



CITY OF CAMBRIDGE
 MASSACHUSETTS
 BOARD OF ZONING APPEAL
 831 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139
 617 349-6100

BZA APPLICATION FORM

Plan No: BZA-017178-2019

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ Variance : √ Appeal : _____

PETITIONER : Timothy Burke Architecture Inc - C/O Timothy Burke

PETITIONER'S ADDRESS : 142 Berkeley Street Boston, MA 02116

LOCATION OF PROPERTY : 219 Grove St Cambridge, MA

TYPE OF OCCUPANCY : residential ZONING DISTRICT : Residence A-2 Zone

REASON FOR PETITION :

Additions

DESCRIPTION OF PETITIONER'S PROPOSAL :

Relief is requested to allow the construction of a balcony on the rear of the Second Floor. Due to the size and shape of the lot and the fact that the house was built far back on the lot the rear wall is within the rear setback. The balcony also creates additional FAR in the setback since the area under the proposed balcony on the existing deck will be counted. Overall FAR is still below the maximum allowed.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Original Signature(s) :

Timothy Burke

(Petitioner(s) / Owner)

TIMOTHY BURKE

(Print Name)

Address :

142 BERKELEY ST

BOSTON, MA 02116

Tel. No. :

617-266-1332

E-Mail Address :

tba.burke@verizon.net

Date :

9-16-19

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Sydney Cash & Ann Kao (OWNER)

Address: 219 Grove Street, Cambridge, MA

State that I/We own the property located at 219 Grove Street, Cambridge, MA, which is the subject of this zoning application.

The record title of this property is in the name of Sydney Cash & Ann Kao

*Pursuant to a deed of duly recorded in the date 6-11-2010, Middlesex South County Registry of Deeds at Book 54815, Page 25; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.


SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

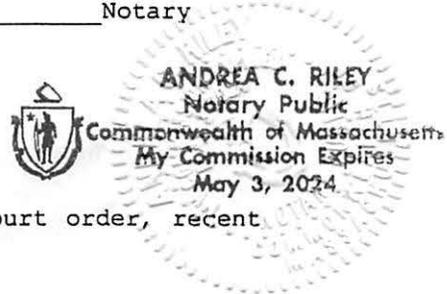
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Suffolk

The above-name Sydney Cash personally appeared before me, this 10 of Sept., 2019, and made oath that the above statement is true.

Andrea C. Riley Notary

My commission expires May 3, 2024 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

THE UNIVERSITY OF THE WEST INDIES
TRINIDAD AND TOBAGO

Faculty of Education
Department of Educational Psychology

EDUCATIONAL PSYCHOLOGY
EDUCATIONAL PSYCHOLOGY



BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The proposed balcony will provide much needed outdoor space for the owners and a literal enforcement of the Ordinance does not promote the intent of the zoning due to the unusual placemnt of the building on the land.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

Due to the placement of the house on the rear portion of the lot the existing rear setback is 13.5' and the proposed balcony will have a setback of 21.7'. The adjacent houses are placed closer to the street. The rear abutter is a gold course.

C) *DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:*

1) Substantial detriment to the public good for the following reasons:

The proposed balcony is not visible from the street and does not create new shadows or block views. the proposed work will not be a detriment to the neighborhood.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The proposed balcony provides much needed outdoor space for the owners and does not contribute to additional shadows or block views of any neighbor. The design is in keeping with the architecture of the house.

*** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Timothy Burke Architecture Inc **PRESENT USE/OCCUPANCY:** single family
LOCATION: 219 Grove St Cambridge, MA **ZONE:** Residence A-2 Zone
PHONE: 6177204463 **REQUESTED USE/OCCUPANCY:** single family

	<u>EXISTING</u> <u>CONDITIONS</u>	<u>REQUESTED</u> <u>CONDITIONS</u>	<u>ORDINANCE</u> <u>REQUIREMENTS</u> ¹	
<u>TOTAL GROSS FLOOR AREA:</u>	<u>2359</u>	<u>2392</u>	<u>5,040</u>	(max.)
<u>LOT AREA:</u>	<u>10,080</u>	<u>10,080</u>	<u>6,000</u>	(min.)
<u>RATIO OF GROSS FLOOR AREA</u> <u>TO LOT AREA:</u> ²	<u>.23</u>	<u>.23</u>	<u>.50</u>	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	<u>10,080</u>	<u>10,080</u>	<u>6,000</u>	(min.)
<u>SIZE OF LOT:</u>				
<u>WIDTH</u>	<u>84</u>	<u>84</u>	<u>65</u>	(min.)
<u>DEPTH</u>	<u>120</u>	<u>120</u>	<u>92.3</u>	
<u>SETBACKS IN FEET:</u>				
<u>FRONT</u>	<u>69.5</u>	<u>69.5</u>	<u>20</u>	(min.)
<u>REAR</u>	<u>13.5</u>	<u>13.5</u>	<u>30</u>	(min.)
<u>LEFT SIDE</u>	<u>17</u>	<u>17</u>	<u>10</u>	(min.)
<u>RIGHT SIDE</u>	<u>17.2</u>	<u>17.2</u>	<u>15</u>	(min.)
<u>SIZE OF BLDG.:</u>				
<u>HEIGHT</u>	<u>25.6</u>	<u>25.6</u>	<u>35</u>	(max.)
<u>LENGTH</u>	<u>49.8</u>	<u>49.8</u>	<u>40</u>	
<u>WIDTH</u>	<u>26.3</u>	<u>26.3</u>	<u>47.3</u>	
<u>RATIO OF USABLE OPEN SPACE</u> <u>TO LOT AREA:</u>	<u>75</u>	<u>75</u>	<u>50</u>	(min.)
<u>NO. OF DWELLING UNITS:</u>	<u>1</u>	<u>1</u>	<u>1</u>	(max.)
<u>NO. OF PARKING SPACES:</u>	<u>2</u>	<u>2</u>	<u>1</u>	(min./max)
<u>NO. OF LOADING AREAS:</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	(min.)
<u>DISTANCE TO NEAREST BLDG.</u> <u>ON SAME LOT:</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



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2019 SEP 18 PM 12:00

OFFICE OF THE CITY CLERK
 CAMBRIDGE, MASSACHUSETTS

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Original Signature(s) :

Timothy Burke

(Petitioner(s) / Owner)

TIMOTHY BURKE

(Print Name)

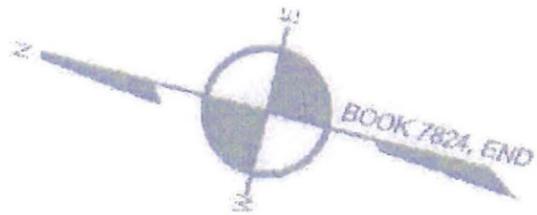
Address : 142 BERKELEY ST

BOSTON MA 02116

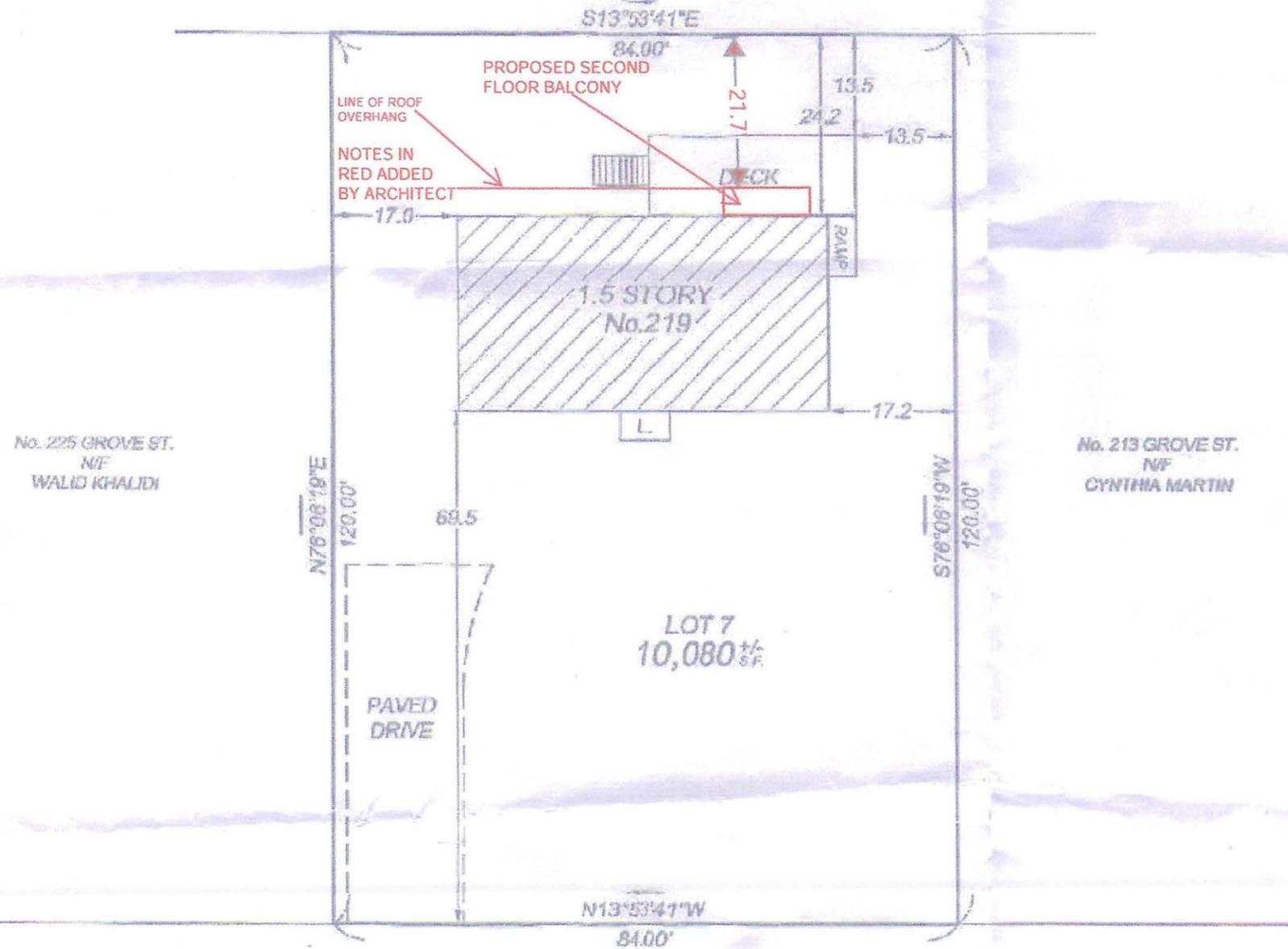
Tel. No. : 617-266-1332

E-Mail Address : tbz.burke@verizon.net

Date : 9-16-19



N/F
CITY OF CAMBRIDGE



GROVE (PUBLIC) STREET

NOTES

REFERENCES

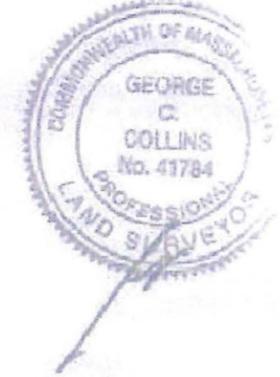
DEED: BOOK 8299, PAGE 132

PLAN: BOOK 7824, END

FIELD BOOK	PAGE	INSP. BY	DRAFT. BY	CHECKED BY
C20	45	D/S	CCC	GCC

CERTIFICATION

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND BETWEEN THE DATES OF NOVEMBER 13 AND DECEMBER 1, 2009 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.



CERTIFIED PLOT PLAN
LOCATED AT
219 GROVE STREET
CAMBRIDGE, MA

SCALE: 1 INCH = 20 FEET

DATE: DECEMBER 1, 2009

PREPARED FOR: EDWARD CRANE
219 GROVE STREET
CAMBRIDGE, MA



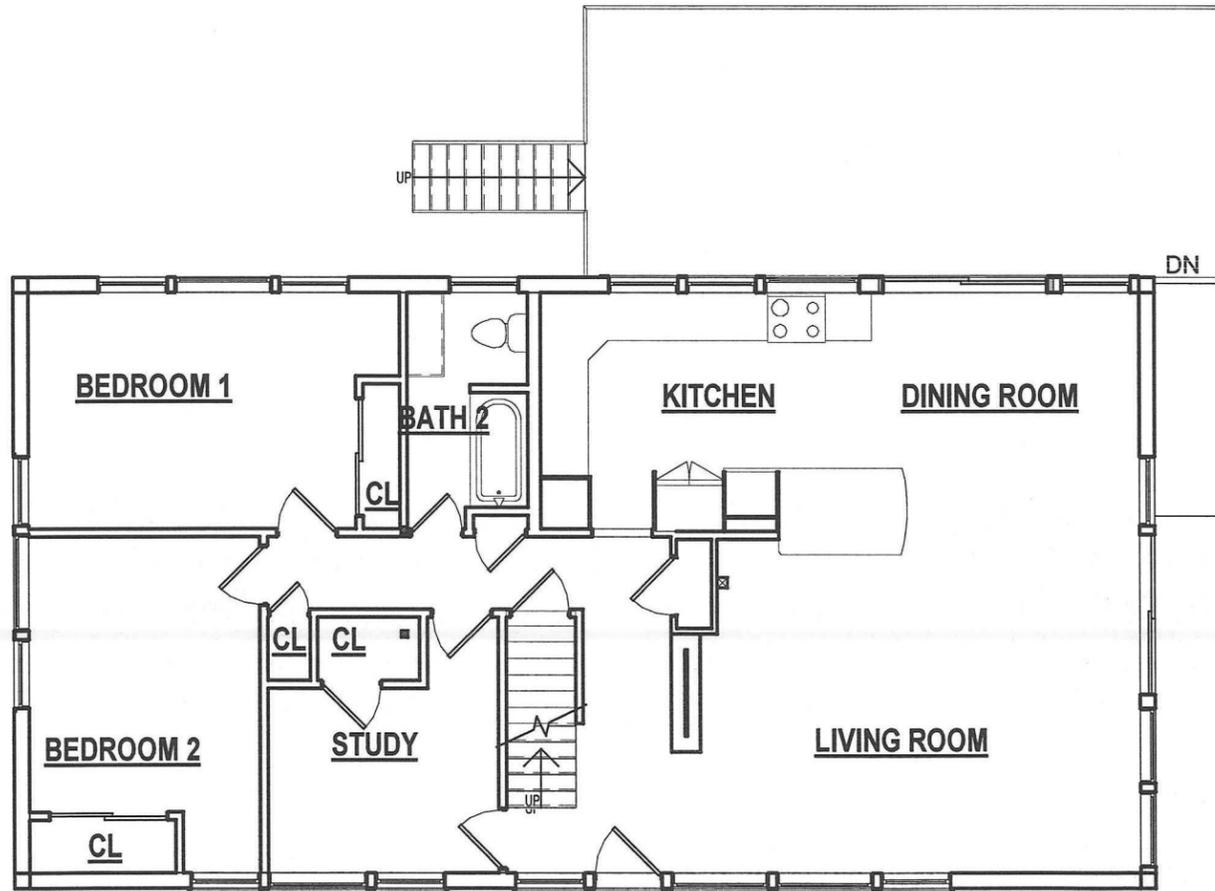
BOSTON
SURVEY, INC.

UNIT C-4 SHIPWAYS PLACE
CHARLESTOWN, MA. 02129
(617)242-1313

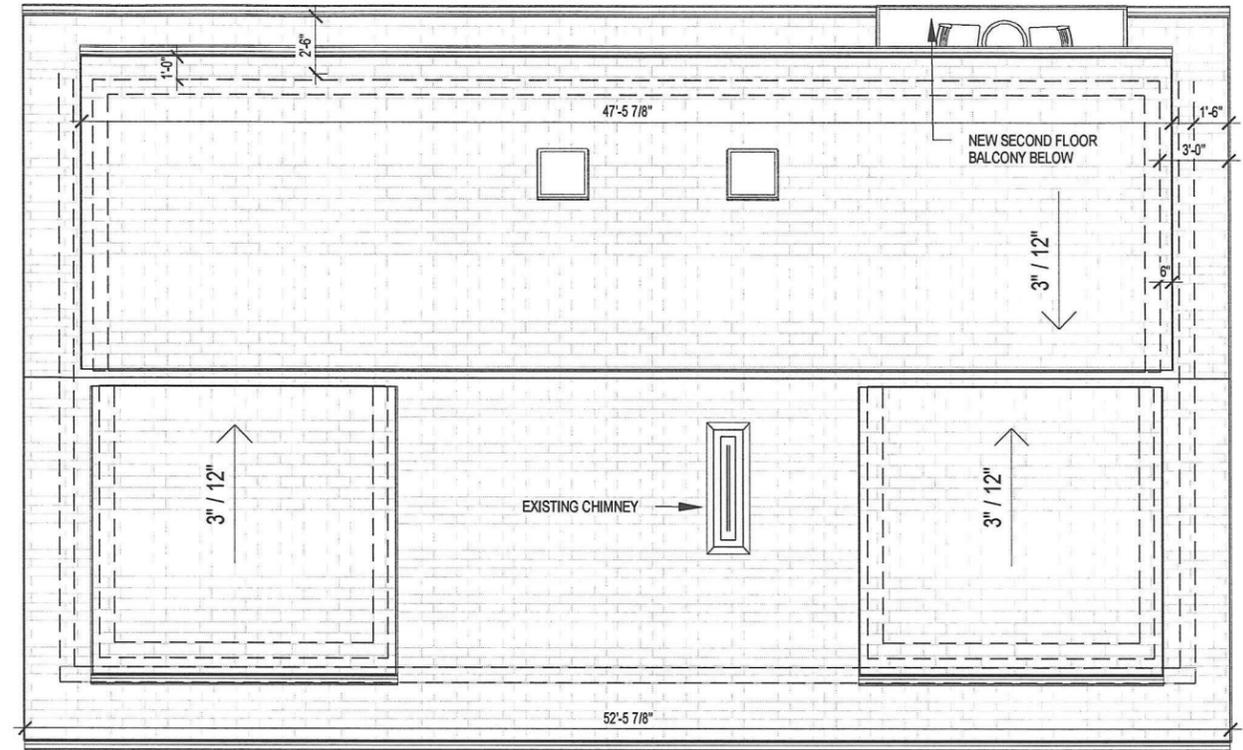
F.A.R. - MAX .5

LEVEL	EXISTING	PROPOSED
FIRST FLOOR	1287 SF	1320 SF
SECOND FLOOR	1072 SF	1072 SF
TOTAL	2359 SF	2392 SF
F.A.R.	0.23	0.23

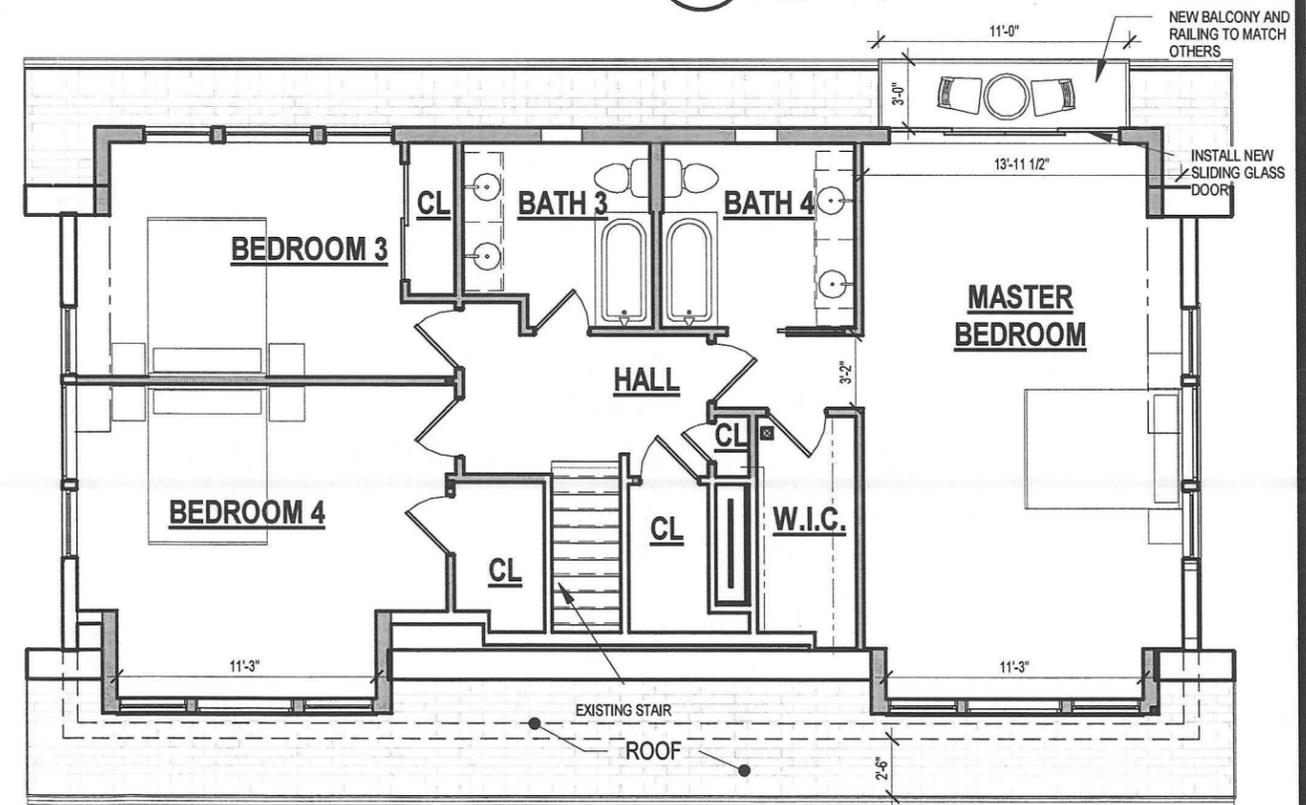
LOT SIZE IS 10,080SF



3 FIRST FLOOR PROPOSED
1/8" = 1'-0"



1 ROOF PLAN PROPOSED
1/8" = 1'-0"



2 SECOND FLOOR PROPOSED
1/8" = 1'-0"

Timothy Burke
ARCHITECTURE

142 BERKELEY STREET, BOSTON MASSACHUSETTS 02116
P: 617.266.1332 | W: timothyburke.net | F: 617.266.1116

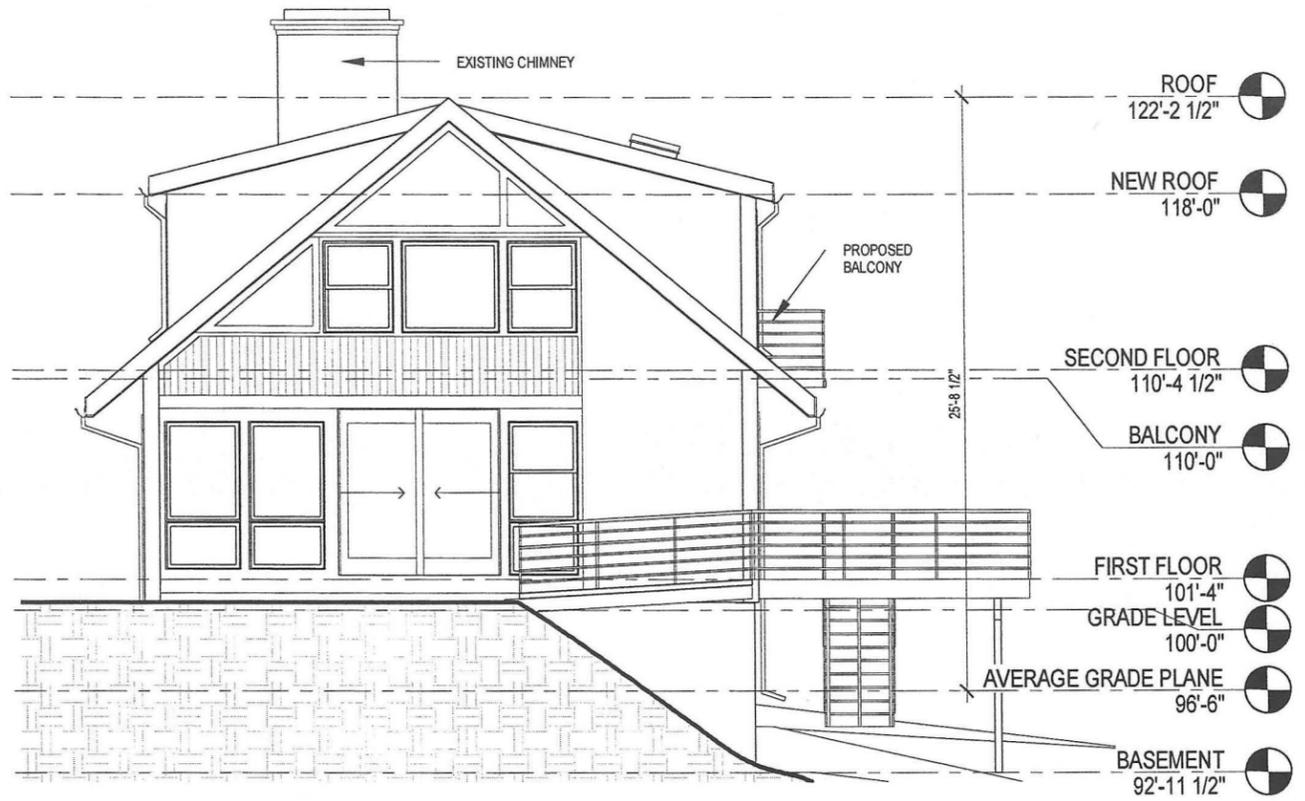
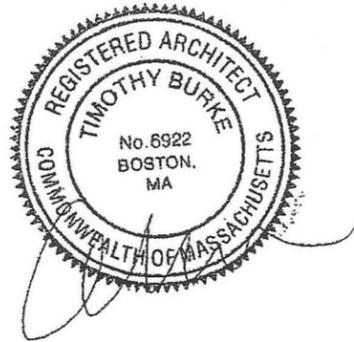
Date: 09/03/2019
Author: Timothy Burke
Drawn By: [Name]

PROPOSED PLANS

Refer To:

219 GROVE STREET
CAMBRIDGE
MASSACHUSETTS

A1.1



1 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

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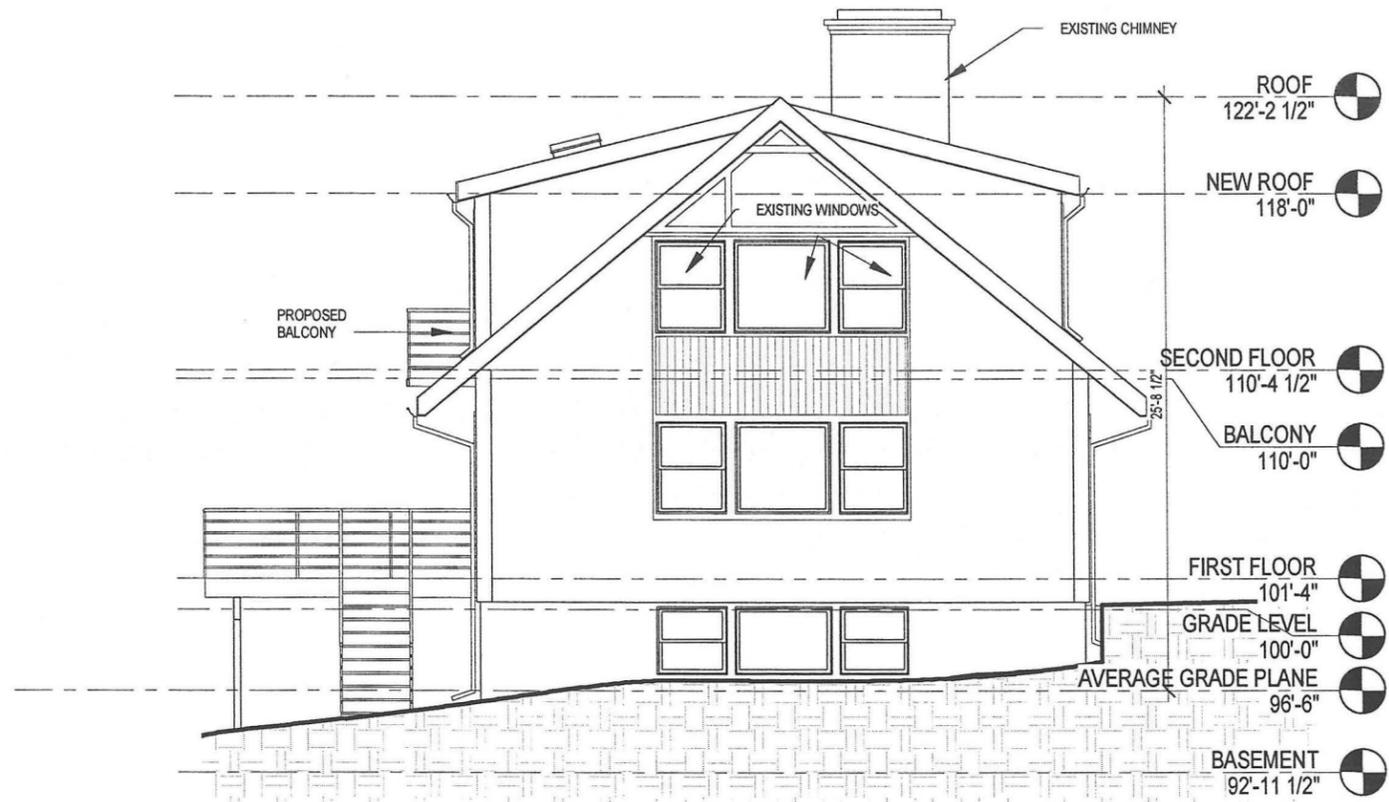
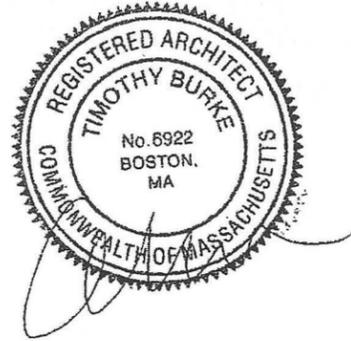
Date: 09/03/2019 Drawn By: Author

PROPOSED ELEVATIONS

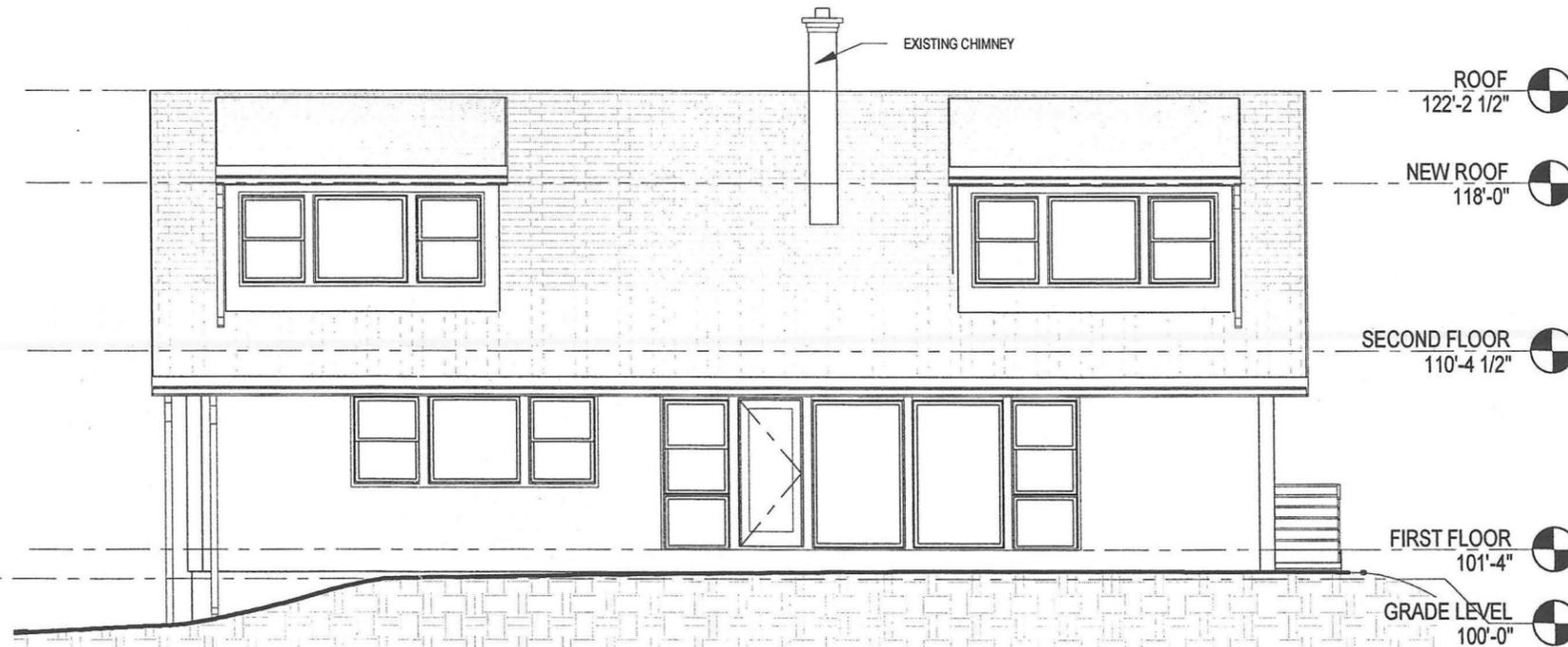
Refer To:

219 GROVE STREET
CAMBRIDGE
MASSACHUSETTS

A2.1



1 NORTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

Timothy Burke
ARCHITECTURE

142 BERKELEY STREET, BOSTON MASSACHUSETTS 02116
P: 617.266.1332 | W: timothyburke.net | F: 617.266.1116

Date: 09/03/2019 Drawn By: Author

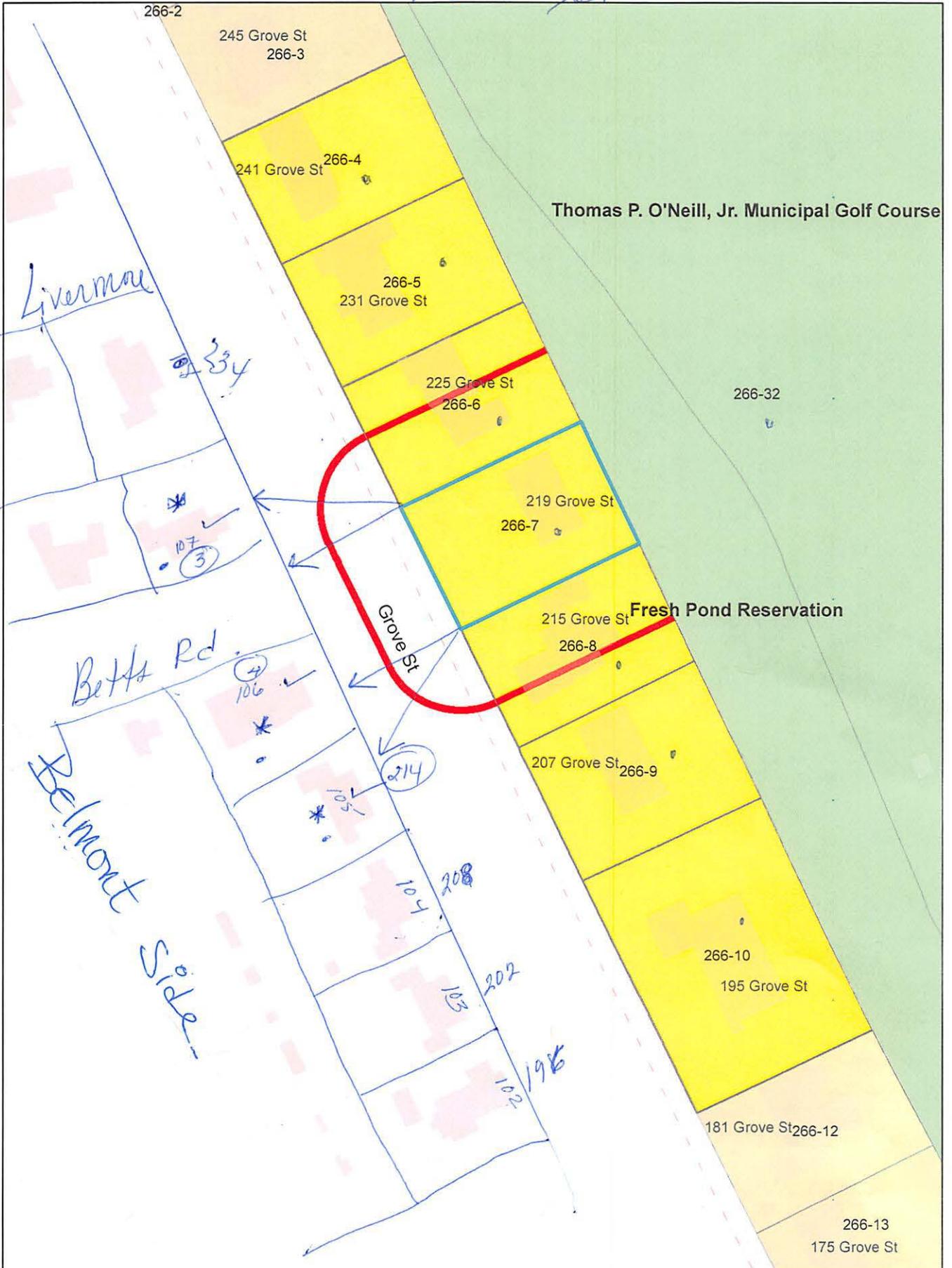
PROPOSED ELEVATIONS

Refer To:

219 GROVE STREET
CAMBRIDGE
MASSACHUSETTS

A2.2

219 Grove St.



266-2

245 Grove St
266-3

241 Grove St
266-4

266-5
231 Grove St

225 Grove St
266-6

219 Grove St
266-7

215 Grove St
266-8

207 Grove St
266-9

266-10
195 Grove St

181 Grove St
266-12

266-13
175 Grove St

Thomas P. O'Neill, Jr. Municipal Golf Course

Fresh Pond Reservation

Livermore

Betts Rd

Belmont Side

Grove St

107
3

106

214

105

208

202

103

102/195

219 Grove St.

Retention

266-4
MCNULTY, VIRGINIA T. & JEANNE O'CONNELL
TRS. THE MCNULTY REALTY TRUST
241 GROVE ST
CAMBRIDGE, MA 02138

266-5
HORI, MIYO, A LIFE ESTATE
231 GROVE ST
CAMBRIDGE, MA 02138

TIMOTHY BURKE ARCHITECTURE INC.
C/O TIMOTHY BURKE
142 BERKELEY STREET
BOSTON, MA 02116

266-7
CASH, SYDNEY S. & ANN KAO
219 GROVE ST
CAMBRIDGE, MA 02138

266-8
KADET, HESSA B TRUSTEE OF THE GROVE ST
NOMINEE TRUST
213 GROVE ST
CAMBRIDGE, MA 02138

266-9
TISHLER, ROY B. & ABBY E. ZANGER
207 GROVE ST
CAMBRIDGE, MA 02138

266-10
ZHAI, YUJIA
603 W. 115H ST
NEW YORK, NY 10025

266-32
CAMBRIDGE CITY OF RECREATION DEPT
51 INMAN ST
CAMBRIDGE, MA 02139

266-6
KHALIDI, WALID A.
225 GROVE ST
CAMBRIDGE, MA 02138

266-32
CITY OF CAMBRIDGE
C/O LOUIS DEPASQUALE
CITY MANAGER

266-32
CITY OF CAMBRIDGE
C/O NANCY GLOWA
CITY SOLICITOR

BELMONT ABUTTERS

9-105
PETER E. FERNANDEZ & ELIZZ GRINNELL
214 GROVE STREET
BELMONT, MA 02478

9-106
VALERIE C. BELITSOS &
JONATHAN N. BELITSOS
4 BETTS ROAD
BELMONT, MA 02478

9-107
MAGDALENA HU, TR.
3 BETTS ROAD
BELMONT, MA 02478

CITY OF CAMBRIDGE

TOWN LINE

21



SCHOOL

PHILIP RD.

LEWIS RD.

6



SCALE

9

10

TENNIS COURTS

EASEMENT FOR CAMBRIDGE WATER MAIN

ST#	STREET	M	P	S	U	1ST OWNER	2ND OWNER	MAIL ADDR	CLS	LOT SIZE	LOT#
196	GROVE ST	9	102			DUBOIS VERA A		196 GROVE STREET, BELMONT, MA 02478	101	7,152	90
202	GROVE ST	9	103			LEE XIA		202 GROVE STREET, BELMONT, MA 02478	101	6,754	89
208	GROVE ST	9	104			MELDRIM TE JOSEPH M	ERIKA J. MELDRIM	208 GROVE STREET, BELMONT MA 02478	101	6,820	88
214	GROVE ST	9	105			FERNANDEZ TE PETER E	ELIZA GRINNELL	214 GROVE STREET, BELMONT MA 02478	101	6,886	87
4	BETTS RD	9	##			BELTSOS TE VALERIE CHRISTOPHILOS	JONATHAN NICOLAS BELTSOS	4 BETTS ROAD, BELMONT, MA 02478	101	7,614	86
3	BETTS RD	9	##			HU TR MAGDALENA S T	MAGDALENA HU TRUST	3 BETTS ROAD, BELMONT, MA 02478	101	8,833	91
234	GROVE ST	9	108			WILLIAMS TR JOANNE C	JOANNE C WILLIAMS FAMILY TRUST	234 GROVE STREET, BELMONT, MA 02478	101	6,936	13A
3	LIVERMORE RD	9	##			SINSAY TE JEFFREY D	ANGELA SINSAY	3 LIVERMORE ROAD, BELMONT, MA 0247	101	6,550	12
250	GROVE ST	9	143			CURRAN TRS CATHERINE M	CATHERINE M CURRAN 2013 FAMILY TRUS	250 GROVE STREET, BELMONT, MA 02478	101	6,460	11
256	GROVE ST	9	144			COOKE CHATHAN M		256 GROVE STREET, BELMONT, MA 02478	101	6,460	10
262	GROVE ST	9	145			KOSTICH TE GEORGE N	MIRJANA KOSTICH	262 GROVE STREET, BELMONT, MA 02478	101	6,460	9
268	GROVE ST	9	146			ARNOLD JR TR WALTER G AND ELIZABETH K	WALTER G ARNOLD JR REV LIVING TRUST	258 GROVE STREET, BELMONT, MA 02478	101	6,461	8
274	GROVE ST	9	147			DAVIS JOYCE E		274 GROVE STREET, BELMONT, MA 02478	101	6,326	7
280	GROVE ST	9	148			RIFE TE JASON	ALLISON ARNOLD RIFE	280 GROVE STREET, BELMONT, MA 02478	101	6,369	6
286	GROVE ST	9	149			GOODMON TE BRIAN K	CLAUDETTE B PIERRE	286 GROVE STREET, BELMONT, MA 02478	101	6,202	5

Timothy Burke
ARCHITECTURE, INC.



142 Berkeley Street
Boston, MA 02116
[617] 266-1332

219 Grove Street Narrative

September 3, 2019

The owners of 219 Grove Street seek a variance to allow the construction of a small balcony on the rear of the single-family house. The balcony will be located outside of the Master Bedroom and will provide a small outdoor private area for the owners.

The variance is needed since the house is an existing non-conforming structure in terms of the rear setback. The house meets all other dimensional requirements of the zoning code. The rear property line abuts the Fresh Pond golf course and the balcony will not create a privacy issue for any neighbors.

Site Development

The proposed work does not require any changes to the site.

Archeological and Historic Resources

There are no known archeological or historic resources that will be effected by the proposed work.

Preservation of Existing Vegetation

The existing plantings and landscaping are not be affected by the proposed work.

Construction Time

The construction of the balcony will take approx. three weeks.

Lighting

All new lighting for the building will be energy efficient and exterior lighting will be the dark sky type with no up lighting. Lighting is designed to avoid unnecessary illumination and to reduce light pollution and glare to preserve the beauty of the site and the neighborhood.

Noise

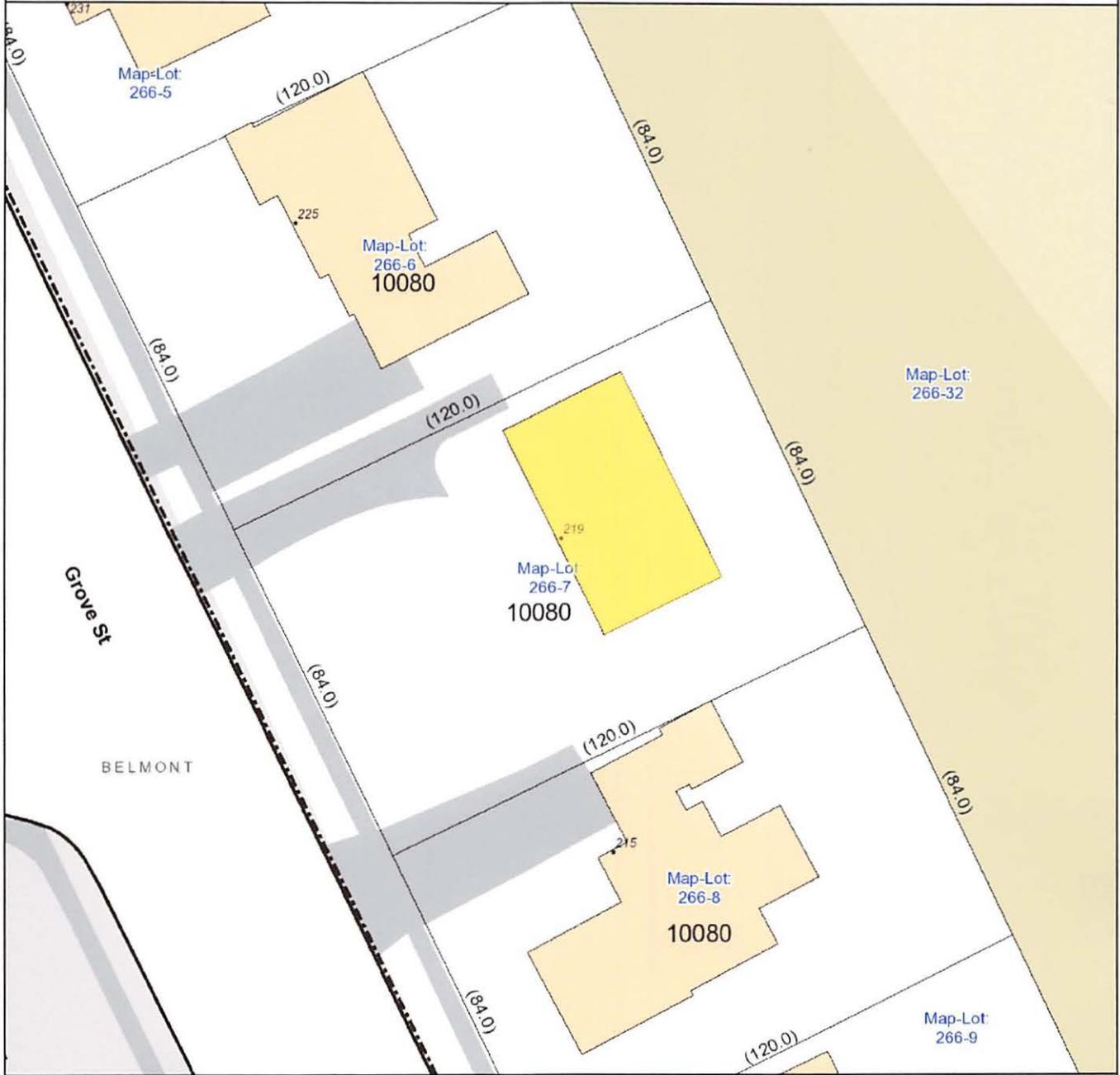
The owners do not create excess noise that negatively impacts the neighbors. The proposed improvements will not increase noise pollution or create a detrimental effect.

Aesthetics

The proposed balcony is designed to be in harmony with the existing deck on the rear of the house and will have a similar railing design. The balcony is designed to fit within the existing roof overhang and does not add additional overhang area to the First Floor deck.

Summary

The proposed balcony will provide much needed outdoor space for the owners and will not create a detrimental effect on the neighborhood.



City of Cambridge
Massachusetts

1" = 35 ft

All data is provided for graphic representation only. The City of Cambridge expressly disclaims all warranties of any type, expressed or implied, including, but not limited to, any warranty as to the accuracy of the data, merchantability, or fitness for a particular purpose.

www.cambridgema.gov/gis

- Address
- Rail
- Building Footprints
- Parcels
- Paved Surfaces
 - Paved Roads
 - Bridges
 - Unpaved Roads
 - Unpaved Parking
 - Sidewalks
 - Driveways
 - Alleys
 - Other Paved Surface
 - Public Footpath





219 Grove Street Front Elevation



219 Grove Street



219 Grove Street