2:89 - 91 Clifton St, Cambridge1 - Plans/CAD-BIM Files/22129 89-91 CLIFTON ST PERMIT SET_5-9-2022.rvt

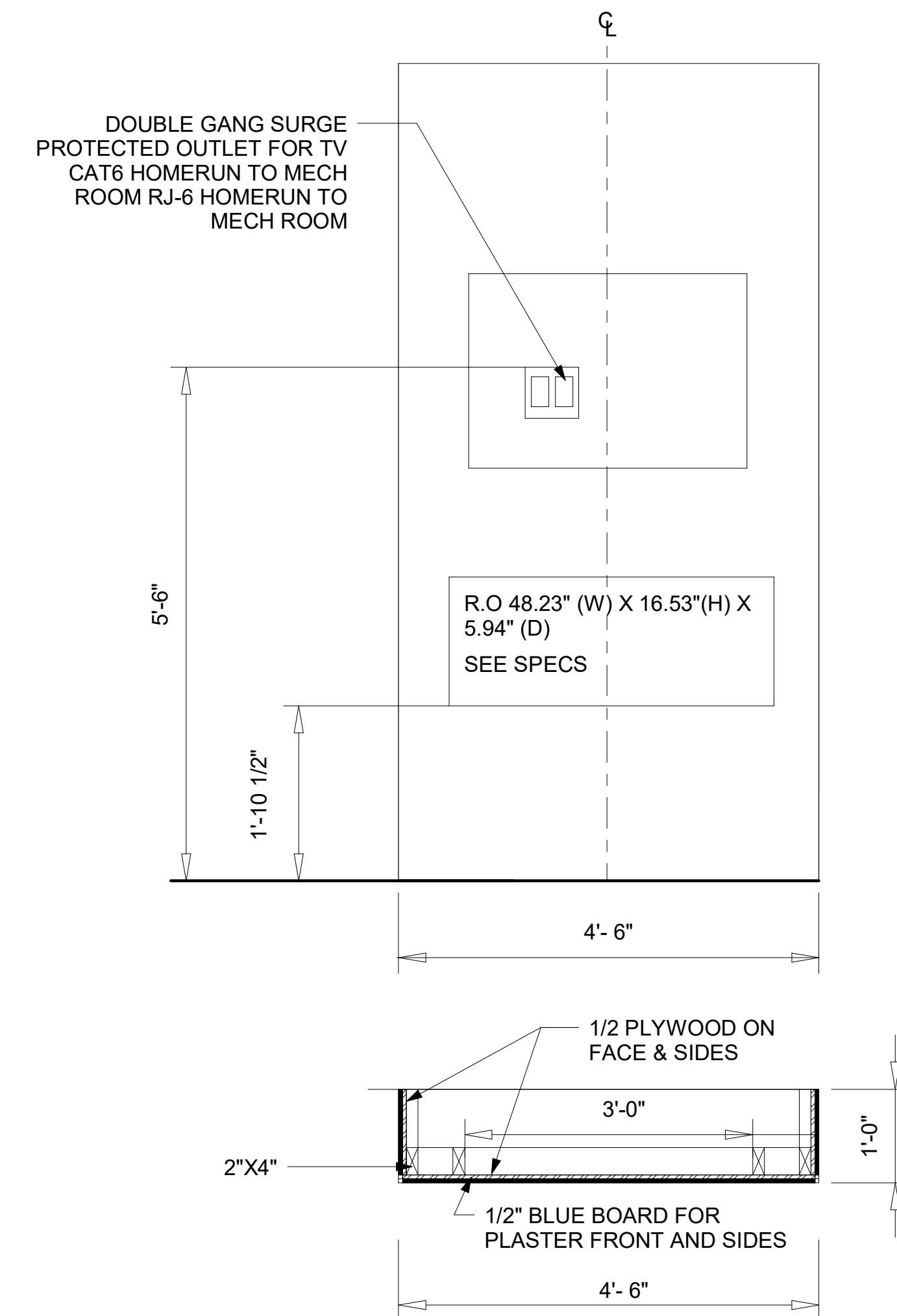


① PROPOSED SECOND FLOOR
1/4" = 1'-0"



② PROPOSED THIRD FLOOR
1/4" = 1'-0"

DOUBLE GANG SURGE PROTECTED OUTLET FOR TV CAT6 HOMERUN TO MECH ROOM RJ-6 HOMERUN TO MECH ROOM



③ ELECTRICAL FIREPLACE DETAIL
3/4" = 1'-0"

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TEL: 617.300.0188

CONSULTANT:

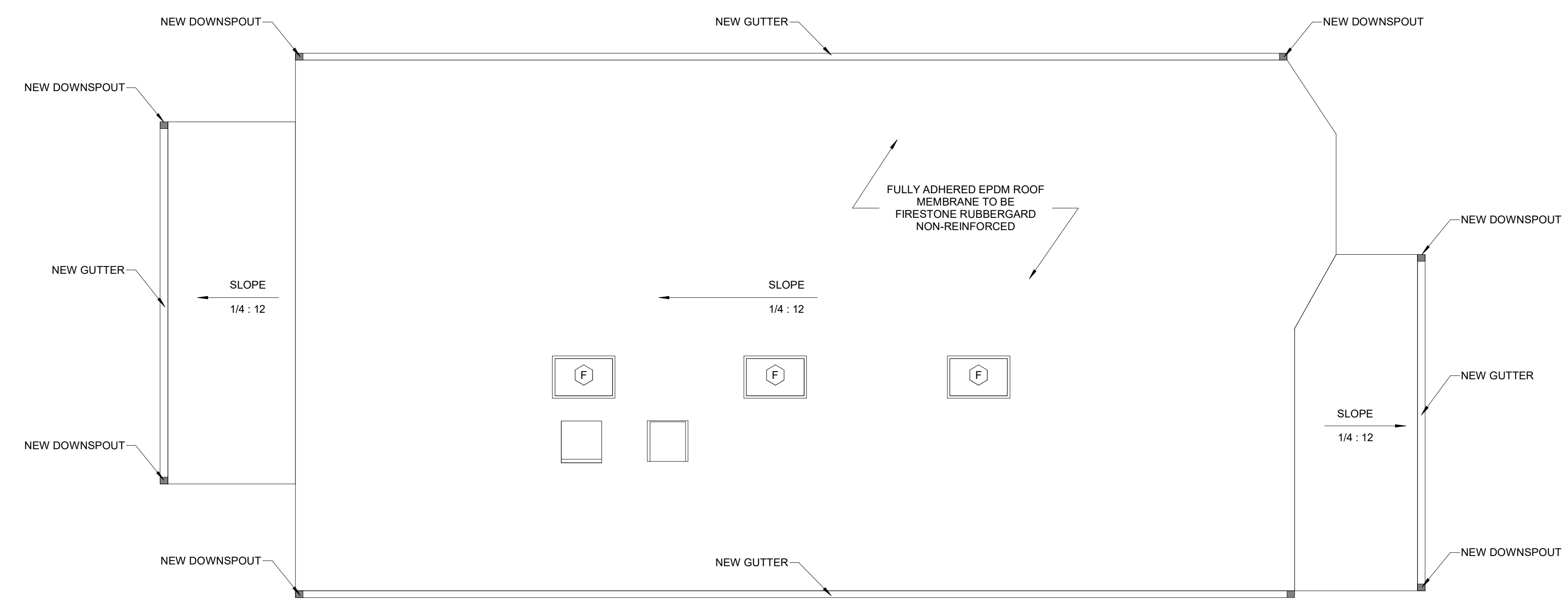
REVISION:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
PROPOSED ROOF PLAN

DRAWN BY: IP	
CHECKED BY: DF	
SCALE: 1/4" = 1'-0"	
DATE: 05.20.2022	
PROJECT NO.: 22129	

DRAWING NO.:
A-103



① PROPOSED ROOF PLAN
1/4" = 1'-0"

GENERAL CONTRACTOR NOTES:

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4. CONTRACTOR SHALL COORDINATE WITH EACH SUB-CONTRACTOR AND ENSURE TO MEET ALL CODE AND SAFETY REQUIREMENTS.

EXISTING & NEW WALLS

	NEW WALL
	EXISTING TO REMAIN

GENERAL NOTES:

1. ALL INTERIOR DIMENSIONS ARE TO INTERIOR FACE OF GWB. U.N.O.
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3. CONFIRM CEILING HEIGHTS IN FIELD.

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NO:	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

DRAWING TITLE:

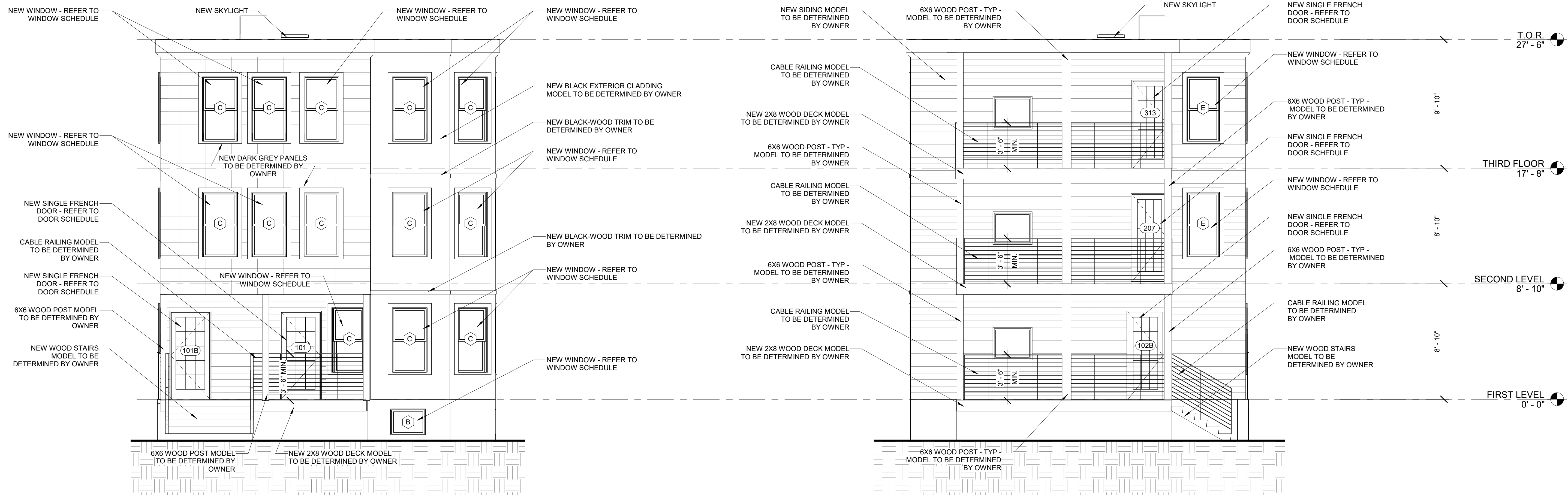
PROPOSED EXT. ELEVATIONS

DRAWN BY: IP	SEAL:
CHECKED BY: DF	
SCALE: As indicated	
DATE: 05.20.2022	
PROJECT NO.: 22129	

DRAWING NO.:

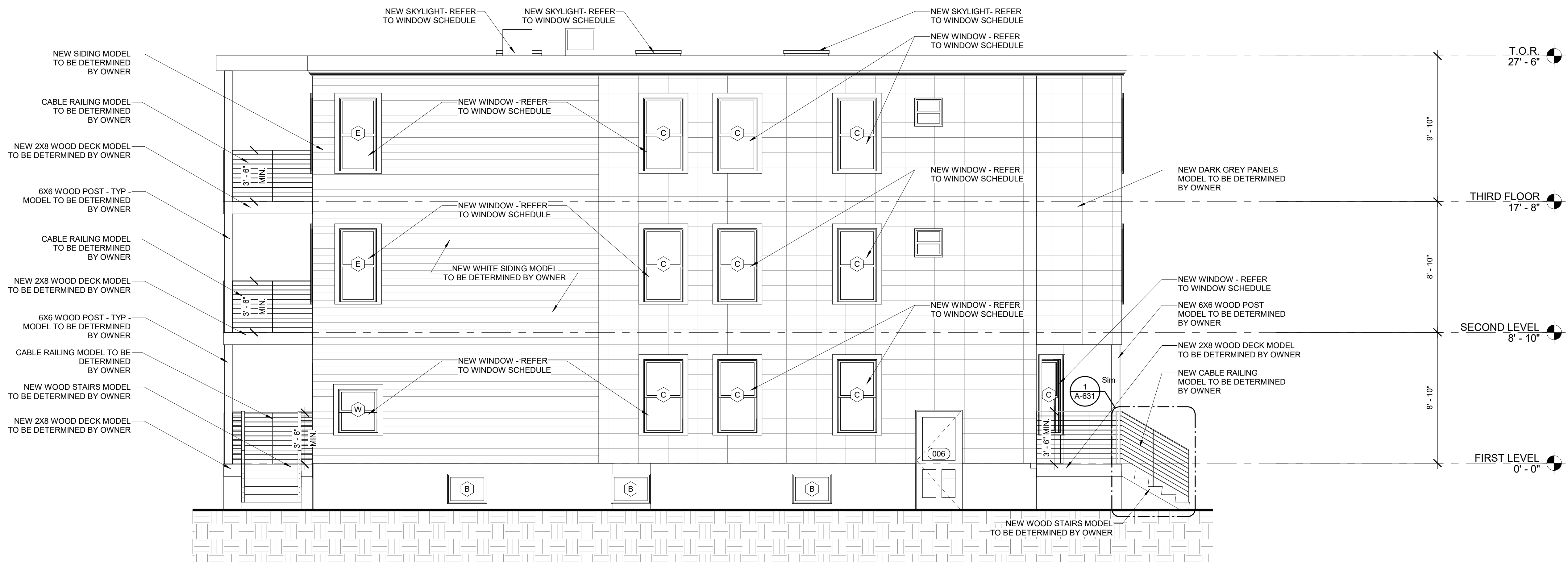
A-200

PROJECT LOCATION:
2:89 - 91 Clifton St, Cambridge1 - Plans(CAD-BIM Files)22129 89-91 CLIFTON ST
PERMIT SET_5-2022.rvt

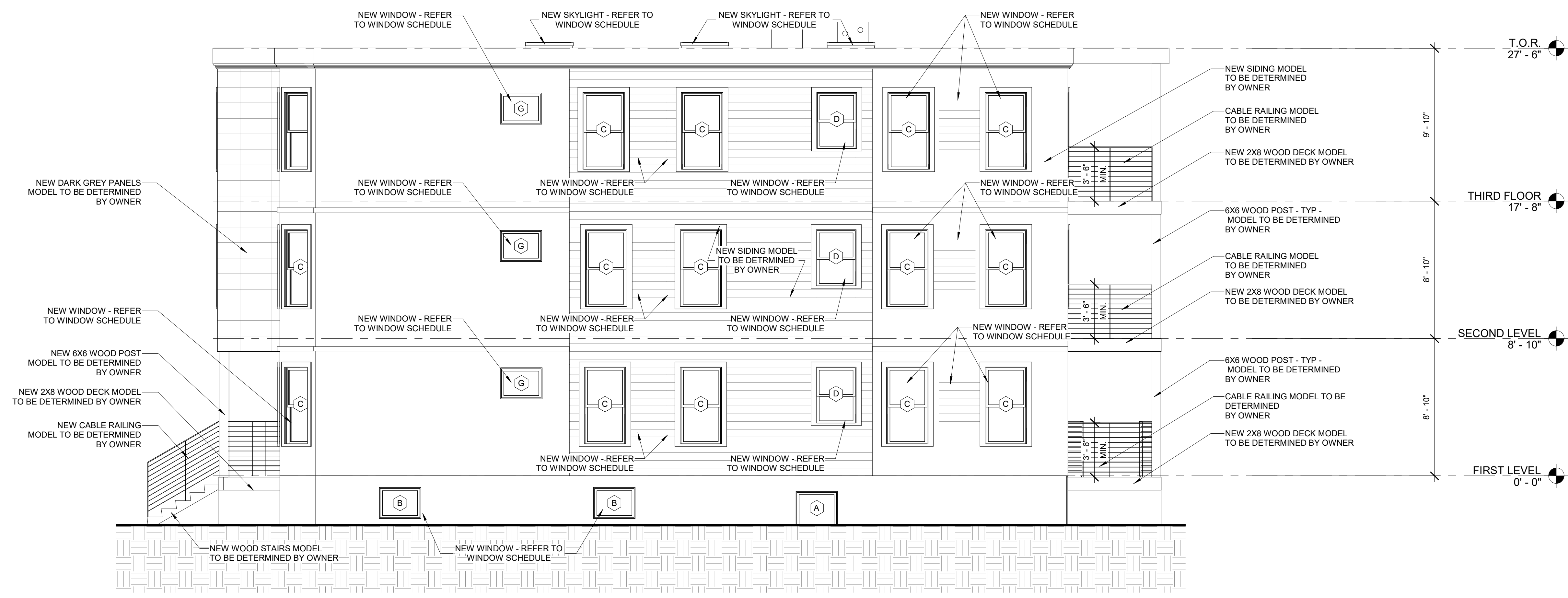


④ PROPOSED WEST ELEVATION
1/4" = 1'-0"

① PROPOSED EAST ELEVATION
1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

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C TEL: 774.317.0491



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CONSULTANT:

REVISION:		
NO:	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

DRAWING TITLE:
PROPOSED EXT. ELEVATIONS

DRAWN BY:
IP

CHECKED BY:
DF

SCALE:
1/4" = 1'-0"

DATE:
05.20.2022

PROJECT NO.:
22129

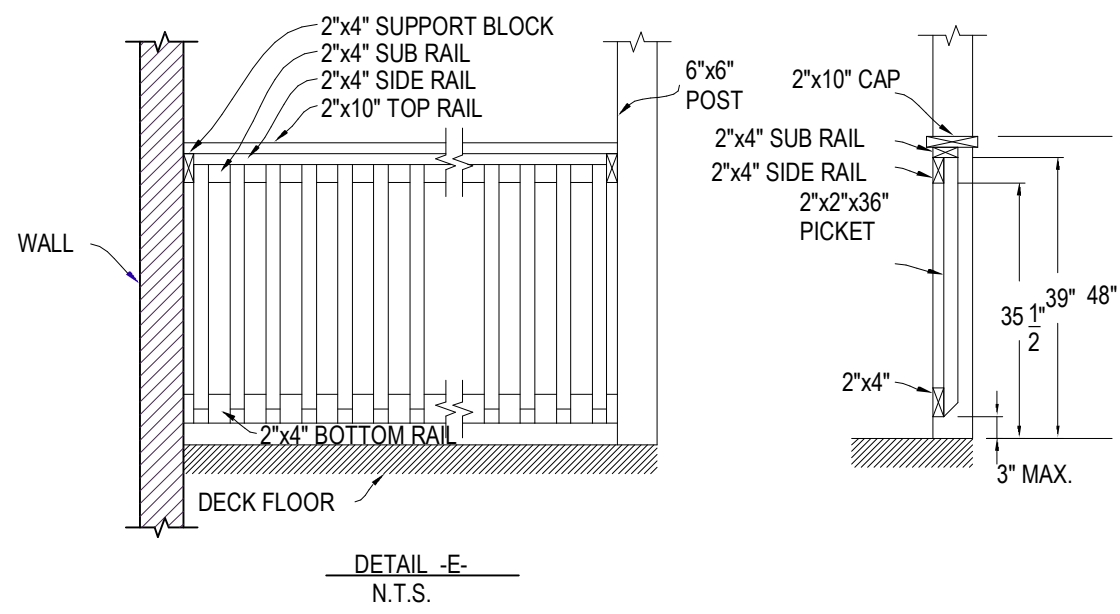
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SEAL:

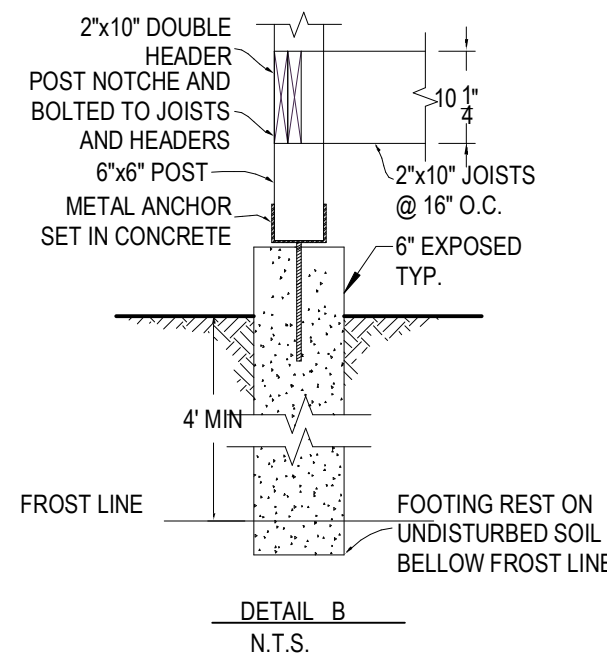
PROJECT LOCATION:
2189 - 91 Clifton St, Cambridge1 - Plans(CAD-BIM Files)22129 89-91 CLIFTON ST
PERMIT SET_5-20-2022.rvt

DOOR SCHEDULES

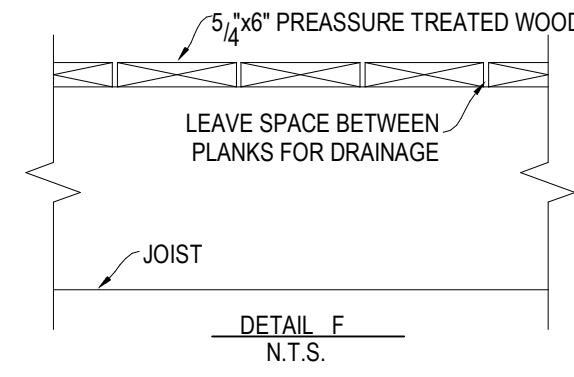
NO.	DOOR SIZE HEIGHT WIDTH	APPLICATION	COMMENTS
003	6' - 1" 2' - 6"		
004	6' - 1" 2' - 6"		
005	6' - 1" 2' - 6"	FIRE RATED	HINGED DOOR, 20 MINUTES RATED, SELF CLOSING
006	6' - 8" 3' - 0"	EXTERIOR	
101	6' - 8" 3' - 0"	EXTERIOR	
101B	6' - 8" 3' - 0"	EXTERIOR / FIRE RATED	HINGED DOOR, 20 MINUTES RATED, SELF CLOSING
102B	6' - 8" 2' - 8"	EXTERIOR	
103	6' - 8" 3' - 0"		
103A	6' - 8" 2' - 6"		
103B	6' - 8" 4' - 0"		
103C	6' - 1" 1' - 6"		
104	6' - 8" 2' - 4"		
105	6' - 1" 2' - 6"		
106	6' - 8" 2' - 4"		
107	6' - 8" 2' - 4"		
108	6' - 1" 2' - 0"		
109	6' - 1" 2' - 8"		
110	6' - 8" 2' - 4"		
112	6' - 1" 2' - 6"		
114	6' - 8" 5' - 0"		
115	6' - 1" 2' - 6"		
200	6' - 8" 2' - 6"		
201	6' - 8" 2' - 4"		
202	6' - 1" 2' - 8"		
203	6' - 1" 2' - 0"		
204	6' - 8" 2' - 6"		
204A	6' - 8" 2' - 4"		
205	6' - 8" 2' - 6"		
205A	6' - 8" 4' - 0"		
205B	6' - 1" 1' - 6"		
206	6' - 8" 2' - 4"		
207	6' - 8" 2' - 8"	EXTERIOR	
208	6' - 8" 2' - 4"		
209	6' - 8" 4' - 0"	FIRE RATED	HINGED DOOR, 20 MINUTES RATED, SELF CLOSING
212	6' - 8" 2' - 4"		
300	6' - 8" 2' - 6"		
301	6' - 8" 2' - 4"		
302	6' - 8" 2' - 4"		
303	6' - 8" 2' - 4"	EXTERIOR	
304	6' - 1" 2' - 0"		
305	6' - 8" 2' - 6"		
306	6' - 8" 2' - 4"		
307	6' - 8" 4' - 0"		
308	6' - 8" 2' - 6"		
310	6' - 8" 4' - 0"		
311	6' - 8" 1' - 10"	FIRE RATED	HINGED DOOR, 20 MINUTES RATED, SELF CLOSING
311	6' - 8" 2' - 6"		
312	6' - 8" 2' - 4"		
313	6' - 8" 2' - 8"		
314	6' - 8" 2' - 4"		



2 RAILING AND DECK DETAILS
1/4" = 1'-0"



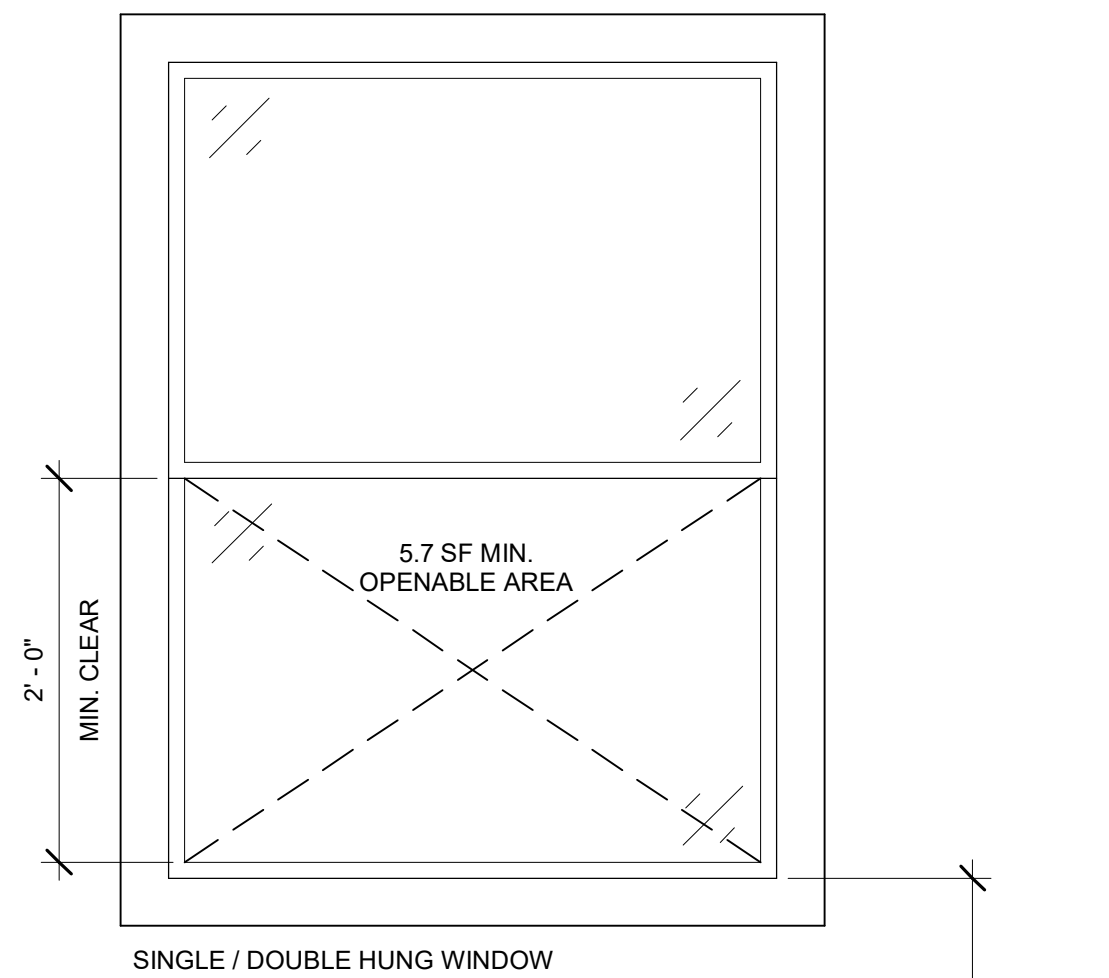
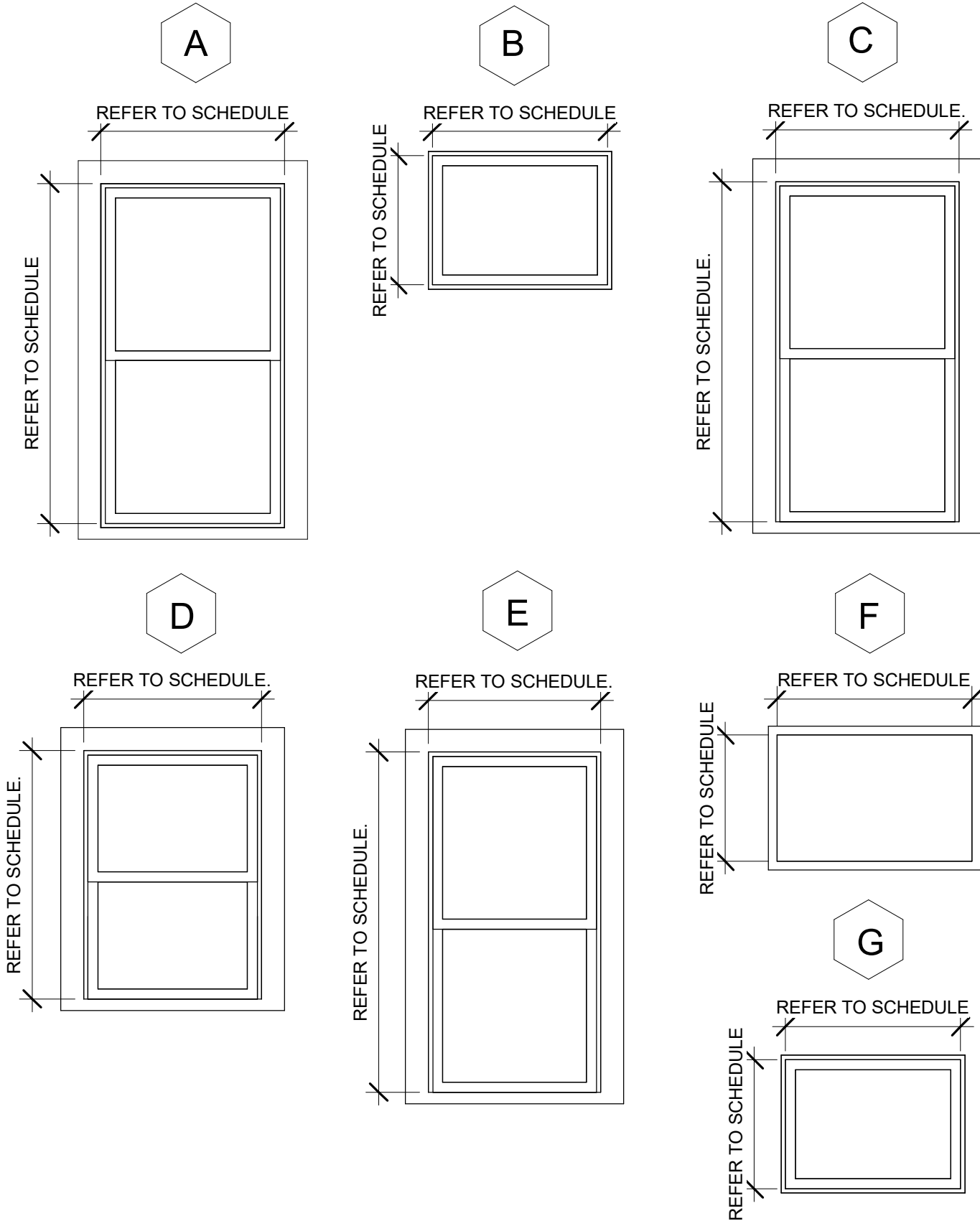
DETAIL B
N.T.S.



DETAIL F
N.T.S.

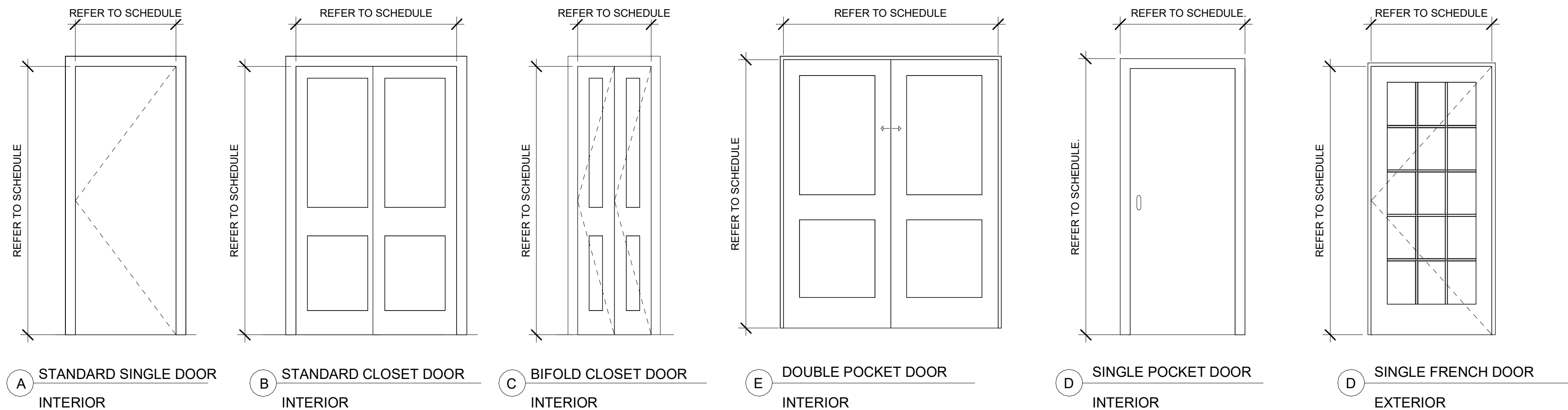
WINDOW SCHEDULE

TYPE	WIDTH	HEIGHT	TEMPERED GLASS	EGRESS WINDOW	COMMENTS
A	2' - 8"	5' - 0"		Yes	
B	2' - 8"	2' - 0"			
C	2' - 8"	5' - 0"			
D	2' - 7"	3' - 8"	Yes		
E	2' - 6"	5' - 0"			
F	3' - 0"	2' - 0"			
G	2' - 8"	2' - 0"	Yes		
H	3' - 0"	2' - 6"			



SINGLE / DOUBLE HUNG WINDOW

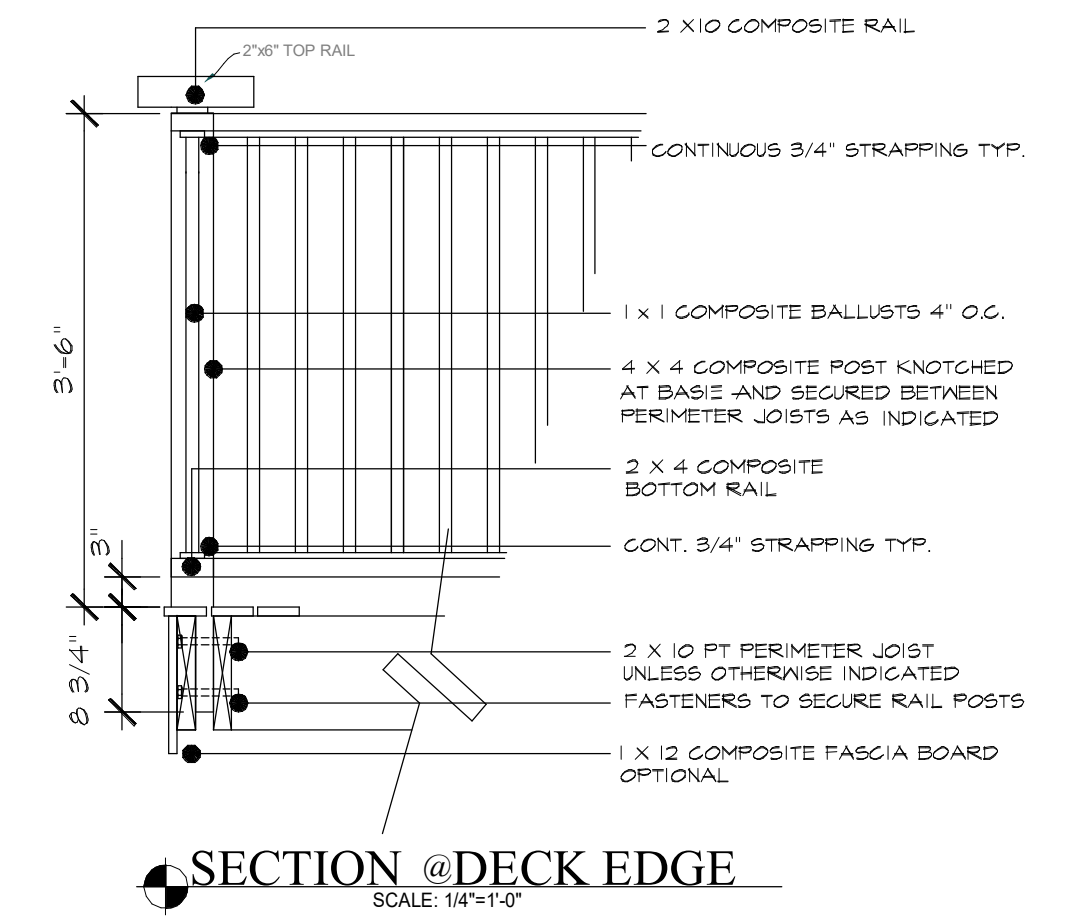
EXCEPTIONS:
 1. Grade floor or below grade openings shall have a net clear opening of not less than **five ft²**.
 2. Single-hung and/or double hung windows shall have a minimum net clear opening of **3.3 ft²**. In such cases, the minimum net clear opening dimensions shall be **20 inches by 24 inches** in either direction.



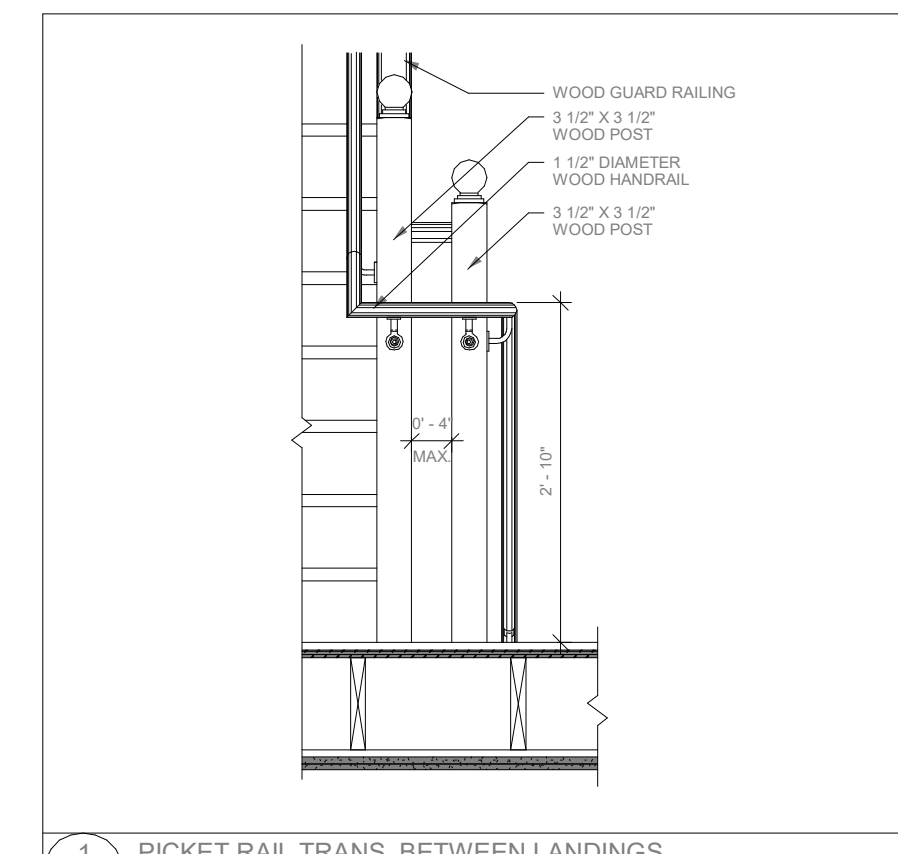
A STANDARD SINGLE DOOR INTERIOR
 B STANDARD CLOSET DOOR INTERIOR
 C BIFOLD CLOSET DOOR INTERIOR
 D DOUBLE POCKET DOOR INTERIOR
 E SINGLE POCKET DOOR INTERIOR
 F SINGLE FRENCH DOOR EXTERIOR

GENERAL CONTRACTOR NOTES:

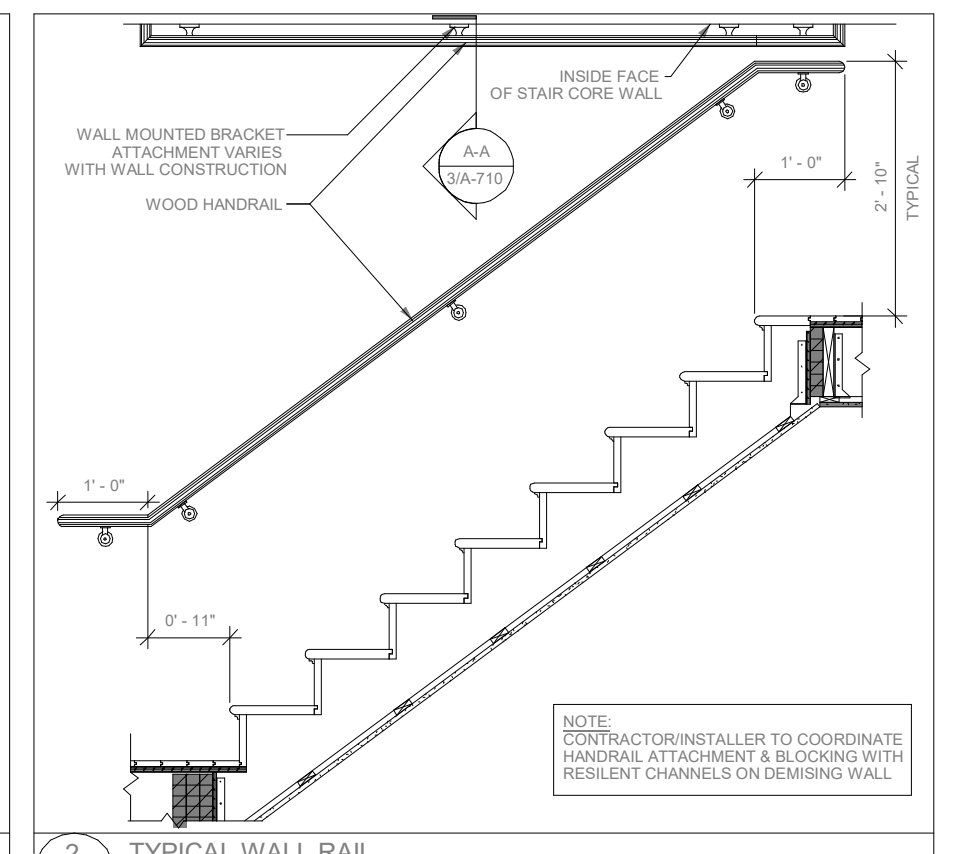
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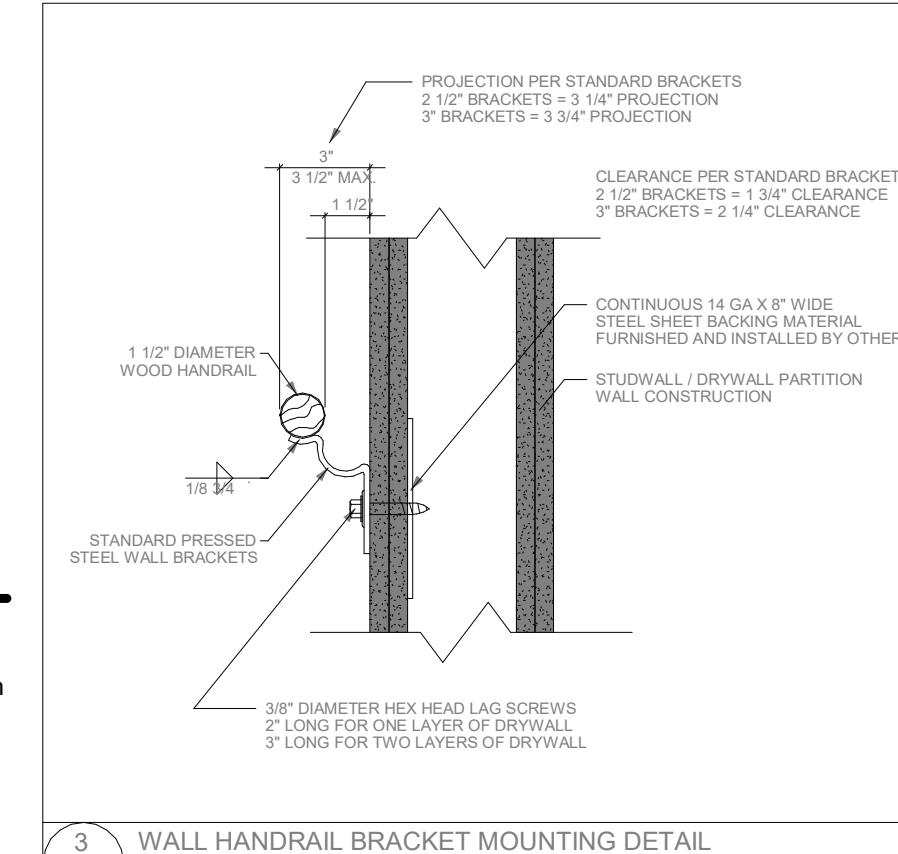
SECTION @DECK EDGE
SCALE: 1/4" = 1'-0"



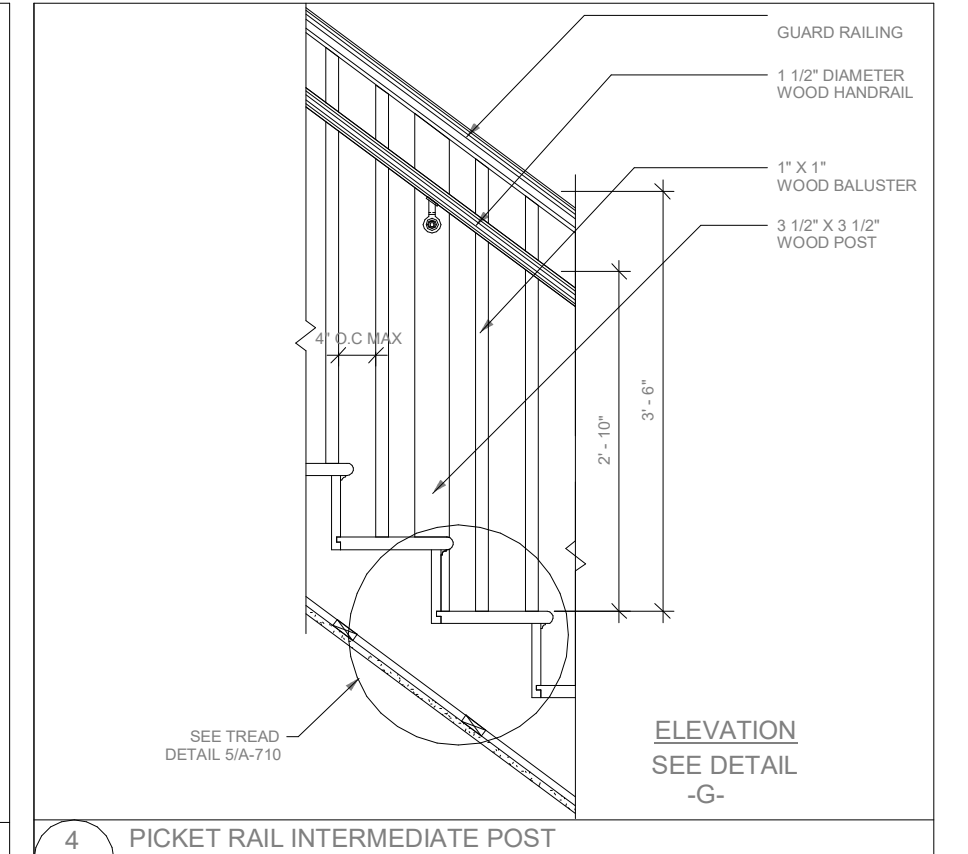
1 PICKET RAIL TRANS. BETWEEN LANDINGS
SCALE: N.T.S.



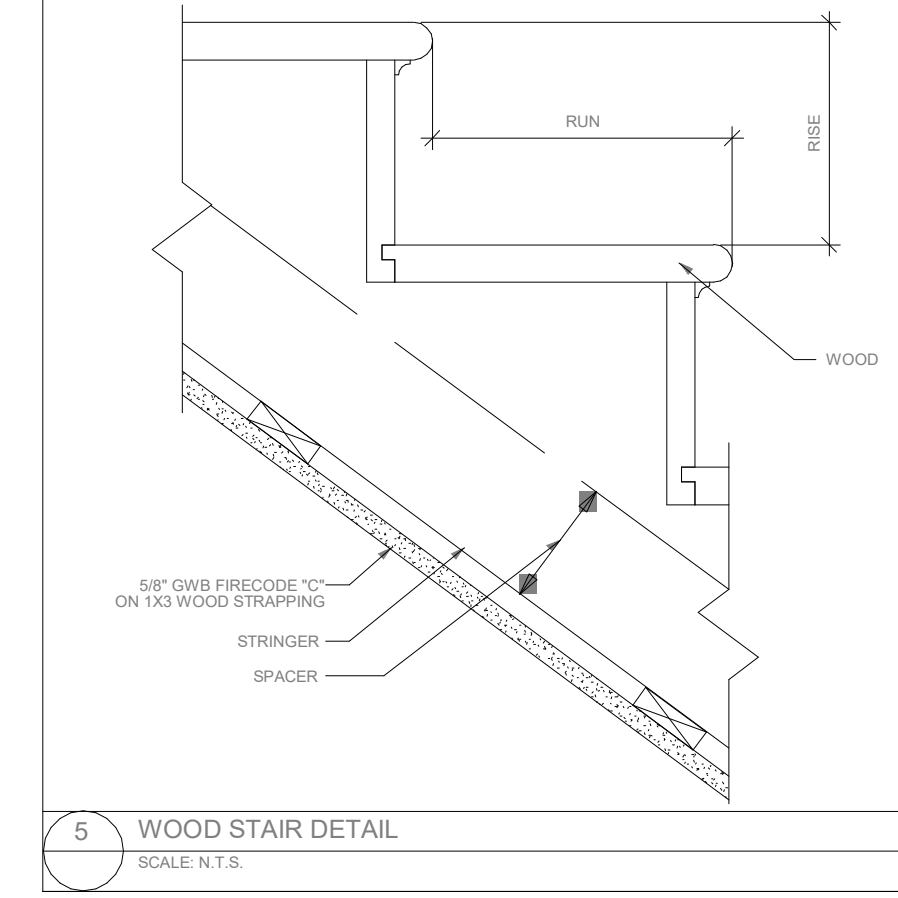
2 TYPICAL WALL RAIL
SCALE: N.T.S.



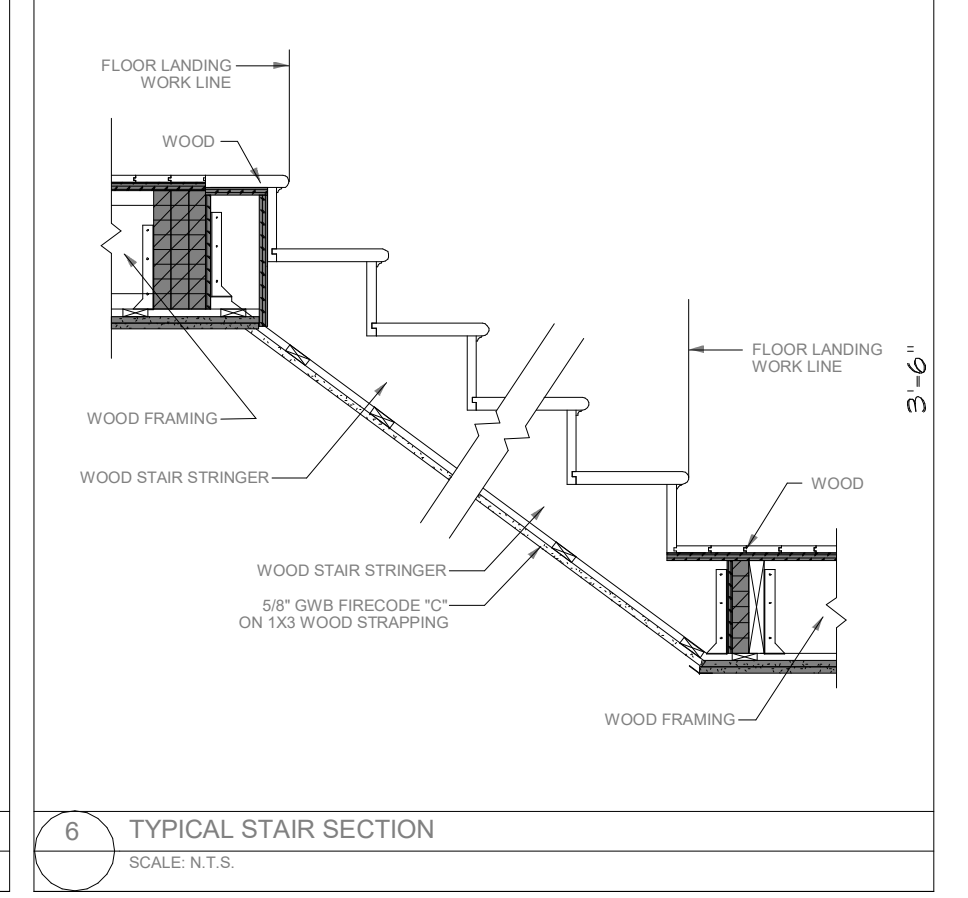
3 WALL HANDRAIL BRACKET MOUNTING DETAIL
SCALE: N.T.S.



4 PICKET RAIL INTERMEDIATE POST
SCALE: N.T.S.



5 WOOD STAIR DETAIL
SCALE: N.T.S.



6 TYPICAL STAIR SECTION
SCALE: N.T.S.

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 MEDFORD, MA 02155
 TEL: 617.300.0188

CONSULTANT:

REVISION:

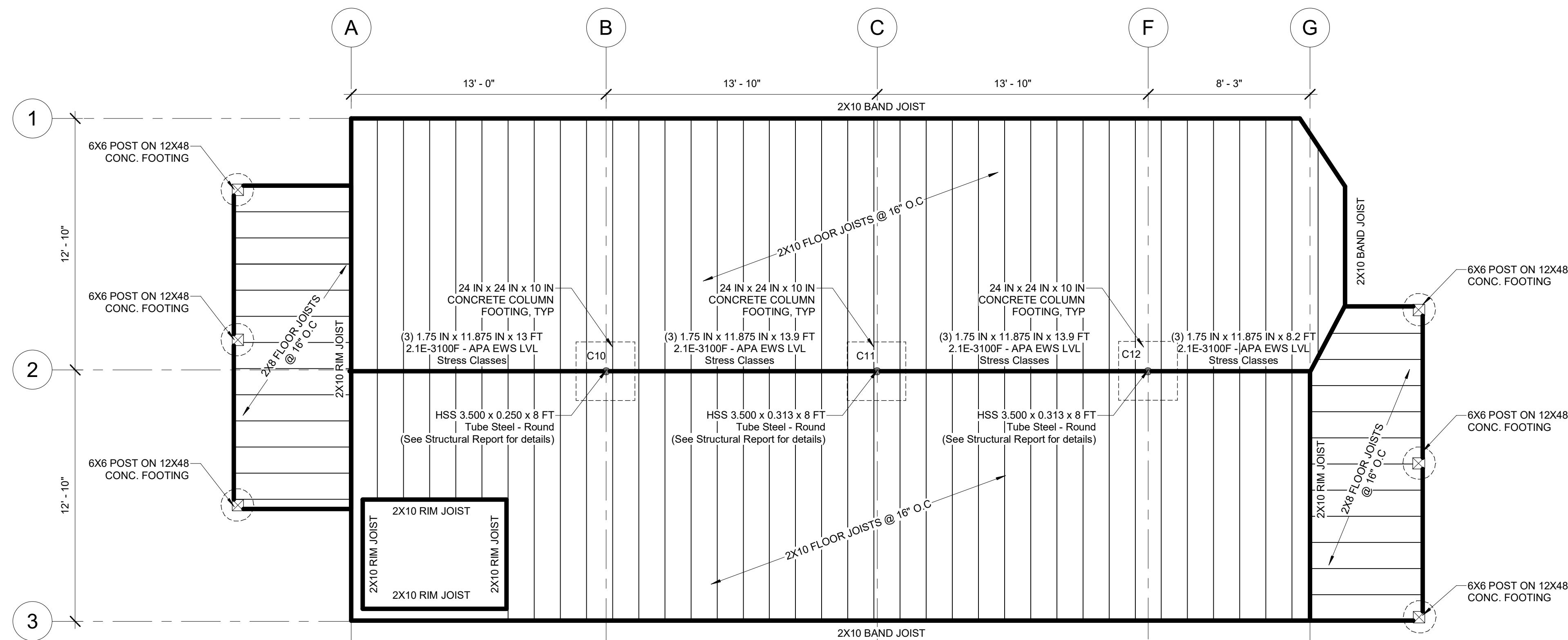
NO.	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

DRAWING TITLE: SECTIONS & PARTITIONS

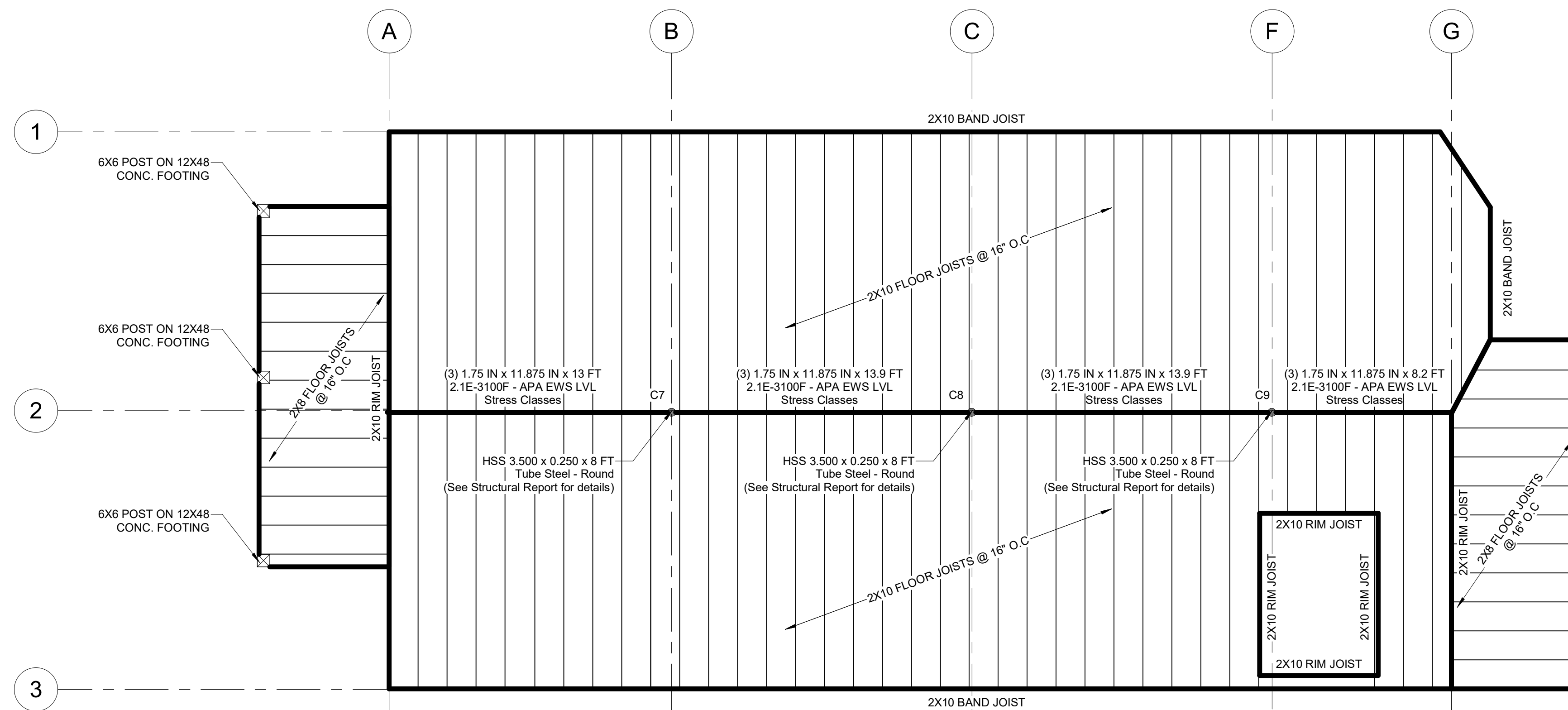
DRAWN BY: IP
 CHECKED BY: DF
 SCALE: As indicated
 DATE: 05.20.2022
 PROJECT NO.: 22129
 DRAWING NO.: A-631



PROJECT LOCATION:
 2:89 - 91 Clifton St, Cambridge1 - Plans (CAD-BIM Files)22129 89-91 CLIFTON ST PERMIT SET_5-2022.rvt



1 FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"



2 SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"

WOOD & ENGINEERED WOOD CONSTRUCTION

- DIMENSIONAL LUMBER TO BE SPRUCE-PINE-FIR (SPF) NO. 2 OR BETTER UNO.
- ALL ENGINEERED LUMBER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- ALTERNATE PRODUCTS SHALL NOT BE SUBSTITUTED UNLESS APPROVED IN WRITING BY ENGINEER OF RECORD.
- LVL'S (LAMINATED VENEER LUMBER) TO BE 1.9E MICROLAM LVL BY ILEVEL.
- PSL'S (PARALLEL STRAND LUMBER) TO BE 2.0E PARALLAM PSL BY ILEVEL.
- 1 3/4" LSL'S (LAMINATED STRAND LUMBER) TO BE 1.55E TIMBERSTRAND LSL BY ILEVEL.
- 1 1/2" LSL'S TO BE 1.5E TIMBERSTRAND LSL BY ILEVEL.
- WOOD I-JOISTS TO BE TJI BY ILEVEL.
- PROVIDE SIMPSON CONNECTORS AT POST/BEAM, POST BASE, JOIST/BEAM AND BEAM/BEAM CONNECTIONS. USAGE AND INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PROVIDE SIMPSON HURRICANE TIES AT ROOF RAFTER CONNECTIONS TO STUD WALL CONNECTIONS OR SUPPORTING BEAMS.
- PROVIDE MINIMUM 3/4" PLYWOOD SHEATHING FOR FLOORS AND ROOFS. PLYWOOD TO BE APA-RATED EXPOSURE 1 GRADE C-D (CDX). PROVIDE 1/8" SPACE BETWEEN EDGES OF ADJACENT PLYWOOD PANELS AND STAGGER PANEL JOINTS BETWEEN ROWS OF SHEATHING.
- ALL PLYWOOD FLOOR AND ROOF SHEATHING SHALL BE GLUED AND SCREWED TO SUPPORTING WOOD FRAMING. GLUE SHALL CONSIST OF CONSTRUCTION GRADE ADHESIVE. SCREWS NOT TO BE PLACED WITHIN 3/8" OF PANEL EDGES. MAXIMUM SCREW SPACING TO BE 6", UNO. SCREWS TO BE MIN #8x2 1/2" LONG. SCREW LENGTH SHALL BE SUFFICIENT TO PROVIDE EMBEDMENT OF 10X SCREW DIAM INTO FRAMING.
- PROVIDE MINIMUM 1/2" PLYWOOD SHEATHING FOR EXTERIOR WALLS AND SHEAR WALLS. FASTEN SHEATHING TO STUDS WITH MINIMUM 8d NAILS @ 4" O.C..
- PROVIDE CONTINUOUS BLOCKING ABOVE INTERIOR SHEAR WALLS.
- MAXIMUM MOISTURE CONTENT OF DIMENSIONAL LUMBER AT TIME OF INSTALLATION TO BE 19%.
- SILL PLATE ANCHOR BOLTS: PROVIDE 1/2" ANCHOR BOLTS AT 3'-0" O.C. TWO BOLTS MINIMUM PER SILL PIECE WITH A BOLT WITHIN 10" OF EACH END OF EACH PIECE. BOLT SPACING SHALL BE COORDINATED PRIOR TO PLACING OF STUDS AND POSTS TO AVOID CONFLICTS. ALL BOLTS SHALL HAVE STEEL WASHERS. SEE TYPICAL DETAILS AND SHEAR WALL SCHEDULE FOR ADDITIONAL SILL BOLT REQUIREMENTS.
- PROVIDE PERPENDICULAR BLOCKING AT 32 INCHES O.C. BETWEEN ALL PERIMETER JOISTS AND EXTERIOR WALLS OR PERIMETER BEAMS.
- STAND-ALONE WOOD POSTS OVER CONCRETE SHALL BEAR UPON SIMPSON POST BASE EMBEDDED IN OR ANCHORED TO CONCRETE FOUNDATION.
- WASHERS SHALL ALWAYS BE INSTALLED BETWEEN BOLT HEADS OR NUTS AND WOOD OR ENGINEERED WOOD.

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89-91 CLIFTON ST. HOME RENO

89 CLIFTON ST,
CAMBRIDGE, MA 02140

NELSON GROUP

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CONTRACTOR/OWNER:



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MEDFORD, MA 02155
TEL: 617.300.0188

CONSULTANT:

REVISION:

NO:	DATE:	DESCRIPTION:
1	05.20.2022	PERMIT SET

DRAWING TITLE:
FRAMING FLOOR PLAN

DRAWN BY:
IP

CHECKED BY:
DF

SCALE:
1/4" = 1'-0"

DATE:
05.20.2022

PROJECT NO.:
22129

SEAL:



DRAWING NO.:

FP-900

PROJECT LOCATION:
C:\Users\jnelso\Downloads\22129 89-91 CLIFTON ST PERMIT SET_CLEAN.rvt

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 IP

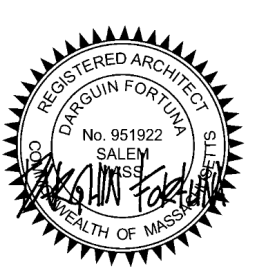
CHECKED BY:
 DF

SCALE:
 1/4" = 1'-0"

DATE:
 05.20.2022

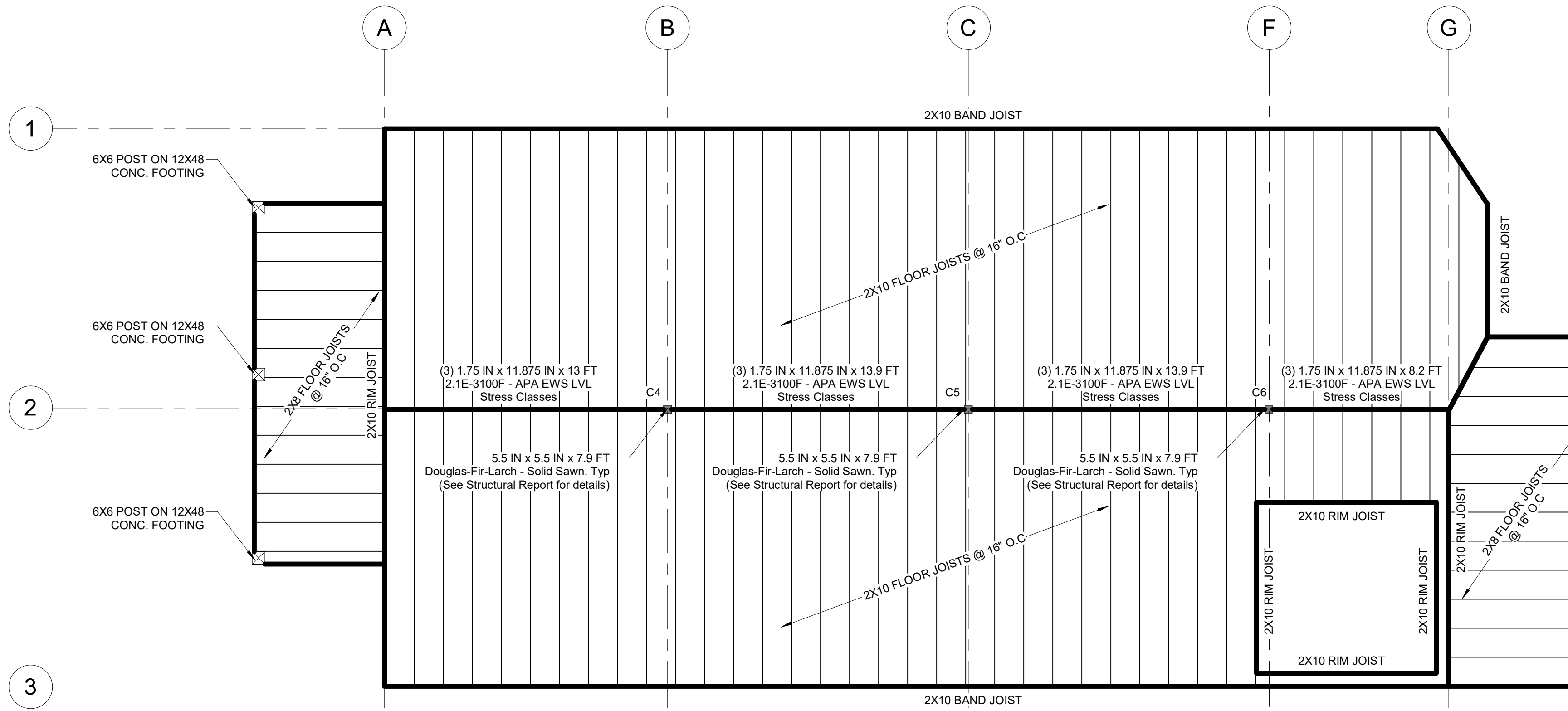
PROJECT NO.:
 22129

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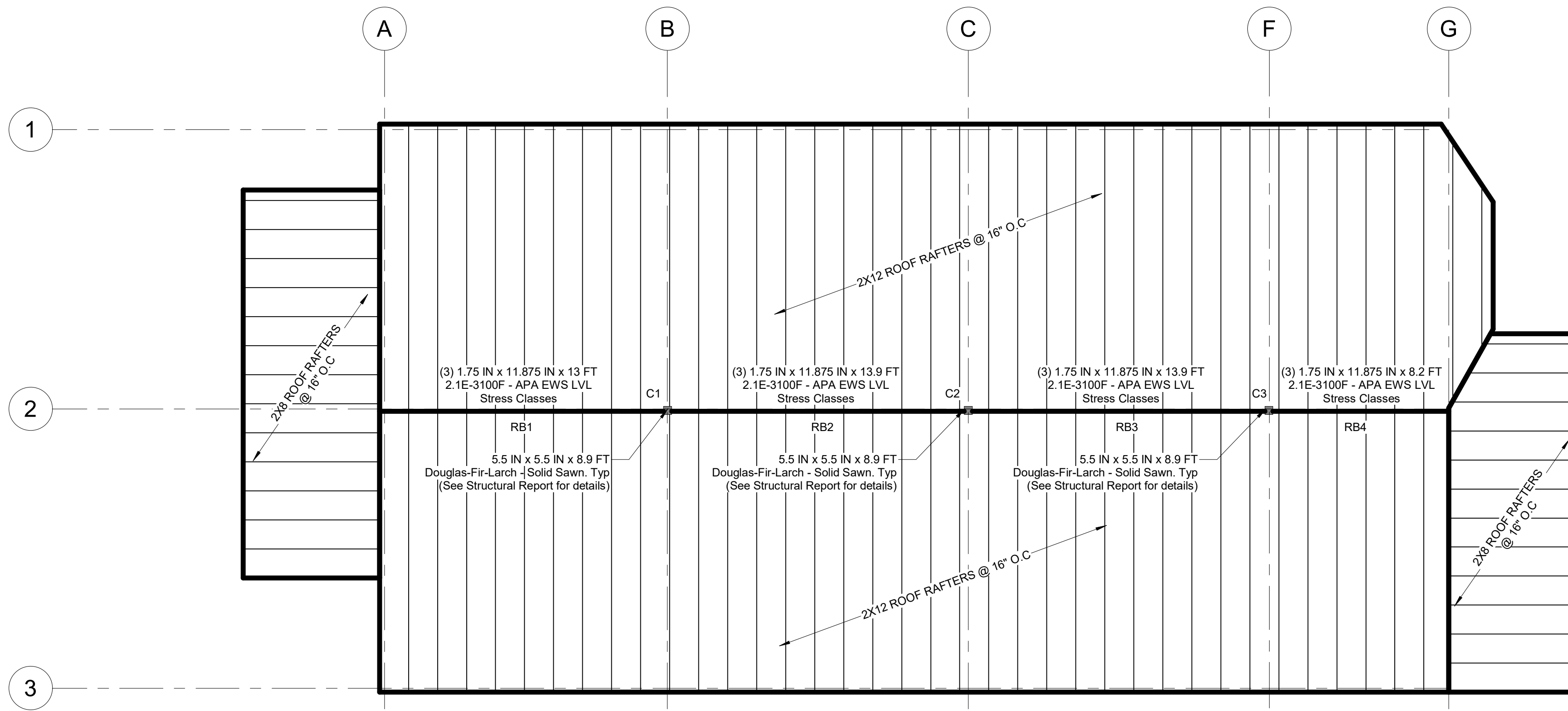


DRAWING NO.:

FP-901



1 THIRD FLOOR FRAMING PLAN
 1/4" = 1'-0"



2 ROOF FRAMING PLAN
 1/4" = 1'-0"



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: WALDEZ LOPES Date: 07-13-23
(Print)

Address: 91 Clifton St.

Case No. BZA-227724

Hearing Date: 7/27/23

Thank you,
Bza Members