



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2020 OCT -5 PM 3: 22

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 93791

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: X Appeal:

PETITIONER: Steven Ng, Patricia D. Ng and Audrey Ng C/O Christopher J. Alphen, Esq.

PETITIONER'S ADDRESS: Blatman, Bobrowski & Haverty, LLC - 9 Damonmill Sq, Suite 4A4, Concord, MA 01742

LOCATION OF PROPERTY: 96 Alpine St , Cambridge, MA

TYPE OF OCCUPANCY: Two-Family Dwelling

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Renovations of the existing 2nd floor apartment and the raising of the roof by six (6) feet to include a main suite and office. Expansion of nonconforming FAR and gross floor area.

To add/relocate new windows.

SECTIONS OF ZONING ORDINANCE CITED:

| | |
|-----------------|--|
| Article: 5.000 | Section: 5.31 (Table of Dimensional Requirements). |
| Article: 8.000 | Section: 8.22.3 (Non-Conforming Structure). |
| Article: 8.000 | Section: 8.22.2.C (Non-Conforming Structure). |
| Article: 10.000 | Section: 10.30 (Variance). |
| Article: 10.000 | Section: 10.40 (Special Permit). |

Original
Signature(s):

(Petitioner (s) / Owner)

Christopher J. Alphen, Esq.
Attorney for Applicants

(Print Name)

Address:

Blatman, Bobrowski & Haverty, LLC
9 Damonmill Square, Ste. 4A4
Concord, MA 01742

9/30/2020

Tel. No. 9783712226
E-Mail Address: chris@bbhlaw.net

Date: 09/30/2020

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.


I/We Steven Ng, Patricia D. Ng and Audrey Ng
(OWNER)

Address: 94-96 Alpine Street, Cambridge, MA

State that I/We own the property located at 94-96 Alpine Street, Cambridge, MA
which is the subject of this zoning application.

The record title of this property is in the name of _____
Steven Ng, Patricia D. Ng and Audrey Ng

*Pursuant to a deed of duly recorded in the date 12/18/2019, Middlesex South
County Registry of Deeds at Book 73875, Page 99; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.


SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

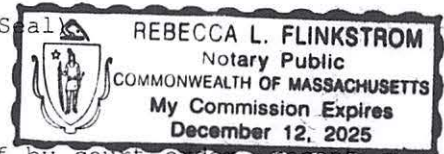
Christopher J. Alphen, Esq. on behalf of the the petitioners

**Written evidence of Agent's standing to represent petitioner may be requested.*

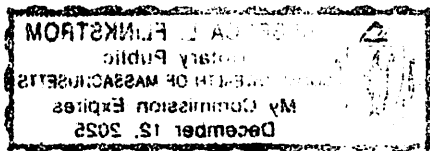
Commonwealth of Massachusetts, County of Middlesex

The above-name Christopher J. Alphen personally appeared before me,
this 25th of September, 2020, and made oath that the above statement is true.

My commission expires 12-12-2025 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The Petitioners recently moved to Cambridge from Concord to accommodate their son Thomas who has special needs. The dwelling contains two units. One unit will be independently occupied by Thomas and other by his parents Steven and Patricia Ng. Thomas works in Boston; residing in Cambridge affords him an easier commute. The Petitioners wish to provide a fitting independent living area for their son. Additionally, their daughter Audrey, who has an ownership interest in the home, plans to reside at the home. With a literal enforcement of the Ordinance, the home's living space cannot be altered to become suitable for the entire family.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:

The hardship is related to the size and shape of the lot and the age and condition of the existing two family structure.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The excess FAR will not be detrimental to the public good. The proposed alterations and additions to the residential home will meet the characteristics of the neighborhood. The residential home will have a minimal visual impact on the surrounding neighborhood.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The renovations to the dwelling have been aesthetically designed to blend in with the existing neighborhood. The renovations will improve to the neighborhood without substantially derogating from the requirement of the Ordinance.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property at proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 96 Alpine St , Cambridge, MA (location) would not be a detrimer to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The proposed renovations do not create any additional nonconformities, nor does it increase any existing nonconformities, other than an increase to the FAR (for which the applicant has applied for a variance). The proposed renovations will not be substantially more detrimental to the neighborhood than the existing nonconforming structure or use.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed alterations will not cause any additional traffic.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The proposed alterations and additions to the residential home will meet the characteristics of the neighborhood. The residential home will have a minimal visual impact on the surrounding neighborhood.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The proposed alterations will not cause a nuisance or hazards.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The renovations to the dwelling have been aesthetically designed to blend in with the existing neighborhood. The renovations will improve to the neighborhood without substantially derogating from the requirement of the Ordinance.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form**DIMENSIONAL INFORMATION****Applicant:** Steven Ng, Patricia D. Ng and Audrey Ng**Present Use/Occupancy:** Two-Family Dwelling**Location:** Blatman, Bobrowski & Havery, LLC - 9
Damonmill Sq, Suite 4A4**Zone:** Residence B Zone**Phone:** 9783712226**Requested Use/Occupancy:** Two-Family Dwelling

| | | <u>Existing Conditions</u> | <u>Requested Conditions</u> | <u>Ordinance Requirements</u> | |
|---|-----------------------|---------------------------------------|--|--|--------|
| <u>TOTAL GROSS FLOOR AREA:</u> | | 2,265 | 3,348 | 1,900 | (max.) |
| <u>LOT AREA:</u> | | 3,800 | N/A | 5,000 | (min.) |
| <u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u> | | .70 | .88 | .50 | |
| <u>LOT AREA OF EACH DWELLING UNIT</u> | | 3,800 | 3,800 | 2,500 | |
| <u>SIZE OF LOT:</u> | WIDTH | 40 | N/A | 50 | |
| | DEPTH | 95 | N/A | N/A | |
| <u>SETBACKS IN FEET:</u> | FRONT | 16-8 | 16-8 | 15 | |
| | REAR | 27-2 | 27-2 | 25 | |
| | LEFT SIDE | 5 | 5 | 7-6 | |
| | RIGHT SIDE | 10-6 | 10-6 | 7-6 | |
| <u>SIZE OF BUILDING:</u> | HEIGHT | 28-9 | 34-9 | 35 | |
| | WIDTH | N/A | N/A | N/A | |
| <u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u> | | .61 | .59 | .40 | |
| <u>NO. OF DWELLING UNITS:</u> | | 2 | 2 | 2 | |
| <u>NO. OF PARKING SPACES:</u> | | 1 | 1 | 1 | |
| <u>NO. OF LOADING AREAS:</u> | | N/A | N/A | N/A | |
| <u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u> | | N/A | N/A | N/A | |

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATION)
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5") DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA Application Form

NG RESIDENCE

STEVE & TRISH NG

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

BZA SUBMISSION SET
09/11/2020



ARCHITECT:



© 2020 SAM KACHMAR ARCHITECTS

SAM KACHMAR
ARCHITECTS
(p)978-270-8441
kachmardesign.com
357 HURON AVE.
CAMBRIDGE MA, 02138

CLIENTS:

STEVE & TRISH NG

THE NG RESIDENCE LOCATED AT 94-96 ALPINE ST WILL INCLUDE THE RENOVATION OF THE FRONT AND REAR PORCH, THE RENOVATION OF THE 2ND FLOOR APARTMENT AND THE RAISING OF THE ROOF BY 6 FT TO INCLUDE A MAIN SUITE AND OFFICE.

GENERAL CONTRACTOR:

STRUCTURAL ENGINEER:

| Permit Sheet List | | |
|-------------------|-----------------------|-------------|
| Sheet Number | Sheet Name | Designed By |
| P-000 | COVER | Designer |
| P-001 | GENERAL NOTES | Designer |
| P-002 | PLOT PLAN & AREA PLAN | Designer |
| P-003 | LANDSCAPE PLAN | SKA |
| P-100 | PROPOSED LEVEL 0 | Designer |
| P-101 | PROPOSED LEVEL 1 | Designer |
| P-102 | PROPOSED LEVEL 2 | Designer |
| P-103 | PROPOSED LEVEL 3 | Designer |
| P-110 | PROPOSED ROOF PLAN | Designer |
| P-200 | ELEVATION WEST | Designer |
| P-201 | ELEVATION NORTH | Designer |
| P-202 | ELEVATION EAST | Designer |
| P-203 | ELEVATION SOUTH | Designer |

| # | NUMBER OR POUND |
|--------|---|
| &+* | AND |
| @ | AT |
| ADJ | ADJUSTABLE |
| AFF | ABOVE FINISH FLOOR |
| ALUM | ALUMINUM |
| APPROX | APPROXIMATELY |
| ARCH | ARCHITECTURAL |
| AVB | AIR AND VAPOR BARRIER |
| BD | BOARD |
| BIT | BITUMINOUS |
| BLDG | BUILDING |
| BSMT | BASEMENT |
| BTWN | BETWEEN |
| CF | CUBIC FEET |
| CI | CUBIC INCHES |
| CJ | CONTROL JOINT |
| CL | CENTERLINE |
| CLG | CEILING |
| CLR | CLEAR OR CLEARANCE |
| CMU | CONCRETE MASONRY UNIT |
| COL | COLUMN |
| CONC | CONCRETE |
| CONT | CONTINUOUS |
| CORR | CORRIDOR, CORRUGATED |
| CTR | CENTER |
| D | DEPTH, DEEP |
| DBL | DOUBLE |
| DEMO | DEMOLISH, DEMOLITION |
| DIA | DIAMETER |
| DIM | DIMENSION |
| DN | DOWN |
| DTL | DETAIL |
| DW | DISHWASHER |
| E | EAST |
| EA | EACH |
| EJ | EXPANSION JOINT |
| EL | ELEVATION (GRADE) |
| ELEC | ELECTRICAL |
| ELEV | ELEVATION (FACADE) |
| EOS | EDGE OF SLAB |
| EQ | EQUAL, EQUIPMENT, EQUIP |
| ETR | EXISTING TO REMAIN |
| EXG | EXISTING |
| EXP | EXPOSED |
| EXT | EXTERIOR |
| FAB | FABRICATE, FABRICATION |
| FD | FLOOR DRAIN |
| FF | FINISHED FLOOR |
| FL | FLOOR |
| FOW | FACE OF WALL |
| FT | FEET, FOOT |
| GA | GAUGE |
| GALV | GALVANIZED |
| GL | GLASS, GLAZING, GLAZED |
| GWB | GYPSUM WALLBOARD, BACKING BOARD |
| GYP | GYPSUM |
| H | HIGH |
| HDWD | HARDWOOD |
| HM | HOLLOW METAL |
| HORIZ | HORIZONTAL |
| HVAC | HEATING, VENTILATING & AIR CONDITIONING |
| IN | INCH, INCHES |
| INCL | INCLUDE, INCLUDED |
| INT | INTERIOR |
| JT | JOINT |

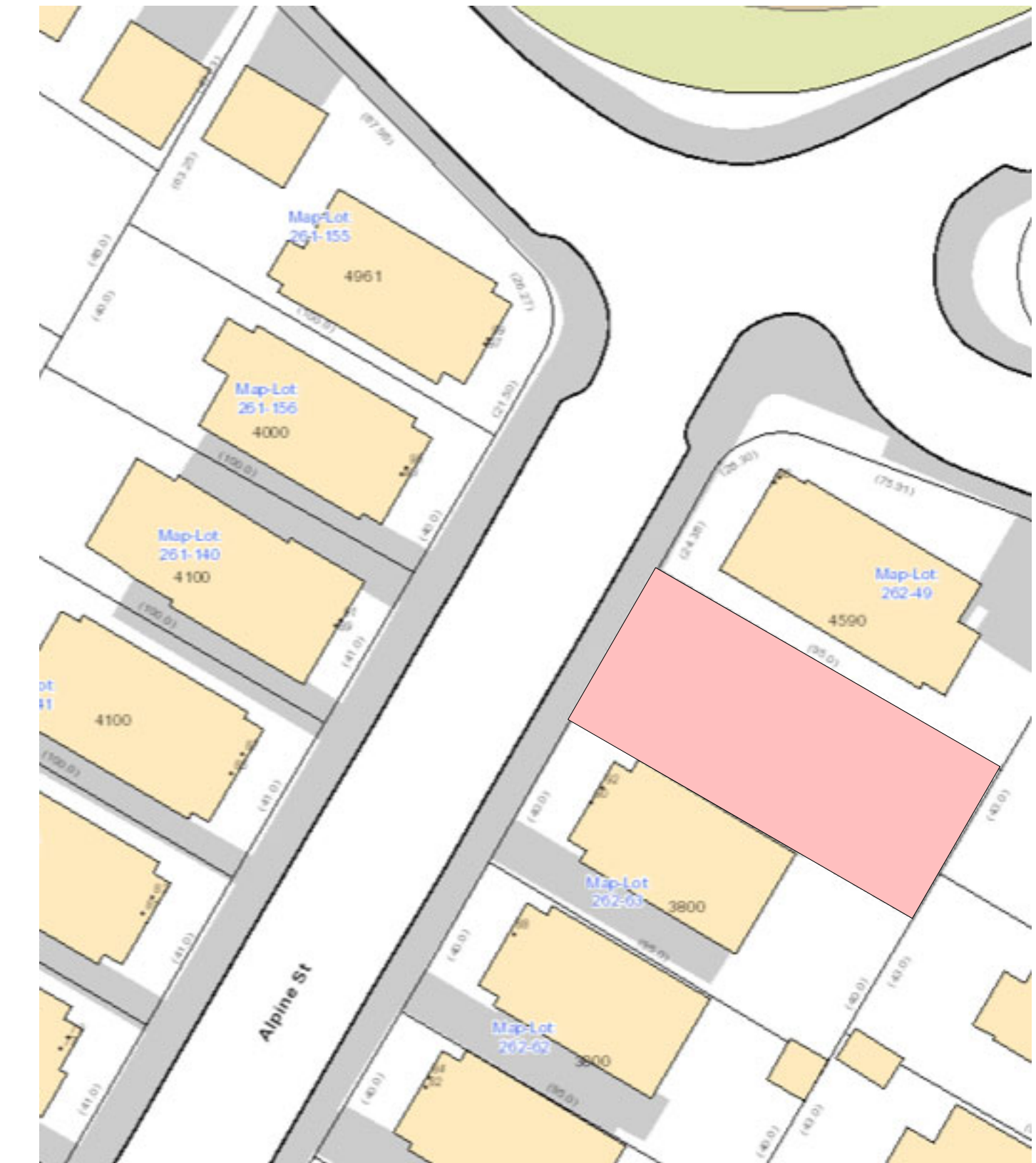
| L | LENGTH |
|---------|-----------------------------|
| LAM | LAMINATE, LAMINATED |
| LB | POUND |
| LGMF | LIGHT GAGE METAL FRAMING |
| LT | LIGHT |
| LT WT | LIGHT WEIGHT |
| MAX | MAXIMUM |
| MDF | MEDIUM DENSITY FIBER |
| MECH | MECHANICAL |
| MED | MEDIUM |
| MFR | MANUFACTURER |
| MIN | MINIMUM |
| MISC | MISCELLANEOUS |
| MTD | MOUNTED |
| MTL | METAL |
| N | NORTH |
| N/A | NOT APPLICABLE |
| NIC | NOT IN CONTRACT |
| NOM | NOMINAL |
| NTS | NOT TO SCALE |
| OC | ON CENTER |
| OD | OUTSIDE DIAMETER |
| OH | OPPOSITE HAND |
| OPP | OPPOSITE |
| OSB | ORIENTED STRANDBOARD |
| OVHD | OVERHEAD |
| OZ | OUNCE (S) |
| PATT | PATTERN (ED) |
| PERF | PERFORATED |
| PERP | PERPENDICULAR |
| PLAM | PLASTIC LAMINATE |
| PLYWD | PLYWOOD |
| PNT | PAINT, PAINTED |
| PR | PAIR |
| PREFAB | PREFABRICATE, PREFABRICATED |
| QTY | QUANTITY |
| RAD | RADIUS |
| RBR | RUBBER |
| RD | ROOF DRAIN |
| REF | REFERENCE |
| REFR | REFRIGERATE, REFRIGERATOR |
| REINF | REINFORCE, REINFORCED |
| REQ | REQUIRE |
| REV | REVISION, REVISE, REVISED |
| RM | ROOM |
| RO | ROUGH OPENING |
| S | SOUTH |
| SCHED | SCHEDULE |
| SF | SQUARE FEET |
| SI | SQUARE INCHES |
| SIM | SIMILAR |
| SPEC | SPECIFICATION |
| SQ | SQUARE |
| SS, SST | STAINLESS STEEL |
| STC | SOUND TRANSMISSION CLASS |
| STL | STEEL |
| STOR | STORAGE |
| STR | STAIR |
| T.O. | TOP OF |
| U.O. | UNDERSIDE OF |
| UON | UNLESS OTHERWISE NOTED |
| WD | WOOD |
| WT | WEIGHT |
| X | INDICATES TIMES OR BY |

| | |
|--|--|
| | EARTH |
| | CONCRETE |
| | GRAVEL |
| | SAND |
| | GYPSUM BOARD OR SHEATHING |
| | MASONRY - BRICK |
| | MASONRY - CONCRETE BLOCK |
| | WOOD - FINISH - END GRAIN |
| | WOOD - FINISH - FACE |
| | WOOD - ROUGH - BLOCKING (CONTINUOUS MEMBERS) |
| | WOOD - ROUGH - BLOCKING (INTERMEDIATE MEMBERS) |
| | INSULATION - RIGID |
| | INSULATION - BATT OR MINERAL WOOL |
| | ACOUSTIC TILE, PANEL, OR PLANK |
| | PLYWOOD |
| | CUT STONE |
| | PARTICLE BOARD OR FIBERBOARD |

| | | | |
|------------------------------------|---------------------------------|---|--------------------|
| VIEW # SCALE: 1/16" = 1'-0" | DRAWING TITLE | | |
| SHEET VIEW # O.H. / SIM | EXTERIOR ELEVATION KEY | | |
| SHEET | INTERIOR ELEVATION KEY | | |
| VIEW # O.H. / SIM | BUILDING SECTION MARKER | | |
| VIEW # O.H. / SIM | WALL SECTION MARKER | | |
| VIEW # SHEET O.H. / SIM | DETAIL AREA MARKER | | |
| VIEW # SHEET O.H. / SIM | DETAIL SECTION MARKER | | |
| COLUMN | GRID LINE | | |
| Name Elevation | VERTICAL ELEVATION KEY (ELEV) | | |
| 0' - 0" | SPOT ELEVATION W/ TARGET (PLAN) | | |
| 0' - 0" | SPOT ELEVATION NO TARGET (PLAN) | | |
| REV # | REVISION CLOUD AND REVISION TAG | | |
| ROOM NAME ROOM # | ROOM TAG | ℄ | CENTERLINE |
| AREA NAME AREA | AREA TAG | SHEET SHEET | MATCH LINE |
| DOOR # | DOOR TAG | | HINGE SIDE OF DOOR |
| # TYPE | WINDOW TAG | | ALIGN SURFACES |
| | | <div>ROOM NAME ROOM # FLOOR BASE WALL CEILING</div> | FINISH TAG |

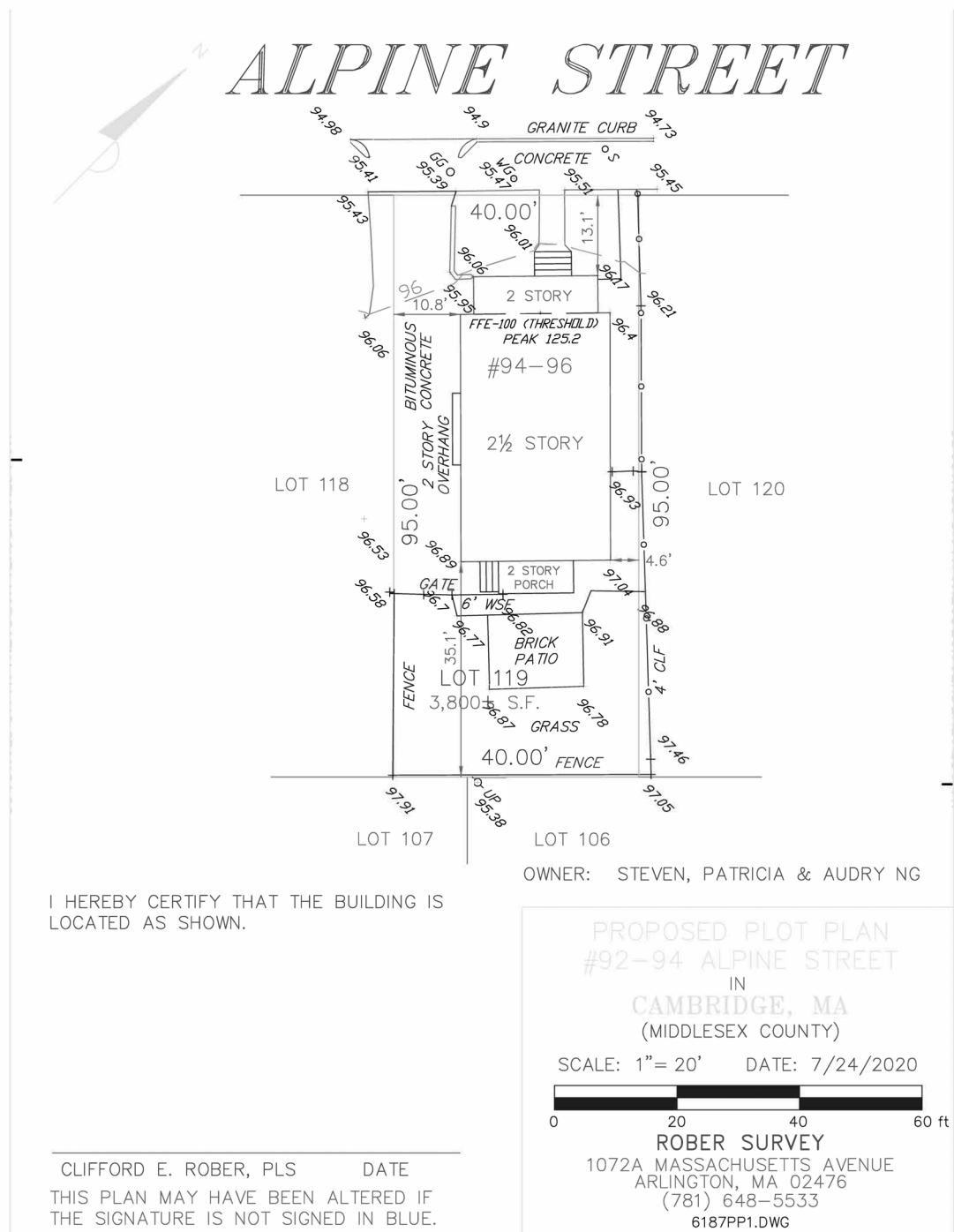
- ALL WORK SHALL BE CONSIDERED NEW, UNLESS OTHERWISE INDICATED.
- DO NOT SCALE DRAWINGS
- VERIFY DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION AND IMMEDIATELY REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- TO THE EXTENT PRACTICABLE, VERIFY DIMENSIONS AND FIELD CONDITIONS AT THE SITE PRIOR TO THE BID SUBMISSION. CONFLICTS, OMISSIONS AND DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED IN WRITING TO THE ARCHITECT, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PRIOR TO THE BID SUBMISSION. THE CONTRACTOR WARRANTS, BY TENDERING HIS BID, THAT THE WORK IS BUILDABLE AS SHOWN.
- LAYOUT ALL WORK WITHIN THE CONFINES OF EXISTING CONSTRUCTION AND RESOLVE DISCREPANCIES PRIOR TO INITIATION OF NEW WORK.
- ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION THAT IS STARTED PRIOR TO PERMIT BEING ISSUED.
- DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTION OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE HAND PLANS SECTIONS OR DETAILS, UNLESS NOTED OTHERWISE.
- TYPICAL OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONE TIME, WHEN THEY FIRST OCCUR.
- IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN PROJECT MANUAL, LARGE SCALE DRAWINGS, SMALL SCALE DRAWINGS AND DETAILS. THE CONTRACTOR SHALL NOT PROCEED WITH AFFECTED WORK UNTIL ARCHITECT PROVIDES CLARIFICATION.
- PARTITIONS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO MASONRY ARE TO ACTUAL FINISHED FACE, UNLESS OTHERWISE NOTED.
- VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMMUNICATING AND DISTRIBUTING ALL CONSTRUCTION DOCUMENT UPDATES TO ALL TRADES.
- WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE STATE, FEDERAL AND CITY/COUNTY CODES. STATE AND FEDERAL CODES ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS. IF ANY DISCREPANCY IS NOTED, IMMEDIATELY INFORM THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.
- FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT PERMITS, CONTROLLED INSPECTIONS, OTHER AGENCY APPROVALS AND PERMITS WHERE REQUIRED, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. COPIES OF TRANSACTIONS SHALL BE FORWARDED TO THE OWNER OR OWNER'S REPRESENTATIVE.
- EXECUTE INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
- WORK AREA SHALL BE MAINTAINED, CLEAN AND FREE OF DEBRIS AT ALL TIMES.
- PATCH ALL SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES.
- PATCH, REPAIR AND FINISH ALL SURFACES IN AREAS OUTSIDE OF THE EXISTING SCOPE THAT ARE DISTURBED AS A RESULT OF THE WORK.
- COORDINATE AND PROVIDE BLOCKING AND STRAPPING WITHIN PARTITIONS FOR MILLWORK AND OTHER WALL ATTACHED ITEMS.
- APPLY, INSTALL, CONNECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- GLASS 18" OR LESS FROM FLOOR LINE OR ADJACENT TO A DOOR SWING SHALL BE SAFETY GLASS AS REQUIRED BY APPLICABLE CODE(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING " SAFETY GLASS, UNLESS OTHERWISE NOTED, TO COMPLY WITH BUILDING AND LIFE SAFETY CODES, INDUSTRY STANDARDS AND OTHER APPLICABLE FEDERAL AND STATE CODES.
- FLASHING AT EXTERIOR WALLS SHALL BE INSTALLED WITH SEALED JOINTS. SEALED PENETRATIONS AND ENDS TURNED UP. IT SHALL BE FABRICATED AND INSTALLED TO ENSURE THAT MOISTURE IN WALLS WILL BE DIRECTED TO WICKS AND WEEP HOLES.
- COORDINATE ALL DIMENSIONS CONCERNING DOORS/PANELS/WINDOWS, STAIRS AND THEIR OPENINGS WITH PRODUCT MANUFACTURERS PRIOR TO FABRICATION AND CONSTRUCTION.
- PROVIDE WEATHERSTRIP AT EXTERIOR DOORS.
- PROVIDE FLASHING AND/OR SEALANT AT OPENINGS IN ROOF OR WALLS TO ENSURE A WEATHERTIGHT BUILDING.
- LOCATE THERMOSTATS ADJACENT TO SWITCH PLATES WHERE POSSIBLE. VERIFY LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION TO AVOID CONFLICTS WITH BUILT-INS OR SYSTEMS FURNITURE OR DESIGN ELEMENTS.
- ALIGN OUTLETS, WALL SWITCHES, TEL-DATA JACKS, ETC., INDICATED TO BE MOUNTED AT NEAR EQUIVALENT ELEVATIONS.
- ALL DOORS SHALL BE LOCATED 6" OFF THE ADJACENT PARTITION, OR ONE MASONRY COURSE AT CMU PARTITIONS, UNLESS NOTED OTHERWISE.
- DURING DEMOLITION AND CONSTRUCTION PROTECT ALL EXISTING FINISHES TO REMAIN.
- ALL WOOD SHALL BE FSC CERTIFIED.
- ALL WOOD FRAMING SIZES ARE BASED ON SPF-S5
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED (P.T.).
- CORRECT ALL DEFECTS FOUND IN EXISTING BUILDING WHICH INTERFERE WITH NEW CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO UNEVEN SURFACES AND FINISHES AT GWB.

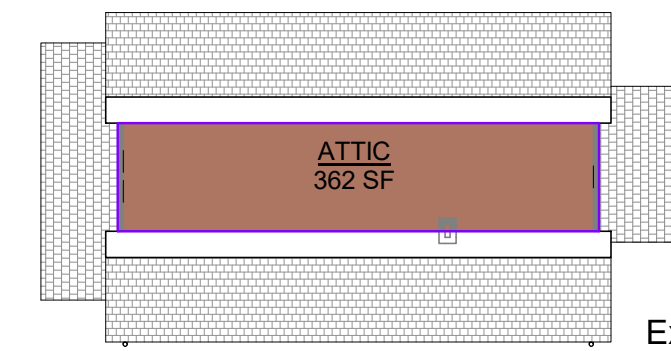
- 1 P-GENERAL NOTES
1 1/2" = 1'-0"



- 2 P-SITE PLAN
1 1/2" = 1'-0"

- 2 P-MATERIALS
1 1/2" = 1'-0"





ATTIC

Floor plan of the second floor. The plan shows a large rectangular area labeled "FINISHED 987 SF" with a green hatched pattern. To the left of this area is a light blue area labeled "DECK 141 SF". A staircase is located between the deck and the finished area. The entire floor is enclosed by a purple border. Arrows indicate the location of doors and windows.

DECK

FLOOR PLAN

118 SF PORCH

958 SF FINISHED

63 SF DECK

DECK

Floor plan of the second floor. The main area is labeled "FINISHED 1073 SF". A staircase is located in the upper left corner. A deck is shown on the right side, labeled "DECK 79 SF".

 DECK

Floor plan of the first floor. The main area is labeled "FINISHED 982 SF". A yellow-shaded area on the left is labeled "FRONT PORCH 118 SF". The plan shows a central hallway, several rooms, and two staircases. A north arrow is located in the top right corner.

BACK

The floor plan shows a large rectangular area labeled "FINISHED 1000 SF" in green. To the left of this area is a yellow-shaded "STAIRWELL 55 SF". To the right is a white-shaded "DECK 84 SF". The plan includes various rooms, corridors, and structural elements like walls and doors.

DECK

UNFINISHED
907 SF

UNFIN

 UNFINI

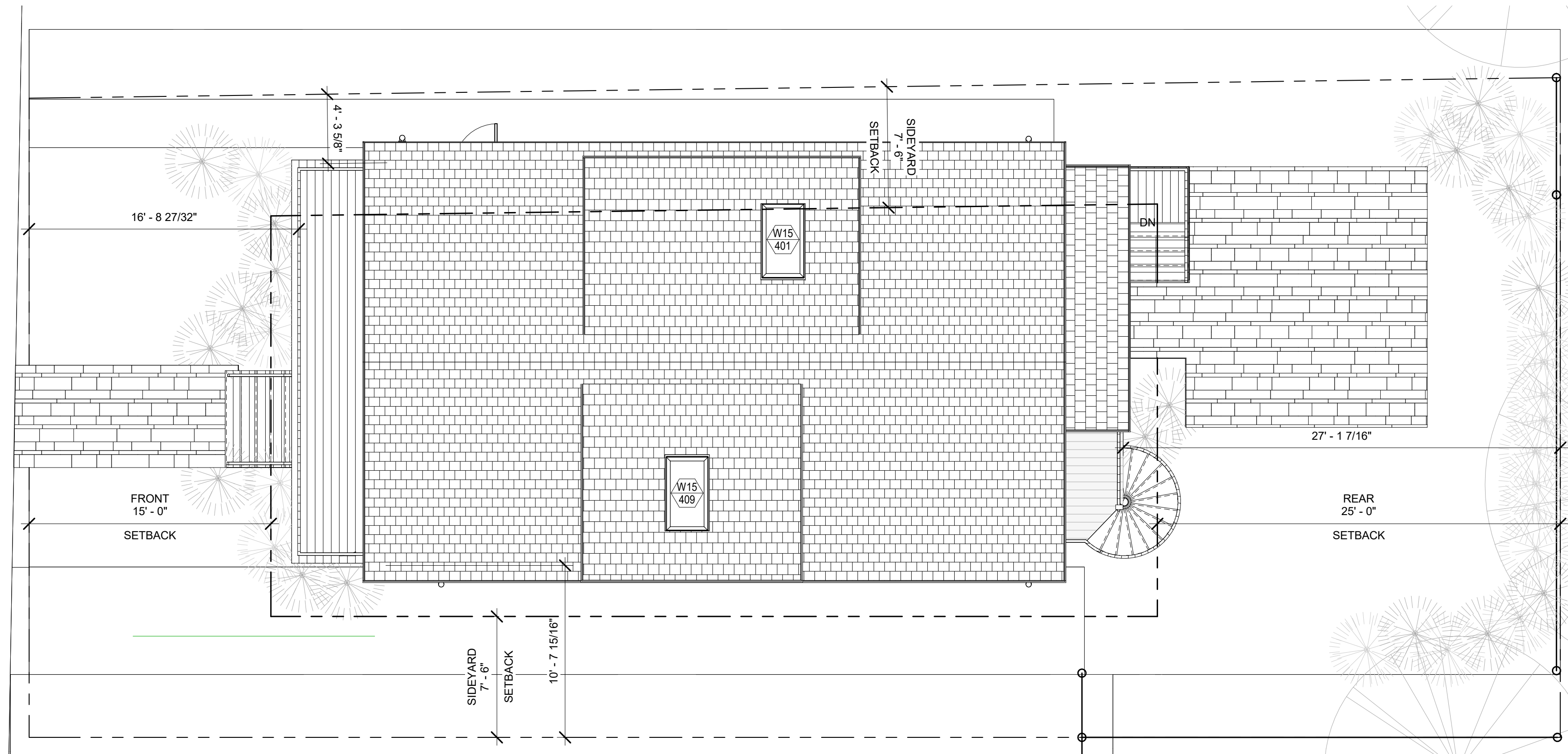
| EXISTING FAR | | | | |
|------------------|--------|----------|-------|-------------|
| Level | Area | Comments | Count | Name |
| EXISTING LEVEL 1 | 982 SF | | 1 | FINISHED |
| EXISTING LEVEL 1 | 118 SF | | 1 | FRONT PORCH |
| EXISTING LEVEL 1 | 64 SF | | 1 | BACK DECK |

| | | | | |
|------------------|--------|--|---|----------|
| EXISTING LEVEL 2 | 958 SF | | 1 | FINISHED |
| EXISTING LEVEL 2 | 63 SF | | 1 | DECK |
| EXISTING LEVEL 2 | 118 SF | | 1 | PORCH |

| Proposed FAR | | | | |
|------------------|---------|----------|-------|-----------|
| Level | Area | Comments | Count | Name |
| EXISTING LEVEL 1 | 69 SF | | 1 | PORCH |
| EXISTING LEVEL 1 | 1000 SF | | 1 | FINISHED |
| EXISTING LEVEL 1 | 84 SF | | 1 | DECK |
| EXISTING LEVEL 1 | 55 SF | | 1 | STAIRWELL |

| | | | | |
|------------------|---------|--|---|----------|
| EXISTING LEVEL 2 | 1073 SF | | 1 | FINISHED |
| EXISTING LEVEL 2 | 79 SF | | 1 | DECK |

| | | | | |
|------------------|--------|--|---|----------|
| PROPOSED LEVEL 3 | 987 SF | | 1 | FINISHED |
| 3348 SF | | | | |

The logo for the South Korean Agency for Science and Technology Advancement (SKA). It features a stylized white graphic of two overlapping trapezoidal shapes on a dark grey background, with the letters 'SKA' in white below it.

REGISTRATIONS:

STRUCTURAL ENGINEER:

PLOT PLAN & AREA PLAN

STEVE & TRISH NG

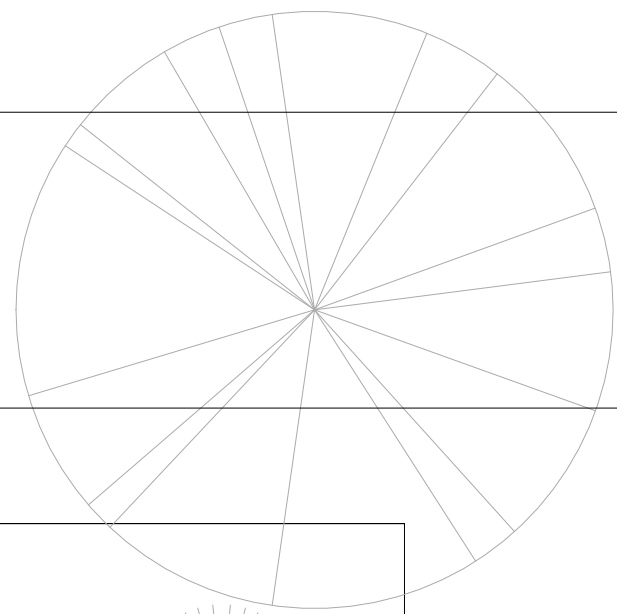
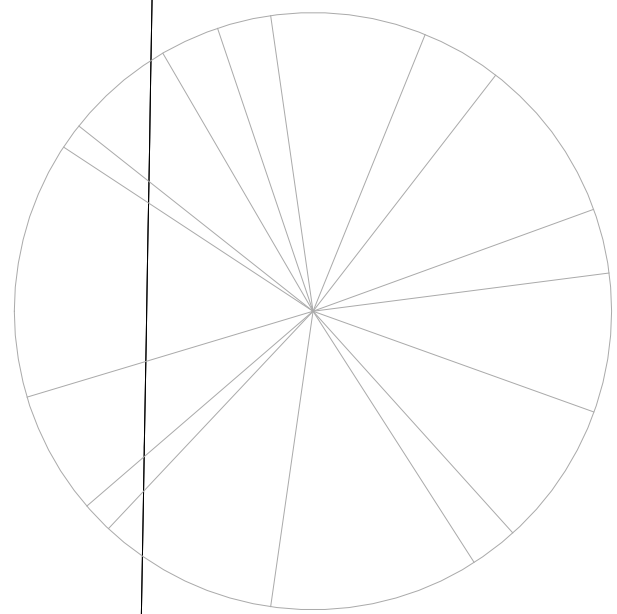
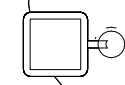
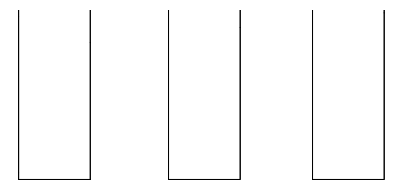
NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

| | |
|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

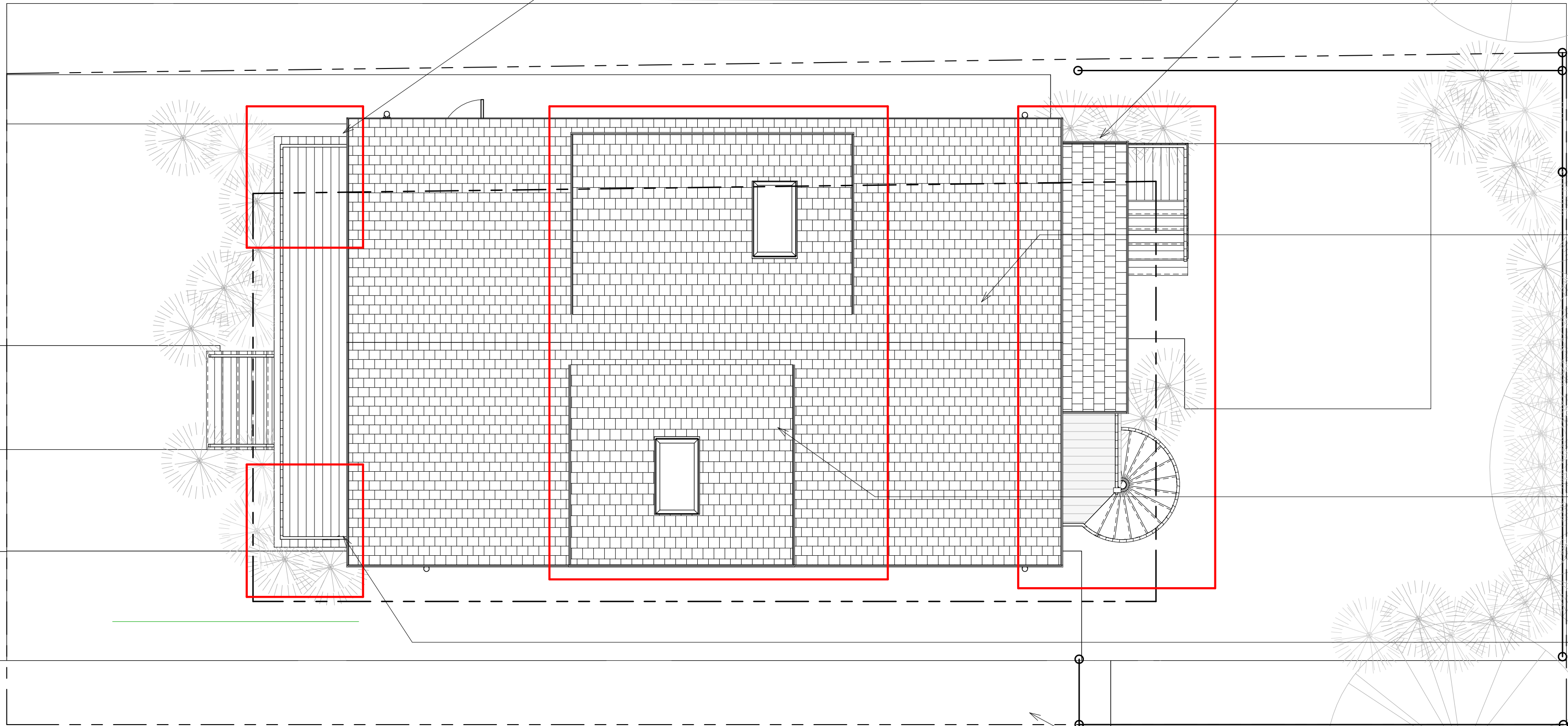
P-002

| | |
|-------|--------------|
| Scale | As indicated |
|-------|--------------|



PRPOSED EXTERIOR AT
FRONT OF HOUSE

PROPOSED DECK



PROPOSED ROOF

PROPOSED DORMER

PRPOSED EXTERIOR AT
FRONT OF HOUSE

EXISTING DRIVEWAY
TO REMAIN

ALPINE ST.

① P-PROPOSED SITE PLAN
3/16" = 1'-0"



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REGISTRATIONS:

STRUCTURAL ENGINEER:

LANDSCAPE PLAN

STEVE & TRISH NG

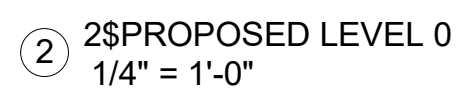
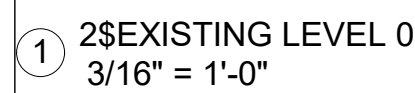
NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

| | |
|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-003

Scale 3/16" = 1'-0"



REGISTRATIONS:

STRUCTURAL ENGINEER:

PROPOSED LEVEL 0

STEVE & TRISH NG

NG RESIDENCE

994-96 ALPINE ST.
CAMBRIDGE, MA 02138

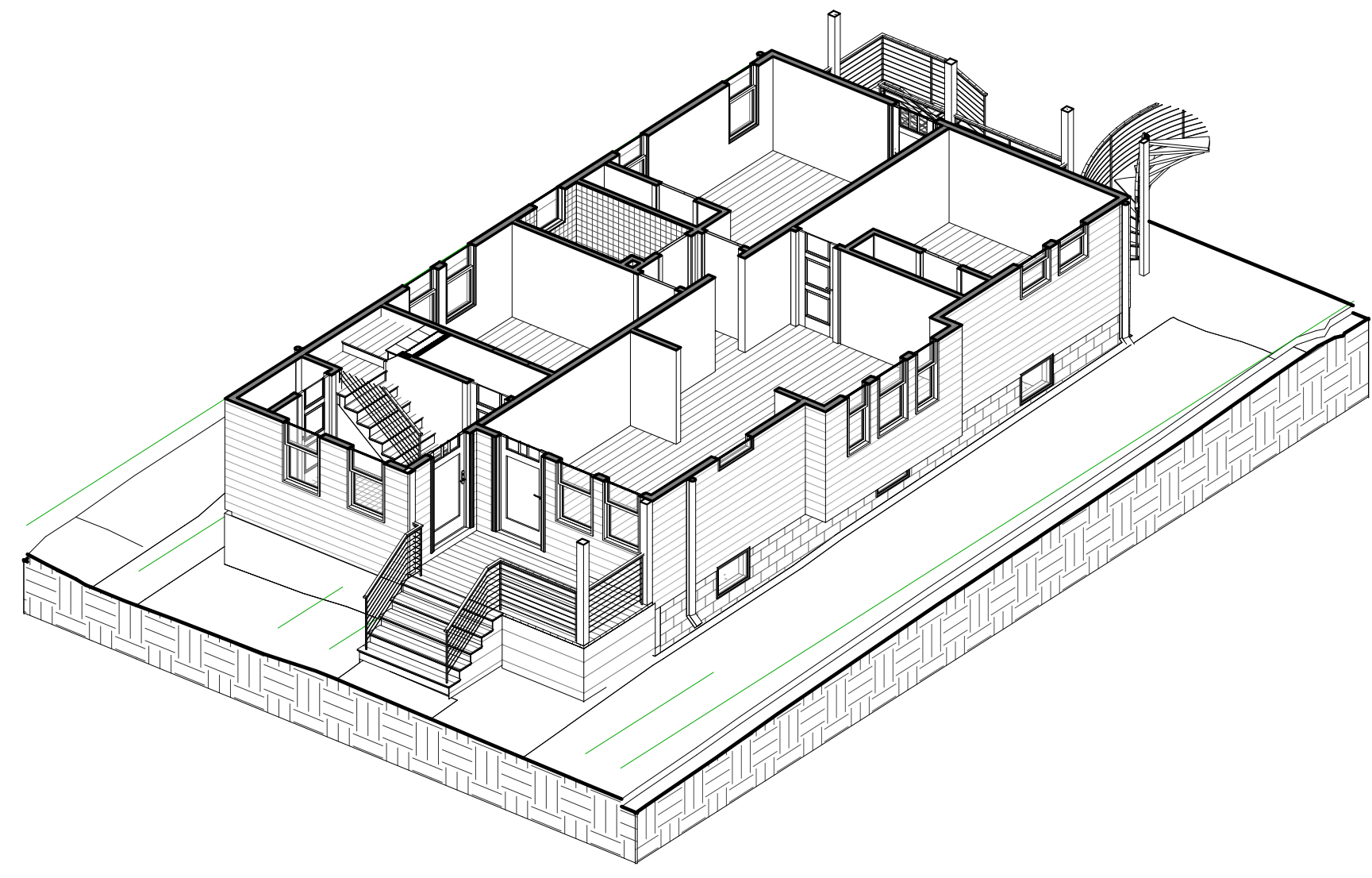
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| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-100

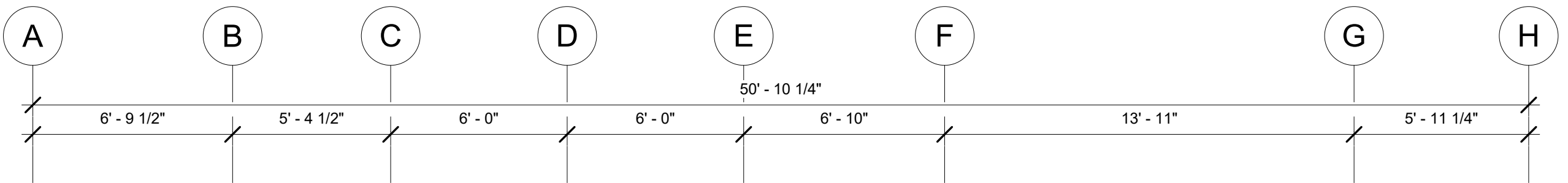
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|-------|--------------|
| Scale | As indicated |
|-------|--------------|



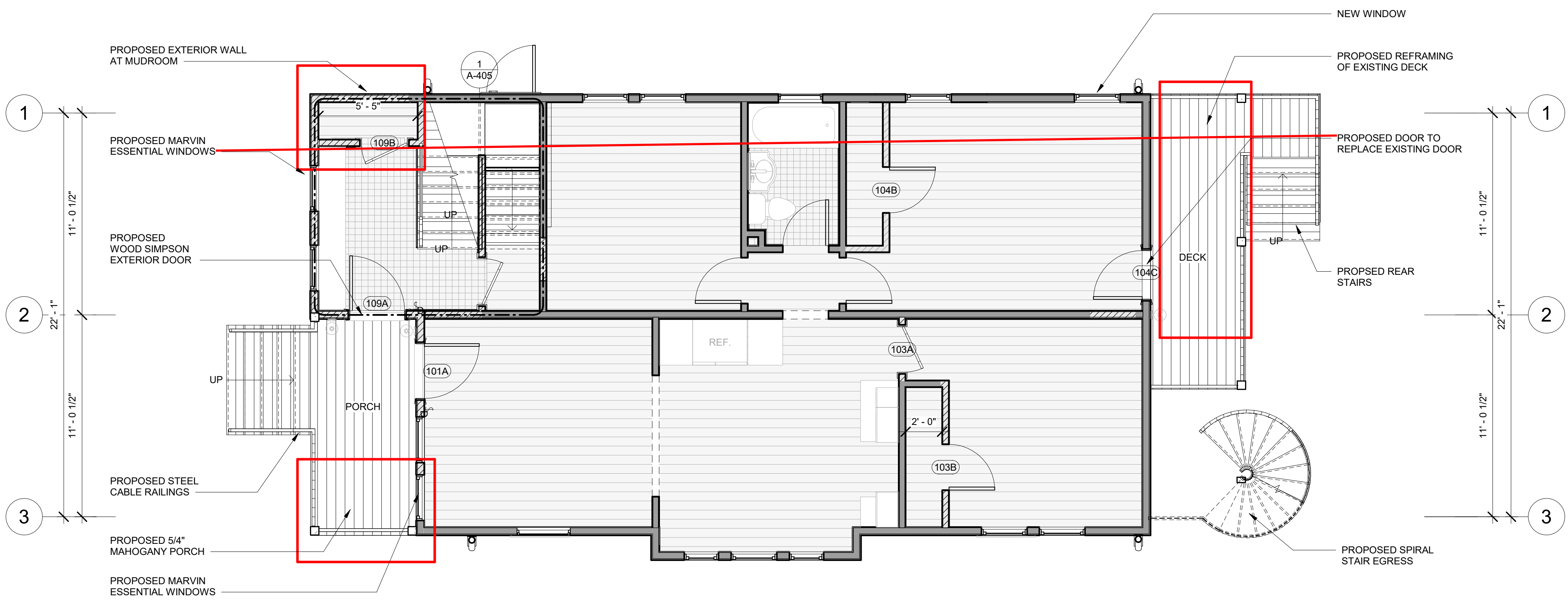
1 2\$EXISTING LEVEL 1
3/16" = 1'-0"



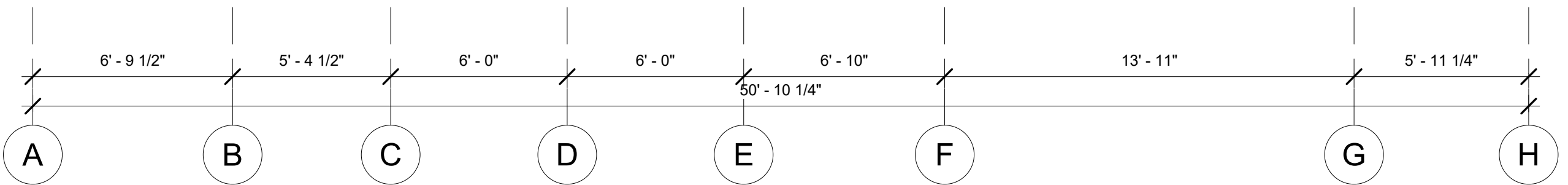
3 1\$AXON - PROPOSED LEVEL 1



4 3D View 2



2 2\$PROPOSED LEVEL 1
1/4" = 1'-0"



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REGISTRATIONS:

STRUCTURAL ENGINEER:

PROPOSED LEVEL 1

STEVE & TRISH NG

NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

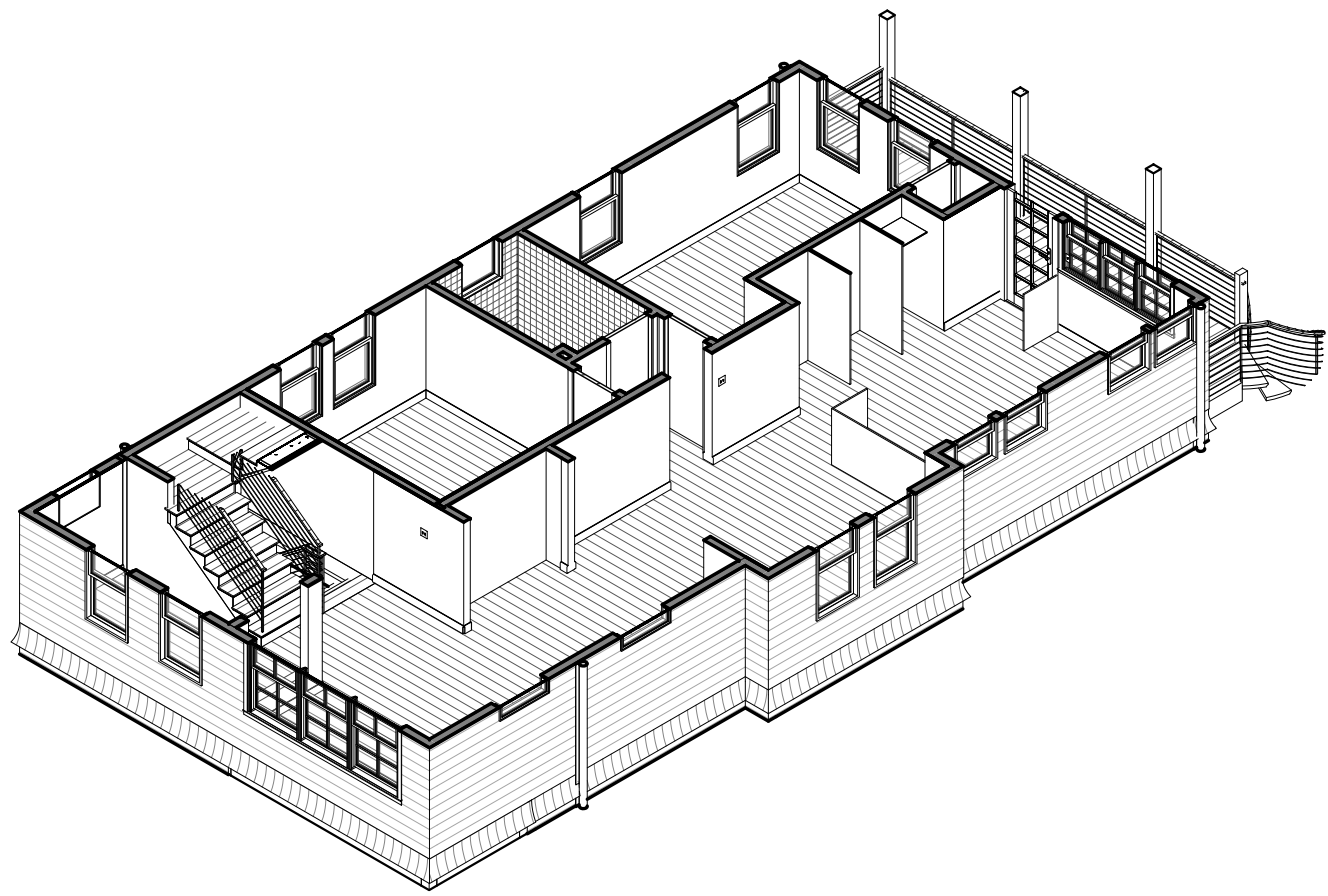
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| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-101

Scale As indicated



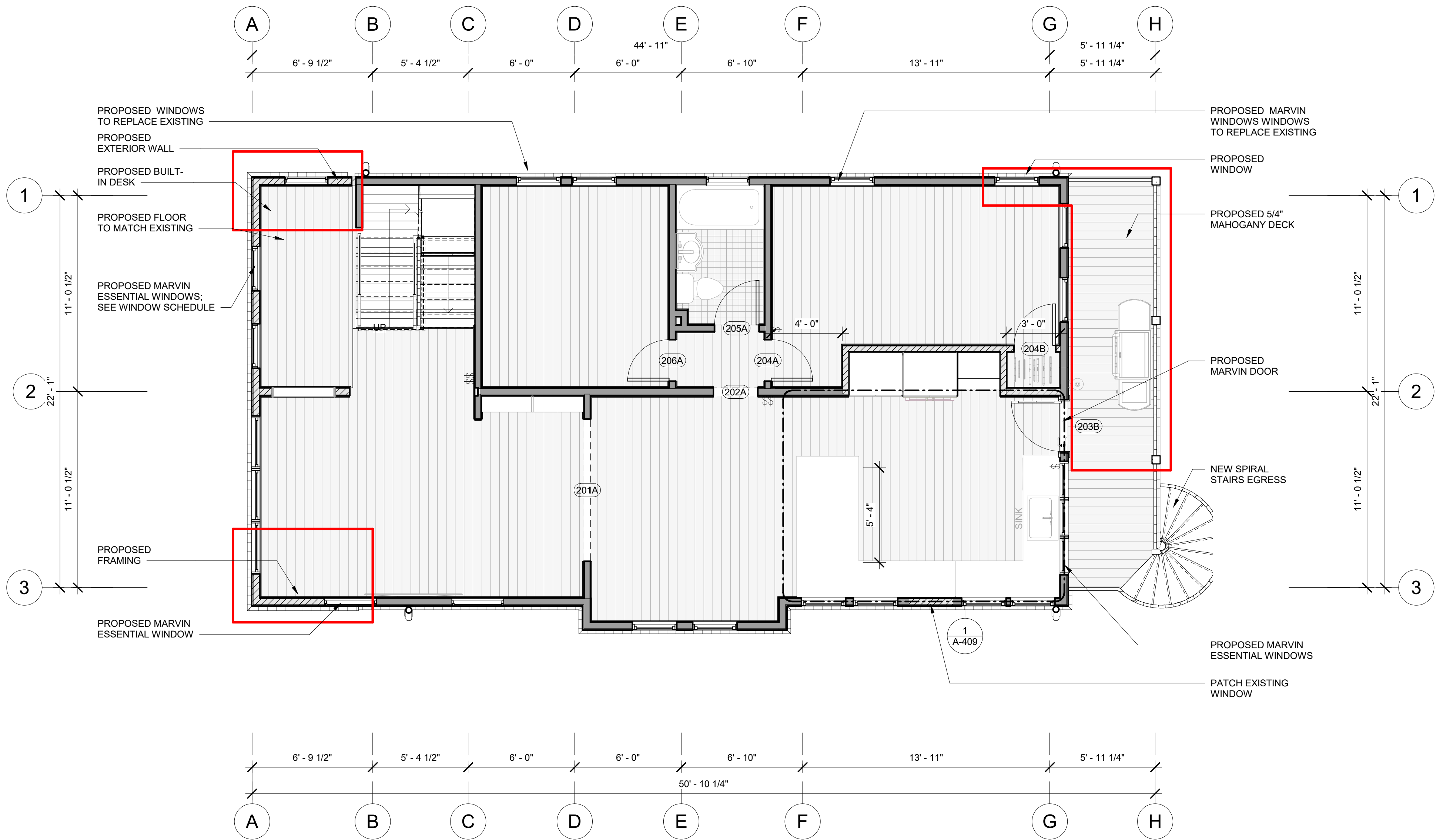
1 2\$EXISTING LEVEL 2
3/16" = 1'-0"



3 1\$AXON - PROPOSED LEVEL 2



4 3D View 3



2 2\$PROPOSED LEVEL 2
1/4" = 1'-0"



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REGISTRATIONS:

STRUCTURAL ENGINEER:

PROPOSED LEVEL 2

STEVE & TRISH NG

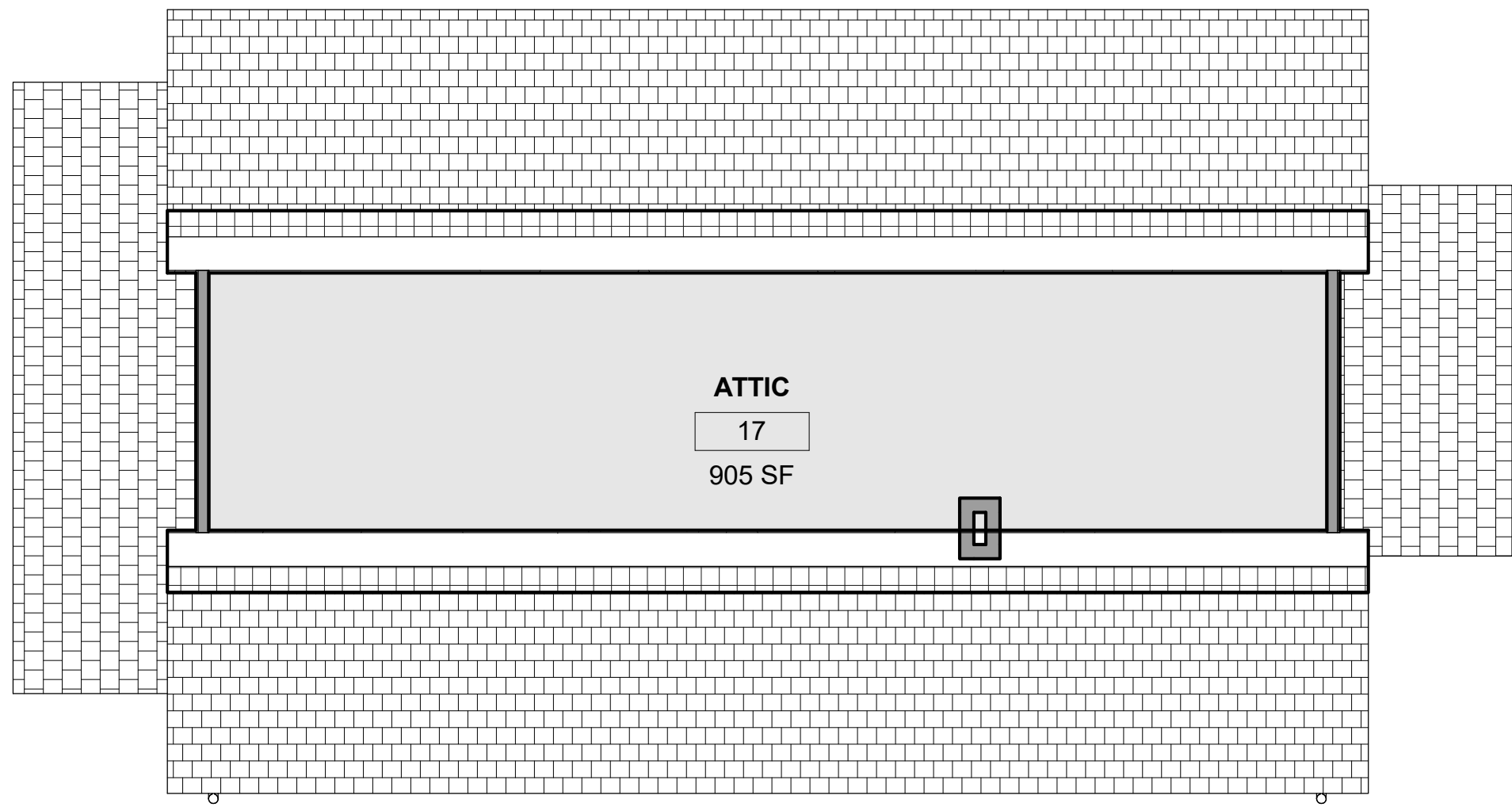
NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

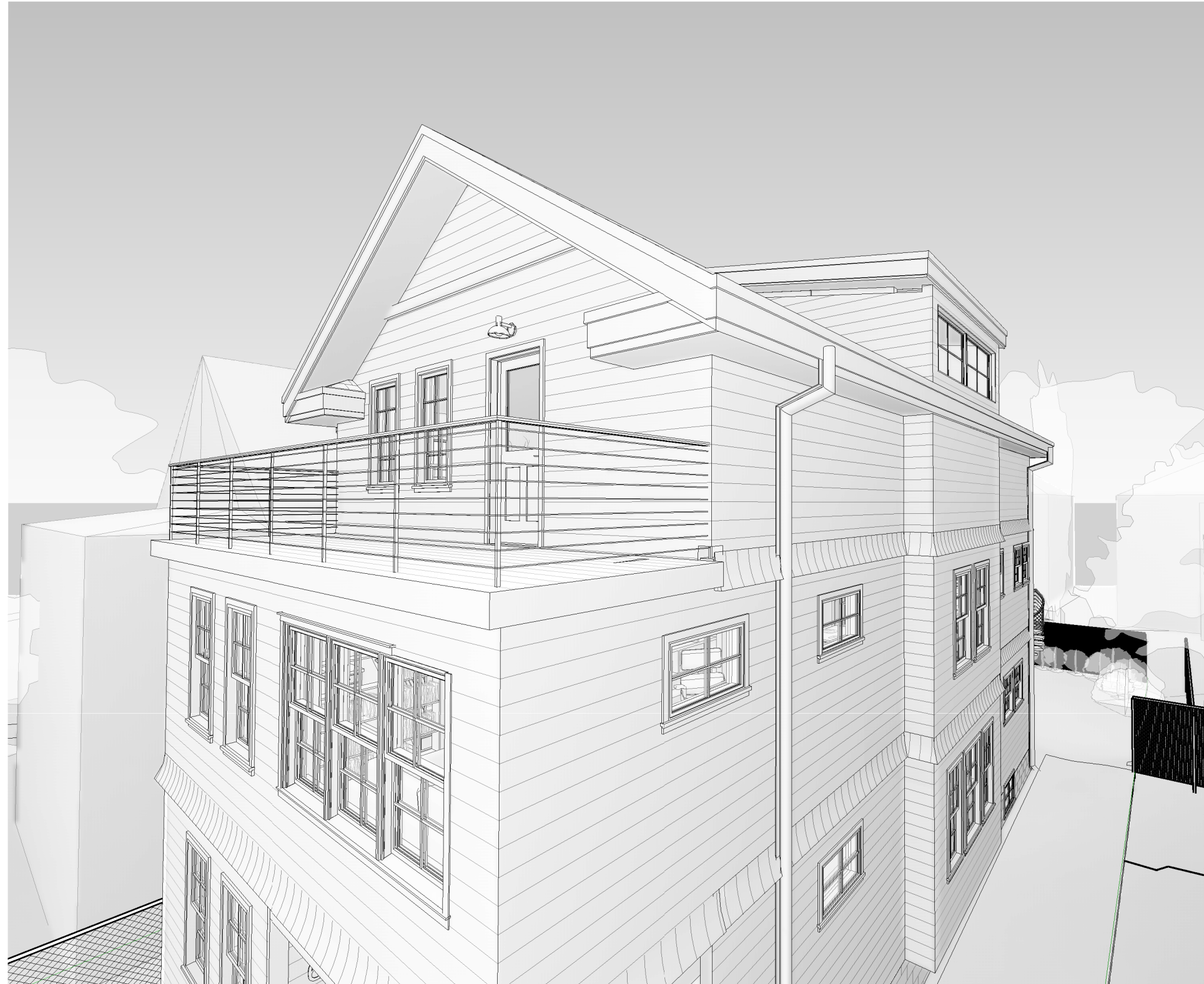
Project Status BZA SUBMISSION SET
Project number Project Number
Date 09/11/2020
Drawn by Author
Checked by Checker

P-102

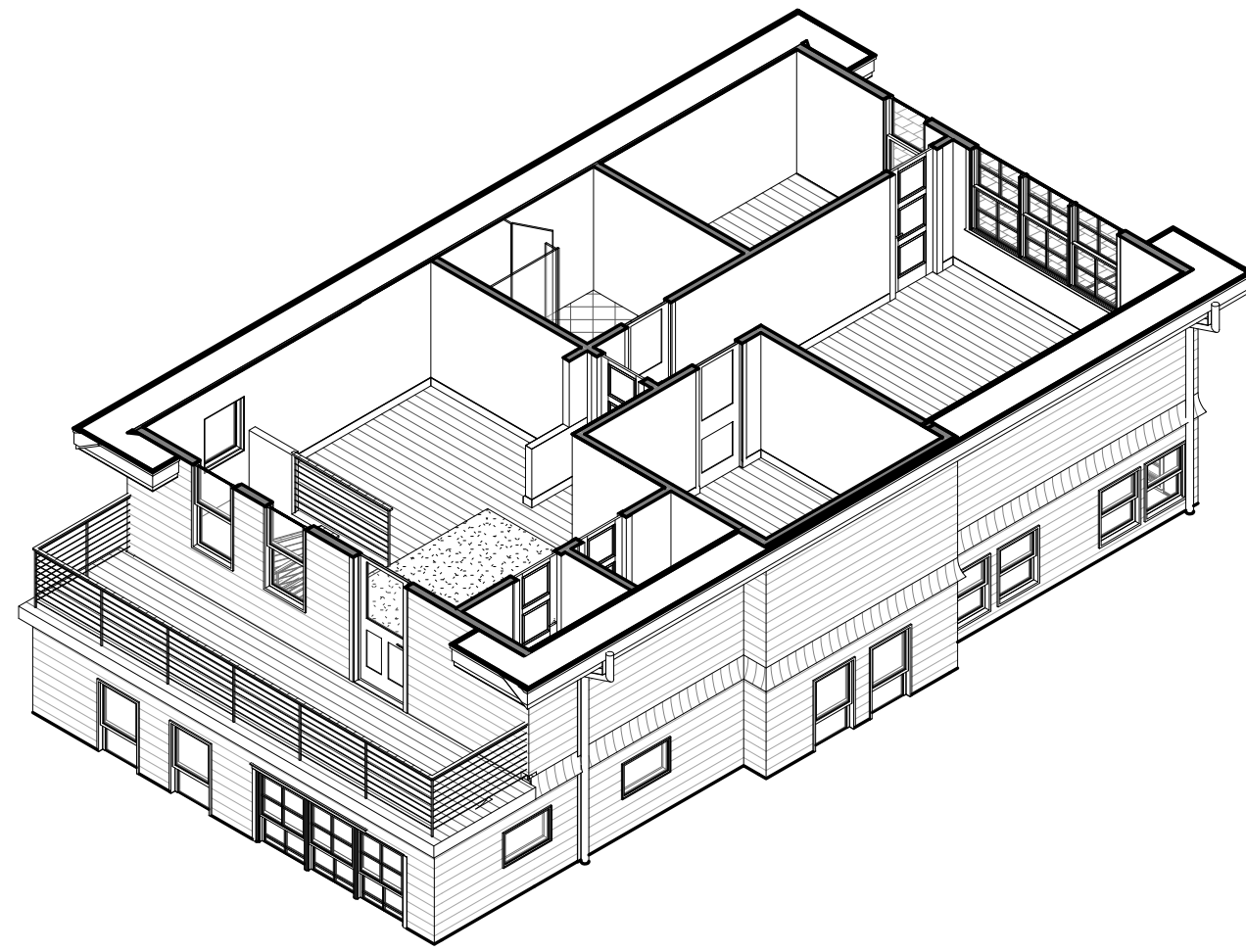
Scale As indicated



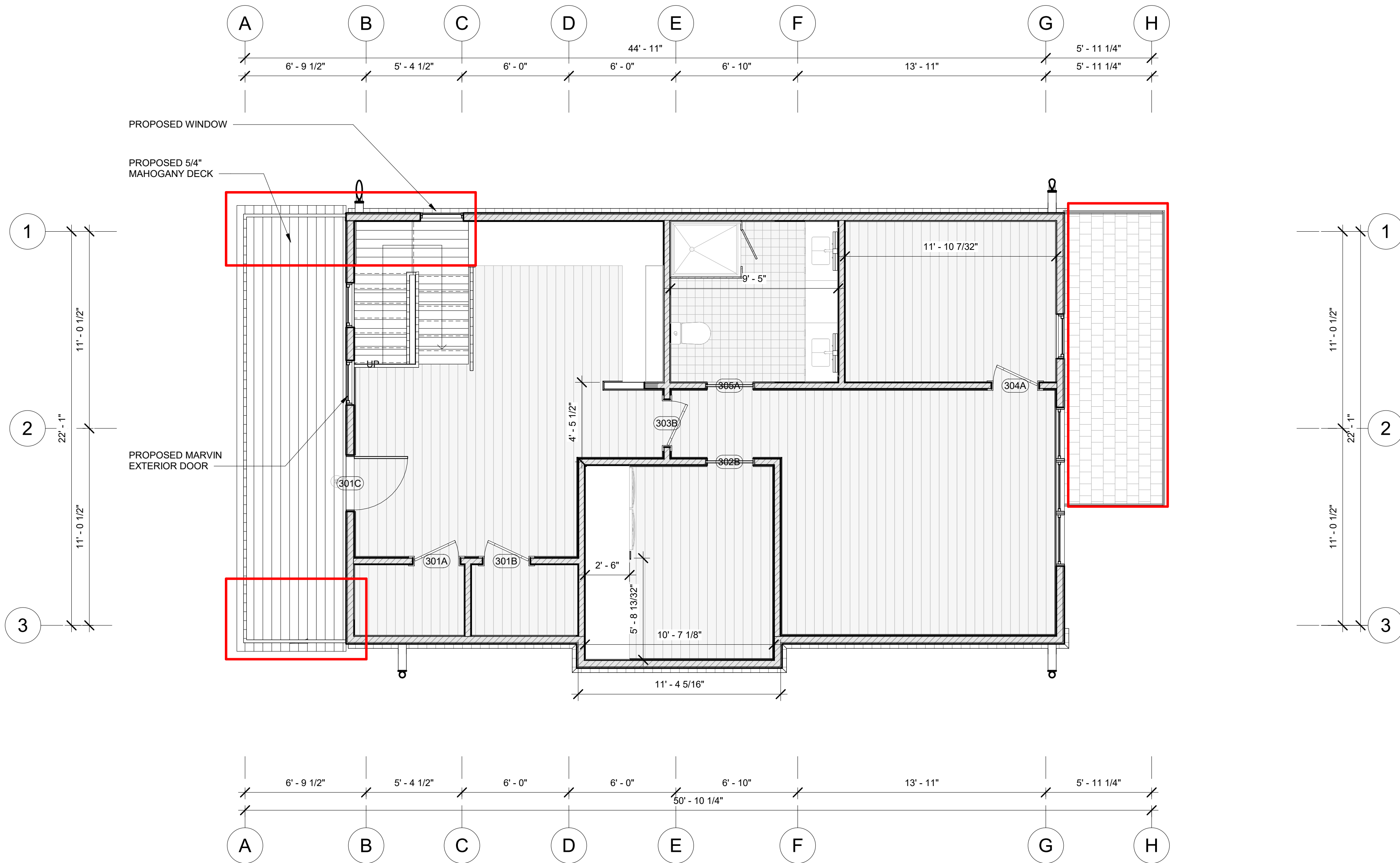
1\$PROPOSED LEVEL 4
3/16" = 1'-0"



4 3D View 4



3 1\$AXON - OPTION A - LEVEL 3



2\$PROPOSED LEVEL 3
1/4" = 1'-0"



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REGISTRATIONS:

STRUCTURAL ENGINEER:

PROPOSED LEVEL 3

STEVE & TRISH NG

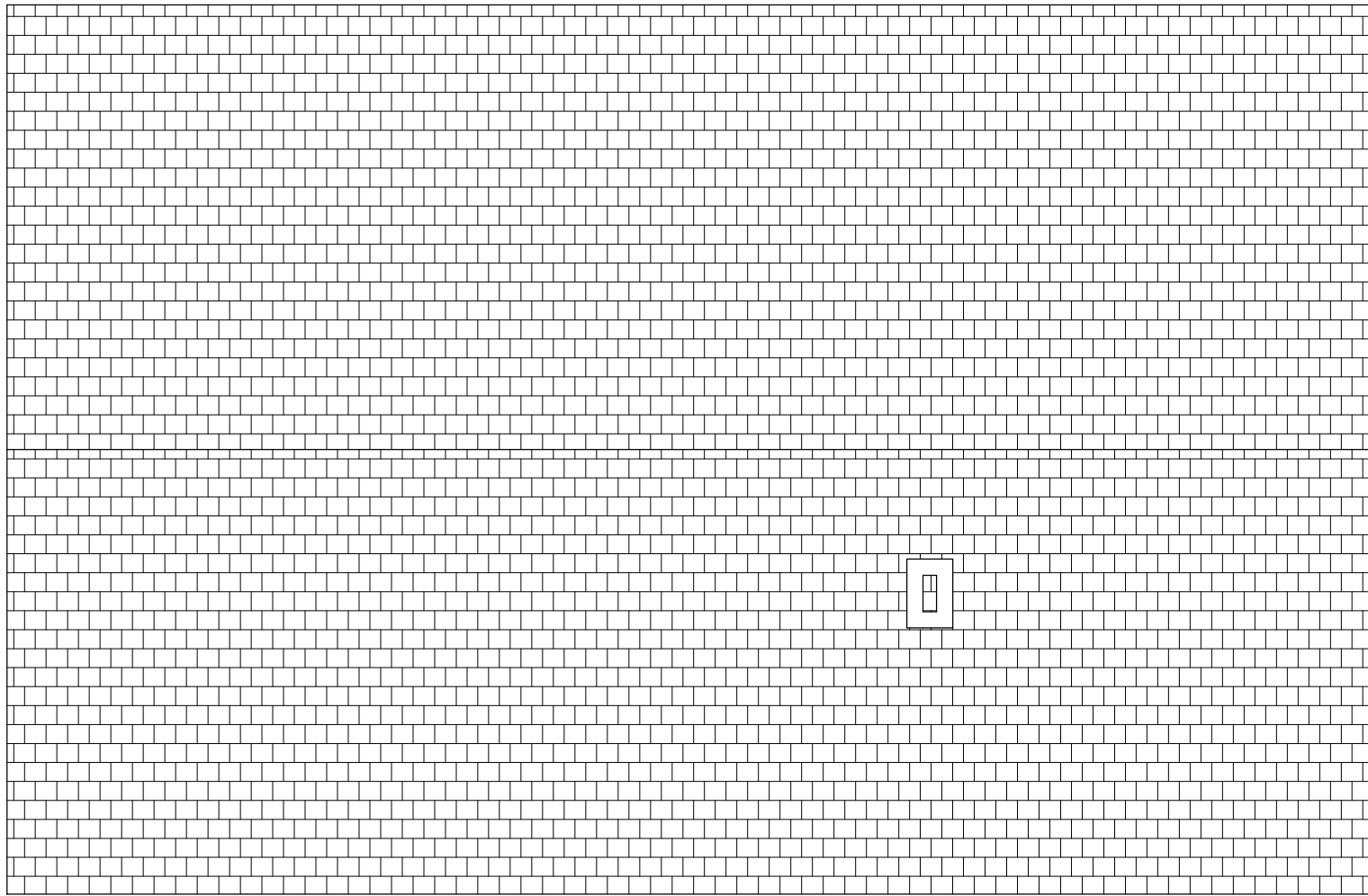
NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

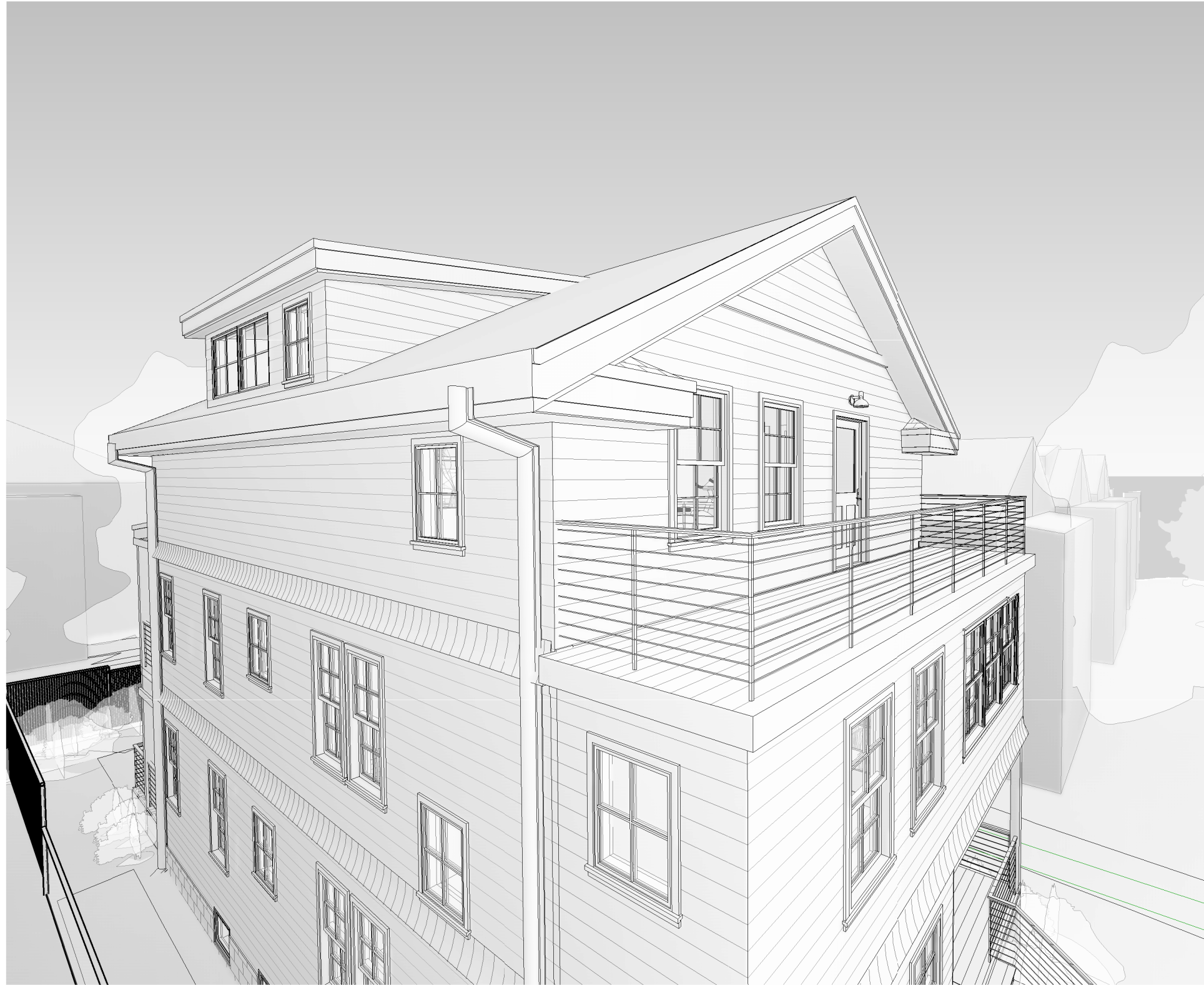
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|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-103

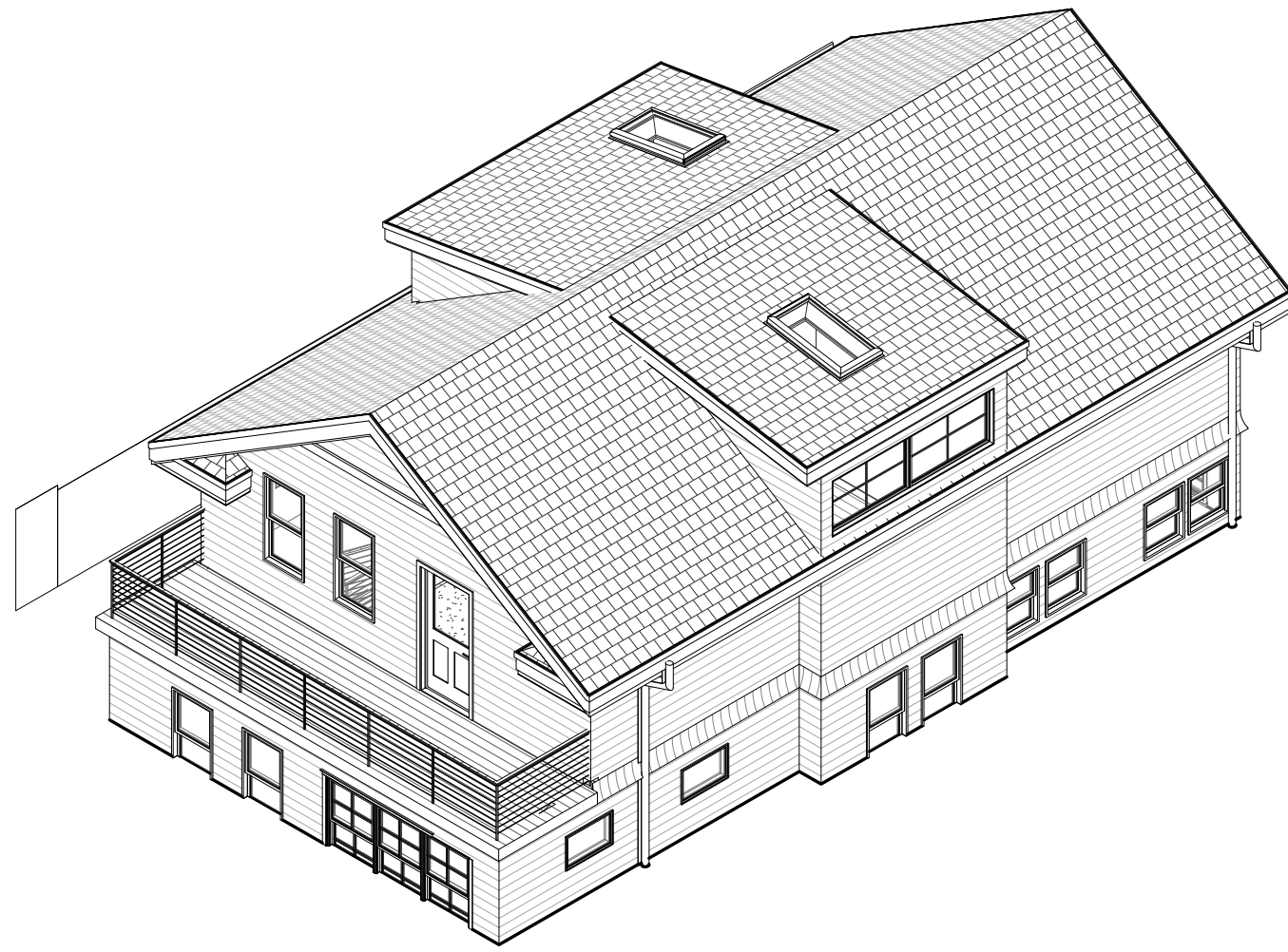
Scale As indicated



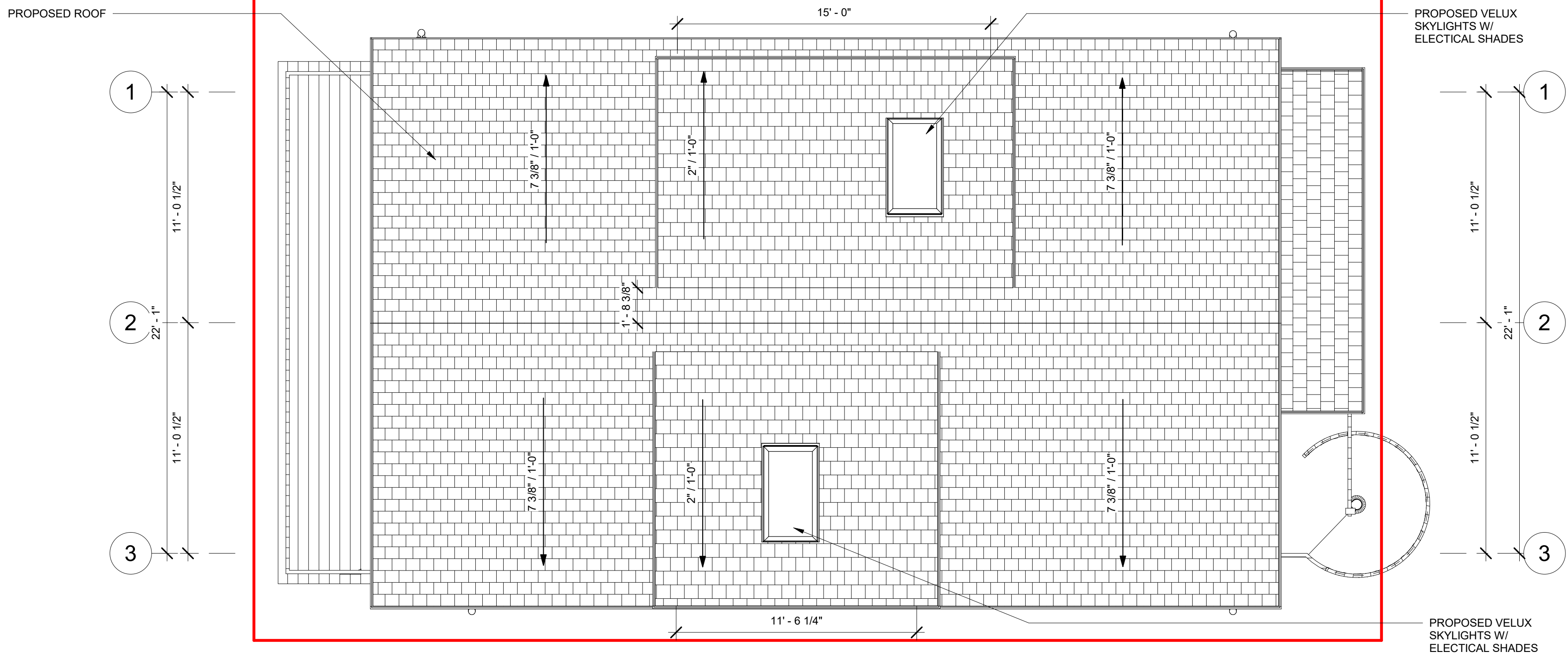
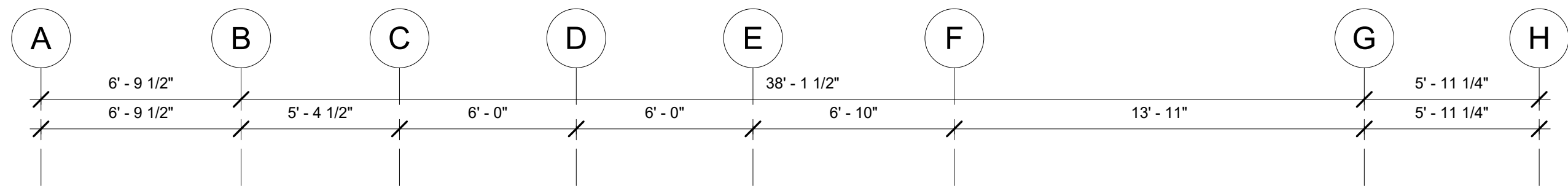
1\$EXISTING ROOF RIDGE
3/16" = 1'-0"



4 PERSPECTIVE - ROOF



3 1\$AXON - ROOF LEVEL



2 1\$PROPOSED ROOF RIDGE
1/4" = 1'-0"

PROPOSED ROOF PLAN

STEVE & TRISH NG

NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

| | |
|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-110

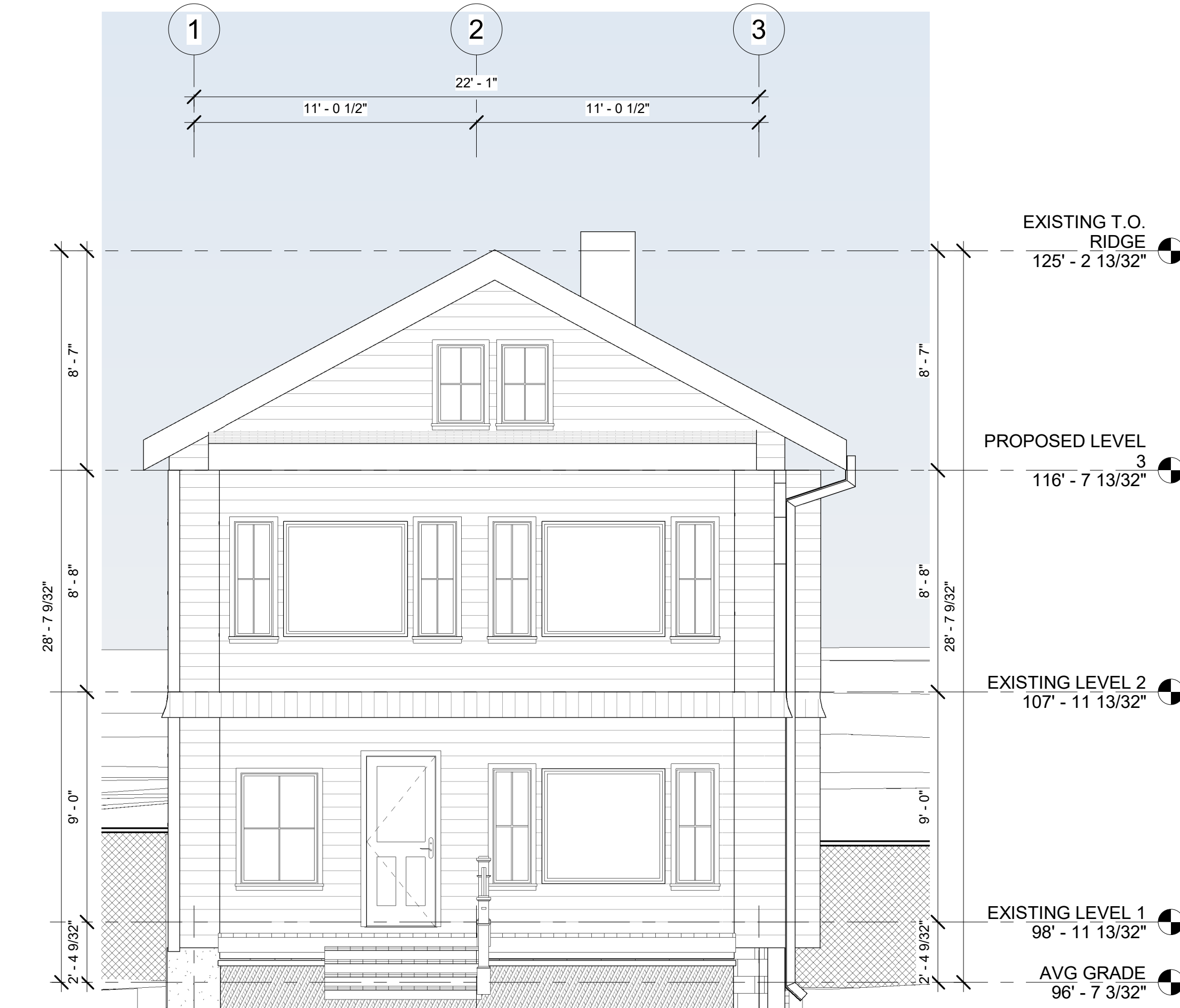
Scale As indicated



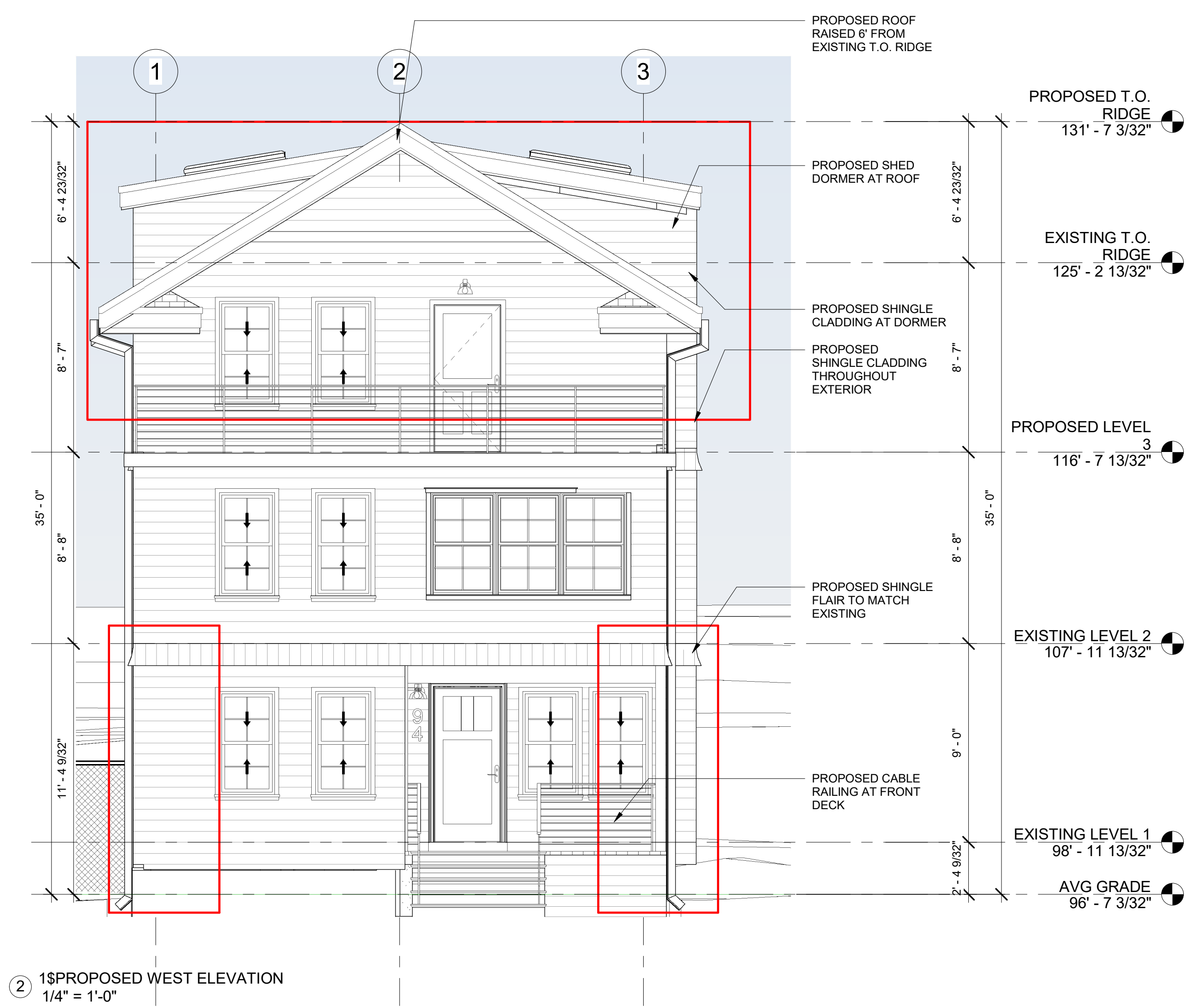
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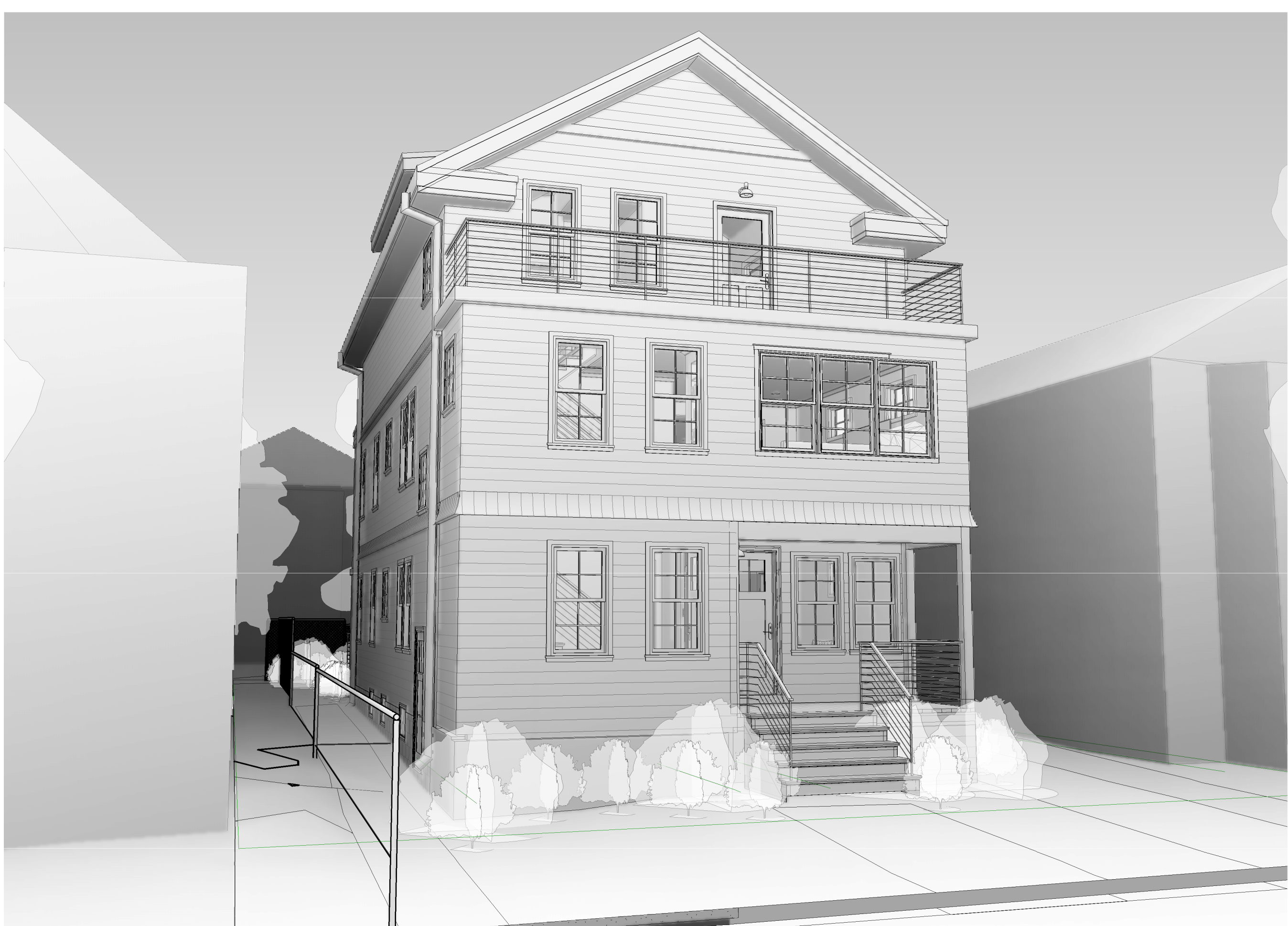
STRUCTURAL ENGINEER:



1 EXISTING WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
1/4" = 1'-0"



3 PERSPECTIVE FRONT ELEVATION
1/4" = 1'-0"



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REGISTRATIONS:

STRUCTURAL ENGINEER:

ELEVATION WEST

STEVE & TRISH NG

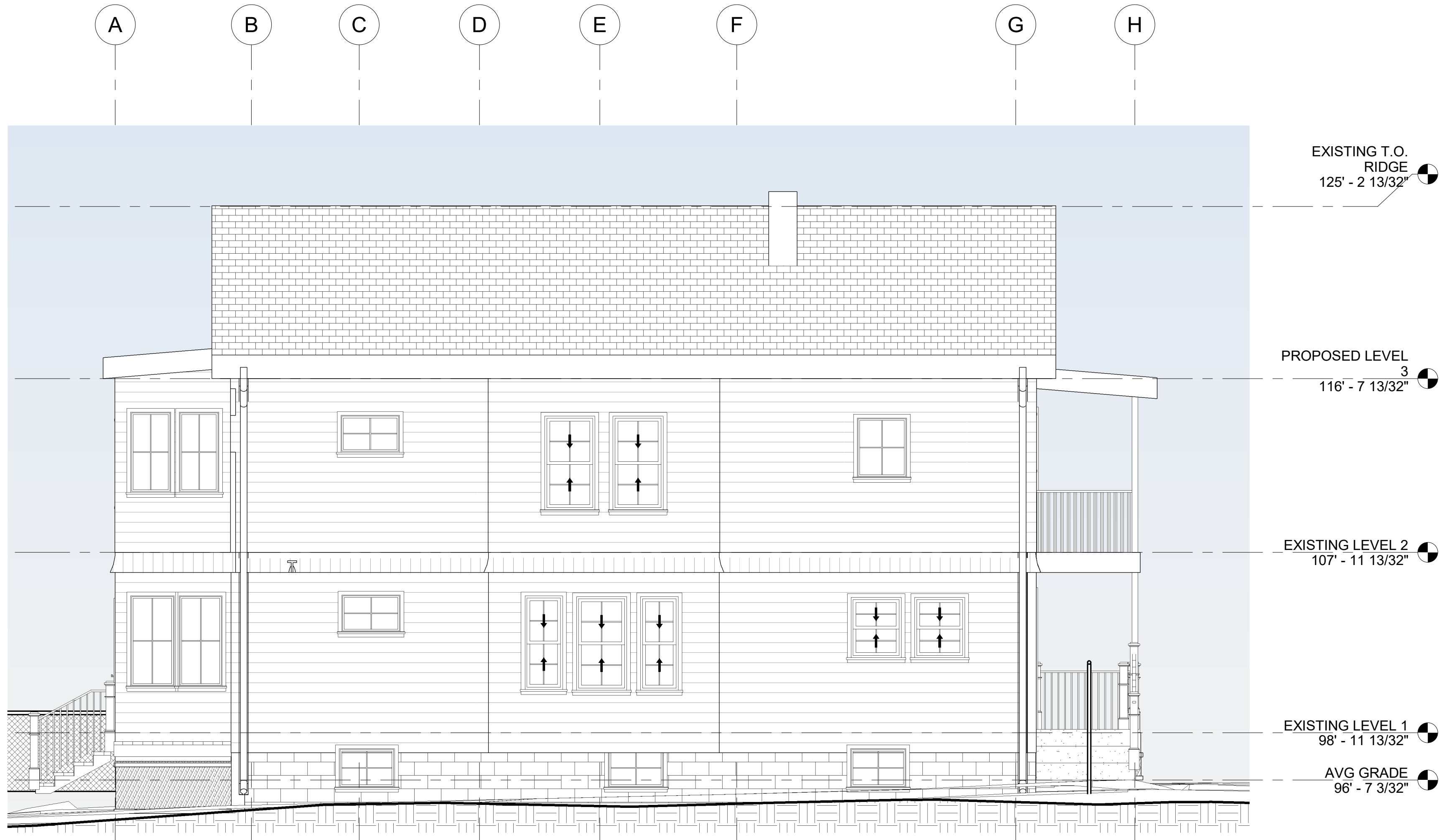
NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

| | |
|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-200

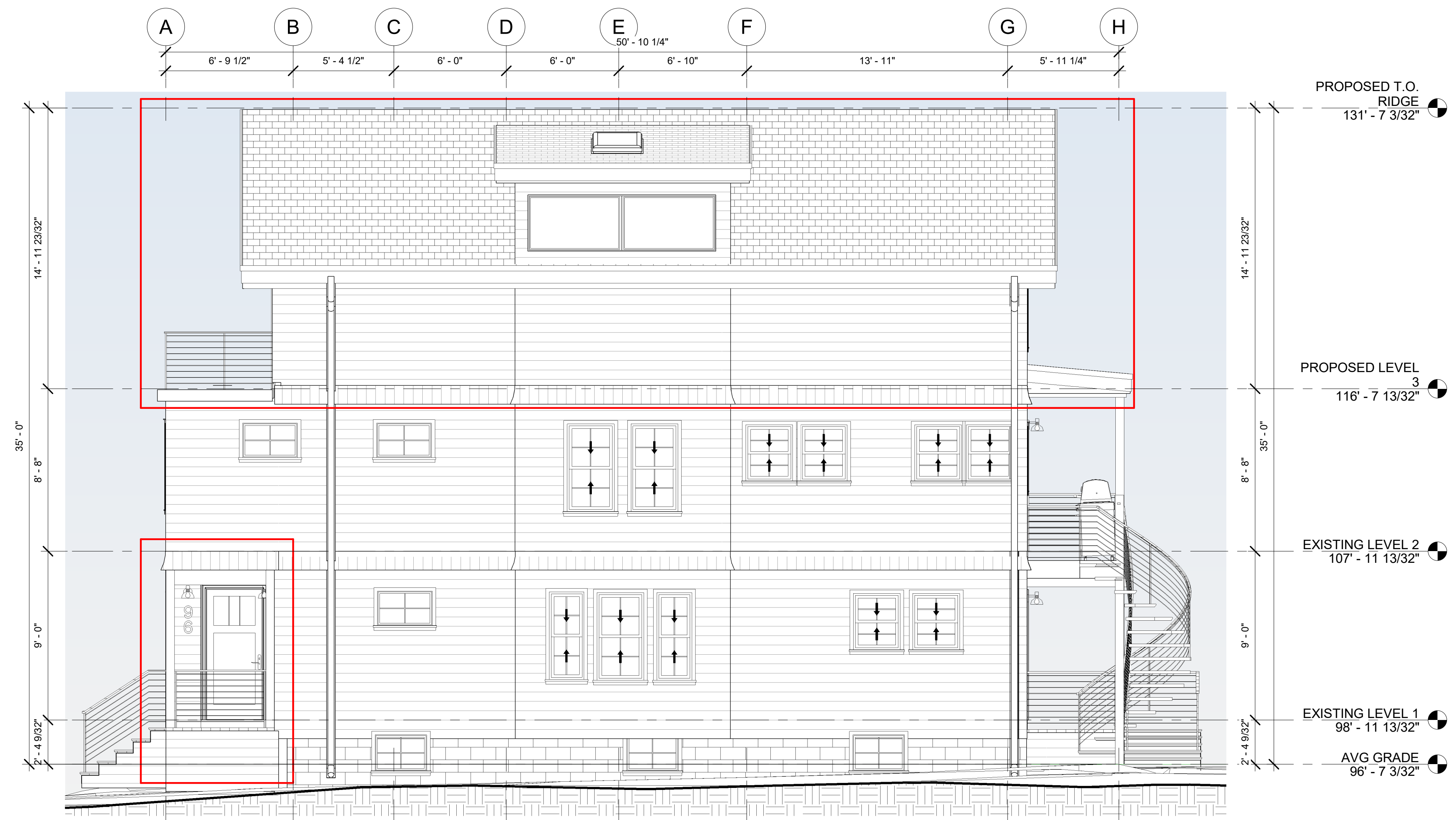
Scale 1/4" = 1'-0"



1\$EXISTING SOUTH ELEVATION
1/4" = 1'-0"



3 PERSPECTIVE - ELEVATION - NORTH



2\$PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



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REGISTRATIONS:

STRUCTURAL ENGINEER:

ELEVATION NORTH

STEVE & TRISH NG

NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

Project Status BZA SUBMISSION SET
Project number Project Number
Date 09/11/2020
Drawn by Author
Checked by Checker

P-201

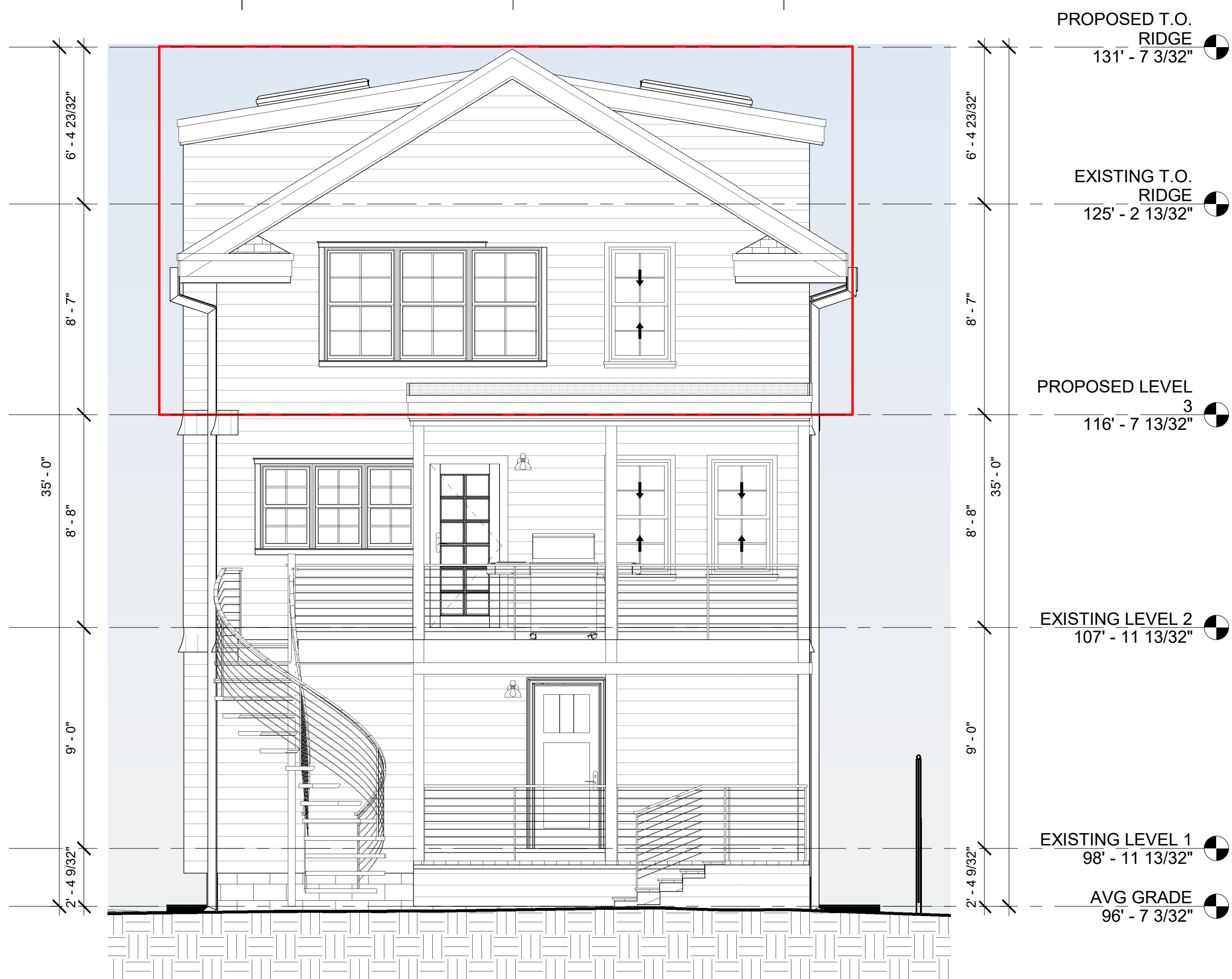
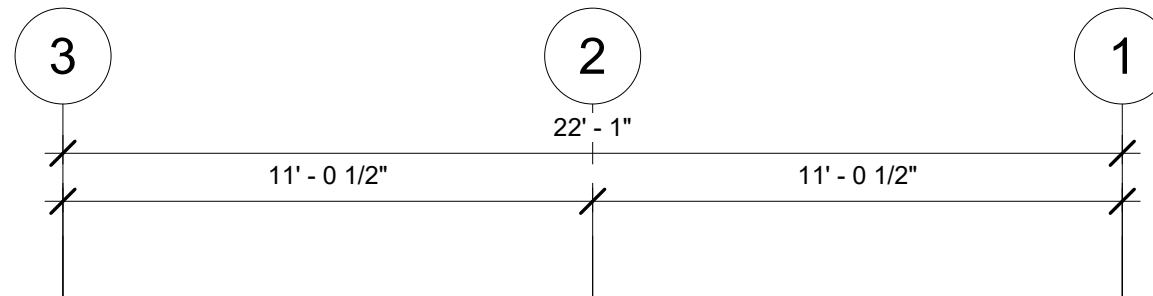
Scale 1/4" = 1'-0"



1\$EXISTING EAST ELEVATION
1/4\" = 1'-0"



3 PERSPECTIVE - EVELATION - EAST



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REGISTRATIONS:

STRUCTURAL ENGINEER:

ELEVATION EAST

STEVE & TRISH NG

NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

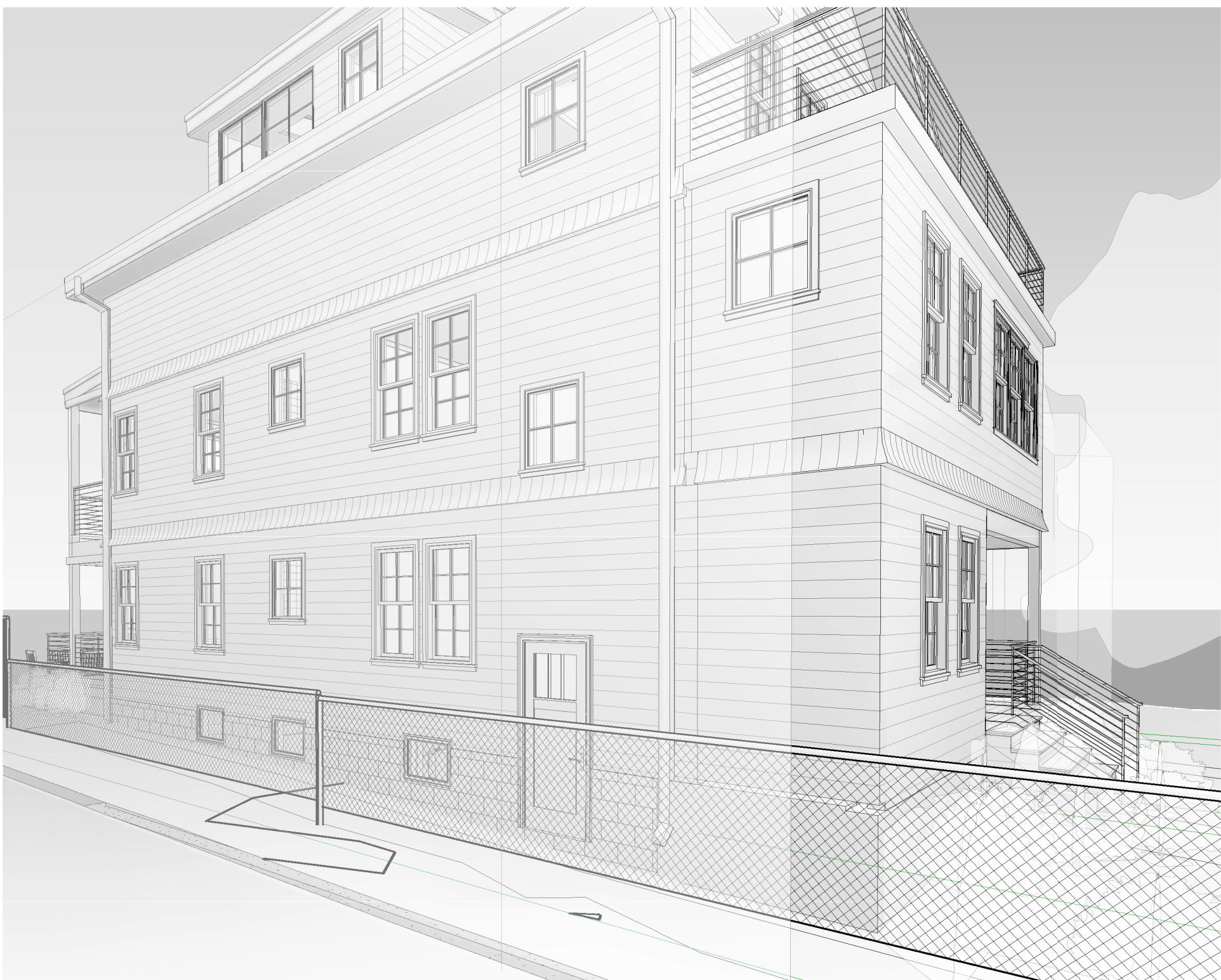
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| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-202

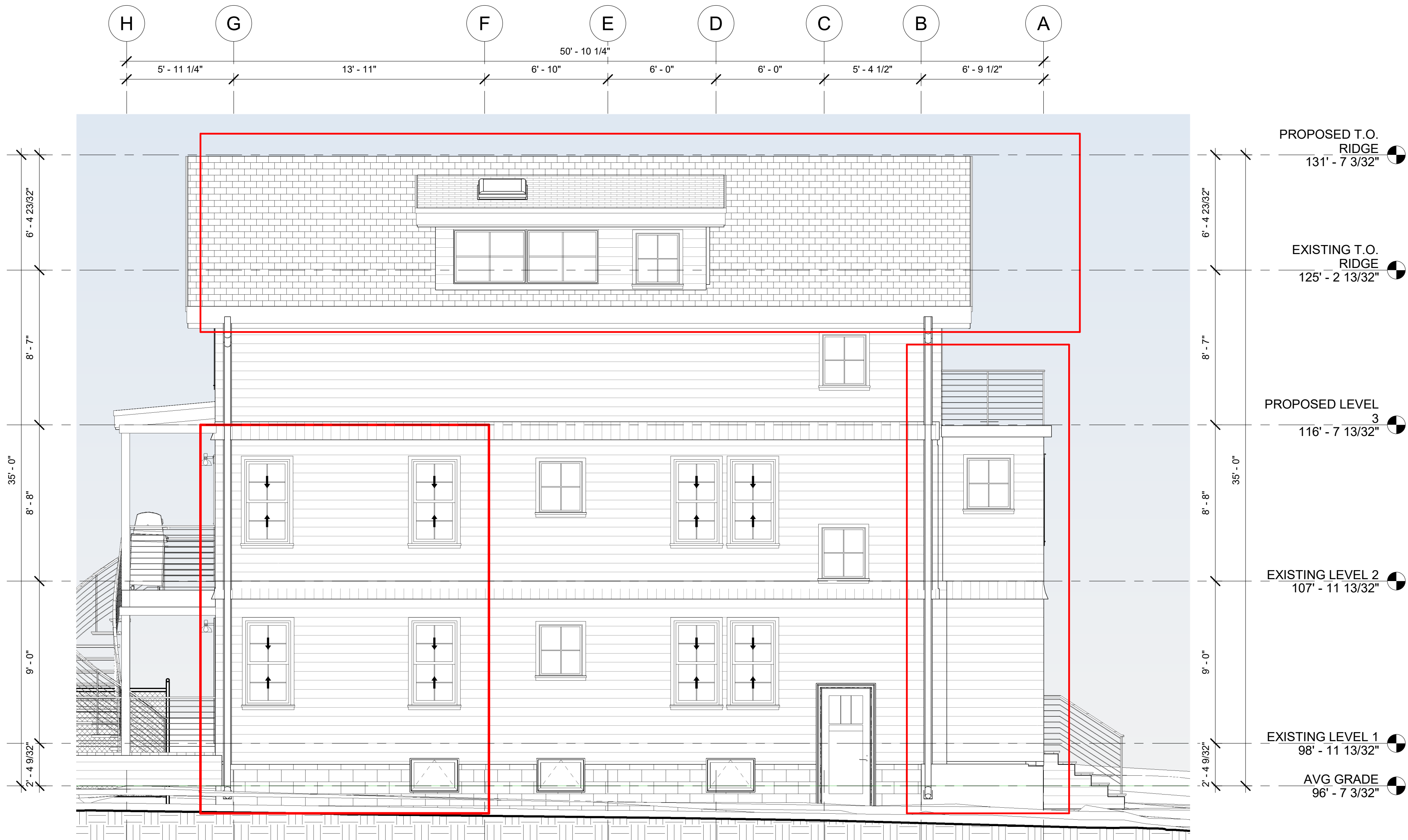
Scale 1/4\" = 1'-0"



SITNG NORTH ELEVATION
1'-0"



3 PERSPECTIVE - ELEVATION - SOUTH



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REGISTRATIONS:

STRUCTURAL ENGINEER:

ELEVATION SOUTH

STEVE & TRISH NG

NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

Project Status BZA SUBMISSION SET
Project number Project Number
Date 09/11/2020
Drawn by Author
Checked by Checker

P-203

Scale 1/4" = 1'-0"

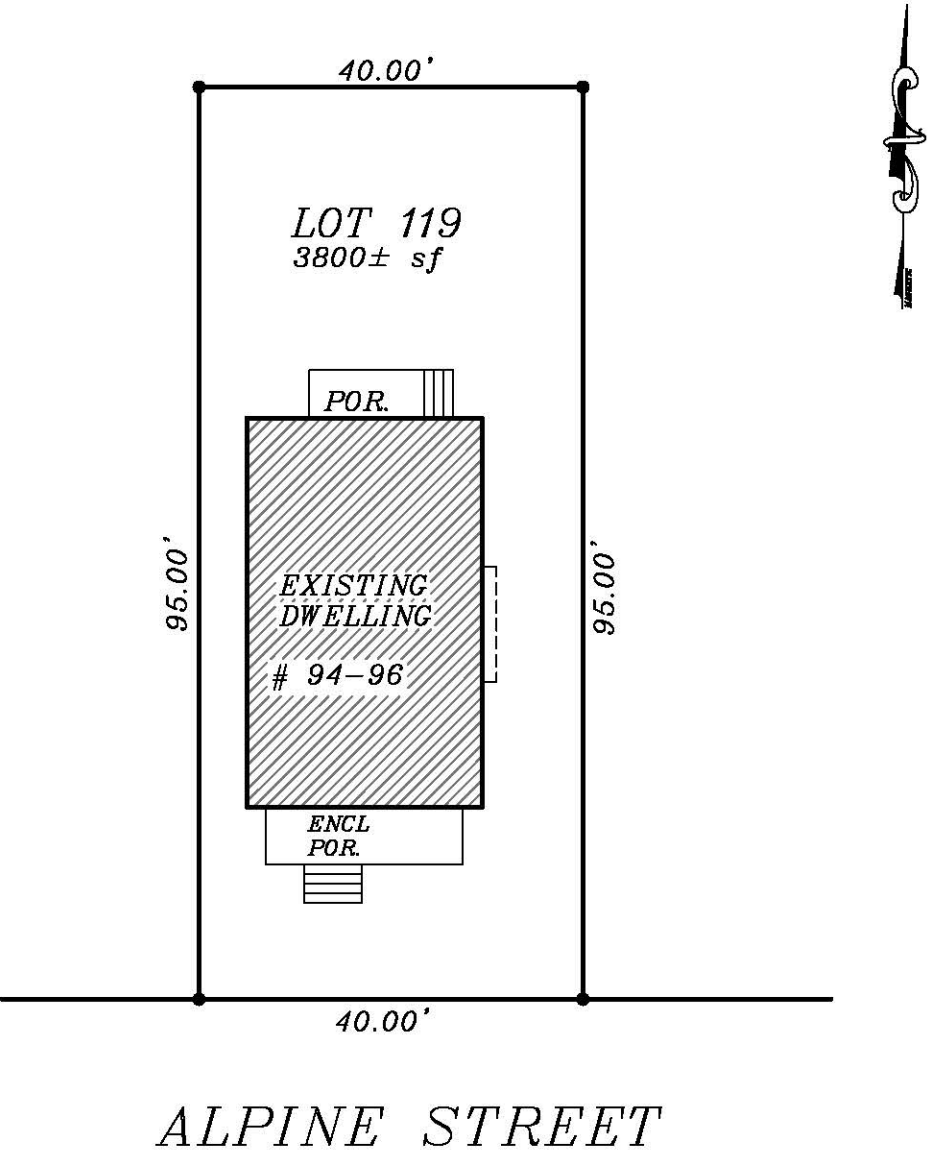
MORTGAGE INSPECTION PLAN

NORTHERN ASSOCIATES, INC.

92 MAPLE AVENUE ANDOVER, MA 01810 TEL:(978) 837-3335 FAX:(978) 837-3336
MASSACHUSETTS

MORTGAGOR: STEVEN NG, PATRICIA NG &
AUDREY NG
LOCATION: 94-96 ALPINE ST
CITY,STATE: CAMBRIDGE, MA
DATE: 11/25/19

DEED REF. 72187/182
PLAN REF. #481
SCALE: 1"=20'
JOB #: 2193744



CERTIFIED TO: GUARANTEED RATE AFFINITY LLC, ISAOA/ATIMA

Flood hazard zone has been determined by scale and is not necessarily accurate. Until definitive plans are issued by HUD and/or a vertical control survey is performed, precise elevations cannot be determined.

NOTE: This mortgage inspection was prepared specifically for mortgage purpose only and is not to be relied upon as a land or property line survey, used for recording, preparing deed descriptions, or construction. No corners were set. Building location and offsets are approximately located on ground and are shown specifically for zoning determination only and are not to be used to establish property lines. The matters shown hereon are based on client-furnished information and may be subject to further out-sales, takings, easements and rights of way, and other matters of record and prescriptive or other rights. Northern Associates, Inc. assumes no responsibility herein to land owner or occupant, accepts no responsibility for damages resulting from reliance by anyone other than the said mortgagee and its mortgagee in connection with its proposed mortgage financing to said mortgagor.



I render this mortgage inspection plan to be issued with the best of my knowledge, information and belief.

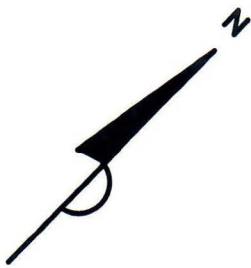
I further state that in my professional opinion that the structures shown conform with the local zoning horizontal dimensional setback requirements at the time of construction or are exempt under provisions of M.G.L. CH. 40-A Sec. 7.

- 1. Property/House is not in Flood Hazard.
- 2. Property/House is in a Flood Hazard Area.
- 3. Information is insufficient to determine Flood Hazard.

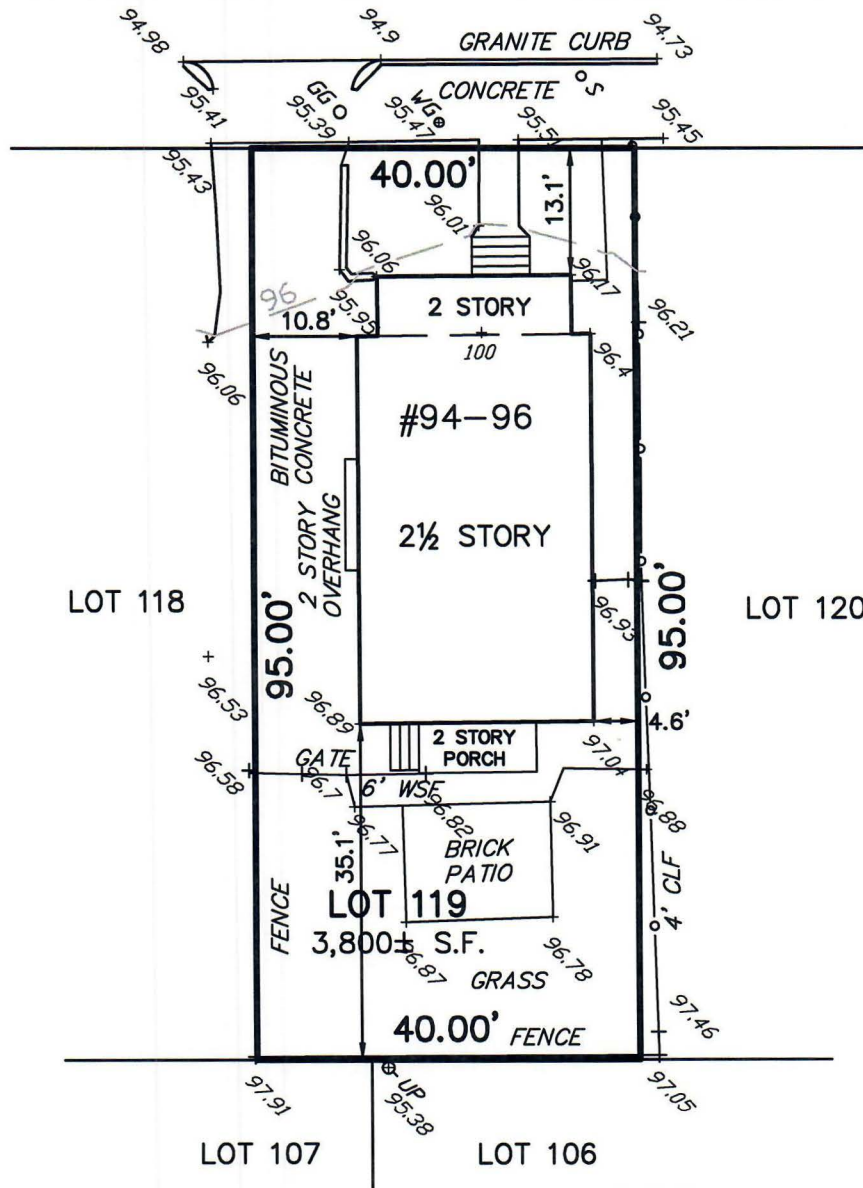
Flood Hazard determined from latest Federal Flood

Insurance Rate Map Panel 25017C0419E

Date 06/04/10 Zone X



ALPINE STREET



OWNER: STEVEN, PATRICIA & AUDRY NG

I HEREBY CERTIFY THAT THE BUILDING IS
LOCATED AS SHOWN.

**PROPOSED PLOT PLAN
#92-94 ALPINE STREET
IN
CAMBRIDGE, MA
(MIDDLESEX COUNTY)**

SCALE: 1" = 20' DATE: 7/24/2020



ROBER SURVEY

1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476

(781) 648-5533

6187PP1.DWG

CLIFFORD E. ROBER, PLS DATE

THIS PLAN MAY HAVE BEEN ALTERED IF
THE SIGNATURE IS NOT SIGNED IN BLUE.

Google Maps 97 Alpine St

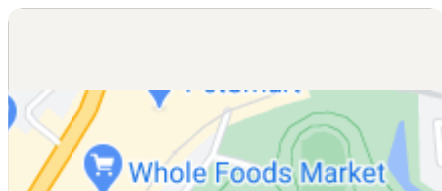


Image capture: Jul 2019 © 2020 Google

Cambridge, Massachusetts



Street View



Google Maps 94 Alpine St

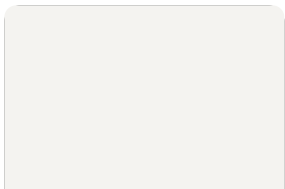


Image capture: Jul 2019 © 2020 Google

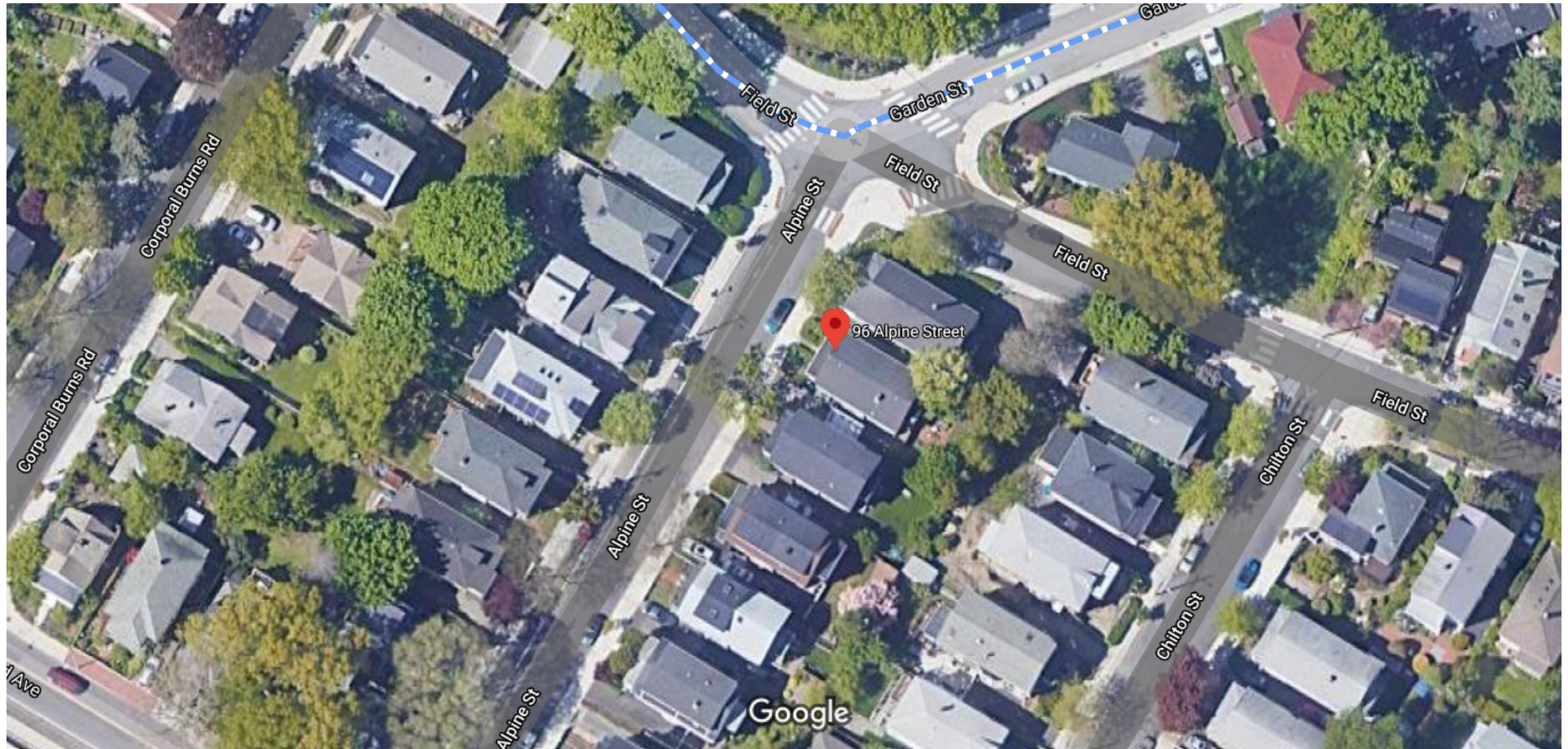
Cambridge, Massachusetts



Street View



Google Maps 96 Alpine St



Imagery ©2020 MassGIS, Commonwealth of Massachusetts EOE, Maxar Technologies, Map data ©2020

50 ft

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: X Appeal: _____

PETITIONER: Steven Ng, Patricia D. Ng and Audrey Ng by: Christopher J. Alphen, Esq.

PETITIONER'S ADDRESS: Blatman, Bobrowski & Haverty, LLC, 9 Damonmill Square, Concord, MA 01742

LOCATION OF PROPERTY: 94-96 Alpine Street, Cambridge, MA 02138

TYPE OF OCCUPANCY: Two-Family Residence ZONING DISTRICT: Residence "B"

REASON FOR PETITION:

| | |
|--|---------------------|
| <u>X</u> Additions | _____ New Structure |
| _____ Change in Use/Occupancy | _____ Parking |
| _____ Conversion to Addi'l Dwelling Unit's | _____ Sign |
| _____ Dormer | _____ Subdivision |
| _____ Other: _____ | |

DESCRIPTION OF PETITIONER'S PROPOSAL:

The proposal includes the renovation of the existing 2nd floor apartment and the raising of the roof by six (6) feet to include a main suite and office. The proposal increases the already nonconforming FAR from 0.70 to 0.88, requiring a Variance. The proposal is an alteration of a pre-existing nonconforming structure, requiring a special permit.

SECTIONS OF ZONING ORDINANCE CITED:

Article 5.000 Section 11 / Table 5-1

Article 10.000 Section 30 / 13(c) / G.L. ch. 40A, s. 11

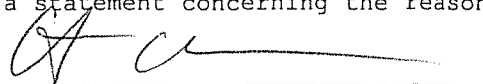
Article 8.000 Section 8.22.2.C (Non-Conforming Structure)

Applicants for a **Variance** must complete Pages 1-5

Applicants for a **Special Permit** must complete Pages 1-4 and 6

Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s):


(Petitioner(s)/Owner)

Steve Ng and Trish Ng by: Christopher J. Alphen, Esq.
(Print Name)

Address: Blatman, Bobrowski & Haverty, LLC
9 Damonmill Square, Ste. 4A4
Concord, MA 01742
Tel. No.: 978.371.2226 Ext. 19 (office)
978.371.2296 (fax)
E-Mail Address: Chris@bbhlaw.net

Date: September 25, 2020

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

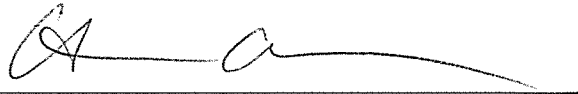
I/We Steven Ng, Patricia D. Ng and Audrey Ng
(OWNER)

Address: 94-96 Alpine Street, Cambridge, MA

State that I/We own the property located at 94-96 Alpine Street, Cambridge, MA
which is the subject of this zoning application.

The record title of this property is in the name of _____
Steven Ng, Patricia D. Ng and Audrey Ng

*Pursuant to a deed of duly recorded in the date 12/18/2019, Middlesex South
County Registry of Deeds at Book 73875, Page 99; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.


SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

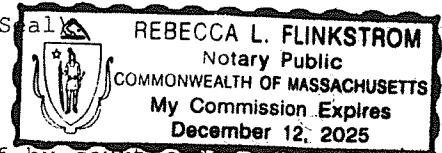
Christopher J. Alphen, Esq. on behalf of the the petitioners

**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of Middlesex

The above-name Christopher J. Alphen personally appeared before me,
this 25th of September, 2020, and made oath that the above statement is true.

My commission expires 12-12-2025 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Steven Ng, Patricia D. Ng and Audrey Ng **PRESENT USE/OCCUPANCY:** Residential Two family

LOCATION: 94-96 Alpine Street, Cambridge, MA **ZONE:** Zone B

PHONE: Christopher J. Alphen, Esq.
978 371-2226 **REQUESTED USE/OCCUPANCY:** Residential Two family

| | <u>EXISTING</u> <u>CONDITIONS</u> | <u>REQUESTED</u> <u>CONDITIONS</u> | <u>ORDINANCE</u> <u>REQUIREMENTS</u> ¹ |
|---|--|---|--|
| <u>TOTAL GROSS FLOOR AREA:</u> | <u>2,265 SF</u> | <u>3,348 SF</u> | <u>1,900 SF</u> (max.) |
| <u>LOT AREA:</u> | <u>3,800 SF</u> | | <u>5,000 SF</u> (min.) |
| <u>RATIO OF GROSS FLOOR AREA</u> <u>TO LOT AREA:</u> ² | <u>.70 %</u> | <u>.88 %</u> | <u>.50 %</u> (max.) |
| <u>LOT AREA FOR EACH DWELLING UNIT:</u> | <u>3,800 SF</u> | <u>3,800 SF</u> | <u>2,500 SF</u> (min.) |
| <u>SIZE OF LOT:</u> | | | |
| WIDTH | <u>40' - 0"</u> | | <u>50' - 0"</u> (min.) |
| DEPTH | <u>95' - 0"</u> | | |
| <u>Setbacks in</u> | | | |
| <u>Feet:</u> | | | |
| FRONT | <u>16 - 8"</u> | <u>16 - 8"</u> | <u>15' - 0"</u> (min.) |
| REAR | <u>27' - 2"</u> | <u>27' - 2"</u> | <u>25' - 0"</u> (min.) |
| LEFT SIDE | <u>5' - 0"</u> | <u>5' - 0"</u> | <u>7' - 6"</u> (min.) |
| RIGHT SIDE | <u>10' - 6"</u> | <u>10' - 6"</u> | <u>7' - 6"</u> (min.) |
| <u>SIZE OF BLDG.:</u> | | | |
| HEIGHT | <u>28' - 9"</u> | <u>34' - 9"</u> | <u>35' - 0"</u> (max.) |
| LENGTH | | | |
| WIDTH | | | |
| <u>RATIO OF USABLE OPEN SPACE</u> <u>TO LOT AREA:</u> ³) | <u>.61 %</u> | <u>.59 %</u> | <u>.40 %</u> (min.) |
| <u>NO. OF DWELLING UNITS:</u> | <u>2</u> | <u>2</u> | <u>2</u> (max.) |
| <u>NO. OF PARKING SPACES:</u> | <u>1</u> | <u>1</u> | <u>1</u> (min./max) |
| <u>NO. OF LOADING AREAS:</u> | <u>0</u> | <u>0</u> | <u>N/A</u> (min.) |
| <u>DISTANCE TO NEAREST BLDG.</u> <u>ON SAME LOT:</u> | <u>N/A</u> | <u>N/A</u> | <u>N/A</u> (min.) |

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

THE PROPOSED RENOVATION AT THE ROOF AND FRONT OF THE HOUSE WILL BE WOOD

FRAME CONSTRUCTION ON THE EXISTING WOOD FRAME. NO OTHER BUILDINGS ON SAME LOT.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The Petitioners recently moved to Cambridge from Concord to accommodate their son Thomas who has special needs. The dwelling contains two units. One unit will be independently occupied by Thomas and other by his parents Steven and Patricia Ng. Thomas works in Boston; residing in Cambridge affords him an easier commute. The Petitioners wish to provide a fitting independent living area for their son. Additionally, their daughter Audrey, who has an ownership interest in the home, plans to reside at the home. With a literal enforcement of the Ordinance, the home's living space cannot be altered to become suitable for the entire family.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The hardship is related to the size and shape of the lot and the age and condition of the two-family structure.

- C)** ***DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:***

- 1)** Substantial detriment to the public good for the following reasons:

The excess FAR will not be detrimental to the public good. The proposed alterations and additions to the residential home will meet the characteristics of the neighborhood. The residential home will have a minimal visual impact on the surrounding neighborhood.

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The renovations to the dwelling have been aesthetically designed to blend in with the existing neighborhood. The renovations will improve to the neighborhood without substantially derogating from the requirement of the Ordinance.

- *** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 94-96 Alpine Street (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:

The proposed renovations do not create any additional nonconformities, nor does it increase any existing nonconformities, other than an increase to the FAR (for which the applicant has applied for a variance). The proposed renovations will not be substantially more detrimental to the neighborhood than the existing nonconforming structure or use.

- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed alterations will not cause any additional traffic.

- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The proposed alterations and additions to the residential home will meet the characteristics of the neighborhood. The residential home will have a minimal visual impact on the surrounding neighborhood.

- D)** Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The proposed alterations will not cause a nuisance or hazards.

- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The renovations to the dwelling have been aesthetically designed to blend in with the existing neighborhood. The renovations will improve to the neighborhood without substantially derogating from the requirement of the Ordinance.

NG RESIDENCE

STEVE & TRISH NG

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

BZA SUBMISSION SET
09/11/2020



ARCHITECT:



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SAM KACHMAR
ARCHITECTS
(p)978-270-8441
kachmardesign.com
357 HURON AVE.
CAMBRIDGE MA, 02138

CLIENTS:

STEVE & TRISH NG

THE NG RESIDENCE LOCATED AT 94-96 ALPINE ST WILL INCLUDE THE RENOVATION OF THE FRONT AND REAR PORCH, THE RENOVATION OF THE 2ND FLOOR APARTMENT AND THE RAISING OF THE ROOF BY 6 FT TO INCLUDE A MAIN SUITE AND OFFICE.

GENERAL CONTRACTOR:





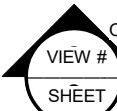


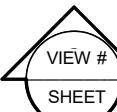



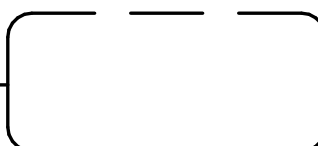

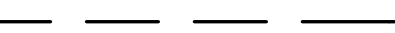






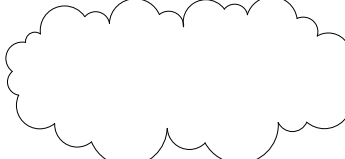


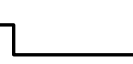


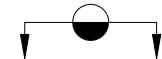
STRUCTURAL ENGINEER:

| Permit Sheet List | | |
|-------------------|-----------------------|-------------|
| Sheet Number | Sheet Name | Designed By |
| P-000 | COVER | Designer |
| P-001 | GENERAL NOTES | Designer |
| P-002 | PLOT PLAN & AREA PLAN | Designer |
| P-003 | LANDSCAPE PLAN | SKA |
| P-100 | PROPOSED LEVEL 0 | Designer |
| P-101 | PROPOSED LEVEL 1 | Designer |
| P-102 | PROPOSED LEVEL 2 | Designer |
| P-103 | PROPOSED LEVEL 3 | Designer |
| P-110 | PROPOSED ROOF PLAN | Designer |
| P-200 | ELEVATION WEST | Designer |
| P-201 | ELEVATION NORTH | Designer |
| P-202 | ELEVATION EAST | Designer |
| P-203 | ELEVATION SOUTH | Designer |

| # | NUMBER OR POUND |
|--------|---|
| &+* | AND |
| @ | AT |
| ADJ | ADJUSTABLE |
| AFF | ABOVE FINISH FLOOR |
| ALUM | ALUMINUM |
| APPROX | APPROXIMATELY |
| ARCH | ARCHITECTURAL |
| AVB | AIR AND VAPOR BARRIER |
| BD | BOARD |
| BIT | BITUMINOUS |
| BLDG | BUILDING |
| BSMT | BASEMENT |
| BTWN | BETWEEN |
| CF | CUBIC FEET |
| CI | CUBIC INCHES |
| CJ | CONTROL JOINT |
| CL | CENTERLINE |
| CLG | CEILING |
| CLR | CLEAR OR CLEARANCE |
| CMU | CONCRETE MASONRY UNIT |
| COL | COLUMN |
| CONC | CONCRETE |
| CONT | CONTINUOUS |
| CORR | CORRIDOR, CORRUGATED |
| CTR | CENTER |
| D | DEPTH, DEEP |
| DBL | DOUBLE |
| DEMO | DEMOLISH, DEMOLITION |
| DIA | DIAMETER |
| DIM | DIMENSION |
| DN | DOWN |
| DTL | DETAIL |
| DW | DISHWASHER |
| E | EAST |
| EA | EACH |
| EJ | EXPANSION JOINT |
| EL | ELEVATION (GRADE) |
| ELEC | ELECTRICAL |
| ELEV | ELEVATION (FACADE) |
| EOS | EDGE OF SLAB |
| EQ | EQUAL, EQUIPMENT, EQUIP |
| ETR | EXISTING TO REMAIN |
| EXG | EXISTING |
| EXP | EXPOSED |
| EXT | EXTERIOR |
| FAB | FABRICATE, FABRICATION |
| FD | FLOOR DRAIN |
| FF | FINISHED FLOOR |
| FL | FLOOR |
| FOW | FACE OF WALL |
| FT | FEET, FOOT |
| GA | GAUGE |
| GALV | GALVANIZED |
| GL | GLASS, GLAZING, GLAZED |
| GWB | GYPSUM WALLBOARD, BACKING BOARD |
| GYP | GYPSUM |
| H | HIGH |
| HDWD | HARDWOOD |
| HM | HOLLOW METAL |
| HORIZ | HORIZONTAL |
| HVAC | HEATING, VENTILATING & AIR CONDITIONING |
| IN | INCH, INCHES |
| INCL | INCLUDE, INCLUDED |
| INT | INTERIOR |
| JT | JOINT |

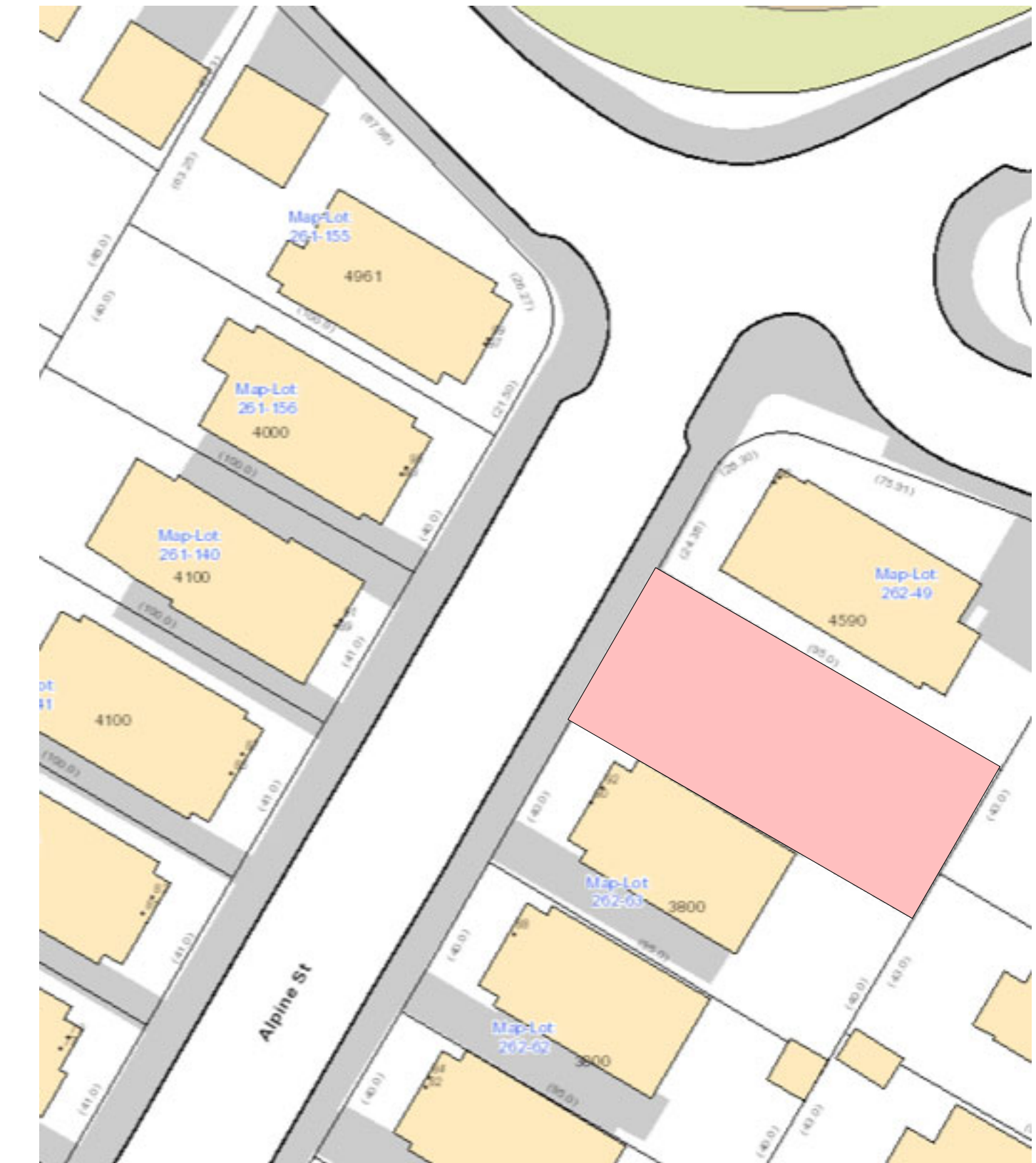
| L | LENGTH |
|---------|-----------------------------|
| LAM | LAMINATE, LAMINATED |
| LB | POUND |
| LGMF | LIGHT GAGE METAL FRAMING |
| LT | LIGHT |
| LT WT | LIGHT WEIGHT |
| MAX | MAXIMUM |
| MDF | MEDIUM DENSITY FIBER |
| MECH | MECHANICAL |
| MED | MEDIUM |
| MFR | MANUFACTURER |
| MIN | MINIMUM |
| MISC | MISCELLANEOUS |
| MTD | MOUNTED |
| MTL | METAL |
| N | NORTH |
| N/A | NOT APPLICABLE |
| NIC | NOT IN CONTRACT |
| NOM | NOMINAL |
| NTS | NOT TO SCALE |
| OC | ON CENTER |
| OD | OUTSIDE DIAMETER |
| OH | OPPOSITE HAND |
| OPP | OPPOSITE |
| OSB | ORIENTED STRANDBOARD |
| OVHD | OVERHEAD |
| OZ | OUNCE (S) |
| PATT | PATTERN (ED) |
| PERF | PERFORATED |
| PERP | PERPENDICULAR |
| PLAM | PLASTIC LAMINATE |
| PLYWD | PLYWOOD |
| PNT | PAINT, PAINTED |
| PR | PAIR |
| PREFAB | PREFABRICATE, PREFABRICATED |
| QTY | QUANTITY |
| RAD | RADIUS |
| RBR | RUBBER |
| RD | ROOF DRAIN |
| REF | REFERENCE |
| REFR | REFRIGERATE, REFRIGERATOR |
| REINF | REINFORCE, REINFORCED |
| REQ | REQUIRE |
| REV | REVISION, REVISE, REVISED |
| RM | ROOM |
| RO | ROUGH OPENING |
| S | SOUTH |
| SCHED | SCHEDULE |
| SF | SQUARE FEET |
| SI | SQUARE INCHES |
| SIM | SIMILAR |
| SPEC | SPECIFICATION |
| SQ | SQUARE |
| SS, SST | STAINLESS STEEL |
| STC | SOUND TRANSMISSION CLASS |
| STL | STEEL |
| STOR | STORAGE |
| STR | STAIR |
| T.O. | TOP OF |
| U.O. | UNDERSIDE OF |
| UON | UNLESS OTHERWISE NOTED |
| WD | WOOD |
| WT | WEIGHT |
| X | INDICATES TIMES OR BY |

| | |
|--|--|
| | EARTH |
| | CONCRETE |
| | GRAVEL |
| | SAND |
| | GYPSUM BOARD OR SHEATHING |
| | MASONRY - BRICK |
| | MASONRY - CONCRETE BLOCK |
| | WOOD - FINISH - END GRAIN |
| | WOOD - FINISH - FACE |
| | WOOD - ROUGH - BLOCKING (CONTINUOUS MEMBERS) |
| | WOOD - ROUGH - BLOCKING (INTERMEDIATE MEMBERS) |
| | INSULATION - RIGID |
| | INSULATION - BATT OR MINERAL WOOL |
| | ACOUSTIC TILE, PANEL, OR PLANK |
| | PLYWOOD |
| | CUT STONE |
| | PARTICLE BOARD OR FIBERBOARD |

| | | | |
|--|------------|---|--------------------|
| <div><div>VIEW # SCALE: 1/16" = 1'-0"</div></div> | | DRAWING TITLE | |
| <div><div><div></div><div></div></div></div> | | EXTERIOR ELEVATION KEY | |
| <div><div></div></div> | | INTERIOR ELEVATION KEY | |
| <div><div><div></div><div></div><div></div></div></div> | | BUILDING SECTION MARKER | |
| <div><div><div></div><div></div><div></div></div></div> | | WALL SECTION MARKER | |
| <div><div><div></div><div><div></div></div></div></div> | | DETAIL AREA MARKER | |
| <div><div><div></div><div></div></div></div> | | DETAIL SECTION MARKER | |
| <div><div></div><div></div></div> | | GRID LINE | |
| <div><div></div><div><div>Name Elevation</div></div></div> | | VERTICAL ELEVATION KEY (ELEV) | |
| <div><div></div><div><div>0' - 0"</div><div></div></div></div> | | SPOT ELEVATION W/ TARGET (PLAN) | |
| <div><div></div></div> | | SPOT ELEVATION NO TARGET (PLAN) | |
| <div><div></div><div><div></div></div></div> | | REVISION CLOUD AND REVISION TAG | |
| <div><div>ROOM NAME</div><div>ROOM #</div></div> | ROOM TAG | <div></div> | CENTERLINE |
| <div><div>AREA NAME</div><div>AREA</div></div> | AREA TAG | <div><div>SHEET</div><div></div></div> | MATCH LINE |
| <div><div>DOOR #</div></div> | DOOR TAG | <div><div></div><div></div></div> | HINGE SIDE OF DOOR |
| <div><div>#</div><div>TYPE</div></div> | WINDOW TAG | <div><div></div></div> | ALIGN SURFACES |
| | | <div><div>ROOM NAME</div><div>ROOM #</div><div>FLOOR</div><div>BASE</div><div>WALL</div><div>CEILING</div></div> | FINISH TAG |
| | | | |

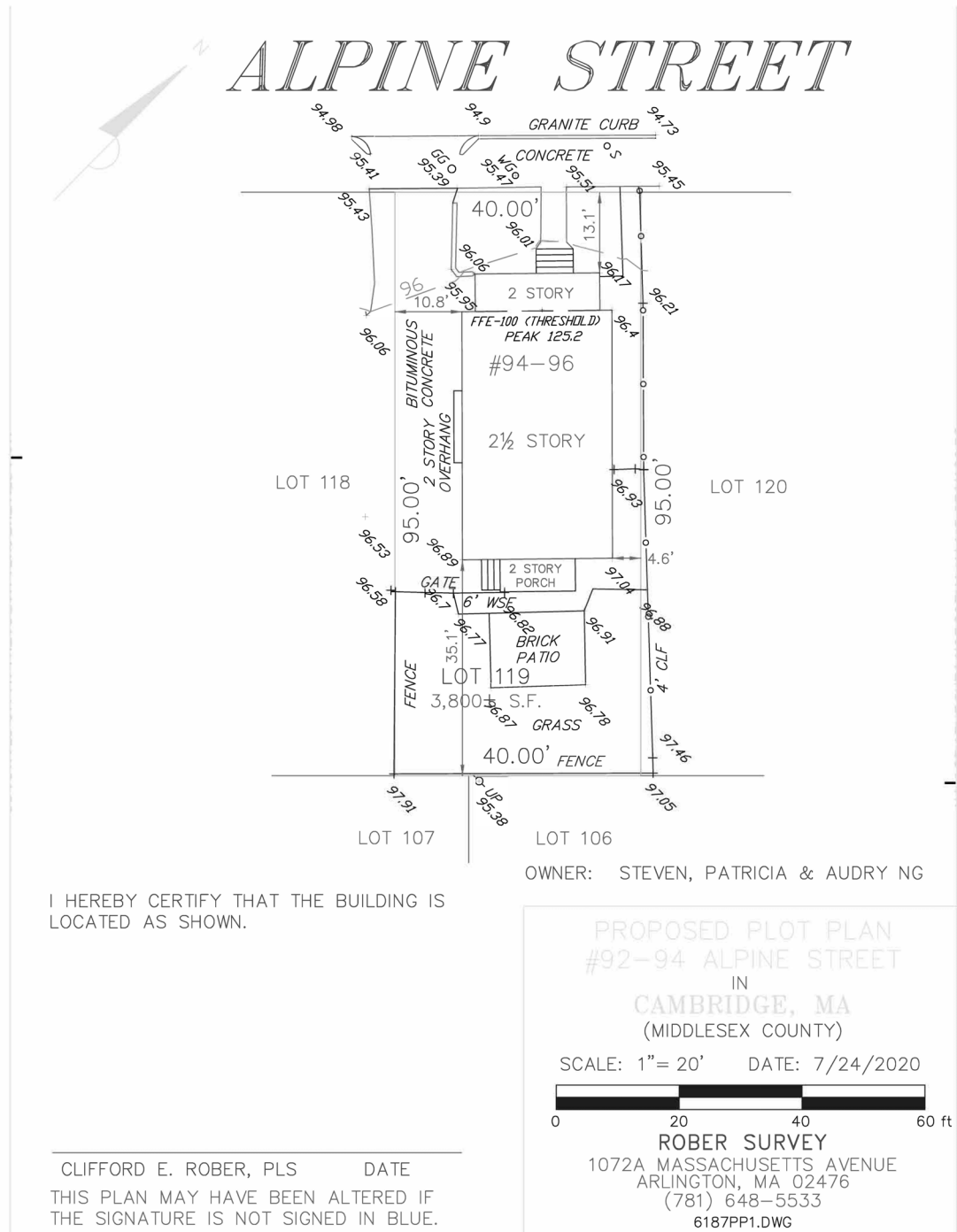
- ALL WORK SHALL BE CONSIDERED NEW, UNLESS OTHERWISE INDICATED.
- DO NOT SCALE DRAWINGS
- VERIFY DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION AND IMMEDIATELY REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- TO THE EXTENT PRACTICABLE, VERIFY DIMENSIONS AND FIELD CONDITIONS AT THE SITE PRIOR TO THE BID SUBMISSION. CONFLICTS, OMISSIONS AND DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED IN WRITING TO THE ARCHITECT, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PRIOR TO THE BID SUBMISSION. THE CONTRACTOR WARRANTS, BY TENDERING HIS BID, THAT THE WORK IS BUILDABLE AS SHOWN.
- LAYOUT ALL WORK WITHIN THE CONFINES OF EXISTING CONSTRUCTION AND RESOLVE DISCREPANCIES PRIOR TO INITIATION OF NEW WORK.
- ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION THAT IS STARTED PRIOR TO PERMIT BEING ISSUED.
- DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTION OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE HAND PLANS SECTIONS OR DETAILS, UNLESS NOTED OTHERWISE.
- TYPICAL OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONE TIME, WHEN THEY FIRST OCCUR.
- IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN PROJECT MANUAL, LARGE SCALE DRAWINGS, SMALL SCALE DRAWINGS AND DETAILS. THE CONTRACTOR SHALL NOT PROCEED WITH AFFECTED WORK UNTIL ARCHITECT PROVIDES CLARIFICATION.
- PARTITIONS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO MASONRY ARE TO ACTUAL FINISHED FACE, UNLESS OTHERWISE NOTED.
- VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMMUNICATING AND DISTRIBUTING ALL CONSTRUCTION DOCUMENT UPDATES TO ALL TRADES.
- WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE STATE, FEDERAL AND CITY/COUNTY CODES. STATE AND FEDERAL CODES ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS. IF ANY DISCREPANCY IS NOTED, IMMEDIATELY INFORM THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.
- FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT PERMITS, CONTROLLED INSPECTIONS, OTHER AGENCY APPROVALS AND PERMITS WHERE REQUIRED, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. COPIES OF TRANSACTIONS SHALL BE FORWARDED TO THE OWNER OR OWNER'S REPRESENTATIVE.
- EXECUTE INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
- WORK AREA SHALL BE MAINTAINED, CLEAN AND FREE OF DEBRIS AT ALL TIMES.
- PATCH ALL SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES.
- PATCH, REPAIR AND FINISH ALL SURFACES IN AREAS OUTSIDE OF THE EXISTING SCOPE THAT ARE DISTURBED AS A RESULT OF THE WORK.
- COORDINATE AND PROVIDE BLOCKING AND STRAPPING WITHIN PARTITIONS FOR MILLWORK AND OTHER WALL ATTACHED ITEMS.
- APPLY, INSTALL, CONNECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- GLASS 18" OR LESS FROM FLOOR LINE OR ADJACENT TO A DOOR SWING SHALL BE SAFETY GLASS AS REQUIRED BY APPLICABLE CODE(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING " SAFETY GLASS, UNLESS OTHERWISE NOTED, TO COMPLY WITH BUILDING AND LIFE SAFETY CODES, INDUSTRY STANDARDS AND OTHER APPLICABLE FEDERAL AND STATE CODES.
- FLASHING AT EXTERIOR WALLS SHALL BE INSTALLED WITH SEALED JOINTS. SEALED PENETRATIONS AND ENDS TURNED UP. IT SHALL BE FABRICATED AND INSTALLED TO ENSURE THAT MOISTURE IN WALLS WILL BE DIRECTED TO WICKS AND WEEP HOLES.
- COORDINATE ALL DIMENSIONS CONCERNING DOORS/PANELS/WINDOWS, STAIRS AND THEIR OPENINGS WITH PRODUCT MANUFACTURERS PRIOR TO FABRICATION AND CONSTRUCTION.
- PROVIDE WEATHERSTRIP AT EXTERIOR DOORS.
- PROVIDE FLASHING AND/OR SEALANT AT OPENINGS IN ROOF OR WALLS TO ENSURE A WEATHERTIGHT BUILDING.
- LOCATE THERMOSTATS ADJACENT TO SWITCH PLATES WHERE POSSIBLE. VERIFY LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION TO AVOID CONFLICTS WITH BUILT-INS OR SYSTEMS FURNITURE OR DESIGN ELEMENTS.
- ALIGN OUTLETS, WALL SWITCHES, TEL-DATA JACKS, ETC., INDICATED TO BE MOUNTED AT NEAR EQUIVALENT ELEVATIONS.
- ALL DOORS SHALL BE LOCATED 6" OFF THE ADJACENT PARTITION, OR ONE MASONRY COURSE AT CMU PARTITIONS, UNLESS NOTED OTHERWISE.
- DURING DEMOLITION AND CONSTRUCTION PROTECT ALL EXISTING FINISHES TO REMAIN.
- ALL WOOD SHALL BE FSC CERTIFIED.
- ALL WOOD FRAMING SIZES ARE BASED ON SPF-S5
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED (P.T.).
- CORRECT ALL DEFECTS FOUND IN EXISTING BUILDING WHICH INTERFERE WITH NEW CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO UNEVEN SURFACES AND FINISHES AT GWB.

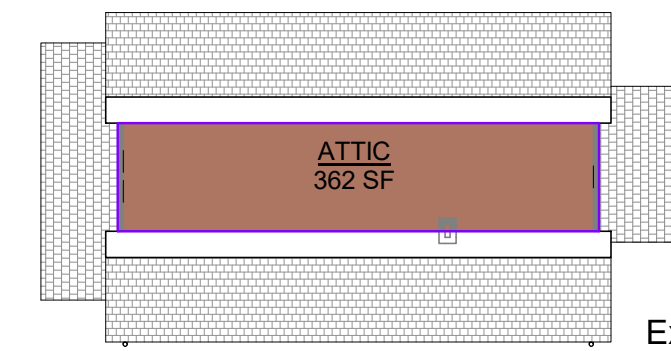
- 1 P-GENERAL NOTES
1 1/2" = 1'-0"



- 2 P-SITE PLAN
1 1/2" = 1'-0"

- 2 P-MATERIALS
1 1/2" = 1'-0"





ATTIC

Floor plan of the second floor. The plan shows a large rectangular area labeled "FINISHED 987 SF" with a green hatched pattern. To the left of this area is a light blue area labeled "DECK 141 SF". A staircase is located between the deck and the finished area. The entire floor is enclosed by a purple border. Arrows indicate the location of doors and windows.

DECK

FLOOR PLAN

118 SF PORCH

958 SF FINISHED

63 SF DECK

DECK

Floor plan of the second floor. The main area is labeled "FINISHED 1073 SF". A staircase is located in the upper left corner. A deck is shown on the right side, labeled "DECK 79 SF".

 DECK

Floor plan of the first floor. The main area is labeled "FINISHED 982 SF". A yellow-shaded area on the left is labeled "FRONT PORCH 118 SF". The plan shows a central hallway, several rooms, and two staircases. A north arrow is located in the top right corner.

BACK

The floor plan shows a large rectangular area labeled "FINISHED 1000 SF" in green. To the left of this area is a yellow-shaded "STAIRWELL 55 SF". To the right is a white-shaded "DECK 84 SF". The entire area is enclosed by a purple line representing the exterior wall. There are several door openings indicated by arcs. A north arrow is located in the bottom right corner.

DECK

The second floor plan shows a large rectangular area labeled "UNFINISHED 907 SF". To the left of this area is a staircase and a small room. To the right is another staircase. A small square area is marked with the number "1".

UNFIN

UNFINI

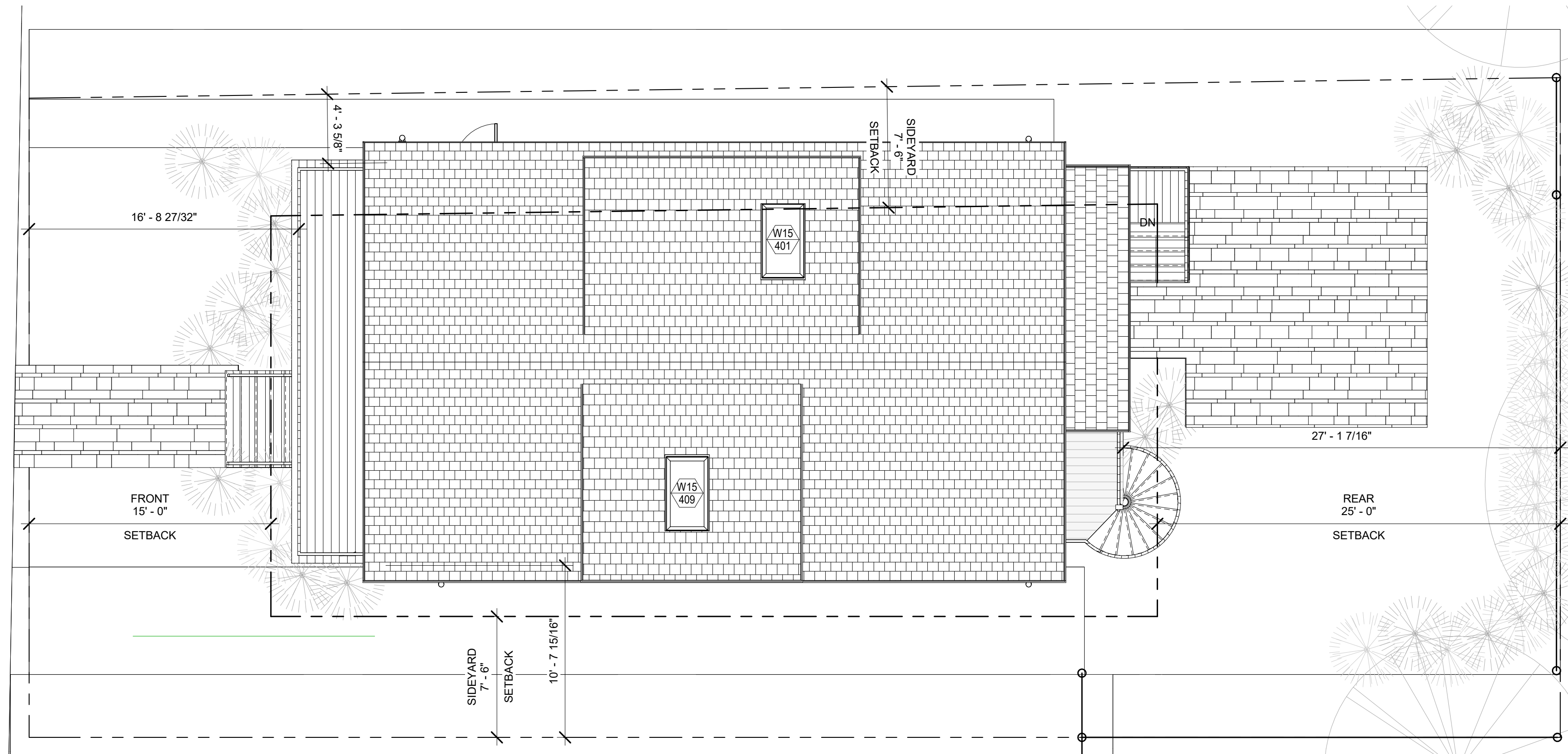
| EXISTING FAR | | | | |
|------------------|--------|----------|-------|-------------|
| Level | Area | Comments | Count | Name |
| EXISTING LEVEL 1 | 982 SF | | 1 | FINISHED |
| EXISTING LEVEL 1 | 118 SF | | 1 | FRONT PORCH |
| EXISTING LEVEL 1 | 64 SF | | 1 | BACK DECK |

| | | | | |
|------------------|--------|--|---|----------|
| EXISTING LEVEL 2 | 958 SF | | 1 | FINISHED |
| EXISTING LEVEL 2 | 63 SF | | 1 | DECK |
| EXISTING LEVEL 2 | 118 SF | | 1 | PORCH |

| Proposed FAR | | | | |
|------------------|---------|----------|-------|-----------|
| Level | Area | Comments | Count | Name |
| EXISTING LEVEL 1 | 69 SF | | 1 | PORCH |
| EXISTING LEVEL 1 | 1000 SF | | 1 | FINISHED |
| EXISTING LEVEL 1 | 84 SF | | 1 | DECK |
| EXISTING LEVEL 1 | 55 SF | | 1 | STAIRWELL |

| | | | | |
|------------------|---------|--|---|----------|
| EXISTING LEVEL 2 | 1073 SF | | 1 | FINISHED |
| EXISTING LEVEL 2 | 79 SF | | 1 | DECK |

| | | | | |
|------------------|--------|--|---|----------|
| PROPOSED LEVEL 3 | 987 SF | | 1 | FINISHED |
| 3348 SF | | | | |



① P-PROPOSED SITE
3/16" = 1'-0"

The logo for the South Korean Agency for Science and Technology Advancement (SKA). It features a stylized white graphic of two overlapping trapezoidal shapes on a dark grey background, with the letters 'SKA' in white below it.

REGISTRATIONS

STRUCTURAL ENGINEER

PLOT PLAN & AREA PLAN

STEVE & TRISH NG

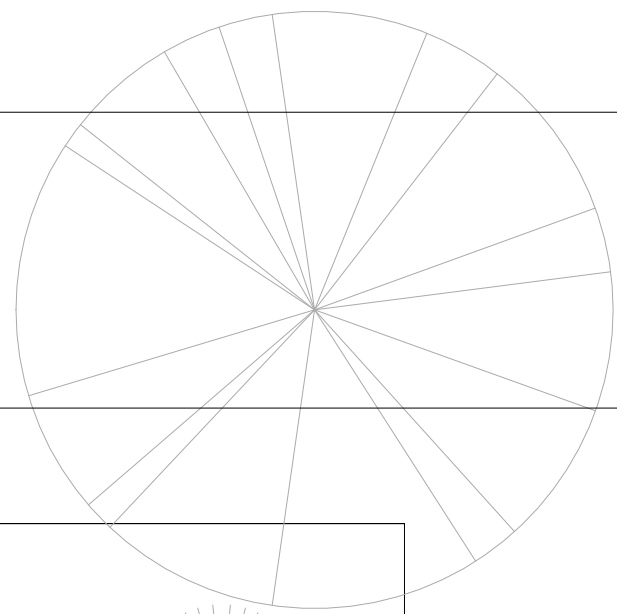
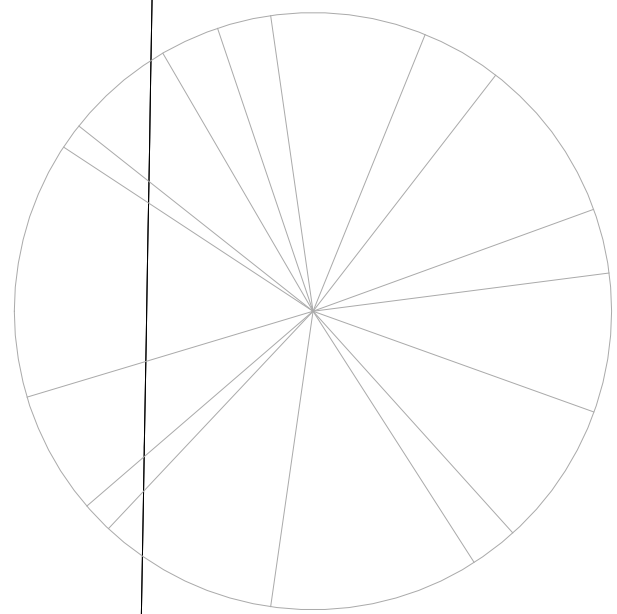
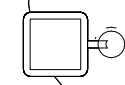
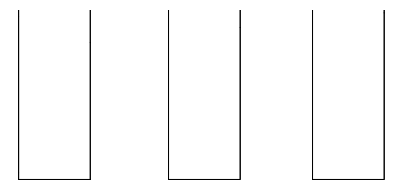
NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

| | |
|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

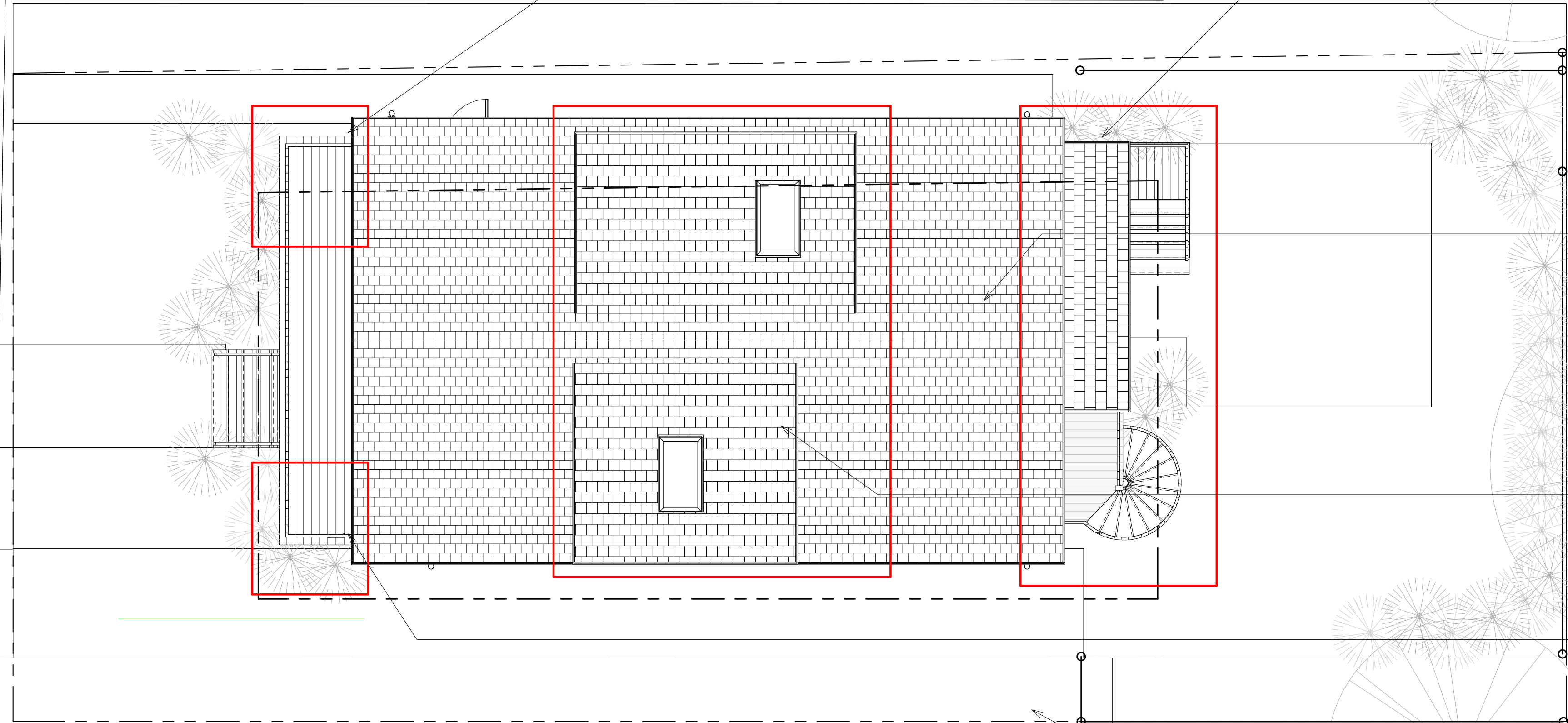
P-002

| | |
|-------|--------------|
| Scale | As indicated |
|-------|--------------|



PRPOSED EXTERIOR AT
FRONT OF HOUSE

PROPOSED DECK



PROPOSED ROOF

PROPOSED DORMER

PRPOSED EXTERIOR AT
FRONT OF HOUSE

EXISTING DRIVEWAY
TO REMAIN

ALPINE ST.

① P-PROPOSED SITE PLAN
3/16" = 1'-0"



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STRUCTURAL ENGINEER:

LANDSCAPE PLAN

STEVE & TRISH NG

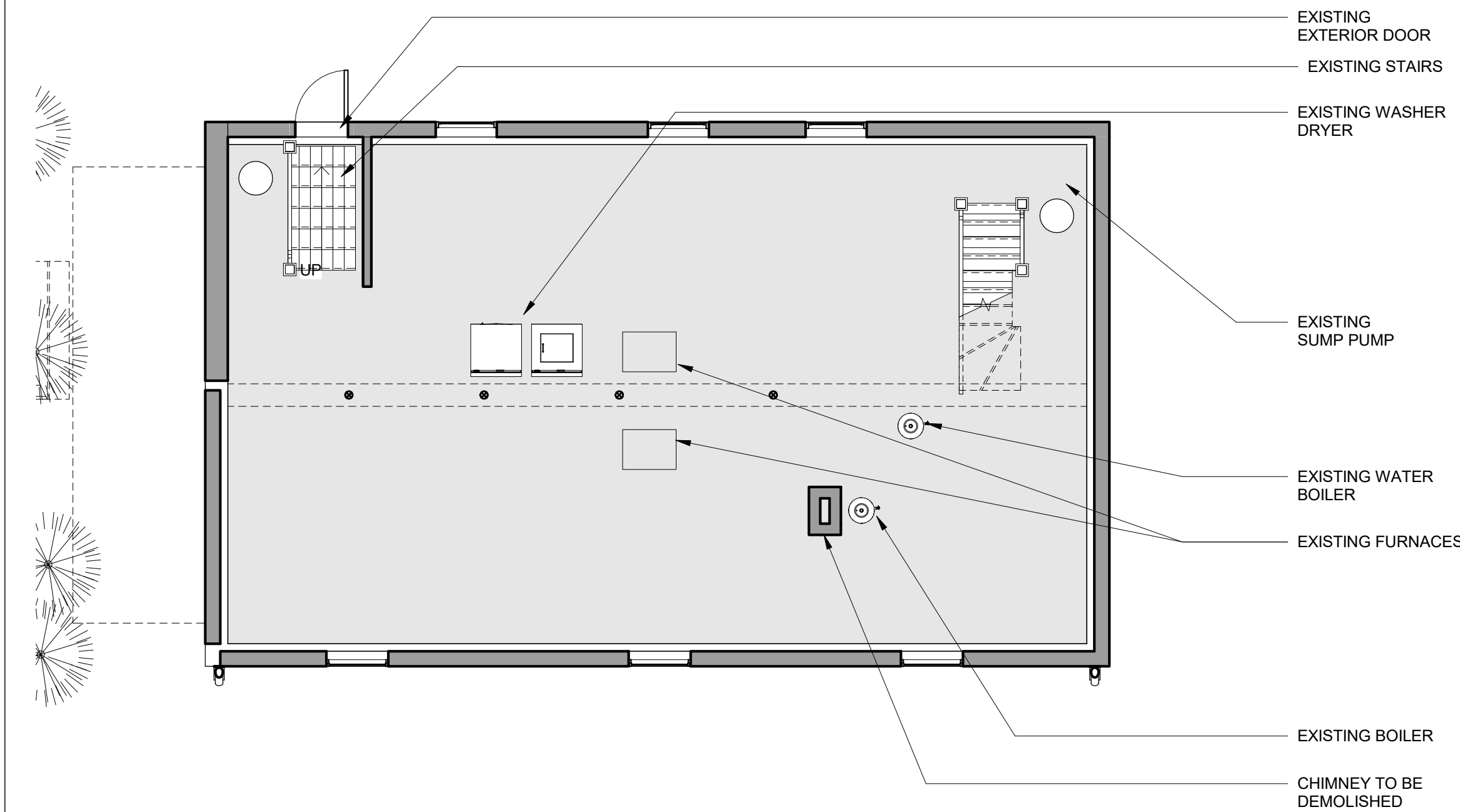
NG RESIDENCE

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CAMBRIDGE, MA 02138

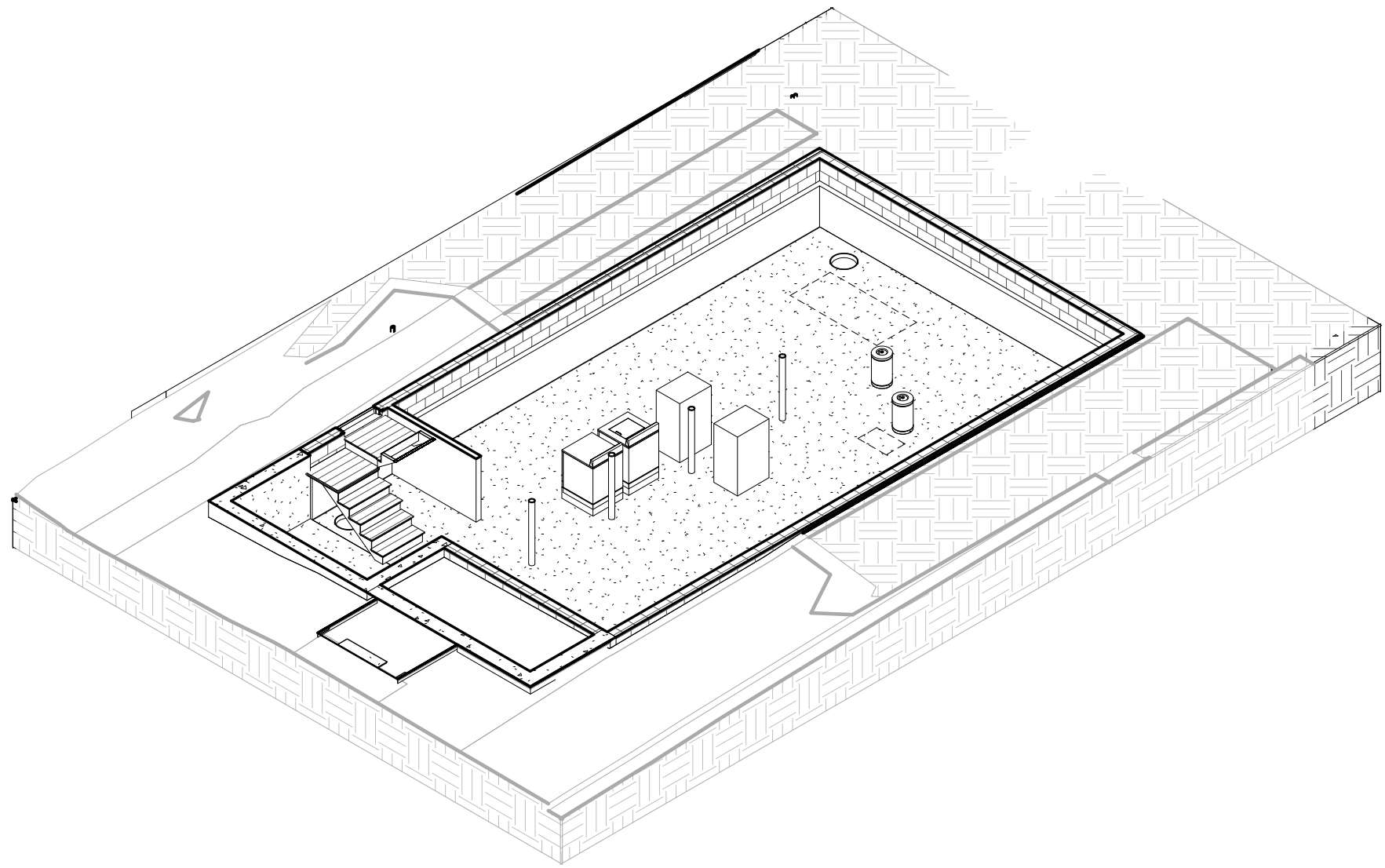
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| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-003

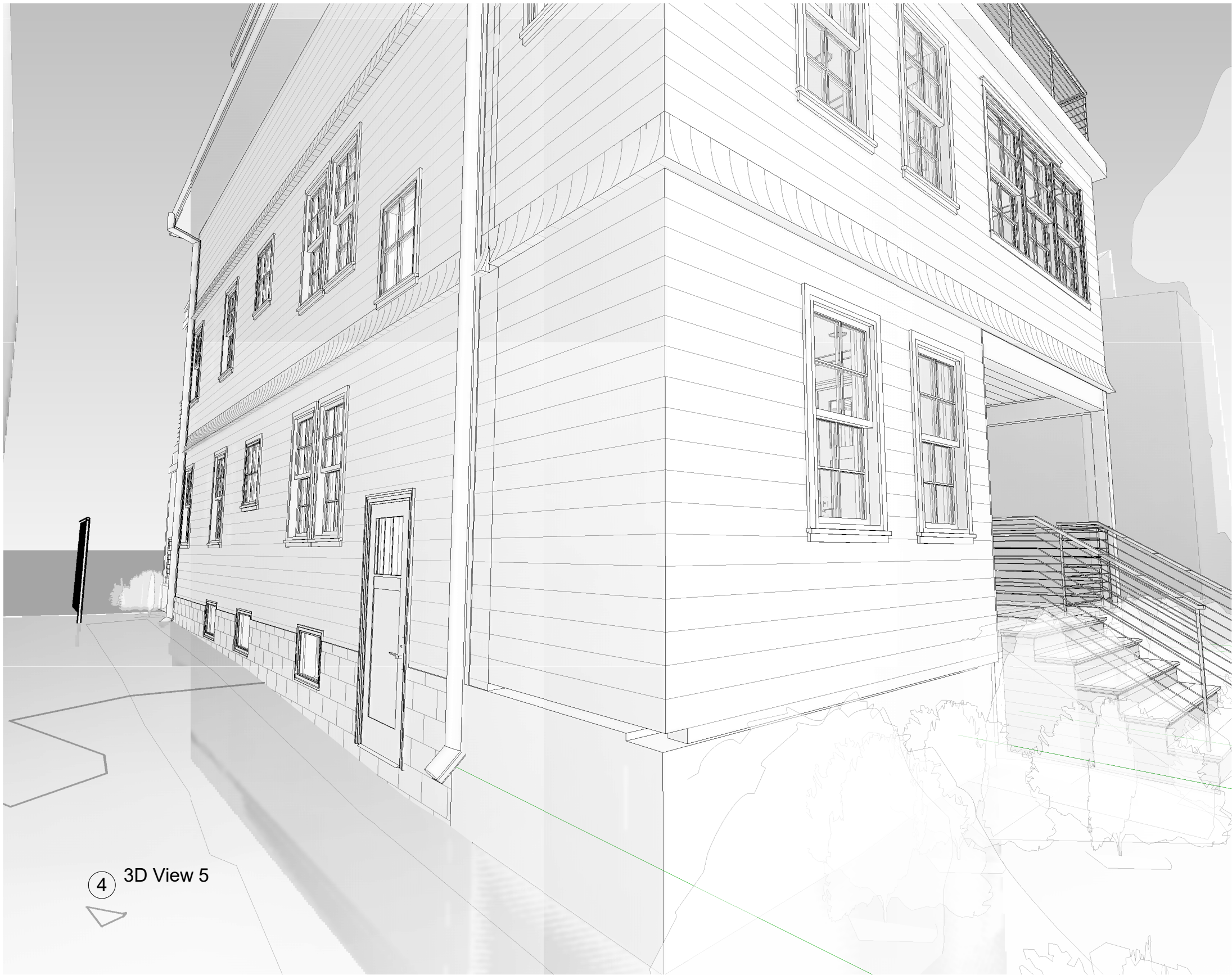
Scale 3/16" = 1'-0"



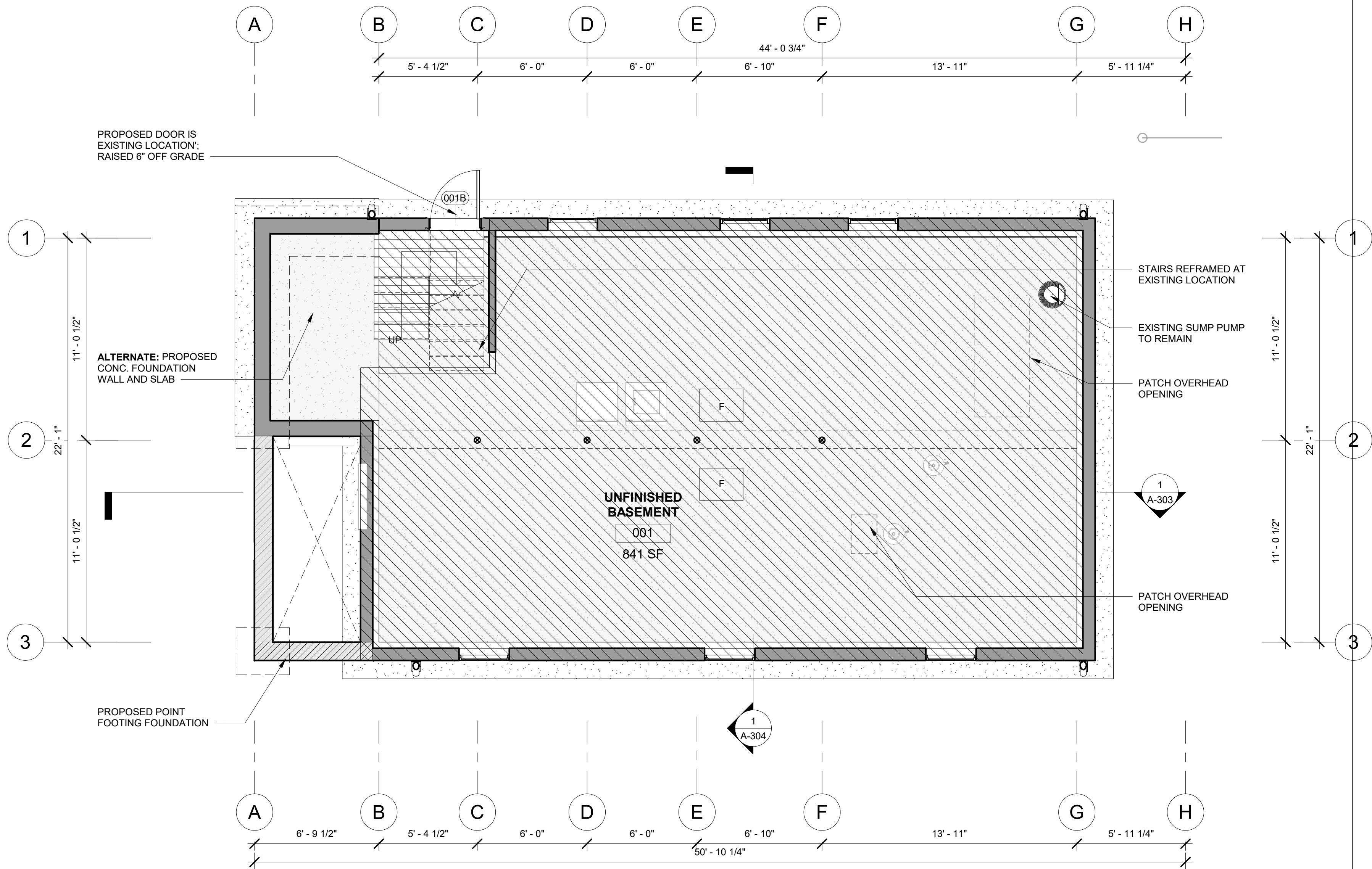
1 2\$EXISTING LEVEL 0
3/16" = 1'-0"



3 1\$AXON - LEVEL 0



4 3D View 5



2 2\$PROPOSED LEVEL 0
1/4" = 1'-0"



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STRUCTURAL ENGINEER:

PROPOSED LEVEL 0

STEVE & TRISH NG

NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

| | |
|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

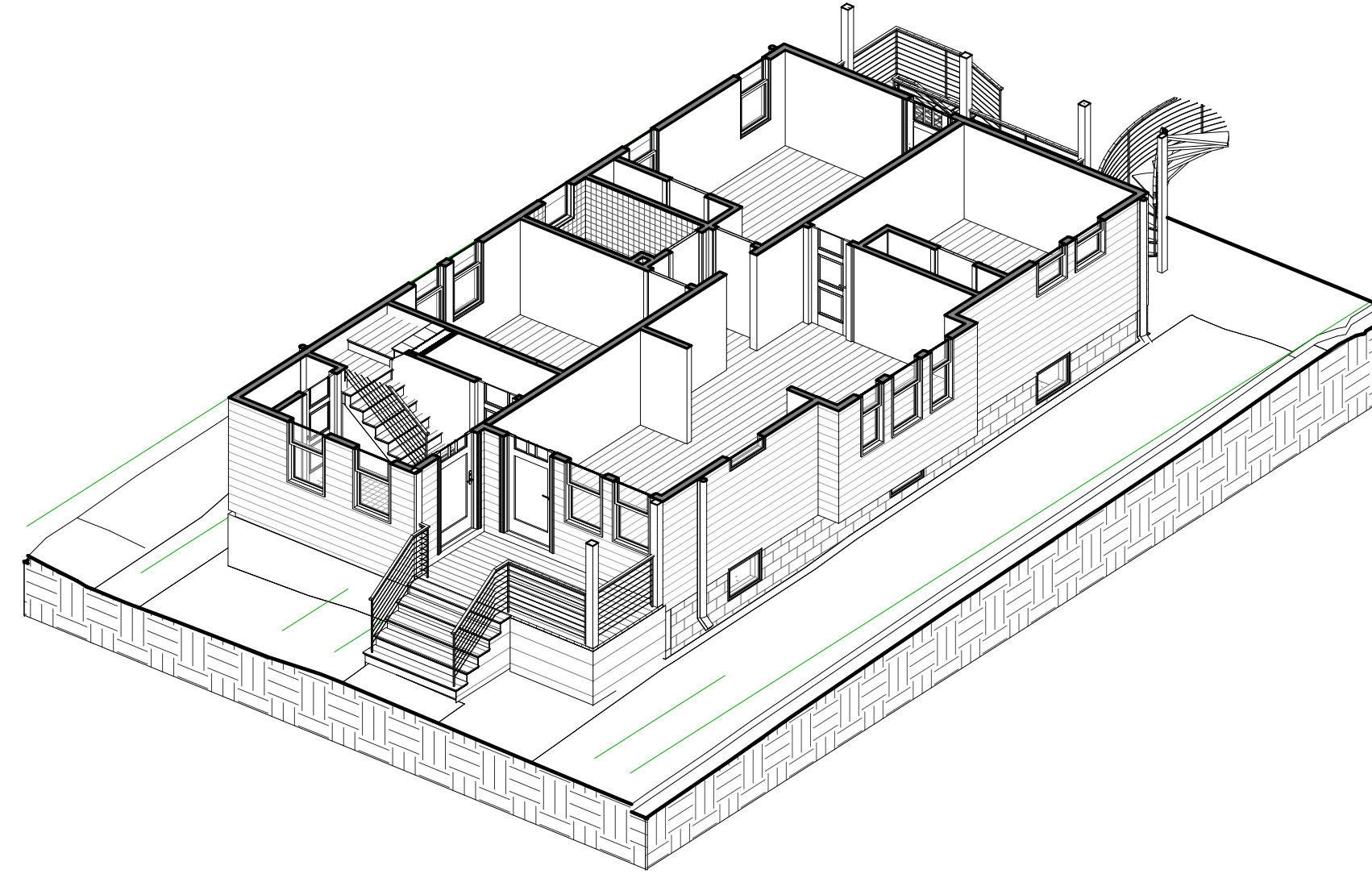
P-100

Scale As indicated

1 2\$EXISTING LEVEL 1
3/16" = 1'-0"



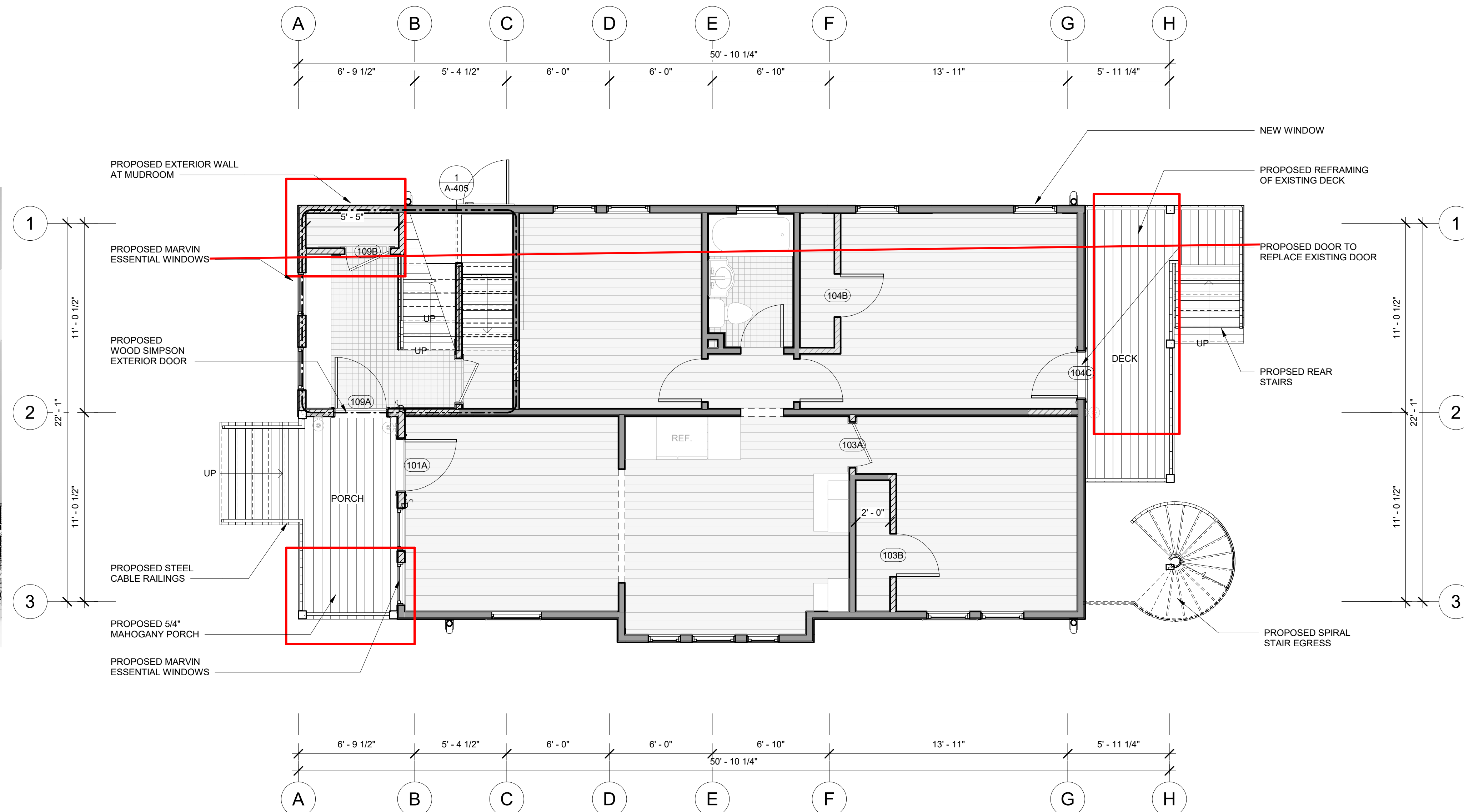
3 1\$AXON - PROPOSED LEVEL 1



4 3D View 2



2 2\$PROPOSED LEVEL 1
1/4" = 1'-0"



PROPOSED LEVEL 1

STEVE & TRISH NG

NG RESIDENCE

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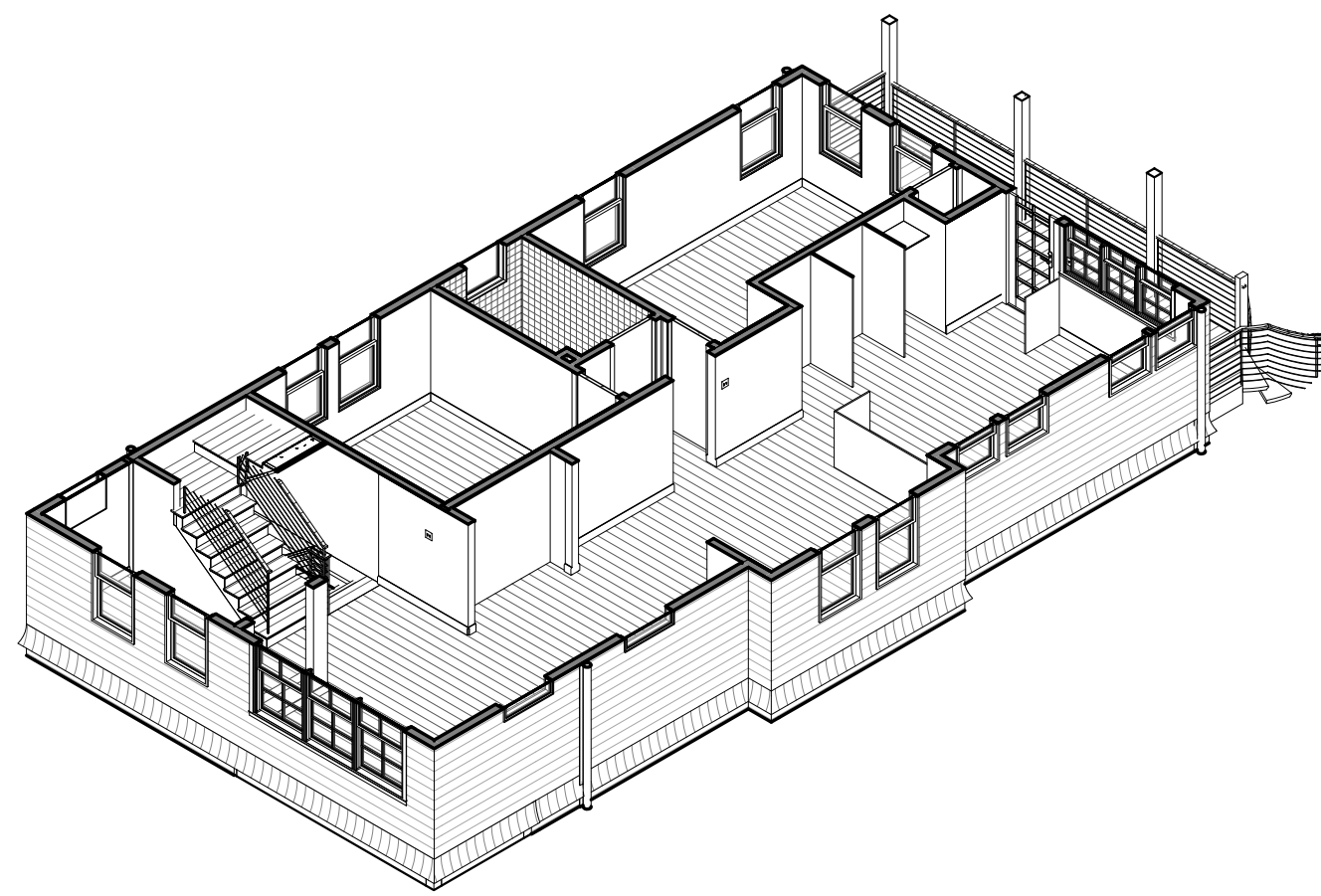
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| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-101

Scale As indicated



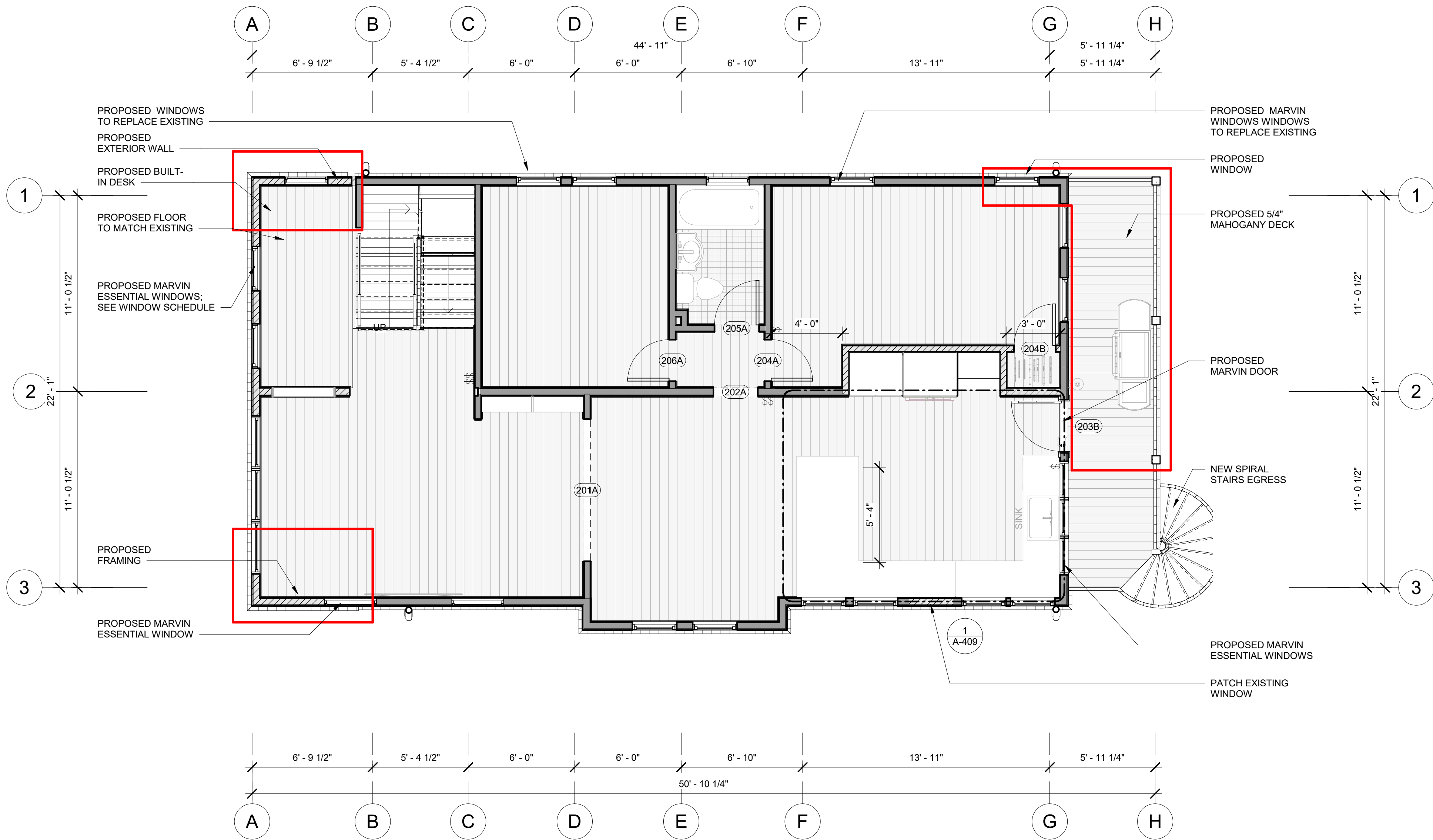
1 2\$EXISTING LEVEL 2
3/16" = 1'-0"



3 1\$AXON - PROPOSED LEVEL 2



4 3D View 3



2 2\$PROPOSED LEVEL 2
1/4" = 1'-0"



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PROPOSED LEVEL 2

STEVE & TRISH NG

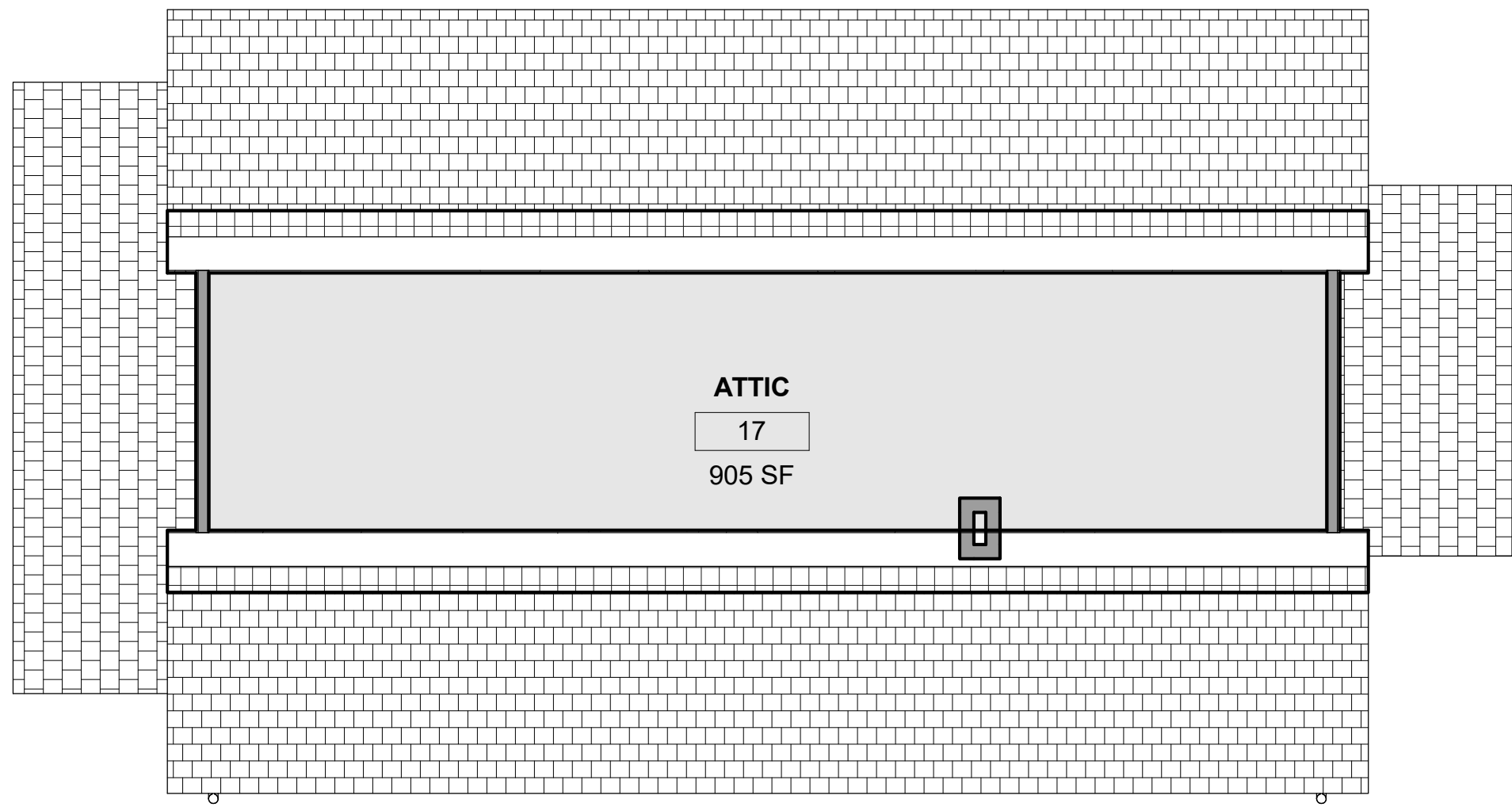
NG RESIDENCE

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CAMBRIDGE, MA 02138

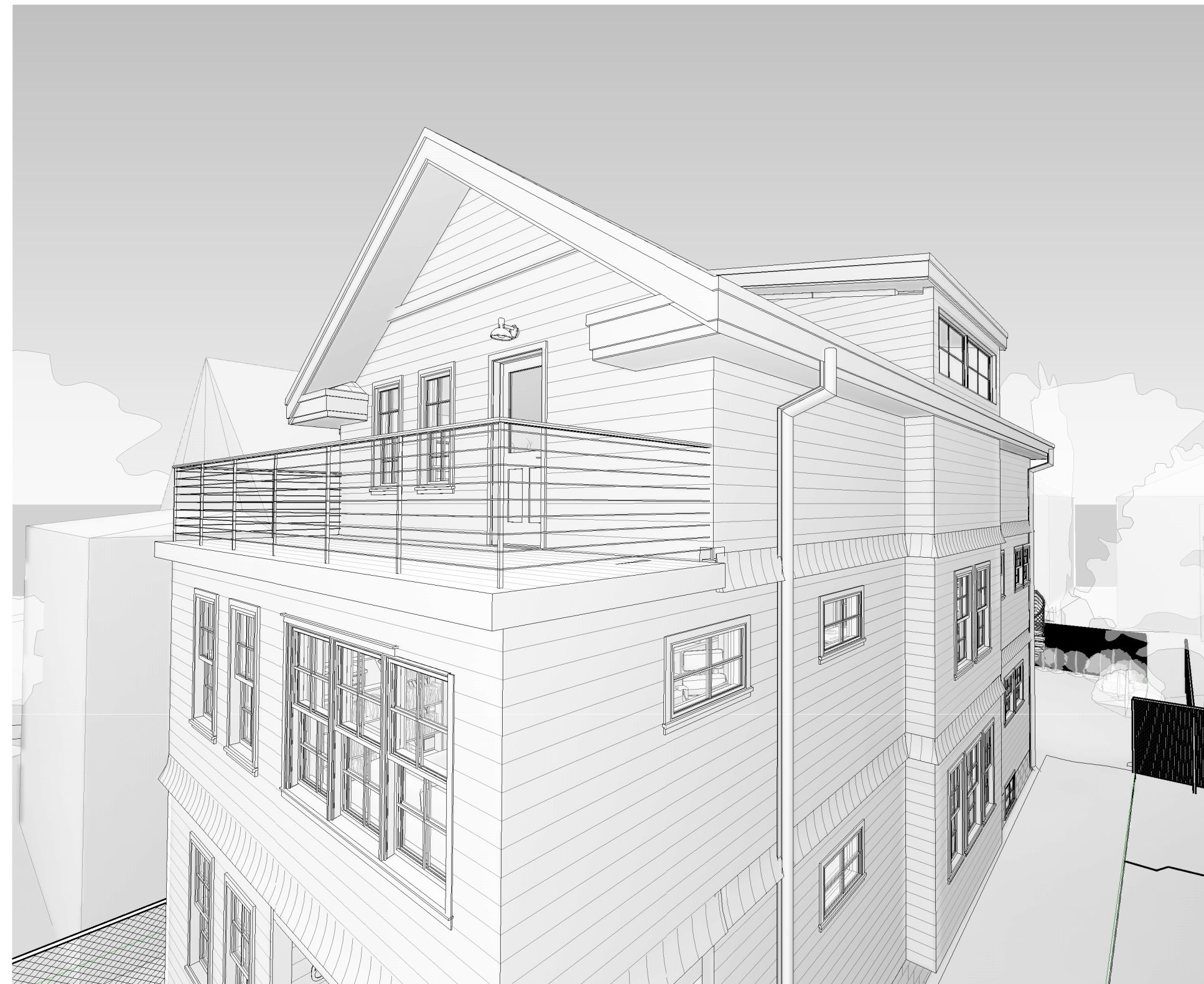
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|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-102

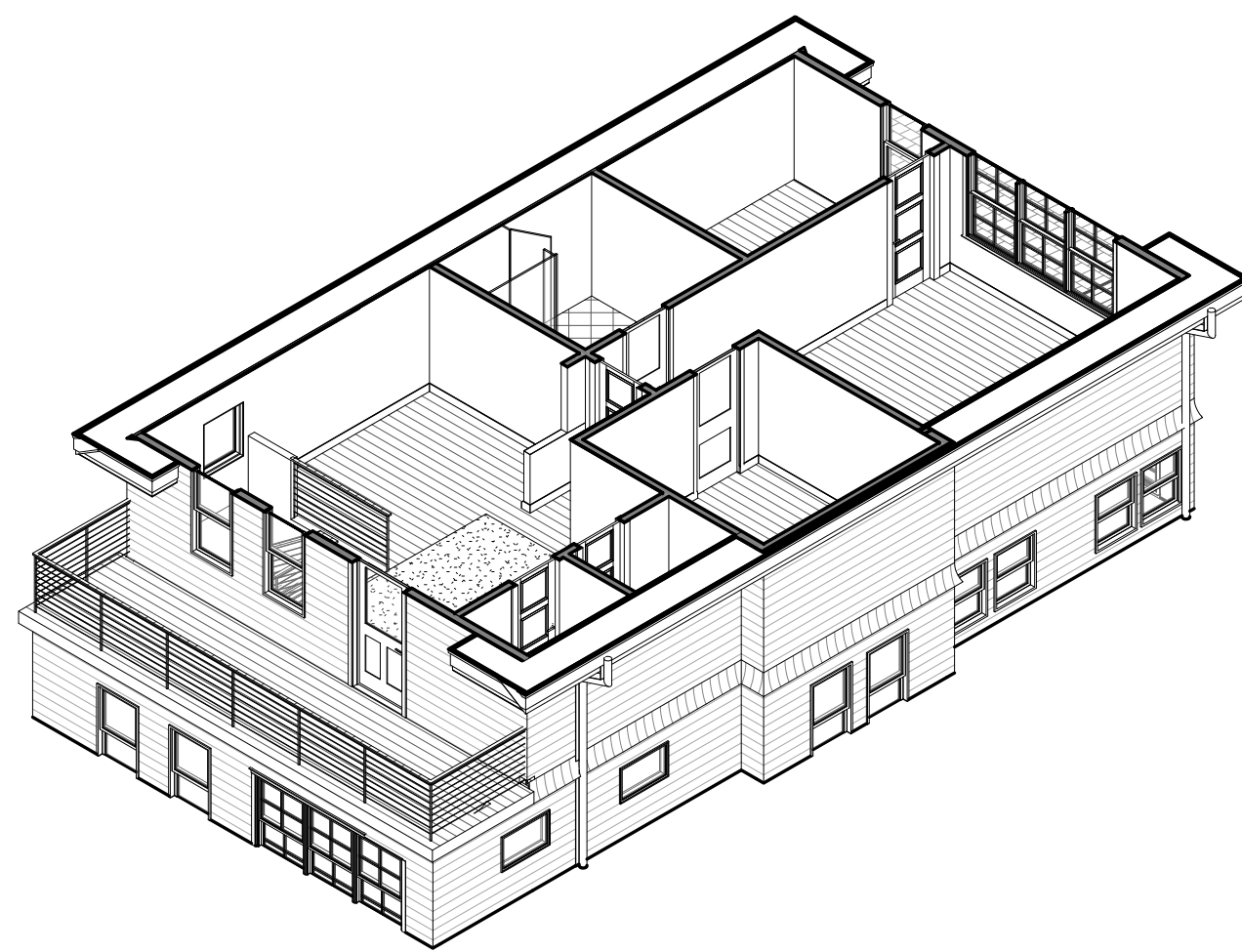
Scale As indicated



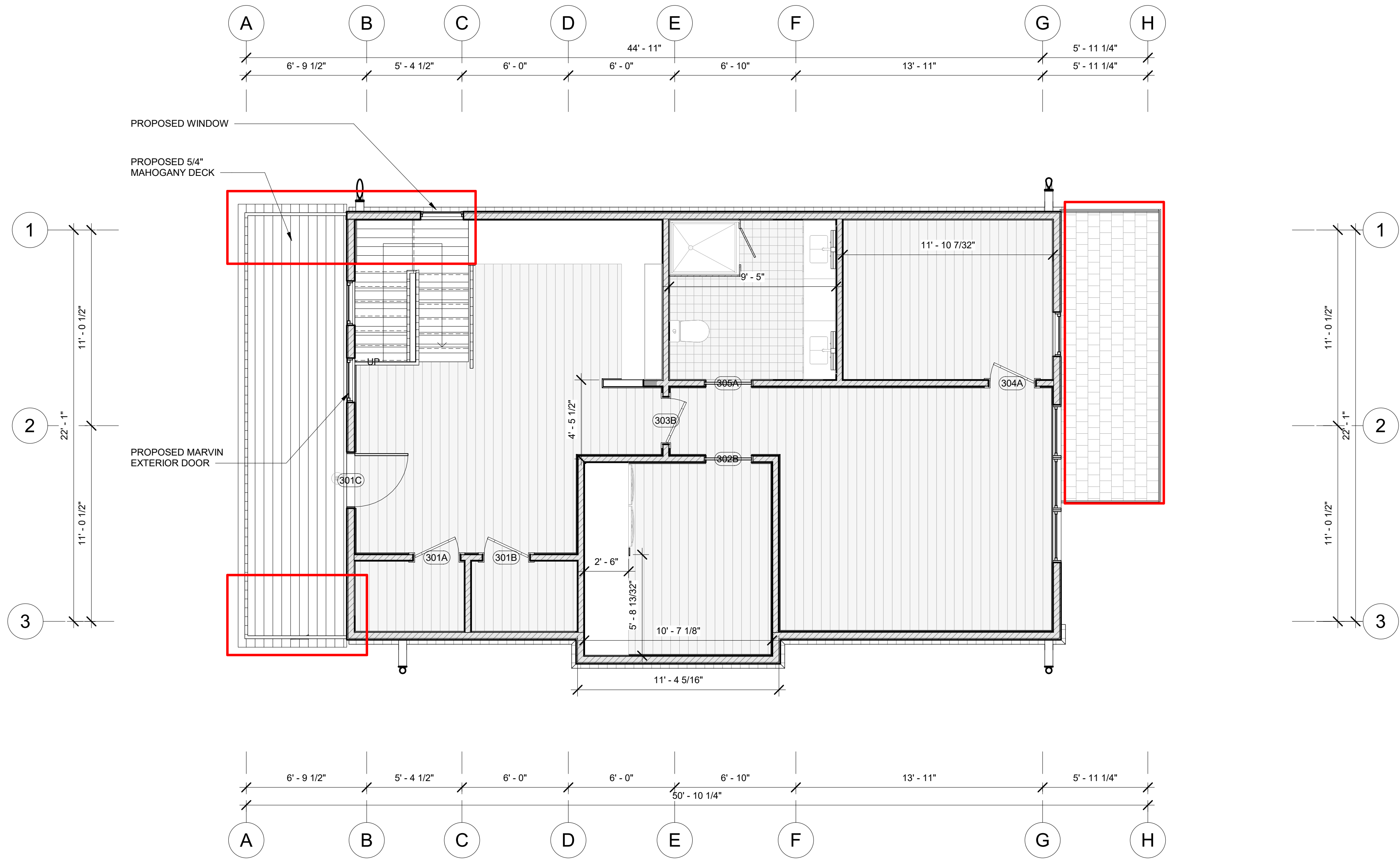
1\$PROPOSED LEVEL 4
3/16" = 1'-0"



4 3D View 4



3 1\$AXON - OPTION A - LEVEL 3



2\$PROPOSED LEVEL 3
1/4\" = 1'-0"



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PROPOSED LEVEL 3

STEVE & TRISH NG

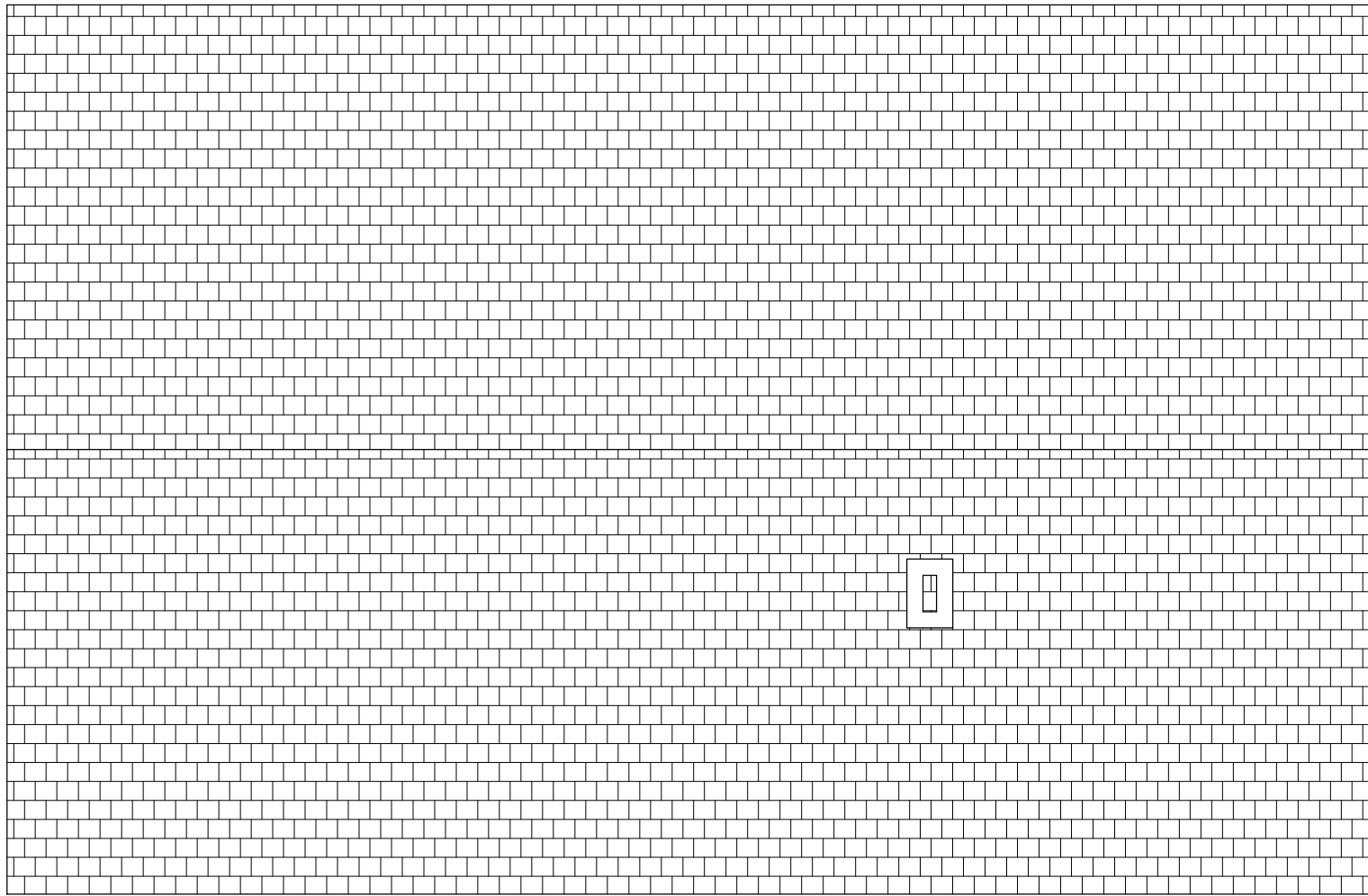
NG RESIDENCE

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CAMBRIDGE, MA 02138

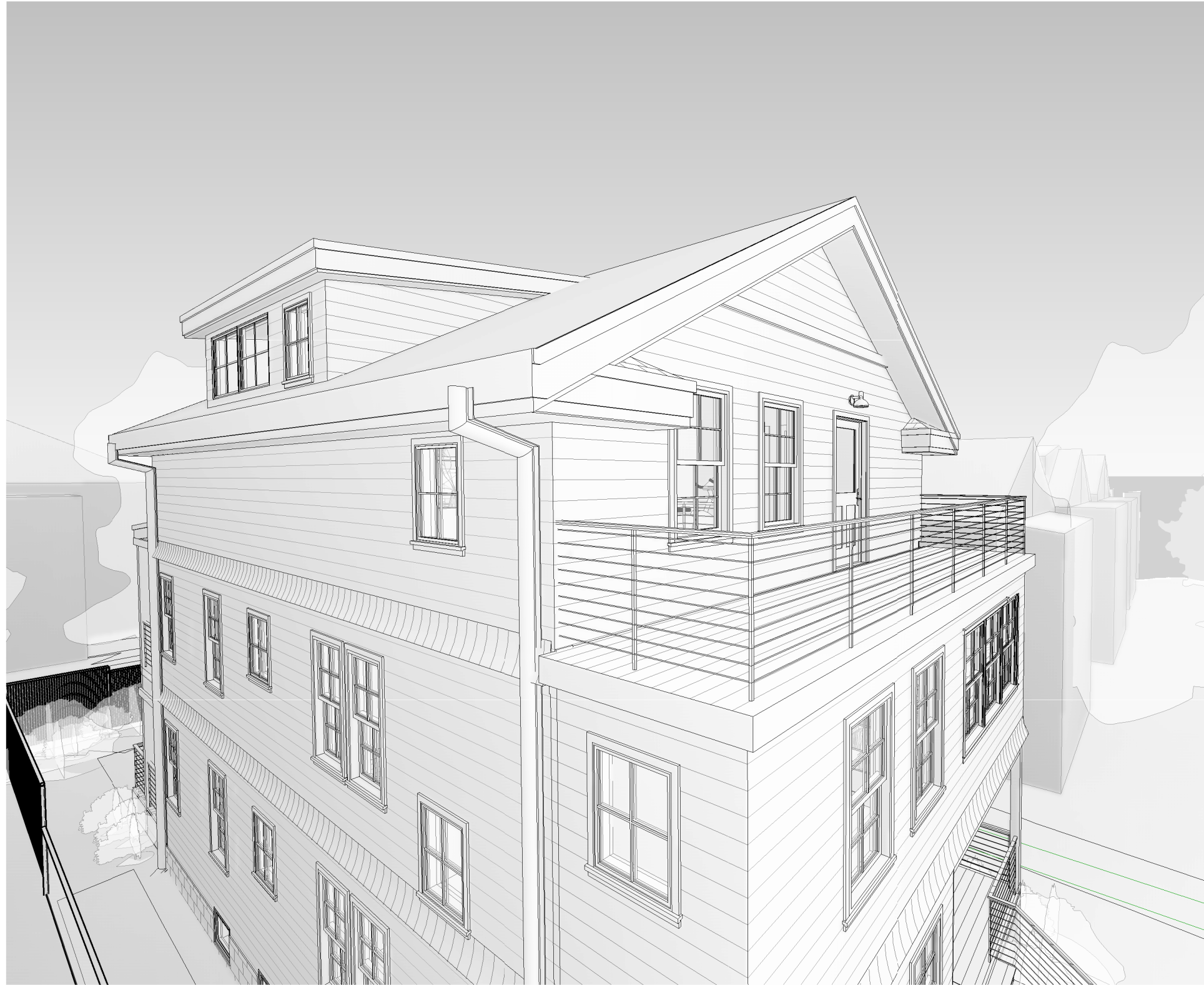
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|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-103

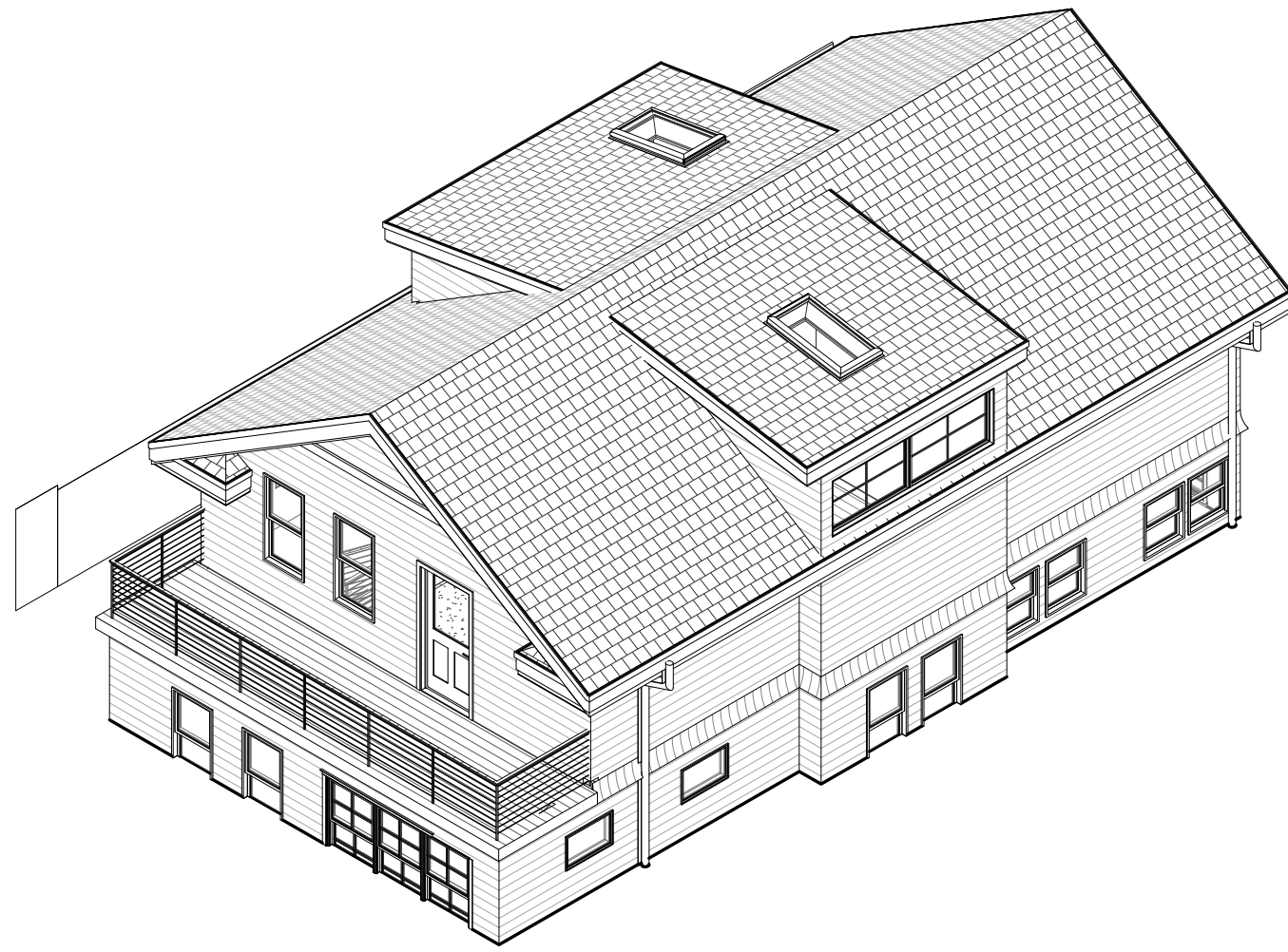
Scale As indicated



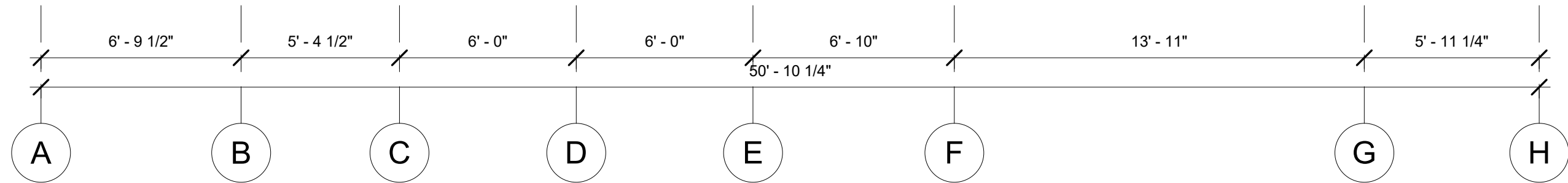
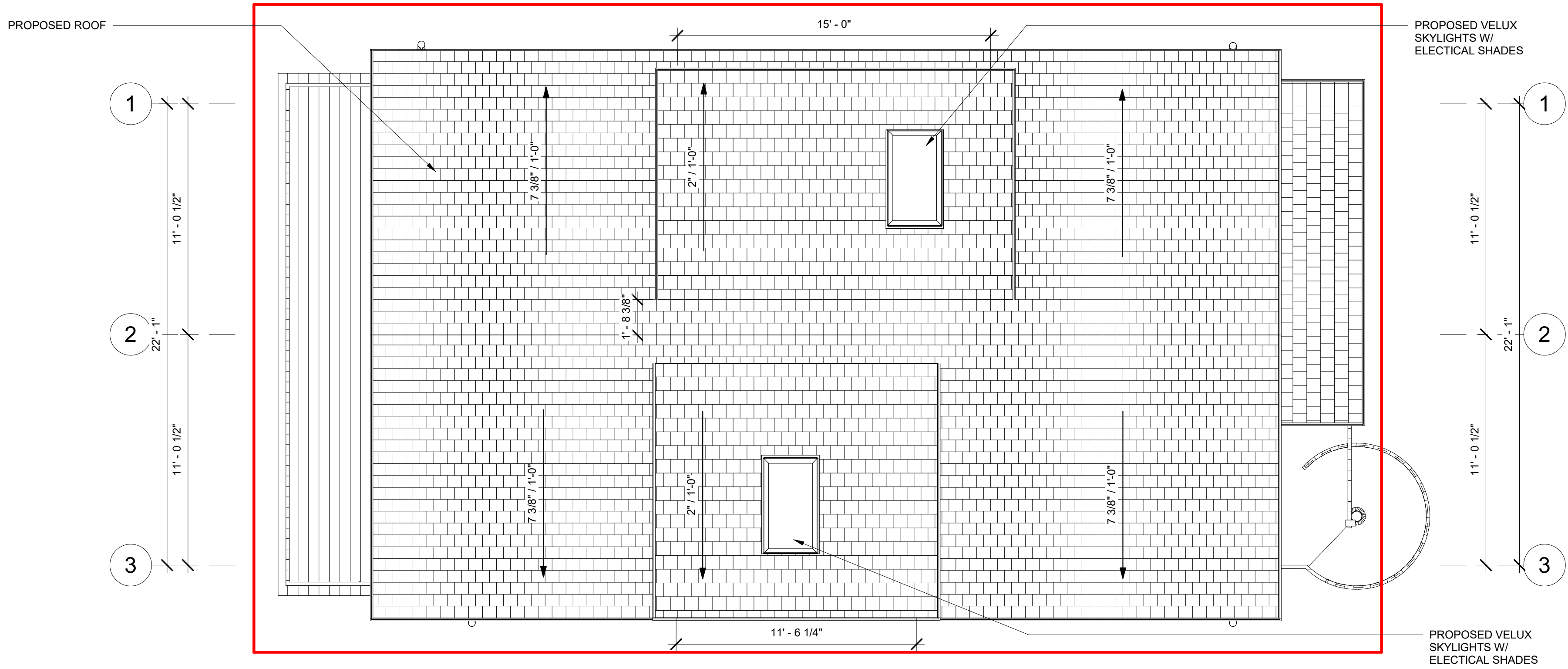
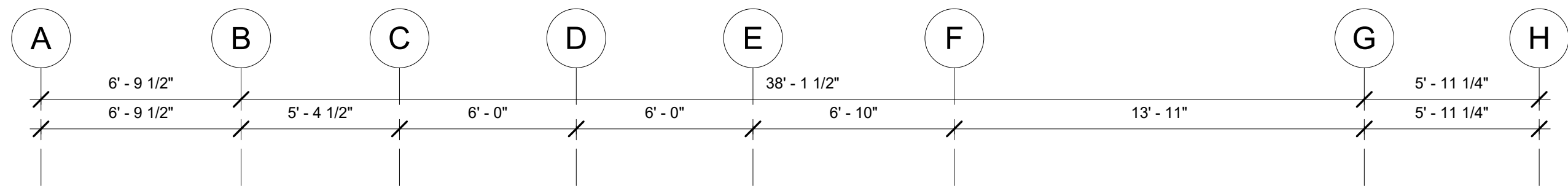
1\$EXISTING ROOF RIDGE
3/16" = 1'-0"



4 PERSPECTIVE - ROOF



3 1\$AXON - ROOF LEVEL



2 1\$PROPOSED ROOF RIDGE
1/4" = 1'-0"



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PROPOSED ROOF PLAN

STEVE & TRISH NG

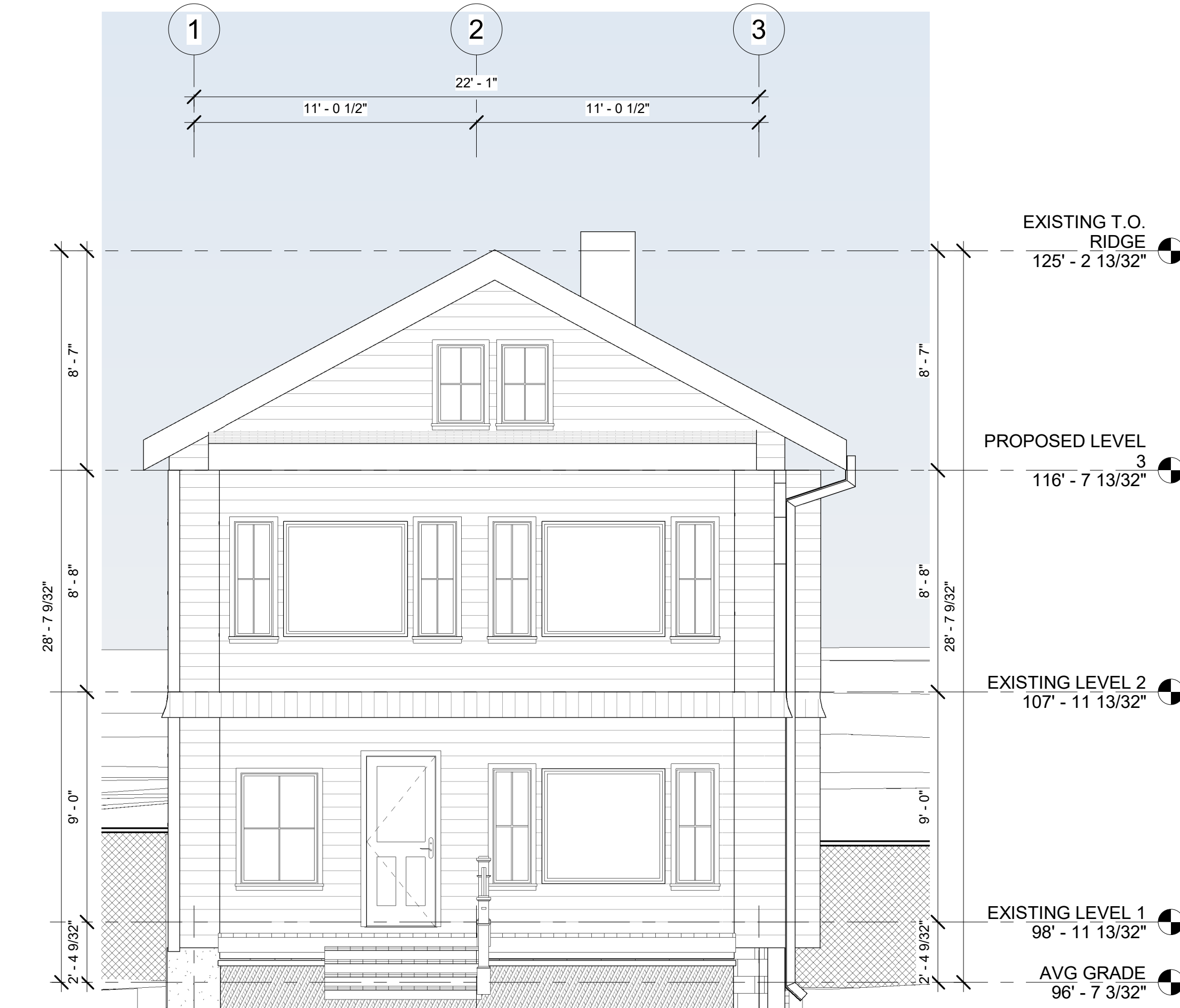
NG RESIDENCE

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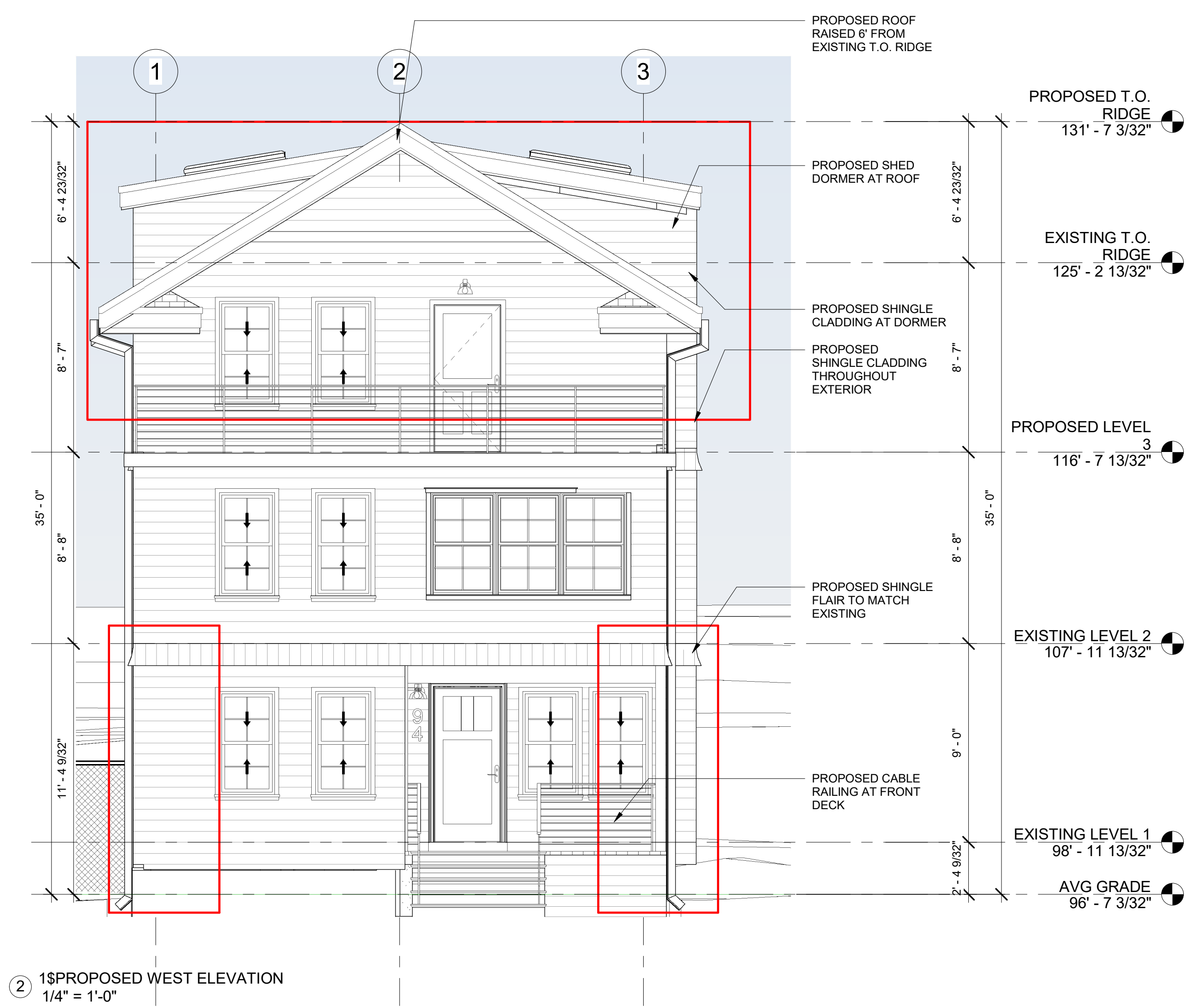
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|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-110

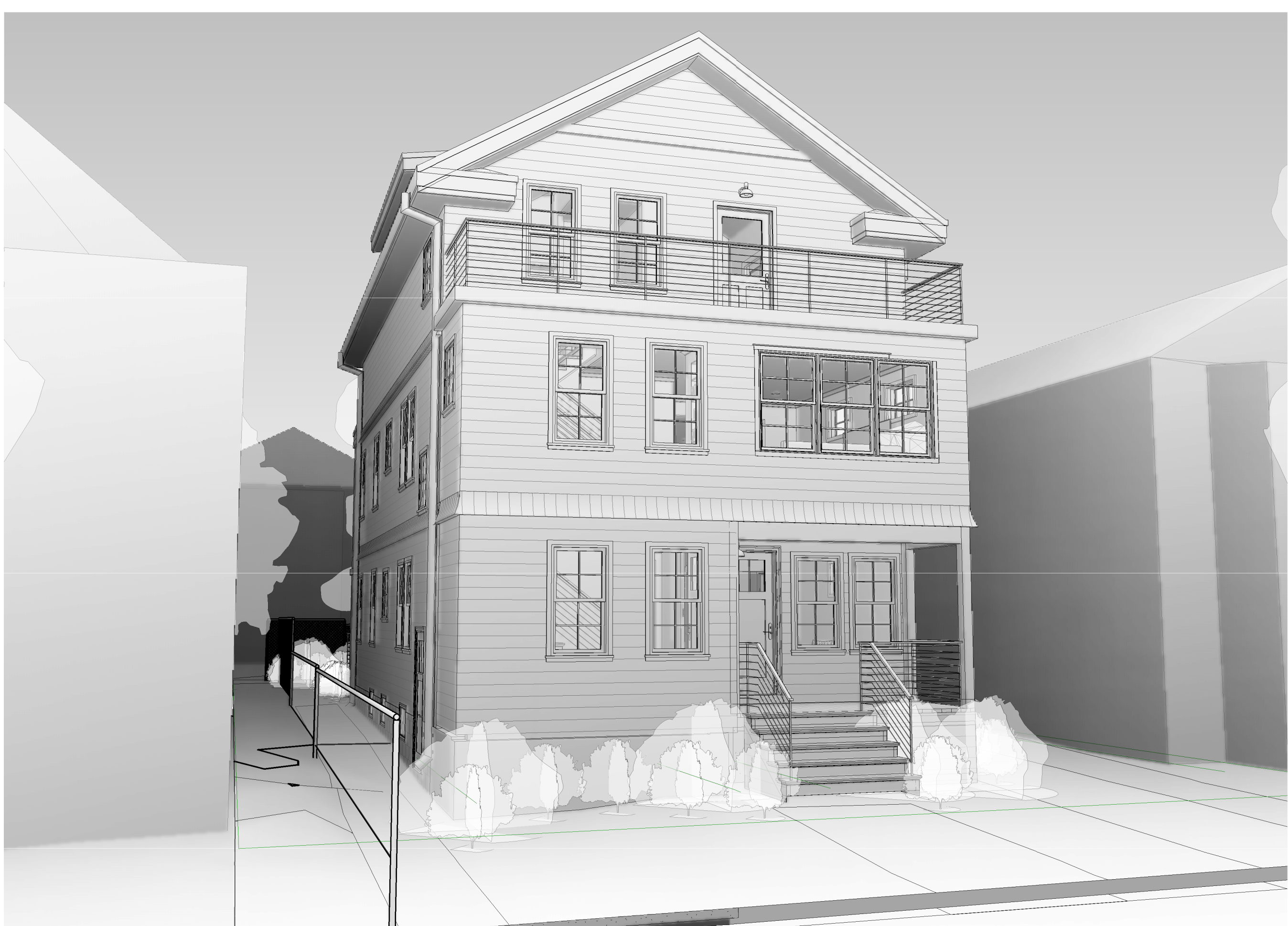
Scale As indicated



1 EXISTING WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
1/4" = 1'-0"



3 PERSPECTIVE FRONT ELEVATION
1/4" = 1'-0"



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STRUCTURAL ENGINEER:

ELEVATION WEST

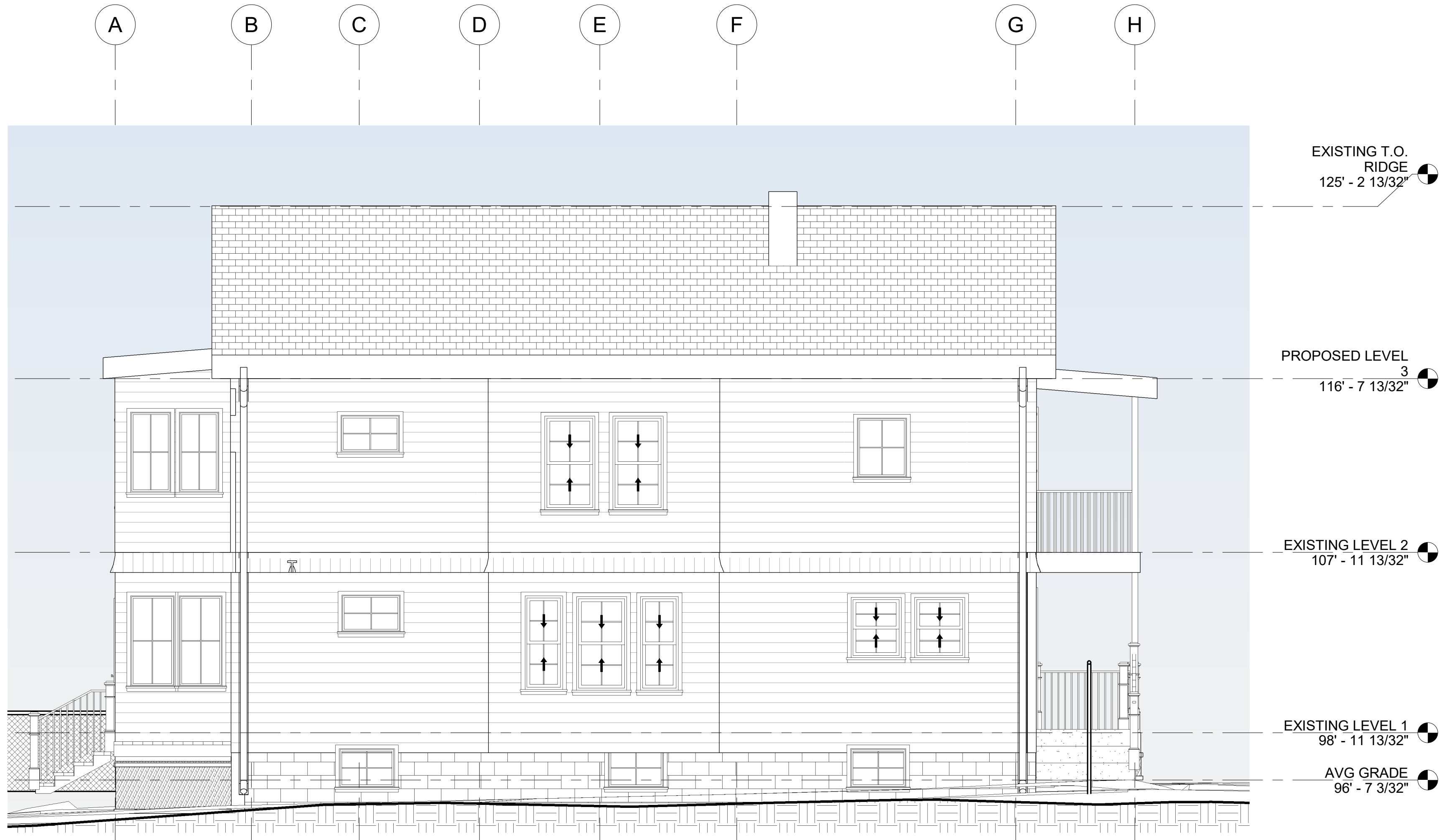
STEVE & TRISH NG

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Project number Project Number
Date 09/11/2020
Drawn by Author
Checked by Checker

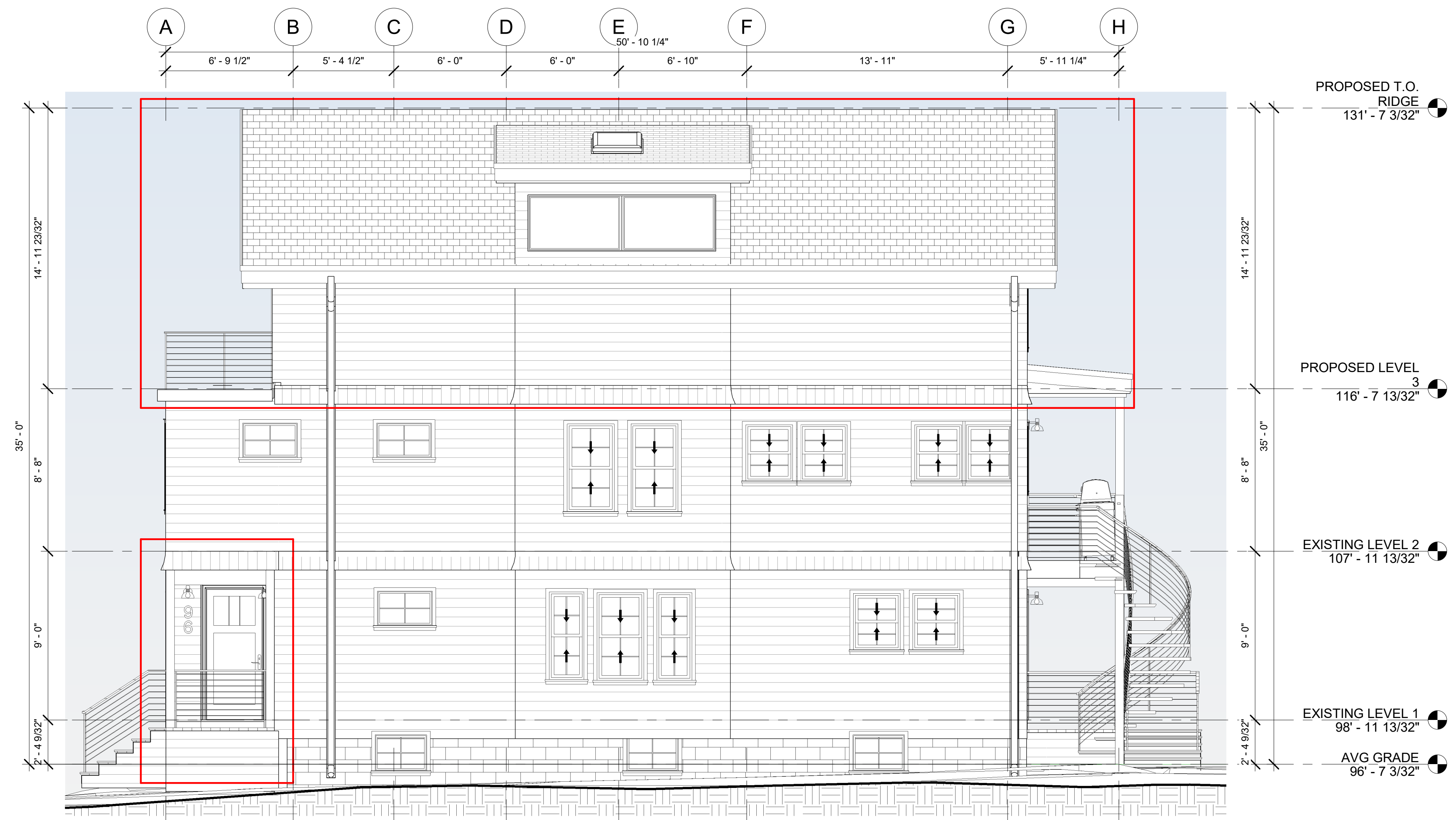
P-200
Scale 1/4" = 1'-0"



1\$EXISTING SOUTH ELEVATION
1/4" = 1'-0"



3 PERSPECTIVE - ELEVATION - NORTH



2\$PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



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STRUCTURAL ENGINEER:

ELEVATION NORTH

STEVE & TRISH NG

NG RESIDENCE

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Project Status BZA SUBMISSION SET
Project number Project Number
Date 09/11/2020
Drawn by Author
Checked by Checker

P-201

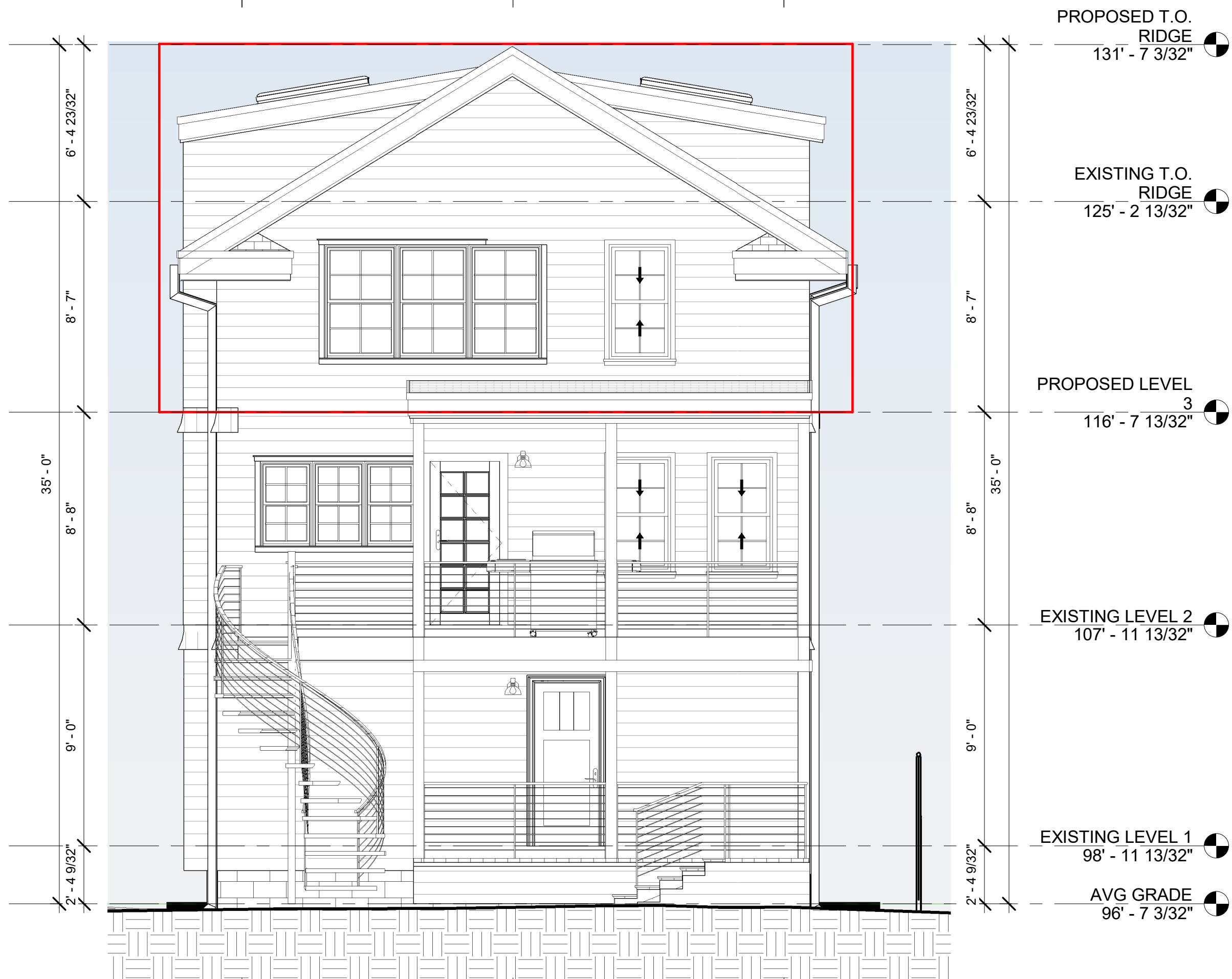
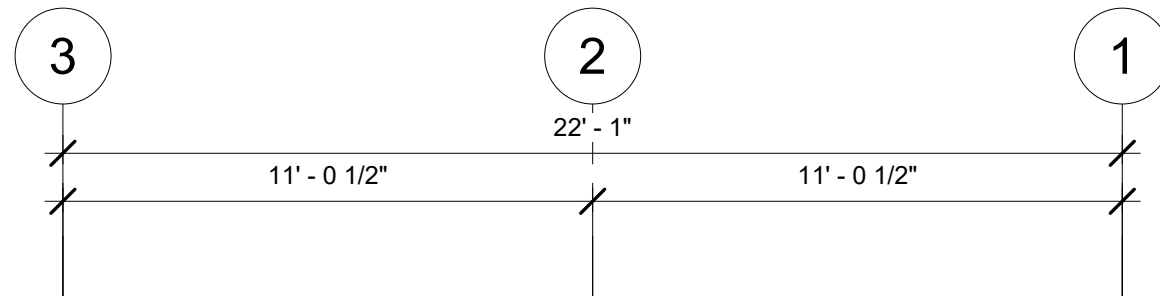
Scale 1/4" = 1'-0"



1\$EXISTING EAST ELEVATION
1/4\" = 1'-0"



3 PERSPECTIVE - EVELATION - EAST



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STRUCTURAL ENGINEER:

ELEVATION EAST

STEVE & TRISH NG

NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

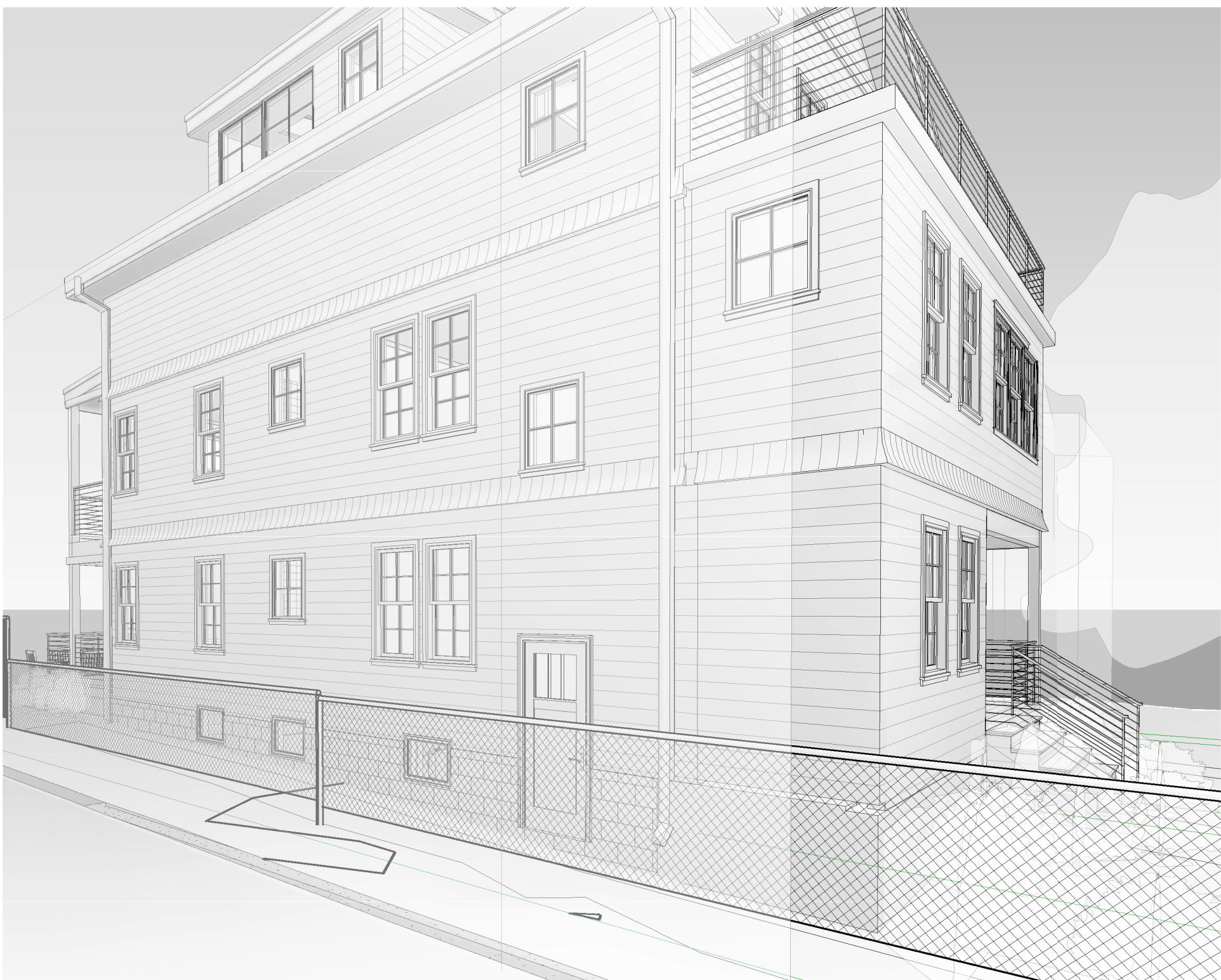
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| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 09/11/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-202

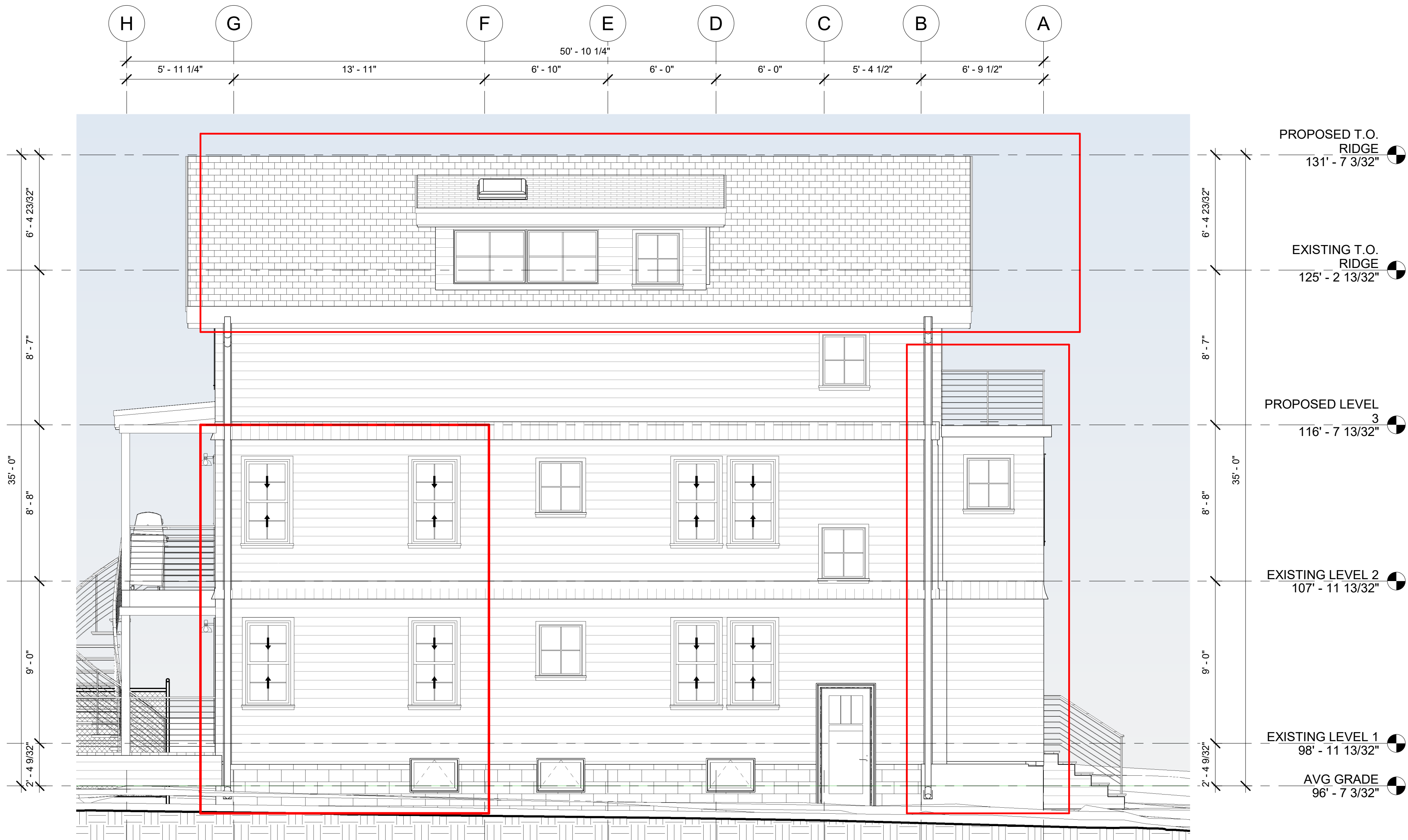
Scale 1/4\" = 1'-0"



SITNG NORTH ELEVATION
1'-0"



3 PERSPECTIVE - ELEVATION - SOUTH



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



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REGISTRATIONS:

STRUCTURAL ENGINEER:

ELEVATION SOUTH

STEVE & TRISH NG

NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

Project Status BZA SUBMISSION SET
Project number Project Number
Date 09/11/2020
Drawn by Author
Checked by Checker

P-203

Scale 1/4" = 1'-0"

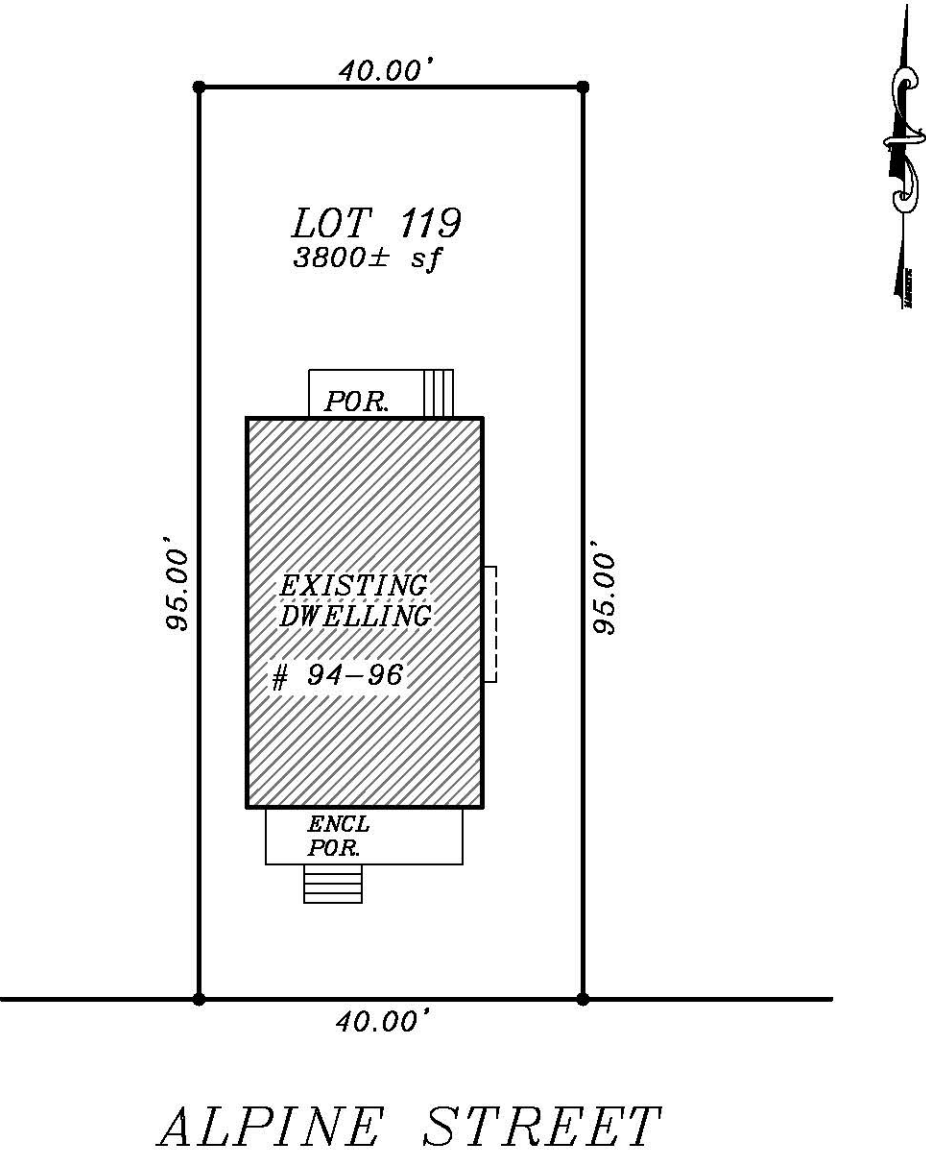
MORTGAGE INSPECTION PLAN

NORTHERN ASSOCIATES, INC.

92 MAPLE AVENUE ANDOVER, MA 01810 TEL:(978) 837-3335 FAX:(978) 837-3336
MASSACHUSETTS

MORTGAGOR: STEVEN NG, PATRICIA NG &
AUDREY NG
LOCATION: 94-96 ALPINE ST
CITY,STATE: CAMBRIDGE, MA
DATE: 11/25/19

DEED REF. 72187/182
PLAN REF. #481
SCALE: 1"=20'
JOB #: 2193744



CERTIFIED TO: GUARANTEED RATE AFFINITY LLC, ISAOA/ATIMA

Flood hazard zone has been determined by scale and is not necessarily accurate. Until definitive plans are issued by HUD and/or a vertical control survey is performed, precise elevations cannot be determined.

NOTE: This mortgage inspection was prepared specifically for mortgage purpose only and is not to be relied upon as a land or property line survey, used for recording, preparing deed descriptions, or construction. No corners were set. Building location and offsets are approximately located on ground and are shown specifically for zoning determination only and are not to be used to establish property lines. The matters shown hereon are based on client-furnished information and may be subject to further out-sales, takings, easements and rights of way, and other matters of record and prescriptive or other rights. Northern Associates, Inc. assumes no responsibility herein to land owner or occupant, accepts no responsibility for damages resulting from reliance by anyone other than the said mortgagee and its proposed mortgage financing to said mortgagor.



I render this mortgage inspection plan to be issued with the best of my knowledge, information and belief.

I further state that in my professional opinion that the structures shown conform with the local zoning horizontal dimensional setback requirements at the time of construction or are exempt under provisions of M.G.L. CH. 40-A Sec. 7.

- ☒ 1. Property/House is not in Flood Hazard.
- ☐ 2. Property/House is in a Flood Hazard Area.
- ☐ 3. Information is insufficient to determine Flood Hazard.

Flood Hazard determined from latest Federal Flood

Insurance Rate Map Panel 25017C0419E

Date 06/04/10 Zone X



**PROPOSED PLOT PLAN
#92-94 ALPINE STREET
IN
CAMBRIDGE, MA
(MIDDLESEX COUNTY)**

1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533

| CLIFFORD E. ROBER, PLS | DATE |
|-------------------------------|-------------|
| | |

THIS PLAN MAY HAVE BEEN ALTERED IF
THE SIGNATURE IS NOT SIGNED IN BLUE.

Google Maps 97 Alpine St

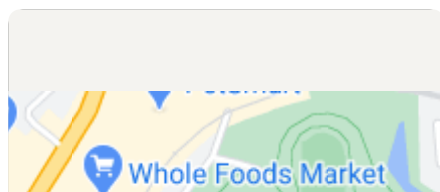


Image capture: Jul 2019 © 2020 Google

Cambridge, Massachusetts



Street View



Google Maps 94 Alpine St

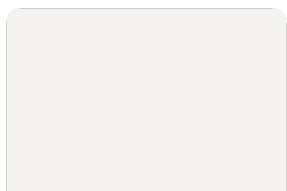


Image capture: Jul 2019 © 2020 Google

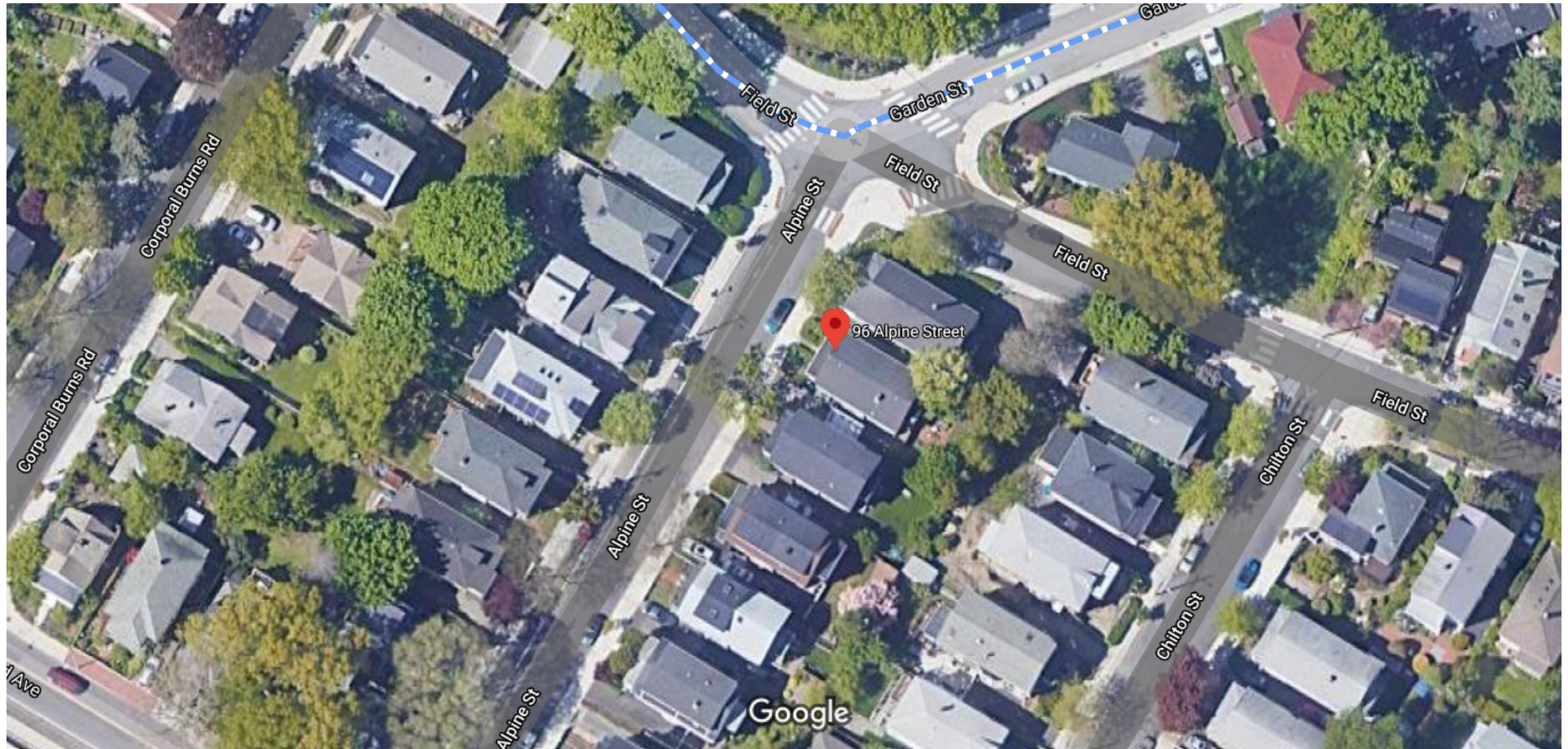
Cambridge, Massachusetts



Street View

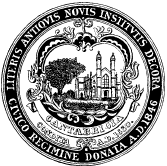
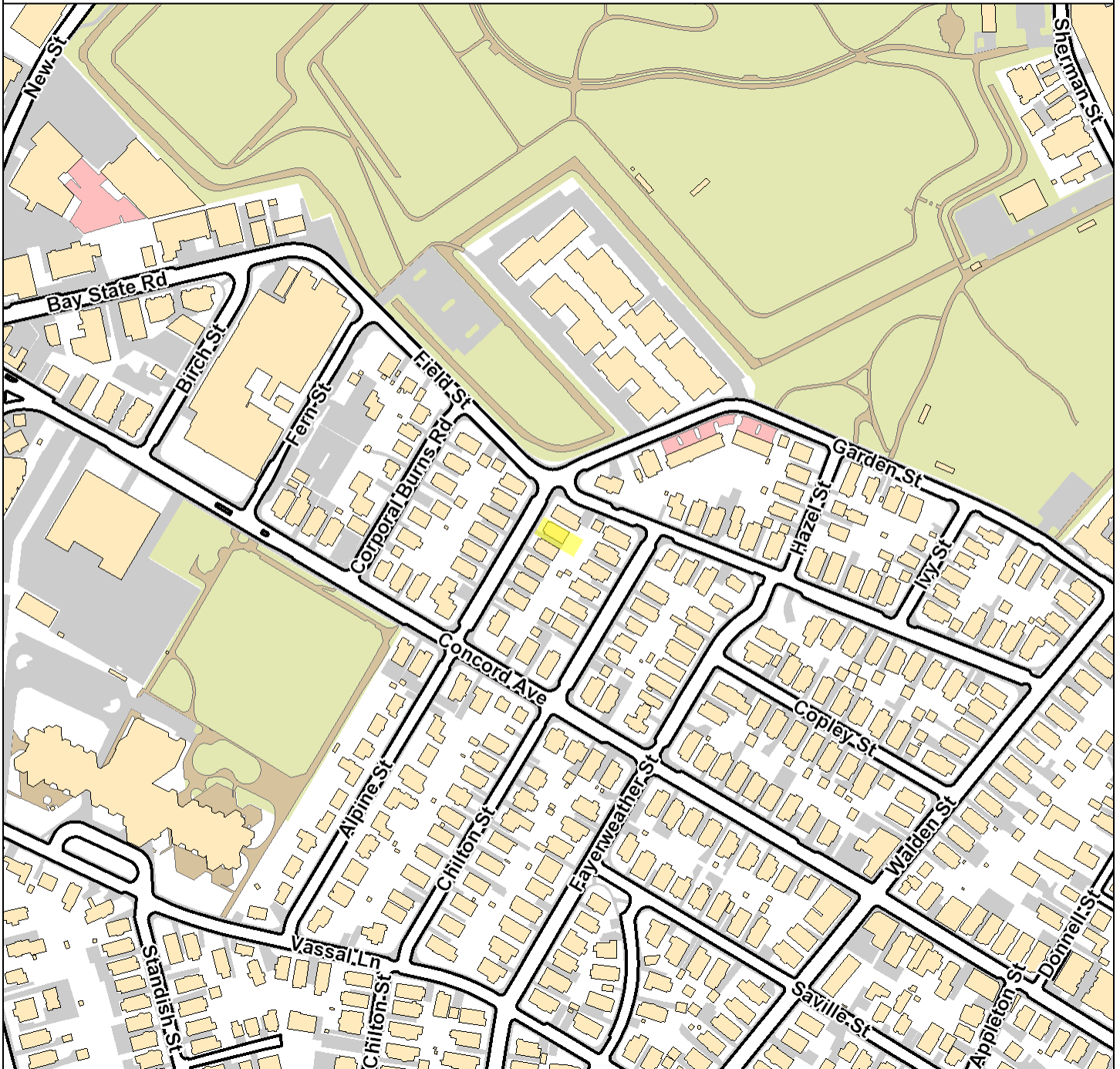


Google Maps 96 Alpine St



Imagery ©2020 MassGIS, Commonwealth of Massachusetts EOE, Maxar Technologies, Map data ©2020

50 ft



City of Cambridge
Massachusetts

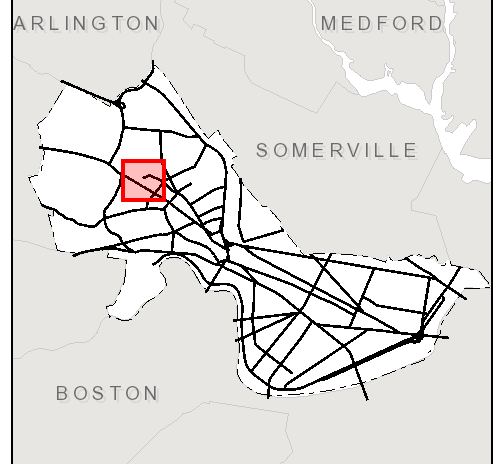
1" = 305 ft

All data is provided for graphic representation only. The City of Cambridge expressly disclaims all warranties of any type, expressed or implied, including, but not limited to, any warranty as to the accuracy of the data, merchantability, or fitness for a particular purpose.

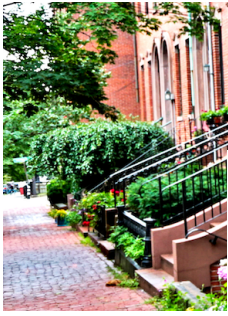
www.cambridgema.gov/gis



- Rail
- Building Footprints
- Paved Surfaces
 - Paved Roads
 - Bridges
 - Unpaved Roads
 - Unpaved Parking
- Sidewalks
- Driveways
- Alleys
- Other Paved Surface
- Public Footpath



INFORMATIONAL ALERT | Coronavirus Updates



PROPERTY DATABASE



94 Alpine St

Property Information

| | |
|---------------------|-------------|
| Property Class | TWO-FAM-RES |
| State Class Code | 104 |
| Zoning (Unofficial) | B |
| Map/Lot | 262-64 |
| Land Area (sq. ft) | 3,800 |

Property Value

Photos



Sketches

Diagram illustrating a 2D array layout (likely a sparse matrix) with dimensions and labels:

- Top-Left Quadrant (Blue border):** Dimensions 41 (height) x 24 (width). Labels: UAT, FUS, BAS, UBM.
- Top-Right Quadrant (Red border):** Dimensions 5 (height) x 12 (width). Label: FOP (x2).
- Bottom-Left Quadrant (Red border):** Dimensions 6 (height) x 20 (width). Label: FEP (x2).
- Bottom-Right Quadrant (Blue border):** Dimensions 1 (height) x 22 (width). Labels: FUS, BAS, ...

| | |
|-----------------|---|
| Owner(s) | REYBURN, ERIC N. 2 WORCESTER STREET CAMBRIDGE, MA 02139 |
|-----------------|---|

Residential Building Number 1, Section 1

<https://www.cambridgema.gov/propertydatabase/21465>

| | |
|---------------------------|-------------------|
| Style | OLD STYLE TWO FAM |
| Occupancy | TWO-FAM-RES |
| Number of Stories | 2.25 |
| Exterior Wall Type | Asbestos Shingl |
| Roof Type | Gable |
| Roof Material | Asphalt Shingl |

Interior

| | |
|------------------------------|-------|
| Living Area (sq. ft.) | 1,992 |
| Number of Units | 2 |
| Total Rooms | 10 |
| Bedrooms | 4 |
| Kitchens | 2 |
| Full Baths | 2 |
| Half Baths | 0 |
| Fireplaces | 0 |

Systems

| | |
|--------------------|------------|
| Heat Type | Forced Air |
| Heat Fuel | Gas |
| Central A/C | No |

Condition & Grade

| | |
|---------------------------|---------|
| Year Built | 1924 |
| Interior Condition | Average |
| Overall Condition | Average |
| Overall Grade | Average |

Parking

| | |
|------------------------|---|
| Open Parking | 2 |
| Covered Parking | 0 |

Subareas

| Code | Description | Gross Area | Living Area |
|-------------|--------------------------|-------------------|--------------------|
| BAS | First Floor | 996 | 996 |
| FEP | Porch, Enclosed | 240 | 0 |
| FOP | Porch, Open | 120 | 0 |
| FUS | Upper Story, Finished | 996 | 996 |
| UAT | Attic, Unfinished | 984 | 0 |
| UBM | Basement | 984 | 0 |
| Total: | | 4,320 | 1,992 |

Middlesex South Registry of Deeds

Electronically Recorded Document

This is the first page of the document - Do not remove

Recording Information

| | |
|--|---------------------|
| Document Number | : 203826 |
| Document Type | : DEED |
| Recorded Date | : December 23, 2019 |
| Recorded Time | : 08:24:41 AM |
| Recorded Book and Page | : 73875 / 99 |
| Number of Pages(including cover sheet) | : 3 |
| Receipt Number | : 2408828 |
| Recording Fee (including excise) | : \$5,825.00 |

MASSACHUSETTS EXCISE TAX
Southern Middlesex District ROD # 001
Date: 12/23/2019 08:24 AM
Ctrl# 312660 03839 Doc# 00203826
Fee: \$5,700.00 Cons: \$1,250,000.00

Middlesex South Registry of Deeds
Maria C. Curtatone, Register
208 Cambridge Street
Cambridge, MA 02141
617-679-6300
www.middlesexsouthregistry.com

DEED

CMSBRC Holdings LLC, a Massachusetts limited liability company, having a mailing address of 2 Worcester Street, Cambridge, MA 02139

for consideration paid and in full consideration of One Million Two Hundred Fifty Thousand Dollars (\$1,250,000.00) Dollars grant(s) to

Two Thirds Interest to Steven Ng and Patricia D. Ng, as Husband and Wife, Tenants by the Entirety and One Third Interest to Audrey Ng, Individually now of 94-96 Alpine Street, Cambridge, MA

with **Quitclaim Covenants**

The land with the buildings thereon, situated in Cambridge, in the County of Middlesex, and Commonwealth of Massachusetts, being the lot numbered One Hundred Nineteen (119) as shown on a Plan of University Park, Cambridge, Massachusetts, surveyed for Joseph H. Allen & Otto M. Frank, Trustees, dated February 17, 1911, by W. A. Mason & Sons, Surveyors, duly recorded with Middlesex South District as filed Plan No. 481, bounded and described as follows:

| | |
|---------------|--|
| NORTHWESTERLY | by Alpine Street, forty (40) feet; |
| NORTHEASERLY | by lot 120, as shown on said plan, ninety-five (95) feet; |
| SOUTHEASTERLY | by Lots 106 and 107, as shown on said plan, forty (40) feet; and |
| SOUTHWESTERLY | by lot 118, as shown on said plan, ninety-five (95) feet. |

Containing 3,800 square feet of land, according to said plan.


The Grantor hereby certifies that it has not elected to be treated as a corporation for federal income tax purposes.

For title, see Deed dated January 31, 2019, and recorded with the Middlesex South District Registry of Deeds in Book 72187, Page 181.

{Signatures follow on next page}

Executed as a sealed instrument 18th day of December, 2019.

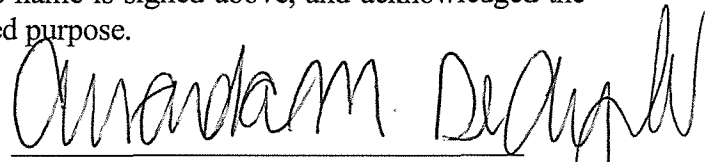
CMSBRC Holdings LLC

By: 
Name: Christopher M. Shachoy
Title: Manager

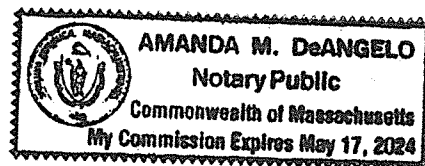
COMMONWEALTH OF MASSACHUSETTS

Middlesex ss

On this 18th day of December, 2019, before me, the undersigned notary public, personally appeared Christopher M. Shachoy, Manager of CMSBRC Holdings LLC, proved to me by satisfactory evidence of identification, being (check whichever applies): ☐ driver's license or other state or federal governmental document bearing a photographic image, ☐ oath or affirmation of a credible witness known to me who knows the above signatory, or ☐ my own personal knowledge of the identity of the signatory, to be the person whose name is signed above, and acknowledged the foregoing to be signed by him voluntarily for its stated purpose.



Notary Public
My Commission Expires:





CITY OF CAMBRIDGE
ASSESSING DEPARTMENT
795 MASS. AVE., CAMBRIDGE, MA 02139
Tel.: 617-349-4343 Fax: 617-349-4357

Gayle Willett
Director of Assessment

Andrew J. Johnson
Deputy Director

Walter H. Pennell
Assessor

Date: September 22, 2020

Certified List of Abutters

From: Cambridge Board of Assessors

Parcel ID: 262-64

Location: 94 Alpine St

This is to certify that the names and addresses for the map and lot numbers stated on the attached list are correct according to the most current records in the Assessor's Office. Owners listed as of January 1, 2020.

Sincerely,

Gayle Willett
Director of Assessment

| REM_ACCT_NUM | REM_PRCL_LOCN | REM_USE_CODE |
|--------------|---------------------|--------------|
| 261-140 | 89-91 ALPINE ST | 104 |
| 261-156 | 95 ALPINE ST | 199 |
| 261-156-1 | 95 ALPINE ST #1 | 102 |
| 261-156-2 | 95 ALPINE ST #2 | 102 |
| 262-49 | 98 ALPINE ST | 104 |
| 262-50 | 169-171 CHILTON ST | 199 |
| 262-50-169 | 169 CHILTON ST #169 | 102 |
| 262-50-171 | 169 CHILTON ST #171 | 102 |
| 262-51 | 161 CHILTON ST | 104 |
| 262-52 | 157 CHILTON ST | 104 |
| 262-53 | 153 CHILTON ST | 104 |
| 262-62 | 88 ALPINE ST | 104 |
| 262-63 | 90 ALPINE ST | 104 |
| 262-64 | 94 ALPINE ST | 104 |

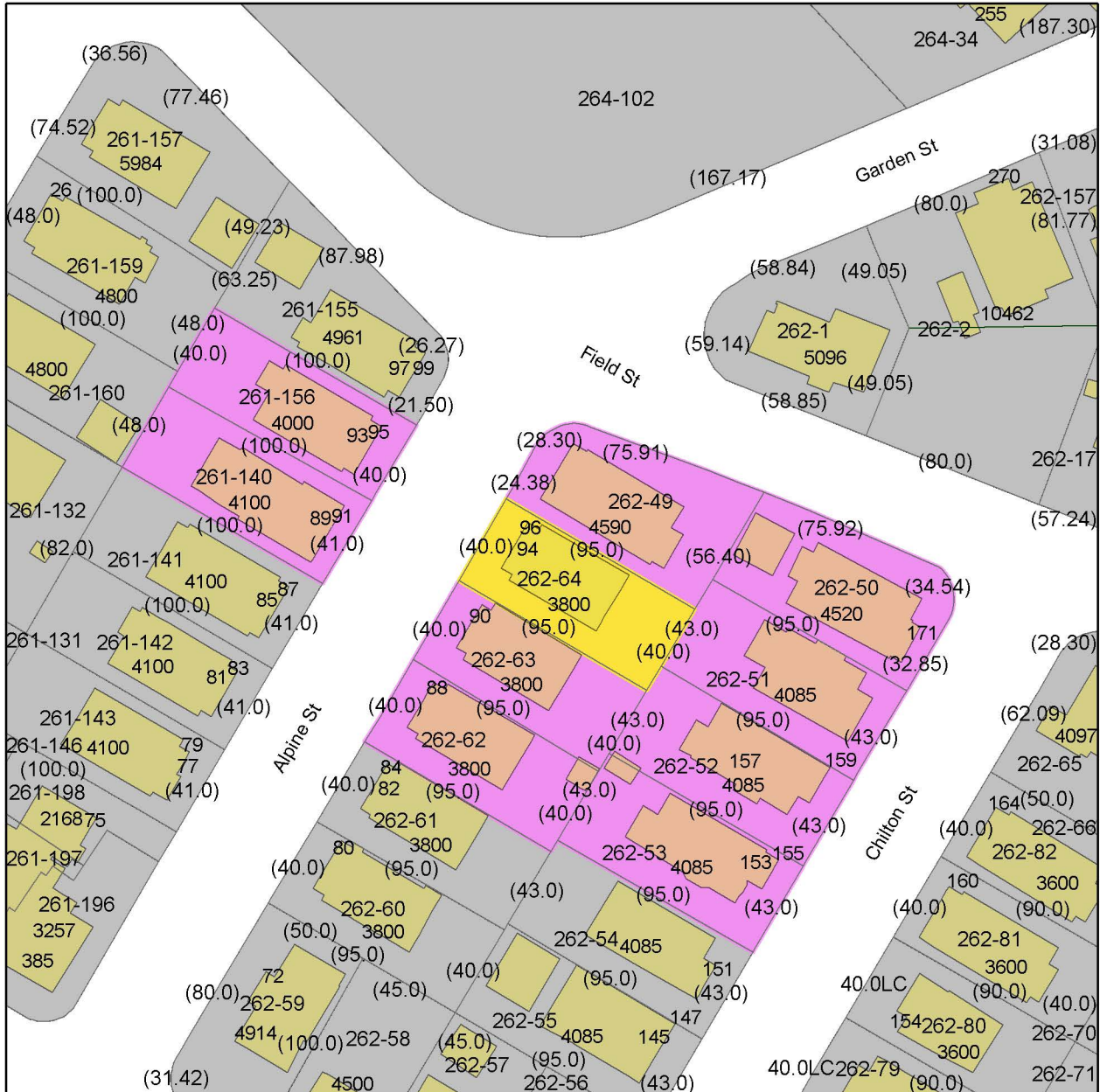
| REM_OWN_NAME |
|---|
| TERRY, WILLIAM & RUTH E. TERRY |
| CAMBRIDGE CT ASSOCIATES I LLC |
| DANNENBAUM, KARL THOMAS JAYARAM & |
| LEUNG LI, JUAN LUIS & |
| PHYSIC, CHARLES E. |
| |
| WUNDERLICH, THOMAS M. |
| WUNDERLICH, THOMAS M. |
| DOTTIN, GREGORY F. & DELORES P. DOTTIN |
| 157 CHILTON STREET LLC |
| BLAKE , TAMRA A. |
| GREENE, DONALD L. & EDNA C. GREENE, TRS |
| ALPINE REAL ESTATE LLC |
| REYBURN, ERIC N. |

| OWN_NAME1 | OWN_NAME2 |
|---|----------------------------------|
| TERRY, WILLIAM & RUTH E. TERRY | |
| CAMBRIDGE CT ASSOCIATES I LLC | |
| DANNENBAUM, KARL THOMAS JAYARAM & | KEYA HARSHEY JAYARAM DANNENBAUM. |
| LEUNG LI, JUAN LUIS | |
| PHYSIC, CHARLES E. | |
| HALL, MIRIAM P. | |
| WUNDERLICH, THOMAS M. | |
| WUNDERLICH, THOMAS M. | |
| DOTTIN, GREGORY F. & DELORES P. DOTTIN | TRS. DOTTIN REALTY TRUST |
| 157 CHILTON STREET LLC | |
| BLAKE , TAMRA A. | |
| GREENE, DONALD L. & EDNA C. GREENE, TRS | THE GREENE REALTY TRUST |
| ALPINE REAL ESTATE LLC | |
| | |

| MAD_MAIL_ADDR1 | MAD_MAIL_ADDR2 | MAD_MAIL_ADDR3 |
|-------------------------|-----------------|----------------|
| 91 ALPINE ST | | |
| 90 SPENCER AVE | | |
| 95 ALPINE ST. UNIT 1 | | |
| 95 ALPINE ST #2 | | |
| C/O CJL MANAGEMENT | 50 GREER STREET | |
| | | |
| 169 CHILTON ST. | | |
| 169 CHILTON ST., # 171 | | |
| 163 CHILTON ST | | |
| 134 MAIN ST UNIT #7 | | |
| 10 WOODS ROAD | | |
| 88 ALPINE ST. | | |
| 32 AMBERWOOD DR | | |
| C/O CMSBRC HOLDINGS LLC | | 2 WORCESTER ST |

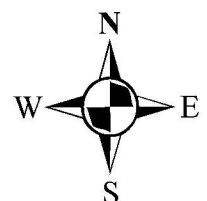
| MAD_MAIL_CITY | MAD_MAIL_STATE | MAD_MAIL_ZIP |
|---------------|----------------|--------------|
| CAMBRIDGE | MA | 02138-1224 |
| CHELSEA | MA | 02150 |
| CAMBRIDGE | MA | 02138 |
| CAMBRIDGE | MA | 02138 |
| WALTHAM | MA | 02452 |
| | | |
| CAMBRIDGE | MA | 02138 |
| CAMBRIDGE | MA | 02138 |
| CAMBRIDGE | MA | 02138-1226 |
| STONEHAM | MA | 02180 |
| BELMONT | MA | 02478 |
| CAMBRIDGE | MA | 02138-1225 |
| WINCHESTER | MA | 01890 |
| CAMBRIDGE | MA | 02139 |

MAP TITLE



Cambridge, MA Assessing Department

Gayle Willett, Director



261-140
TERRY, WILLIAM & RUTH E. TERRY
91 ALPINE ST
CAMBRIDGE, MA 02138-1224

261-156
CAMBRIDGE CT ASSOCIATES I LLC
90 SPENCER AVE
CHELSEA, MA 02150

261-156-1
DANNENBAUM, KARL THOMAS JAYARAM &
KEYA HARSHEY JAYARAM DANNENBAUM.
95 ALPINE ST. UNIT 1
CAMBRIDGE, MA 02138

261-156-2
LEUNG LI, JUAN LUIS
95 ALPINE ST #2
CAMBRIDGE, MA 02138

262-49
PHYSIC, CHARLES E.
C/O CJL MANAGEMENT
50 GREER STREET
WALTHAM, MA 02452

262-50
HALL, MIRIAM P.

262-50-169
WUNDERLICH, THOMAS M.
169 CHILTON ST.
CAMBRIDGE, MA 02138

262-50-171
WUNDERLICH, THOMAS M.
169 CHILTON ST., # 171
CAMBRIDGE, MA 02138

262-51
DOTTIN, GREGORY F. & DELORES P. DOTTIN
TRS. DOTTIN REALTY TRUST
163 CHILTON ST
CAMBRIDGE, MA 02138-1226

262-52
157 CHILTON STREET LLC
134 MAIN ST UNIT #7
STONEHAM, MA 02180

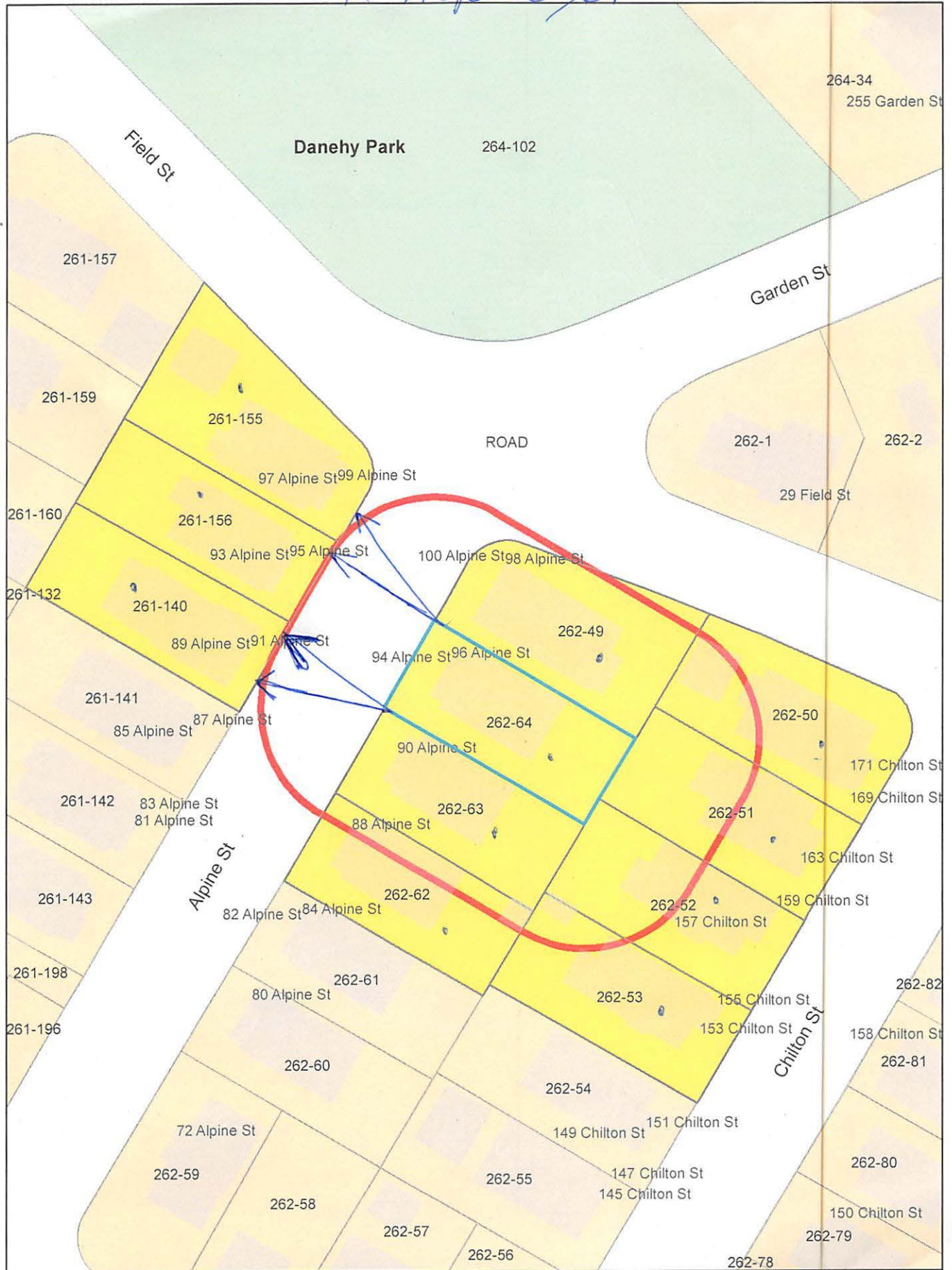
262-53
BLAKE , TAMRA A.
10 WOODS ROAD
BELMONT, MA 02478

262-62
GREENE, DONALD L. & EDNA C. GREENE, TRS
THE GREENE REALTY TRUST
88 ALPINE ST.
CAMBRIDGE, MA 02138-1225

262-63
ALPINE REAL ESTATE LLC
32 AMBERWOOD DR
WINCHESTER, MA 01890

262-64
REYBURN, ERIC N.
C/O CMSBRC HOLDINGS LLC
2 WORCESTER ST
CAMBRIDGE, MA 02139

96 Alpine St.



96 Alpine St.

261-140
TERRY, WILLIAM & RUTH E. TERRY
91 ALPINE ST
CAMBRIDGE, MA 02138-1224

261-155
KOZACHUK, DOMENNA, G
REGORY M. KOZACHUK
99 ALPINE ST
CAMBRIDGE, MA 02138

Petitioner
BLATMAN, BOBROWSKI & HAVERTY, LLC
C/O CHRISTOPHER J. ALPHEN, ESQ.
9 DAMONMILL SQ. - SUITE 4A4
CONCORD, MA 01742

262-49
PHYSIC, CHARLES E.
C/O CJL MANAGEMENT
50 GREER STREET
WALTHAM, MA 02452

262-63
ALPINE REAL ESTATE LLC
32 AMBERWOOD DR
WINCHESTER, MA 01890

262-50
WUNDERLICH, THOMAS M.
169 CHILTON ST., # 171
CAMBRIDGE, MA 02138

262-51
DOTTIN, GREGORY F. & DELORES P. DOTTIN
TRS. DOTTIN REALTY TRUST
163 CHILTON ST
CAMBRIDGE, MA 02138-1226

262-62
GREENE, DONALD L. & EDNA C. GREENE,
TRS THE GREENE REALTY TRUST
88 ALPINE ST.
CAMBRIDGE, MA 02138-1225

262-50
WUNDERLICH, THOMAS M.
169 CHILTON ST.
CAMBRIDGE, MA 02138

261-156
DANNENBAUM, KARL THOMAS JAYARAM &
KEYA HARSHEY JAYARAM DANNENBAUM.
95 ALPINE ST. UNIT 1
CAMBRIDGE, MA 02138

262-64
NG, STEVEN & PATRICIA D. NG AUDREY NG
94-96 ALPINE ST
CAMBRIDGE, MA 02138

261-156
LEUNG LI, JUAN LUIS
95 ALPINE ST UNIT 2
CAMBRIDGE, MA 02138

262-52
LIU, CHARLIE C. PATRICE ANNE LIU
159 CHILTON ST
CAMBRIDGE, MA 02138

262-53
BLAKE, TAMRA A.
10 WOODS ROAD
BELMONT, MA 02478

NG RESIDENCE

STEVE & TRISH NG

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

BZA SUBMISSION SET
11/13/2020



ARCHITECT:



© 2020 SAM KACHMAR ARCHITECTS

SAM KACHMAR
ARCHITECTS
(p)978-270-8441
kachmardesign.com
357 HURON AVE.
CAMBRIDGE MA, 02138

CLIENTS:

STEVE & TRISH NG

THE NG RESIDENCE LOCATED AT 94-96 ALPINE ST WILL INCLUDE THE RENOVATION OF THE FRONT AND REAR PORCH, THE RENOVATION OF THE 2ND FLOOR APARTMENT AND THE RAISING OF THE ROOF TO 35' BUILDING LIMIT

GENERAL CONTRACTOR:

STRUCTURAL ENGINEER:



ROOME & GUARRACINO LLC

| Permit Sheet List | | |
|-------------------|-------------------------|-------------|
| Sheet Number | Sheet Name | Designed By |
| P-000 | COVER | SKA |
| P-001 | GENERAL NOTES | SKA |
| P-002 | PLOT PLAN & AREA PLAN | SKA |
| P-003 | SITE AXON | SKA |
| P-004 | SHADOW STUDY | SKA |
| P-005 | STREET VIEW PERSPECTIVE | SKA |
| P-006 | STREET VIEW PERSPECTIVE | SKA |
| P-100 | PROPOSED LEVEL 0 | SKA |
| P-101 | PROPOSED LEVEL 1 | SKA |
| P-102 | PROPOSED LEVEL 2 | SKA |
| P-103 | PROPOSED LEVEL 3 | SKA |




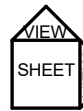
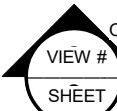

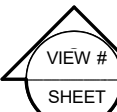


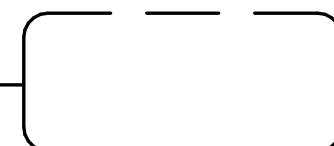








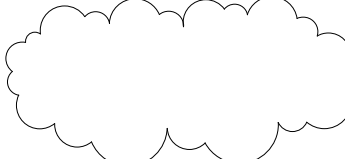


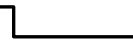


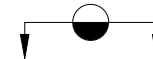
| Permit Sheet List | | |
|-------------------|----------------------|-------------|
| Sheet Number | Sheet Name | Designed By |
| P-104 | PROPOSED ROOF PLAN | SKA |
| P-200 | ELEVATION WEST | SKA |
| P-201 | ELEVATION NORTH | SKA |
| P-202 | ELEVATION EAST | SKA |
| P-203 | ELEVATION SOUTH | SKA |
| P-500 | QR CODE | SKA |
| P-501 | EXISTING | SKA |
| P-502 | EXISTING | SKA |
| P-503 | EXISTING | Designer |
| P-504 | PLOT PLAN | SKA |
| P-505 | LANDSCAPE PLAN | SKA |
| P-506 | EXISTING AERIAL VIEW | Designer |

Grand total: 23

| | |
|--------|---|
| # | NUMBER OR POUND |
| &+* | AND |
| @ | AT |
| ADJ | ADJUSTABLE |
| AFF | ABOVE FINISH FLOOR |
| ALUM | ALUMINUM |
| APPROX | APPROXIMATELY |
| ARCH | ARCHITECTURAL |
| AVB | AIR AND VAPOR BARRIER |
| BD | BOARD |
| BIT | BITUMINOUS |
| BLDG | BUILDING |
| BSMT | BASEMENT |
| BTWN | BETWEEN |
| CF | CUBIC FEET |
| CI | CUBIC INCHES |
| CJ | CONTROL JOINT |
| CL | CENTERLINE |
| CLG | CEILING |
| CLR | CLEAR OR CLEARANCE |
| CMU | CONCRETE MASONRY UNIT |
| COL | COLUMN |
| CONC | CONCRETE |
| CONT | CONTINUOUS |
| CORR | CORRIDOR, CORRUGATED |
| CTR | CENTER |
| D | DEPTH, DEEP |
| DBL | DOUBLE |
| DEMO | DEMOLISH, DEMOLITION |
| DIA | DIAMETER |
| DIM | DIMENSION |
| DN | DOWN |
| DTL | DETAIL |
| DW | DISHWASHER |
| E | EAST |
| EA | EACH |
| EJ | EXPANSION JOINT |
| EL | ELEVATION (GRADE) |
| ELEC | ELECTRICAL |
| ELEV | ELEVATION (FACADE) |
| EOS | EDGE OF SLAB |
| EQ | EQUAL, EQUIPMENT, EQUIP |
| ETR | EXISTING TO REMAIN |
| EXG | EXISTING |
| EXP | EXPOSED |
| EXT | EXTERIOR |
| FAB | FABRICATE, FABRICATION |
| FD | FLOOR DRAIN |
| FF | FINISHED FLOOR |
| FL | FLOOR |
| FOW | FACE OF WALL |
| FT | FEET, FOOT |
| GA | GAUGE |
| GALV | GALVANIZED |
| GL | GLASS, GLAZING, GLAZED |
| GWB | GYPSUM WALLBOARD, BACKING BOARD |
| GYP | GYPSUM |
| H | HIGH |
| HDWD | HARDWOOD |
| HM | HOLLOW METAL |
| HORIZ | HORIZONTAL |
| HVAC | HEATING, VENTILATING & AIR CONDITIONING |
| IN | INCH, INCHES |
| INCL | INCLUDE, INCLUDED |
| INT | INTERIOR |
| JT | JOINT |

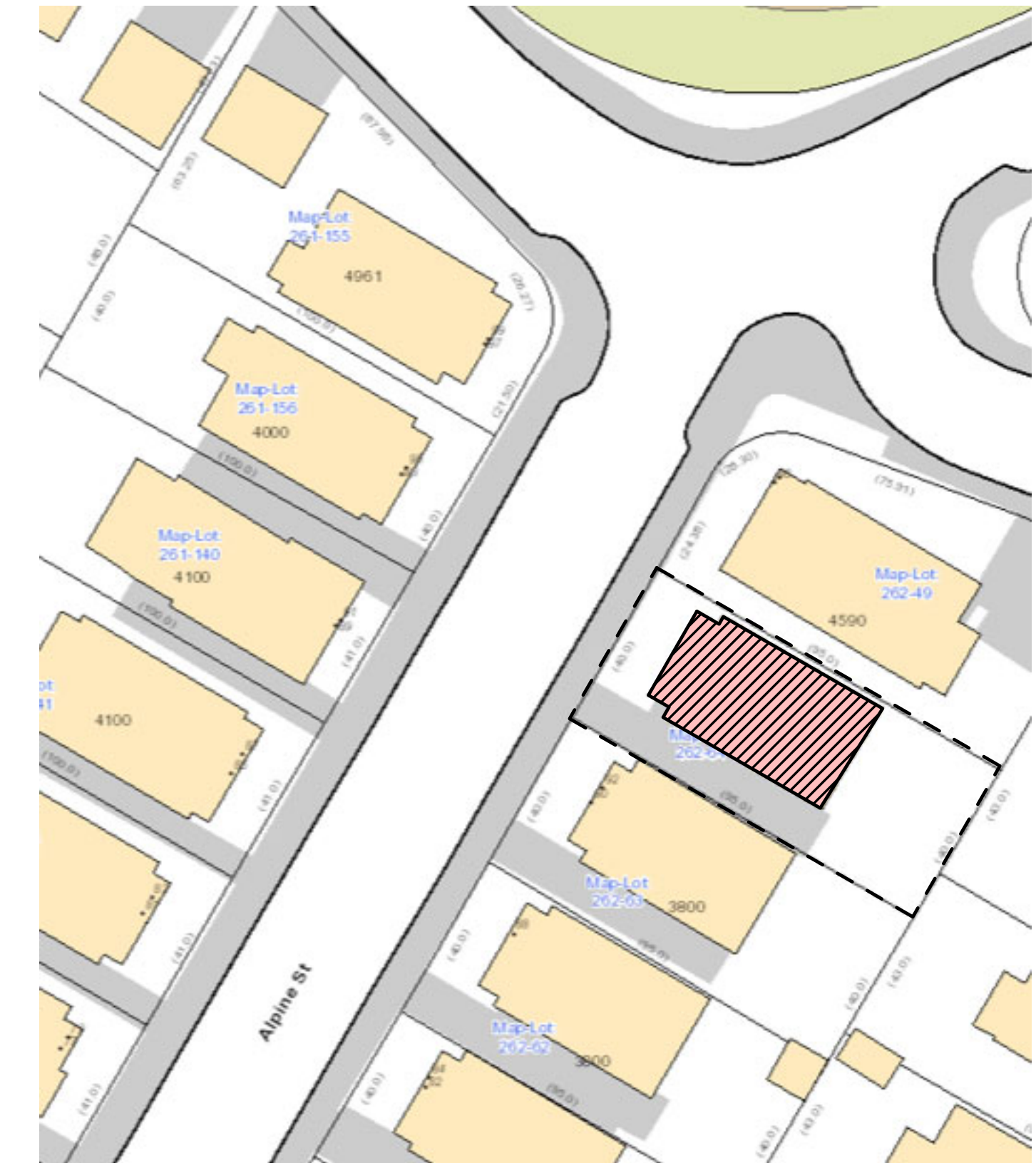
| | |
|---------|-----------------------------|
| L | LENGTH |
| LAM | LAMINATE, LAMINATED |
| LB | POUND |
| LGMF | LIGHT GAGE METAL FRAMING |
| LT | LIGHT |
| LT WT | LIGHT WEIGHT |
| MAX | MAXIMUM |
| MDF | MEDIUM DENSITY FIBER |
| MECH | MECHANICAL |
| MED | MEDIUM |
| MFR | MANUFACTURER |
| MIN | MINIMUM |
| MISC | MISCELLANEOUS |
| MTD | MOUNTED |
| MTL | METAL |
| N | NORTH |
| N/A | NOT APPLICABLE |
| NIC | NOT IN CONTRACT |
| NOM | NOMINAL |
| NTS | NOT TO SCALE |
| OC | ON CENTER |
| OD | OUTSIDE DIAMETER |
| OH | OPPOSITE HAND |
| OPP | OPPOSITE |
| OSB | ORIENTED STRANDBOARD |
| OVHD | OVERHEAD |
| OZ | OUNCE (S) |
| PATT | PATTERN (ED) |
| PERF | PERFORATED |
| PERP | PERPENDICULAR |
| PLAM | PLASTIC LAMINATE |
| PLYWD | PLYWOOD |
| PNT | PAINT, PAINTED |
| PR | PAIR |
| PREFAB | PREFABRICATE, PREFABRICATED |
| QTY | QUANTITY |
| RAD | RADIUS |
| RBR | RUBBER |
| RD | ROOF DRAIN |
| REF | REFERENCE |
| REFR | REFRIGERATE, REFRIGERATOR |
| REINF | REINFORCE, REINFORCED |
| REQ | REQUIRE |
| REV | REVISION, REVISE, REVISED |
| RM | ROOM |
| RO | ROUGH OPENING |
| S | SOUTH |
| SCHED | SCHEDULE |
| SF | SQUARE FEET |
| SI | SQUARE INCHES |
| SIM | SIMILAR |
| SPEC | SPECIFICATION |
| SQ | SQUARE |
| SS, SST | STAINLESS STEEL |
| STC | SOUND TRANSMISSION CLASS |
| STL | STEEL |
| STOR | STORAGE |
| STR | STAIR |
| T.O. | TOP OF |
| U.O. | UNDERSIDE OF |
| UON | UNLESS OTHERWISE NOTED |
| WD | WOOD |
| WT | WEIGHT |
| X | INDICATES TIMES OR BY |

| | |
|--|--|
| | EARTH |
| | CONCRETE |
| | GRAVEL |
| | SAND |
| | GYPSUM BOARD OR SHEATHING |
| | MASONRY - BRICK |
| | MASONRY - CONCRETE BLOCK |
| | WOOD - FINISH - END GRAIN |
| | WOOD - FINISH - FACE |
| | WOOD - ROUGH - BLOCKING (CONTINUOUS MEMBERS) |
| | WOOD - ROUGH - BLOCKING (INTERMEDIATE MEMBERS) |
| | INSULATION - RIGID |
| | INSULATION - BATT OR MINERAL WOOL |
| | ACOUSTIC TILE, PANEL, OR PLANK |
| | PLYWOOD |
| | CUT STONE |
| | PARTICLE BOARD OR FIBERBOARD |

| | | | |
|--|------------|---|--------------------|
| <div><div>VIEW # SCALE: 1/16" = 1'-0"</div></div> | | DRAWING TITLE | |
| <div><div><div></div><div></div></div></div> | | EXTERIOR ELEVATION KEY | |
| <div><div></div></div> | | INTERIOR ELEVATION KEY | |
| <div><div></div><div></div></div> | | BUILDING SECTION MARKER | |
| <div><div></div><div></div></div> | | WALL SECTION MARKER | |
| <div><div></div><div></div></div> | | DETAIL AREA MARKER | |
| <div><div></div><div></div></div> | | DETAIL SECTION MARKER | |
| <div><div></div><div></div></div> | | GRID LINE | |
| <div><div></div><div><div>Name Elevation</div></div></div> | | VERTICAL ELEVATION KEY (ELEV) | |
| <div><div></div><div><div>0' - 0"</div><div></div></div></div> | | SPOT ELEVATION W/ TARGET (PLAN) | |
| <div><div></div></div> | | SPOT ELEVATION NO TARGET (PLAN) | |
| <div><div></div><div></div></div> | | REVISION CLOUD AND REVISION TAG | |
| <div><div>ROOM NAME</div><div>ROOM #</div></div> | ROOM TAG | <div></div> | CENTERLINE |
| <div><div>AREA NAME</div><div>AREA</div></div> | AREA TAG | <div><div>SHEET</div><div>SHEET</div><div></div></div> | MATCH LINE |
| <div><div>DOOR #</div></div> | DOOR TAG | <div><div></div><div></div></div> | HINGE SIDE OF DOOR |
| <div><div>#</div><div>TYPE</div></div> | WINDOW TAG | <div><div></div></div> | ALIGN SURFACES |
| | | <div><div>ROOM NAME</div><div>ROOM #</div><div>FLOOR</div><div>BASE</div><div>WALL</div><div>CEILING</div></div> | FINISH TAG |
| | | | |

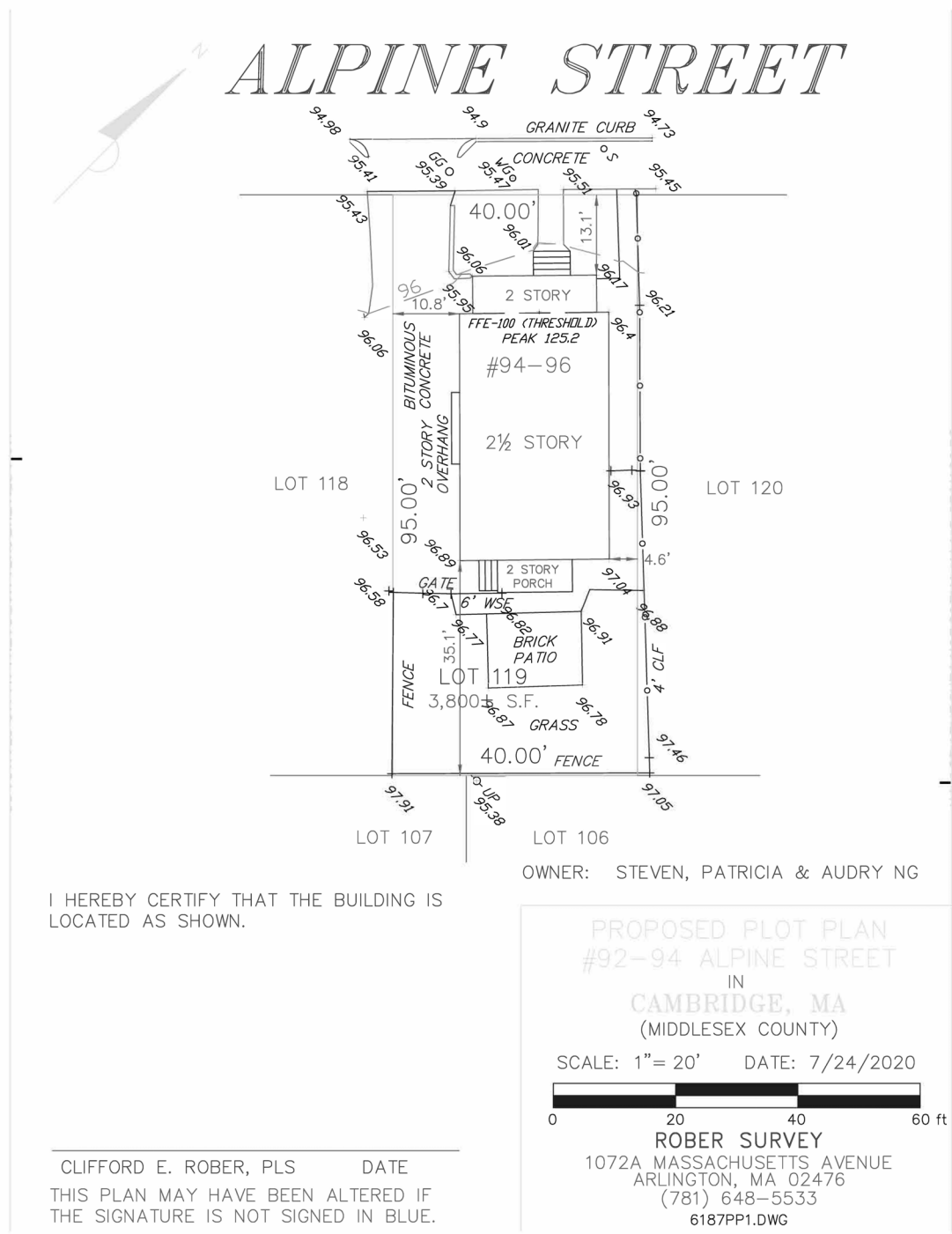
- ALL WORK SHALL BE CONSIDERED NEW, UNLESS OTHERWISE INDICATED.
- DO NOT SCALE DRAWINGS
- VERIFY DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION AND IMMEDIATELY REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- TO THE EXTENT PRACTICABLE, VERIFY DIMENSIONS AND FIELD CONDITIONS AT THE SITE PRIOR TO THE BID SUBMISSION. CONFLICTS, OMISSIONS AND DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED IN WRITING TO THE ARCHITECT, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PRIOR TO THE BID SUBMISSION. THE CONTRACTOR WARRANTS, BY TENDERING HIS BID, THAT THE WORK IS BUILDABLE AS SHOWN.
- LAYOUT ALL WORK WITHIN THE CONFINES OF EXISTING CONSTRUCTION AND RESOLVE DISCREPANCIES PRIOR TO INITIATION OF NEW WORK.
- ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION THAT IS STARTED PRIOR TO PERMIT BEING ISSUED.
- DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTION OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE HAND PLANS SECTIONS OR DETAILS, UNLESS NOTED OTHERWISE.
- TYPICAL OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONE TIME, WHEN THEY FIRST OCCUR.
- IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN PROJECT MANUAL, LARGE SCALE DRAWINGS, SMALL SCALE DRAWINGS AND DETAILS. THE CONTRACTOR SHALL NOT PROCEED WITH AFFECTED WORK UNTIL ARCHITECT PROVIDES CLARIFICATION.
- PARTITIONS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO MASONRY ARE TO ACTUAL FINISHED FACE, UNLESS OTHERWISE NOTED.
- VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMMUNICATING AND DISTRIBUTING ALL CONSTRUCTION DOCUMENT UPDATES TO ALL TRADES.
- WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE STATE, FEDERAL AND CITY/COUNTY CODES. STATE AND FEDERAL CODES ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS. IF ANY DISCREPANCY IS NOTED, IMMEDIATELY INFORM THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.
- FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT PERMITS, CONTROLLED INSPECTIONS, OTHER AGENCY APPROVALS AND PERMITS WHERE REQUIRED, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. COPIES OF TRANSACTIONS SHALL BE FORWARDED TO THE OWNER OR OWNER'S REPRESENTATIVE.
- EXECUTE INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
- WORK AREA SHALL BE MAINTAINED, CLEAN AND FREE OF DEBRIS AT ALL TIMES.
- PATCH ALL SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES.
- PATCH, REPAIR AND FINISH ALL SURFACES IN AREAS OUTSIDE OF THE EXISTING SCOPE THAT ARE DISTURBED AS A RESULT OF THE WORK.
- COORDINATE AND PROVIDE BLOCKING AND STRAPPING WITHIN PARTITIONS FOR MILLWORK AND OTHER WALL ATTACHED ITEMS.
- APPLY, INSTALL, CONNECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- GLASS 18" OR LESS FROM FLOOR LINE OR ADJACENT TO A DOOR SWING SHALL BE SAFETY GLASS AS REQUIRED BY APPLICABLE CODE(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING " SAFETY GLASS, UNLESS OTHERWISE NOTED, TO COMPLY WITH BUILDING AND LIFE SAFETY CODES, INDUSTRY STANDARDS AND OTHER APPLICABLE FEDERAL AND STATE CODES.
- FLASHING AT EXTERIOR WALLS SHALL BE INSTALLED WITH SEALED JOINTS. SEALED PENETRATIONS AND ENDS TURNED UP. IT SHALL BE FABRICATED AND INSTALLED TO ENSURE THAT MOISTURE IN WALLS WILL BE DIRECTED TO WICKS AND WEEP HOLES.
- COORDINATE ALL DIMENSIONS CONCERNING DOORS/PANELS/WINDOWS, STAIRS AND THEIR OPENINGS WITH PRODUCT MANUFACTURERS PRIOR TO FABRICATION AND CONSTRUCTION.
- PROVIDE WEATHERSTRIP AT EXTERIOR DOORS.
- PROVIDE FLASHING AND/OR SEALANT AT OPENINGS IN ROOF OR WALLS TO ENSURE A WEATHERTIGHT BUILDING.
- LOCATE THERMOSTATS ADJACENT TO SWITCH PLATES WHERE POSSIBLE. VERIFY LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION TO AVOID CONFLICTS WITH BUILT-INS OR SYSTEMS FURNITURE OR DESIGN ELEMENTS.
- ALIGN OUTLETS, WALL SWITCHES, TEL-DATA JACKS, ETC., INDICATED TO BE MOUNTED AT NEAR EQUIVALENT ELEVATIONS.
- ALL DOORS SHALL BE LOCATED 6" OFF THE ADJACENT PARTITION, OR ONE MASONRY COURSE AT CMU PARTITIONS, UNLESS NOTED OTHERWISE.
- DURING DEMOLITION AND CONSTRUCTION PROTECT ALL EXISTING FINISHES TO REMAIN.
- ALL WOOD SHALL BE FSC CERTIFIED.
- ALL WOOD FRAMING SIZES ARE BASED ON SPF-S5
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED (P.T.).
- CORRECT ALL DEFECTS FOUND IN EXISTING BUILDING WHICH INTERFERE WITH NEW CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO UNEVEN SURFACES AND FINISHES AT GWB.

- 1 P-GENERAL NOTES
1 1/2" = 1'-0"



2 P-SITE PLAN
1 1/2" = 1'-0"

2 P-MATERIALS
1 1/2" = 1'-0"



2 P-PROPERTY BOUNDARY
1 1/2" = 1'-0"

3 P-SYMBOLS
1 1/2" = 1'-0"



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REGISTRATIONS:

STRUCTURAL ENGINEER:

GENERAL NOTES

STEVE & TRISH NG

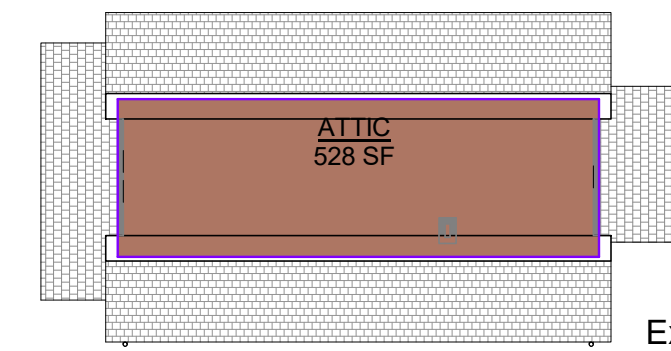
NG RESIDENCE

94-96 ALPINE ST.
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|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 11/13/2020 |
| Drawn by | Author |
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P-001

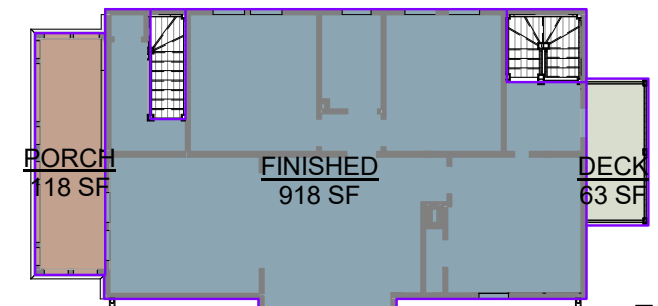
Scale 1 1/2" = 1'-0"



DECK
141 SF

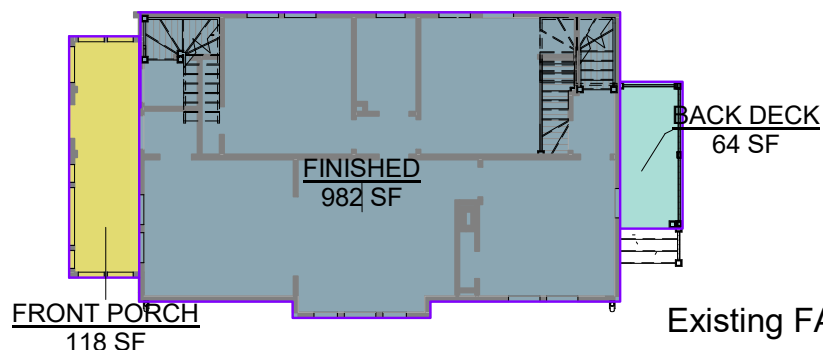
FINISHED
925 SF

⑤ P-PROPOSED LEVEL 3
1/16" = 1'-0"



Floor plan of the second floor. The main area is labeled "FINISHED 1,073 SF". A staircase is located on the left side. A deck is shown on the right side, labeled "DECK 79 SF".

⑧ P-EXISTING LEVEL 2
1/16" = 1'-0"



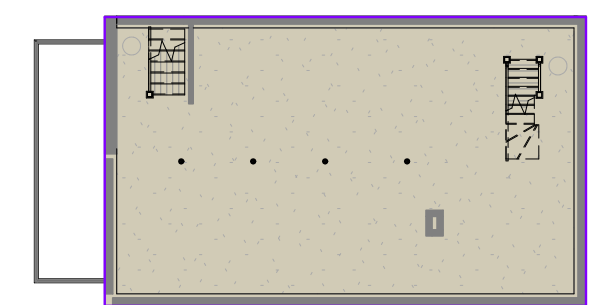
STAIRWELL
55 SF

DECK
84 SF

FINISHED
1000 SF

PORCH

⑦ P-EXISTING LEVEL 1
1/16" = 1'-0"



⑥ P-EXISTING LEVEL 0
1/16" = 1'-0"

② P-PROPOSED LEVEL 0
1/16" = 1'-0"

| | | | | |
|------------------|--------|--|---|----------|
| PROPOSED LEVEL 3 | 925 SF | | 1 | FINISHED |
| 3285 SF | | | | |

PROPOSED FAR INCREASE = .13

PROPOSED FAR INCREASE = .13

INCREASE ROOF HEIGHT= 6' - 0"



REGISTRATIONS:

STRUCTURAL ENGINEER:

PLOT PLAN & AREA PLAN

STEVE & TRISH NG

NG RESIDENCE

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P-002

| Scale | As indicated |
|-------|--------------|
|-------|--------------|

EXISTING



PROPOSED



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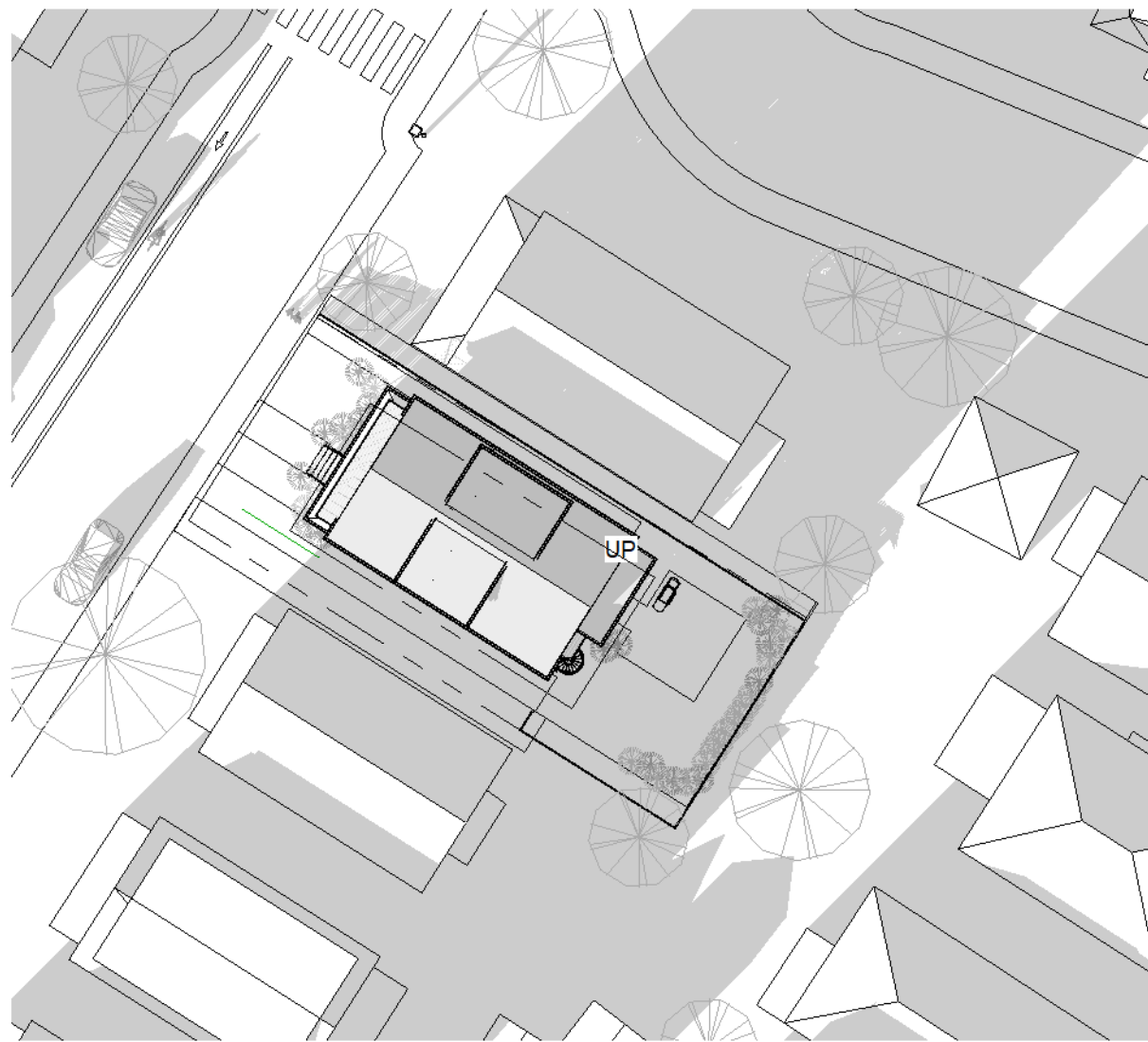
STRUCTURAL ENGINEER:

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NG RESIDENCE
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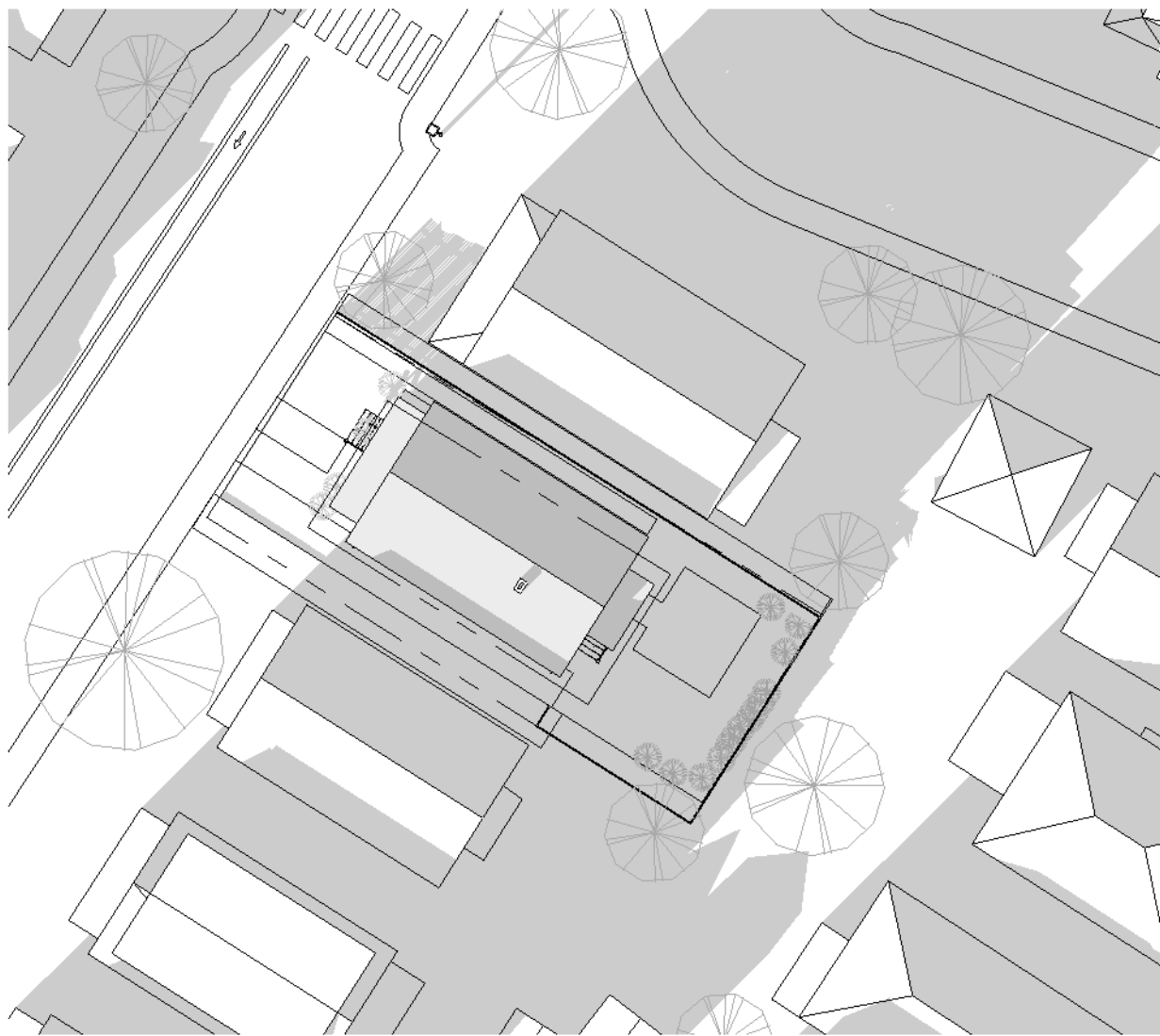
Project Status BZA SUBMISSION SET
Project number Project Number
Date 11/13/2020
Drawn by Author
Checked by Checker

P-003
Scale

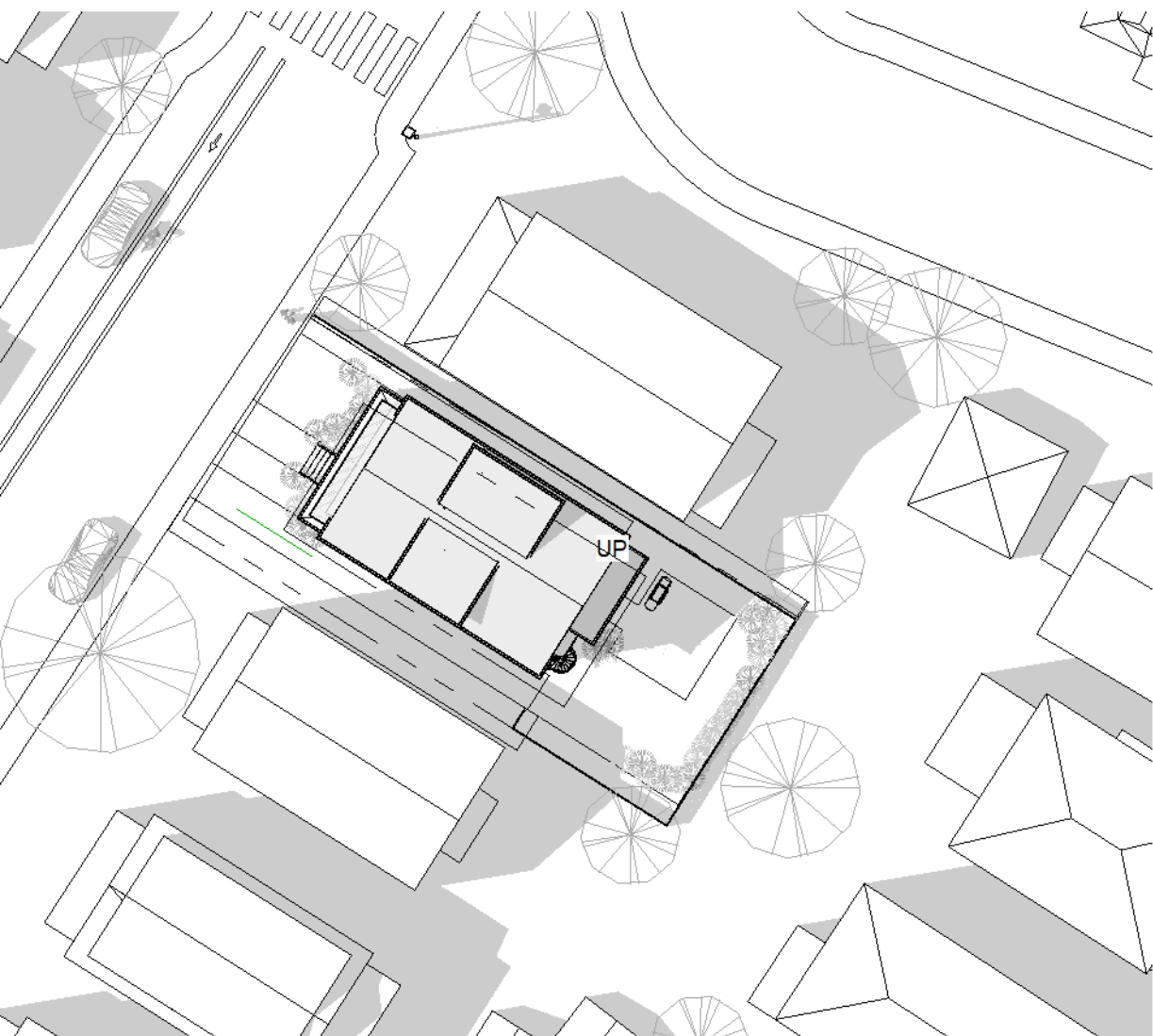
AFTERNOON - 3PM



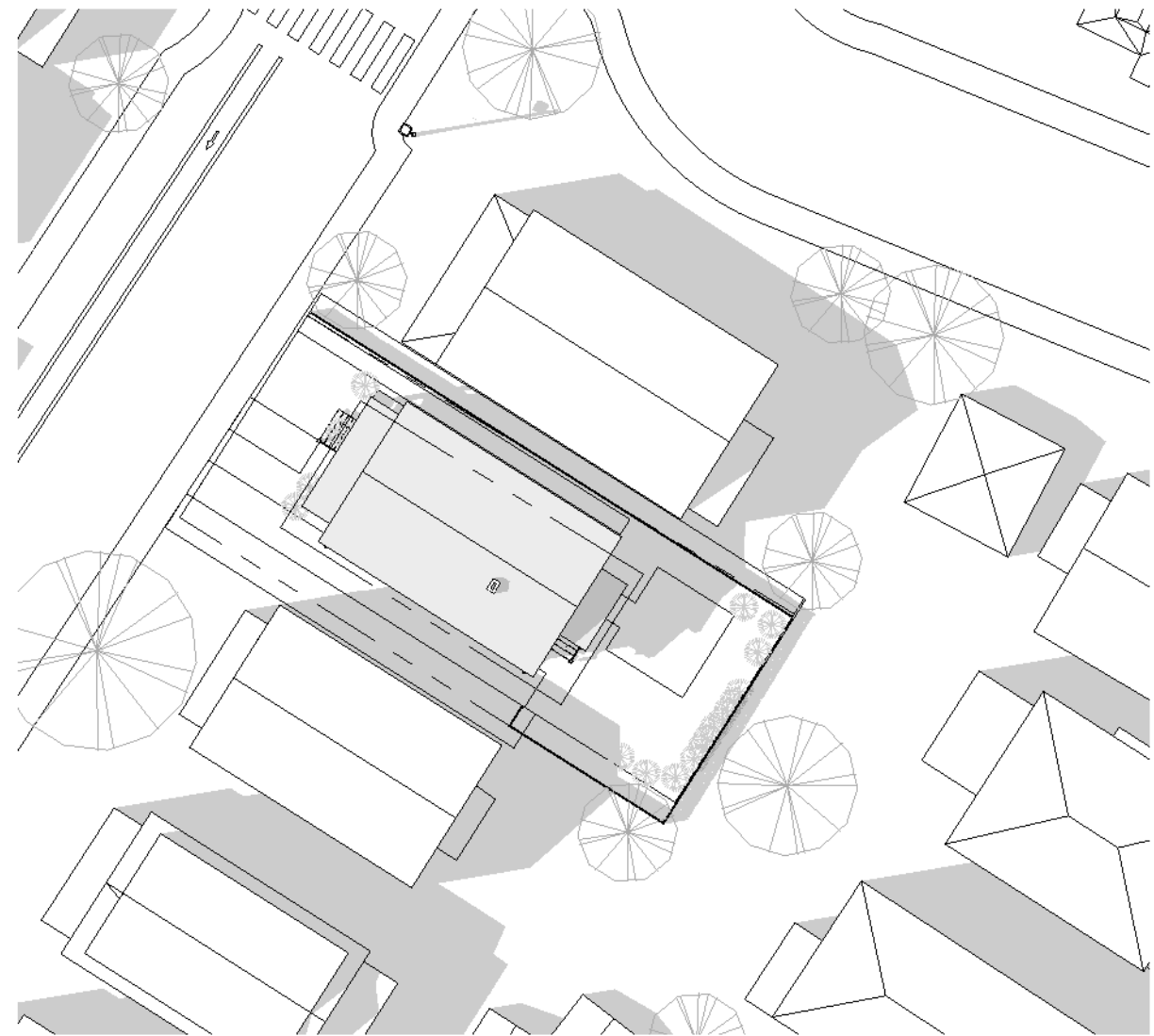
1 BZA - SITE PLAN - PROPOSED WINTER
3PM
1" = 30'-0"



5 BZA - SITE PLAN - EXISTING WINTER
3PM
1" = 30'-0"

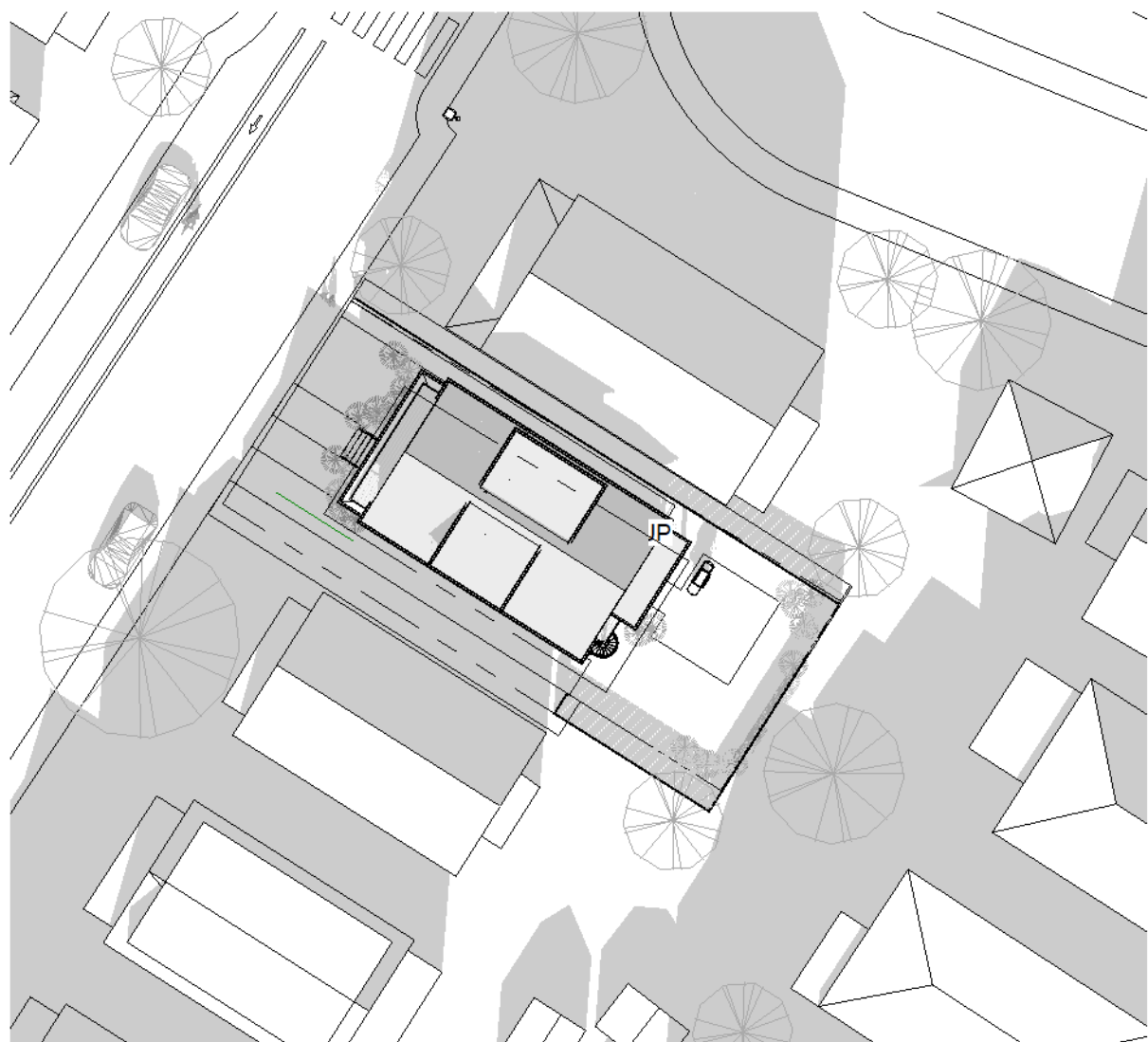


7 BZA - SITE PLAN - PROPOSED SUMMER
3PM
1" = 30'-0"



10 BZA - SITE PLAN - EXISTING SUMMER
3PM
1" = 30'-0"

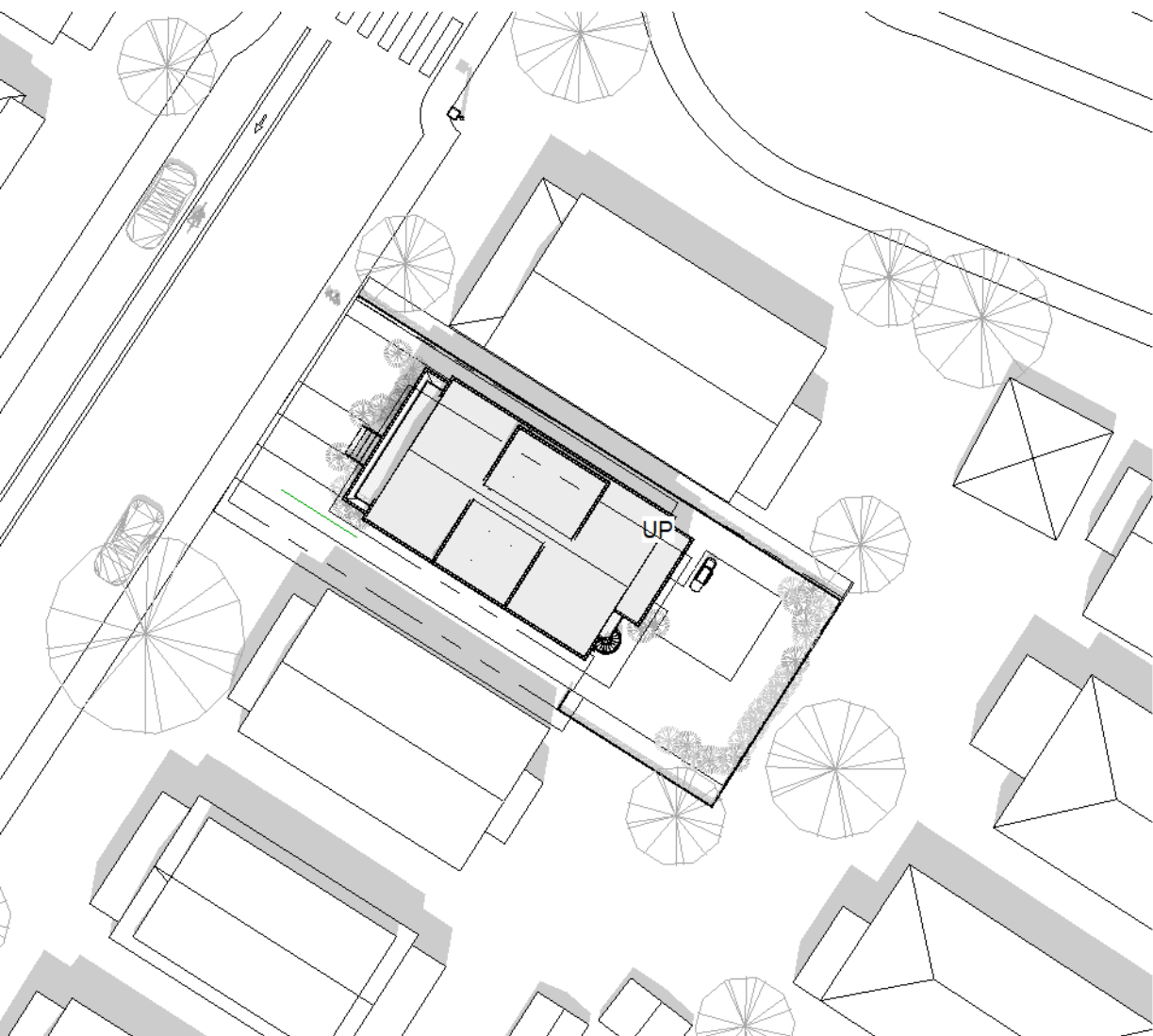
NOON - 12PM



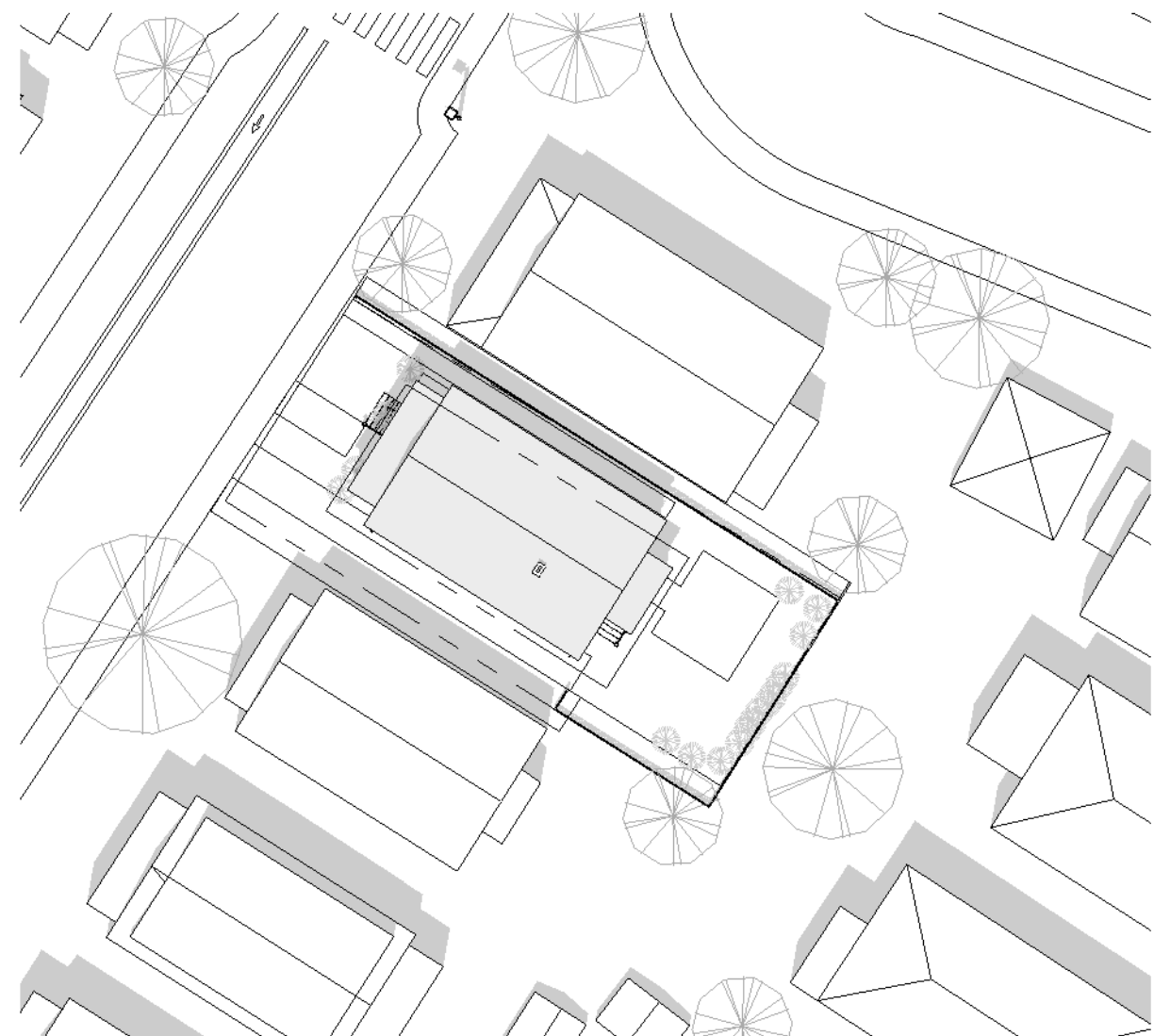
2 BZA - SITE PLAN - PROPOSED WINTER
12PM
1" = 30'-0"



4 BZA - SITE PLAN - EXISTING WINTER
12PM
1" = 30'-0"

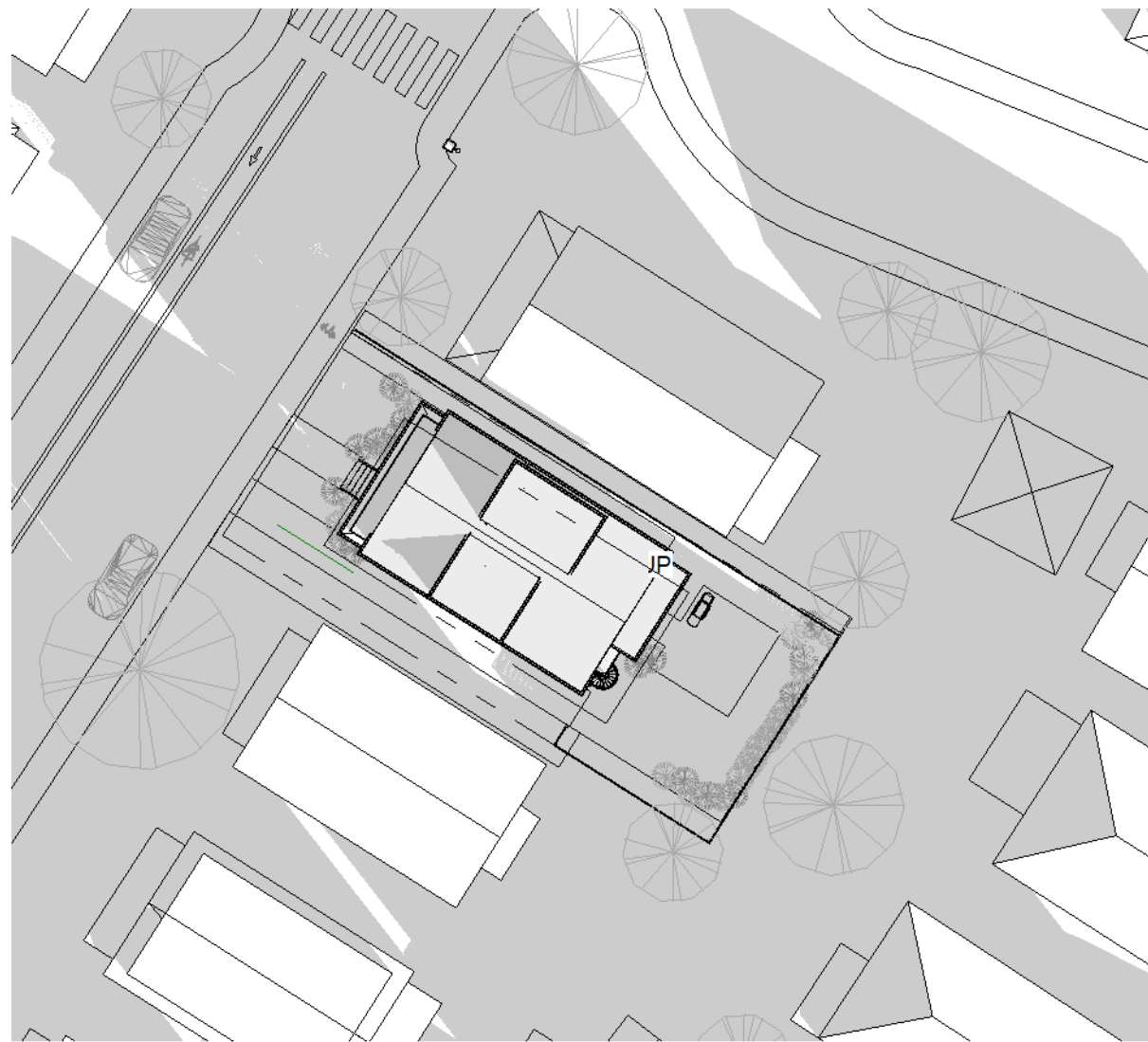


9 BZA - SITE PLAN - PROPOSED SUMMER
12PM
1" = 30'-0"

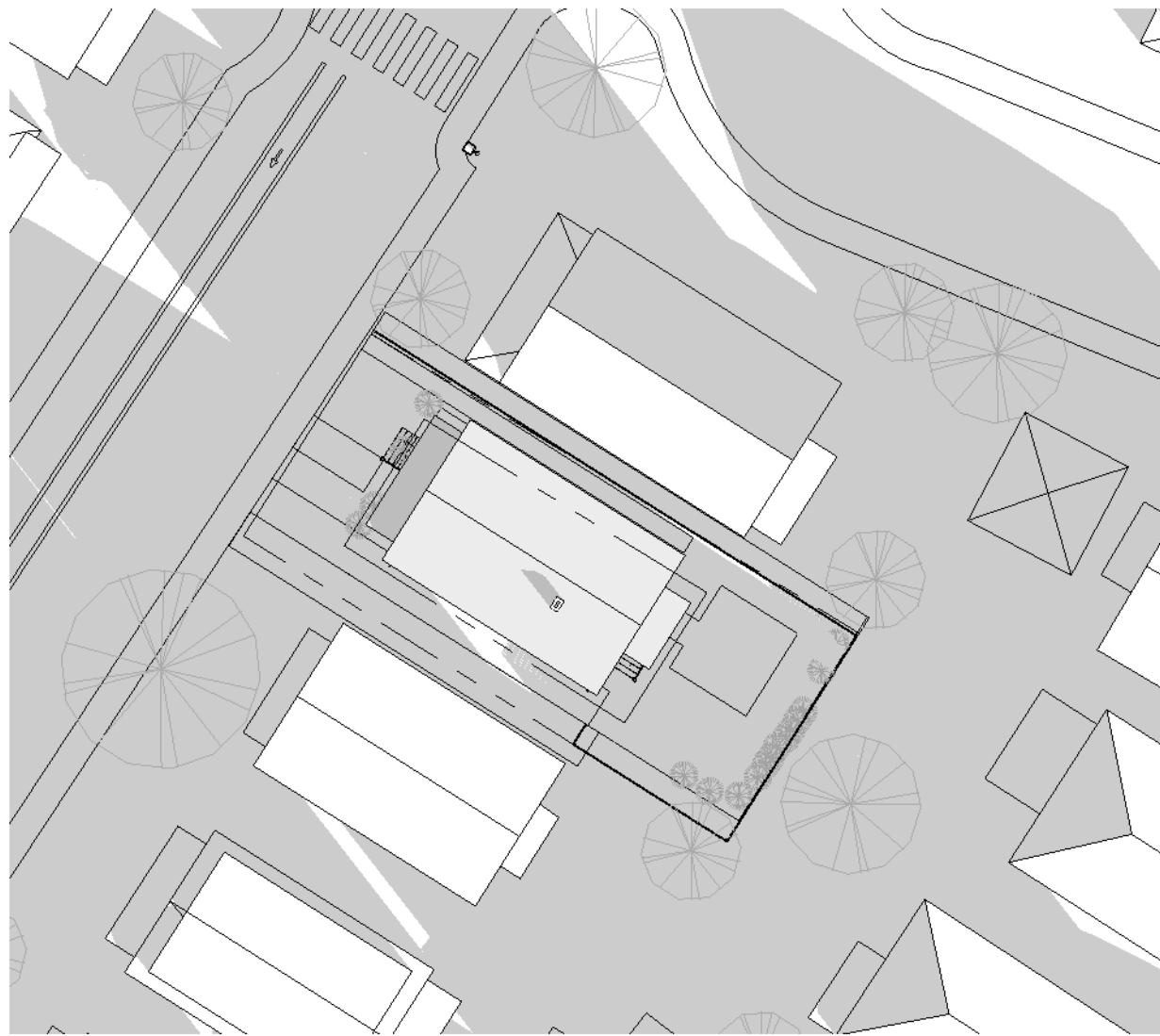


12 BZA - SITE PLAN - EXISTING SUMMER
12PM
1" = 30'-0"

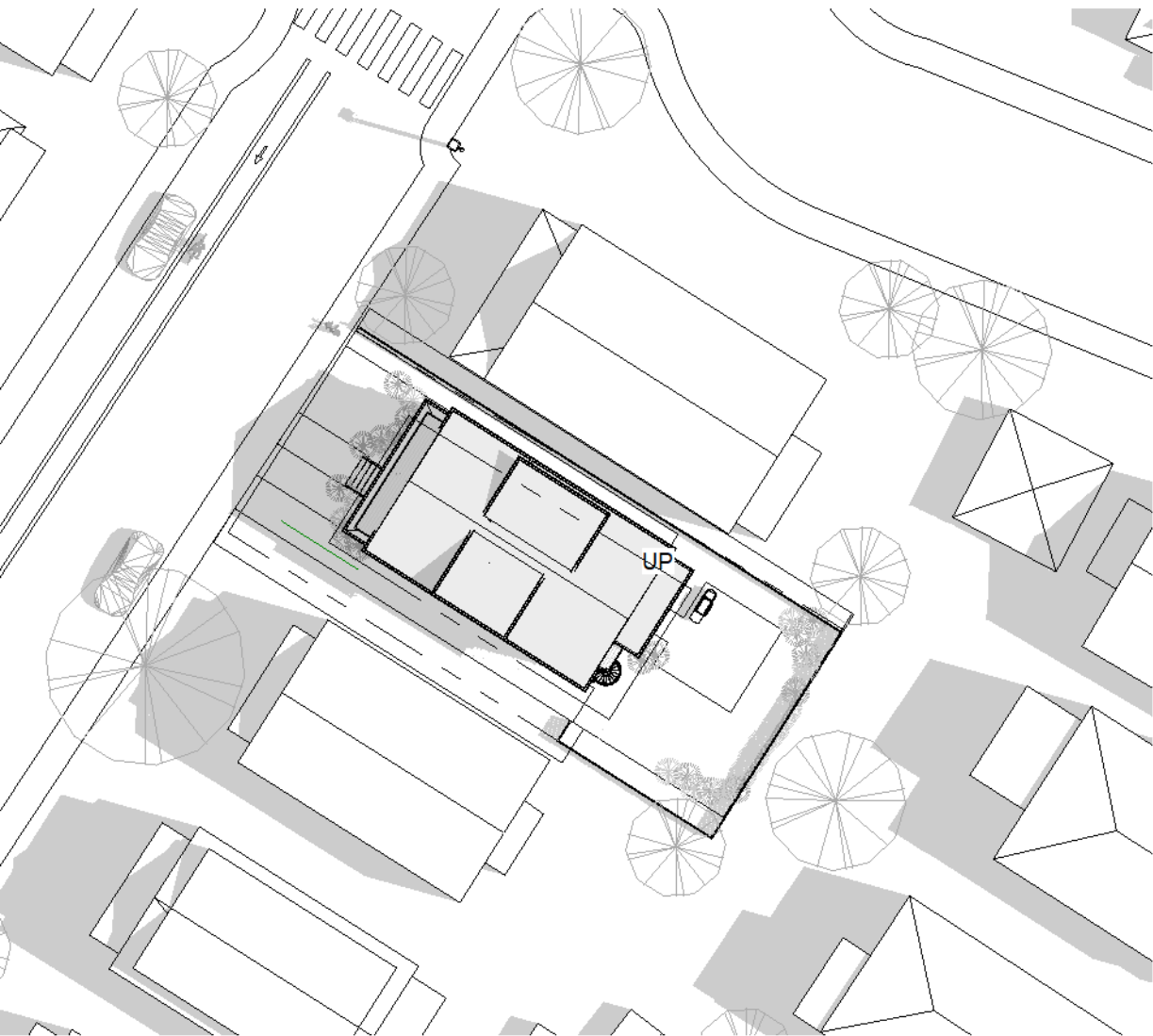
MORNING - 9AM



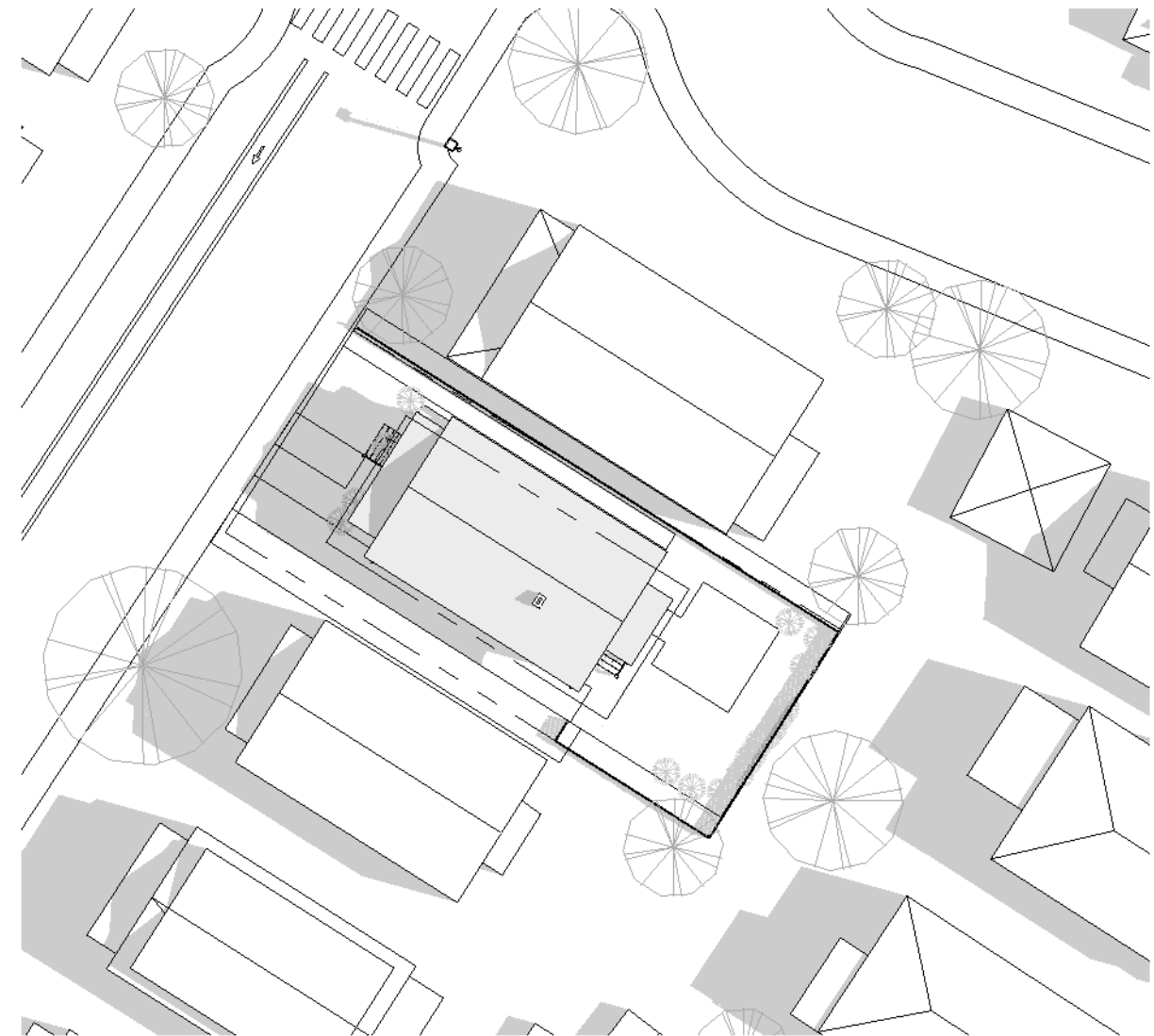
3 BZA - SITE PLAN - PROPOSED WINTER
9AM
1" = 30'-0"



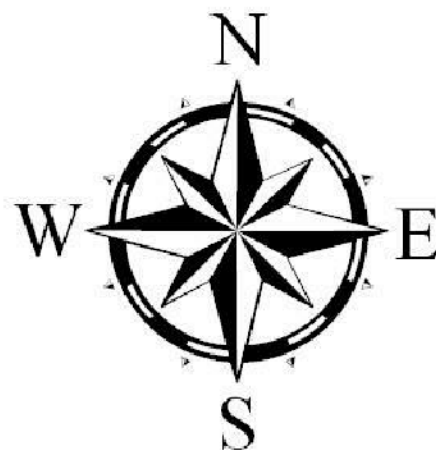
6 BZA - SITE PLAN - EXISTING WINTER
9AM
1" = 30'-0"



8 BZA - SITE PLAN - PROPOSED SUMMER
9AM
1" = 30'-0"



11 BZA - SITE PLAN - EXISTING SUMMER
9AM
1" = 30'-0"



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NG RESIDENCE

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P-004

Scale 1" = 30'-0"



EXISTING STREETSCAPE AT ALPINE ST.



PROPOSED STREETSCAPE AT ALPINE ST.



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STREET VIEW PERSPECTIVE

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NG RESIDENCE

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P-005

Scale



EXISTING STREETScape AT ALPINE ST.



PROPOSED STREETScape AT ALPINE ST.



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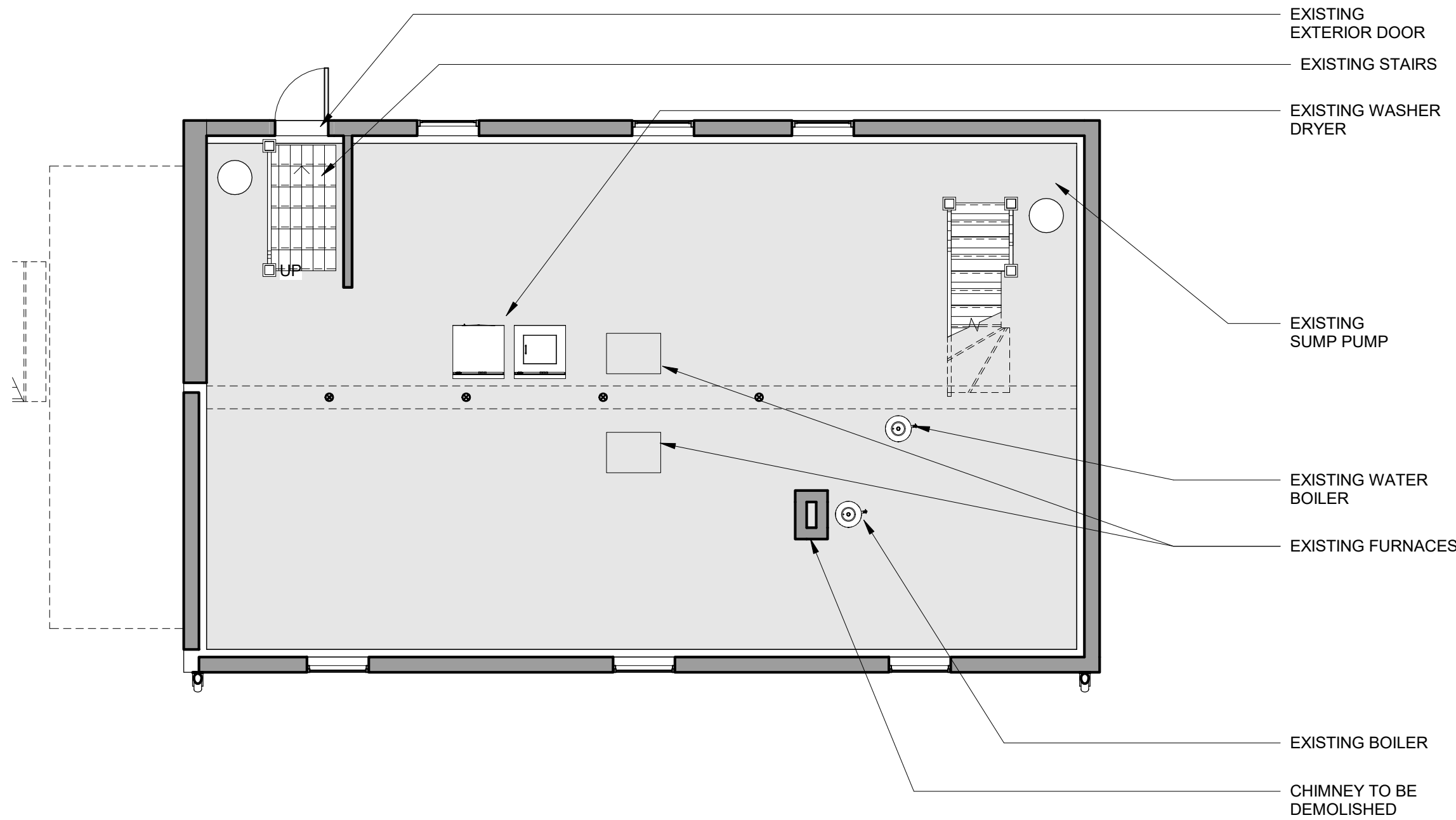
STRUCTURAL ENGINEER:

STREET VIEW PERSPECTIVE

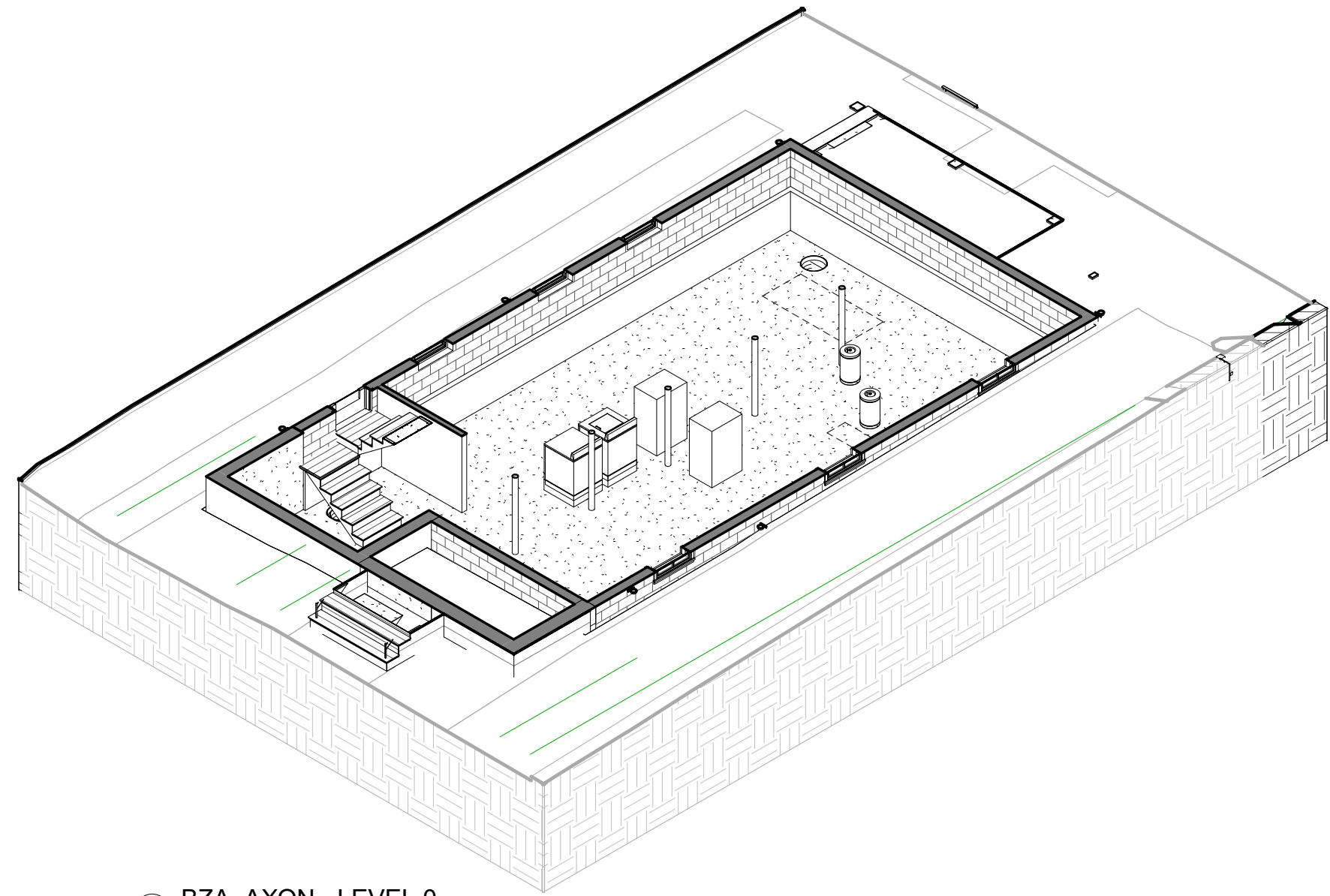
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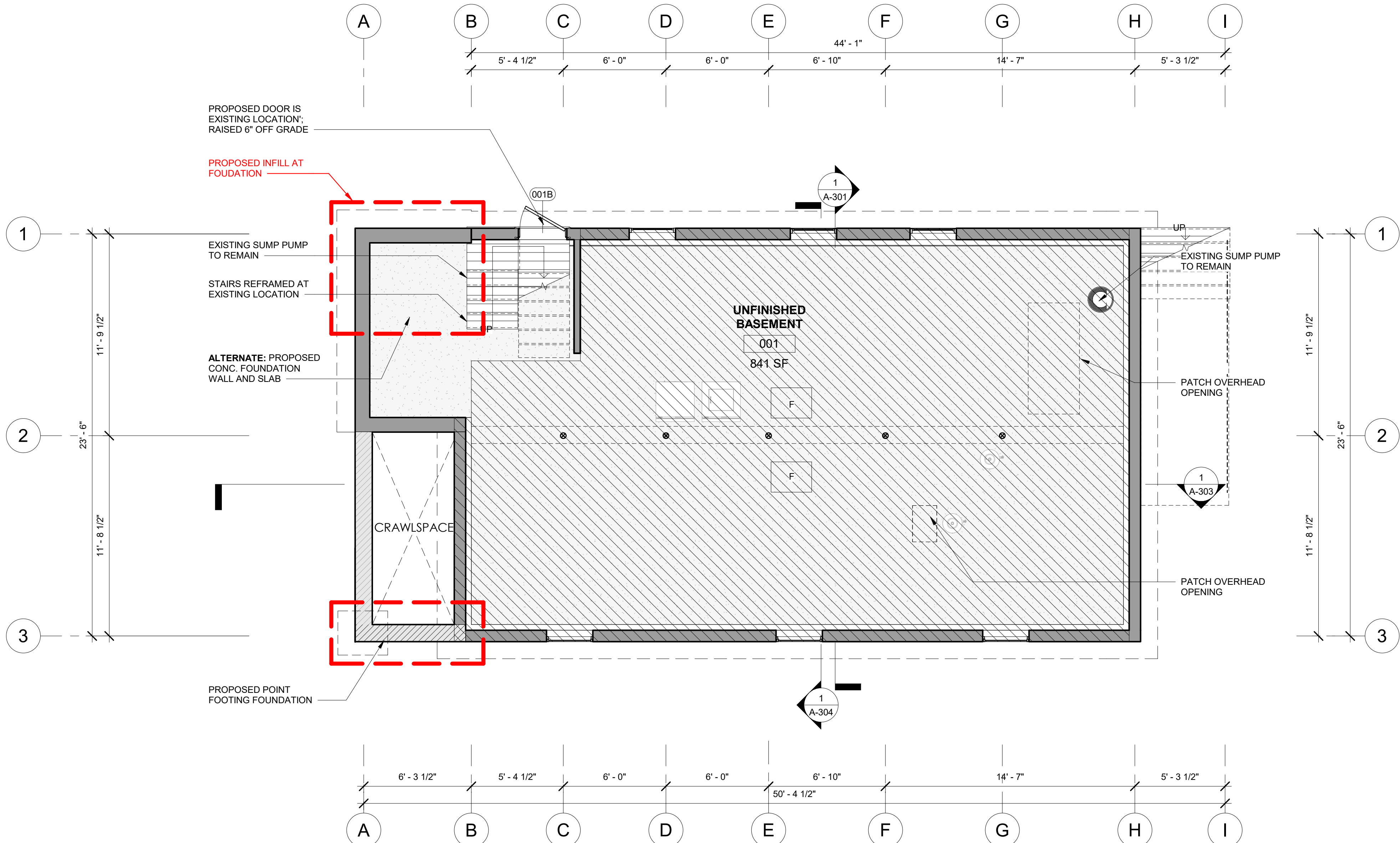
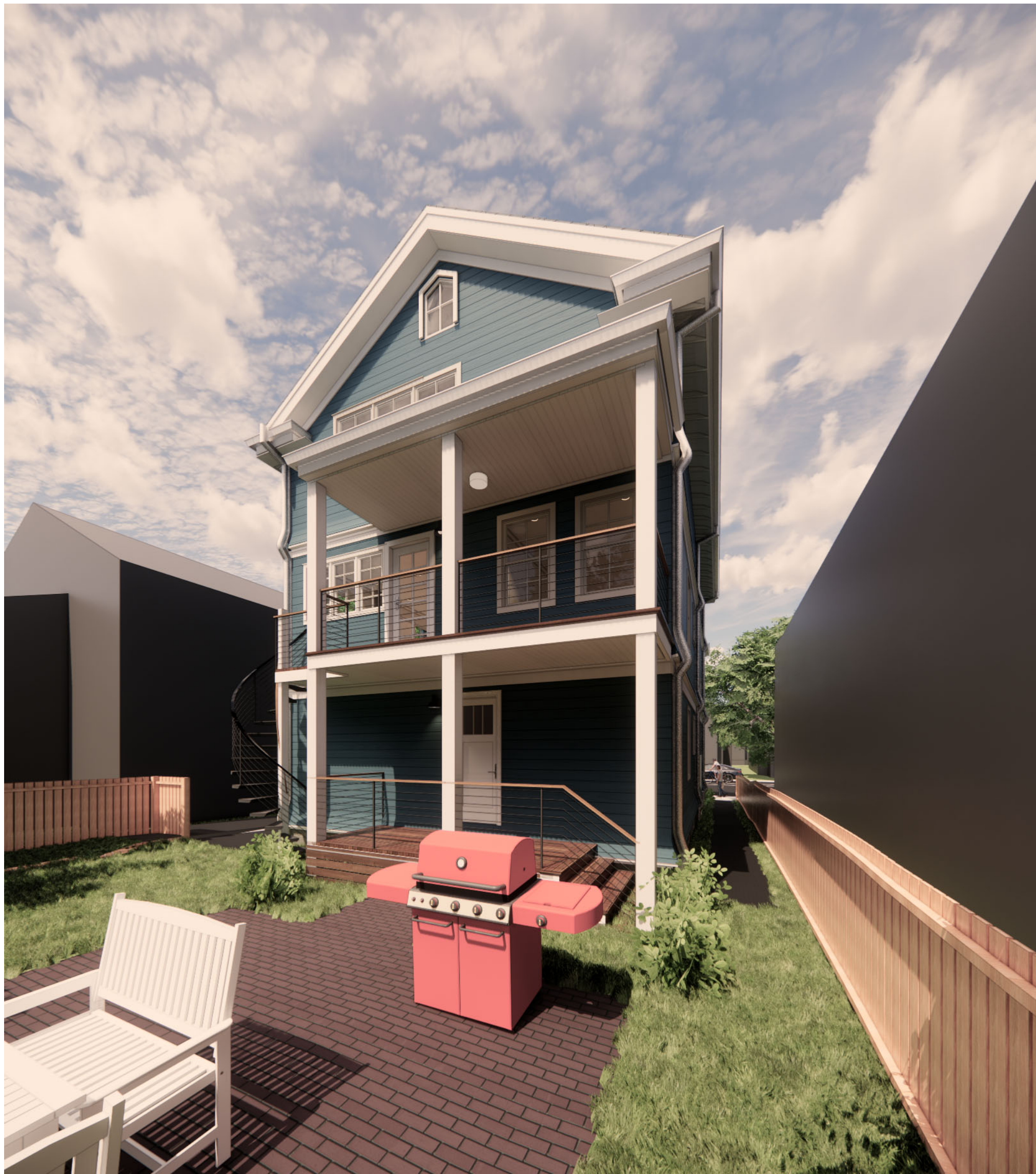
P-006
Scale



1 BZA_EXISTING LEVEL 0
3/16" = 1'-0"



3 BZA_AXON - LEVEL 0



2 BZA_PROPOSED LEVEL 0
1/4" = 1'-0"



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PROPOSED LEVEL 0

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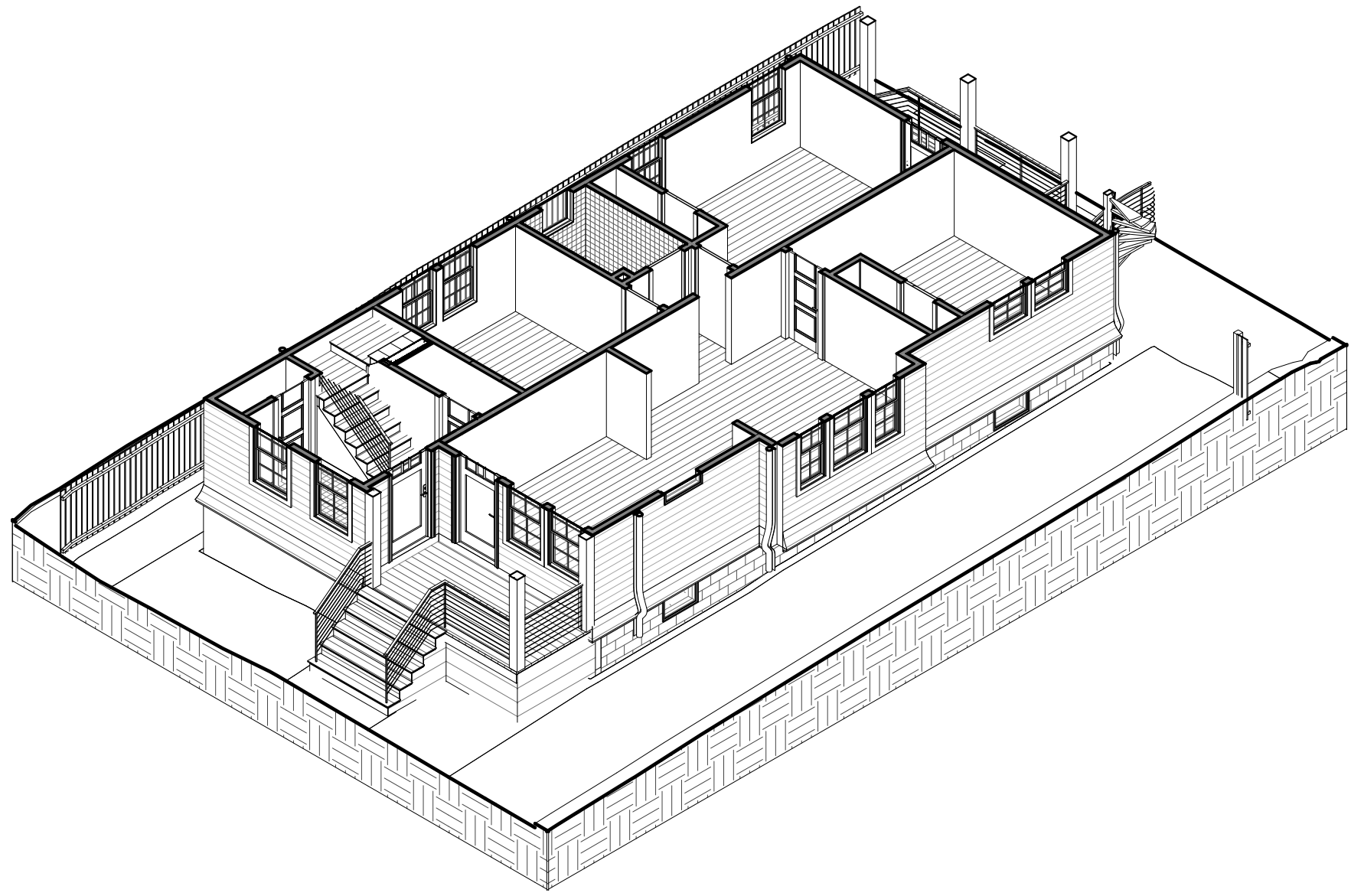
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P-100

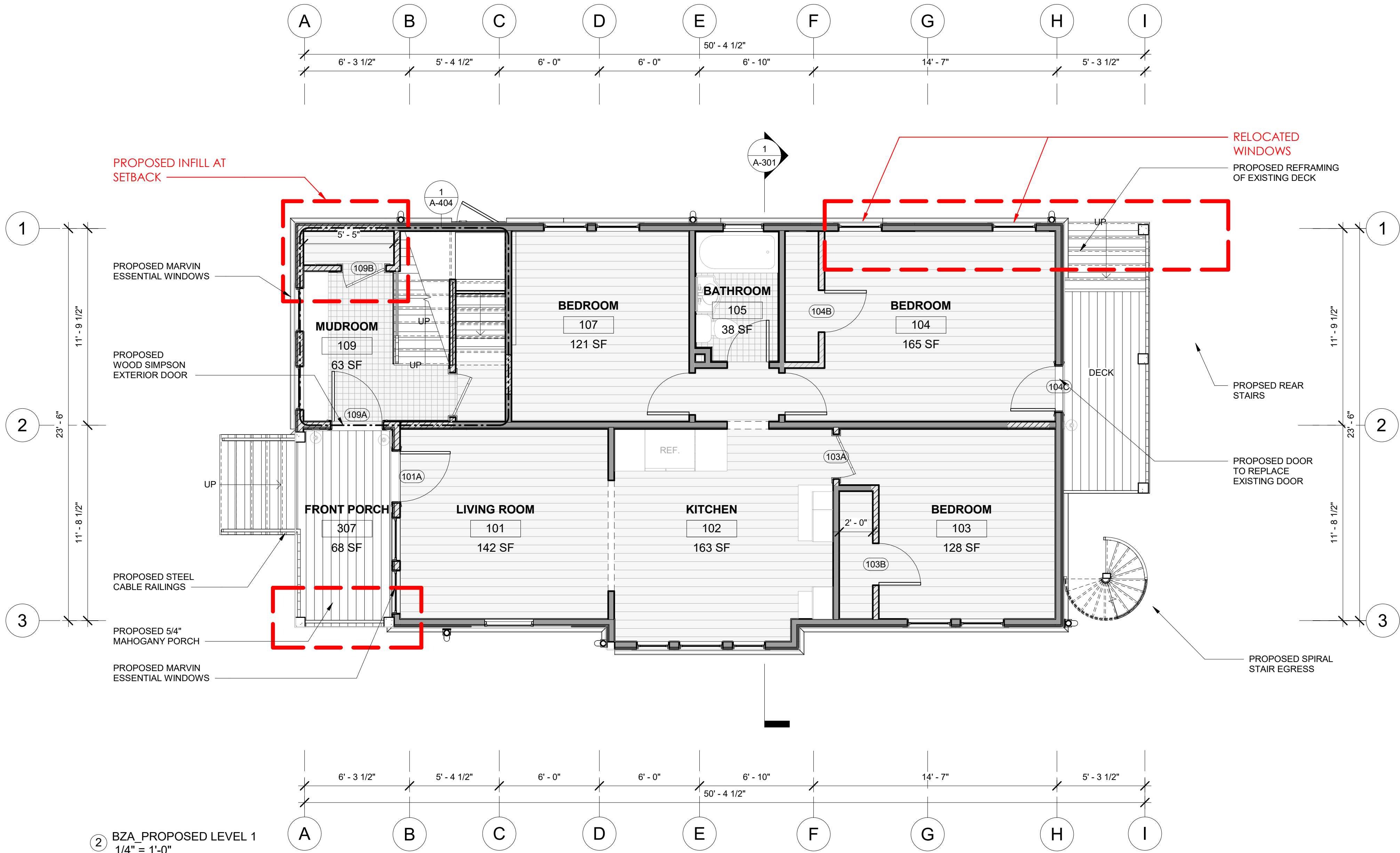
Scale As indicated



1 BZA_EXISTING LEVEL 1
3/16" = 1'-0"



3 BZA_AXON - PROPOSED LEVEL 1



2 BZA_PROPOSED LEVEL 1
1/4" = 1'-0"



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PROPOSED LEVEL 1

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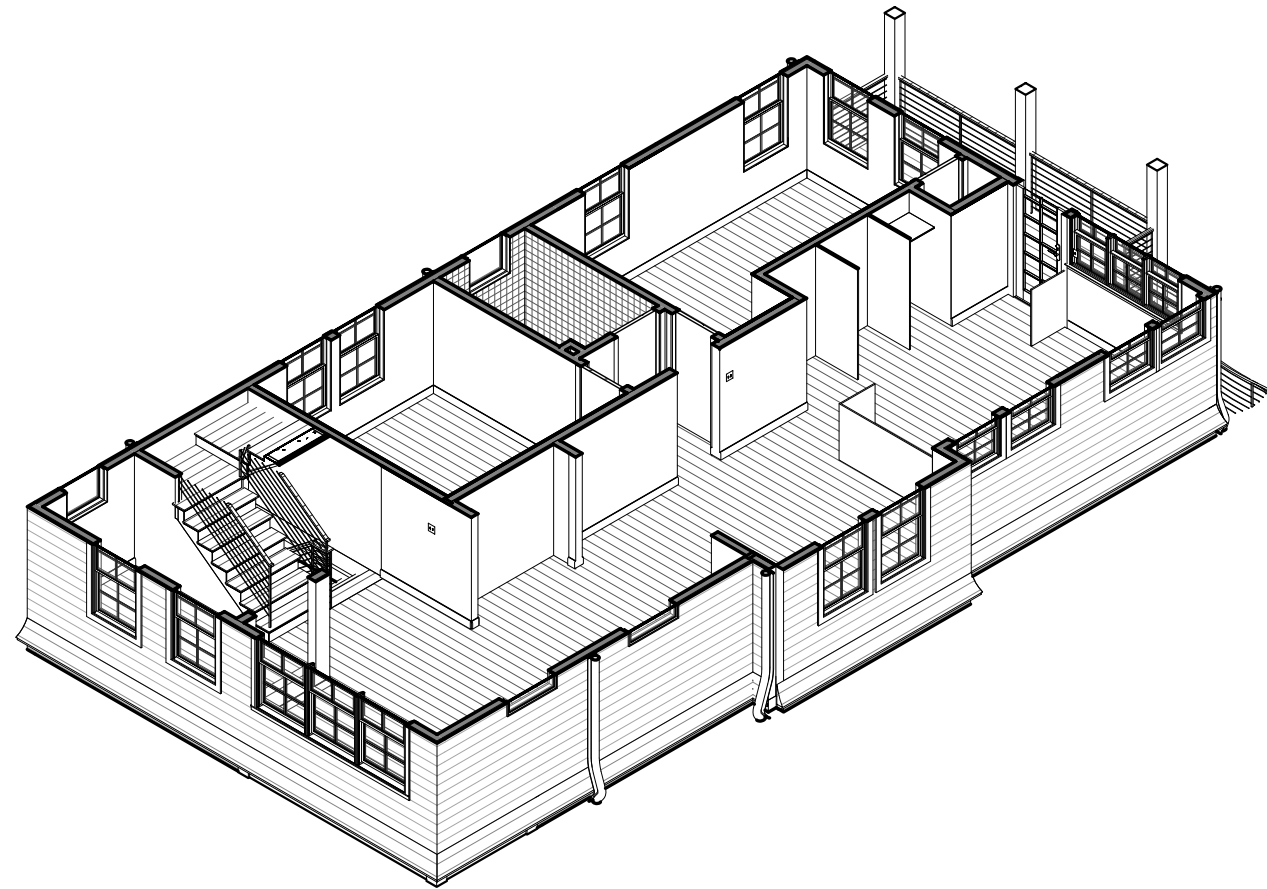
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P-101

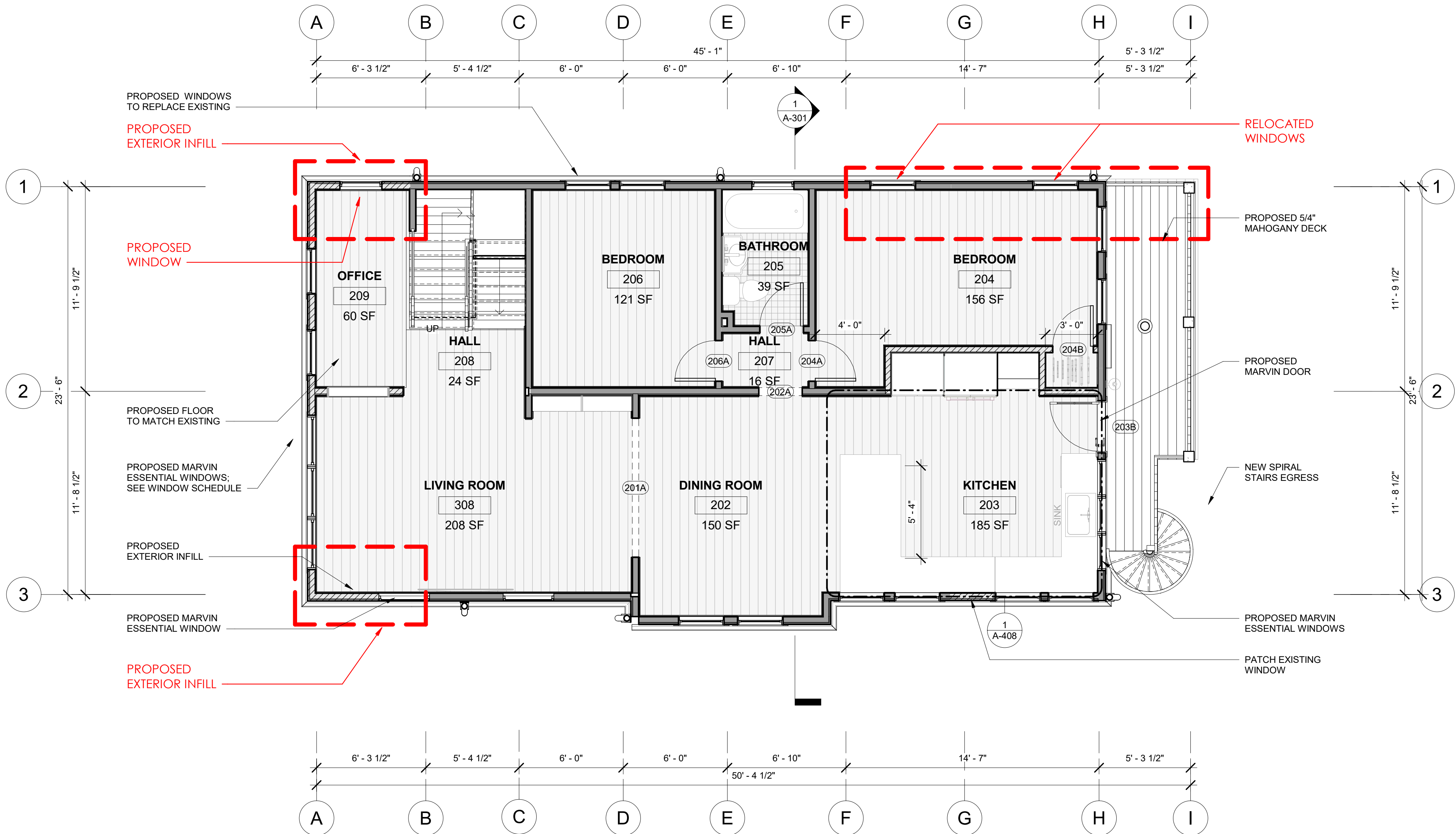
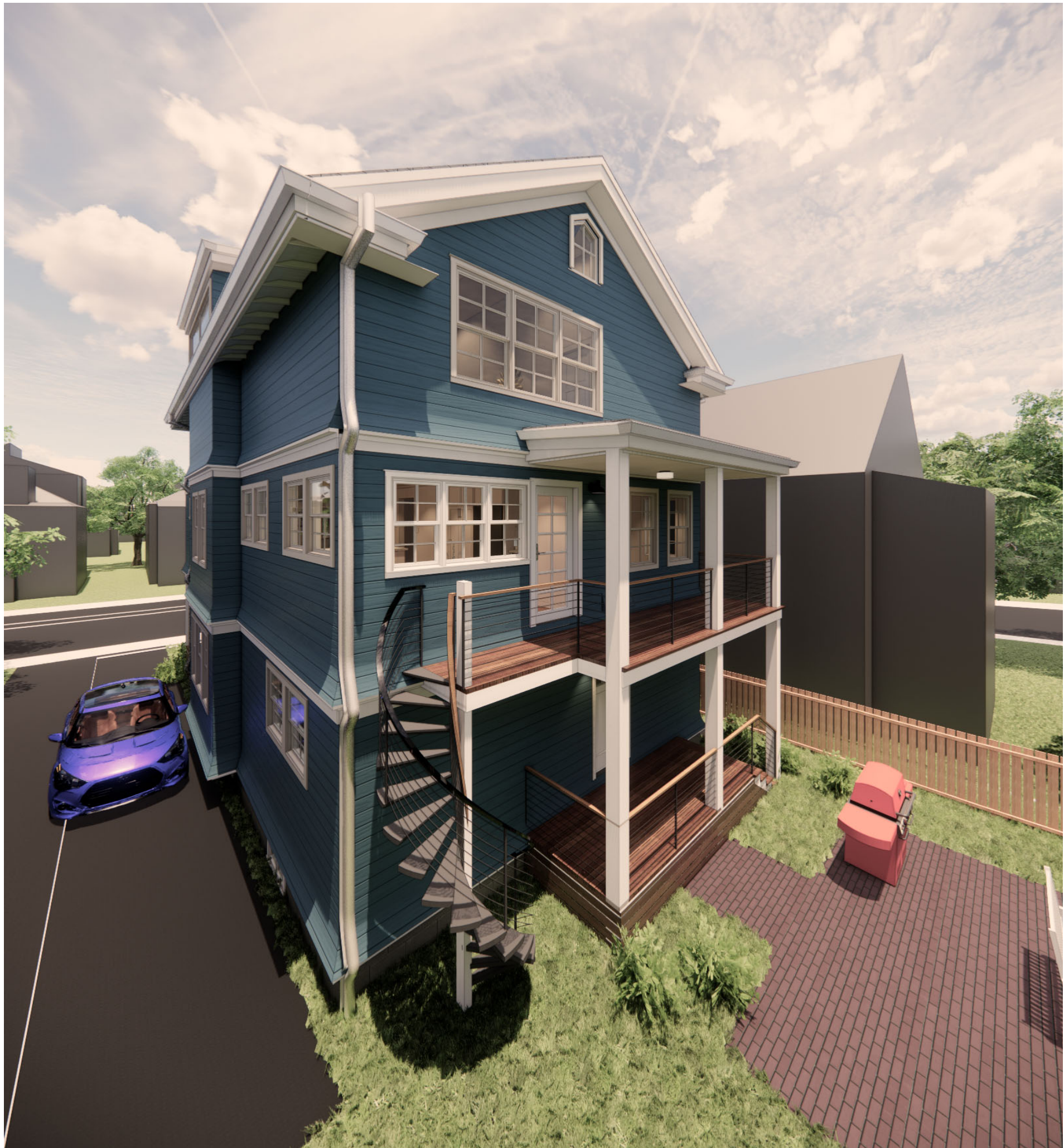
Scale As indicated



1 BZA_EXISTING LEVEL 2
3/16" = 1'-0"



3 BZA_AXON - PROPOSED LEVEL 2



2 BZA_PROPOSED LEVEL 2
1/4" = 1'-0"



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PROPOSED LEVEL 2

STEVE & TRISH NG

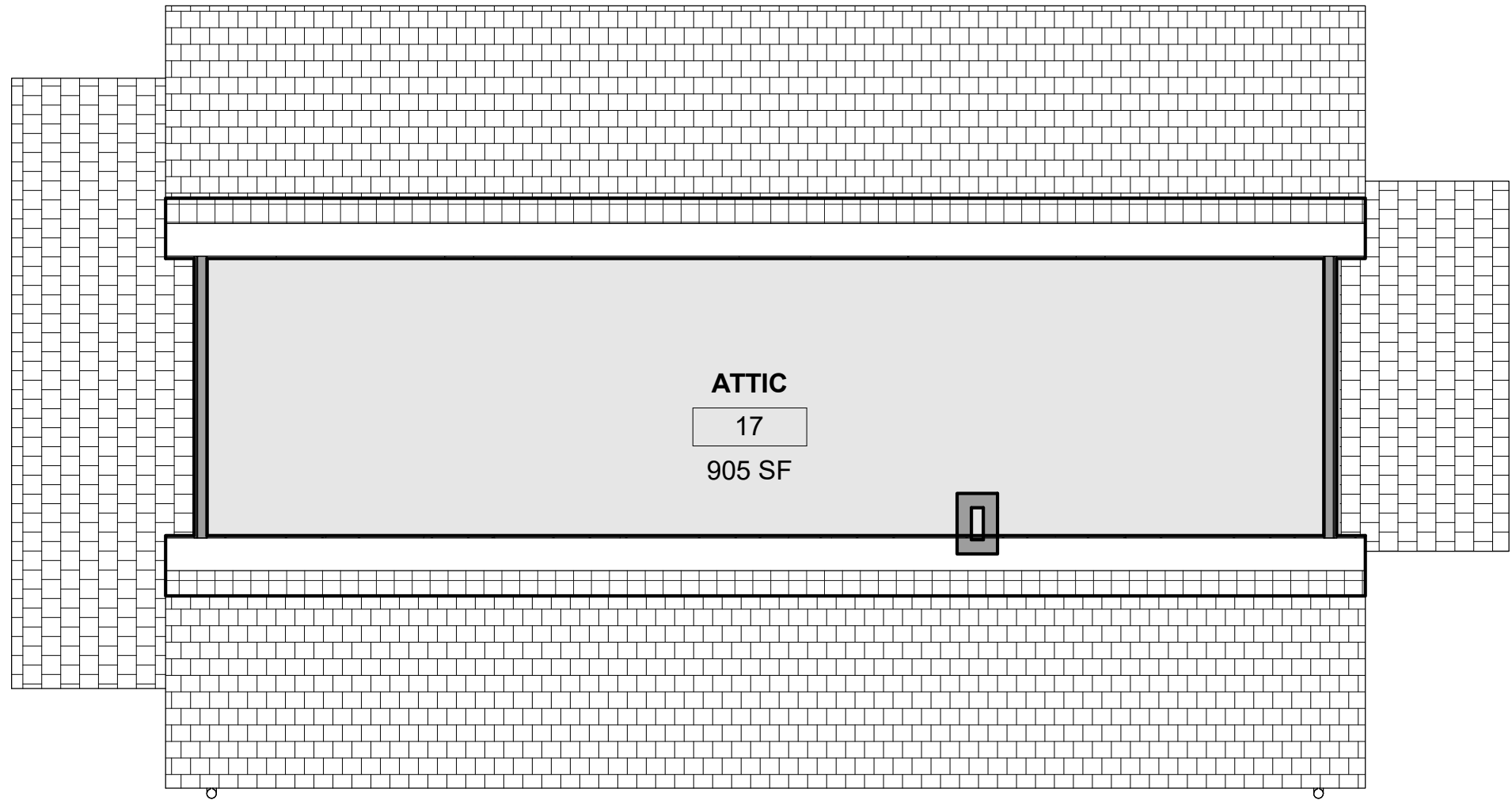
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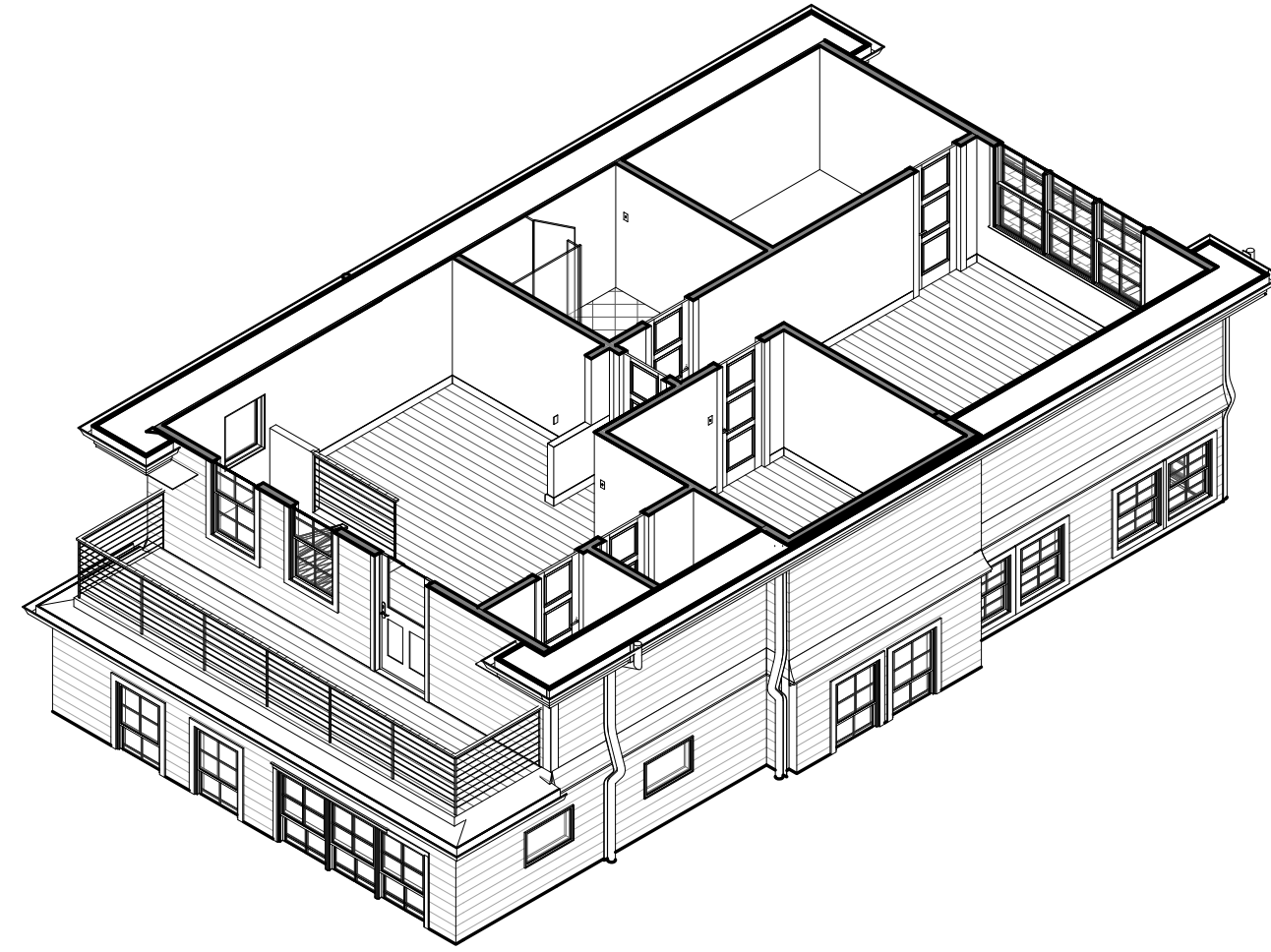
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| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
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P-102

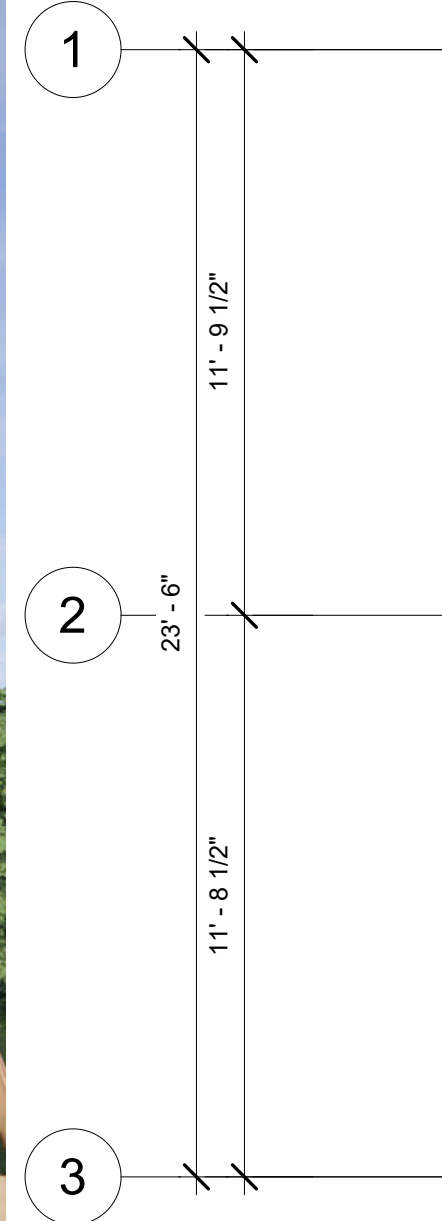
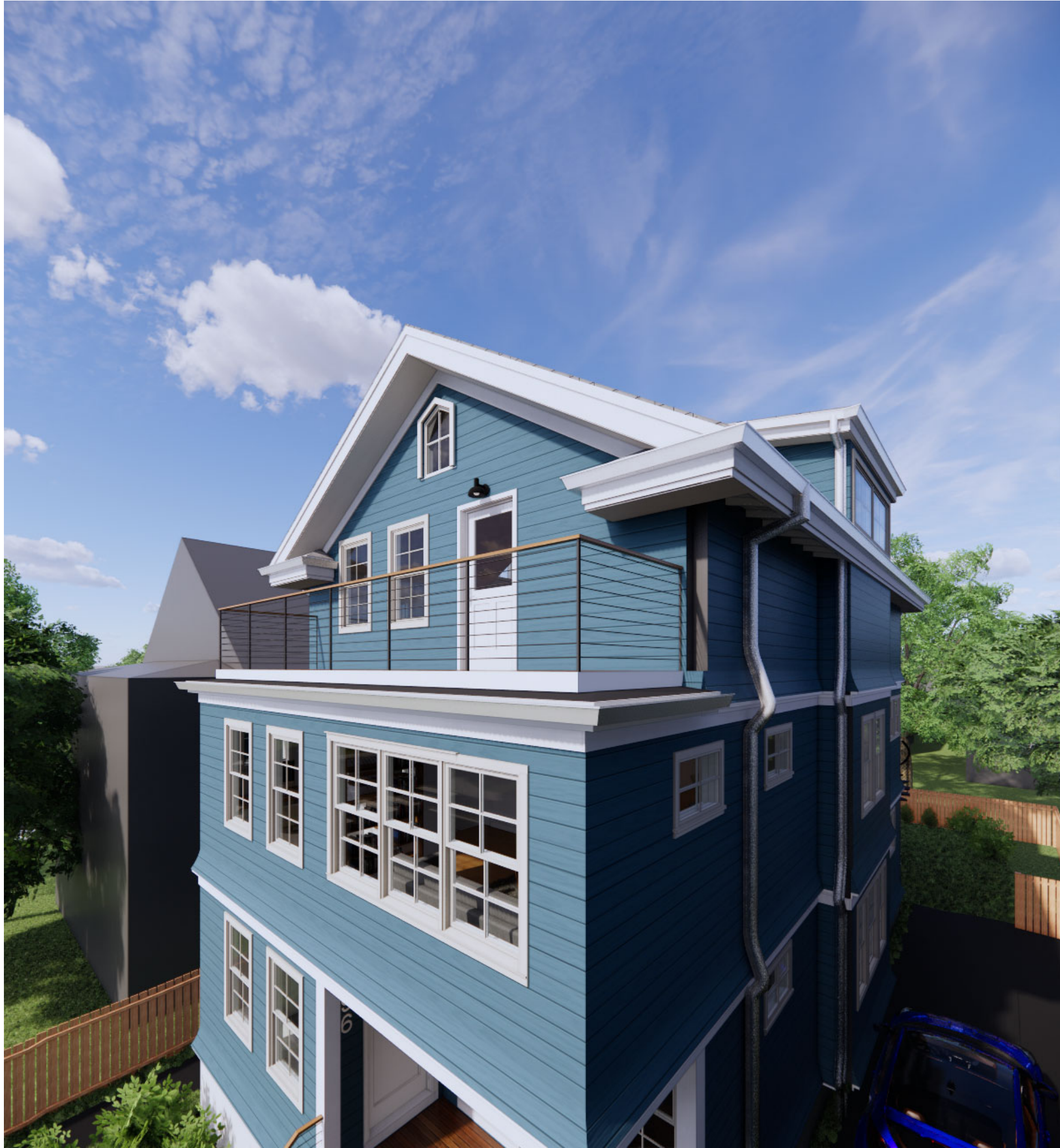
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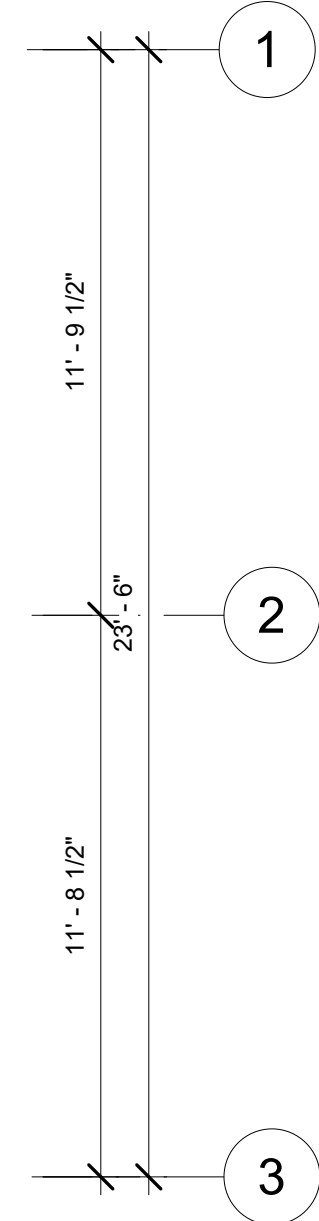
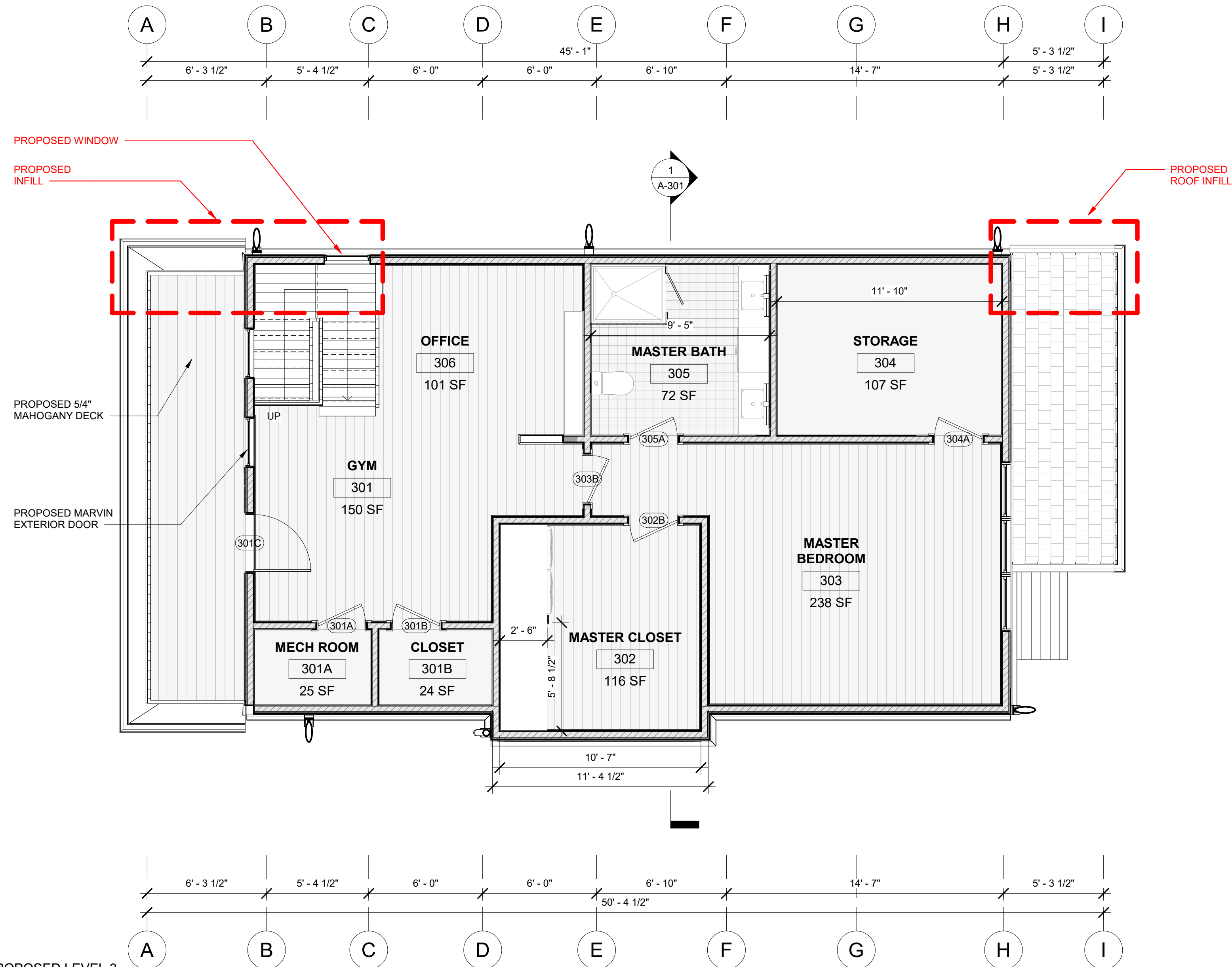
1 BZA_PROPOSED LEVEL 4
3/16" = 1'-0"



3 BZA_AXON - OPTION A - LEVEL 3



2 BZA_PROPOSED LEVEL 3
1/4" = 1'-0"



PROPOSED LEVEL 3

STEVE & TRISH NG

NG RESIDENCE

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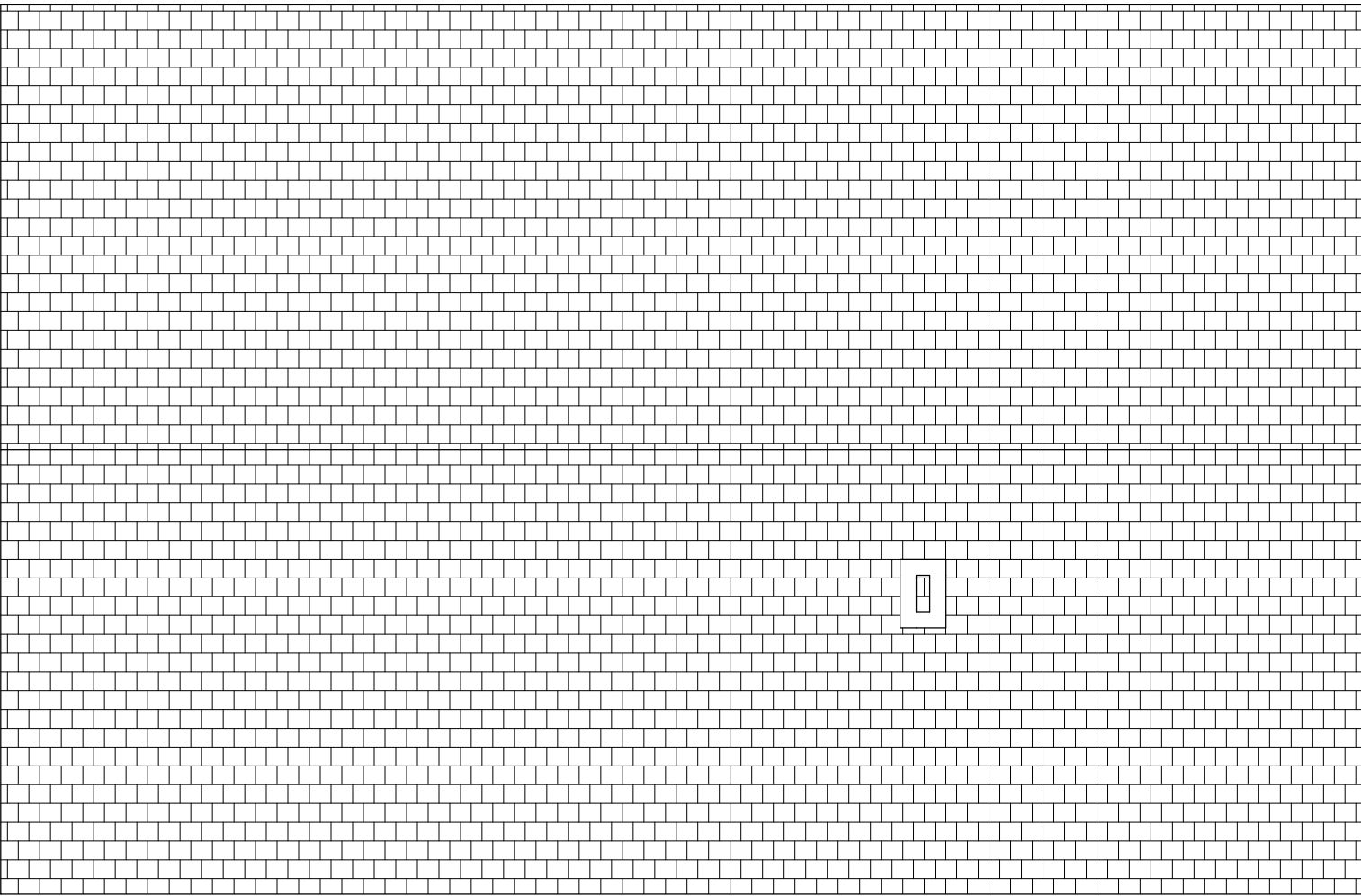
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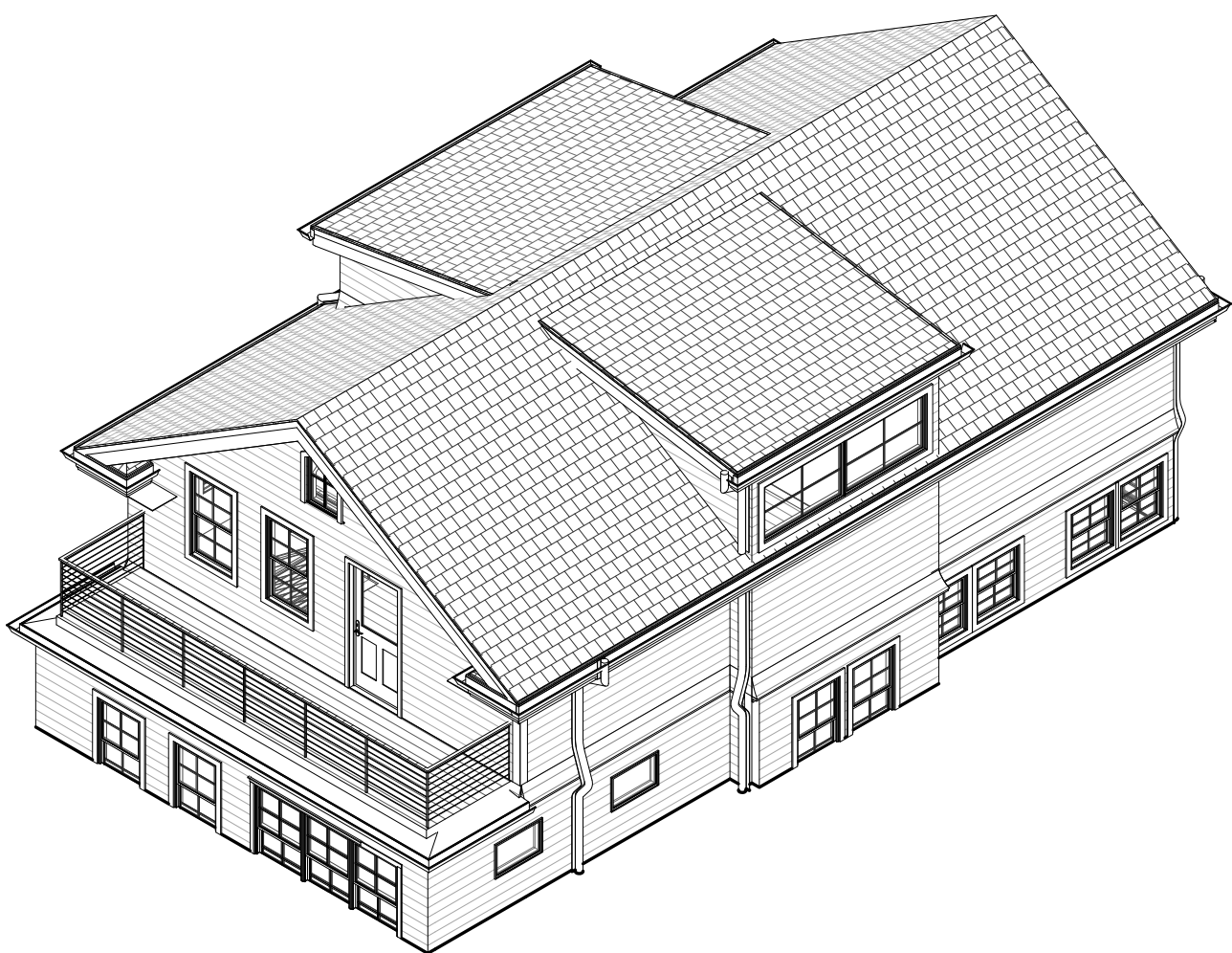
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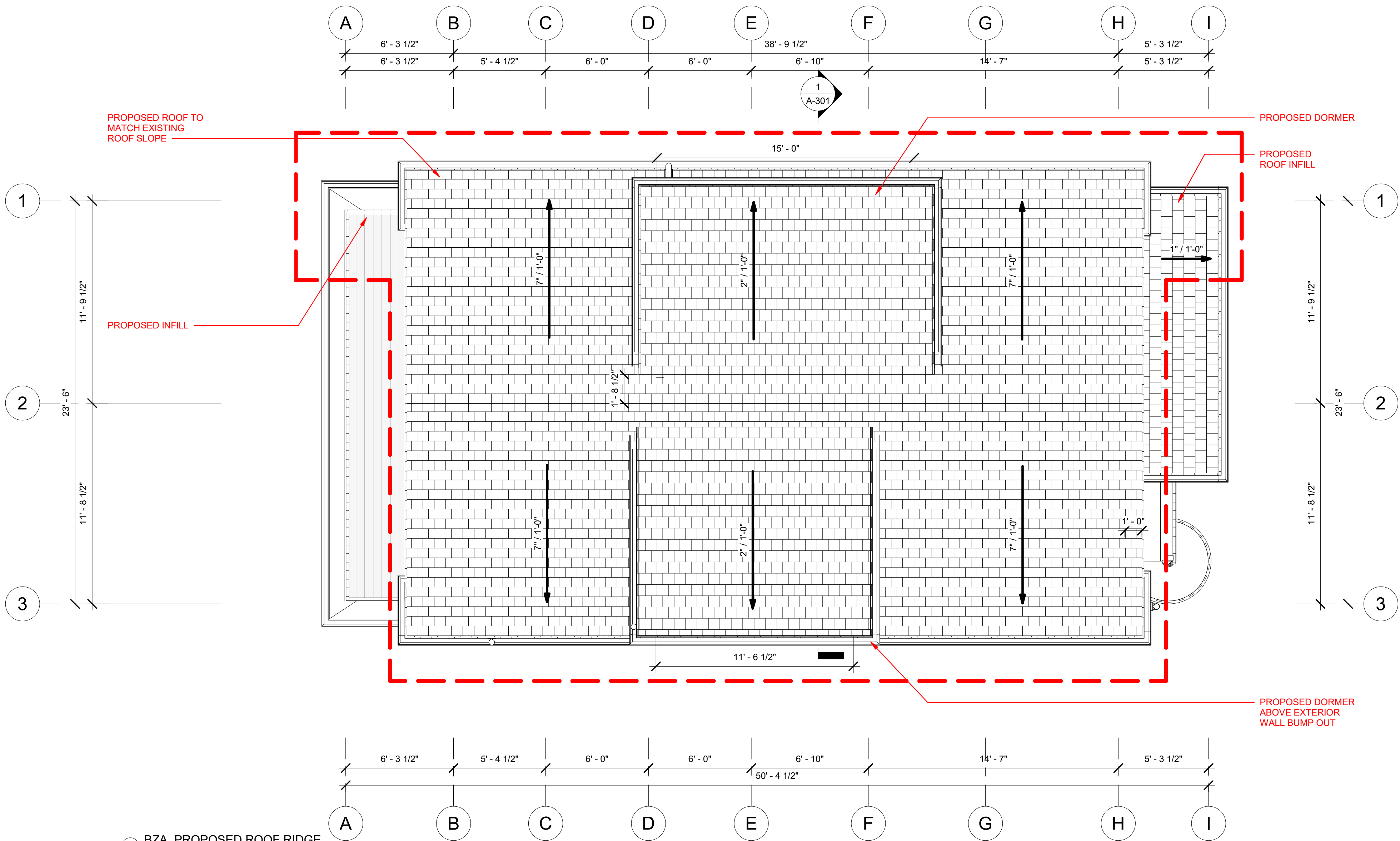
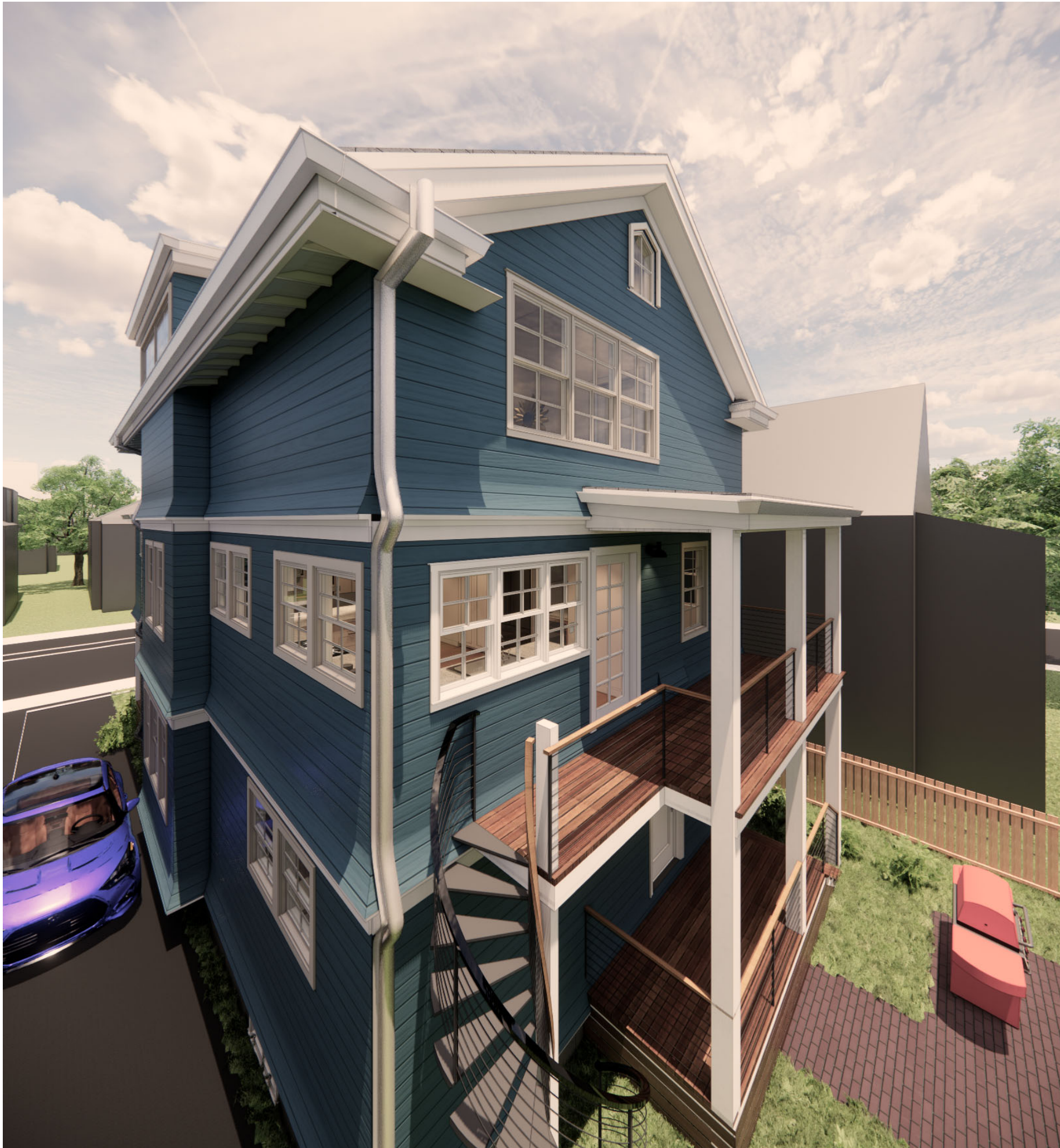
STRUCTURAL ENGINEER:



1 BZA_EXISTING ROOF RIDGE
3/16" = 1'-0"



3 BZA_AXON - ROOF LEVEL



2 BZA_PROPOSED ROOF RIDGE
1/4" = 1'-0"



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STRUCTURAL ENGINEER:

PROPOSED ROOF PLAN

STEVE & TRISH NG

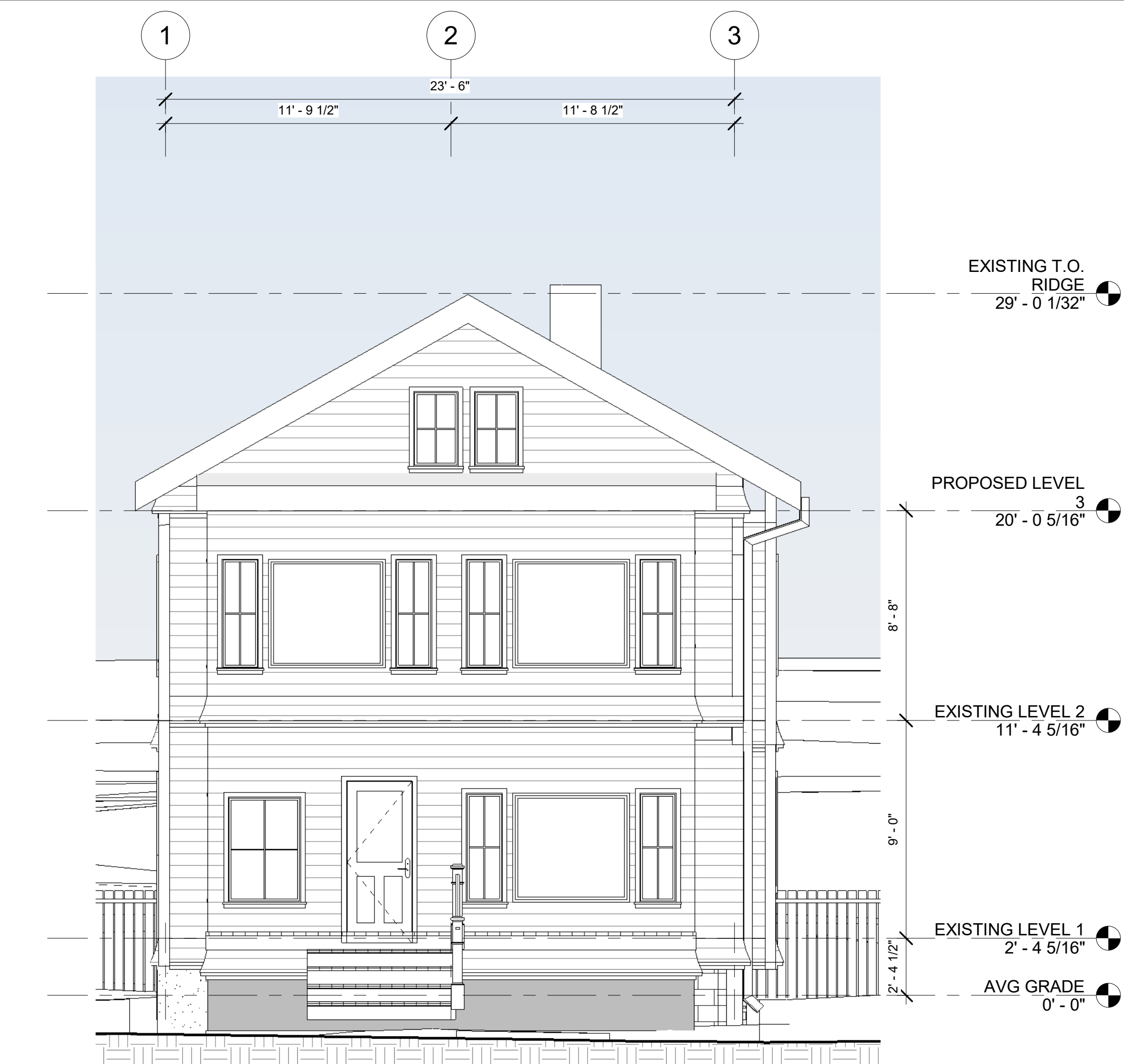
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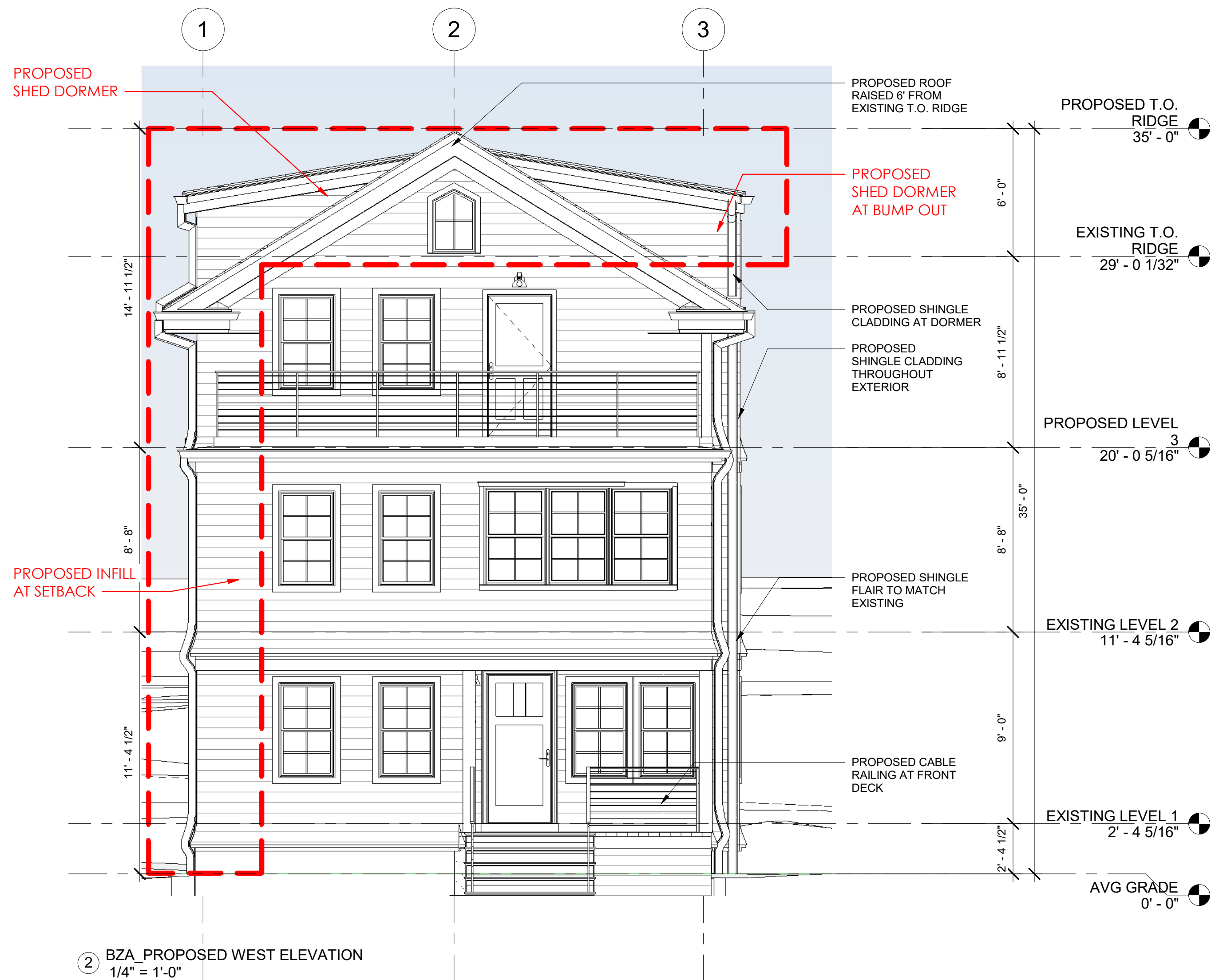
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P-104

Scale As indicated



① BZA_EXISTING WEST ELEVATION
1/4" = 1'-0"



② BZA_PROPOSED WEST ELEVATION
1/4" = 1'-0"



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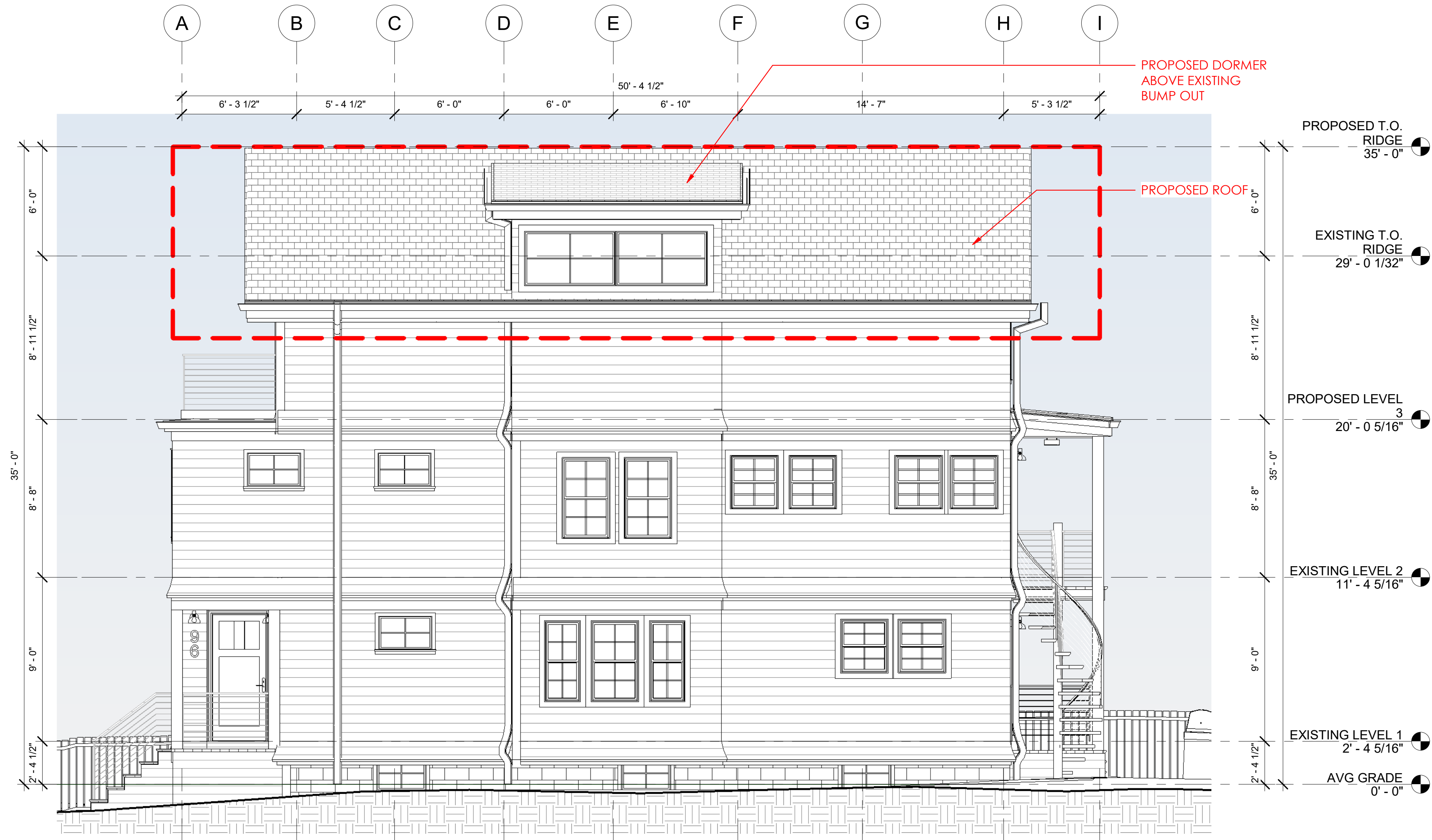
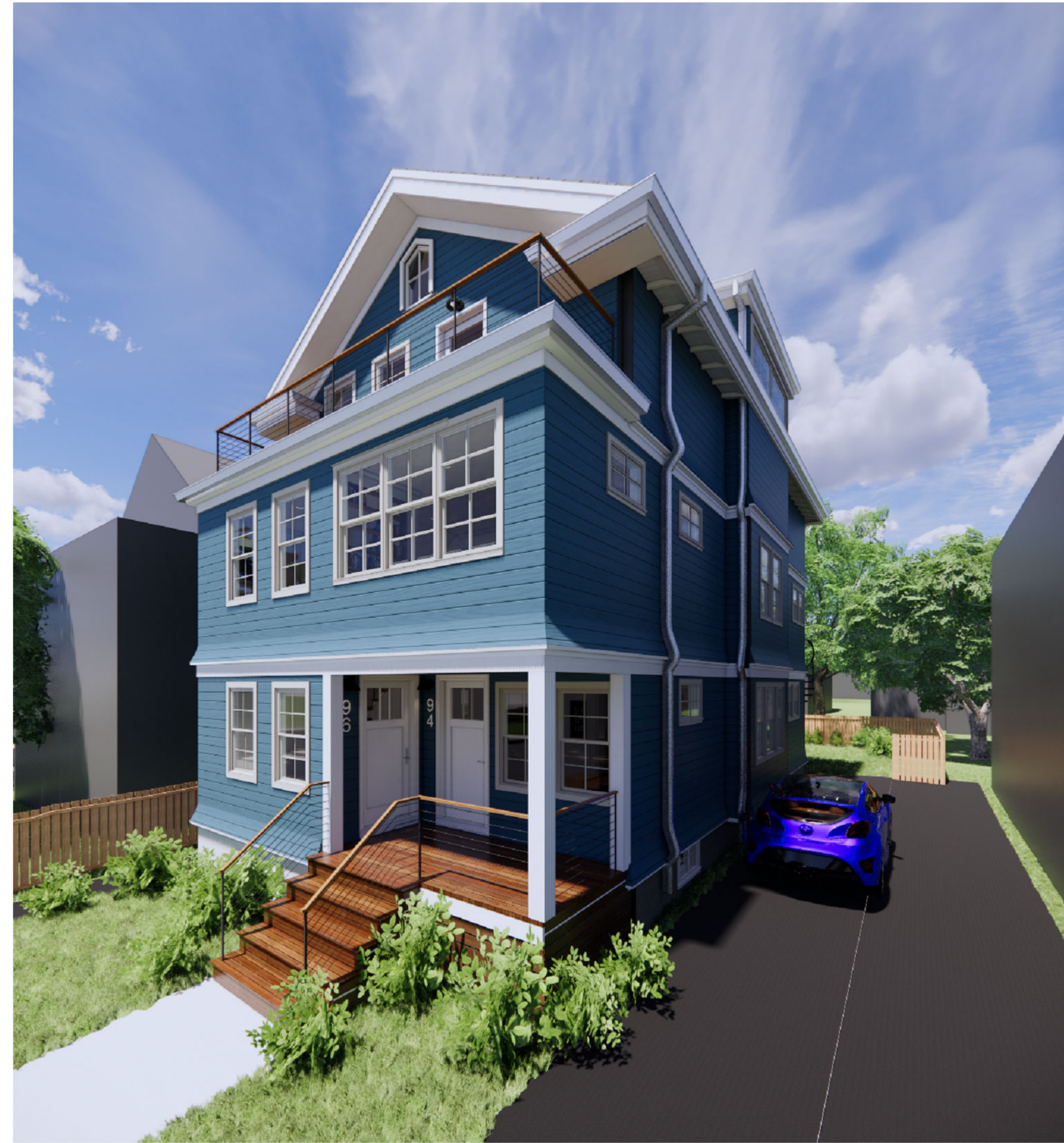
| | |
|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 11/13/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-200

Scale 1/4" = 1'-0"



1 BZA_EXISTING SOUTH ELEVATION
1/4" = 1'-0"



2 BZA_PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



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REGISTRATIONS:

STRUCTURAL ENGINEER:

ELEVATION NORTH

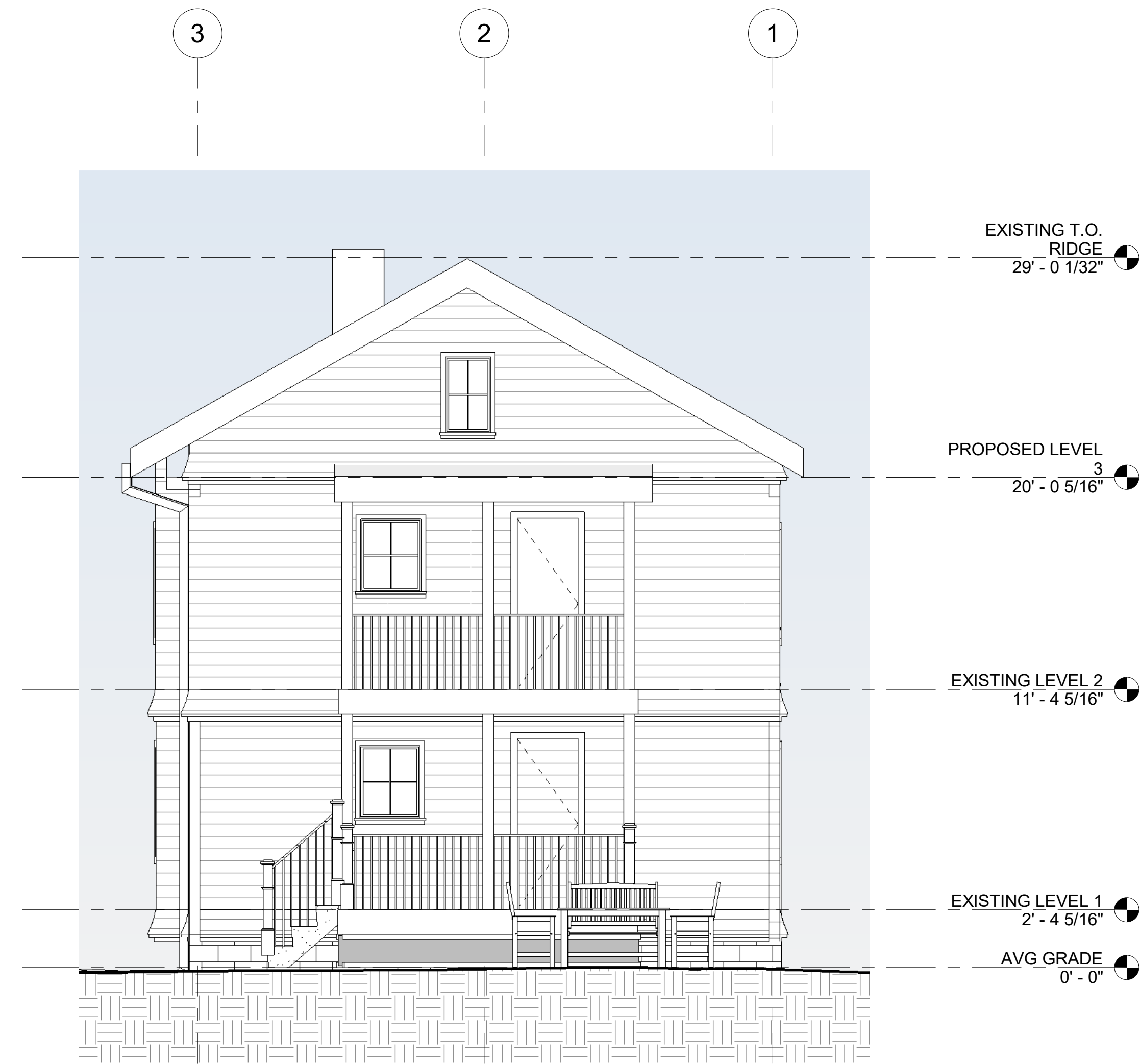
STEVE & TRISH NG

NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

Project Status BZA SUBMISSION SET
Project number Project Number
Date 11/13/2020
Drawn by Author
Checked by Checker

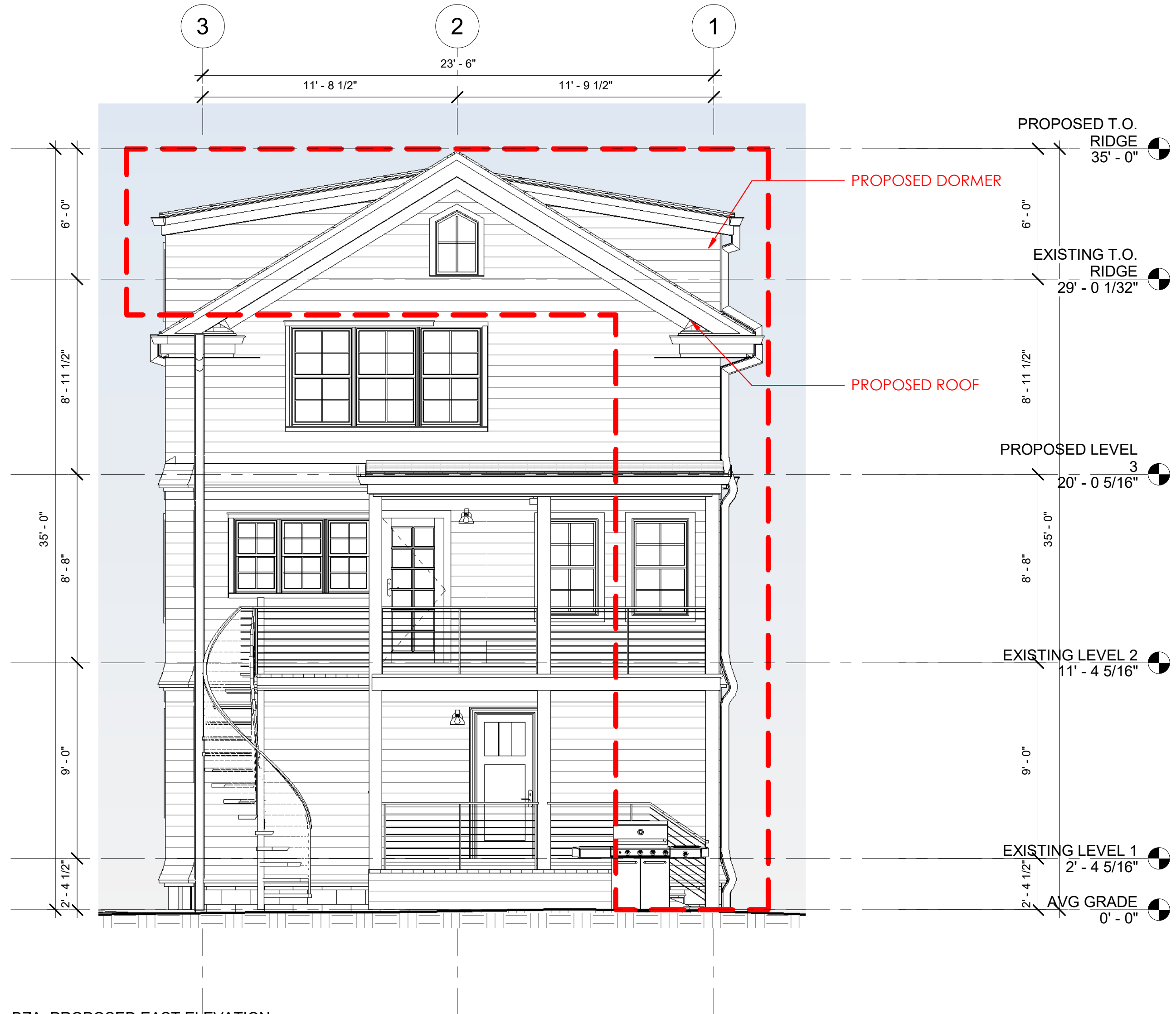
P-201
Scale 1/4" = 1'-0"



① BZA_EXISTING EAST ELEVATION
1/4" = 1'-0"



② BZA_PROPOSED EAST ELEVATION
1/4" = 1'-0"



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REGISTRATIONS:

STRUCTURAL ENGINEER:

ELEVATION EAST

STEVE & TRISH NG

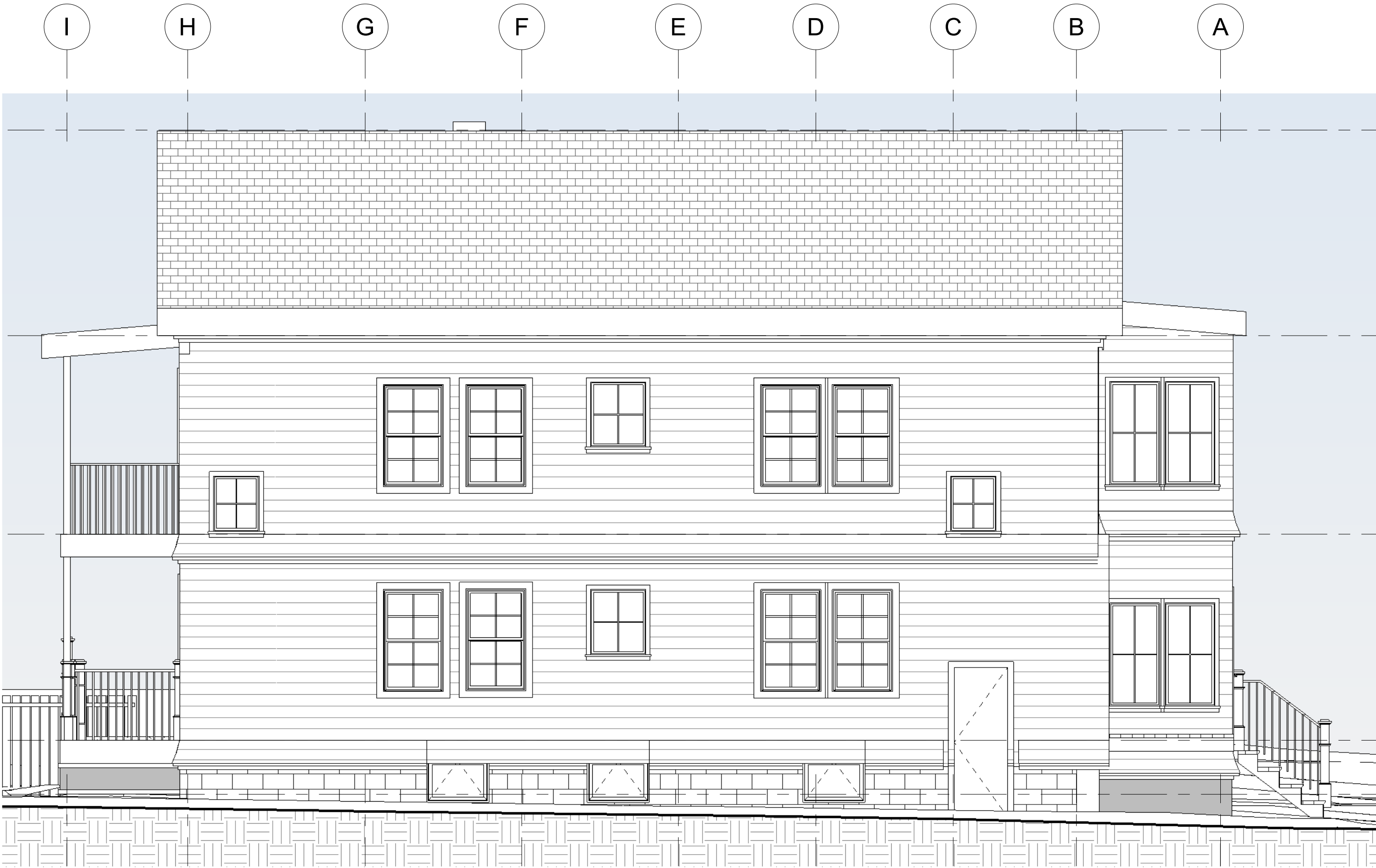
NG RESIDENCE

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CAMBRIDGE, MA 02138

| | |
|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 11/13/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-202

Scale 1/4" = 1'-0"



EXISTING T.O. RIDGE
29' - 0 1/32"

PROPOSED LEVEL 3
20' - 0 5/16"

EXISTING LEVEL 2
11' - 4 5/16"

EXISTING LEVEL 1
2' - 4 5/16"

AVG GRADE
0' - 0"



① BZA_EXISTNG NORTH ELEVATION
1/4" = 1'-0"



② BZA_PROPOSED NORTH ELEVATION
1/4" = 1'-0"



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REGISTRATIONS:

STRUCTURAL ENGINEER:

ELEVATION SOUTH

STEVE & TRISH NG

NG RESIDENCE

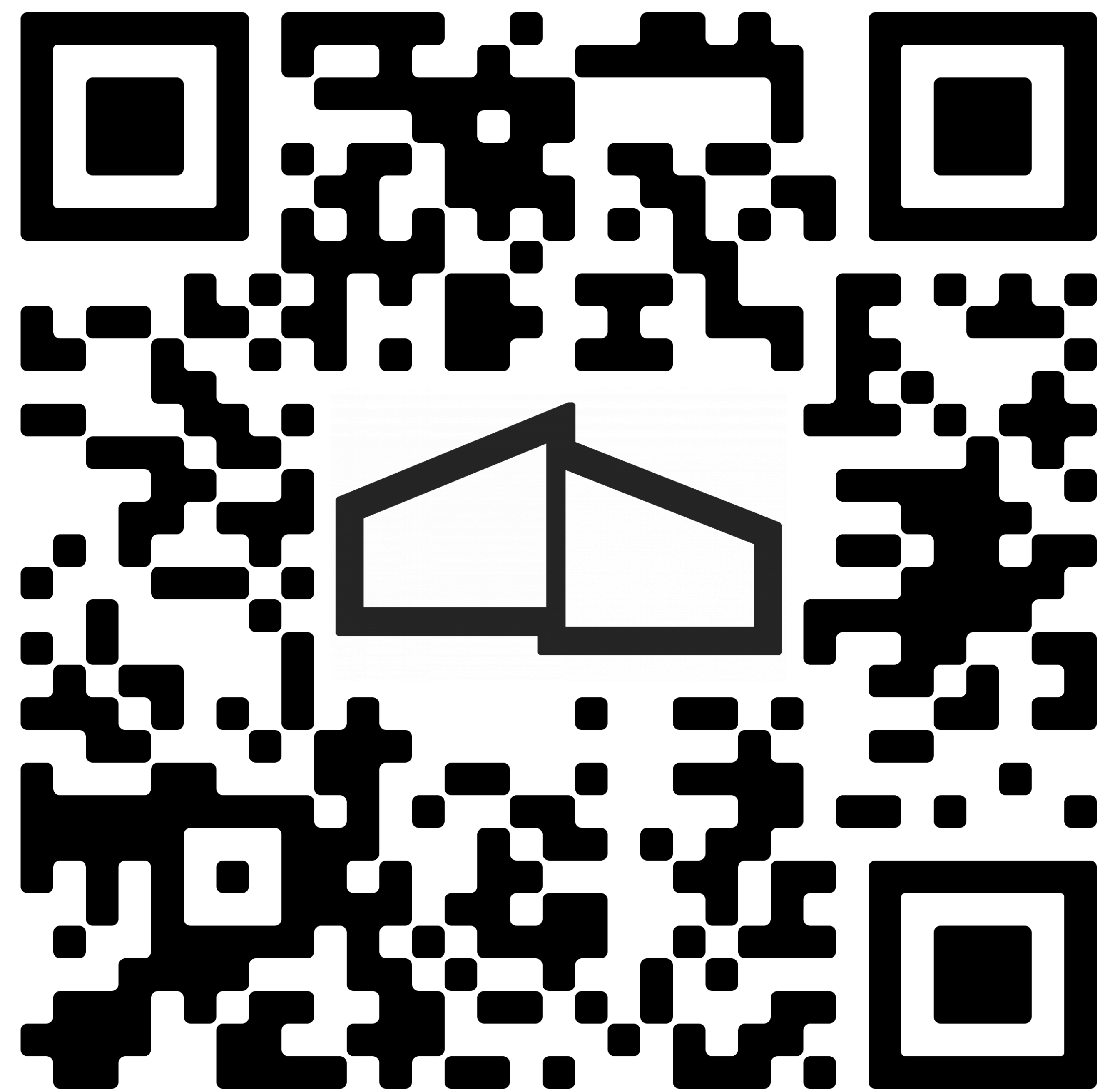
94-96 ALPINE ST.
CAMBRIDGE, MA 02138

Project Status BZA SUBMISSION SET
Project number Project Number
Date 11/13/2020
Drawn by Author
Checked by Checker

P-203
Scale 1/4" = 1'-0"

END OF PRESENTATION

94-96 ALPINE EXTERIOR VIDEO RENDER



SUPPLEMENTARY SHEETS FOR REFERENCE BELOW



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REGISTRATIONS:

STRUCTURAL ENGINEER:

QR CODE

STEVE & TRISH NG
NG RESIDENCE
94-96 ALPINE ST.
CAMBRIDGE, MA 02138

| | |
|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 11/13/2020 |
| Drawn by | Author |
| Checked by | Checker |
| P-500 | |
| Scale | |



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NG RESIDENCE

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| | |
|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 11/13/2020 |
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P-501

Scale



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NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

| | |
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| Project Status | BZA SUBMISSION SET |
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| Date | 11/13/2020 |
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P-502

Scale



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REGISTRATIONS:

STRUCTURAL ENGINEER:

EXISTING

STEVE & TRISH NG

NG RESIDENCE

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CAMBRIDGE, MA 02138

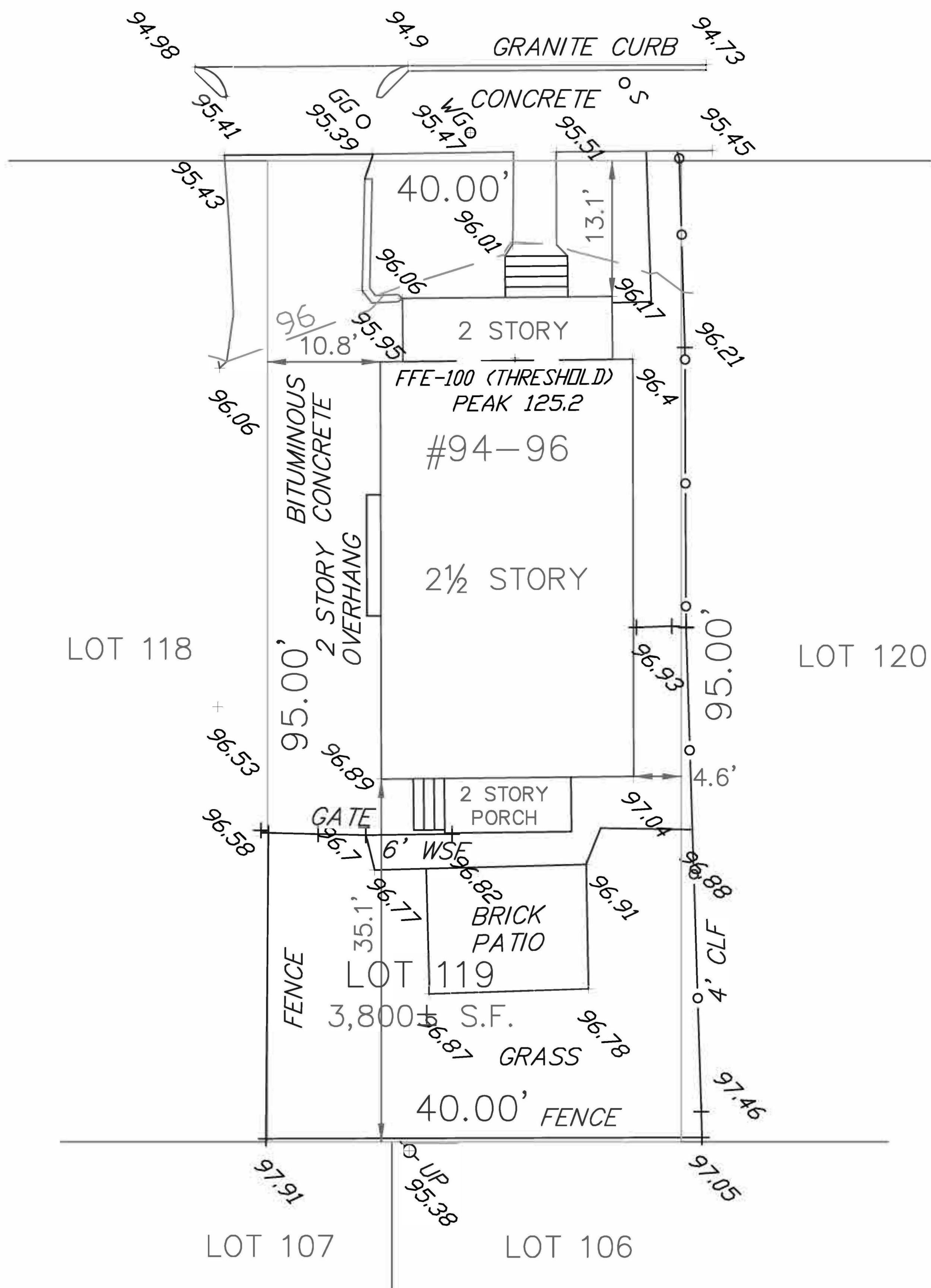
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|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 11/13/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-503

Scale



ALPINE STREET



I HEREBY CERTIFY THAT THE BUILDING IS
LOCATED AS SHOWN.

OWNER: STEVEN, PATRICIA & AUDRY NG

PROPOSED PLOT PLAN
#92-94 ALPINE STREET
IN
CAMBRIDGE, MA
(MIDDLESEX COUNTY)

SCALE: 1" = 20' DATE: 7/24/2020



ROBER SURVEY

1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533

6187PP1.DWG

CLIFFORD E. ROBER, PLS DATE

THIS PLAN MAY HAVE BEEN ALTERED IF
THE SIGNATURE IS NOT SIGNED IN BLUE.

STEVE & TRISH NG

NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

PLOT PLAN

STRUCTURAL ENGINEER:

REGISTRATIONS:

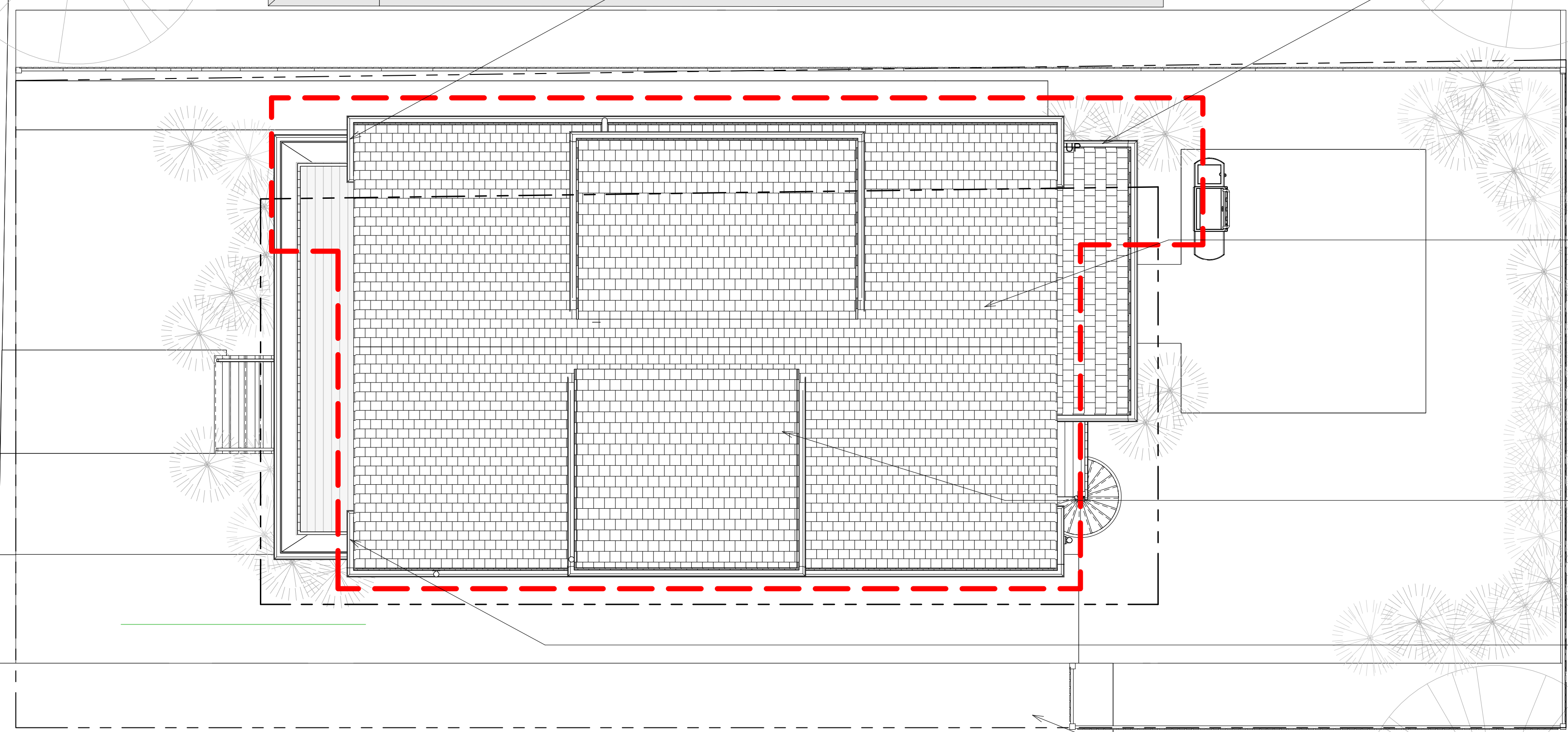
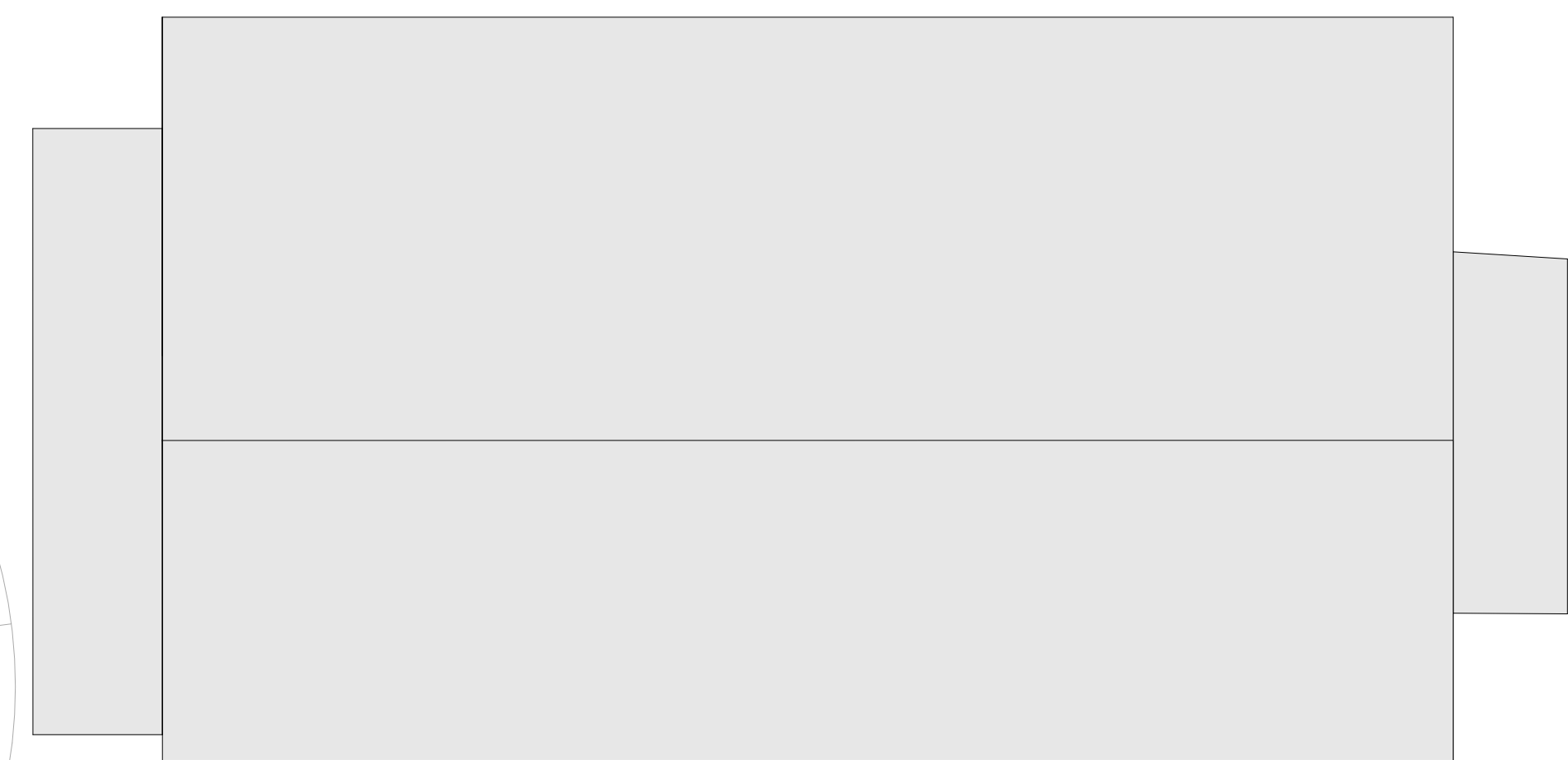
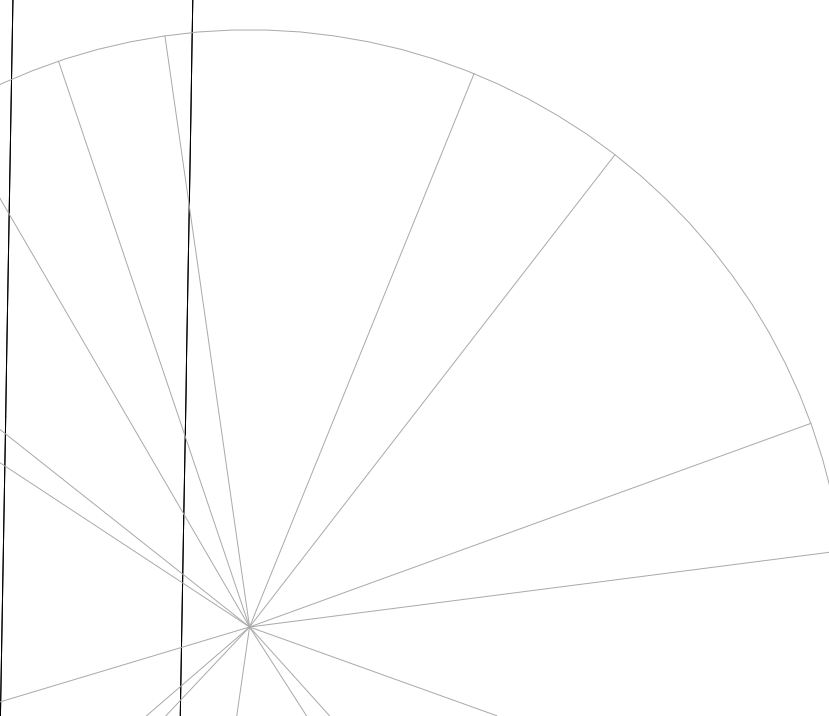
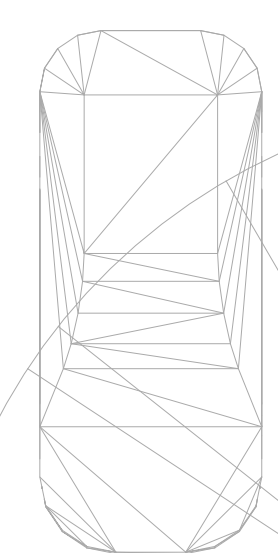
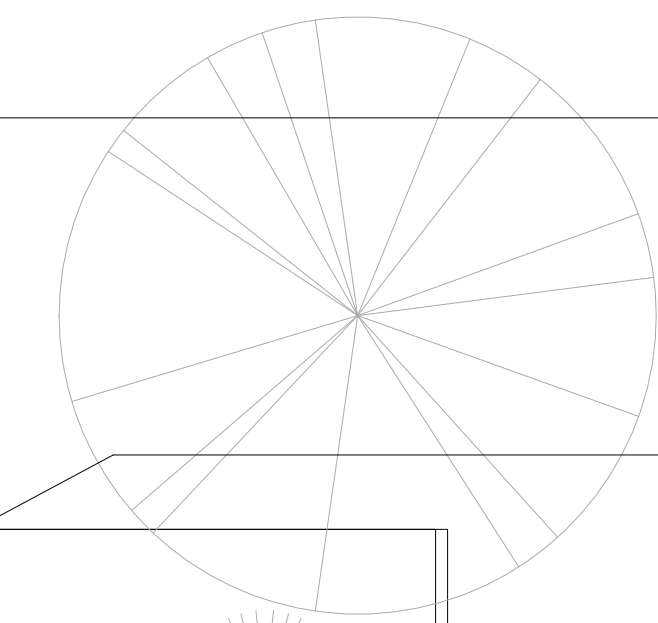
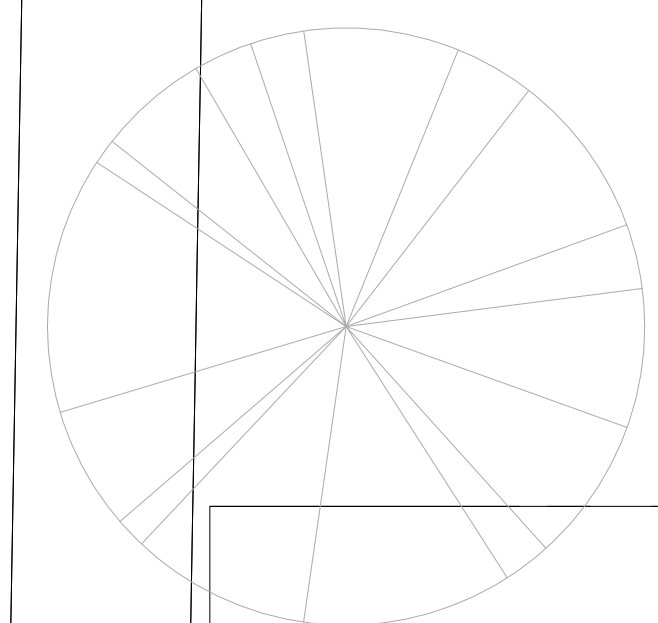
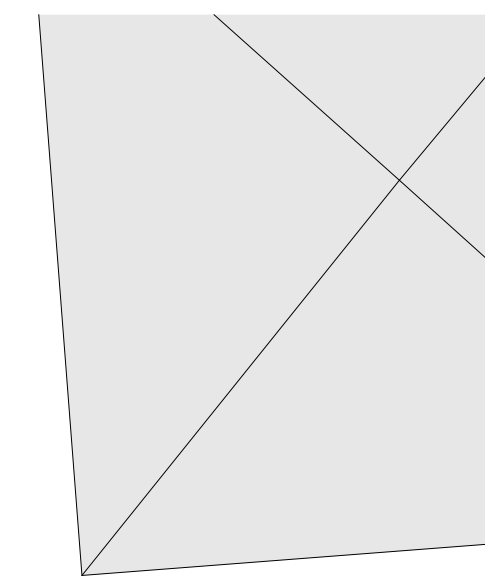
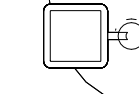
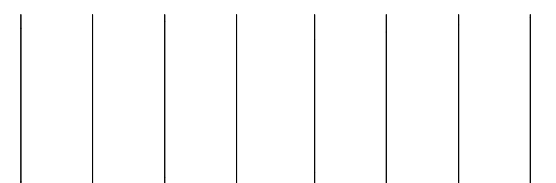
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P-504

Scale

6" = 1'-0"



PROPOSED EXTERIOR AT
FRONT OF HOUSE

PROPOSED DECK

PROPOSED ROOF

PROPOSED DORMER

PRPOSED EXTERIOR AT
FRONT OF HOUSE

EXISTING DRIVEWAY
TO REMAIN

ALPINE ST.

① P-PROPOSED SITE PLAN
3/16" = 1'-0"



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REGISTRATIONS:

STRUCTURAL ENGINEER:

LANDSCAPE PLAN

STEVE & TRISH NG

NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

| | |
|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 11/13/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-505

Scale 3/16" = 1'-0"



① EXISTING AERIAL
1 1/2" = 1'-0"



S K A

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REGISTRATIONS:

STRUCTURAL ENGINEER:

EXISTING AERIAL VIEW

STEVE & TRISH NG
NG RESIDENCE
94-96 ALPINE ST.
CAMBRIDGE, MA 02138

| | |
|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 11/13/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-506
Scale 1 1/2" = 1'-0"



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Christopher J. A'phon, Esq. Date: 11/5/20
(Print)

Address: 96 Alpine St.

Case No. BZA-93791

Hearing Date: 11/19/20

Thank you,
Bza Members

Use Adobe Acrobat Reader to add comments to this shared file.

Go to app

Date: 10/18/20

To Whom it May Concern:

My name is CAROL KOZACHUK and I live at

99 Alpine St Cambridge Ma 02138

_____. I am writing to state my support for my neighbors, Trish

and Steve Ng, in their application for a special permit for their home at 96 Alpine Street.

Welcome to the neighborhood

Sincerely,

Carol A Kozachuk



SKA Architects rendering of proposed changes to 94 - 96 Alpine Street, Cambridge

Date: 10/12/20

To Whom it May Concern:

My name is Laurie Baste and I live at

97 Alpine St Cambridge, Ma 02138

_____. I am writing to state my support for my neighbors, Trish

and Steve Ng, in their application for a special permit for their home at 96 Alpine Street.

Sincerely,

Laurie K Baste



SKA Architects rendering of proposed changes to 94 - 96 Alpine Street, Cambridge

From: [Trish](#)
To: [Steven Ng](#); [Chris Alphen](#)
Subject: Fwd: Renovation
Date: Monday, October 05, 2020 1:48:18 PM

Trish

Begin forwarded message:

From: Susan Sukeforth <s.sukeforth@comcast.net>
Date: October 5, 2020 at 1:11:40 PM EDT
To: trshng@gmail.com
Subject: Renovation

To whom it may concern:

My name is Susan Sukeforth and I live at 92 Alpine Street, Cambridge MA 02138. I am writing to state my support for my neighbors, Trish and Steve Ng, in their application for a special permit for their home at 96 Alpine Street.

Sincerely,

Susan Sukeforth

Sent from my iPad

Date: 10/11/2020

To Whom it May Concern:

My name is Juan Li and I live at

95 Alpine St 02138

_____. I am writing to state my support for my neighbors, Trish
and Steve Ng, in their application for a special permit for their home at 96 Alpine Street.

Sincerely,





SKA Architects rendering of proposed changes to 94 - 96 Alpine Street, Cambridge

Date: OCT 19, 2020

To Whom it May Concern:

My name is TOM WUNDERLICH and I live at

171 CHILTON ST

02138

I am writing to state my support for my neighbors, Trish

and Steve Ng, in their application for a special permit for their home at 96 Alpine Street.

Sincerely,

J.

WITH PROPERTY VALUES BEING WHAT THEY ARE, I'D SAY IT'S CRAZY NOT TO MAKE USE OF GOOD SPACE LIKE THAT. — DON'T FORGET THE SKYLIGHTS! OPEN A COUPLE SKYLIGHTS!

OPEN A COUPLE WINDOWS ON THE SHADY SIDE OF THE HOUSE — DON'T NEED A-C!



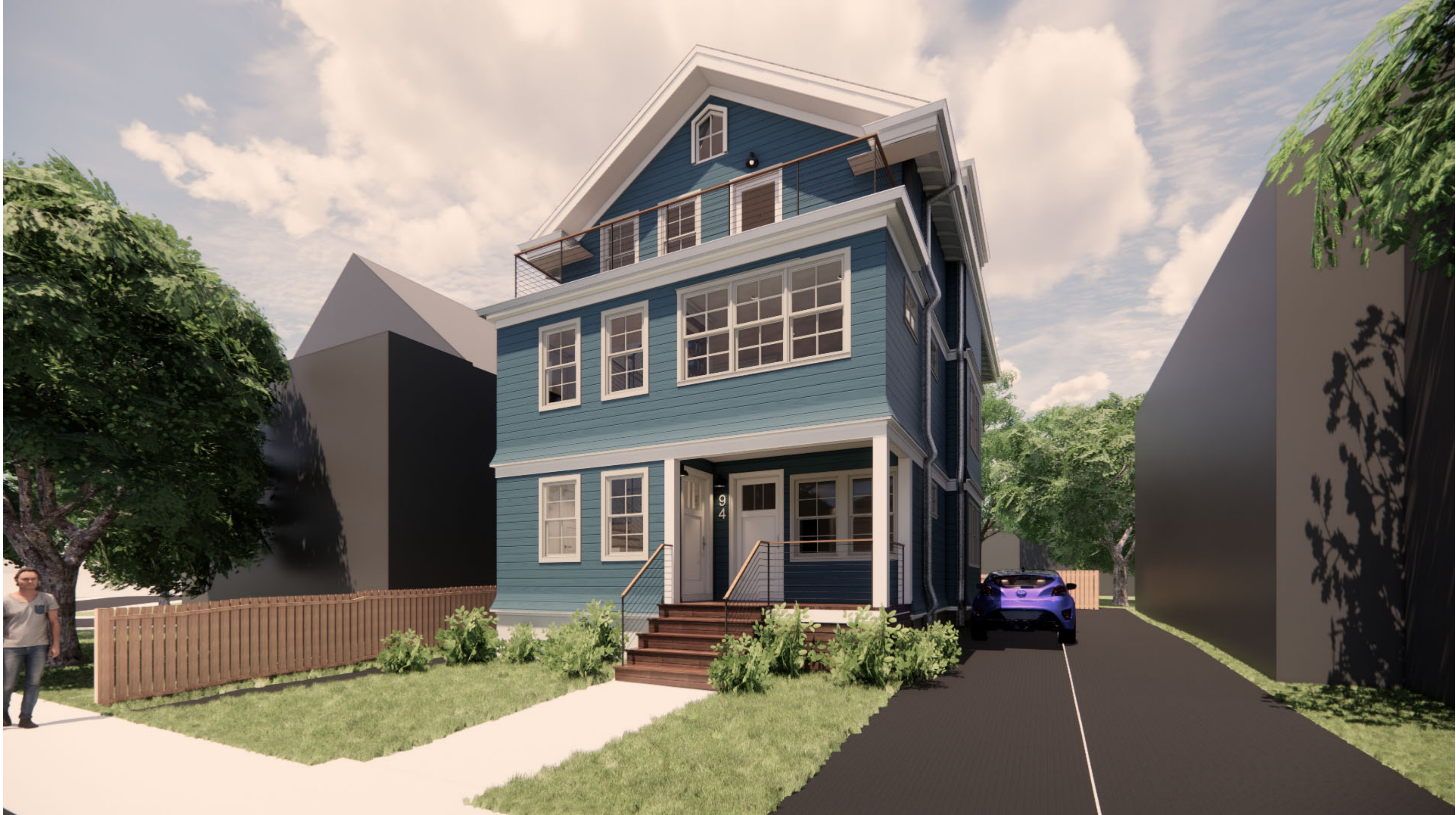
SKA Architects rendering of proposed changes to 94 - 96 Alpine Street, Cambridge

NG RESIDENCE

STEVE & TRISH NG

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

BZA SUBMISSION SET
11/13/2020



ARCHITECT:



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CLIENTS:

STEVE & TRISH NG

THE NG RESIDENCE LOCATED AT 94-96 ALPINE ST WILL INCLUDE THE RENOVATION OF THE FRONT AND REAR PORCH, THE RENOVATION OF THE 2ND FLOOR APARTMENT AND THE RAISING OF THE ROOF TO 35' BUILDING LIMIT

GENERAL CONTRACTOR:

STRUCTURAL ENGINEER:



ROOME & GUARRACINO LLC

| Permit Sheet List | | |
|-------------------|-------------------------|-------------|
| Sheet Number | Sheet Name | Designed By |
| P-000 | COVER | SKA |
| P-001 | GENERAL NOTES | SKA |
| P-002 | PLOT PLAN & AREA PLAN | SKA |
| P-003 | SITE AXON | SKA |
| P-004 | SHADOW STUDY | SKA |
| P-005 | STREET VIEW PERSPECTIVE | SKA |
| P-006 | STREET VIEW PERSPECTIVE | SKA |
| P-100 | PROPOSED LEVEL 0 | SKA |
| P-101 | PROPOSED LEVEL 1 | SKA |
| P-102 | PROPOSED LEVEL 2 | SKA |
| P-103 | PROPOSED LEVEL 3 | SKA |

| Permit Sheet List | | |
|-------------------|----------------------|-------------|
| Sheet Number | Sheet Name | Designed By |
| P-104 | PROPOSED ROOF PLAN | SKA |
| P-200 | ELEVATION WEST | SKA |
| P-201 | ELEVATION NORTH | SKA |
| P-202 | ELEVATION EAST | SKA |
| P-203 | ELEVATION SOUTH | SKA |
| P-500 | QR CODE | SKA |
| P-501 | EXISTING | SKA |
| P-502 | EXISTING | SKA |
| P-503 | EXISTING | Designer |
| P-504 | PLOT PLAN | SKA |
| P-505 | LANDSCAPE PLAN | SKA |
| P-506 | EXISTING AERIAL VIEW | Designer |

Grand total: 23

| | |
|--------|---|
| # | NUMBER OR POUND |
| &+* | AND |
| @ | AT |
| ADJ | ADJUSTABLE |
| AFF | ABOVE FINISH FLOOR |
| ALUM | ALUMINUM |
| APPROX | APPROXIMATELY |
| ARCH | ARCHITECTURAL |
| AVB | AIR AND VAPOR BARRIER |
| BD | BOARD |
| BIT | BITUMINOUS |
| BLDG | BUILDING |
| BSMT | BASEMENT |
| BTWN | BETWEEN |
| CF | CUBIC FEET |
| CI | CUBIC INCHES |
| CJ | CONTROL JOINT |
| CL | CENTERLINE |
| CLG | CEILING |
| CLR | CLEAR OR CLEARANCE |
| CMU | CONCRETE MASONRY UNIT |
| COL | COLUMN |
| CONC | CONCRETE |
| CONT | CONTINUOUS |
| CORR | CORRIDOR, CORRUGATED |
| CTR | CENTER |
| D | DEPTH, DEEP |
| DBL | DOUBLE |
| DEMO | DEMOLISH, DEMOLITION |
| DIA | DIAMETER |
| DIM | DIMENSION |
| DN | DOWN |
| DTL | DETAIL |
| DW | DISHWASHER |
| E | EAST |
| EA | EACH |
| EJ | EXPANSION JOINT |
| EL | ELEVATION (GRADE) |
| ELEC | ELECTRICAL |
| ELEV | ELEVATION (FACADE) |
| EOS | EDGE OF SLAB |
| EQ | EQUAL, EQUIPMENT, EQUIP |
| ETR | EXISTING TO REMAIN |
| EXG | EXISTING |
| EXP | EXPOSED |
| EXT | EXTERIOR |
| FAB | FABRICATE, FABRICATION |
| FD | FLOOR DRAIN |
| FF | FINISHED FLOOR |
| FL | FLOOR |
| FOW | FACE OF WALL |
| FT | FEET, FOOT |
| GA | GAUGE |
| GALV | GALVANIZED |
| GL | GLASS, GLAZING, GLAZED |
| GWB | GYPSUM WALLBOARD, BACKING BOARD |
| GYP | GYPSUM |
| H | HIGH |
| HDWD | HARDWOOD |
| HM | HOLLOW METAL |
| HORIZ | HORIZONTAL |
| HVAC | HEATING, VENTILATING & AIR CONDITIONING |
| IN | INCH, INCHES |
| INCL | INCLUDE, INCLUDED |
| INT | INTERIOR |
| JT | JOINT |

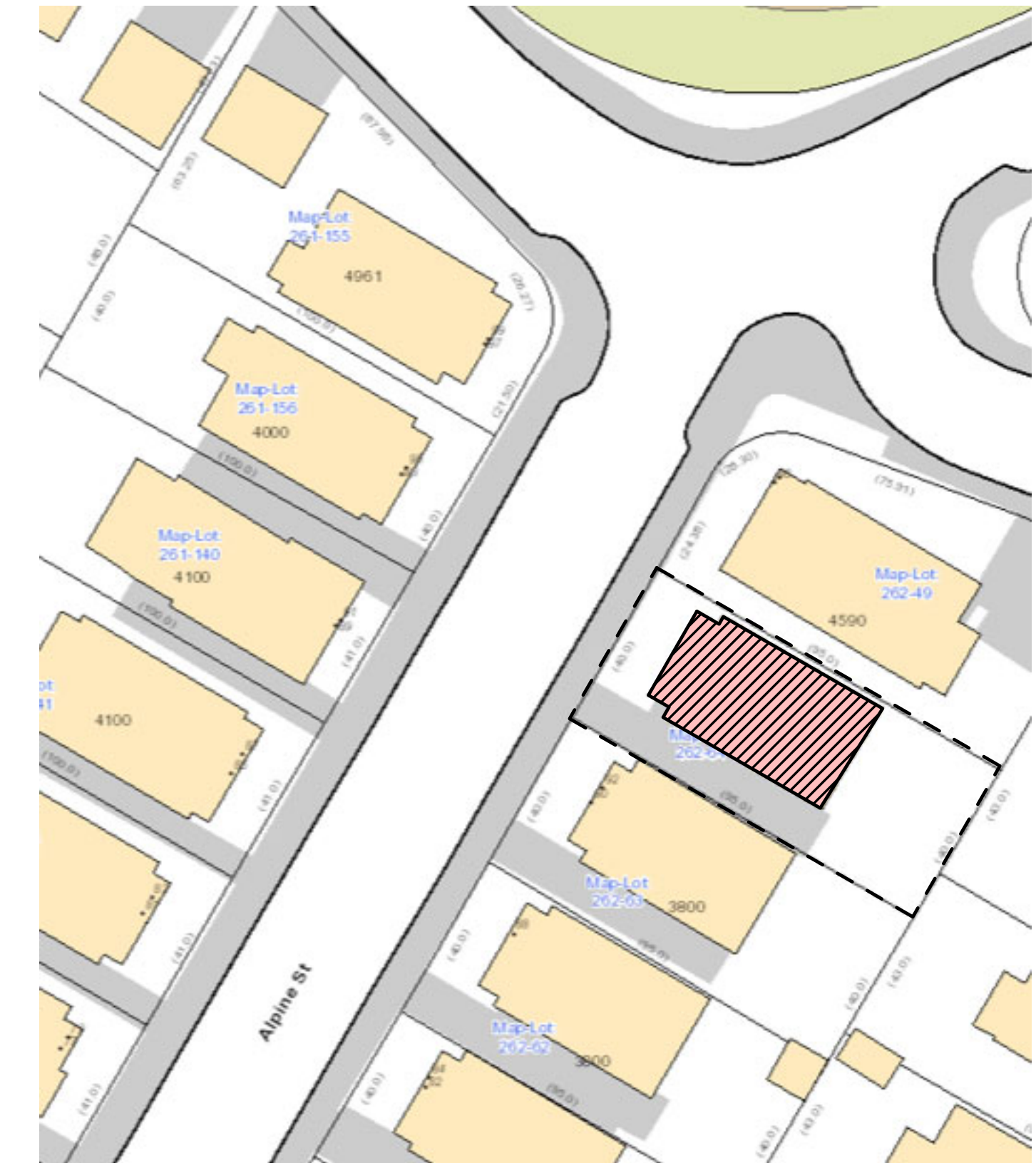
| | |
|---------|-----------------------------|
| L | LENGTH |
| LAM | LAMINATE, LAMINATED |
| LB | POUND |
| LGMF | LIGHT GAGE METAL FRAMING |
| LT | LIGHT |
| LT WT | LIGHT WEIGHT |
| MAX | MAXIMUM |
| MDF | MEDIUM DENSITY FIBER |
| MECH | MECHANICAL |
| MED | MEDIUM |
| MFR | MANUFACTURER |
| MIN | MINIMUM |
| MISC | MISCELLANEOUS |
| MTD | MOUNTED |
| MTL | METAL |
| N | NORTH |
| N/A | NOT APPLICABLE |
| NIC | NOT IN CONTRACT |
| NOM | NOMINAL |
| NTS | NOT TO SCALE |
| OC | ON CENTER |
| OD | OUTSIDE DIAMETER |
| OH | OPPOSITE HAND |
| OPP | OPPOSITE |
| OSB | ORIENTED STRANDBOARD |
| OVHD | OVERHEAD |
| OZ | OUNCE (S) |
| PATT | PATTERN (ED) |
| PERF | PERFORATED |
| PERP | PERPENDICULAR |
| PLAM | PLASTIC LAMINATE |
| PLYWD | PLYWOOD |
| PNT | PAINT, PAINTED |
| PR | PAIR |
| PREFAB | PREFABRICATE, PREFABRICATED |
| QTY | QUANTITY |
| RAD | RADIUS |
| RBR | RUBBER |
| RD | ROOF DRAIN |
| REF | REFERENCE |
| REFR | REFRIGERATE, REFRIGERATOR |
| REINF | REINFORCE, REINFORCED |
| REQ | REQUIRE |
| REV | REVISION, REVISE, REVISED |
| RM | ROOM |
| RO | ROUGH OPENING |
| S | SOUTH |
| SCHED | SCHEDULE |
| SF | SQUARE FEET |
| SI | SQUARE INCHES |
| SIM | SIMILAR |
| SPEC | SPECIFICATION |
| SQ | SQUARE |
| SS, SST | STAINLESS STEEL |
| STC | SOUND TRANSMISSION CLASS |
| STL | STEEL |
| STOR | STORAGE |
| STR | STAIR |
| T.O. | TOP OF |
| U.O. | UNDERSIDE OF |
| UON | UNLESS OTHERWISE NOTED |
| WD | WOOD |
| WT | WEIGHT |
| X | INDICATES TIMES OR BY |

| | |
|--|--|
| | EARTH |
| | CONCRETE |
| | GRAVEL |
| | SAND |
| | GYPSUM BOARD OR SHEATHING |
| | MASONRY - BRICK |
| | MASONRY - CONCRETE BLOCK |
| | WOOD - FINISH - END GRAIN |
| | WOOD - FINISH - FACE |
| | WOOD - ROUGH - BLOCKING (CONTINUOUS MEMBERS) |
| | WOOD - ROUGH - BLOCKING (INTERMEDIATE MEMBERS) |
| | INSULATION - RIGID |
| | INSULATION - BATT OR MINERAL WOOL |
| | ACOUSTIC TILE, PANEL, OR PLANK |
| | PLYWOOD |
| | CUT STONE |
| | PARTICLE BOARD OR FIBERBOARD |

| | | | |
|-----------------------------------|------------|---|--------------------|
| VIEW # SCALE: 1/X" = 1'-0" | | DRAWING TITLE | |
| SHEET VIEW # O.H. / SIM | | EXTERIOR ELEVATION KEY | |
| SHEET | | INTERIOR ELEVATION KEY | |
| VIEW # O.H. / SIM | | BUILDING SECTION MARKER | |
| VIEW # O.H. / SIM | | WALL SECTION MARKER | |
| VIEW # SHEET O.H. / SIM | | DETAIL AREA MARKER | |
| VIEW # SHEET O.H. / SIM | | DETAIL SECTION MARKER | |
| COLUMN | | GRID LINE | |
| Name Elevation | | VERTICAL ELEVATION KEY (ELEV) | |
| 0' - 0" | | SPOT ELEVATION W/ TARGET (PLAN) | |
| 0' - 0" | | SPOT ELEVATION NO TARGET (PLAN) | |
| REV # | | REVISION CLOUD AND REVISION TAG | |
| <div>ROOM NAME ROOM #</div> | ROOM TAG | <div>℄</div> | CENTERLINE |
| <div>AREA NAME AREA</div> | AREA TAG | <div>SHEET SHEET</div> | MATCH LINE |
| <div>DOOR #</div> | DOOR TAG | | HINGE SIDE OF DOOR |
| <div># TYPE</div> | WINDOW TAG | | ALIGN SURFACES |
| | | <div>ROOM NAME ROOM # FLOOR BASE WALL CEILING</div> | FINISH TAG |
| | | | |

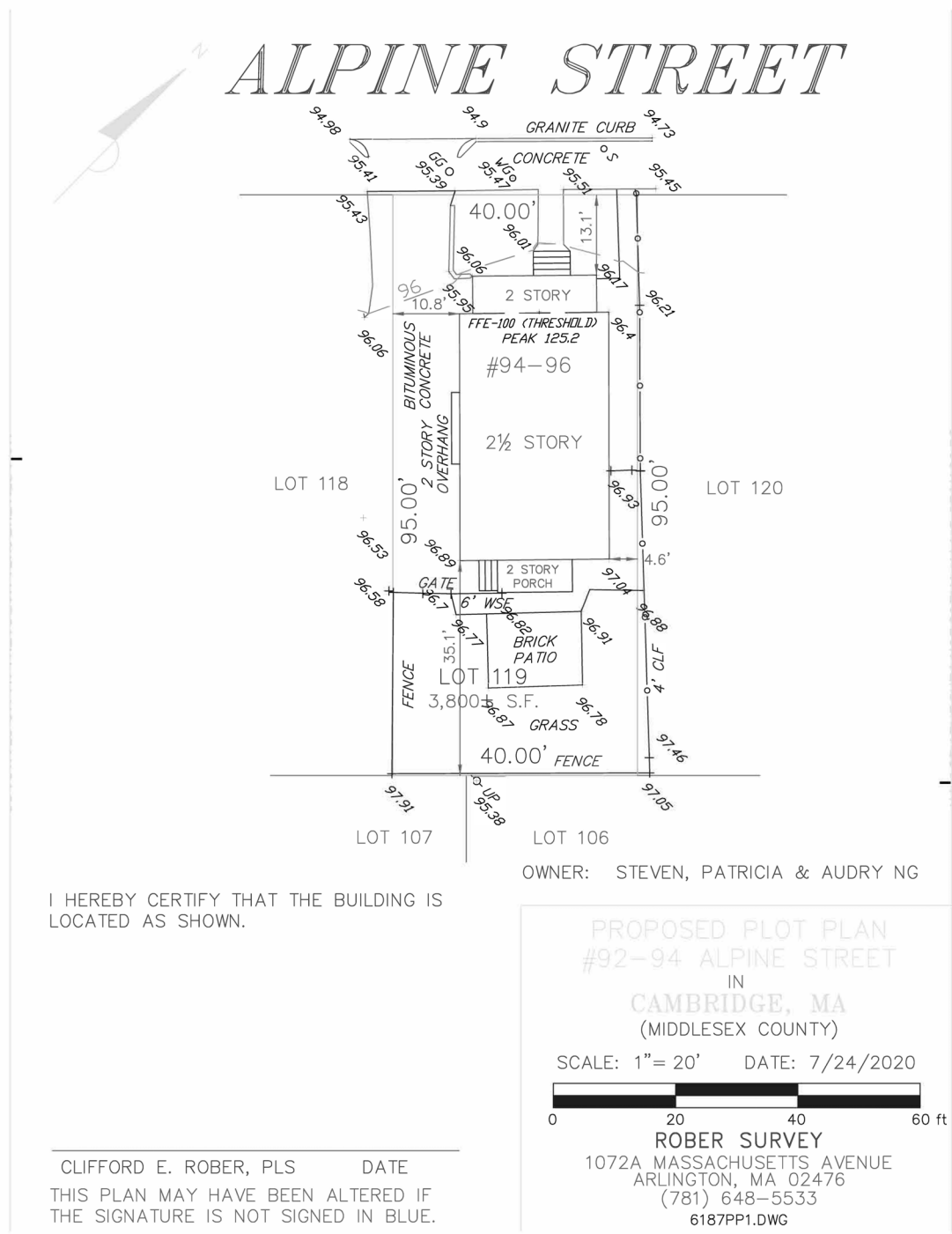
- ALL WORK SHALL BE CONSIDERED NEW, UNLESS OTHERWISE INDICATED.
- DO NOT SCALE DRAWINGS
- VERIFY DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION AND IMMEDIATELY REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- TO THE EXTENT PRACTICABLE, VERIFY DIMENSIONS AND FIELD CONDITIONS AT THE SITE PRIOR TO THE BID SUBMISSION. CONFLICTS, OMISSIONS AND DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED IN WRITING TO THE ARCHITECT, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PRIOR TO THE BID SUBMISSION. THE CONTRACTOR WARRANTS, BY TENDERING HIS BID, THAT THE WORK IS BUILDABLE AS SHOWN.
- LAYOUT ALL WORK WITHIN THE CONFINES OF EXISTING CONSTRUCTION AND RESOLVE DISCREPANCIES PRIOR TO INITIATION OF NEW WORK.
- ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION THAT IS STARTED PRIOR TO PERMIT BEING ISSUED.
- DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTION OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE HAND PLANS SECTIONS OR DETAILS, UNLESS NOTED OTHERWISE.
- TYPICAL OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONE TIME, WHEN THEY FIRST OCCUR.
- IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN PROJECT MANUAL, LARGE SCALE DRAWINGS, SMALL SCALE DRAWINGS AND DETAILS. THE CONTRACTOR SHALL NOT PROCEED WITH AFFECTED WORK UNTIL ARCHITECT PROVIDES CLARIFICATION.
- PARTITIONS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO MASONRY ARE TO ACTUAL FINISHED FACE, UNLESS OTHERWISE NOTED.
- VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMMUNICATING AND DISTRIBUTING ALL CONSTRUCTION DOCUMENT UPDATES TO ALL TRADES.
- WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE STATE, FEDERAL AND CITY/COUNTY CODES. STATE AND FEDERAL CODES ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS. IF ANY DISCREPANCY IS NOTED, IMMEDIATELY INFORM THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.
- FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT PERMITS, CONTROLLED INSPECTIONS, OTHER AGENCY APPROVALS AND PERMITS WHERE REQUIRED, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. COPIES OF TRANSACTIONS SHALL BE FORWARDED TO THE OWNER OR OWNER'S REPRESENTATIVE.
- EXECUTE INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
- WORK AREA SHALL BE MAINTAINED, CLEAN AND FREE OF DEBRIS AT ALL TIMES.
- PATCH ALL SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES.
- PATCH, REPAIR AND FINISH ALL SURFACES IN AREAS OUTSIDE OF THE EXISTING SCOPE THAT ARE DISTURBED AS A RESULT OF THE WORK.
- COORDINATE AND PROVIDE BLOCKING AND STRAPPING WITHIN PARTITIONS FOR MILLWORK AND OTHER WALL ATTACHED ITEMS.
- APPLY, INSTALL, CONNECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- GLASS 18" OR LESS FROM FLOOR LINE OR ADJACENT TO A DOOR SWING SHALL BE SAFETY GLASS AS REQUIRED BY APPLICABLE CODE(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING " SAFETY GLASS, UNLESS OTHERWISE NOTED, TO COMPLY WITH BUILDING AND LIFE SAFETY CODES, INDUSTRY STANDARDS AND OTHER APPLICABLE FEDERAL AND STATE CODES.
- FLASHING AT EXTERIOR WALLS SHALL BE INSTALLED WITH SEALED JOINTS. SEALED PENETRATIONS AND ENDS TURNED UP. IT SHALL BE FABRICATED AND INSTALLED TO ENSURE THAT MOISTURE IN WALLS WILL BE DIRECTED TO WICKS AND WEEP HOLES.
- COORDINATE ALL DIMENSIONS CONCERNING DOORS/PANELS/WINDOWS, STAIRS AND THEIR OPENINGS WITH PRODUCT MANUFACTURERS PRIOR TO FABRICATION AND CONSTRUCTION.
- PROVIDE WEATHERSTRIP AT EXTERIOR DOORS.
- PROVIDE FLASHING AND/OR SEALANT AT OPENINGS IN ROOF OR WALLS TO ENSURE A WEATHERTIGHT BUILDING.
- LOCATE THERMOSTATS ADJACENT TO SWITCH PLATES WHERE POSSIBLE. VERIFY LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION TO AVOID CONFLICTS WITH BUILT-INS OR SYSTEMS FURNITURE OR DESIGN ELEMENTS.
- ALIGN OUTLETS, WALL SWITCHES, TEL-DATA JACKS, ETC., INDICATED TO BE MOUNTED AT NEAR EQUIVALENT ELEVATIONS.
- ALL DOORS SHALL BE LOCATED 6" OFF THE ADJACENT PARTITION, OR ONE MASONRY COURSE AT CMU PARTITIONS, UNLESS NOTED OTHERWISE.
- DURING DEMOLITION AND CONSTRUCTION PROTECT ALL EXISTING FINISHES TO REMAIN.
- ALL WOOD SHALL BE FSC CERTIFIED.
- ALL WOOD FRAMING SIZES ARE BASED ON SPF-S5
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED (P.T.).
- CORRECT ALL DEFECTS FOUND IN EXISTING BUILDING WHICH INTERFERE WITH NEW CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO UNEVEN SURFACES AND FINISHES AT GWB.

- 1 P-GENERAL NOTES
1 1/2" = 1'-0"



2 P-SITE PLAN
1 1/2" = 1'-0"

2 P-MATERIALS
1 1/2" = 1'-0"



2 P-PROPERTY BOUNDARY
1 1/2" = 1'-0"

3 P-SYMBOLS
1 1/2" = 1'-0"



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REGISTRATIONS:

STRUCTURAL ENGINEER:

GENERAL NOTES

STEVE & TRISH NG

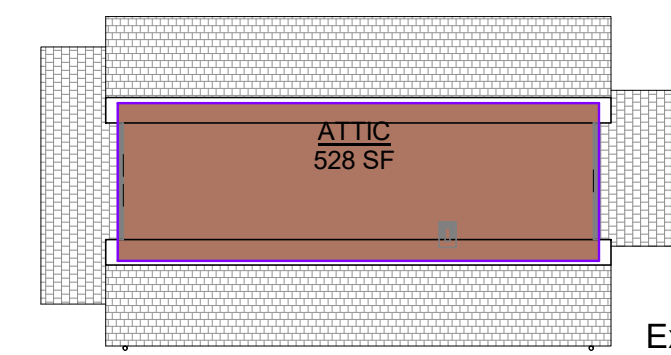
NG RESIDENCE

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| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
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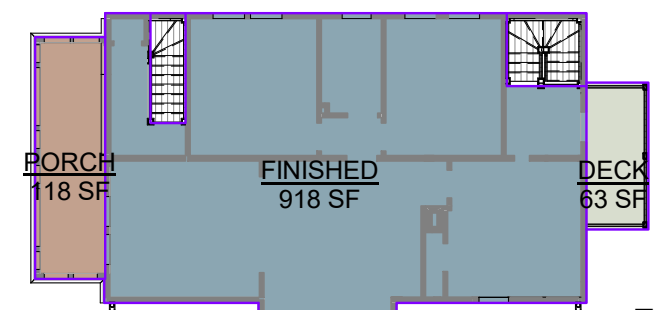
P-001

Scale 1 1/2" = 1'-0"



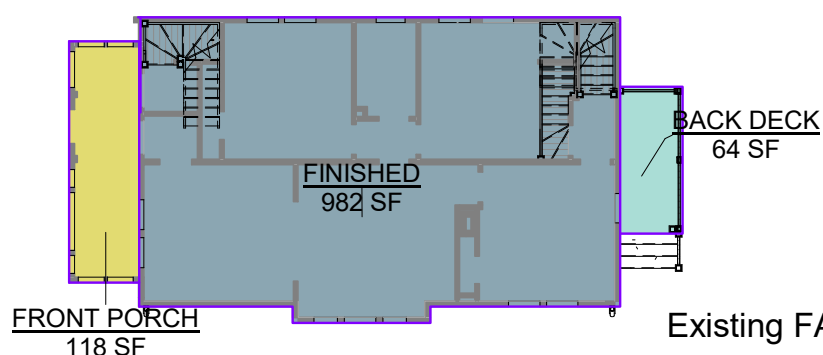
Floor plan of the second floor. The plan shows a large rectangular area labeled "FINISHED 925 SF" in green. To the left of this area is a light blue rectangular area labeled "DECK 141 SF". A staircase is located at the top left of the finished area. The entire floor is outlined in purple.

⑤ P-PROPOSED LEVEL 3
1/16" = 1'-0"



Floor plan of the second floor. The main area is labeled "FINISHED 1073 SF". A small area on the right is labeled "DECK 79 SF". The plan shows a staircase, a bathroom, and a kitchen area.

⑧ P-EXISTING LEVEL 2
1/16" = 1'-0"



FIRST FLOOR

STAIRWELL
55 SF

DECK
84 SF

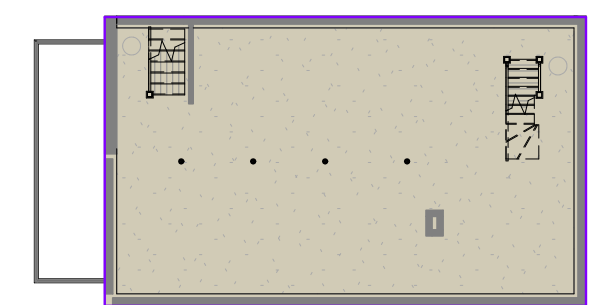
FINISHED
1000 SF

PORCH

North Arrow

Scale: 1" = 4'-0"

⑦ P-EXISTING LEVEL 1
1/16" = 1'-0"



⑥ P-EXISTING LEVEL 0
1/16" = 1'-0"

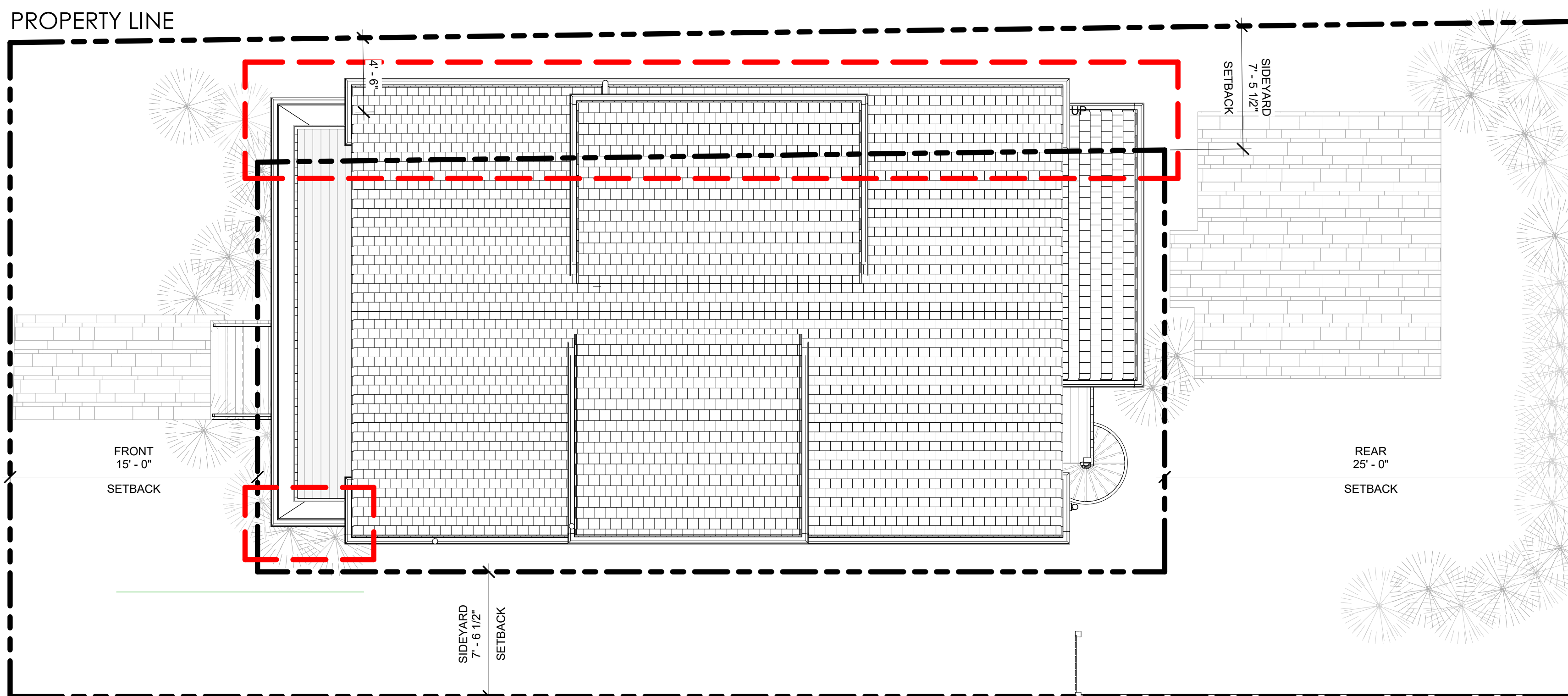
② P-PROPOSED LEVEL 0
1/16" = 1'-0"

| | | | | |
|------------------|--------|--|---|----------|
| PROPOSED LEVEL 3 | 925 SF | | 1 | FINISHED |
| 3285 SF | | | | |

PROPOSED FAR INCREASE = .13

PROPOSED FAR INCREASE = .13

INCREASE ROOF HEIGHT= 6' - 0"



① P-PROPOSED SITE
3/16" = 1'-0"

STRUCTURAL ENGINEER:

PLOT PLAN & AREA PLAN

STEVE & TRISH NG

NG RESIDENCE

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| Project Status | BZA SUBMISSION SET |
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P-002

| Scale | As indicated |
|-------|--------------|
|-------|--------------|

EXISTING



PROPOSED



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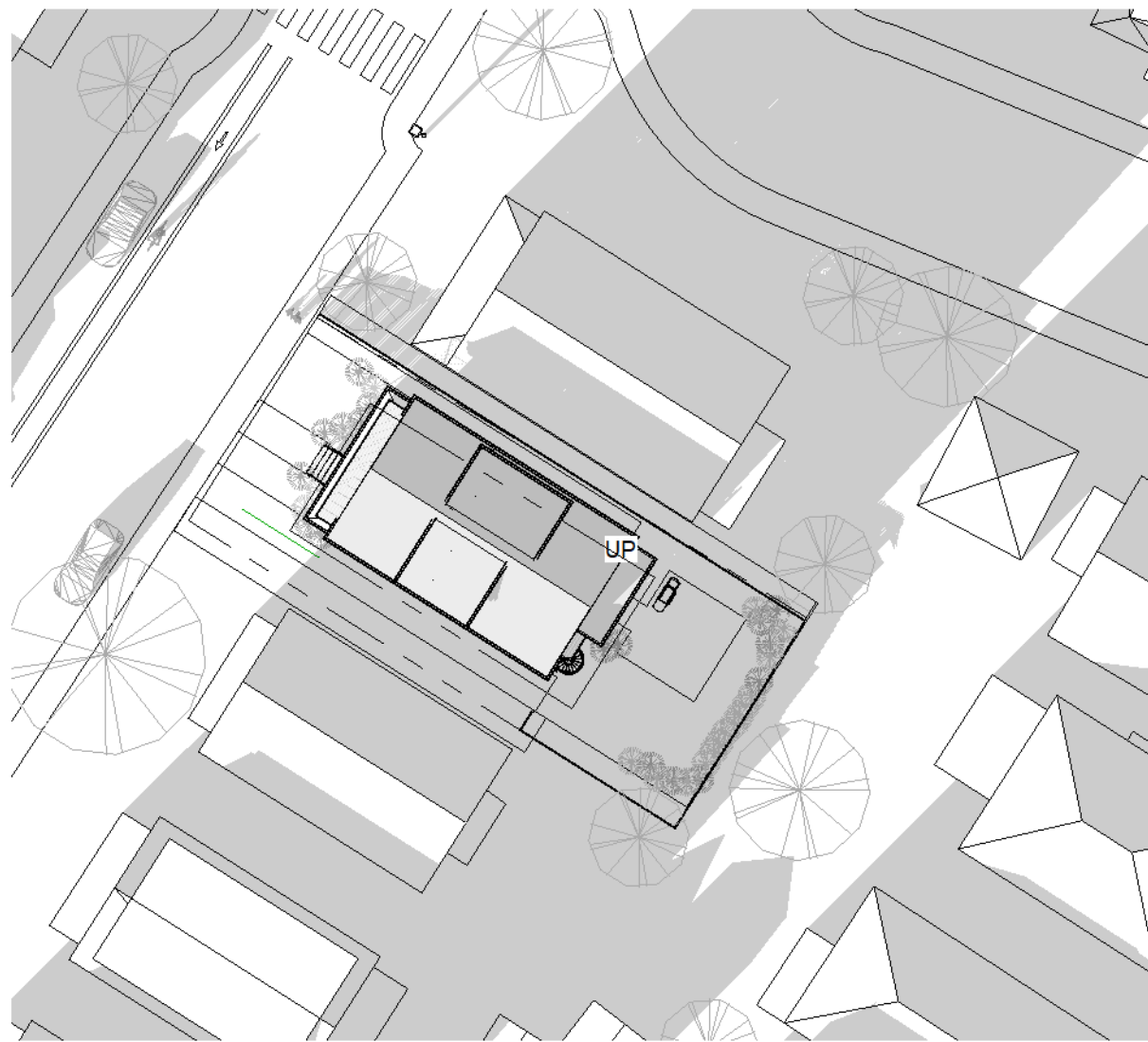
STRUCTURAL ENGINEER:

STEVE & TRISH NG
NG RESIDENCE
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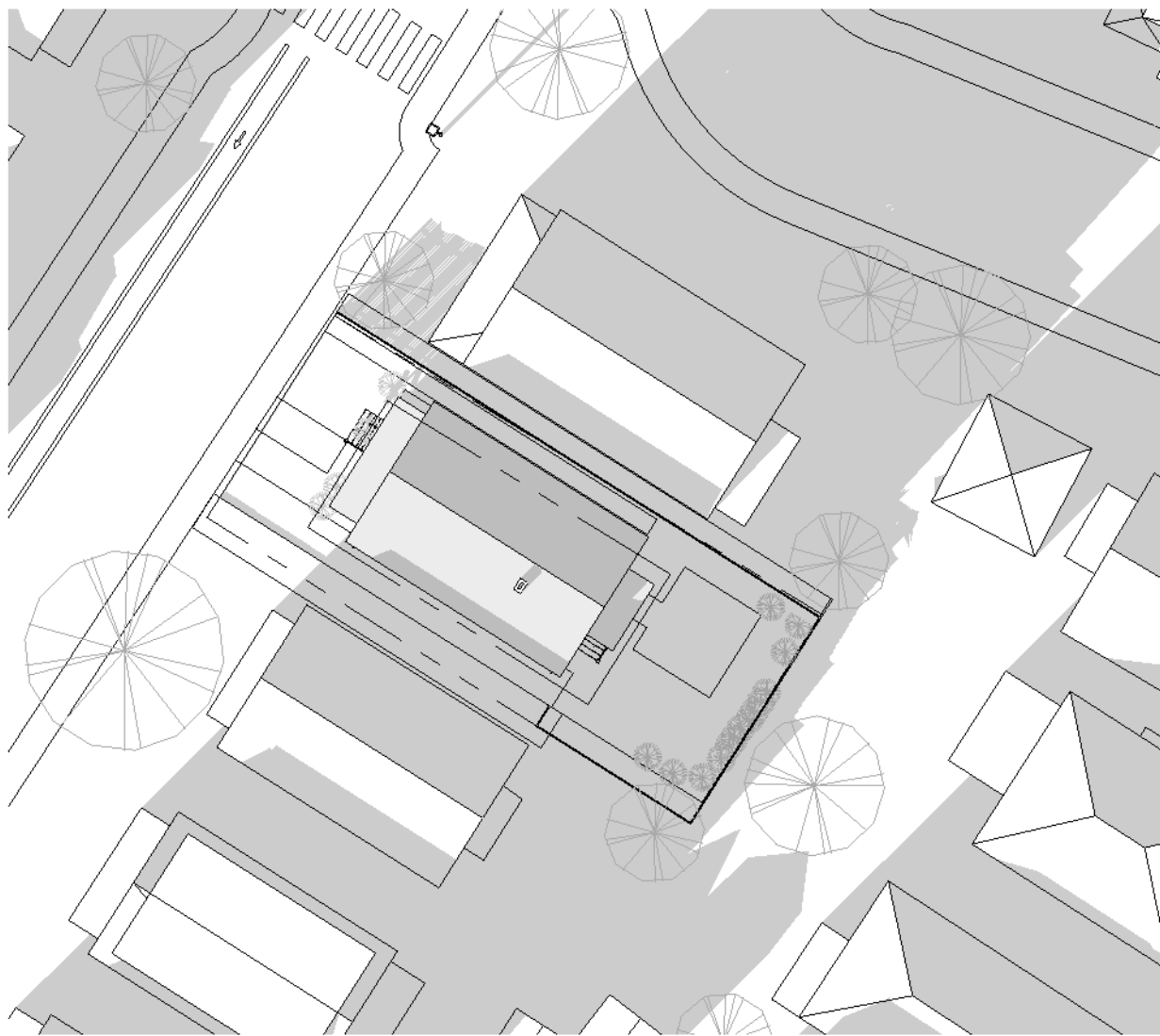
Project Status BZA SUBMISSION SET
Project number Project Number
Date 11/13/2020
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P-003
Scale

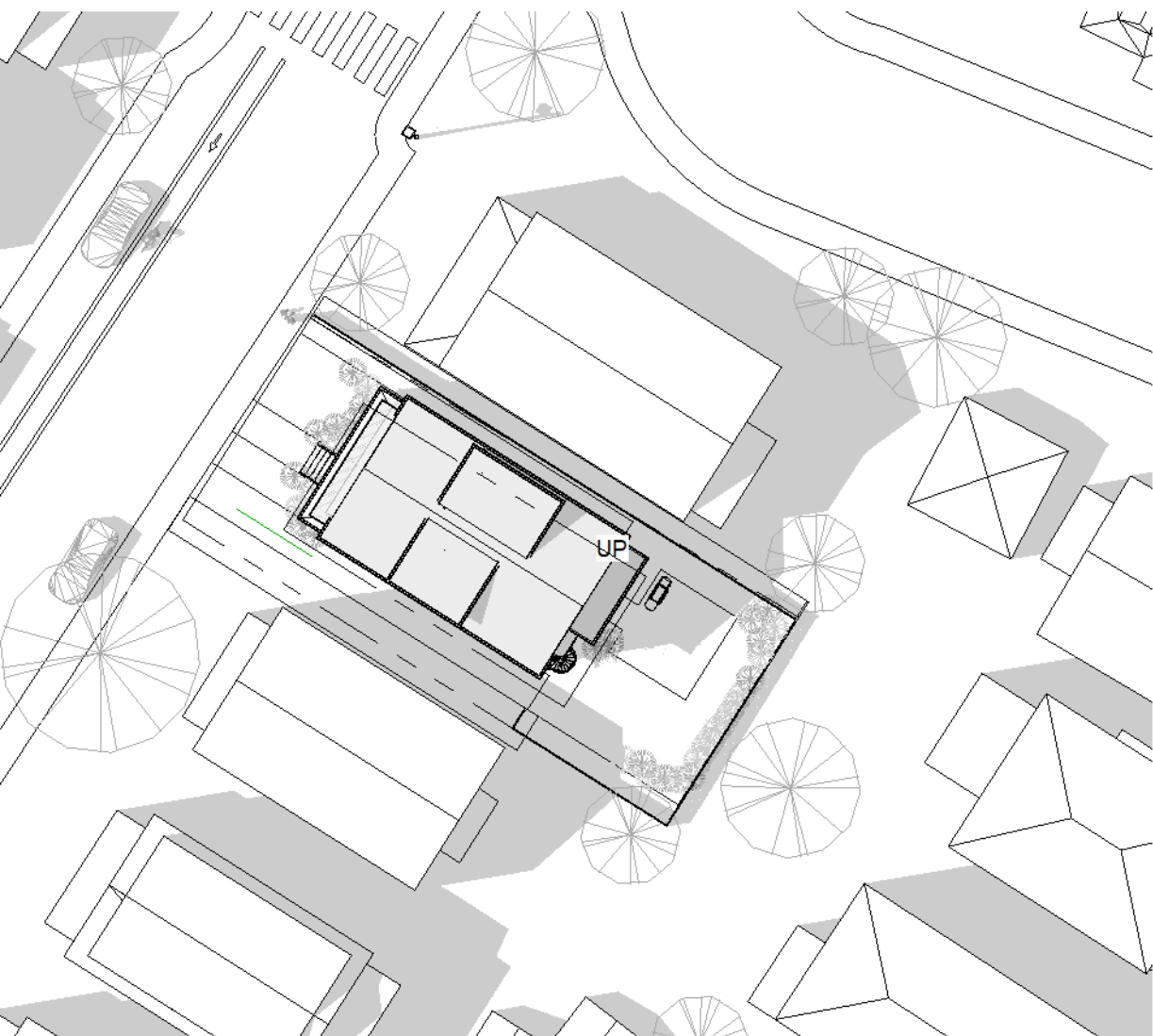
AFTERNOON - 3PM



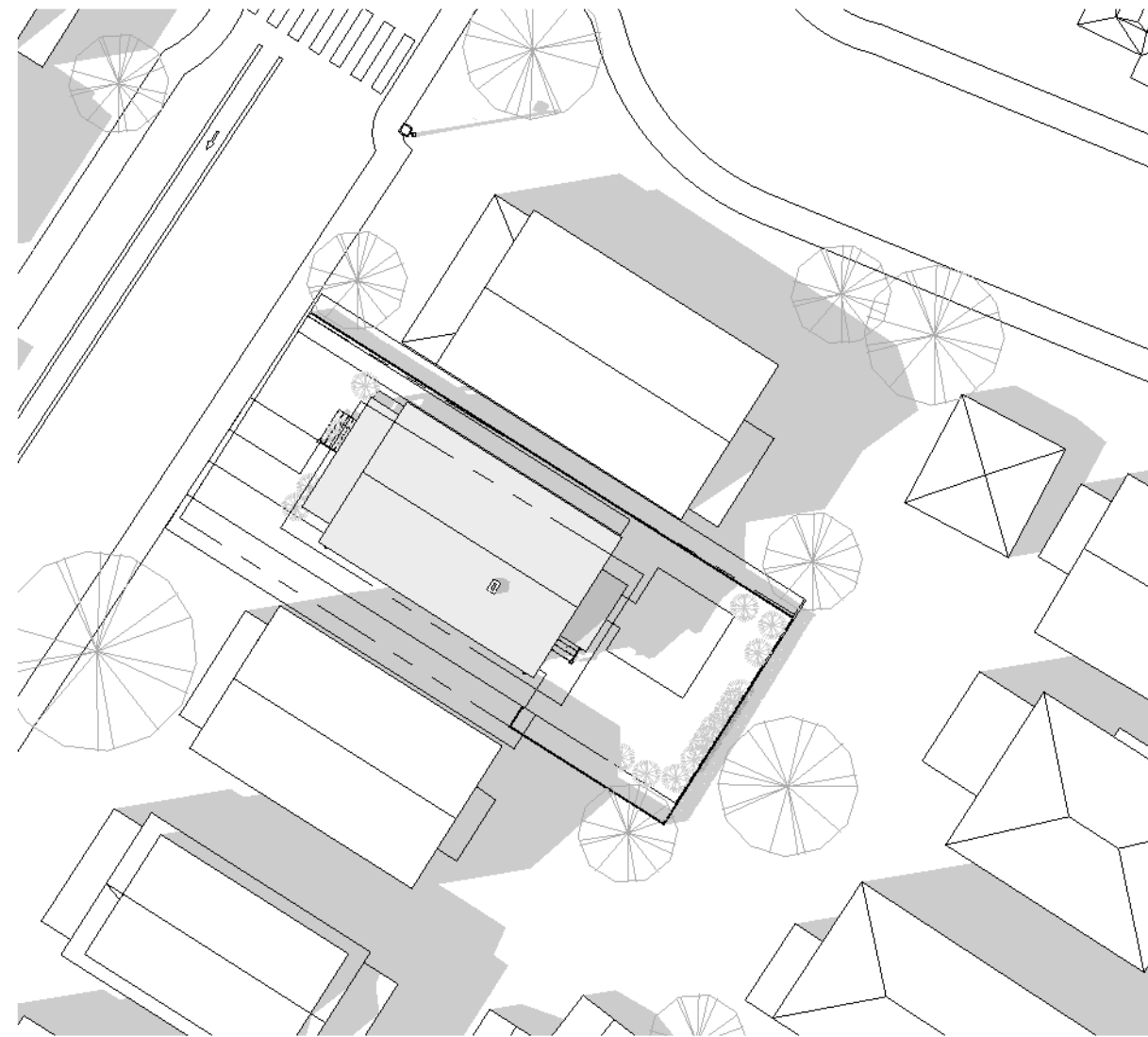
BZA - SITE PLAN - PROPOSED WINTER
3PM
1" = 30'-0"



BZA - SITE PLAN - EXISTING WINTER
3PM
1" = 30'-0"

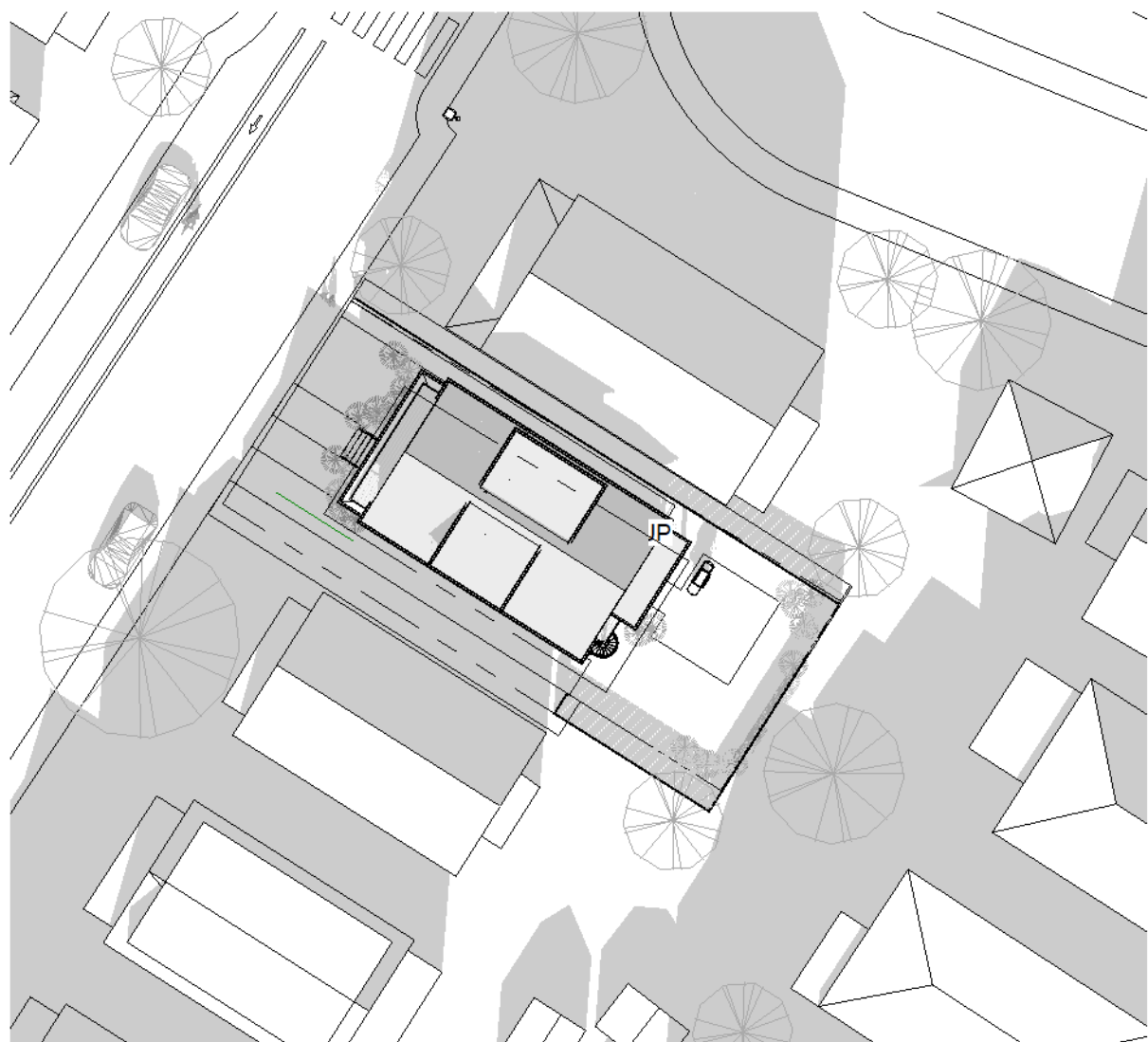


BZA - SITE PLAN - PROPOSED SUMMER
3PM
1" = 30'-0"



BZA - SITE PLAN - EXISTING SUMMER
3PM
1" = 30'-0"

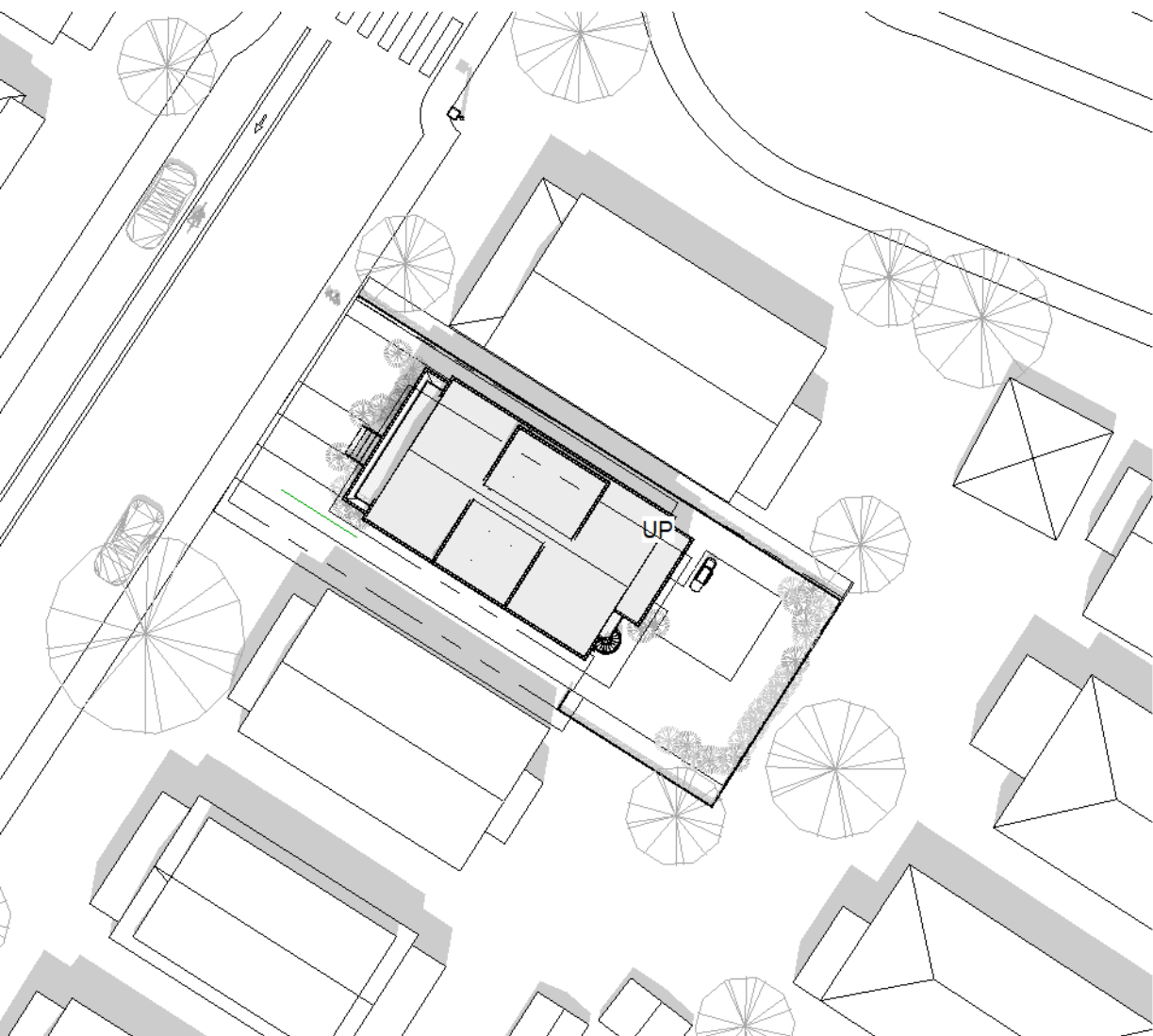
NOON - 12PM



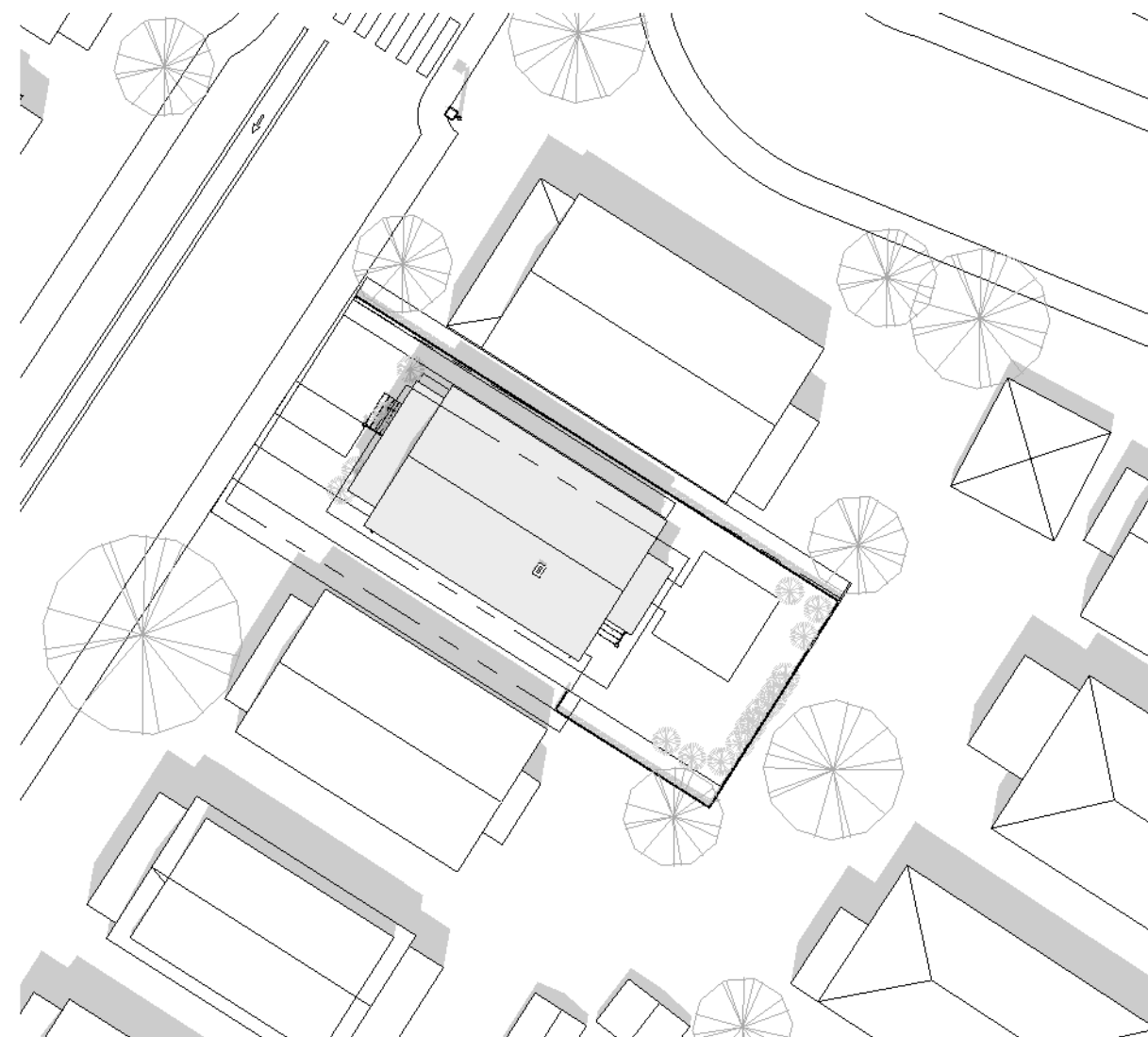
BZA - SITE PLAN - PROPOSED WINTER
12PM
1" = 30'-0"



BZA - SITE PLAN - EXISTING WINTER
12PM
1" = 30'-0"

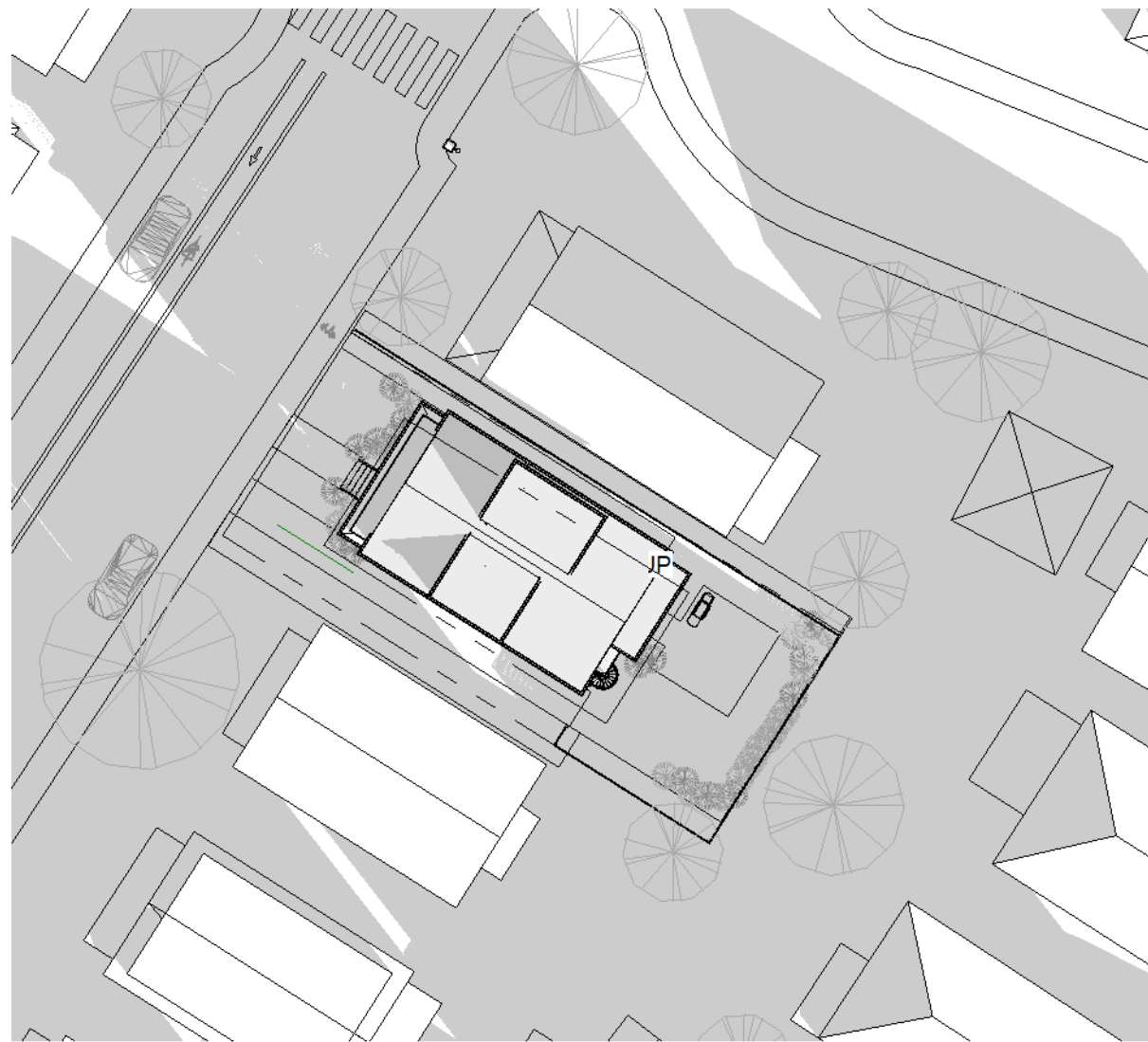


BZA - SITE PLAN - PROPOSED SUMMER
12PM
1" = 30'-0"

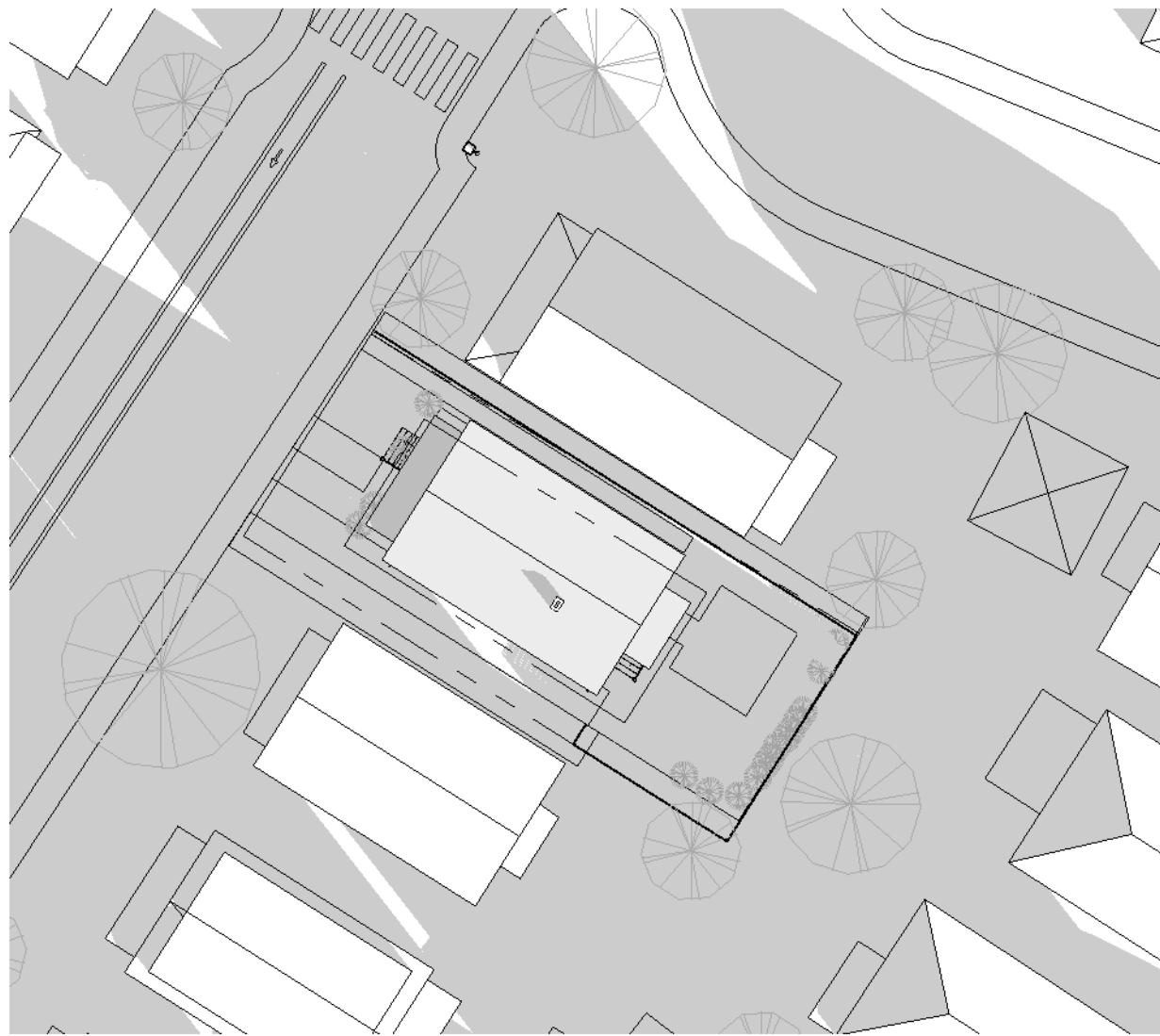


BZA - SITE PLAN - EXISTING SUMMER
12PM
1" = 30'-0"

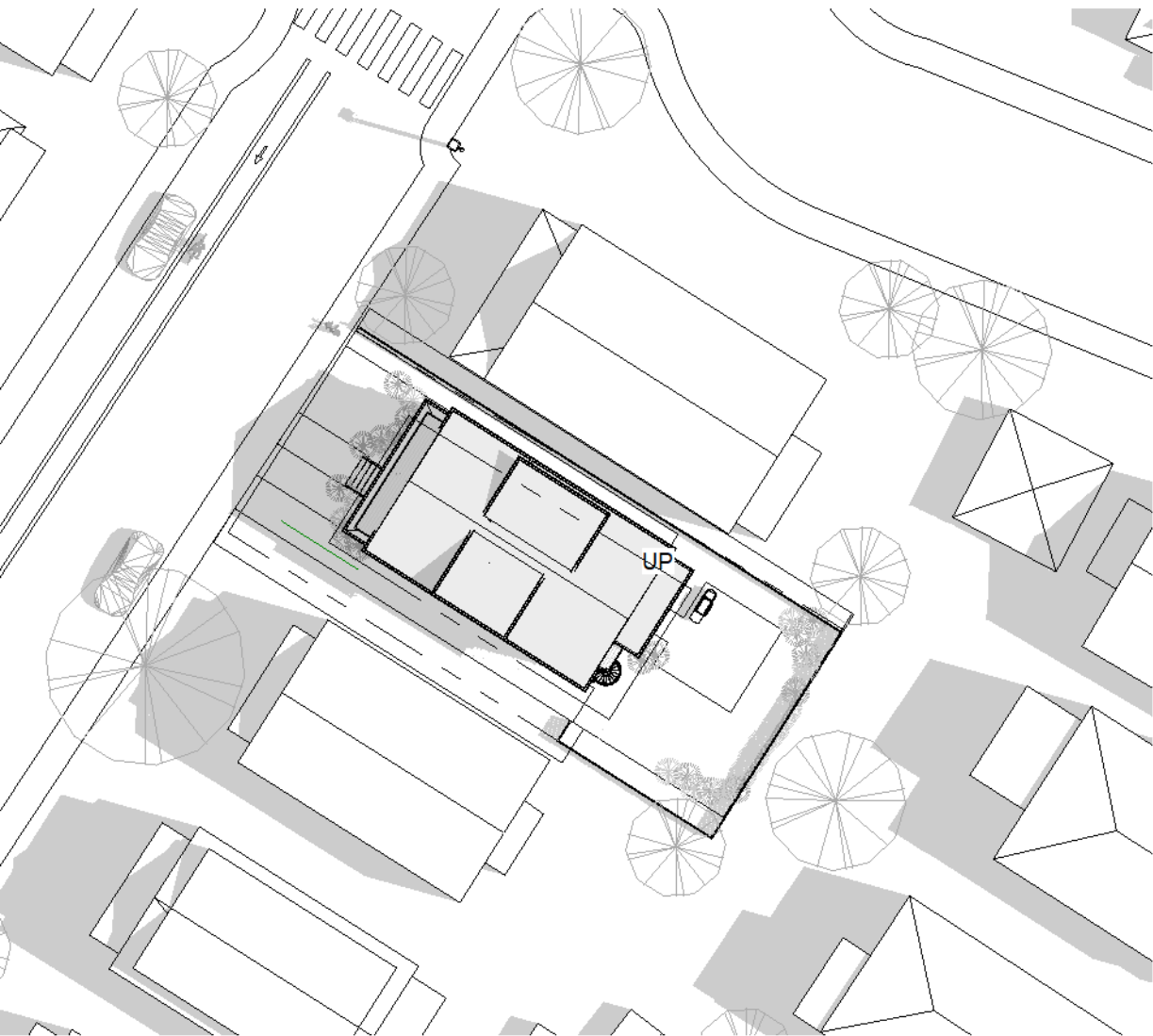
MORNING - 9AM



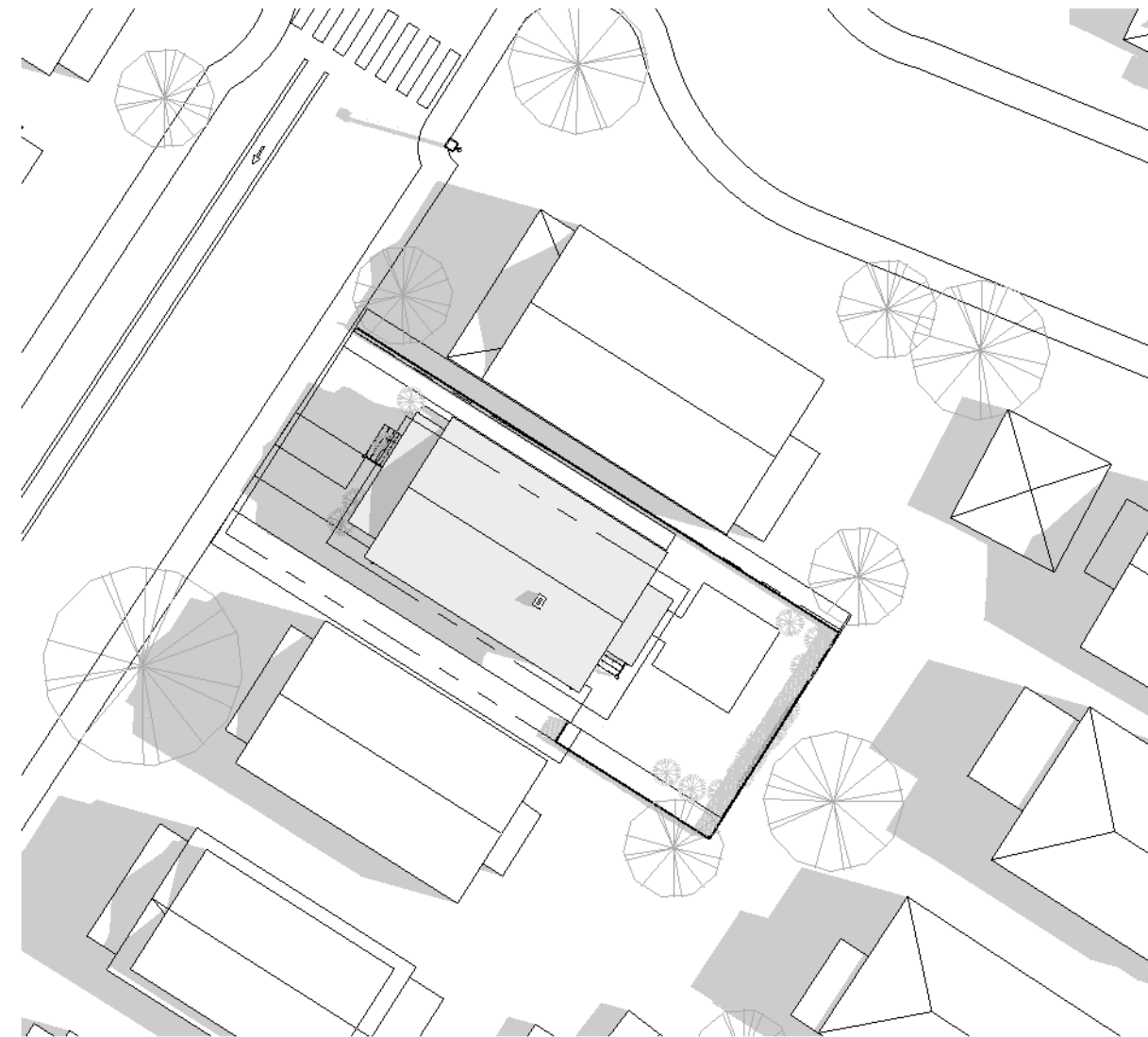
BZA - SITE PLAN - PROPOSED WINTER
9AM
1" = 30'-0"



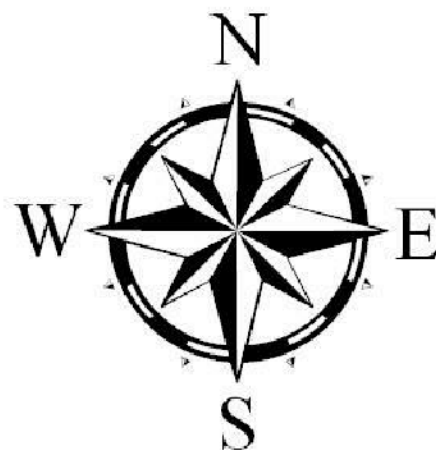
BZA - SITE PLAN - EXISTING WINTER
9AM
1" = 30'-0"



BZA - SITE PLAN - PROPOSED SUMMER
9AM
1" = 30'-0"



BZA - SITE PLAN - EXISTING SUMMER
9AM
1" = 30'-0"



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SHADOW STUDY

STEVE & TRISH NG

NG RESIDENCE

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P-004

Scale 1" = 30'-0"



EXISTING STREETSCAPE AT ALPINE ST.



PROPOSED STREETSCAPE AT ALPINE ST.



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STRUCTURAL ENGINEER:

STREET VIEW PERSPECTIVE

STEVE & TRISH NG

NG RESIDENCE

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P-005

Scale



EXISTING STREETScape AT ALPINE ST.



PROPOSED STREETScape AT ALPINE ST.



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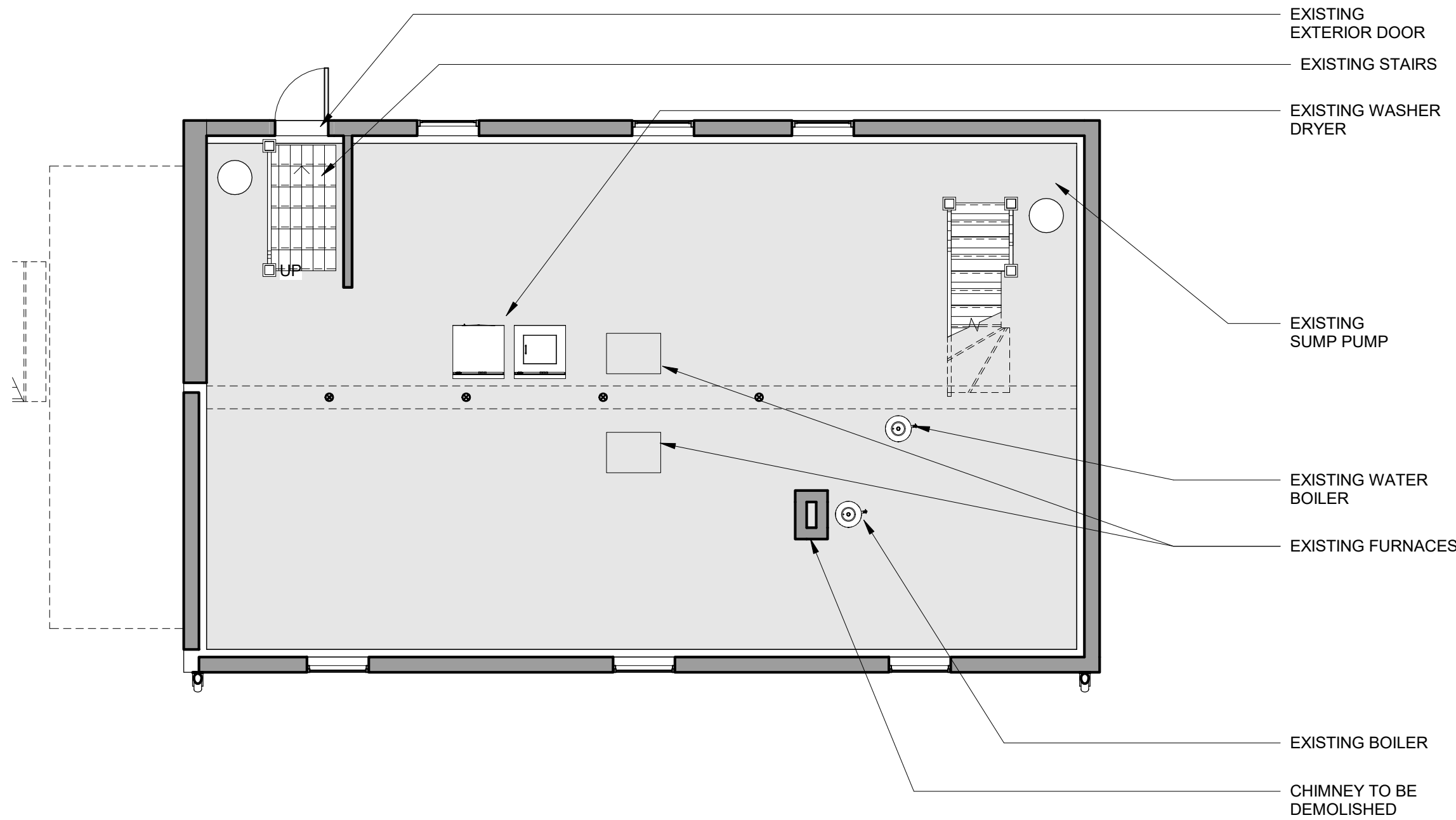
STRUCTURAL ENGINEER:

STREET VIEW PERSPECTIVE

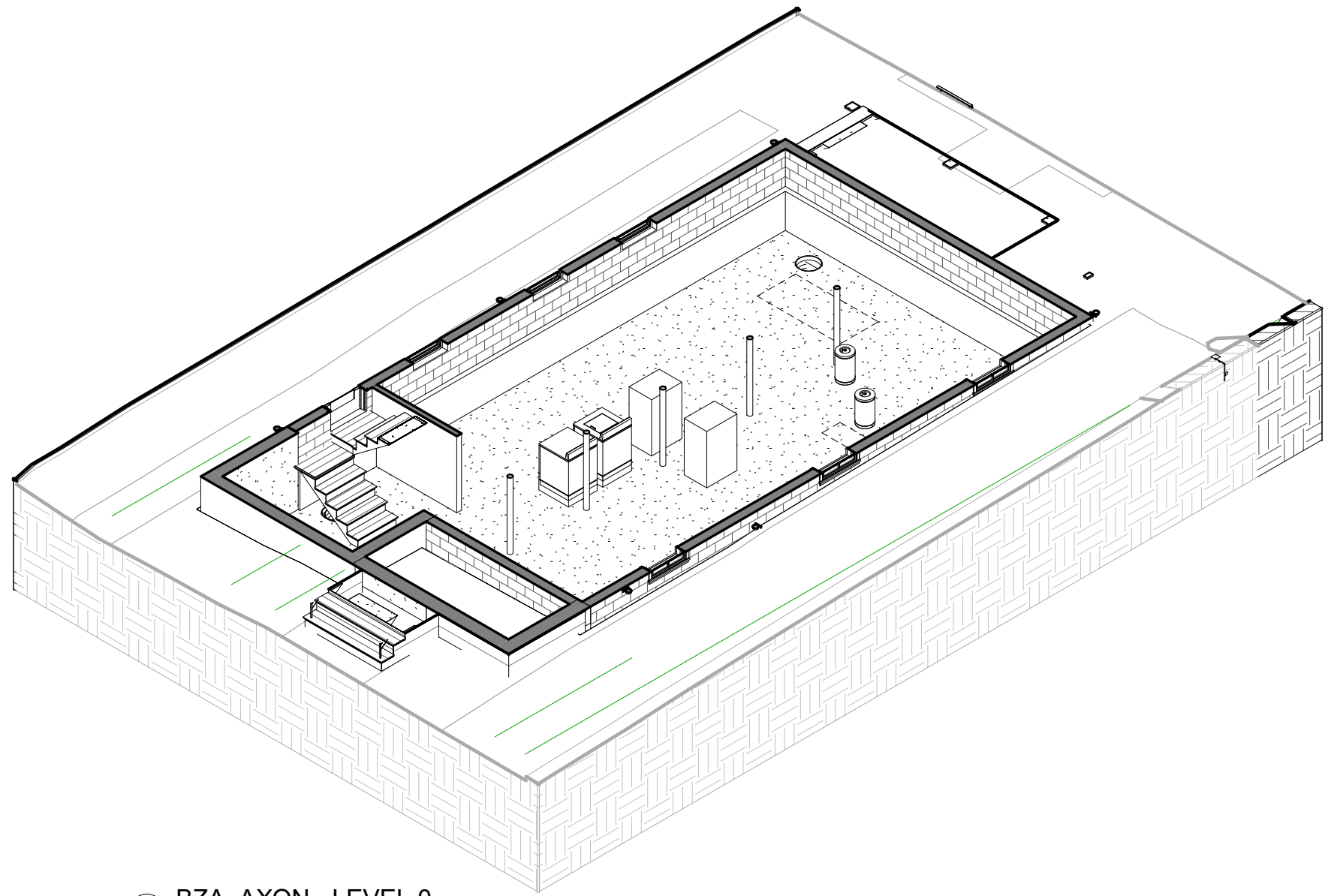
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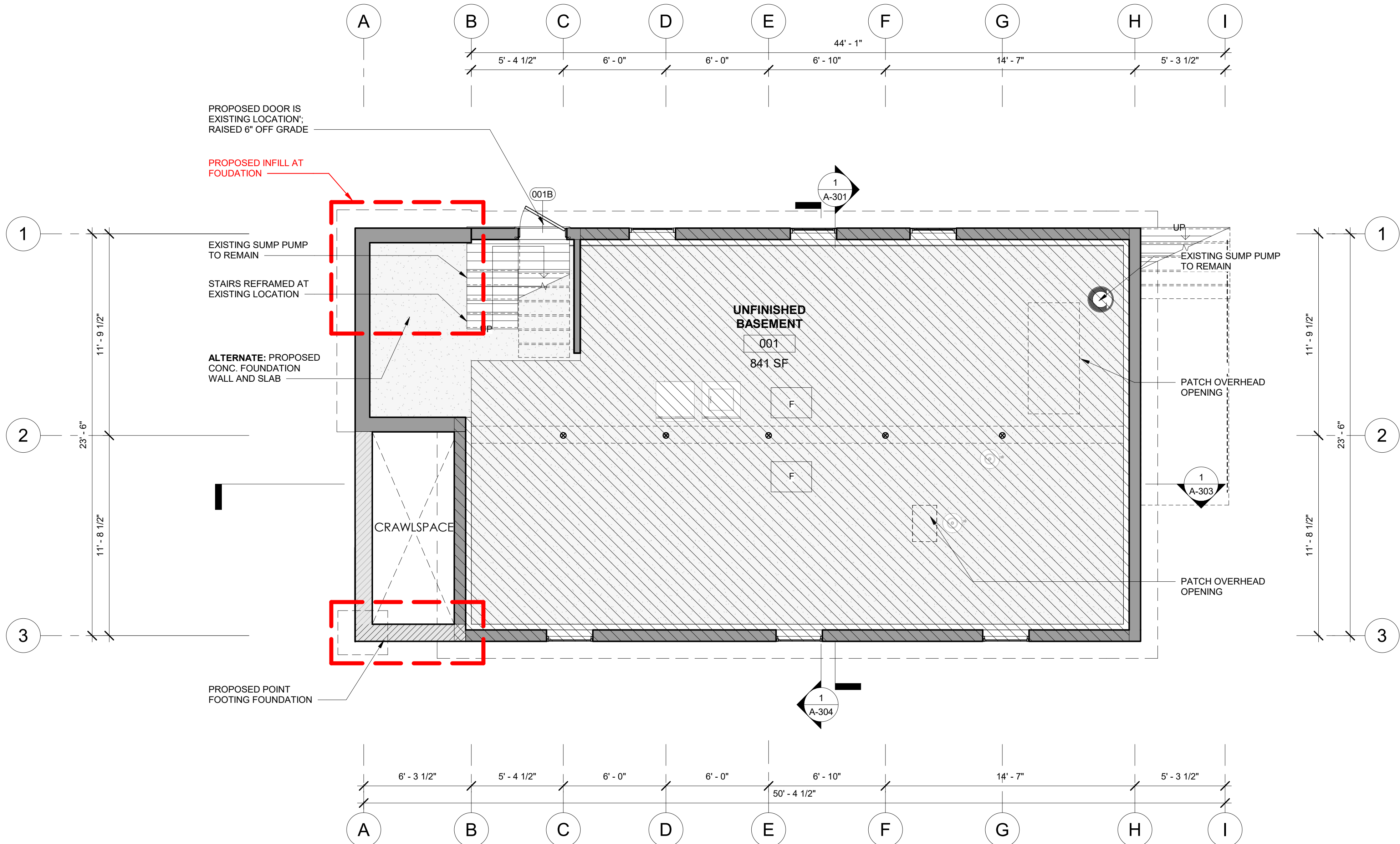
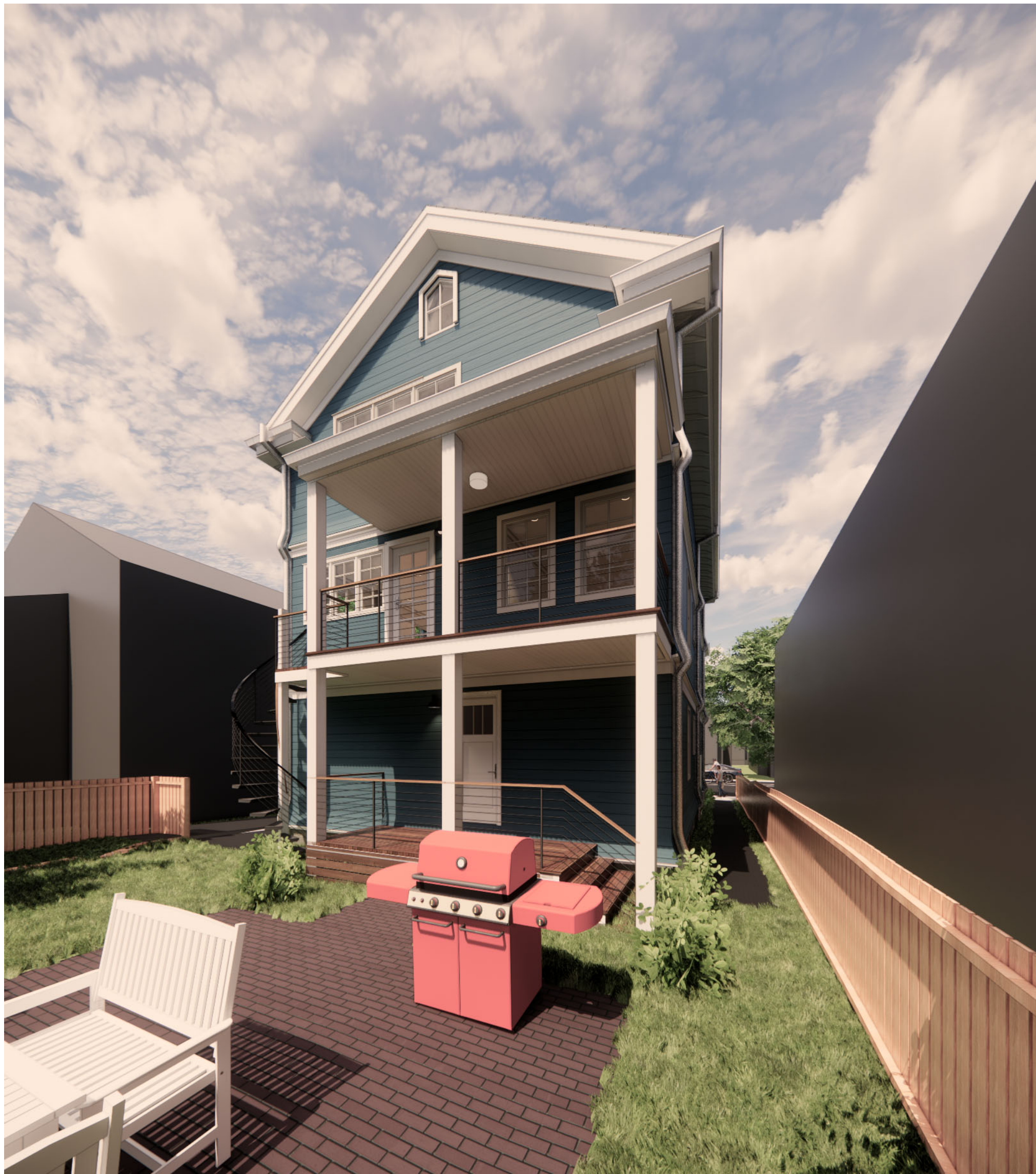
P-006
Scale



1 BZA_EXISTING LEVEL 0
3/16" = 1'-0"



3 BZA_AXON - LEVEL 0



2 BZA_PROPOSED LEVEL 0
1/4" = 1'-0"



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PROPOSED LEVEL 0

STEVE & TRISH NG

NG RESIDENCE

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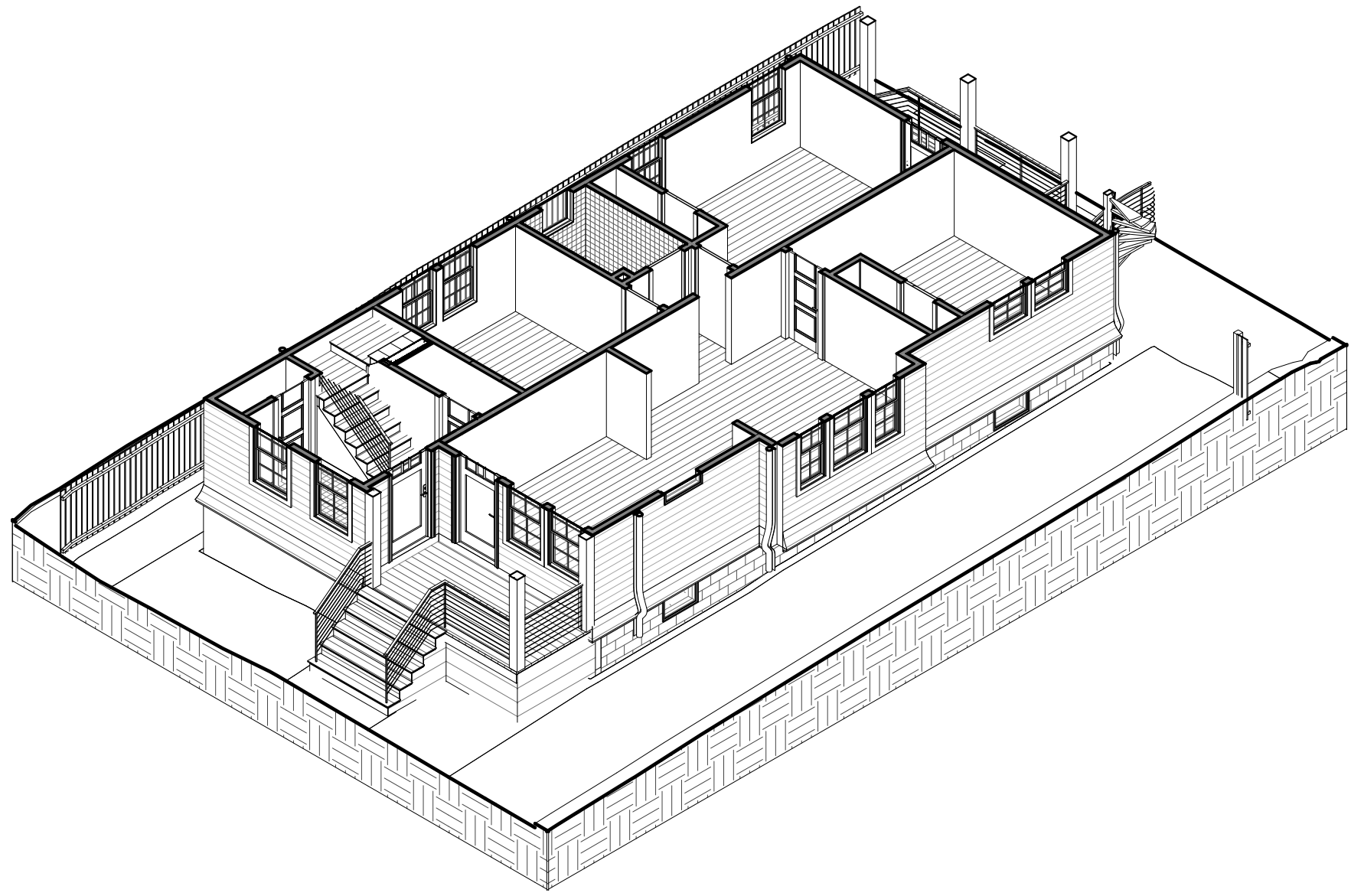
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P-100

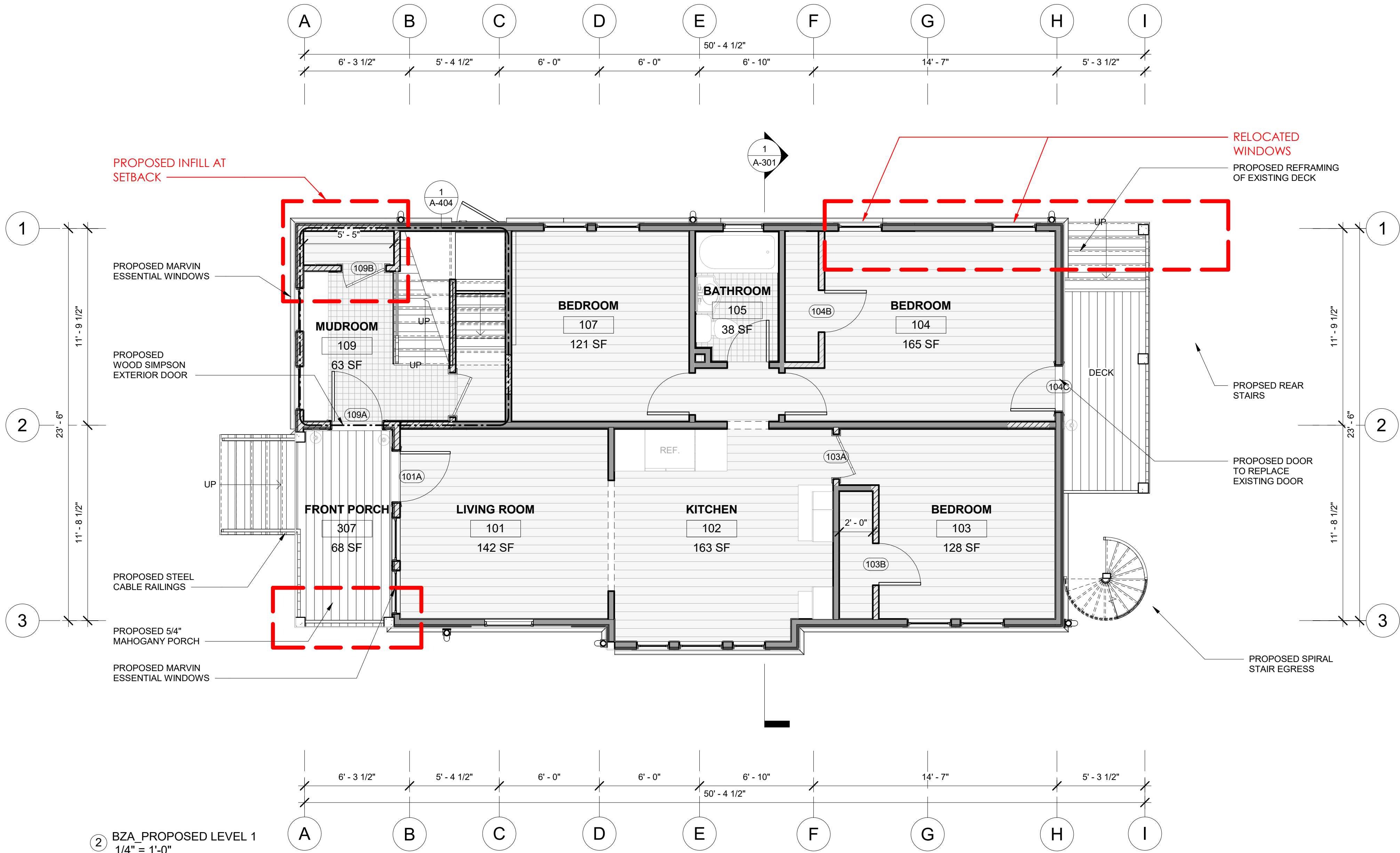
Scale As indicated



1 BZA_EXISTING LEVEL 1
3/16" = 1'-0"



3 BZA_AXON - PROPOSED LEVEL 1



2 BZA_PROPOSED LEVEL 1
1/4" = 1'-0"

PROPOSED LEVEL 1

STEVE & TRISH NG

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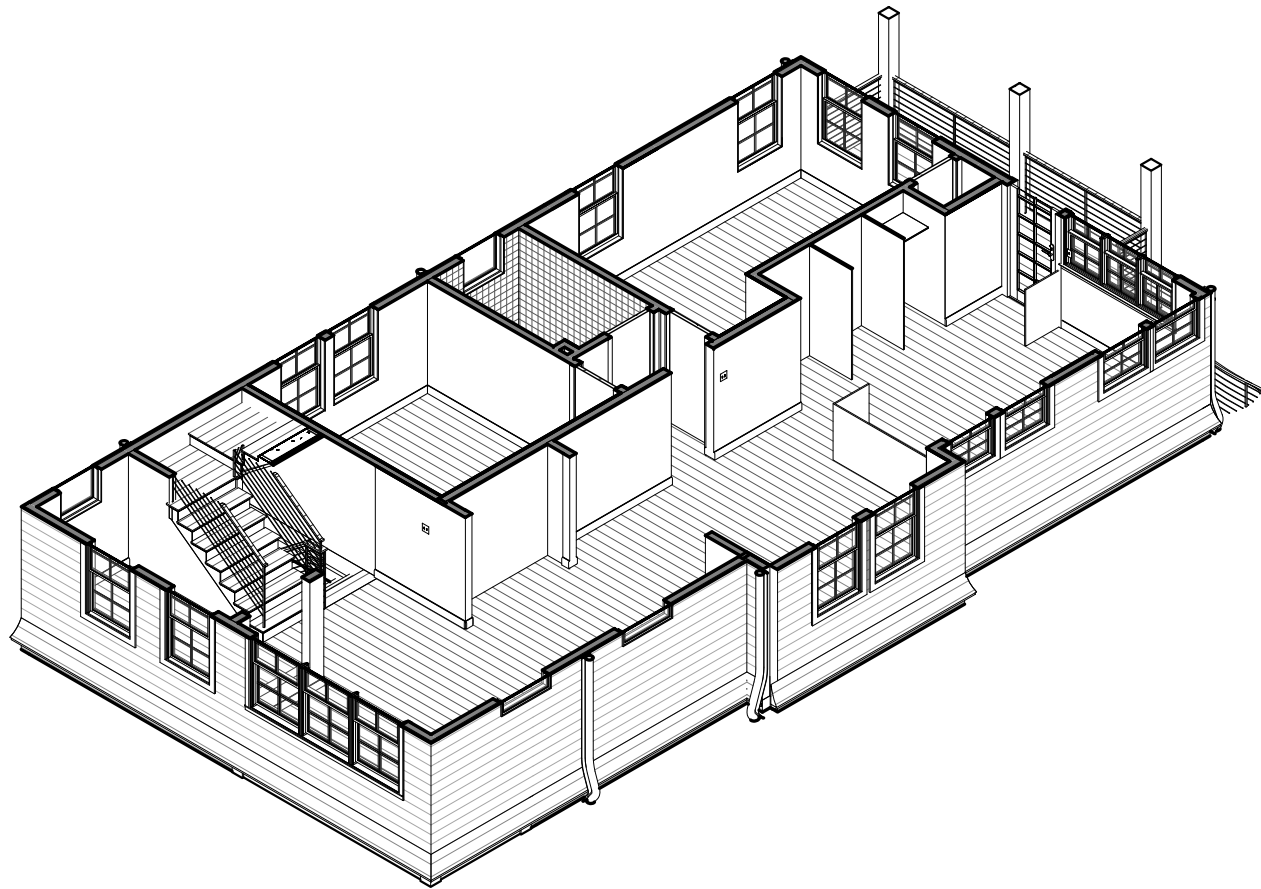
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P-101

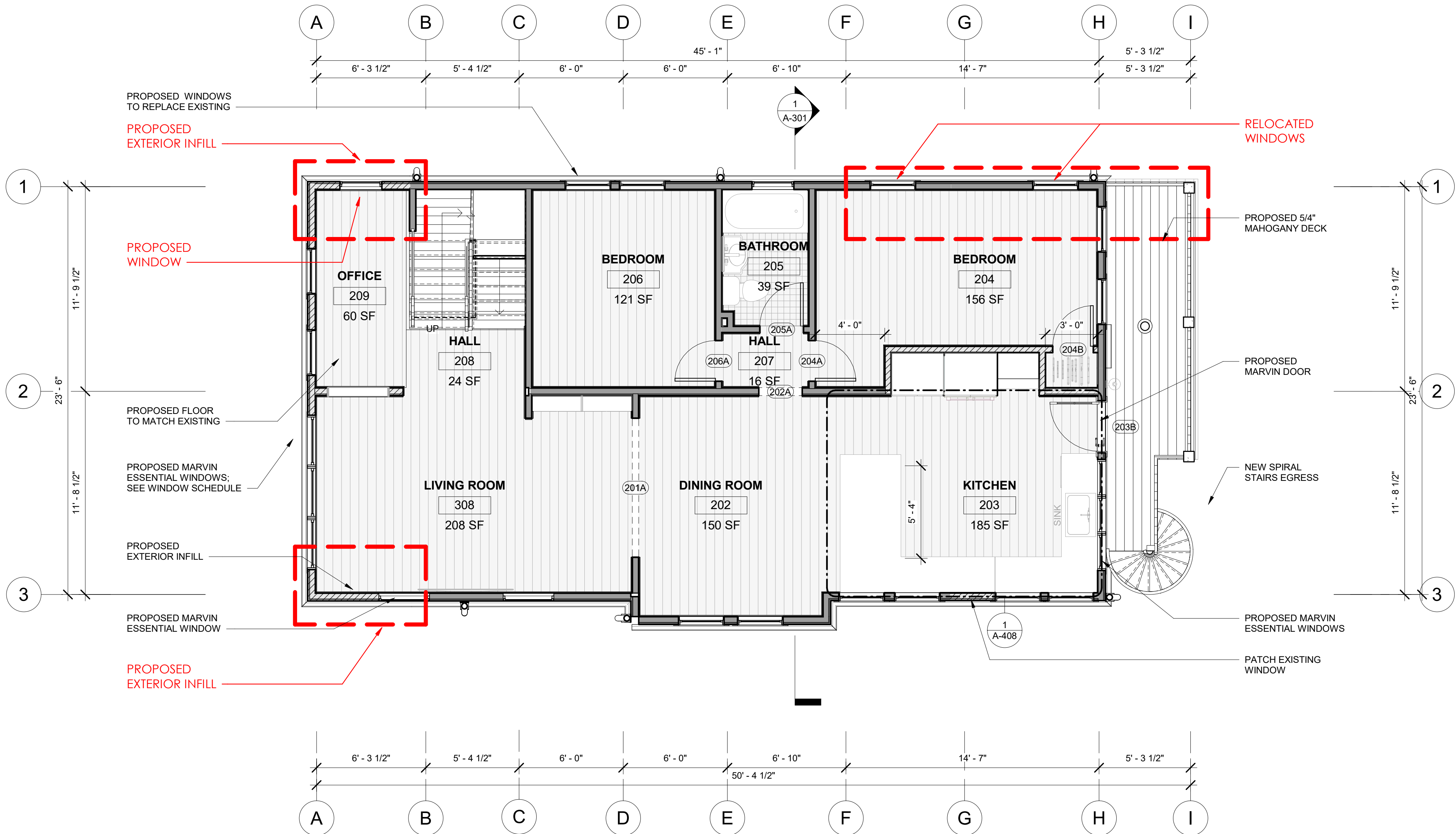
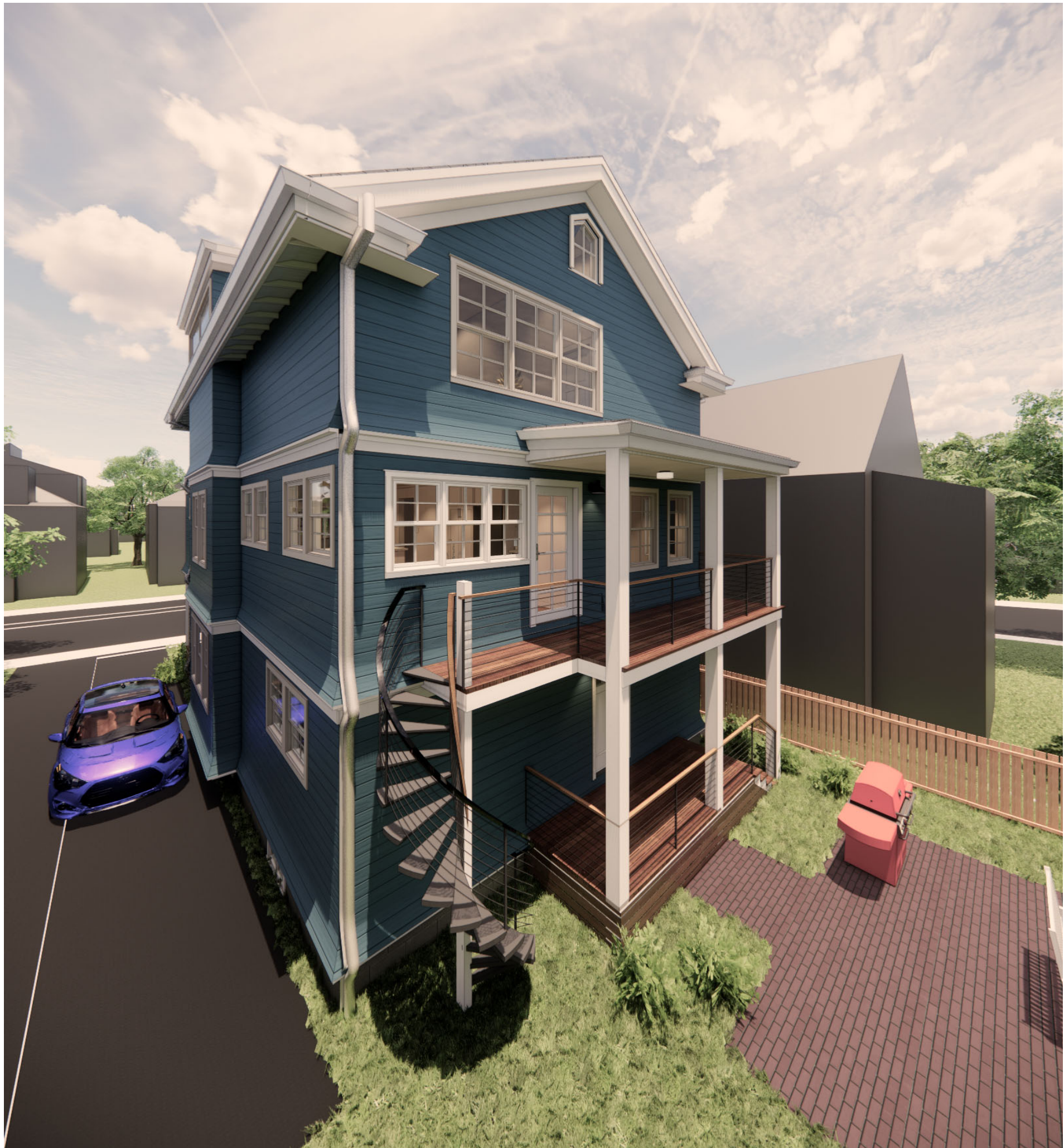
Scale As indicated



1 BZA_EXISTING LEVEL 2
3/16" = 1'-0"



3 BZA_AXON - PROPOSED LEVEL 2



2 BZA_PROPOSED LEVEL 2
1/4" = 1'-0"



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PROPOSED LEVEL 2

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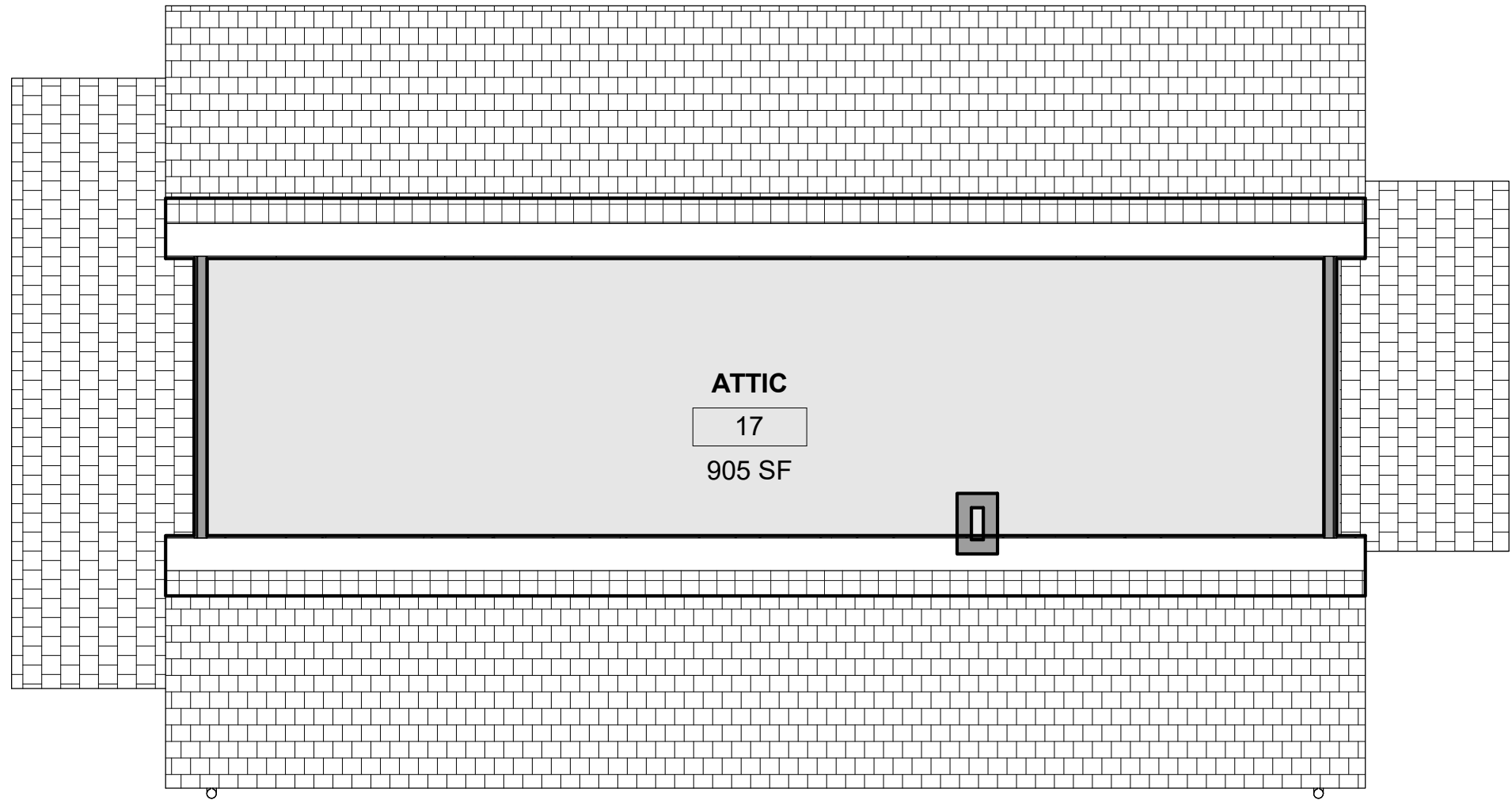
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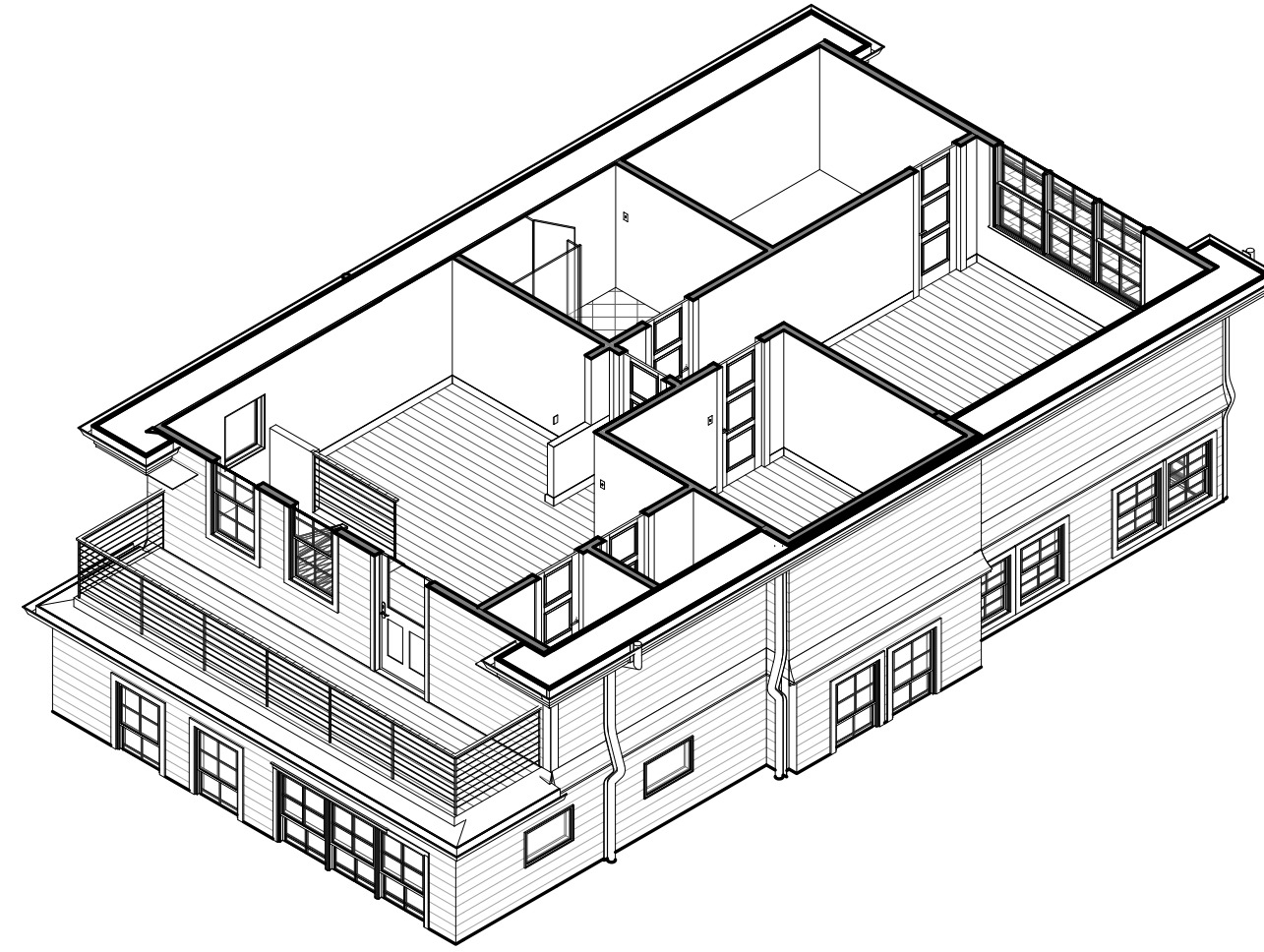
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| Project Status | BZA SUBMISSION SET |
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P-102

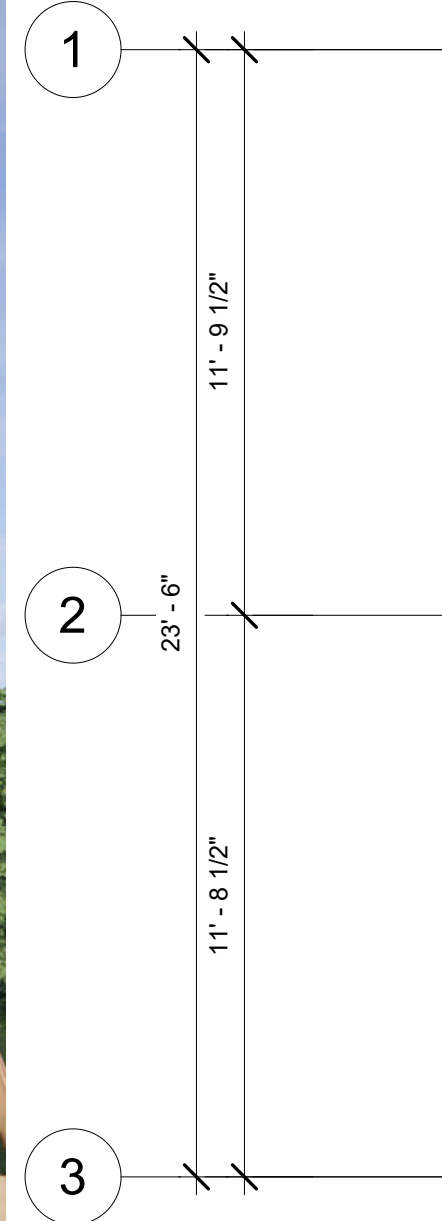
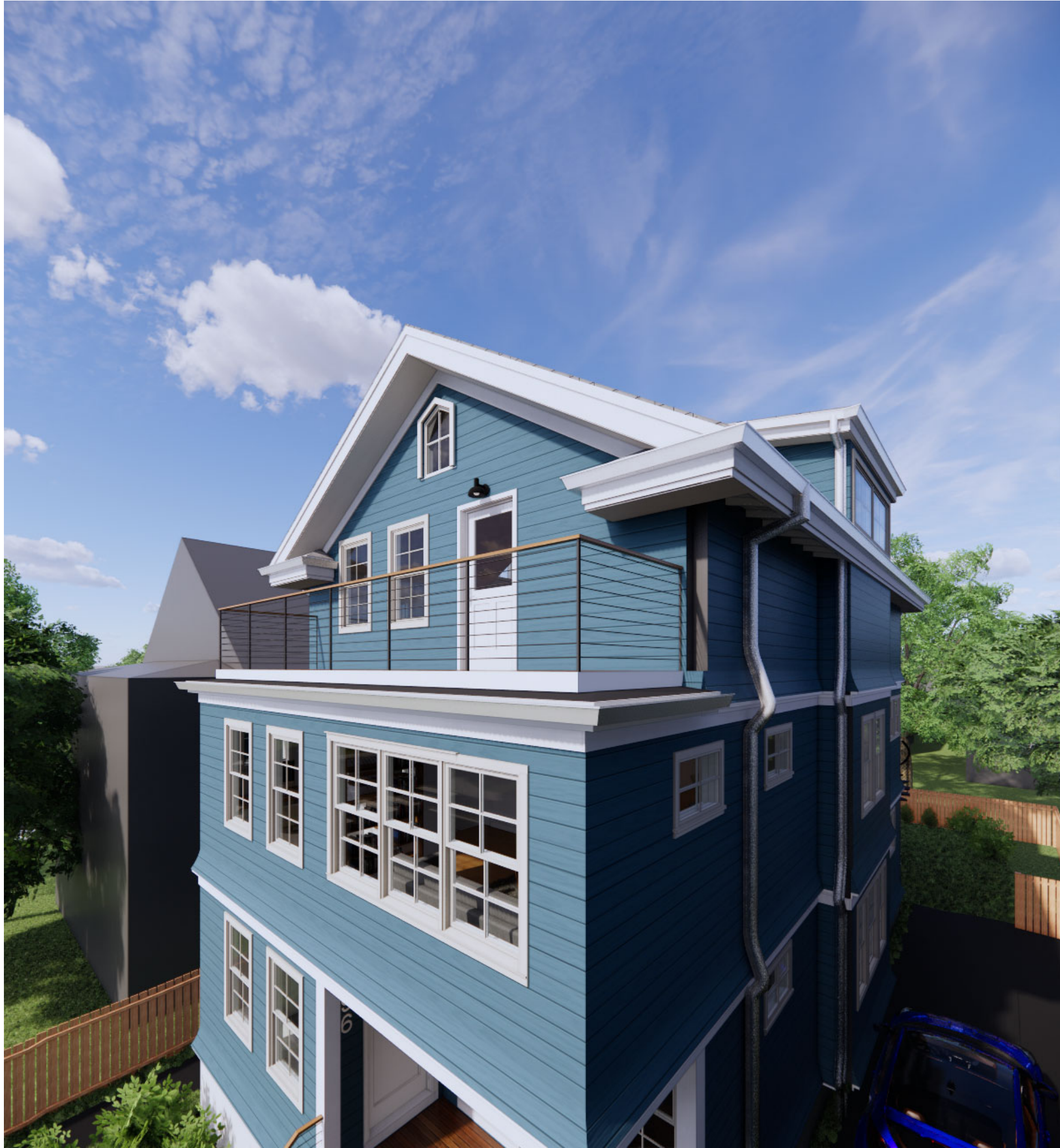
Scale As indicated



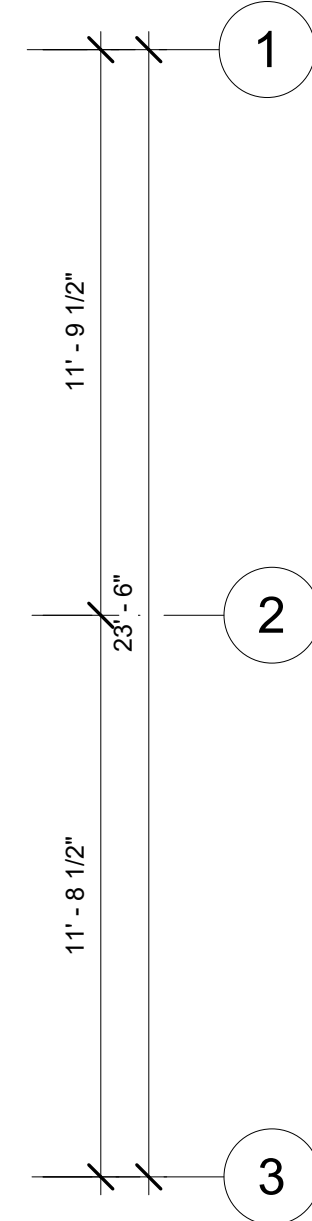
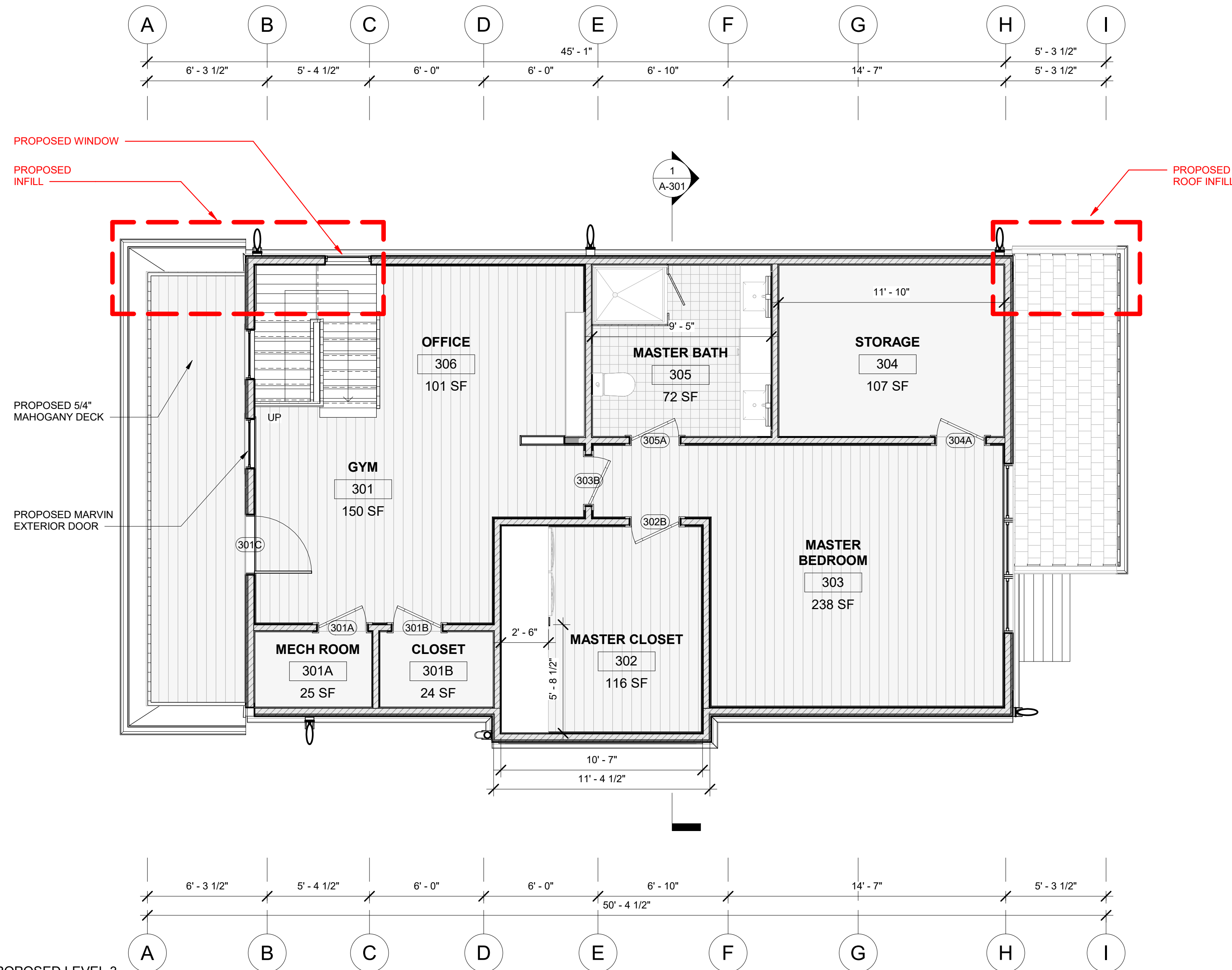
1 BZA_PROPOSED LEVEL 4
3/16" = 1'-0"



3 BZA_AXON - OPTION A - LEVEL 3



2 BZA_PROPOSED LEVEL 3
1/4" = 1'-0"



PROPOSED LEVEL 3

STEVE & TRISH NG

NG RESIDENCE

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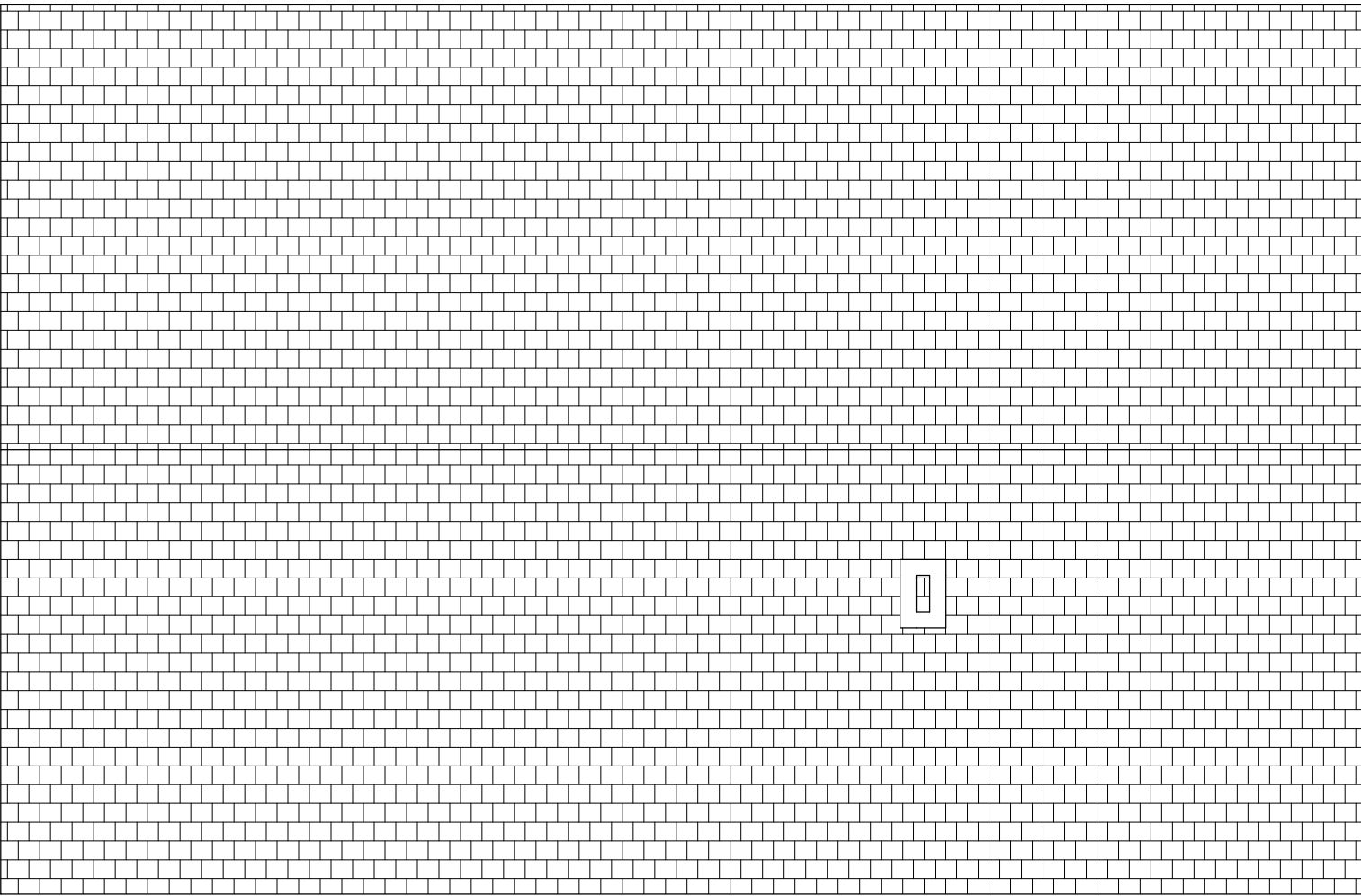
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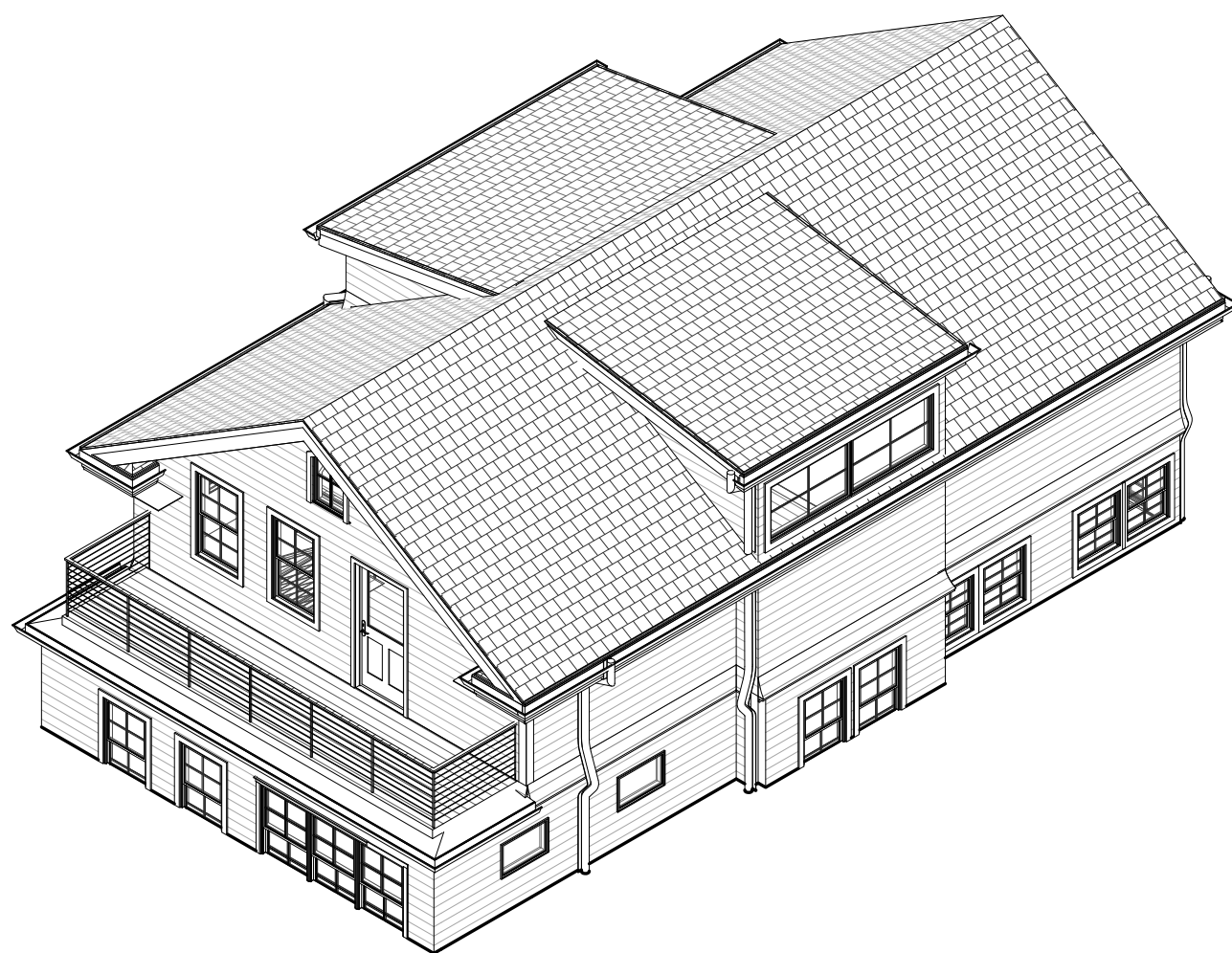
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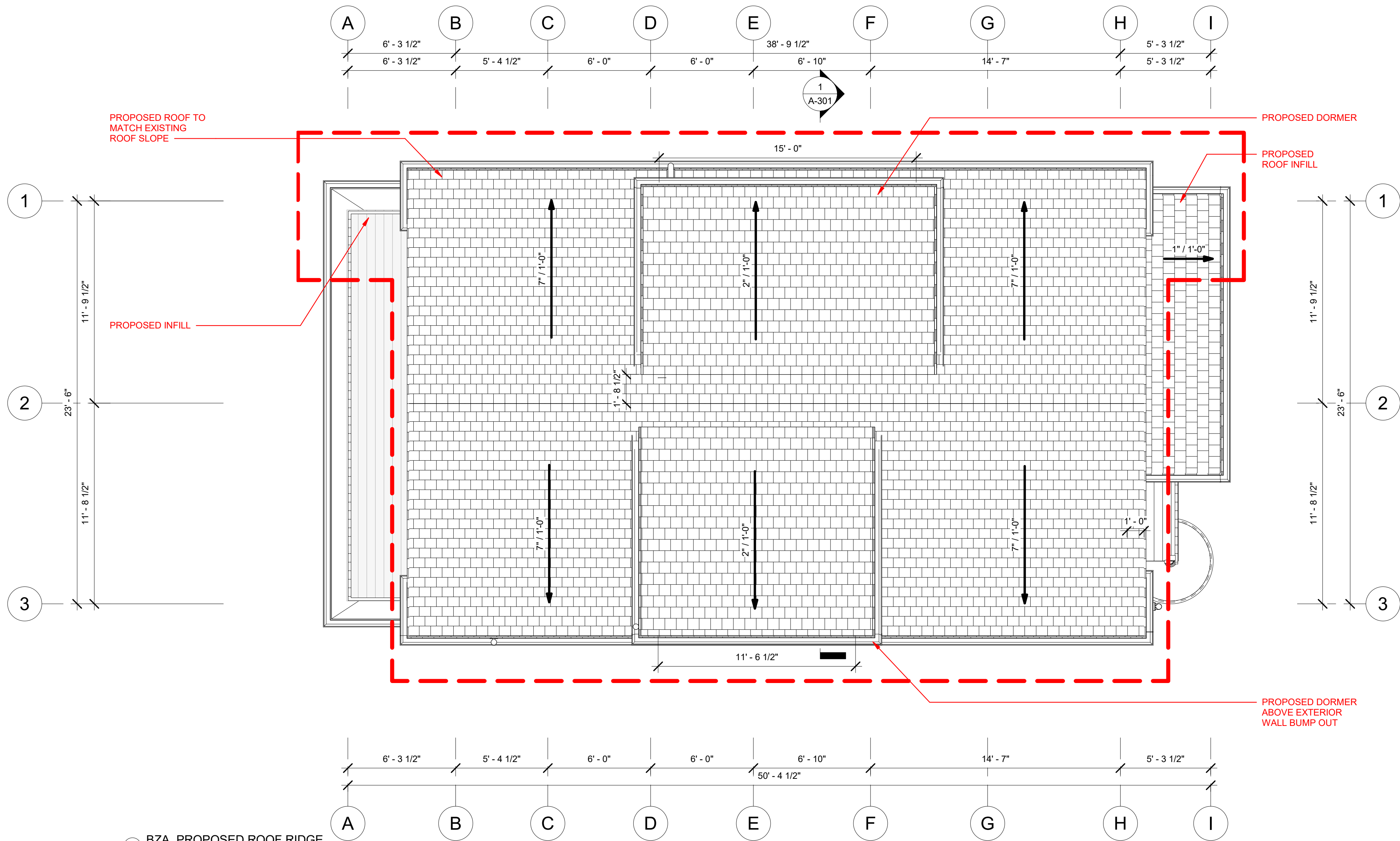
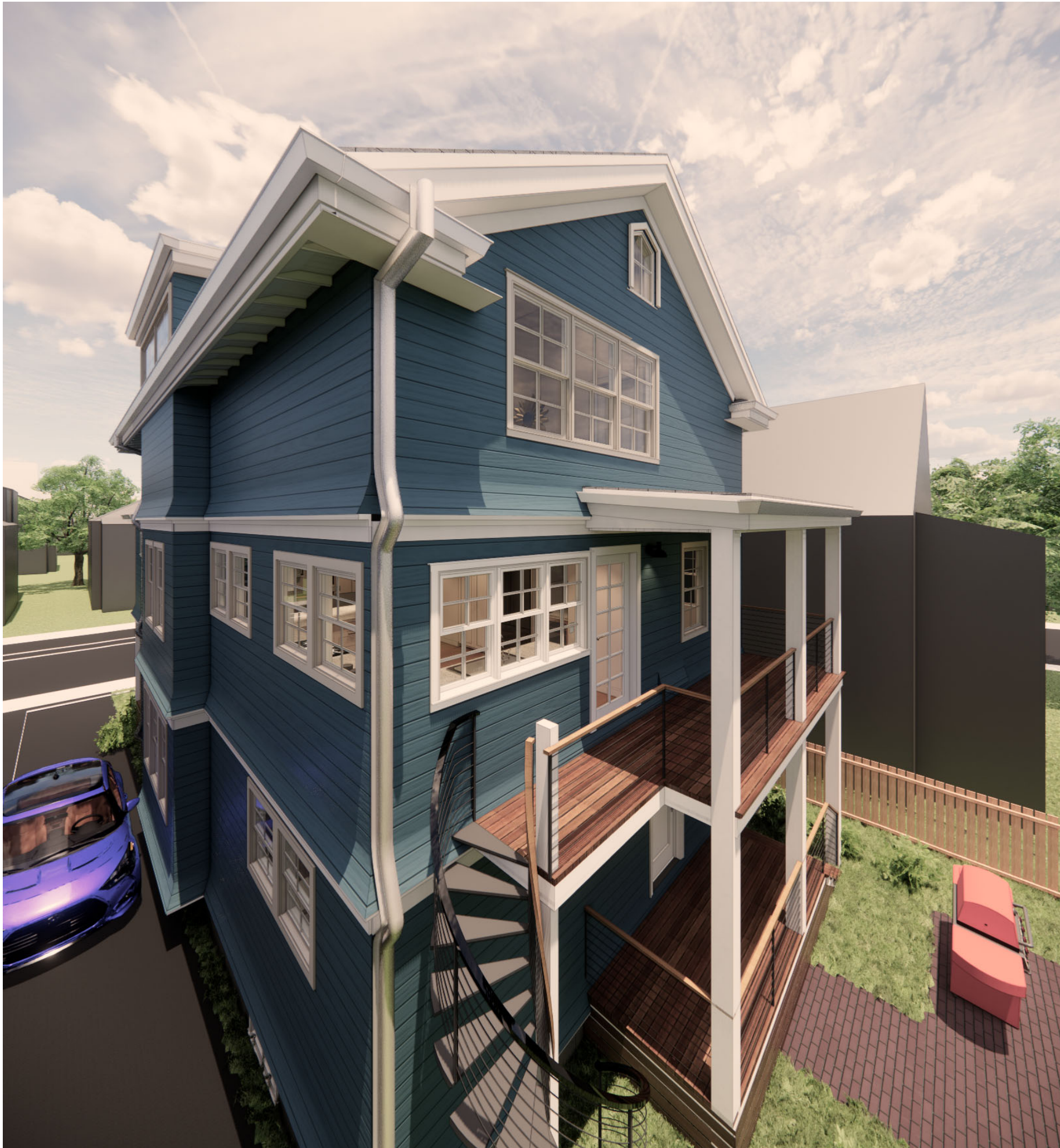
STRUCTURAL ENGINEER:



1 BZA_EXISTING ROOF RIDGE
3/16" = 1'-0"



3 BZA_AXON - ROOF LEVEL



2 BZA_PROPOSED ROOF RIDGE
1/4" = 1'-0"



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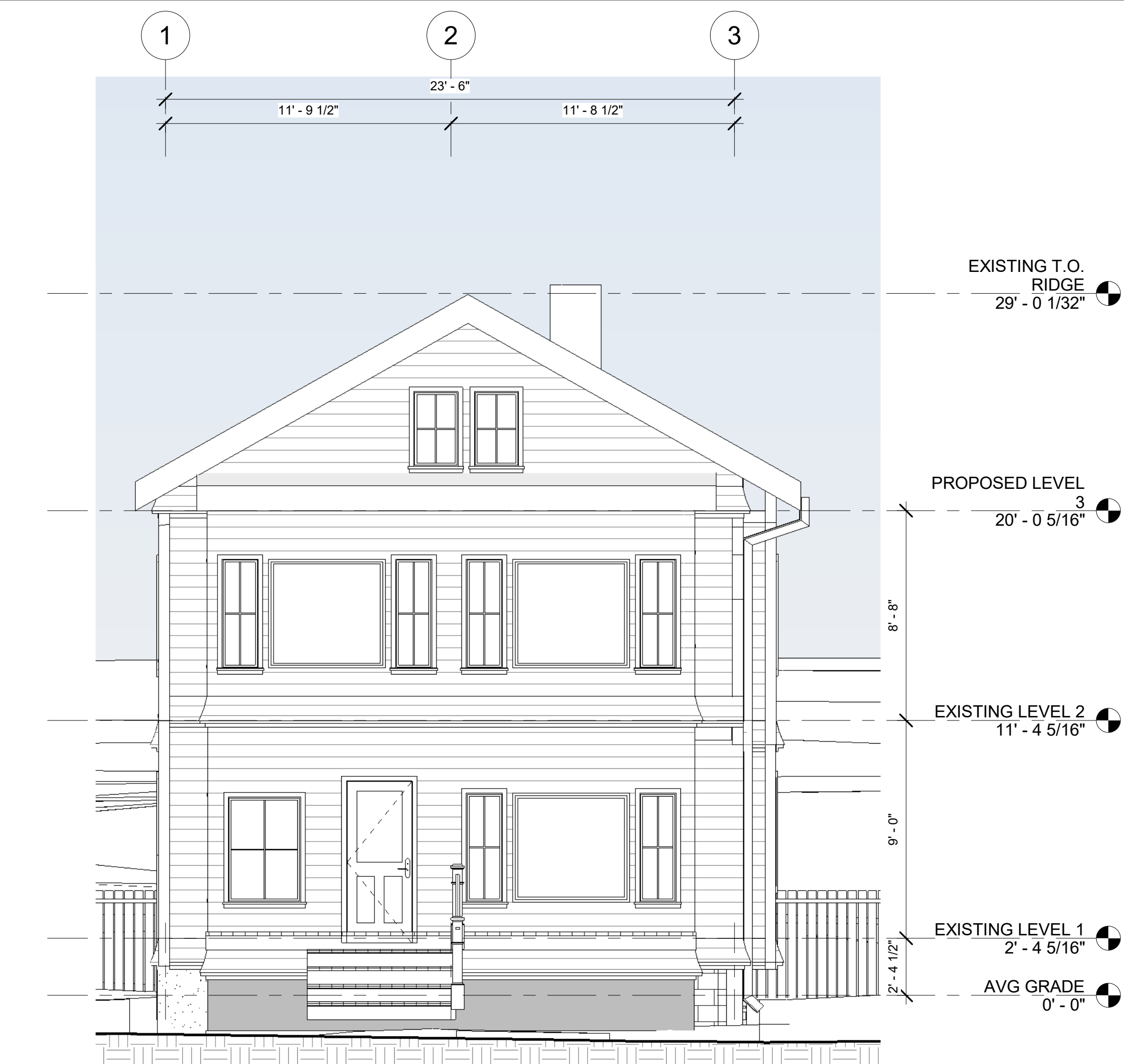
STRUCTURAL ENGINEER:

PROPOSED ROOF PLAN

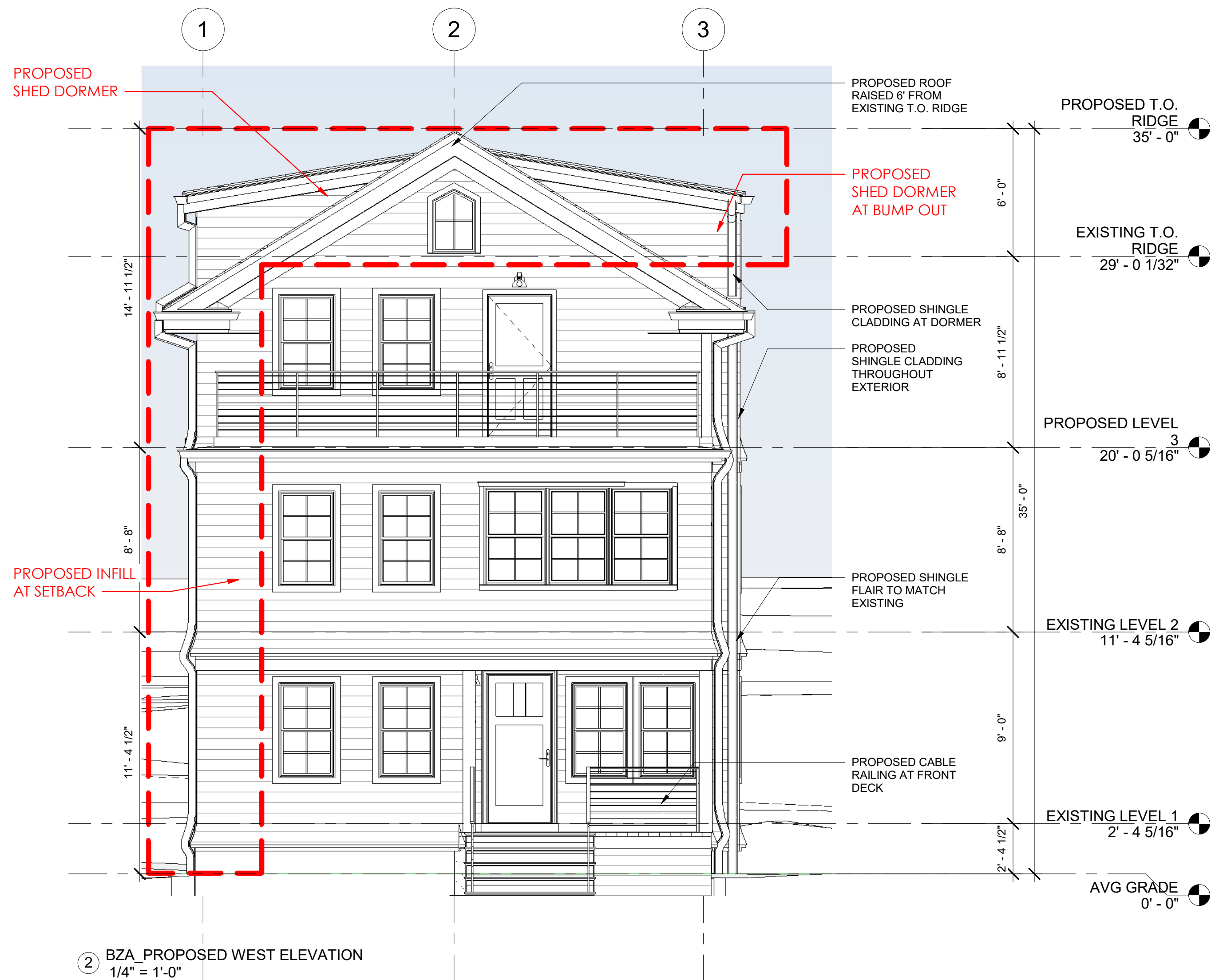
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P-104
Scale As indicated



① BZA_EXISTING WEST ELEVATION
1/4" = 1'-0"



② BZA_PROPOSED WEST ELEVATION
1/4" = 1'-0"



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ELEVATION WEST

STEVE & TRISH NG

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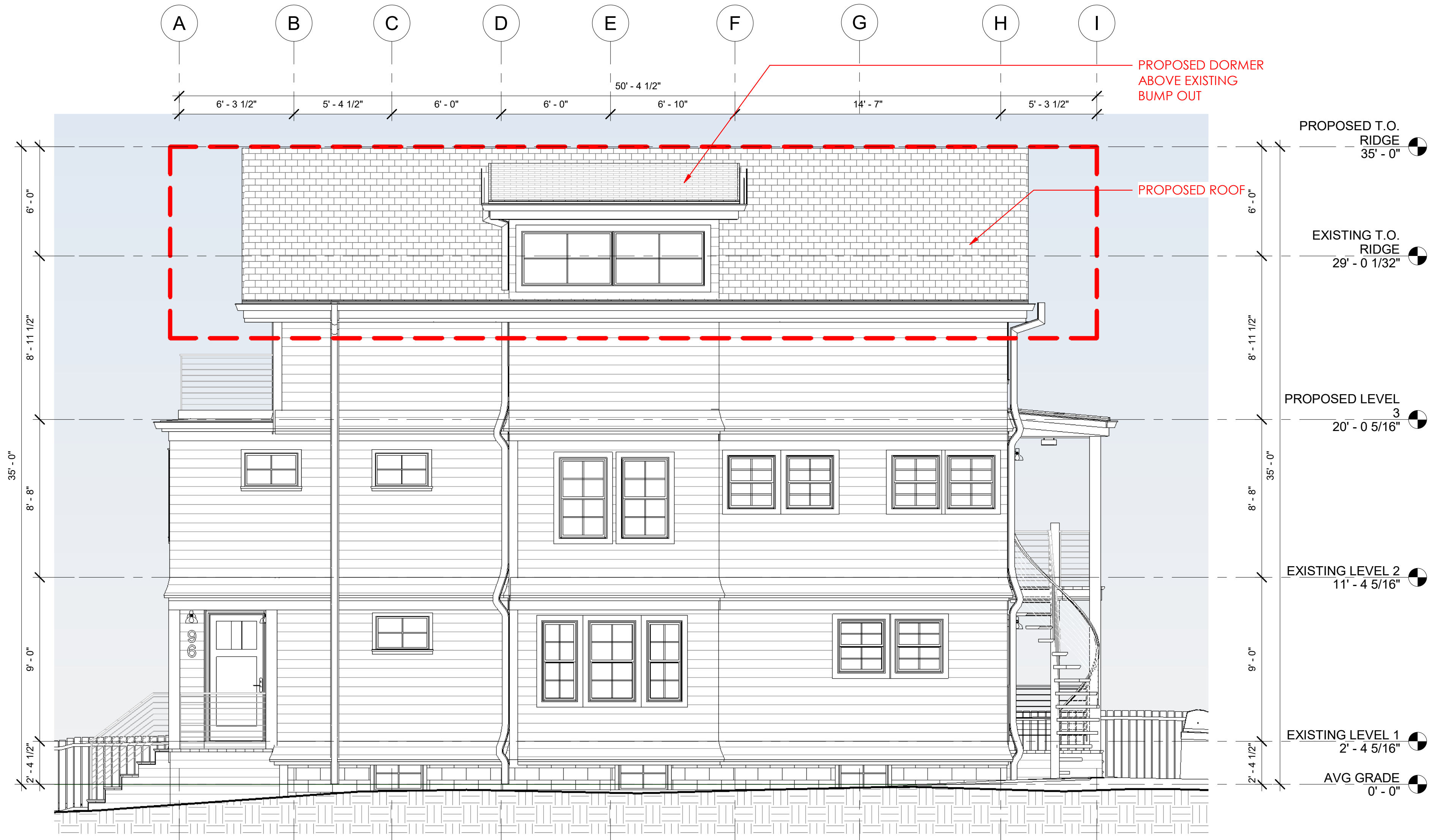
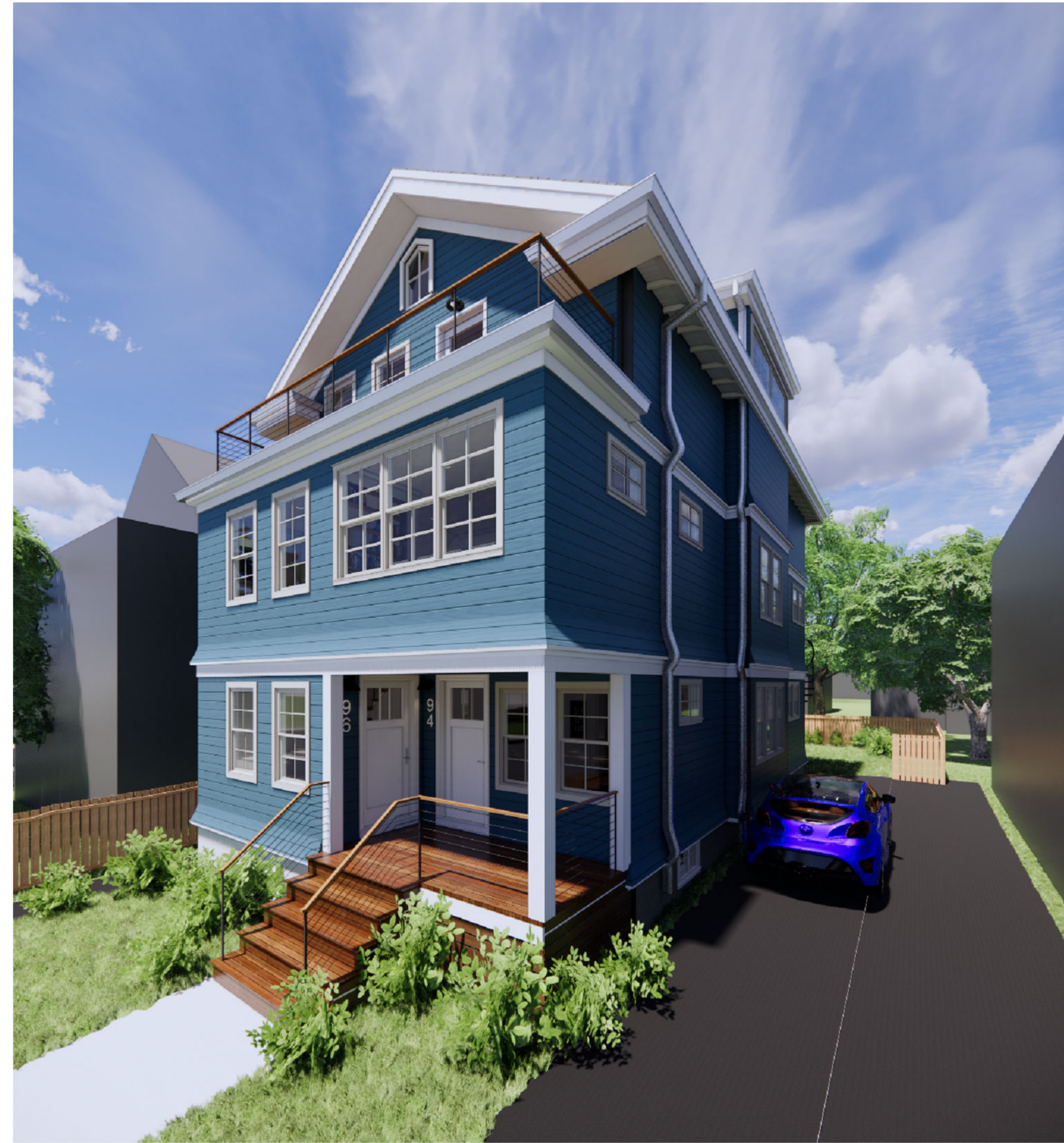
| | |
|----------------|--------------------|
| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 11/13/2020 |
| Drawn by | Author |
| Checked by | Checker |

P-200

Scale 1/4" = 1'-0"



1 BZA_EXISTING SOUTH ELEVATION
1/4" = 1'-0"



2 BZA_PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



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357 Huron Ave.
CAMBRIDGE MA, 02138

REGISTRATIONS:

STRUCTURAL ENGINEER:

ELEVATION NORTH

STEVE & TRISH NG

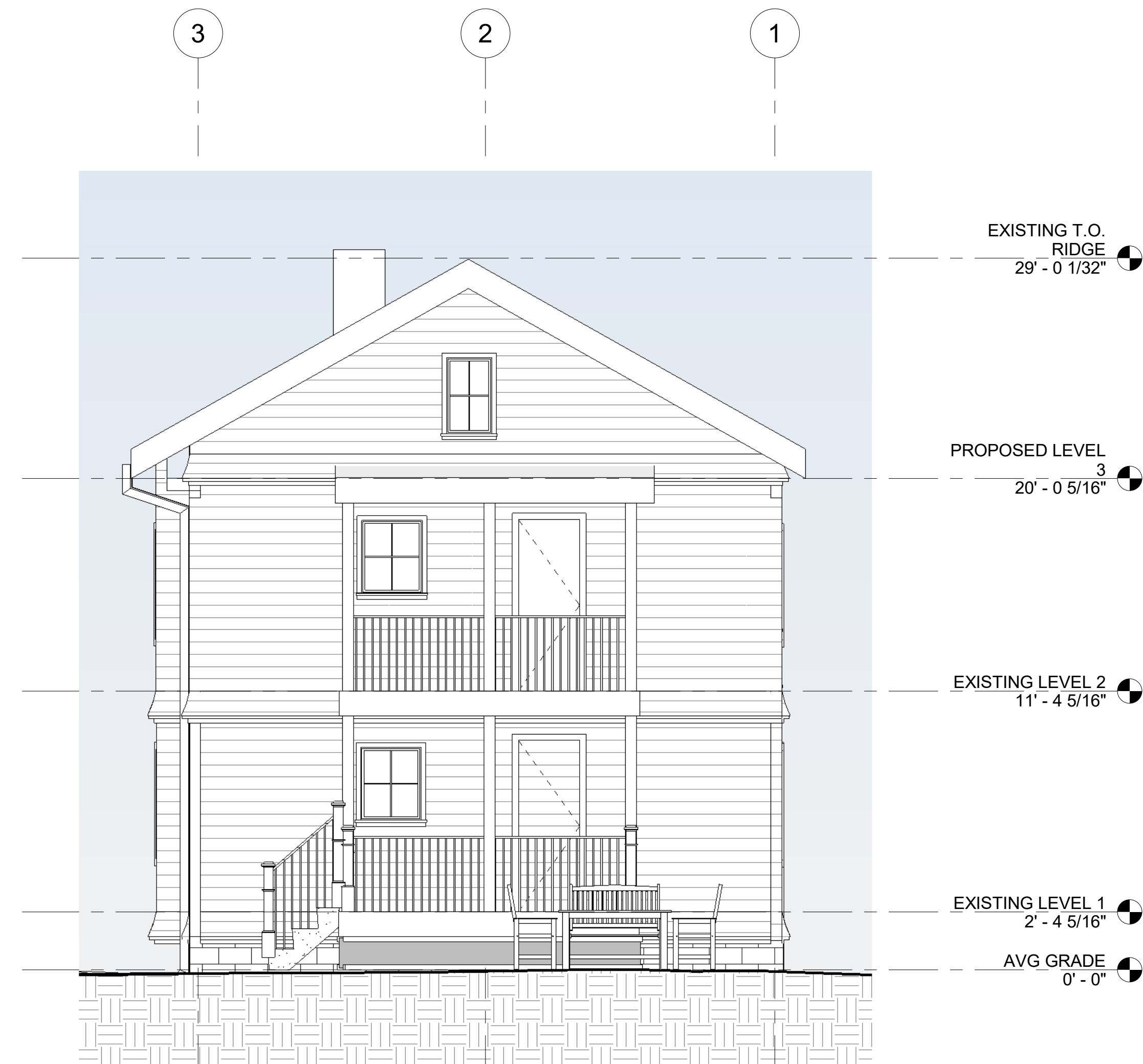
NG RESIDENCE

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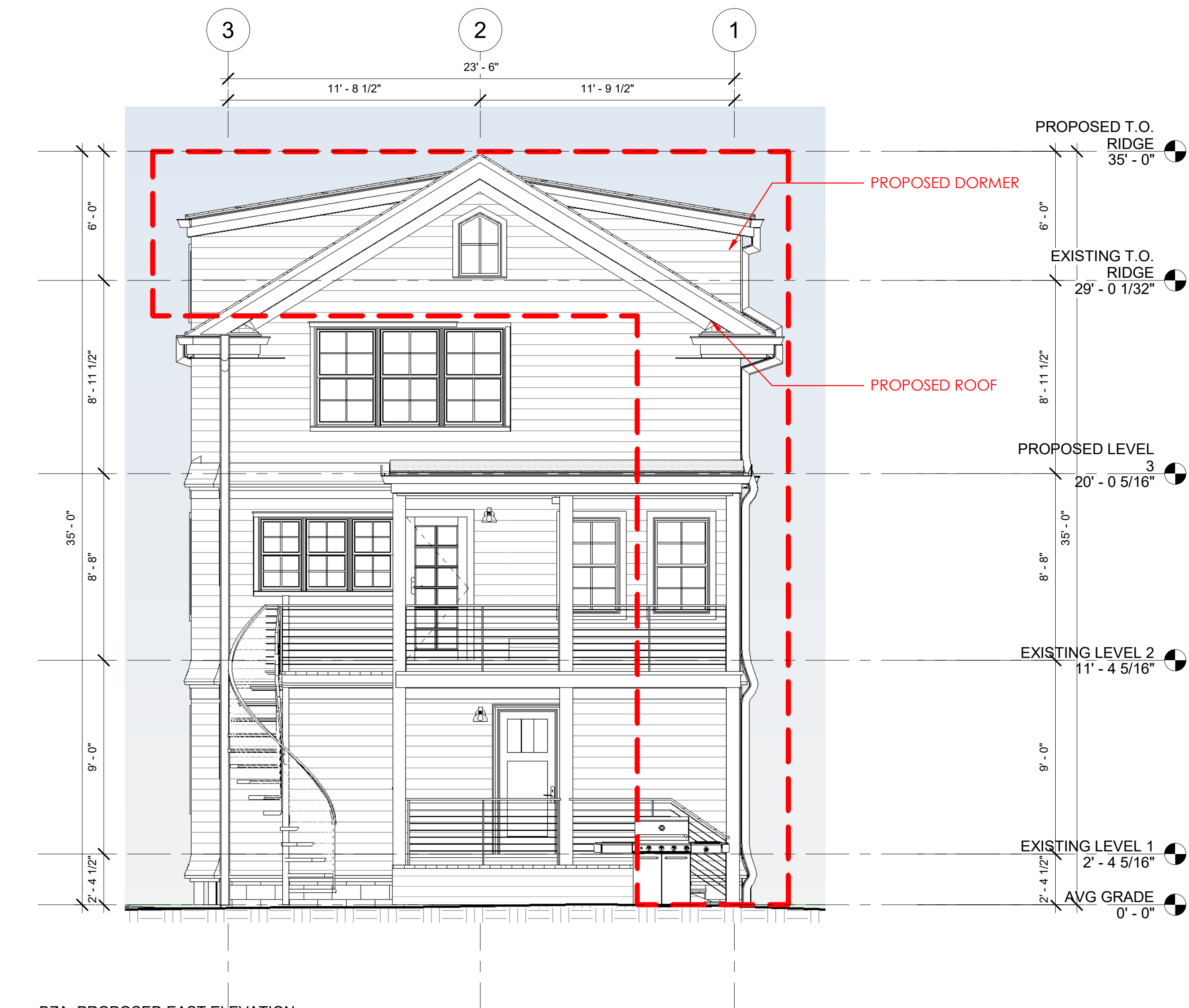
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| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
| Date | 11/13/2020 |
| Drawn by | Author |
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P-201

Scale 1/4" = 1'-0"



① BZA_EXISTING EAST ELEVATION
1/4" = 1'-0"



② BZA_PROPOSED EAST ELEVATION
1/4" = 1'-0"



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ELEVATION EAST

STEVE & TRISH NG

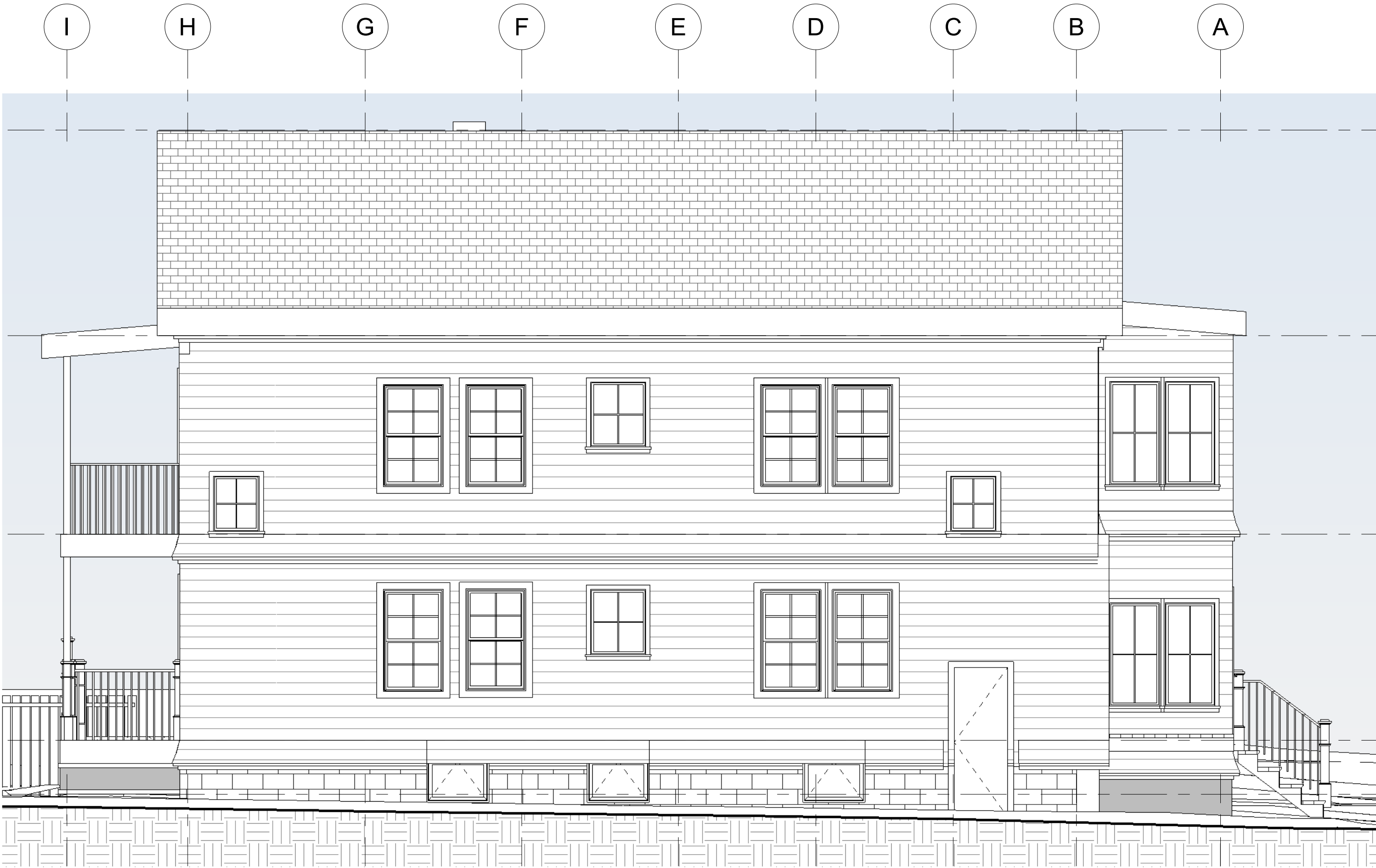
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P-202

Scale 1/4" = 1'-0"



EXISTING T.O. RIDGE
29' - 0 1/32"

PROPOSED LEVEL 3
20' - 0 5/16"

EXISTING LEVEL 2
11' - 4 5/16"

EXISTING LEVEL 1
2' - 4 5/16"

AVG GRADE
0' - 0"



① BZA_EXISTNG NORTH ELEVATION
1/4" = 1'-0"



② BZA_PROPOSED NORTH ELEVATION
1/4" = 1'-0"



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ELEVATION SOUTH

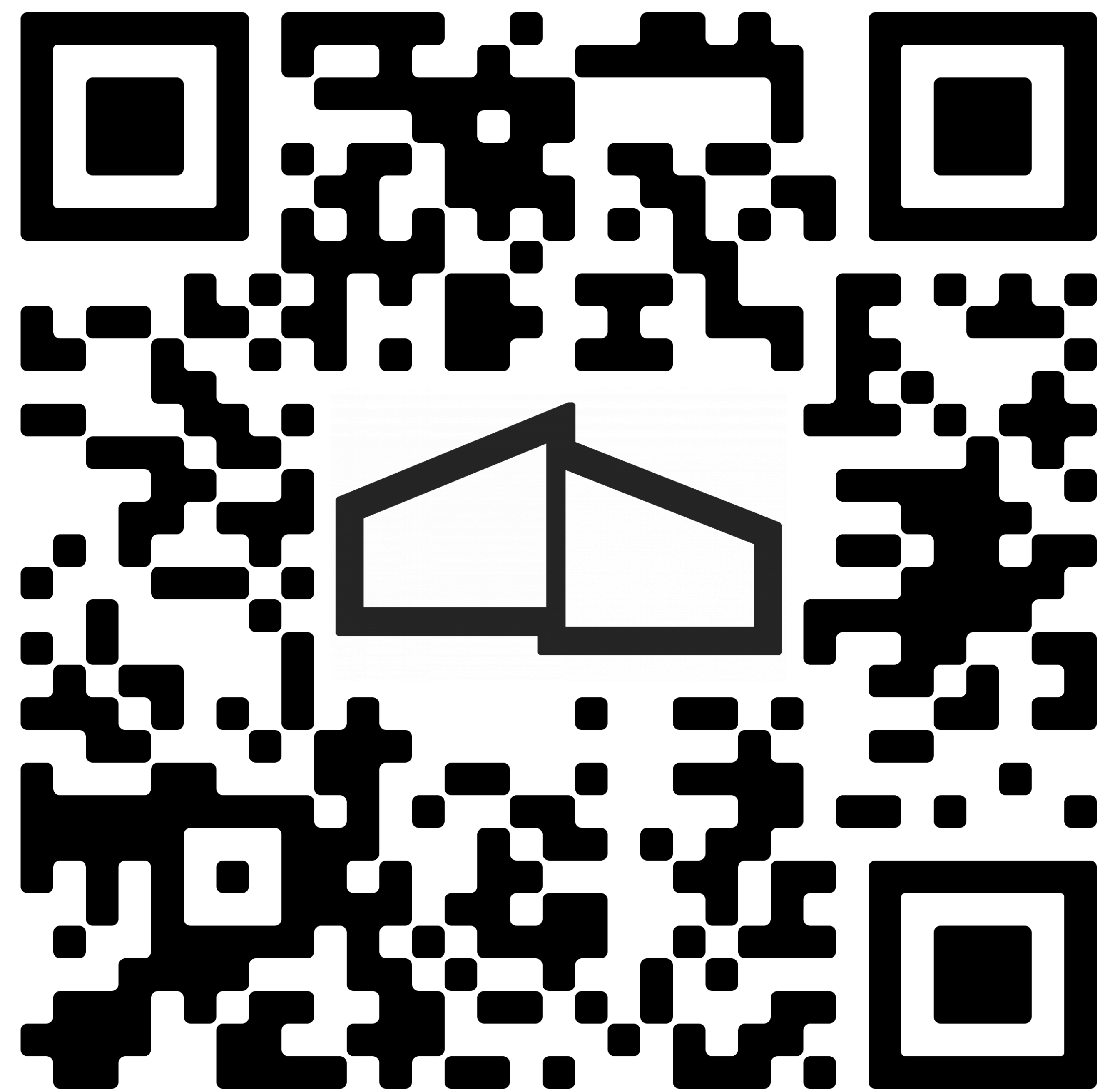
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Project number Project Number
Date 11/13/2020
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P-203
Scale 1/4" = 1'-0"

END OF PRESENTATION

94-96 ALPINE EXTERIOR VIDEO RENDER



SUPPLEMENTARY SHEETS FOR REFERENCE BELOW



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| P-500 | |
| Scale | |



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P-501

Scale



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Scale



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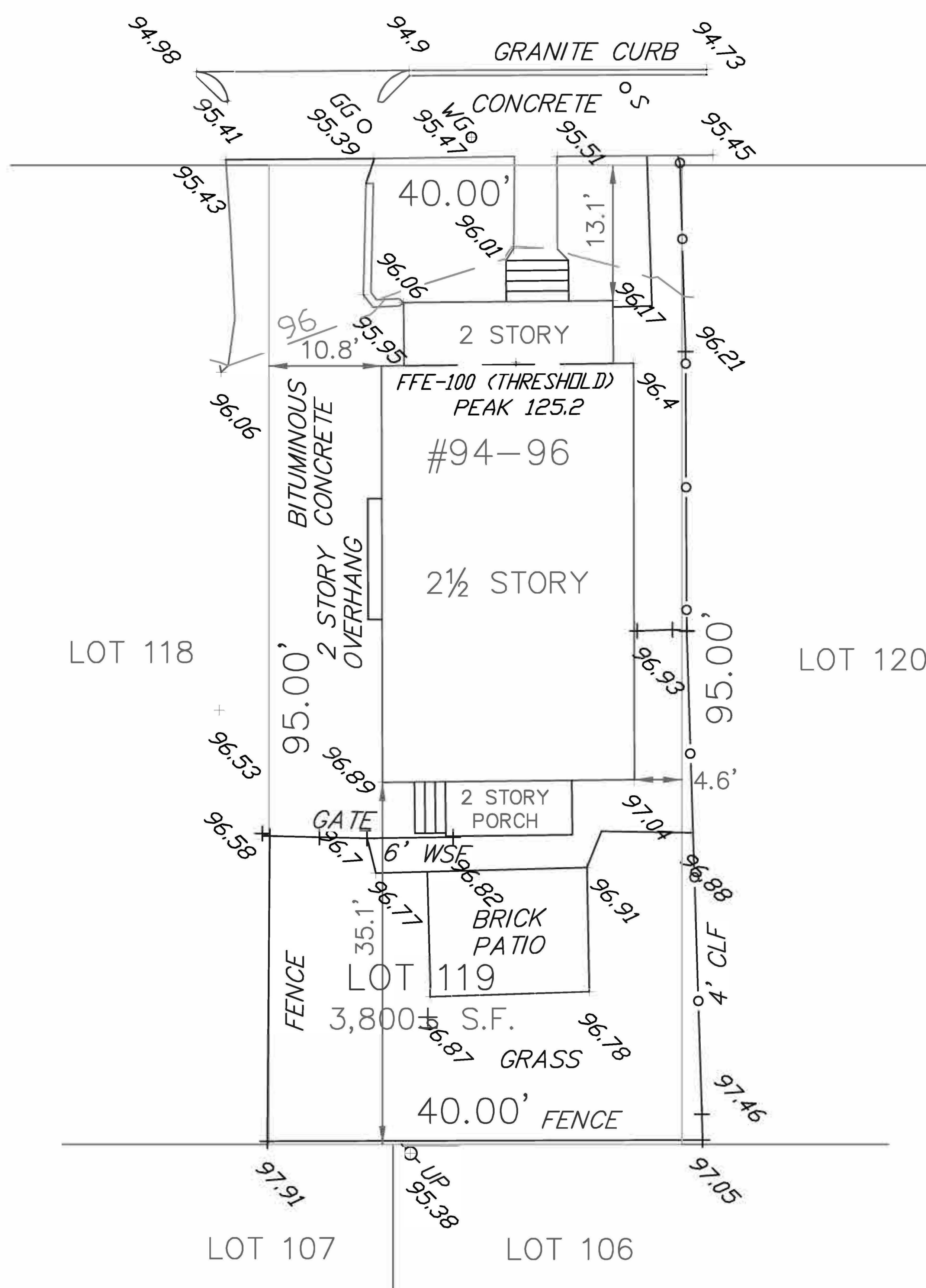
STRUCTURAL ENGINEER:

EXISTING

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NG RESIDENCE
94-96 ALPINE ST.
CAMBRIDGE, MA 02138

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| Project Status | BZA SUBMISSION SET |
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| Date | 11/13/2020 |
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| Checked by | Checker |

P-503
Scale



OWNER: STEVEN, PATRICIA & AUDRY NG

I HEREBY CERTIFY THAT THE BUILDING IS
LOCATED AS SHOWN.

PROPOSED PLOT PLAN
#92-94 ALPINE STREET
IN
CAMBRIDGE, MA
(MIDDLESEX COUNTY)

SCALE: 1" = 20' DATE: 7/24/2020



ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
6187PP1.DWG

6187PP1.DWG

CLIFFORD E. ROBER, PLS DATE
THIS PLAN MAY HAVE BEEN ALTERED IF
THE SIGNATURE IS NOT SIGNED IN BLUE.

STEVE & TRISH NG

NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

PLOT PLAN

STRUCTURAL ENGINEER:

REGISTRATIONS:

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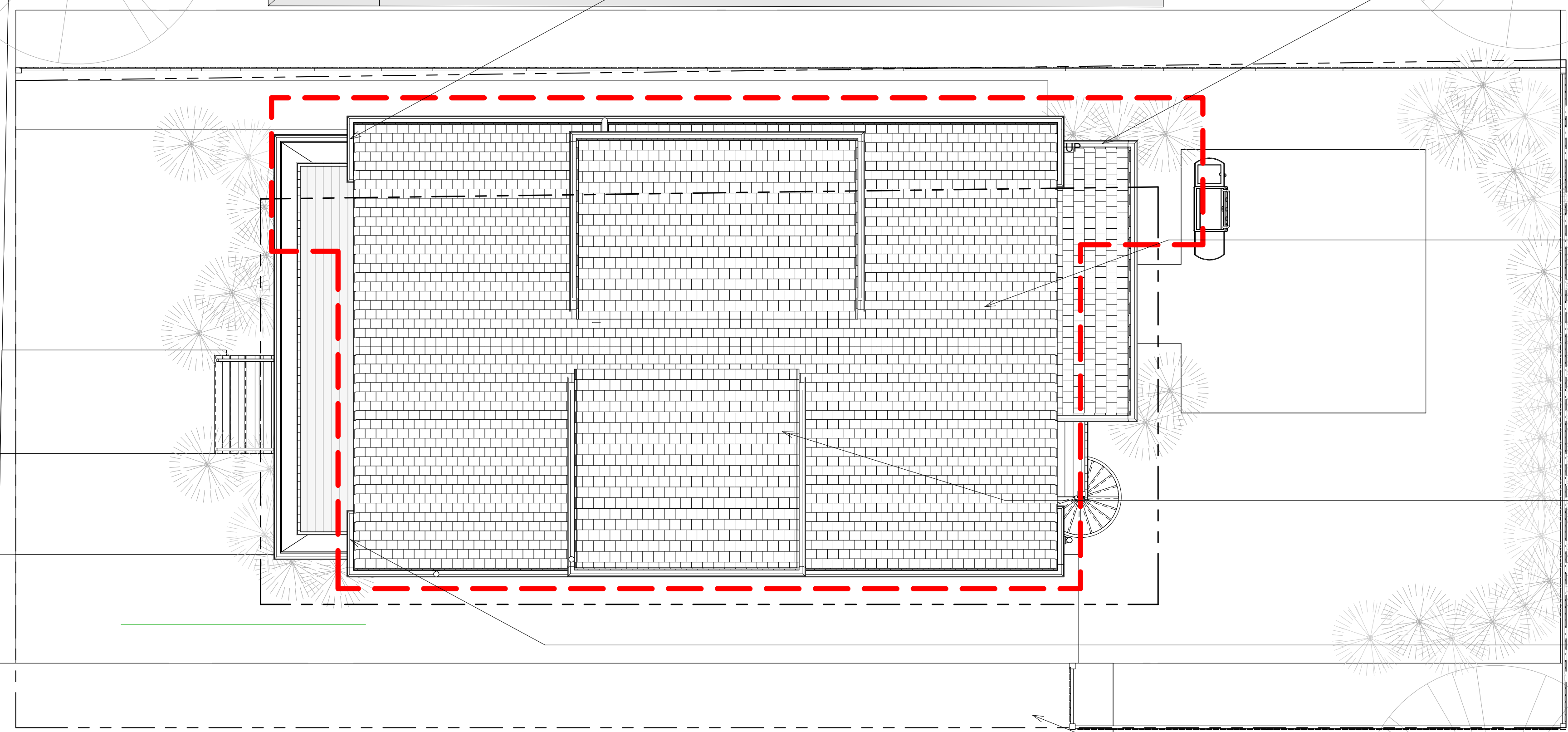
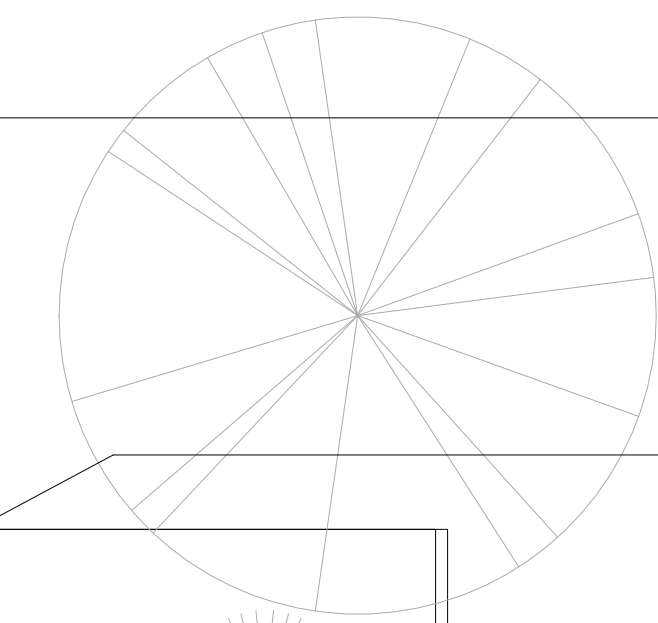
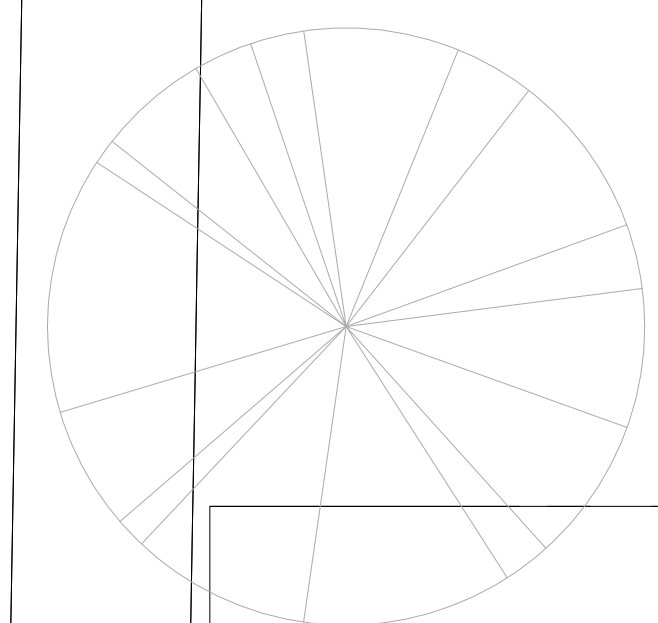
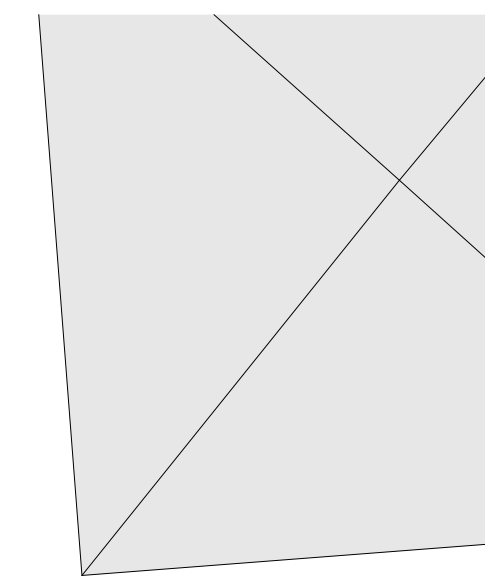
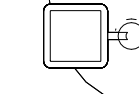
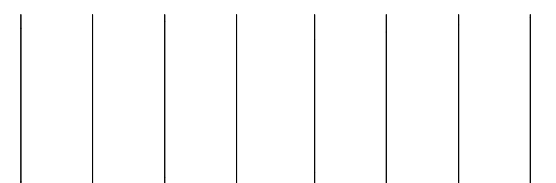
1

The SKA logo, featuring the letters 'SKA' in a bold, sans-serif font, with a stylized graphic element to the right consisting of two overlapping trapezoidal shapes.

Scale

$$6'' = 1'-0''$$

P-504



PROPOSED EXTERIOR AT
FRONT OF HOUSE

PROPOSED DECK

PROPOSED ROOF

PROPOSED DORMER

PRPOSED EXTERIOR AT
FRONT OF HOUSE

EXISTING DRIVEWAY
TO REMAIN

ALPINE ST.

① P-PROPOSED SITE PLAN
3/16" = 1'-0"



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LANDSCAPE PLAN

STEVE & TRISH NG

NG RESIDENCE

94-96 ALPINE ST.
CAMBRIDGE, MA 02138

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| Project Status | BZA SUBMISSION SET |
| Project number | Project Number |
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P-505

Scale 3/16" = 1'-0"



① EXISTING AERIAL
1 1/2" = 1'-0"



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REGISTRATIONS:

STRUCTURAL ENGINEER:

EXISTING AERIAL VIEW

STEVE & TRISH NG

NG RESIDENCE

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| Project number | Project Number |
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P-506

Scale 1 1/2" = 1'-0"