

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: ✓ Appeal: _____

PETITIONER: CAROLINE HUNTER

PETITIONER'S ADDRESS: 23 ROCKWELL ST. CAMBRIDGE, MA 02139

LOCATION OF PROPERTY: 23 ROCKWELL ST

TYPE OF OCCUPANCY: RESIDENTIAL ZONING DISTRICT: BA-3

REASON FOR PETITION:

<input checked="" type="checkbox"/> Additions	_____ New Structure
_____ Change in Use/Occupancy	_____ Parking
_____ Conversion to Addi'l Dwelling Unit's	_____ Sign
_____ Dormer	_____ Subdivision
_____ Other: _____	

DESCRIPTION OF PETITIONER'S PROPOSAL:

New/proposed wood frame third floor addition, including new dormers; demolition of existing attic spaces; no change in footprint but increase in the FAR due to new occupied third floor area. At existing Rockwell St. main entry, a new wood frame vestibule on a replacement platform and stairs; footprint change due to new enclosure. At the Rockwell St. façade, new wood frame weather enclosure at the existing basement entry; footprint change due to new enclosure. (Entry roof and columns at River St. entry will be replaced; no footprint change. Building will be generally rehabbed.)

SECTIONS OF ZONING ORDINANCE CITED:

Article 5 Section 5.3 TABLE 5-3(1) FAR
Article 5 Section 5.3 TABLE 5-3(5) ROCKWELL ST. SETBACK § 5.33.2(a)
Article 5 Section 5.33.2(h)

- * Applicants for a **Variance** must complete Pages 1-5
Applicants for a **Special Permit** must complete Pages 1-4 and 6
Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

For Caroline Hunter
Original Signature(s): William S. Turville, architect/agent
(Petitioner(s)/Owner) WILLIAM S. TURVILLE

CAROLINE HUNTER
(Print Name)

Address: 23 ROCKWELL ST.
CAMBRIDGE, MA 02139

Tel. No.: 617-710-9312

E-Mail Address: jazzze3@AOL.com

Date: 06/17/19

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Caroline Hunter
(OWNER)

Address: 23 ROCKWELL STREET

State that I/We own the property located at 23 Rockwell St, 224 and 226 River Street, which is the subject of this zoning application.

The record title of this property is in the name of Caroline Hunter

*Pursuant to a deed of duly recorded in the date 12/29/1980, Middlesex South County Registry of Deeds at Book 14175, Page 474; or Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

**SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT***

***Written evidence of Agent's standing to represent petitioner may be requested.**

Commonwealth of Massachusetts, County of Middlesex

The above-name Caroline Hunter personally appeared before me, this 11th of June, 2019, and made oath that the above statement is true.

My commission expires 08/21/2020 Notary Seal



WILFREDY ORELLANA
Notary Public, Commonwealth of Massachusetts
My Commission Expires Aug 21, 2020

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

WOT

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

This undersized lot presents a substantial hardship in making improvements to this owner-occupied property that are typical for the area and include both energy-saving and life safety improvements. a. The proposed third floor addition with dormers will replace occupied and unoccupiable attics; no change in footprint but small increase in the FAR due to new occupied third floor area. b. Existing stoop on Rockwell St. is in poor, unsafe condition. When replacing it, add an enclosed weatherized vestibule on this platform. c. Existing basement hatch needs replacing. Thus, improve this entry and exit by replacing the hatch with a weather-proof full-height "doghouse" enclosure. Both new small structures need to be built closer to the lot line due to the small size of the lot.

- B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

Again, the lot is undersized. The new third floor will be in character with the rest of the neighborhood and the actual increase in the FAR is small. At the yard space on Rockwell St. as proposed, the new vestibule will intrude about one foot farther than the existing stoop and the new weather-proof full height enclosure on the existing foundation will intrude on the setback no further than the existing hatch. Further, in that both of these new small structures are similar to such vestibules and "doghouse" hatch entries in the area and that neither one is closer to the property line than the existing structures (the stoop and the basement stairs), the neighborhood and the zoning intent will not be negatively affected.

- C) **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1) Substantial detriment to the public good for the following reasons:

The new third floor will not be a detriment to the public good as it is fully in character with the neighborhood. Half of the new third floor replaces the similar occupied attic facing River St. The two small additions will not be any detriment to the public good because a) they are small; b) they will protrude on the setbacks similar to the existing structures; c) they will be viewed by the public as normal parts of this old house; and d) they will unobtrusively blend in with the local neighborhood.

- 2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The intents of the ordinance (per 1.30) and the variance process (allowing controlled but reasonable changes and/or updates to buildings/dwellings) will remain intact if these changes are approved. The new third floor remains under the height limit and is appropriate for the neighborhood and only slightly increases the FAR beyond the existing (which is due to the undersized lot). The proposed limited-scale but worthy energy-related and life safety-related changes on grade on Rockwell St. are small, contribute very little to the FAR change, and have no material negative impact on the lot, the street, or the neighborhood nor the central intents of the zoning by-law.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: CAROLINE HUNTER PRESENT USE/OCCUPANCY: RES. (3 FAM.-EXST.)
 LOCATION: 23 ROCKWELL ST. (\$ 224/226 RIVER) ZONE: BA-3
 PHONE: 617-710-9312 REQUESTED USE/OCCUPANCY: RES (3 FAM-EXISTING)

	EXISTING CONDITIONS	REQUESTED CONDITIONS	ORDINANCE REQUIREMENTS	
TOTAL GROSS FLOOR AREA:	<u>3988</u>	<u>4561</u>	<u>N/A</u>	(max.)
LOT AREA:	<u>3214</u>		<u>5000</u>	(min.) (1)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>1.24</u>	<u>1.42</u>	<u>.75</u>	(max.) (1)(3)
LOT AREA FOR EACH DWELLING UNIT:	<u>1,071</u>	<u>1,071</u>	<u>1,500</u>	(min.) (1)
SIZE OF LOT:	WIDTH RIVER: <u>65.33</u> ROCK: <u>59.74</u>		<u>50</u>	(min.)
	DEPTH RIVER: <u>50.83</u> ROCK: <u>52</u>			
Setbacks in Feet:	FRONT ROCK: <u>13.31</u>	<u>8.72</u>	<u>10</u> [5.33.2(h)]	(min.) (4)(1)
(CORNER LOT)	R. SIDE ROCK: <u>5.82</u>	<u>5.82</u>	<u>20</u> [5.33.2(e)]	(min.) (2)
	FRONT RIVER: <u>8.31</u>	<u>8.31</u>	<u>10</u> [5.33.2(h)]	(min.) (2)
	L. SIDE RIVER: <u>11.94</u>	<u>11.94</u>	<u>10.6</u>	(min.)
SIZE OF BLDG.:	HEIGHT <u>32</u>	<u>34'-11"</u>	<u>35</u>	(max.)
	LENGTH <u>39'-4"</u>	<u>39'-4"</u>		
	WIDTH <u>30'-6"</u>	<u>37'-6"</u>		
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³	<u>17.5%</u>	<u>17%</u>	<u>N/A</u> (5.28.25)	(min.)
NO. OF DWELLING UNITS:	<u>3</u>	<u>3</u>	<u>3</u>	(max.)
NO. OF PARKING SPACES:	<u>0</u>	<u>0</u>	<u>3</u>	(min./max.) (5)
NO. OF LOADING AREAS:	<u>0</u>	<u>0</u>	<u>0</u>	(min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	(min.)

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Zoning Analysis Notes

- (1) Lot is undersized.
- (2) Existing non-conformity as to setback. No change.
- (3) Existing non-conformity as to FAR [5-3(1)]. Small increase requested for FAR for third floor addition and two weather enclosures. (Undersized lot.)
- (4) Existing non-conformity to Rockwell St. front setback [5-3(5), 5.33.2(a) and 5.33.2(h)]. Small decrease requested (new weather enclosures at existing Unit 3 main entry and at existing basement entry). (Undersized lot.)
- (5) Existing non-conformity as to parking requirement. No change requested.

Wet.

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Variance: ☒ _____

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LOCATION OF PROPERTY: 23 ROCKWELL ST

TYPE OF OCCUPANCY: RESIDENTIAL

ZONING DISTRICT: _____

REASON FOR PETITION:

☒ Additions

New Structure

Change in Use/Occupancy

Parking

Conversion to Addi'l Dwelling Unit's

Sign

Dormer

Subdivision

Other: _____

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Article 5 Section 5.3 TABLE 5-3(5) ROCKWELL ST. SETBACK \neq 5.33.2(a)
 \neq 5.33.2(h)

Article _____ Section _____

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Original Signature(s):

For Caroline Hunter

William S. Fille architect/agent
(Petitioner(s)/Owner) WILLIAM S. FILLIE

CAROLINE HUNTER
(Print Name)

Address:

23 ROCKWELL ST.

CAMBRIDGE, MA 02139

Tel. No.:



617-710-9312

E-Mail Address:

jazzze3@AOL.com

Date:

06/17/19

-  - PROVIDE POCKET FOR (N) W/10 BM SUPPORT.
 NEW BEAM MUST HAVE 4" MIN. BEARING ON
 (N) 1/2" x 4" x 6" STEEL PLATE.
-  - IF BOTTOM OF (E) FOOTING TO BE LOWER THAN BOTTOM
 OF (N) FOOTING, THE UNDERPINNING FOR (E) FOOTING
 WILL BE REQUIRED. CALL STRUCTURAL ENGINEER FOR
 PROPER RECOMMENDATIONS.

THE BOTTOM PORTION OF (E) FUS'N WALL TO BE CONNECTED
 WITH (N) FUS'N WALL WITH #5 x 2'-6" LONG JOULES @ 12" O.C.
 W/8" EUREDOM. INTO (E) FUS'N WALL WITH EPOXY

EXISTING 4x8 BEAM MUST BE EXPOSED DURING CONSTRUCTION.
THIS BEAM MUST BE CONTINUOUS FROM POST TO POST AS INDICATED
ON PLAN.
IF SPLICE WILL BE ENCOUNTERED BETWEEN POSTS OR ANY DAMAGES
OF THE BEAM, CALL STRUCTURAL ENGINEER FOR PROPER RECOMMENDATIONS.

1. Provide "Simpson" hangers for all flush frame connections joists to headers, headers to headers, ...etc.
2. All members indicated on plan as required must be checked during construction. If there is improper members, replace them with new as indicated on the plan or call structural engineer for proper recommendations.
3. If any horizontal cracks will be encountered on the beams which are not indicated on the plan with , they should be infilled with pressure injection of epoxy "Sikadur 35" by Sika or equivalent (typical at each floor level)

THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY
FOR MEANS AND METHODS FOR TEMPORARY SHORING OF
THE STRUCTURE.

Structural Engineer shall not be responsible for tieprofing.

Structural Engineer shall not be responsible for waterproofing.

Structural Engineer shall not be responsible for any other structural work beyond what is shown on the drawings.

The Contractor shall be completely responsible for the safety of adjacent structures, property, his workmen, and the public, as affected by the construction of this project

Contractor shall be responsible for the safety of the structure and/or of structural work and/or made necessary due to improper structural conditions shall be provided by Contractor who shall assume all responsibility for it. All temporary bracing and shoring shall be removed only after work has been completed and checked by Structural Engineer.

Contractor shall verify all dimensions on the job.

Contractor shall not scale dimensions from drawings.

For all flush frame connections, beam to beam or joist to beam, provide hangers, simpson or equal. Use hangers which are designed for actual loads.

All flush framed joist connections to be Simpson type LU or equal.

For all connections of the structural members with bolts provide nuts with washers.

Contractor shall ensure structural members are not damaged.

All requests for changes to the structural drawings from Client, Contractors, etc., or any other party must be made in writing to the Structural Engineer, or any other changes to drawings made on the site must be approved in writing to the Structural Engineer.

The Structural Engineer shall not have control or charge of, and shall not be responsible for, construction means, methods, techniques, sequences or procedures, for safety precautions and programs in connection with the Work, for the acts or omissions of the Contractor, Subcontractors or any other persons performing the Work, or for the failure of any person to carry out the Work in accordance with the Contract Documents.

In case existing conditions differ from those shown on drawings, Contractor shall notify the Structural Engineer immediately upon discovery of such conditions.

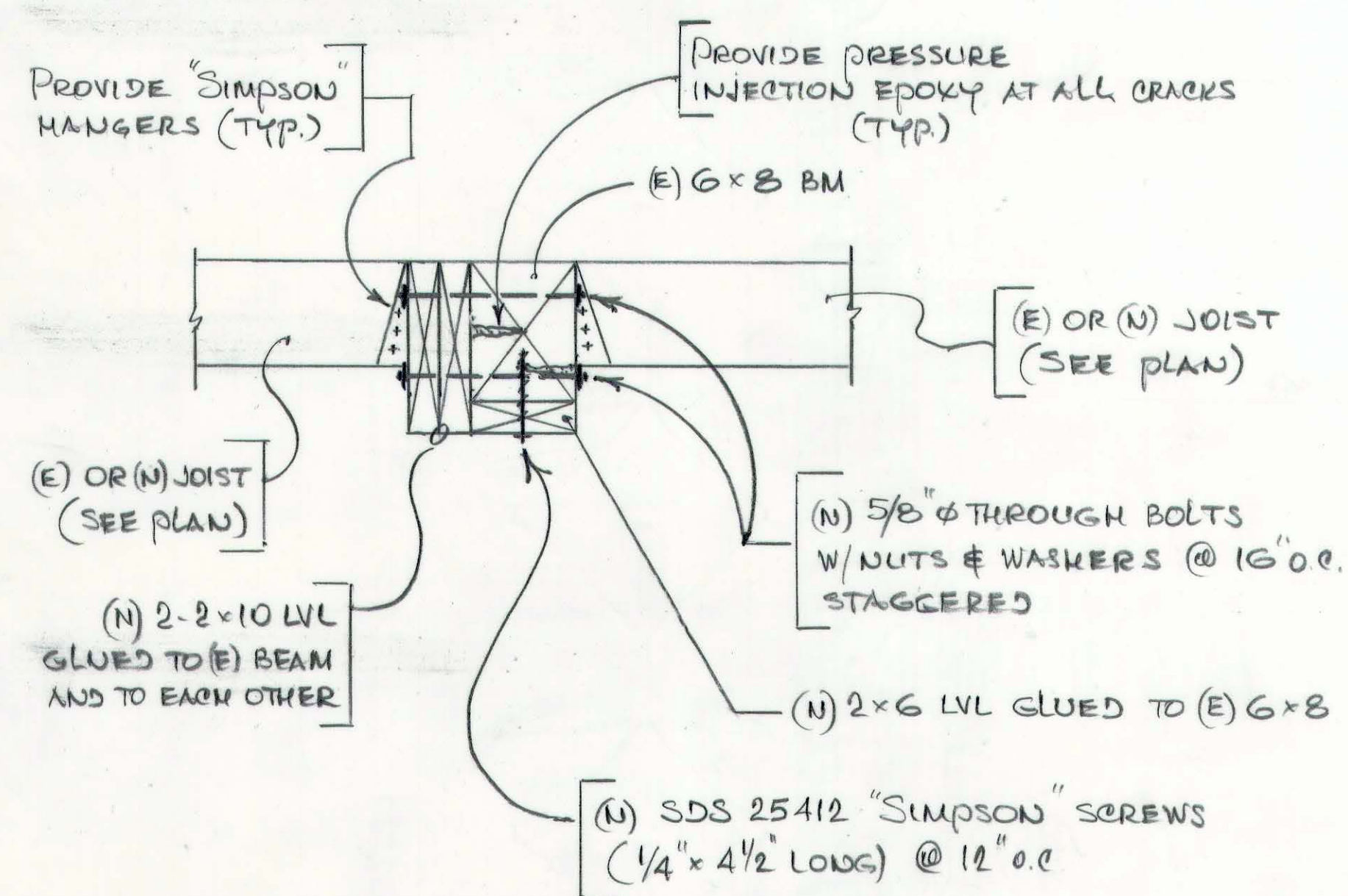
Contractor must have the expertise to execute all work indicated on the drawings or shall hire qualified help to do it.

Work indicated in these drawings must be started within a period of 180 days of the date of this drawing and must be considered abandoned after a period of 180 days after the time of work is commenced.

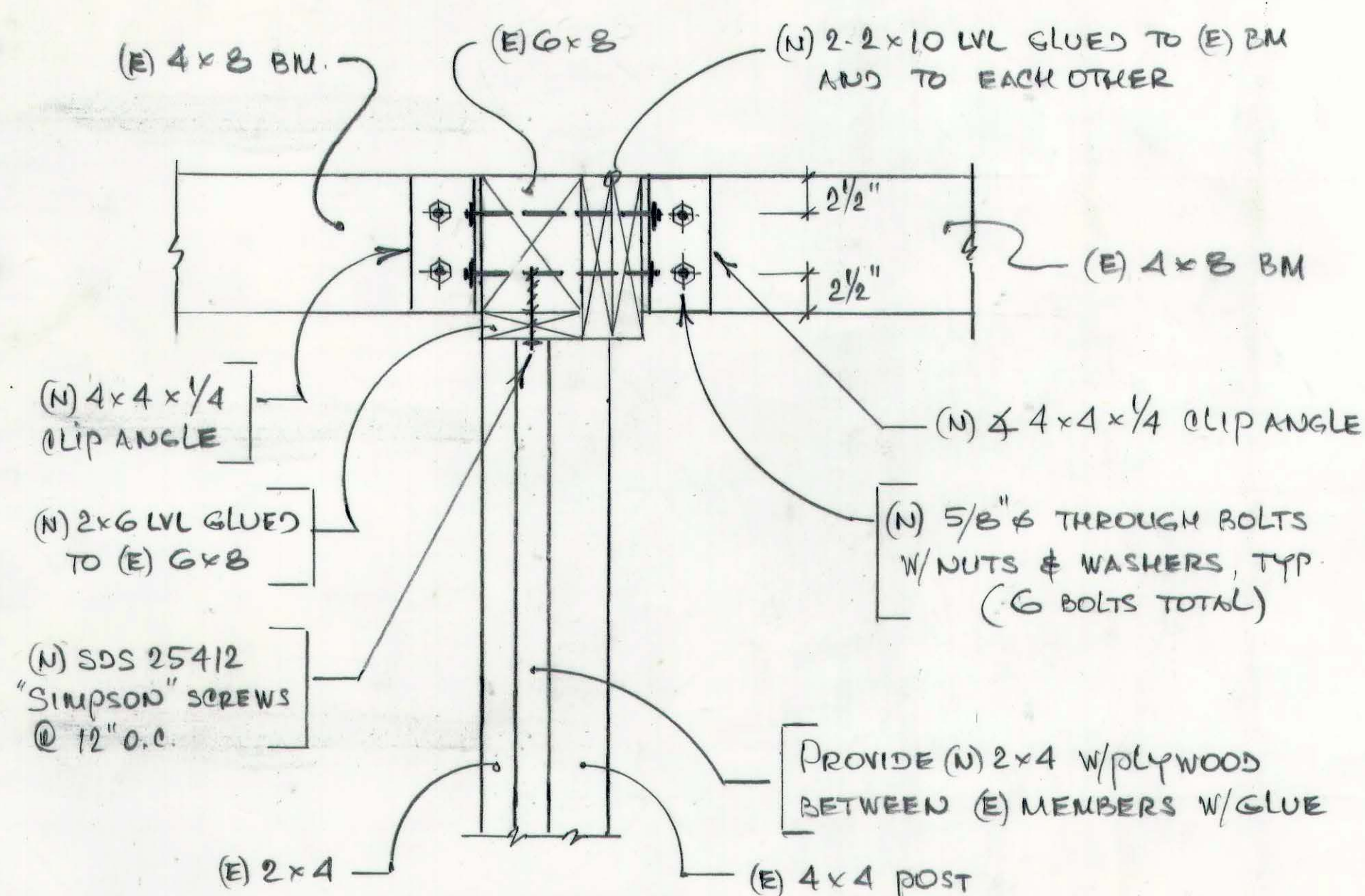
[illegible]

EACH CEILING JOIST TO BE
CONNECTED TO CORRESPONDING
RAFTER WITH 6-12d NAILS
(TYP. ON BOTH SIDES)

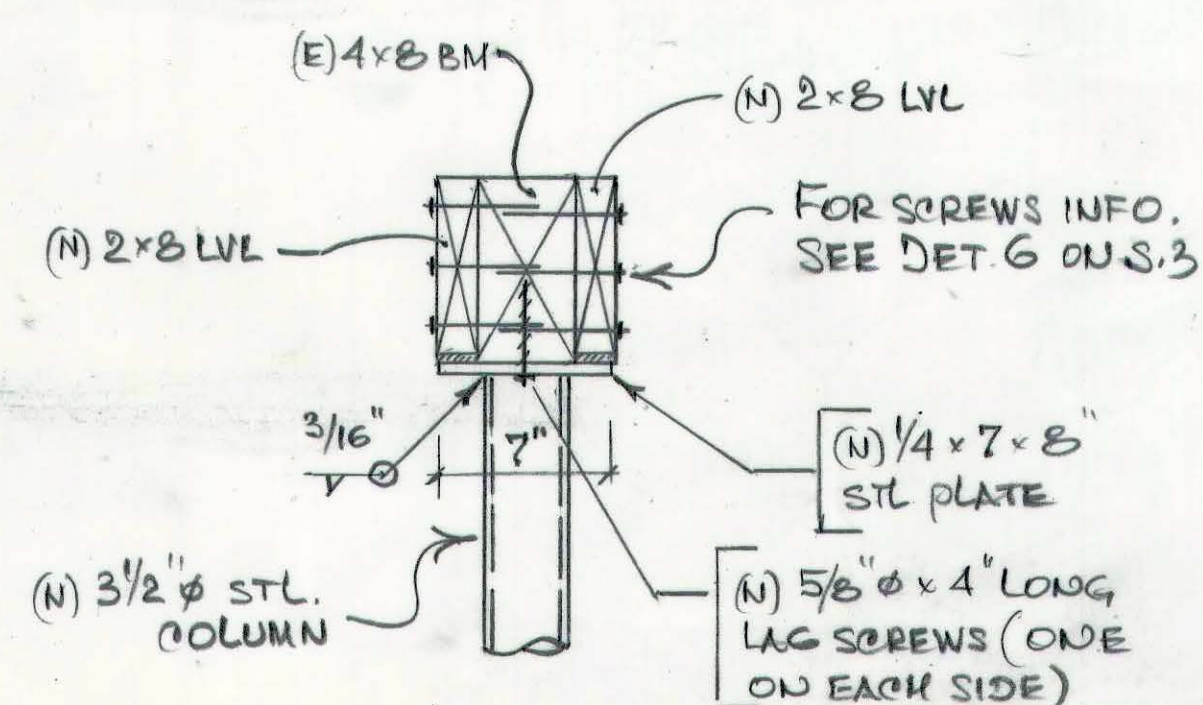
17-057



DETAIL 3
Scale 1 1/2" = 1'-0" S-1

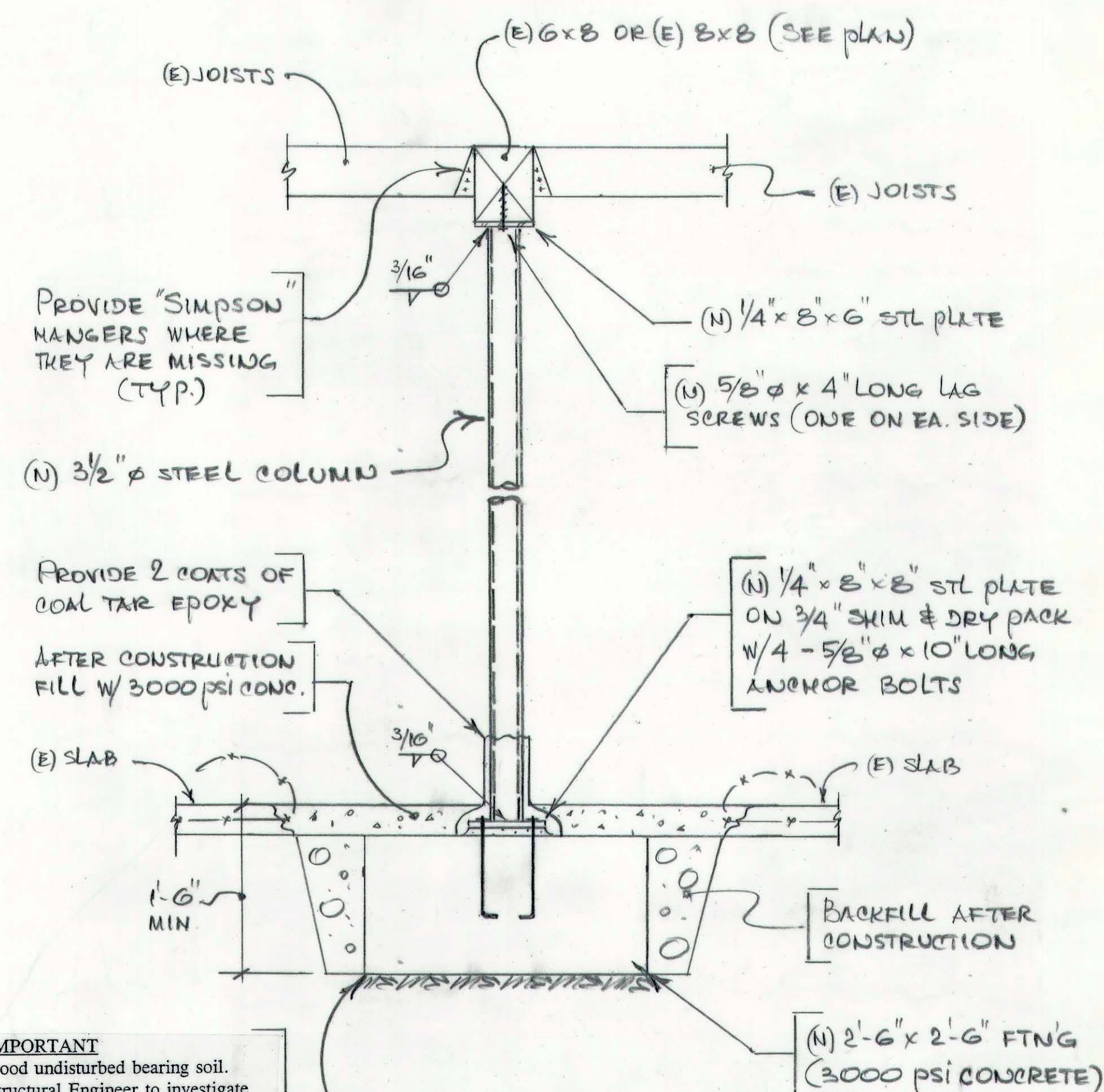


DETAIL 4
Scale 1 1/2" = 1'-0" S-1



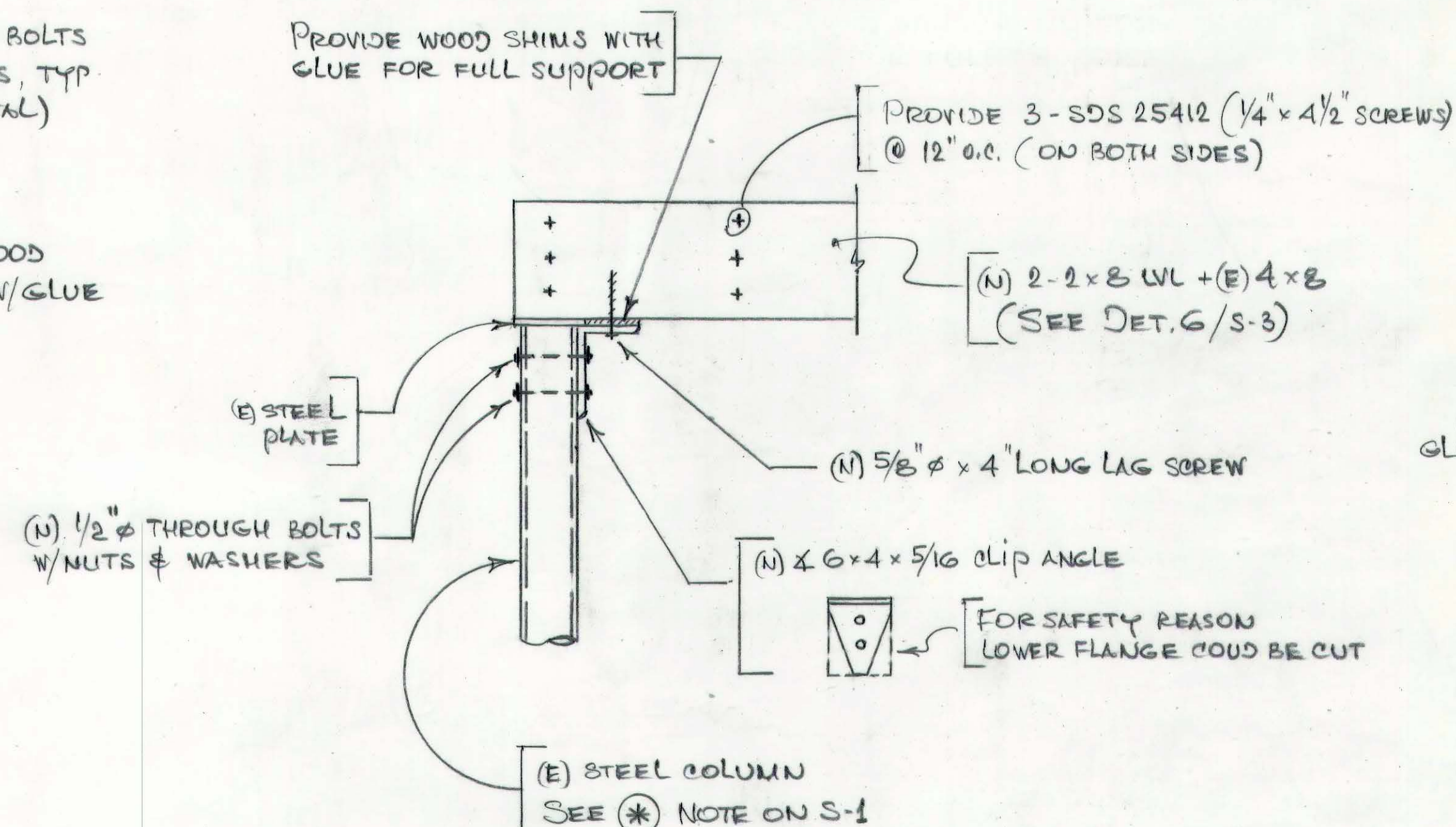
BELOW THIS LINE FOR (N) 2'-0" x 2'-0" FTNG
SEE DET. 5 ON S-3 SIMILARLY

DETAIL 9
Scale 1 1/2" = 1'-0" S-1

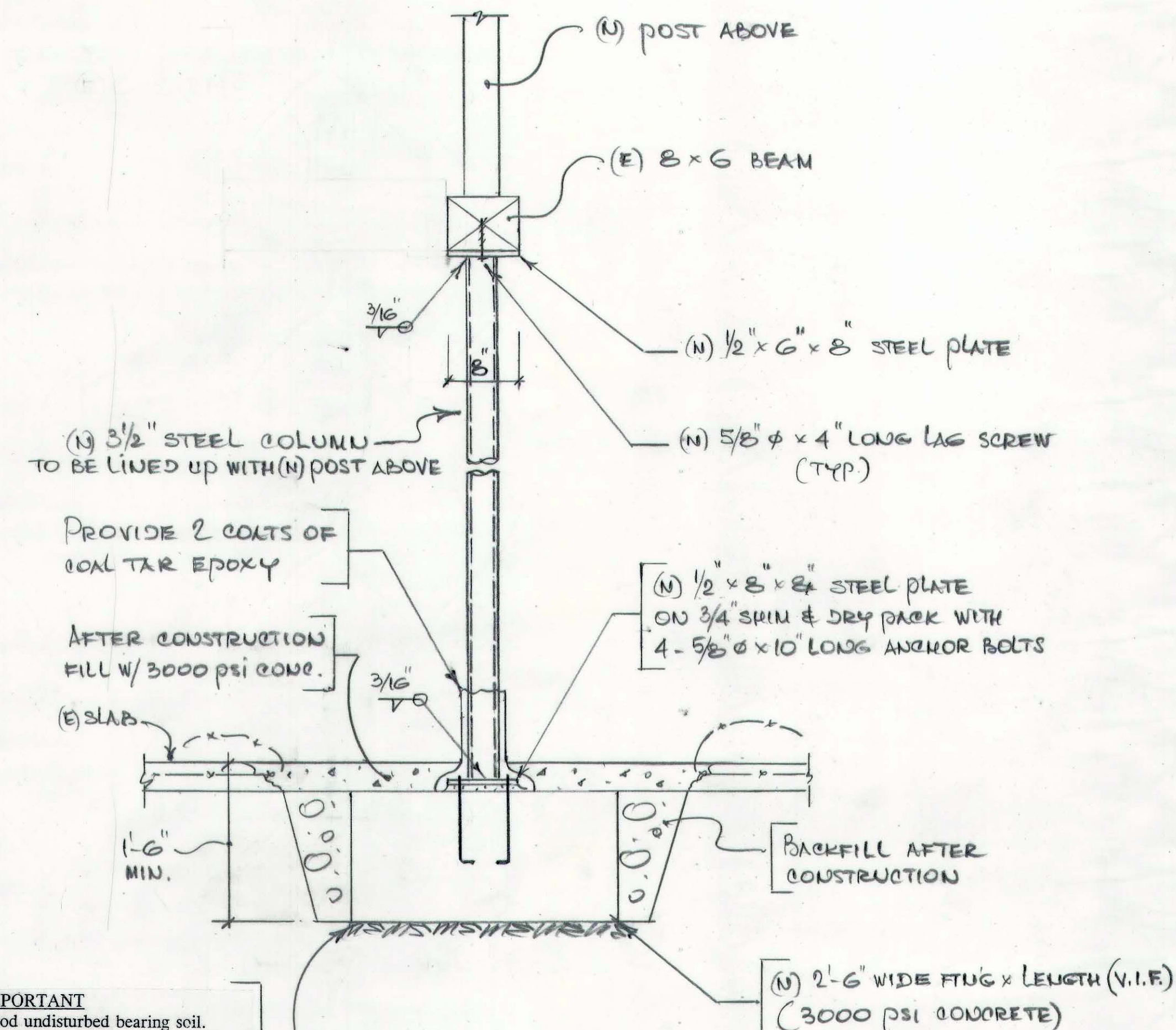


IMPORTANT
Good undisturbed bearing soil.
Structural Engineer to investigate
bottom of excavation before pouring
concrete.

DETAIL 5
Scale 1" = 1'-0" S-1

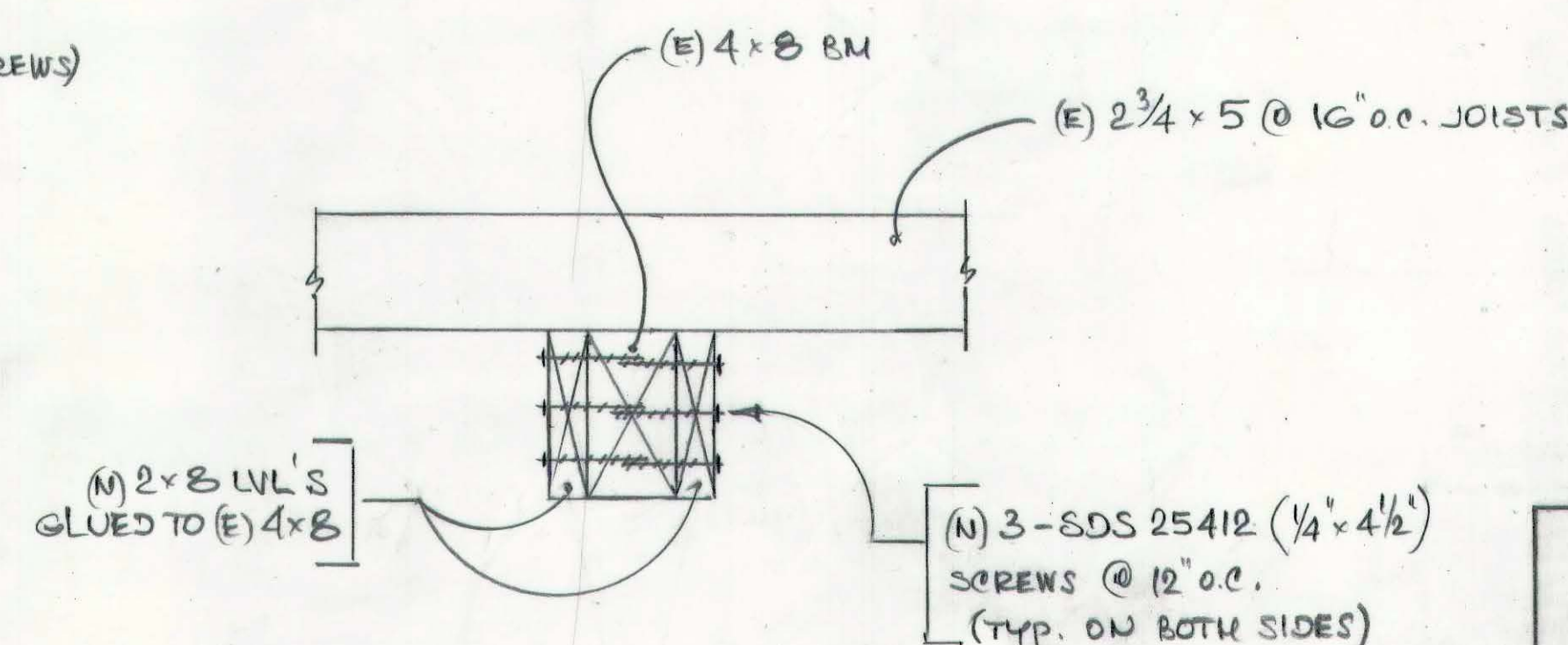


DETAIL 7
Scale 1 1/2" = 1'-0" S-1

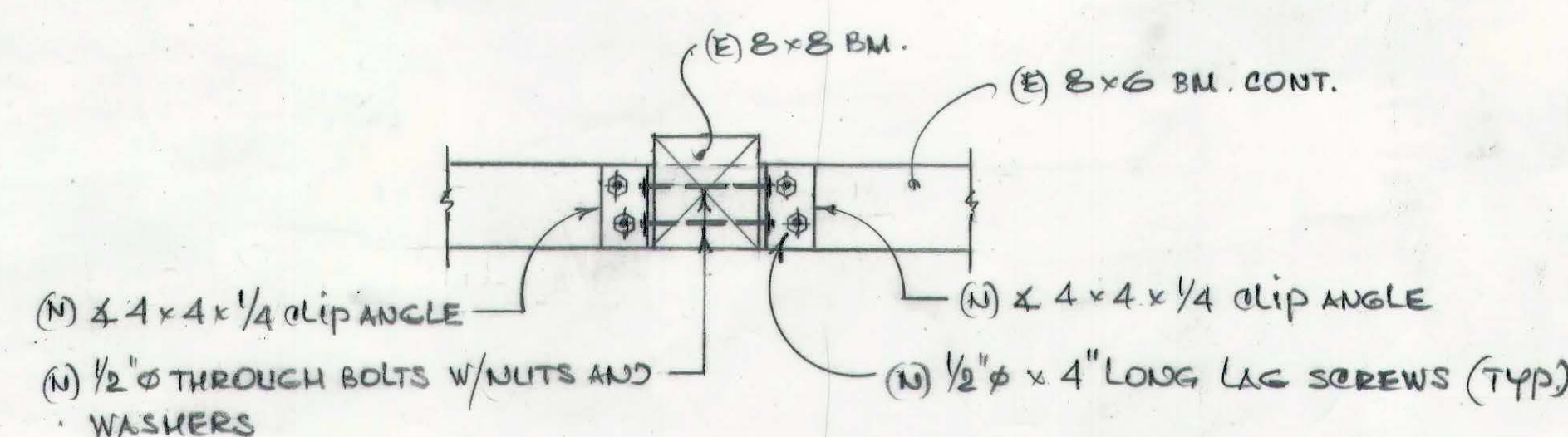


IMPORTANT
Good undisturbed bearing soil.
Structural Engineer to investigate
bottom of excavation before pouring
concrete.

DETAIL 8
Scale 1" = 1'-0" S-1



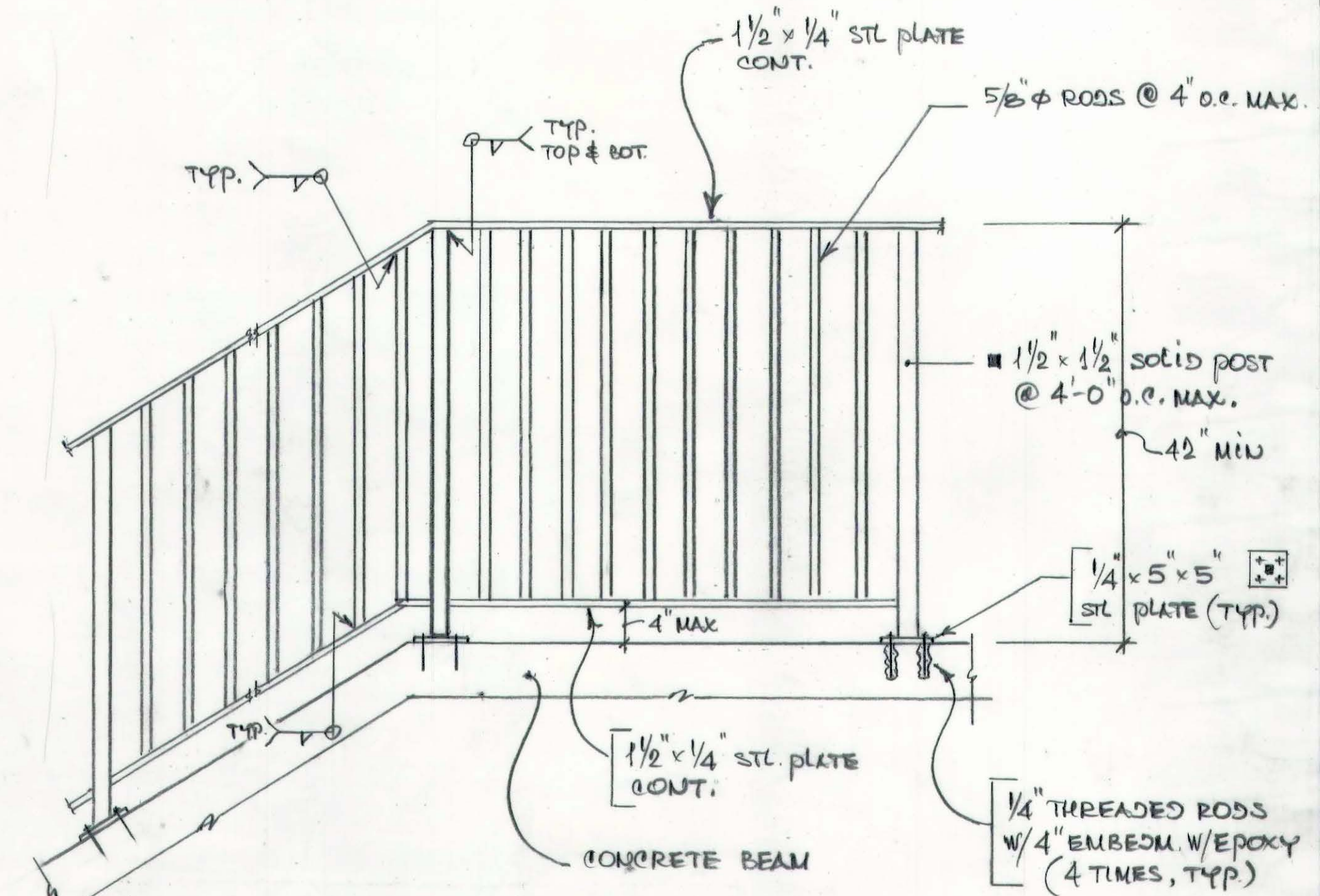
DETAIL 6
Scale 1 1/2" = 1'-0" S-1



DETAIL 10
Scale 1" = 1'-0" S-1

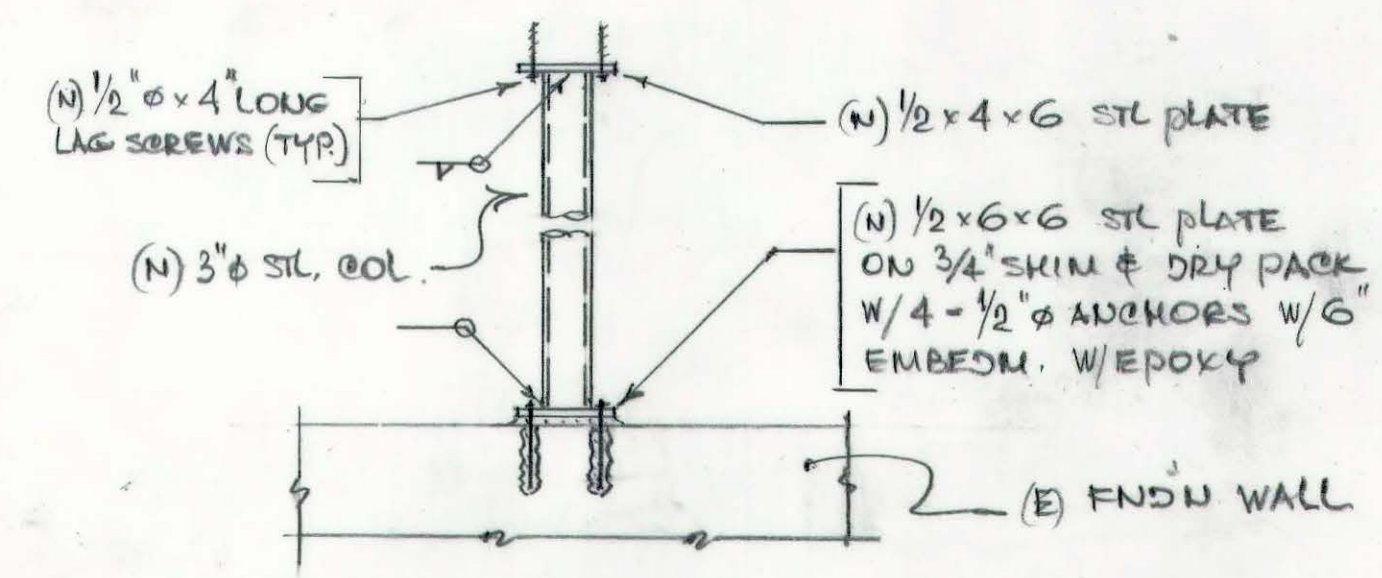
RENE MUGNIER ASSOCIATES, INC. 777 Concord Avenue, Suite 201 Cambridge, Massachusetts 02138 Phone (617) 547-7773, Fax (617) 547-7743	
NO. REVISIONS/ISSUE	DATE
TITLE: 23 ROCKWELL ST. CAMBRIDGE, MA	
DETAILS	
Copyright © RENE MUGNIER ASSOCIATES, INC.	
DRAWN: M.S.	DATE: 12.26.2017
CHECKED: R.M.	SCALE: AS NOTED
DRAWING NO.:	

S-3



TYP. GUARDRAILING DETAIL

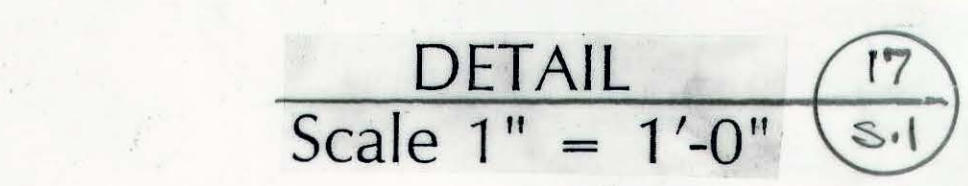
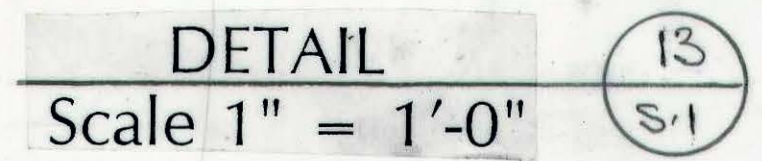
SCALE: 1" = 1'-0"



DETAIL

Scale 1" = 1'-0"

14
S.1

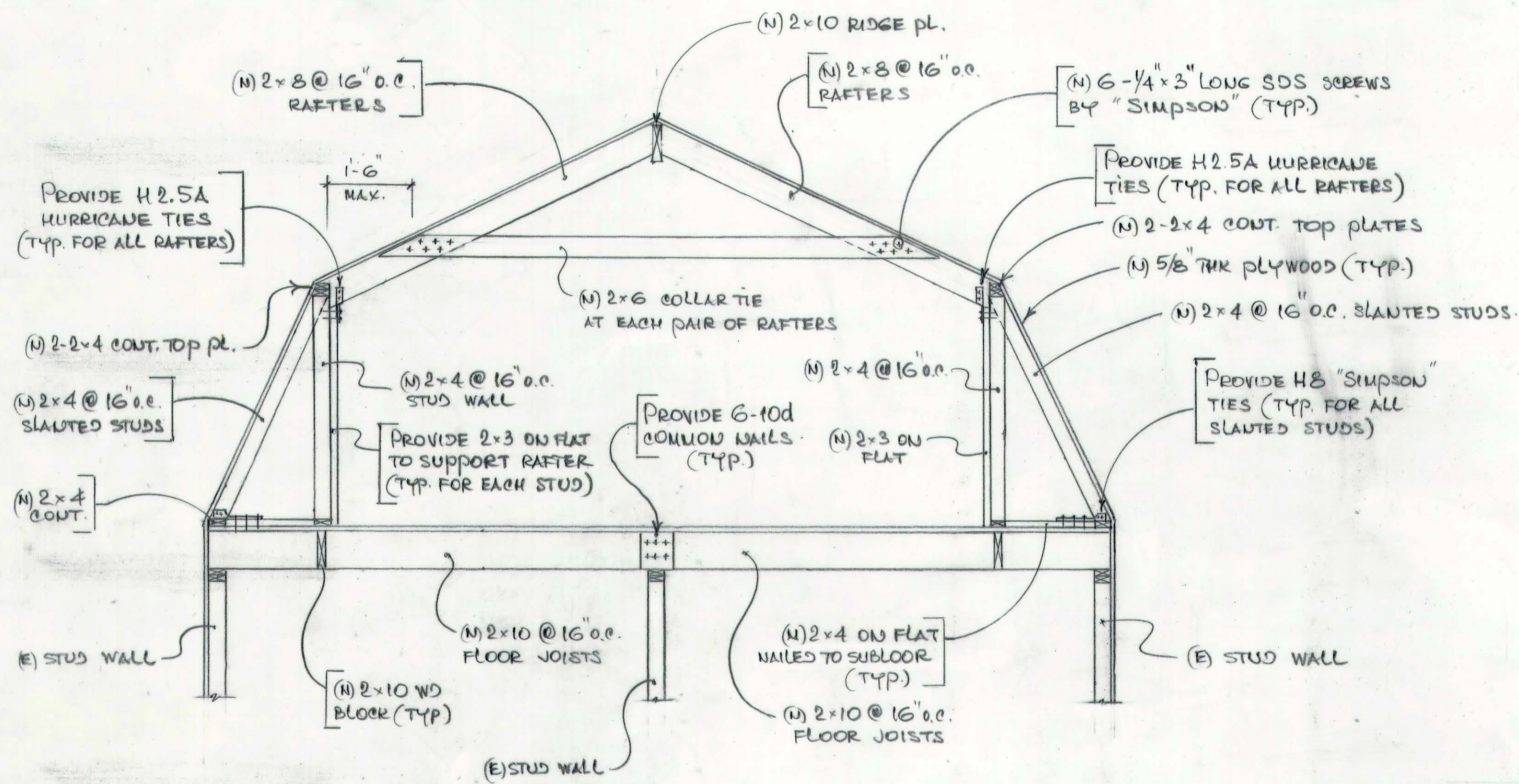


DETAIL

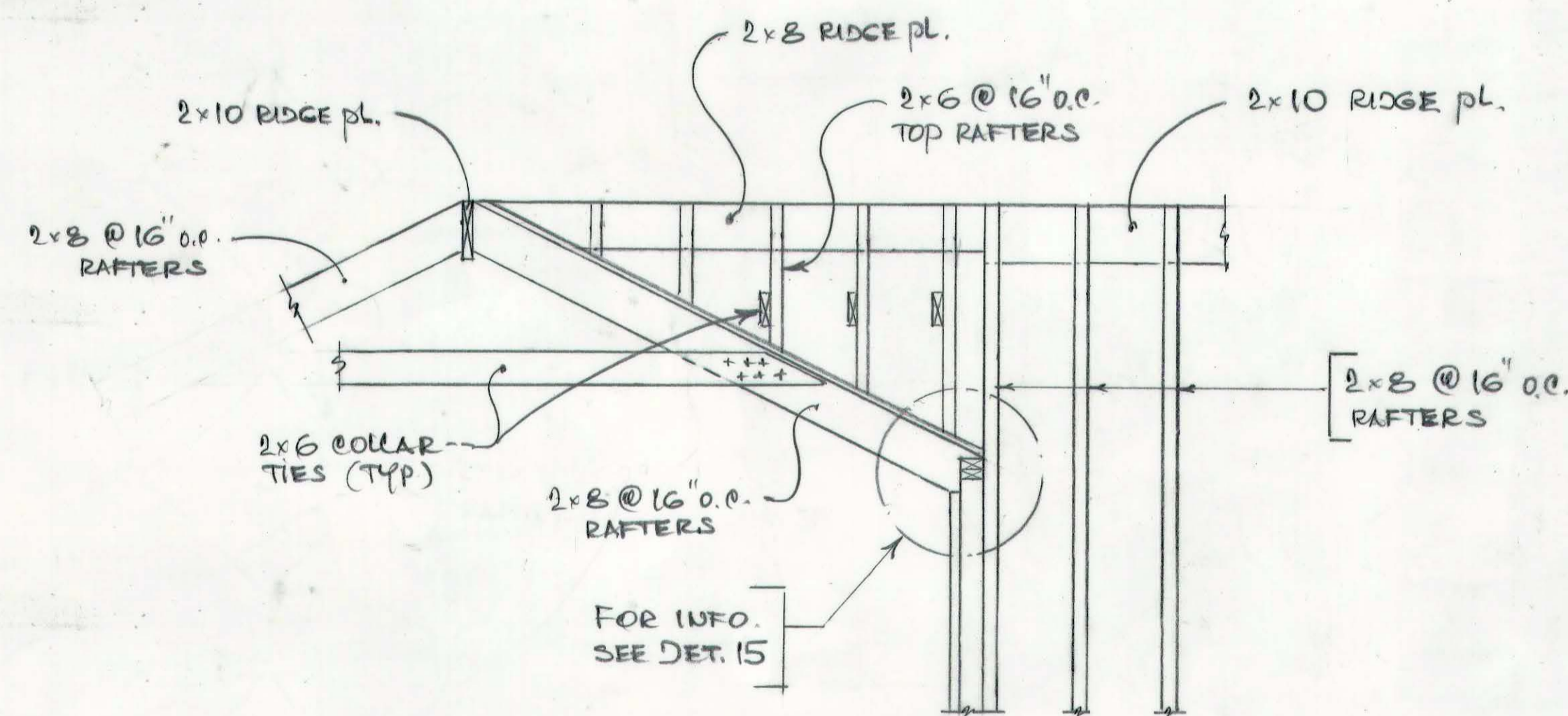
Scale 1" = 1'-0"

17
S.I

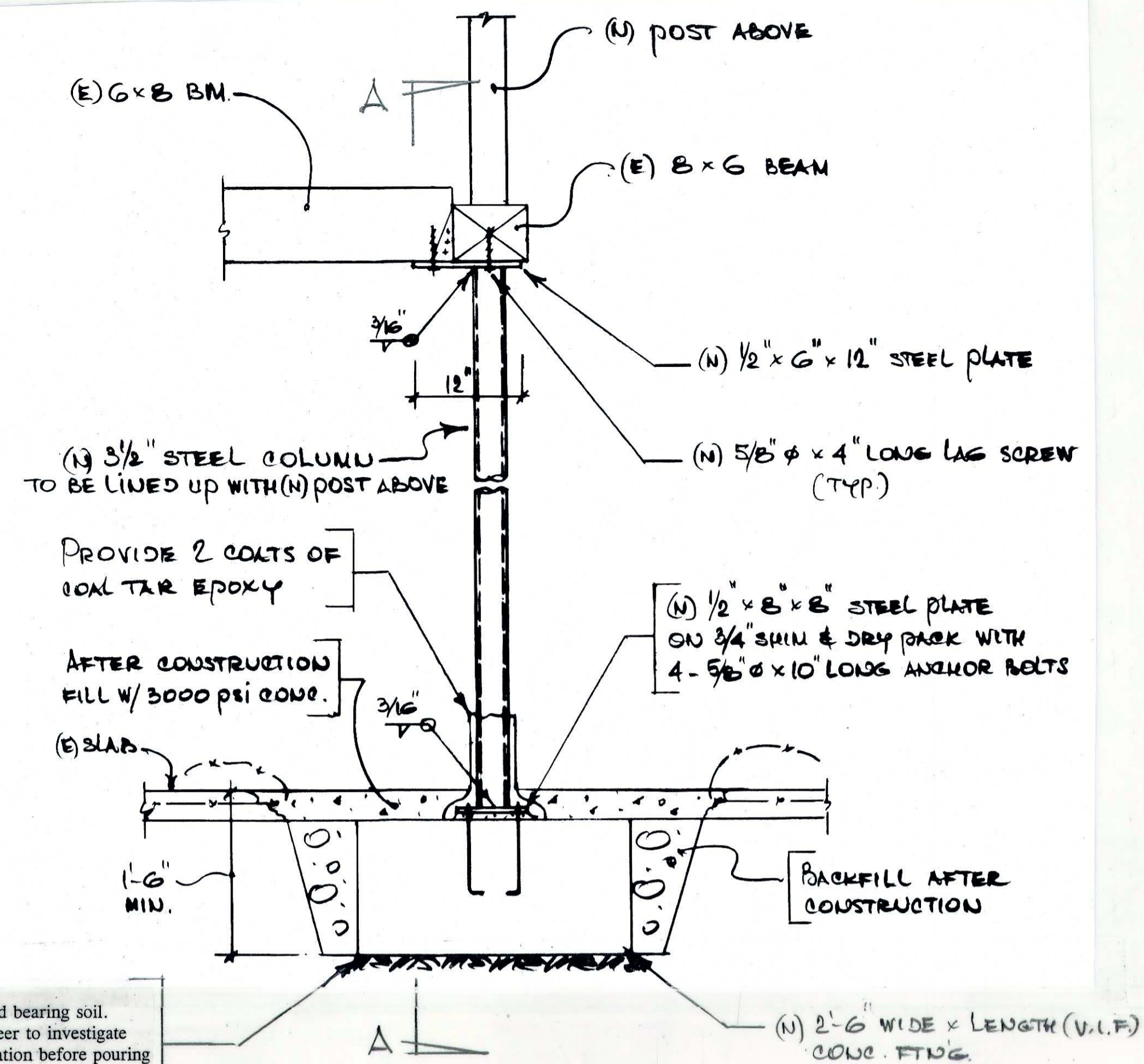
17.057



DETAIL 15
 Scale 1/2" = 1'-0"

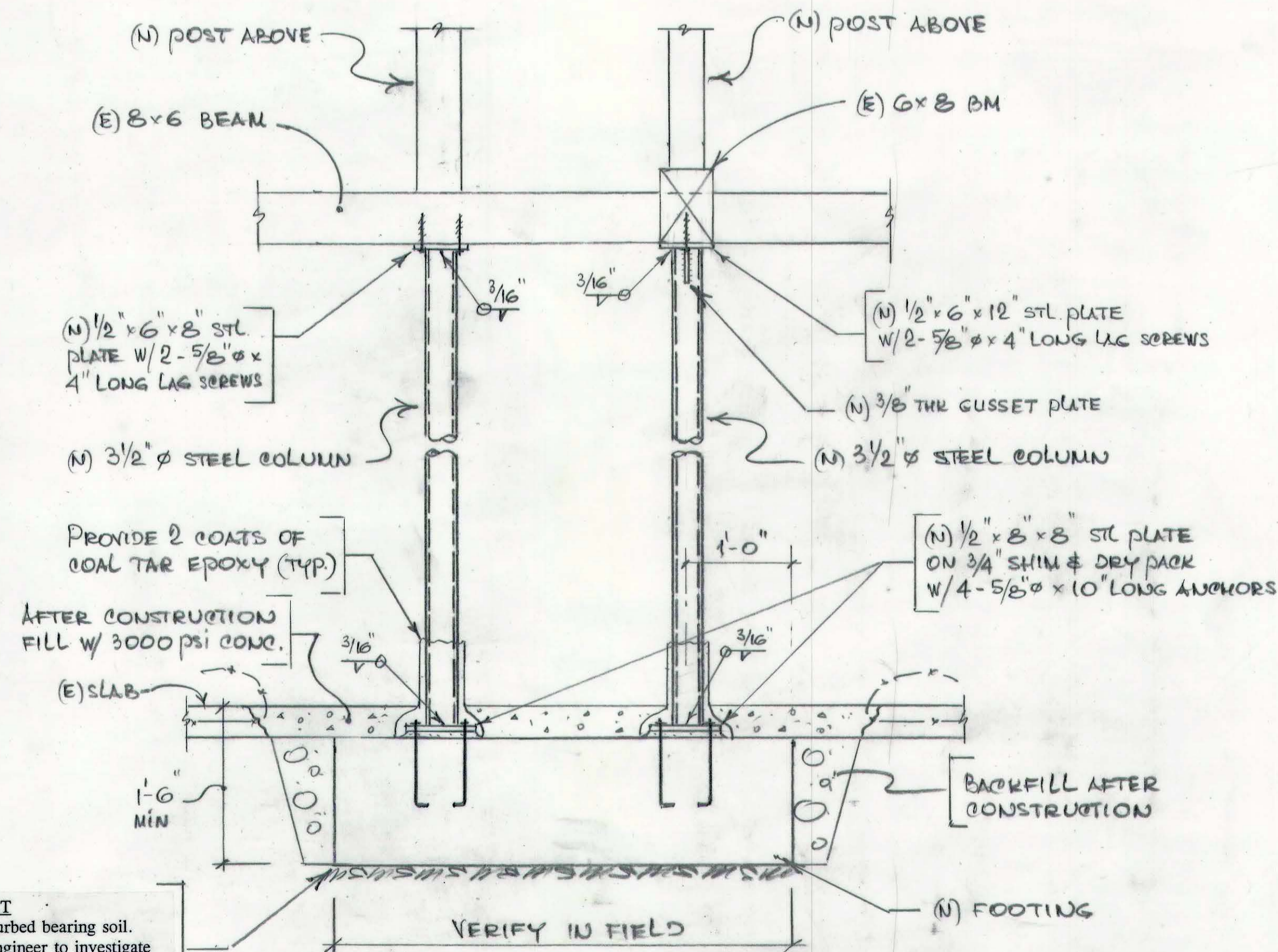


DETAIL 16
 Scale 1/2" = 1'-0"



IMPORTANT
 Good undisturbed bearing soil.
 Structural Engineer to investigate bottom of excavation before pouring concrete.

DETAIL 11
 Scale 1" = 1'-0"



IMPORTANT
 Good undisturbed bearing soil.
 Structural Engineer to investigate bottom of excavation before pouring concrete.

SECTION A-A
 SCALE: 1" = 1'-0"

RENE MUGNIER ASSOCIATES, INC. 777 Concord Avenue, Suite 201 Cambridge, Massachusetts 02138 Phone (617) 547-7773, Fax (617) 547-7743		
NO.	REVISIONS/ISSUE	DATE
TITLE: 23 ROCKWELL ST. CAMBRIDGE, MA.		
DETAILS		
Copyright © RENE MUGNIER ASSOCIATES, INC.		
DRAWN: M.S.	DATE: 12-26-2017	
CHECKED: R.M.	SCALE: AS NOTED	
DRAWING NO.:		

A. Summary of General and Special Conditions

- The contractor will protect the house and its contents at all times and will keep the house properly secured at all times. The contractor will keep a safe and clean work site. The contractor will generally allow, except under explicit circumstances, the owners or their representatives to make regular visits to the house to safely view the work. Temporary facilities, protective plastic or wood partitions and other accommodations may be required to adequately proceed with the work.
- Contractor will perform all work according to the construction documents, to established industry standards and all relevant state and local building codes including the Massachusetts State Code 780 CMR 9th Edition (based on IBC 2015) General Code and the Existing Building Code (based on IEBC 2015), for eastern Massachusetts, working with the Cambridge Inspectional Services Department (ISD), and within all municipal by-laws, including zoning requirements and relevant state and federal regulations, including licensing, insurance requirements and work practices (OSHA, etc).
- Contractor will perform all work in compliance with the requests of the owners or their representatives and to the satisfaction of the owners or their representatives. Secure approval from the owners for site access, types and locations of all temporary facilities, work hours and delivery or other schedules, disposal and clean-up procedures and general use of the site. Contractor will arrange with the owner for temporary utilities (water, electricity, telephone, fax, etc), parking and any other arrangements necessary to proceed with the work.
- The owner will negotiate the final contract. Work will be performed under a standard agreement. The contractor shall submit a breakdown of items and related costs for reference by the owner and architect to verify scope, quality and quantity of purchased items. The contractor shall also submit a schedule for the work and also a list and schedule for submittal/receipt of items to be approved, purchased or supplied to the contractor by others, especially the owner.
- Proper weather and security protection will be strictly maintained at all times.
- During the entire demolition and construction process, all precautions should be taken to maintain a safe work site. Trash and debris must be controlled; general daily cleanup is recommended in most areas. There will be space allotted for a dumpster, which must be loaded properly and removed as required in a timely way. Final cleaning is included in the work.
- The contractor shall submit a breakdown of items and related costs for reference by the owners and architect to verify scope, quality and quantity of purchased items. The contractor shall submit a schedule for the work and a list and schedule for submittal/receipt of items to be approved, purchased or supplied to the contractor by others, especially the owner.
- All materials shall be new and delivered to the site in good condition, be free of defects and be stored and handled properly (per the manufacturer's recommendations and requirements) to maintain their required performance characteristics.
- Contractor shall verify all dimensions and elevations of proposed construction in the field prior to constructing any part of the work. Report any discrepancies or questions to the architect immediately for clarification and interpretation.
- Contractor shall thoroughly review the contract documents and the field conditions. Report any discrepancies or questions to the architect immediately for clarification and interpretation.
- All work must be plumb, level and true and to commercial standards of professional tolerances.
- Submittals and controls:
 - Shop drawing submittal and approval by the structural engineer and the Owners are required for all structural work.
 - Required submittals (allow enough lead time in schedule for reviews and approvals by architect and/or engineer):
 - Shop drawings are required to be submitted and approved for all fabricated items prior to fabrication and installation.
 - Manufacturer's literature (such as cut sheets, MSDS's, etc.) shall be submitted for review and approval by the architect for all purchased items (including, but not limited to, metal and wood products and materials, hardware, doors, windows, insulation, sealants and joint fillers, adhesives, acoustical materials, finishes, etc.) prior to purchase and installation.
- Contractor shall verify locations and capacities of all utilities, both existing and proposed, and immediately report any deficiencies, conflicts or questions of any sort to the architect for clarification and interpretation prior to commencing work in the area in question. Verify with Digsafe prior to starting any excavation.
- Any work not conforming to the contract documents shall be rejected. Rejected work shall be removed and replaced (or corrected to new conditions if possible) as directed by the architect or engineer at no additional cost to the owner or the owner's representatives.
- During the work, contractor shall protect areas outside the work areas. If there is damage caused by the contractor to any part of the existing house which is planned for reuse and/or to any portion or component of the property outside of the work areas, contractor will repair and restore the damaged area to a condition satisfactory to the owner, including labor and costs of replacing building components or mature plantings. As work progresses, new work will be properly protected for the duration of the construction period.
- Permits, police details, and any other city-related or city-imposed fees and expenses shall be paid for by the contractor unless the owner informs the contractor that the owner has paid for these items.
- General clean-up: Keep areas of work clean and safe during the work. Broom-clean all work areas at the end of the work and dispose of all construction debris and remove all tools and excess materials beyond those being left for the owner. At completion, shop-vac renovated areas, third floor, stairways and basement interior work areas.
- The architect is not responsible for construction or worksite safety precautions or programs or for acts or omissions of the contractor, subcontractors or any person performing any of the work or for the failure by any of them to carry out the work in accordance with the contract documents.
- The architect is not responsible for methods and means, techniques, sequences and procedures of construction. The General Contractor is solely responsible for the methods and means, techniques, sequences and procedures of construction.
 - Temporary shoring and/or bracing of building components and/or systems (including, but not limited to, excavations, foundations, wood and/or steel framing, etc.), may be required during the work. Such temporary shoring and/or bracing of building components and/or systems is solely the responsibility of the General Contractor.
 - Framing under partitions: Use supplemental continuous blocking, extra joists, bracing, etc. per joist and girder manufacturers' requirements directly below interior partitions. Use solid blocking under walls crossing joists and at least two joists under partitions running parallel to joists.
 - Interior partitions shall be permanently braced back to building structure.
- Contractor's General Liability insurance and Worker's Compensation insurance are required.

B. Demolition and Disposal Notes

- NOTE: All precautions should be taken to maintain a safe work site.
- All demolition work and disposal operations shall conform to applicable federal, state and city laws and ordinances and good practice. Shore areas if required to maintain building integrity during the demolition. Demolition and disposal operations are solely the responsibility of the general contractor.
- Establish a process for debris disposal approved by the owner and town.
- Selectively and carefully demolish selected and specific work areas of the house required for penetrations and installation of new work including the additions, structural installations, electrical, heating and plumbing work except as noted on drawings. Protect adjacent surfaces and structures from damage.
- Generally protect the exterior of building.
- Do not allow water penetration into the building.
- Protect existing finished floors, ceilings and all other finished areas and surfaces, not requiring renovations, from damage. General contractor will be responsible for restoration, to the satisfaction of the owner of all surfaces and items damaged or excessively removed. Restoration will be to new condition or to match the adjacent existing construction or surface.
- If required, demolish plaster interior surfaces of existing walls only at selected work areas. Protect adjacent surfaces and structures from damage.
- Remove or abandon selected electrical, mechanical or plumbing work. Cap all abandoned work.
- As and if required in the plans, notes and specifications, remove and salvage selected noted building components for reuse.
- Supply plastic or plywood partitions to separate non-work areas from demolition and work areas. Contain dust and debris within work areas except for removal of debris from area via controlled disposal systems (chutes, bags, etc).
- Existing site and building utilities will be protected to be reworked as required.
- Supply containers (dumpsters, a truck, etc) large enough, in sufficient quantity and changed often enough to contain all debris. Dispose of all debris in a legal manner; if necessary gain local approvals for disposal operations. Continue the use of the dumpsters through the construction work when and only when required for debris removal. Do not allow loose debris to accumulate without controls. Place containers and trash in locations approved by the owner. If there is a period during which a dumpster is not required, place debris in weatherproof containers, minimize the accumulation of debris and maintain a safe and clean work area and site.
- Submit to the owner the schedule for the demolition work for their approval prior to starting the work.
- Temporary shoring and/or bracing of building components and/or systems (including, but not limited to, wood and/or steel framing, etc.), may be required during the demolition work. Such temporary shoring and/or bracing of building components and/or systems is solely the responsibility of the General Contractor.
- Contractor shall pay all site dumpster, waste materials hauling and off-site disposal fees

C. Building Code Summary

780 CMR 9th Edition (2017); 2015 IBC; 2015 IEBC; as applicable, 2015 IECC
Use/occupancy: R-2: Residential; three-family
Construction Type V: traditional wood frame
Sprinklers are being added to the building in this project
Existing Building Code/Chapter 34: Alterations Level 2 with additions
Sections 401-403, 501, 502 (Repairs, with Chapter 6), 504 (Alterations Level 2 with Chapter 8) and 507 (Additions with Chapter 11)

D. Zoning Summary

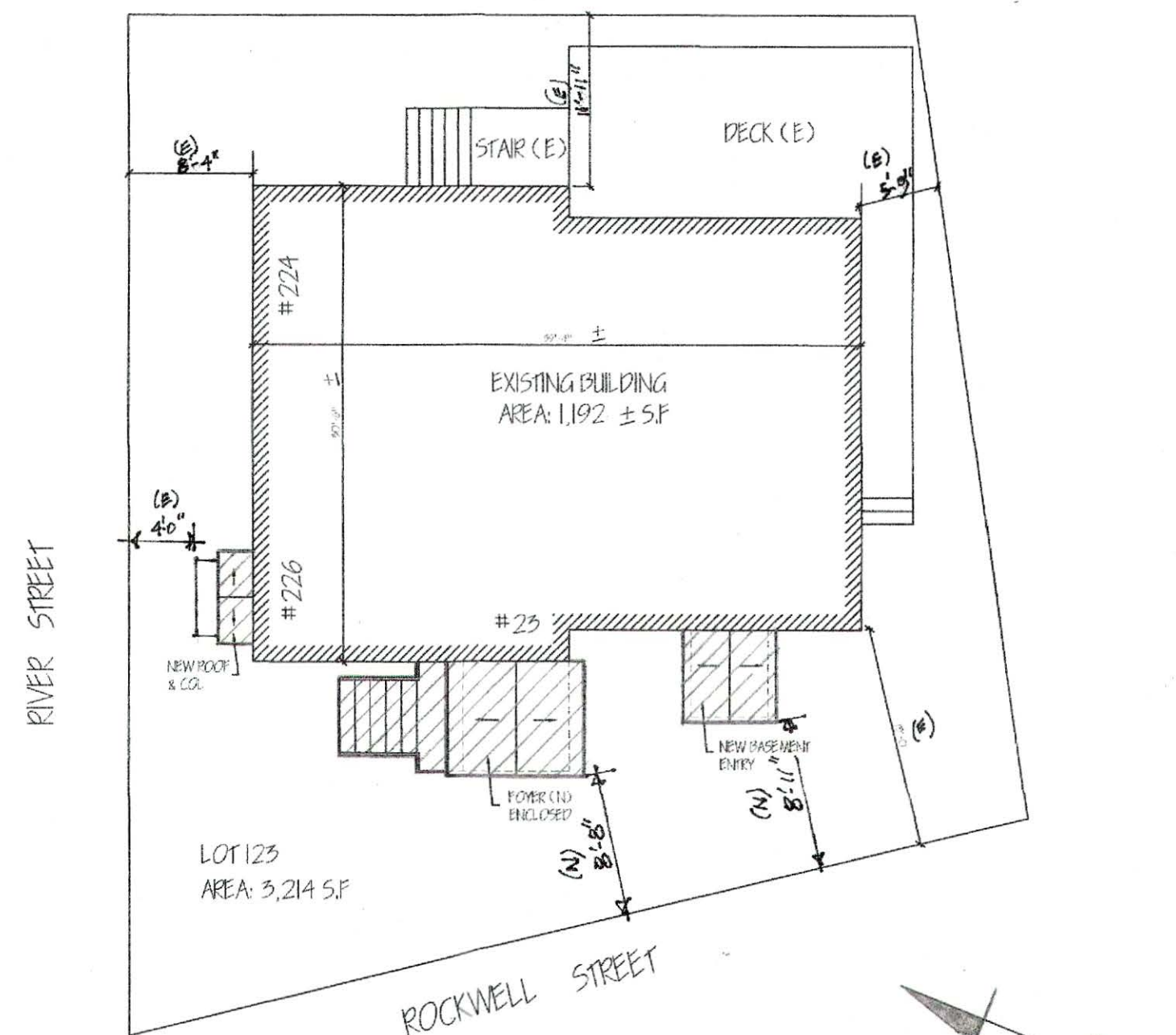
Zoning district: BA-3 Residential Use See BZA Application Form Dimensional Information, Attachment B, page 4, for details. See also Dimensional Summary table on the Certified Plot Plan.



Locator Plan (not to scale)

General Scope Notes

- Basement
 - Selective demolition and restoration at locations for plumbing, heating, electrical, and structural work and related work for renovations.
 - Renovations and repairs as required
 - New 1-hour partition, with lockable door, to create corridor in basement from new enclosed hatch entry to existing stairway.
 - Alterations and mechanical equipment replacement as required.
 - At Unit 3, verify that the ceiling is 1-hour rated
 - Renovate kitchen in Unit 1, including adjusting the location of the rear door to/from this unit.
 - Demolish chimney
- First Floor
 - Selective demolition and restoration at locations for plumbing, heating, electrical, and structural work and related work for renovations.
 - Renovations and repairs as required
 - At front door to Unit 3 on Rockwell St., new vestibule on new podium with new front steps
 - New enclosed entry to basement at location of existing basement hatch on existing foundation
 - New roof and columns over basement level entry steps on River St. to Unit 1.
 - Verify that the full demising wall is at least 1-hour rated. Make repairs and corrections as required to achieve this.
 - Renovate Kitchen in Unit 3
 - Demolish chimney; repair wall and floor as required.
 - Refurbish/update stairs from first to second floor in Units 2 and 3
- Second floor
 - Selective demolition and restoration at locations for plumbing, heating, electrical, and structural work and related work for renovations and for the third floor addition.
 - Renovations and repairs as required
 - At Units 3 and 2, close up door between two rear bedrooms (1-hour rated demising wall)
 - At Unit 2, re-open doorway between stair and rear bedroom
 - Verify that the full demising wall is at least 1-hour rated. Make repairs and corrections as required to achieve this.
 - New stair from second floor to third floor in existing second floor rear bedroom/study.
 - Renovate full bathrooms in Units 2 and 3 (total of two full baths)
 - Demolish chimney; repair wall and floor as required.
- Third Floor Addition and New Roof
 - Selective demolition for plumbing, heating, electrical, and structural work and related work
 - New framing, roofing, windows and all exterior and interior finish work as required
 - New full bathroom, including all fixtures and finishes per owner's requirements.
 - New windows
 - Demolish chimney
- Exterior
 - Replace all existing windows in existing rough openings.
 - Replace siding with new clapboard-style siding and replace all trim with composite dimensional lumber per owner's requirements
 - New gutters. New roof leaders with minimum 4' run-outs (one at each corner of the building; six total)
- Related new sprinkler system; new plumbing, heating and electrical components; and systems repairs as required in all work areas to code plus customization as required by owner.
- General:
 - Insulate all new walls, floor and ceilings, all exposed exterior walls, second floor ceiling, and basement ceiling to maximum depth/spec possible (or, at minimum, R-30 or other per code requirements)
 - Provide 1/2" blueboard and plaster finish on all new and renovated walls and ceilings.
 - Provide hardwood flooring (oak or equal) at all floors
- Provide new doors and windows (see drawings and schedules).
- Finish painting (interior and exterior) is included in the work. Color choices by owners.
- Structural repairs and supplemental structural work as required. See structural drawings 5-1 through 5-5.



Site Plan (See Certified Plot Plan) 1" = 10'
This site plan is a compiled site plan and not an on-ground survey.

Do Not Scale Drawings

General Information and Existing Site

23 Rockwell St., Cambridge MA

William Turville, Architect
1165R Massachusetts Ave, Suite B-1, Arlington, MA 02476
781.648.4858
williamturvilleculptor@verizon.net

Drawing

X-1

Scale: as noted

Date: 06/18/19

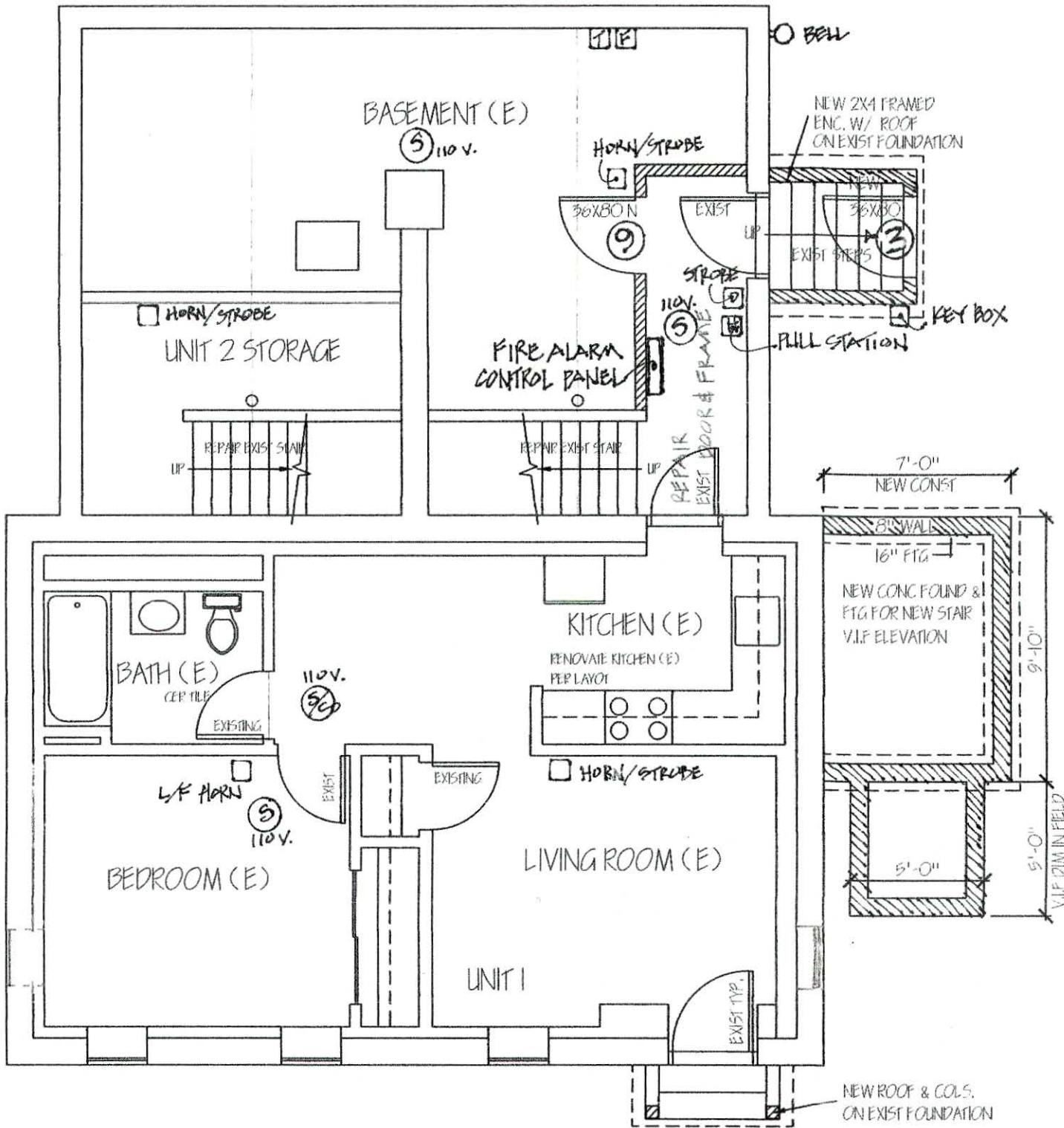
PERMIT SET

Door Schedule

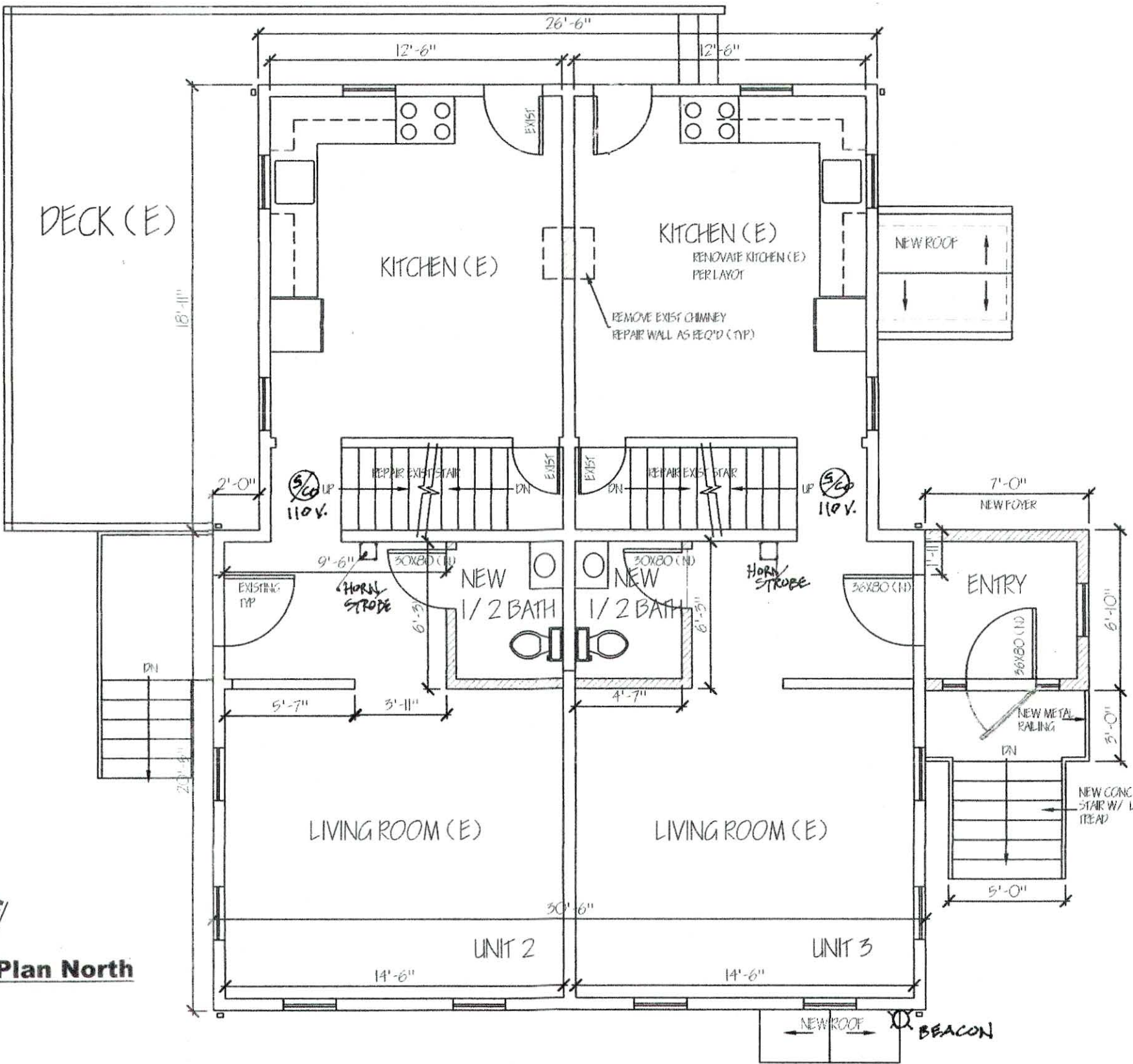
Type	Location	Style	Size (w" x h" x thick.)	Mfr. & Stock No.	Notes
1	23 Rockwell entry	insul. fiberglass exterior with (2) half sidelights	3'-0" x 6'-8" x 1 3/4" (2) 1'-0" x 6'-8" sidelights	JELD-WEN (t.b.d.) JELD-WEN SP-692	w/ combi. screen/storm
2	Unit 3 entry	insul. fiberglass exterior	3'-0" x 6'-8" x 1 3/4"	JELD-WEN (t.b.d.)	
3	Basement entry	insul. metal exterior	3'-0" x 6'-8" x 1 3/4"	JELD-WEN (t.b.d.)	
4	Units 2 & 3 half baths	wood paneled	2'-6" x 6'-8" x 1 3/8"	Simpson (t.b.d.)	
5	Unit 2 rear bedroom	wood paneled	2'-6" x 6'-8" x 1 3/8"	Simpson (t.b.d.)	
6	Master bathroom (2 doors)	wood paneled	2'-6" x 6'-8" x 1 3/8"	Simpson (t.b.d.)	
7	Master bedroom entry	pair wood paneled	(2) 2'-6" x 6'-8" x 1 3/8"	Simpson (t.b.d.)	
8	Master bed. closets (2 doors)	wood paneled	2'-6" x 6'-8" x 1 3/8"	Simpson (t.b.d.)	
9	Utility room	45 min. rated metal door	3'-0" x 6'-8" x 1 3/4"	JELD-WEN (t.b.d.)	

Total: 12 units (13 slabs) plus two sidelights

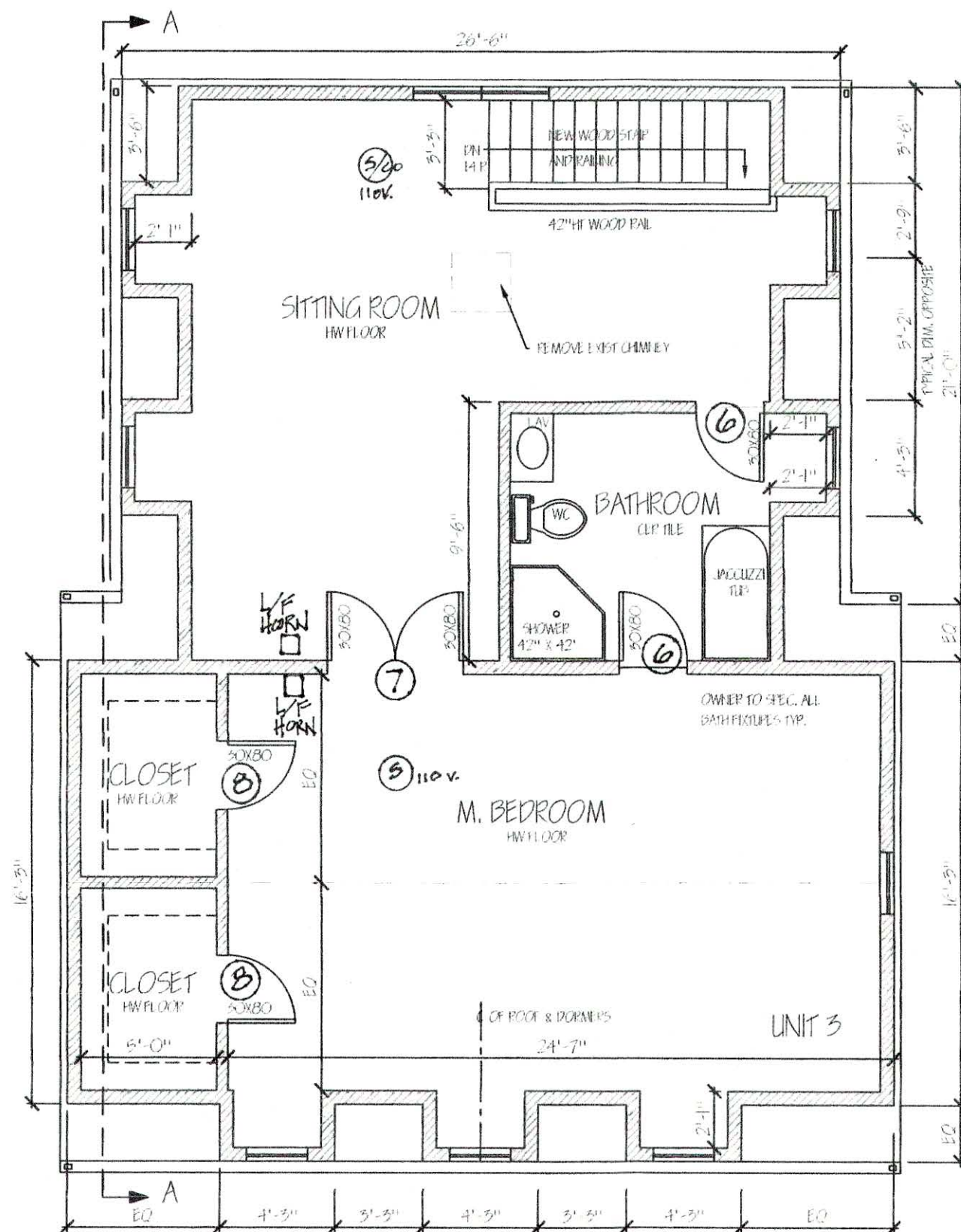
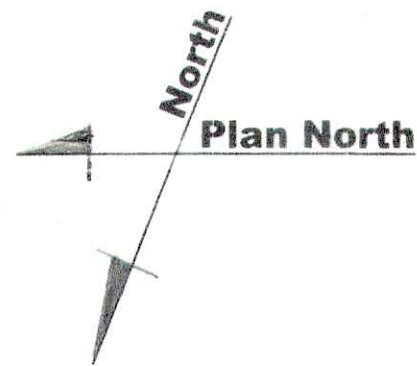
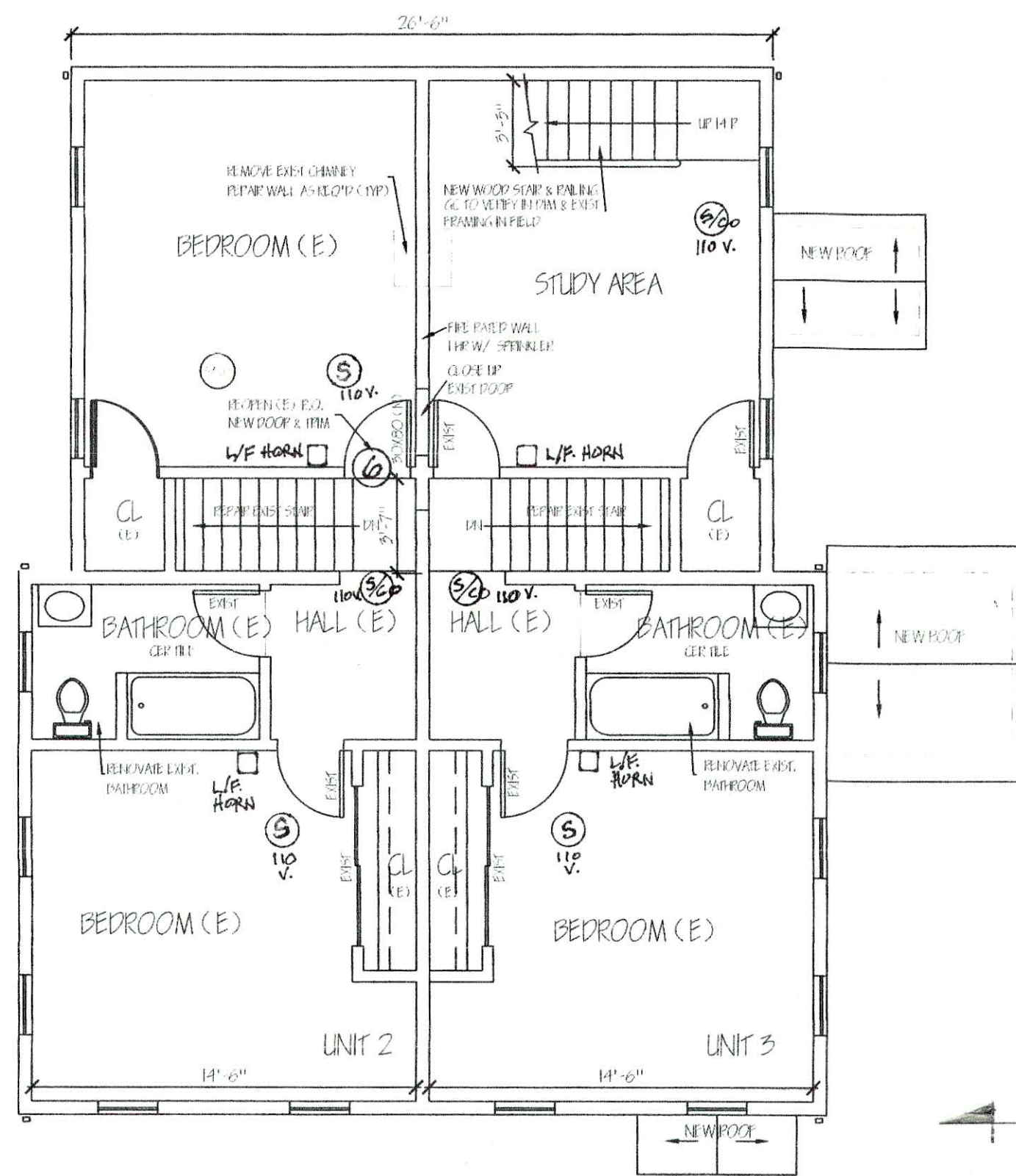
- Notes:
- All interior doors (except Utility Room door) are solid wood paneled Simpson doors or equal
 - All exterior doors and/or rated doors are Jeld-Wen doors or equal
 - Closet doors to have passage set.
 - Bathroom doors to have privacy set.
 - Bedroom doors to have passage set.
 - Door styles, species and finishes to be determined
 - Pair of doors shall (2) edge-mortised floor bolts and (1) set of dummy hardware at inactive leaf and (1) set of operational hardware on active leaf
 - All new hardware to have finish to match existing and to be approved by owner prior to ordering.
 - All doors have 1 1/2 pair of butts unless otherwise noted.
 - Verify all openings and door heights in the field. Report discrepancies to owner and architect for resolution.
 - All doors and hardware to be submitted to and approved by owner and architect prior to ordering



Basement Plan



First Floor Plan



Do Not Scale Drawings

Second & Third Floor Plans

Scale: 3/16" = 1' - 0"

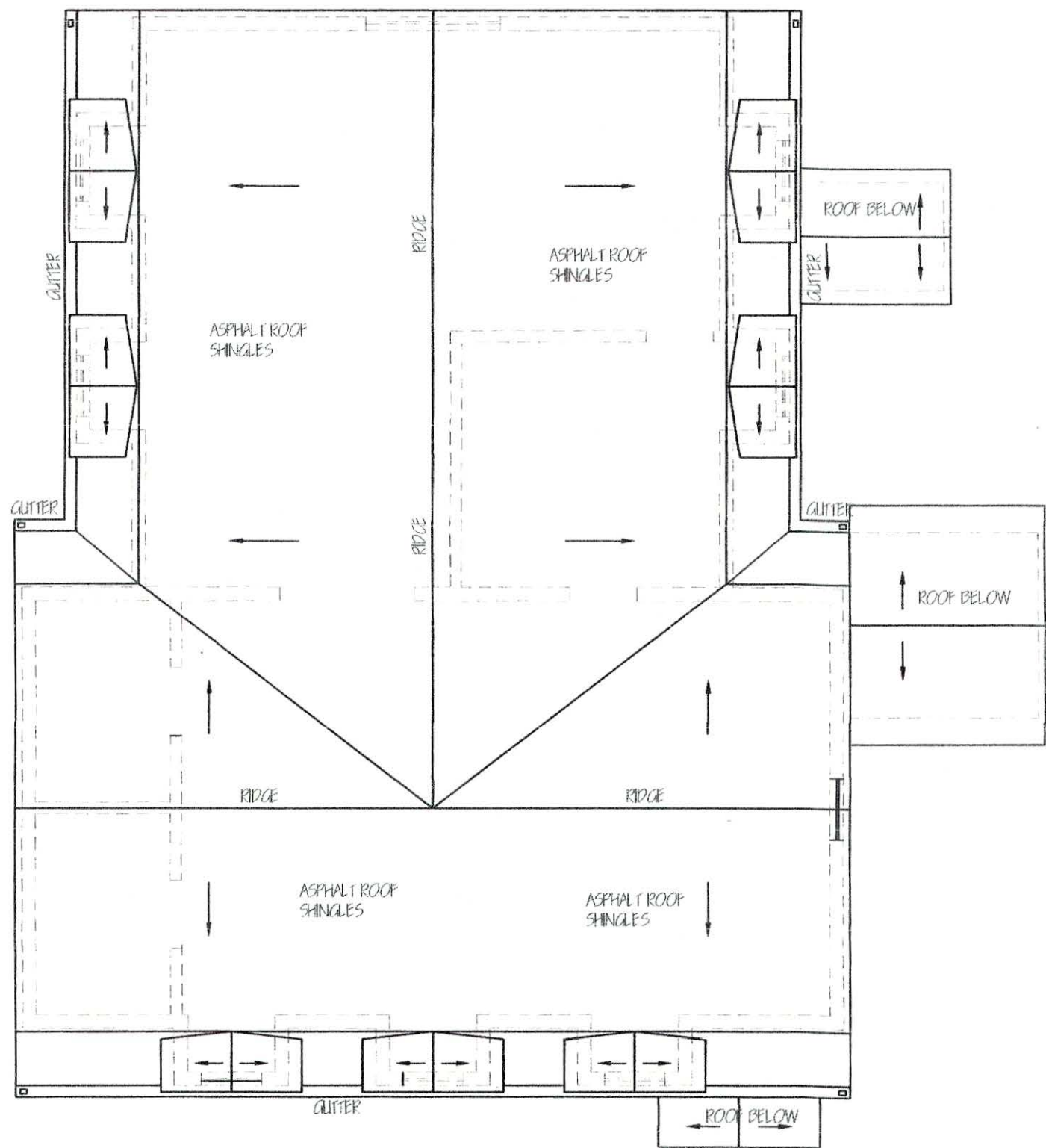
Date: 06/12/19

PERMIT SET



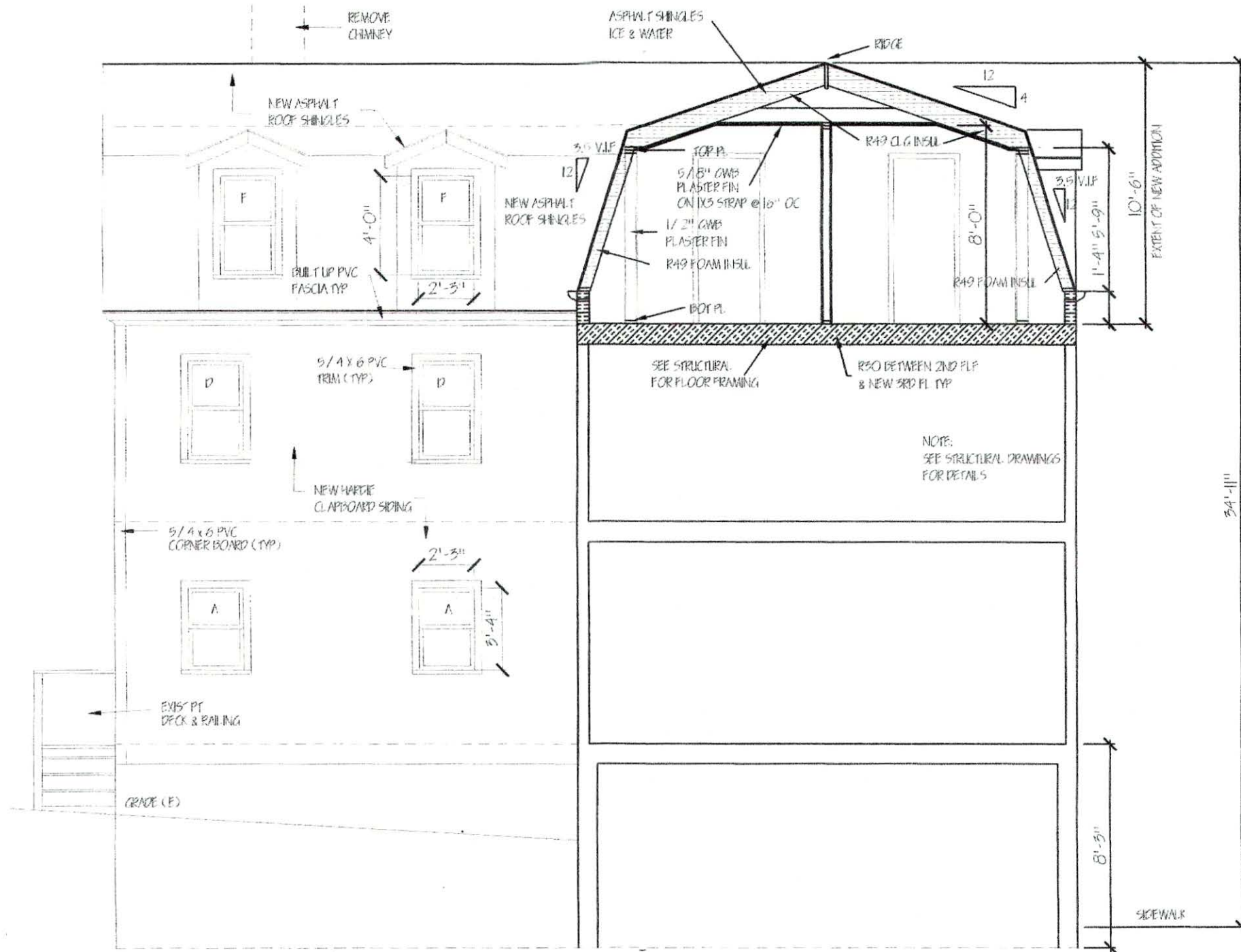
Drawing Additions and Renovations
23 Rockwell St., Cambridge MA

William Turville, Architect
1165R Massachusetts Ave, Suite B-1, Arlington, MA 02476
781.648.4858 williamturvillescuptor@verizon.net



Roof Plan

Plan North



Cross Section (at third floor)

SEE STRUCTURAL DRAWINGS S-1 THROUGH S-5.

Window Schedule

Type	Q'ty	Location	Style	Stock No.* v.i.f.~	r.o. (w" x h") v.i.f.~	Sill a.f.f.~	Notes
A	6	First fl. Kitchens	double hung	custom (2032 sim.)	install in (e) r.o	(e)	
B	8	First fl. LR/DR's	double hung	custom (20310 sim.)	install in (e) r.o	(e)	
C	4	Basement	double hung	custom (2032 sim.)	install in (e) r.o.	(e)	
D	14	Second fl.	double hung	custom (20310 sim.)	install in (e) r.o	(e)	
E	1	New entry	double hung	20310	2'-2" x 4'-1 1/2"	m.e. LR (Type B)	
F	7	Third fl. dormers	double hung	20310	2'-2" x 4'-1 1/2"	1'-6"	
G	1	Third fl. sitting	double hung	(2) 29310	2'-11 1/2" x 4'-1 1/2"	2'-6"	

total: 41 openings/window units

Notes:

- * Stock numbers refer to Harvey Classic Double Hung or Casement, unless otherwise noted, with U.29, double-pane, argon-filled low-e glass existing r.o. of window or room noted; or m.e. is match existing sill height in this room or in room noted
- 1. New windows in all new and existing rough openings.
- 2. Verify all new and existing rough openings and sill heights in the field. If discrepancies are found, discuss with owner and architect prior to construction of rough openings and/or installation and/or ordering.
- 3. All new walls are 2x6 construction unless otherwise noted. Existing walls are 2x4 construction and must to be verified in the field.
- 4. Double hung windows all have 1 over 1 sash. Fixed, casement and/or awning windows have single lite design (no muntins).
- 5. Exterior color: As approved by owner. Interior: wood finished to match existing trim
- 6. Final order to be submitted to and approved by owner and architect prior to placing order.
- 7. See final order and manufacturer's specifications and handling and installation instructions



William Turville, Architect
Additions and Renovations
23 Rockwell St., Cambridge MA

William Turville, Architect
 1165R Massachusetts Ave, Suite B-1, Arlington, MA 02476
 781.648.4858
 williamturvillesculturalor@verizon.net

Do Not Scale Drawings

Roof Plan and Section

Scale: 3/16" = 1' - 0"

Date: 06/12/19

PERMIT SET

Drawing

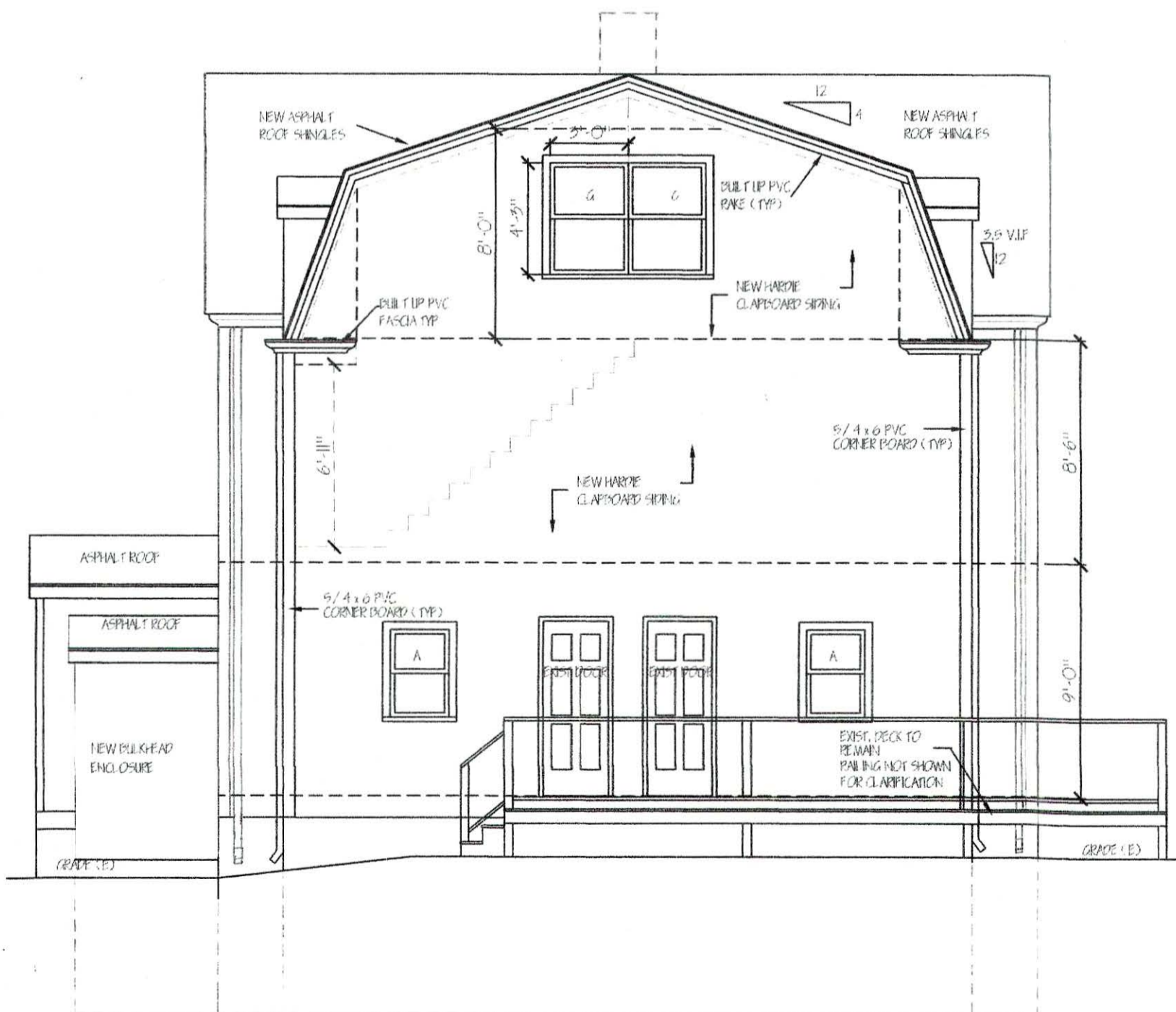
A-3



West (River St.) Elevation



South (Rockwell St.) Elevation



East (right) Side Elevation



North (rear) Elevation

Do Not Scale Drawings

Exterior Elevations

Scale: 3/16" = 1' - 0"

Date: 06/12/19

William Turville, Architect
1165R Massachusetts Ave, Suite B-1, Arlington, MA 02476
781.648.4858
williamturvillearchitector@verizon.net

Drawing

A-4



PERMIT SET

BZA APPLICATION FORM

CHECK LIST

PROPERTY LOCATION: 23 ROCKWELL ST. (224/226 RIVER ST.) DATE: 06/17/19
PETITIONER OR REPRESENTATIVE: WILLIAM TURVILLE (ARCHITECT) FOR CAROLINE HUNTER
ADDRESS & PHONE: 23 ROCKWELL ST. CAMBRIDGE, MA 02139 (OWNER)
BLOCK: 127 LOT: 123 (617-710-9312)

PLEASE CHECK THAT YOU HAVE INCLUDED THE FOLLOWING WITH YOUR APPLICATION. APPLICATIONS WILL NOT BE ACCEPTED FOR PROCESSING & SCHEDULING UNLESS ALL REQUIRED DOCUMENTS ARE PROVIDED.

PLEASE INCLUDE THIS CHECKLIST WITH YOUR APPLICATION.
ALL DOCUMENTS ARE TO BE TYPED OR WRITTEN LEGIBLY.

DOCUMENTS

	<u>REQUIRED</u>	<u>ENCLOSED</u>
Application Form	<u>✓</u>	<u>✓</u>
3 Forms with Original Signatures		
Supporting Statements - Scanned & 1 set to Zoning	<u>✓</u>	<u>✓</u>
Application Fee (You will receive invoice online)	<u>t.b.d.</u>	<u>t.b.d.</u>
Assessor's GIS "Block Map" (Available on line or At Engineering Dept. - 147 Hampshire Street)	<u>✓</u>	<u>✓</u>
Dimensional Form - Refer to Cambridge Zoning Ordinance - Scanned & 1 set to Zoning (Subject to further review by Zoning Specialist)	<u>✓</u>	<u>✓</u>
Ownership Certificate, Notarized - Scanned & 1 set to Zoning	<u>✓</u>	<u>✓</u>
Floor Plans - Scanned & 1 set to Zoning	<u>✓</u>	<u>✓</u>
Elevations - Scanned & 1 set to Zoning	<u>✓</u>	<u>✓</u>
Certified Plot Plan - Scanned & 1 set to Zoning (By Registered Land Surveyor)	<u>✓</u>	<u>✓</u>
Photographs of Property - Scanned & 1 set to Zoning	<u>✓</u>	<u>✓</u>
Parking Plan (if relevant to your application) Scanned & 1 set to Zoning	<u>N/A</u>	<u>N/A</u>

FOR SUBDIVISION ALSO INCLUDE: Scanned & 1 set to Zoning

Proposed Deeds	<u>N/A</u>	<u>-</u>
Evidence of Separate Utilities **	<u>N/A</u>	<u>-</u>
Proposed Subdivision Plan	<u>N/A</u>	<u>-</u>

Petitioners are advised to refer to Attachment A (Procedures for applying to the Board of Zoning Appeal) & consult zoning staff for review.

It is advisable for the Petitioner to discuss the petition with the abutters as listed in the Zoning BZA Case file.

* For Special Permits under Art. 4.32.G.1 (Communication Towers and Antennas), include a photo simulation.

** Can be submitted after subdivision has been approved.

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: ✓ Appeal: _____

PETITIONER: CAROLINE HUNTER

PETITIONER'S ADDRESS: 23 ROCKWELL ST. CAMBRIDGE, MA 02139

LOCATION OF PROPERTY: 23 ROCKWELL ST (224/226 RIVER ST.)

TYPE OF OCCUPANCY: RESIDENTIAL ZONING DISTRICT: BA-3

REASON FOR PETITION:

<u>✓</u> Additions	_____ New Structure
_____ Change in Use/Occupancy	_____ Parking
_____ Conversion to Addi'l Dwelling Unit's	_____ Sign
_____ Dormer	_____ Subdivision
_____ Other: _____	

DESCRIPTION OF PETITIONER'S PROPOSAL:

New/proposed wood frame third floor addition, including new dormers; demolition of existing attic spaces; no change in footprint but increase in the FAR due to new occupied third floor area. At existing Rockwell St. main entry, a new wood frame vestibule on a replacement platform and stairs; footprint change due to new enclosure. At the Rockwell St. façade, new wood frame weather enclosure at the existing basement entry; footprint change due to new enclosure. (Entry roof and columns at River St. entry will be replaced; no footprint change. Building will be generally rehabbed.)

SECTIONS OF ZONING ORDINANCE CITED:

Article 5 Section 5.3 TABLE 5-3(1) FAR

Article 5 Section 5.3 TABLE 5-3(5) ROCKWELL ST. SETBACK § 5.33.2(a)
§ 5.33.2(h)

Article _____ Section _____

* Applicants for a **Variance** must complete Pages 1-5

Applicants for a **Special Permit** must complete Pages 1-4 and 6

Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

For Caroline Hunter
Original Signature(s): William S. Turville, architect/agent
(Petitioner(s)/Owner) WILLIAM S. TURVILLE
CAROLINE HUNTER
(Print Name)

Address: 23 ROCKWELL ST.
CAMBRIDGE, MA 02139

Tel. No.: 617-710-9312

E-Mail Address: jazzze3@AOL.com

Date: 06/17/19

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Caroline Hunter
(OWNER)

Address: 23 ROCKWELL STREET

State that I/We own the property located at 23 Rockwell St, 224 and 226 River Street, which is the subject of this zoning application.

The record title of this property is in the name of Caroline Hunter

*Pursuant to a deed of duly recorded in the date 12/29/1980, Middlesex South County Registry of Deeds at Book 14175, Page 474; or Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____

**SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT***

***Written evidence of Agent's standing to represent petitioner may be requested.**

Commonwealth of Massachusetts, County of Middlesex

The above-name Caroline Hunter personally appeared before me, this 11th of June, 2019, and made oath that the above statement is true.

My commission expires 08/21/2020 (Notary Seal)



WILFREDY ORELLANA
Notary Public, Commonwealth of Massachusetts
My Commission Expires Aug 21, 2020

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: CAROLINE HUNTER PRESENT USE/OCCUPANCY: RES. (3 FAM.-EXIST.)

LOCATION: 23 ROCKWELL ST. (\$ 224/226 RIVER) ZONE: BA-3

PHONE: 617-710-9312 REQUESTED USE/OCCUPANCY: RES (3 FAM-EXISTING)

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>	
TOTAL GROSS FLOOR AREA:	<u>3988</u>	<u>4561</u>	<u>N/A</u>	(max.)
LOT AREA:	<u>3214</u>		<u>5000</u>	(min.) (1)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>1.24</u>	<u>1.42</u>	<u>.75</u>	(max.) (1)(3)
LOT AREA FOR EACH DWELLING UNIT:	<u>1,071</u>	<u>1,071</u>	<u>1,500</u>	(min.) (1)
SIZE OF LOT:				
WIDTH	RIVER: <u>65.33</u> ROCK: <u>59.74</u>		<u>50</u>	(min.)
DEPTH	RIVER: <u>50.83</u> ROCK: <u>52</u>			
Setbacks in Feet:				
(CORNER LOT)				
R. SIDE	FRONT ROCK: <u>13.31</u>	<u>8.72</u>	<u>10</u> [5.33.2(h)]	(min.) (4)(1)
	REAR ROCK: <u>5.82</u>	<u>5.82</u>	<u>20</u> [5.33.2(e)]	(min.) (2)
	FRONT RIVER: <u>8.31</u>	<u>8.31</u>	<u>10</u> [5.33.2(h)]	(min.) (2)
L. SIDE	LEFT SIDE RIVER: <u>11.94</u>	<u>11.94</u>	<u>10.6</u>	(min.)
	RIGHT SIDE RIVER: <u>11.94</u>	<u>11.94</u>	<u>35</u>	(max.)
SIZE OF BLDG.:				
HEIGHT	<u>32</u>	<u>34'-11"</u>		
LENGTH	<u>39'-4"</u>	<u>39'-4"</u>		
WIDTH	<u>30'-6"</u>	<u>37'-6"</u>		
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³	<u>17.5%</u>	<u>17%</u>	<u>N/A (5.28.25)</u>	(min.)
NO. OF DWELLING UNITS:	<u>3</u>	<u>3</u>	<u>3</u>	(max.)
NO. OF PARKING SPACES:	<u>0</u>	<u>0</u>	<u>3</u>	(min./max) (5)
NO. OF LOADING AREAS:	<u>0</u>	<u>0</u>	<u>0</u>	(min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	(min.)

New/proposed wood frame third floor addition, including new dormers; demolition of existing attic spaces; no change in footprint but increase in the FAR due to new occupied third floor area. b. At existing Rockwell St. main entry, a new wood frame vestibule on a replacement platform and stairs; footprint change due to new enclosure. c. At the Rockwell St. façade, new wood frame weather enclosure at the existing basement entry; footprint change due to new enclosure. (Entry roof and columns at River St. entry will be replaced; no footprint change. Building will be generally rehabbed.)

Zoning Analysis Notes

- (1) Lot is undersized.
- (2) Existing non-conformity as to setback. No change.
- (3) Existing non-conformity as to FAR [5-3(1)]. Small increase requested for FAR for third floor addition and two weather enclosures. (Undersized lot.)
- (4) Existing non-conformity to Rockwell St. front setback [5-3(5), 5.33.2(a) and 5.33.2(h)]. Small decrease requested (new weather enclosures at existing Unit 3 main entry and at existing basement entry). (Undersized lot.)
- (5) Existing non-conformity as to parking requirement. No change requested.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

This undersized lot presents a substantial hardship in making improvements to this owner-occupied property that are typical for the area and include both energy-saving and life safety improvements. a. The proposed third floor addition with dormers will replace occupied and unoccupiable attics; no change in footprint but small increase in the FAR due to new occupied third floor area. b. Existing stoop on Rockwell St. is in poor, unsafe condition. When replacing it, add an enclosed weatherized vestibule on this platform. c. Existing basement hatch needs replacing. Thus, improve this entry and exit by replacing the hatch with a weather-proof full-height "doghouse" enclosure. Both new small structures need to be built closer to the lot line due to the small size of the lot.

- B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

Again, the lot is undersized. The new third floor will be in character with the rest of the neighborhood and the actual increase in the FAR is small. At the yard space on Rockwell St. as proposed, the new vestibule will intrude about one foot farther than the existing stoop and the new weather-proof full height enclosure on the existing foundation will intrude on the setback no further than the existing hatch. Further, in that both of these new small structures are similar to such vestibules and "doghouse" hatch entries in the area and that neither one is closer to the property line than the existing structures (the stoop and the basement stairs), the neighborhood and the zoning intent will not be negatively affected.

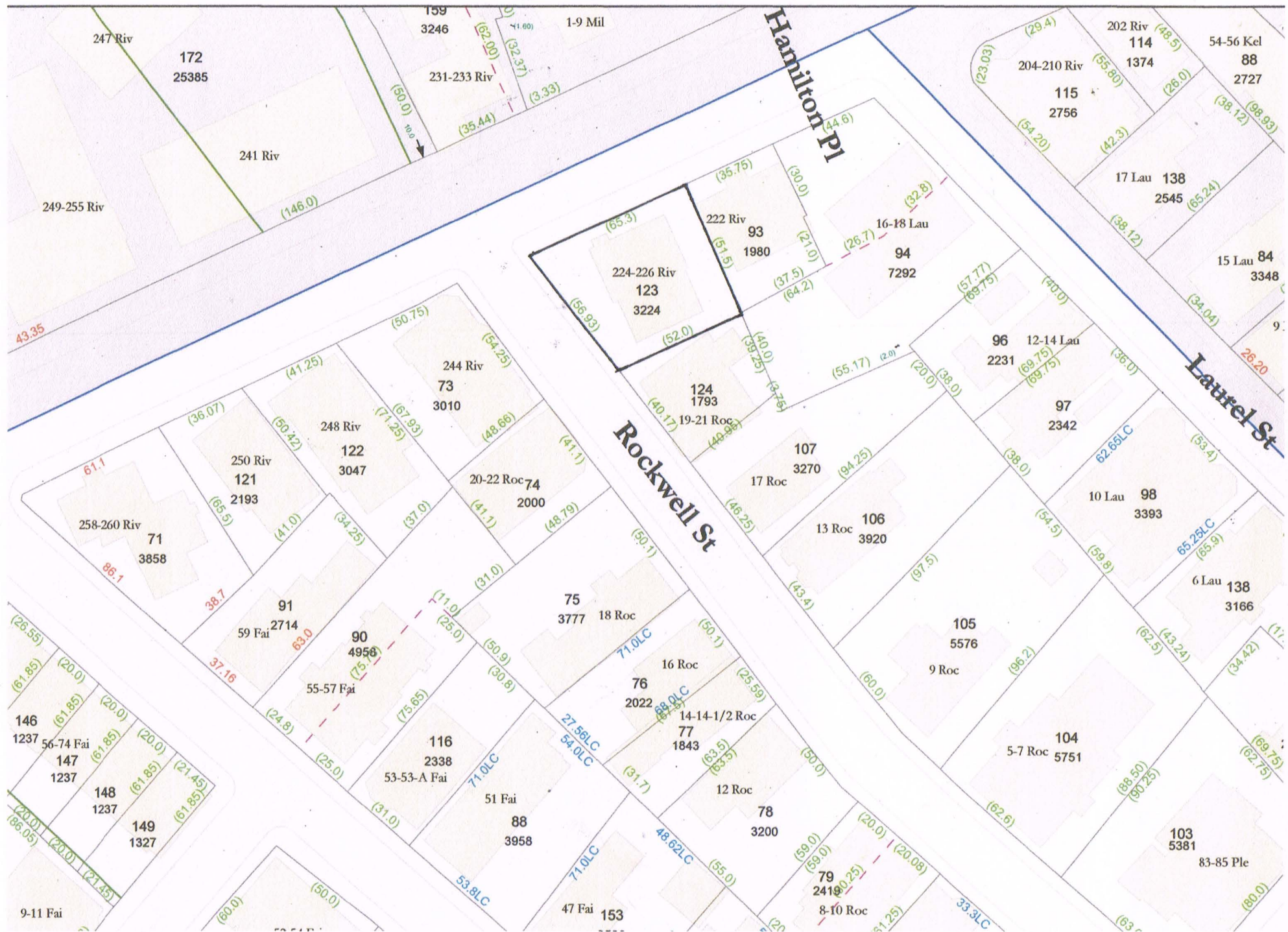
- C) **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1) Substantial detriment to the public good for the following reasons:

The new third floor will not be a detriment to the public good as it is fully in character with the neighborhood. Half of the new third floor replaces the similar occupied attic facing River St. The two small additions will not be any detriment to the public good because a) they are small; b) they will protrude on the setbacks similar to the existing structures; c) they will be viewed by the public as normal parts of this old house; and d) they will unobtrusively blend in with the local neighborhood.

- 2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The intents of the ordinance (per 1.30) and the variance process (allowing controlled but reasonable changes and/or updates to buildings/dwellings) will remain intact if these changes are approved. The new third floor remains under the height limit and is appropriate for the neighborhood and only slightly increases the FAR beyond the existing (which is due to the undersized lot). The proposed limited-scale but worthy energy-related and life safety-related changes on grade on Rockwell St. are small, contribute very little to the FAR change, and have no material negative impact on the lot, the street, or the neighborhood nor the central intents of the zoning by-law.

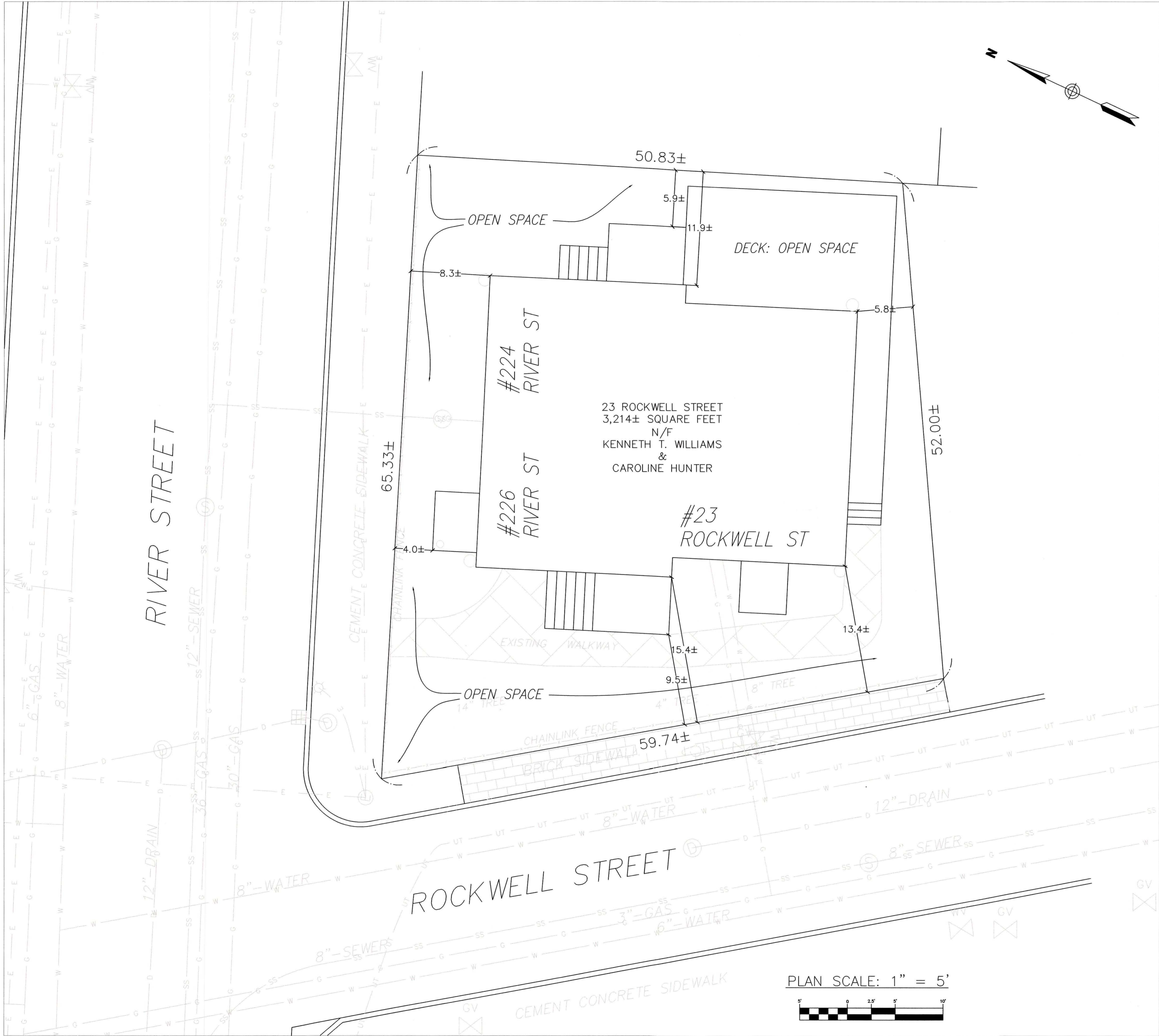




23 ROCKWELL ST. (RIVER ST. FACADE)
CAMBRIDGE, MA



23 ROCKWELL ST. (ROCKWELL ST. FACADE)
CAMBRIDGE, MA



GENERAL SYMBOLS

EXISTING PROPOSED

---	S	---	SEWER
---	D	---	DRAIN
---	CS	---	COMBINED SEWER
---	W	---	WATER
---	G	---	GAS
---	E	---	ELECTRIC
---	M	---	MBTA
---	T	---	TELEPHONE
---	C	---	CABLE TELEVISION
---	ST	---	STEAM
---	7450	---	CENTERLINE OF CONSTRUCTION
---	7450	---	ROADWAY PATCH
---	7450	---	CABLE TV MANHOLE
---	7450	---	DRAIN MANHOLE
---	7450	---	ELECTRIC MANHOLE
---	7450	---	MBTA MANHOLE
---	7450	---	SEWER MANHOLE
---	7450	---	TELEPHONE MANHOLE
---	7450	---	WATER MANHOLE
---	7450	---	STEAM MANHOLE
---	7450	---	MANHOLE
---	7450	---	CATCH BASIN
---	7450	---	CATCH BASIN-ROUND
---	7450	---	GUTTER INLET
---	7450	---	GAS SHUT OFF
---	7450	---	WATER SHUT OFF
---	7450	---	BOSTON WATER METER
---	7450	---	HYDRANT
---	7450	---	OBSERVATION WELL
---	7450	---	UTILITY POLE
---	7450	---	LIGHT POLE
---	7450	---	WALK LIGHT
---	7450	---	ELECTRIC HANDHOLE
---	7450	---	FIRE ALARM
---	7450	---	SHUT OFF
---	7450	---	TRAFFIC SIGNAL
---	7450	---	TRAFFIC CONTROL BOX
---	7450	---	SIGN
---	7450	---	PARKING METER
---	7450	---	BOLLARD
---	7450	---	MAIL BOX
---	7450	---	BORING
---	7450	---	WETLAND FLAG LOCATION/FLAG NO.
---	7450	---	HANDICAP RAMP
---	7450	---	SHRUB
---	7450	---	TREE

GENERAL NOTES

1. THE TOPOGRAPHY SHOWN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY CONDUCTED IN OCTOBER 2018. THIS SURVEY WAS PERFORMED BY A PROFESSIONAL ENGINEER AND IS NOT INTENDED TO BE RECORDED. NO PROPERTY BOUNDARIES WERE DETERMINED. BOUNDARY SHOWN ARE A RESULT OF THE FOLLOWING PLANS THAT WERE REFERENCED:

PLAN #923 OF PLAN YEAR 1955
BOOK 14175 PAGE 474
SITE PLAN 23 ROCKWELL STREET AND 224-226 RIVER STREET
BY SNELLING AND HAMEL ASSOCIATES INC. DATED DECEMBER 6, 2017
2. THE UTILITIES SHOWN ARE BASED ON SURFACE FEATURES LOCATED AT THE TIME OF SURVEY AND PLANS OF RECORD. NOT ALL UTILITIES ARE GUARANTEED TO BE SHOWN. THE UTILITIES ARE NOT WARRANTED TO BE EXACT. CALL DIG SAFE BEFORE YOU DIG.

FRASER POLY-ENGINEERING SERVICES CIVIL ENGINEERING CONSULTANTS

35 NORMAN STREET
MILTON, MA 02186
Phone-617-291-2423
Email: kfraser@fraserpes.com

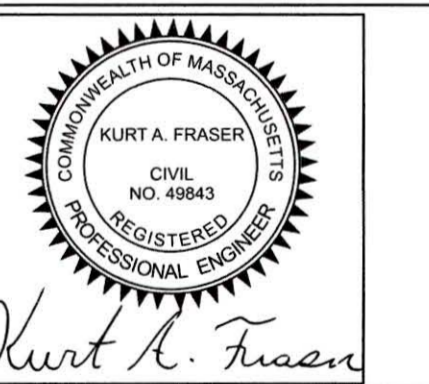
PROJECT:

23 ROCKWELL STREET EXISTING CONDITIONS PLAN

DEVELOPER / OWNER:

CAROLINE HUNTER
23 ROCKWELL STREET
CAMBRIDGE, MA. 02139

STAMP:



REVISIONS:

NO.	DATE:	DESCRIPTION:

EXISTING CONDITIONS SITE PLAN FOR BUILDING PERMIT

SCALE: 1"=5'

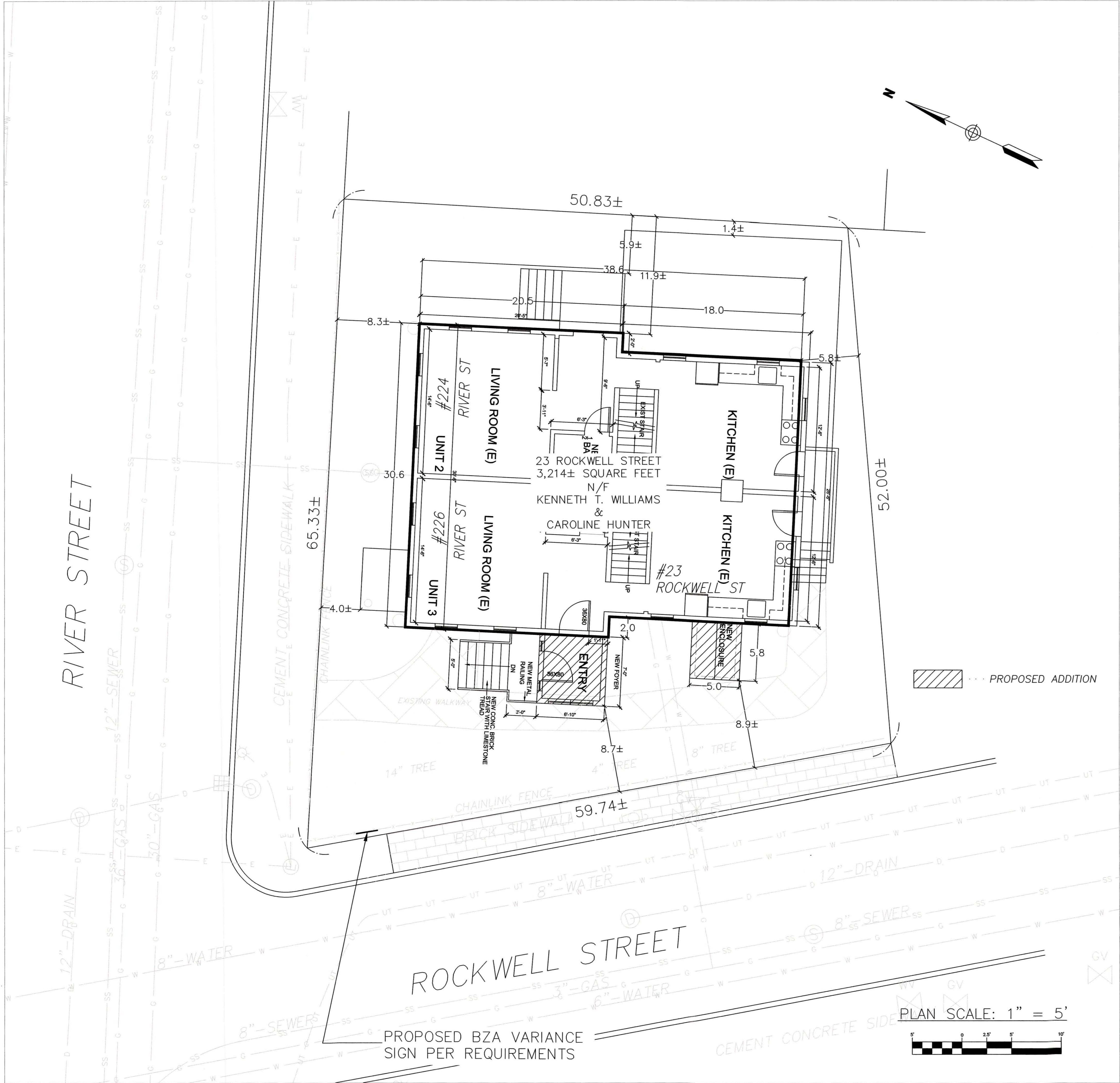
DATE: 6-19-19

DRAWN BY: K.A.F.

CHECKED BY: K.A.F.

FILE: 101518

DRAWING NO.
1 OF 2



GENERAL SYMBOLS

EXISTING	PROPOSED	
---	---	SEWER
---	---	DRAIN
---	---	COMBINED SEWER
---	---	WATER
---	---	GAS
---	---	ELECTRIC
---	---	MBTA
---	---	TELEPHONE
---	---	CABLE TELEVISION
---	---	STEAM
---	---	CENTERLINE OF CONSTRUCTION
7+50		ROADWAY PATCH
⊙	⊙	CABLE TV MANHOLE
⊙	⊙	DRAIN MANHOLE
⊙	⊙	ELECTRIC MANHOLE
⊙	⊙	MBTA MANHOLE
⊙	⊙	SEWER MANHOLE
⊙	⊙	TELEPHONE MANHOLE
⊙	⊙	WATER MANHOLE
⊙	⊙	STEAM MANHOLE
⊙	⊙	MANHOLE
⊙	⊙	CATCH BASIN
⊙	⊙	CATCH BASIN-ROUND
⊙	⊙	GUTTER INLET
⊙	⊙	GAS SHUT OFF
⊙	⊙	WATER SHUT OFF
⊙	⊙	BOSTON WATER METER
⊙	⊙	HYDRANT
⊙	⊙	OBSERVATION WELL
⊙	⊙	UTILITY POLE
⊙	⊙	LIGHT POLE
⊙	⊙	WALK LIGHT
⊙	⊙	ELECTRIC HANDHOLE
⊙	⊙	FIRE ALARM
⊙	⊙	SHUT OFF
⊙	⊙	TRAFFIC SIGNAL
⊙	⊙	TRAFFIC CONTROL BOX
⊙	⊙	SIGN
⊙	⊙	PARKING METER
⊙	⊙	BOLLARD
⊙	⊙	MAIL BOX
⊙	⊙	BORING
⊙	⊙	WETLAND FLAG LOCATION/FLAG NO.
⊙	⊙	HANDICAP RAMP
⊙	⊙	SHRUB
⊙	⊙	TREE
		PROPOSED ADDITION

GENERAL NOTES

1. THE TOPOGRAPHY SHOWN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY CONDUCTED IN OCTOBER 2018. THIS SURVEY WAS PERFORMED BY A PROFESSIONAL ENGINEER AND IS NOT INTENDED TO BE RECORDED. NO PROPERTY BOUNDARIES WERE DETERMINED. BOUNDARY SHOWN ARE A RESULT OF THE FOLLOWING PLANS THAT WERE REFERENCED:
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BOOK 14175 PAGE 474
SITE PLAN 23 ROCKWELL STREET AND 224-226 RIVER STREET
BY SNELLING AND HAMEL ASSOCIATES INC. DATED DECEMBER 6, 2017
2. THE UTILITIES SHOWN ARE BASED ON SURFACE FEATURES LOCATED AT THE TIME OF SURVEY AND PLANS OF RECORD. NOT ALL UTILITIES ARE GUARANTEED TO BE SHOWN. THE UTILITIES ARE NOT WARRANTED TO BE EXACT. CALL DIG SAFE BEFORE YOU DIG.

ZONING REQUIREMENTS

PROJECT OVERVIEW: 23 Rockwell Street Cambridge, MA. 02139
Date: June 19, 2019

Lot Size: 3,214 sf
The following Zoning Regulations apply to the project:

Zoning District: Business BA-3 (Residential Use)

DIMENSIONAL REGULATIONS:

Dimensional Regulations*	Existing	Proposed	Required	Variances Required	
				Y	N
Lot Area (1)	3214 S.F.	3214 S.F.	5,000 S.F.		✓
Floor Area Ratio (1) (3)	1.24	1.42	0.75	✓	
Lot Width	52' (Minimum)	52'	50'		✓
Setbacks					
(1) (4) Rockwell St - Front	13.4	8.7	10	✓	
(2) Rockwell St - R. Side	5.8	5.8	20		✓
(2) River St - Front	8.3	8.3	10		✓
River St - L. Side	11.9	11.9	10.6		✓
Building Height	32'	34'-11"	35'		✓
Open Space Ratio	17.50%	17%	N/A		✓
Number of Units	3	3	3		✓
Parking Spaces (5)	0	0	3		✓
Loading Spaces	0	0	0		✓

* Zoning district BA-3 Residential Use See BZA Application Form Dimensional Information, Attachment B, page 4, for details. See also Dimensional Summary table on this sheet

ZONING ANALYSIS NOTES

- (1) Lot is undersized
(2) Existing non-conformity to setback. No change.
(3) Existing non-conformity as to FAR [(5-3(1)) Small increase requested for FAR for third floor addition and two weather enclosures. (Undersized lot.)
(4) Existing non-conformity to Rockwell Street front setback [5-3(5), 5.33.2(a) and 5.33.2(h)] Small decrease requested (new weather enclosures at existing Unit 3 main entry and at existing basement entry). (Undersized lot)
(5) Existing non conformity as to parking requirement. No Change requested.

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POLY-ENGINEERING
SERVICES
CIVIL ENGINEERING CONSULTANTS

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MILTON, MA 02186
Phone-617-291-2423
Email: kfraser@fraserpes.com

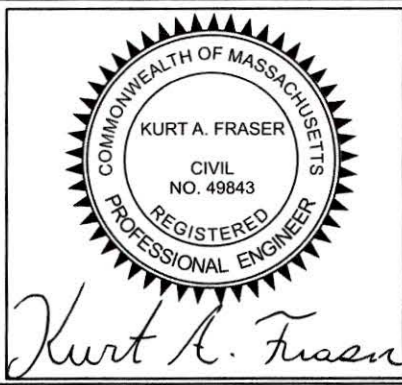
PROJECT:

23 ROCKWELL STREET
PROPOSED SITE PLAN

DEVELOPER / OWNER:

CAROLINE HUNTER
23 ROCKWELL STREET
CAMBRIDGE, MA. 02139

STAMP:



REVISIONS:

NO.	DATE:	DESCRIPTION:

PROPOSED CONDITIONS SITE
PLAN FOR BUILDING PERMIT

SCALE: 1"=5'

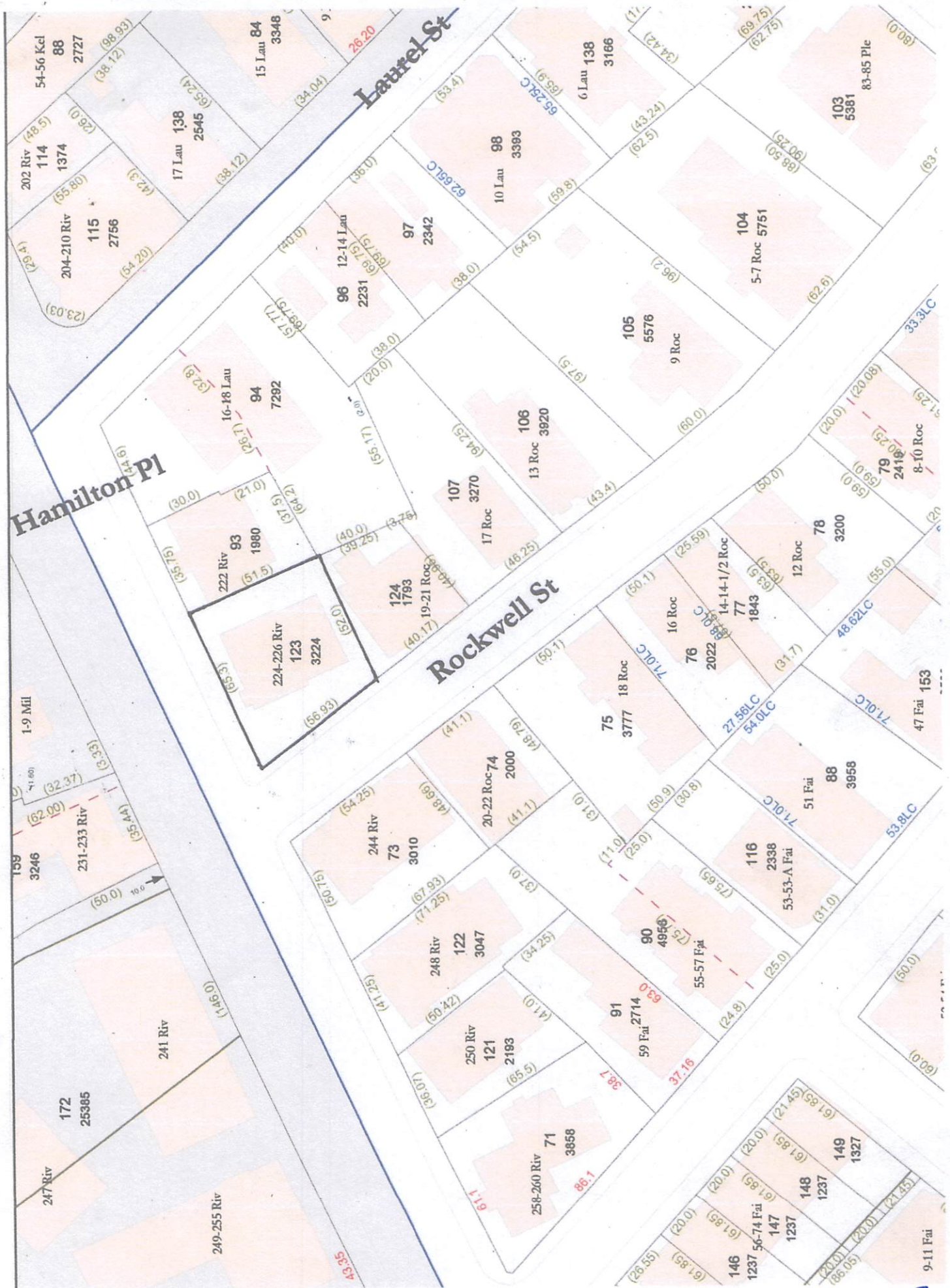
DATE: 6-19-19

DRAWN BY: K.A.F.

CHECKED BY: K.A.F.

FILE: 101518

DRAWING NO.
2 OF 2





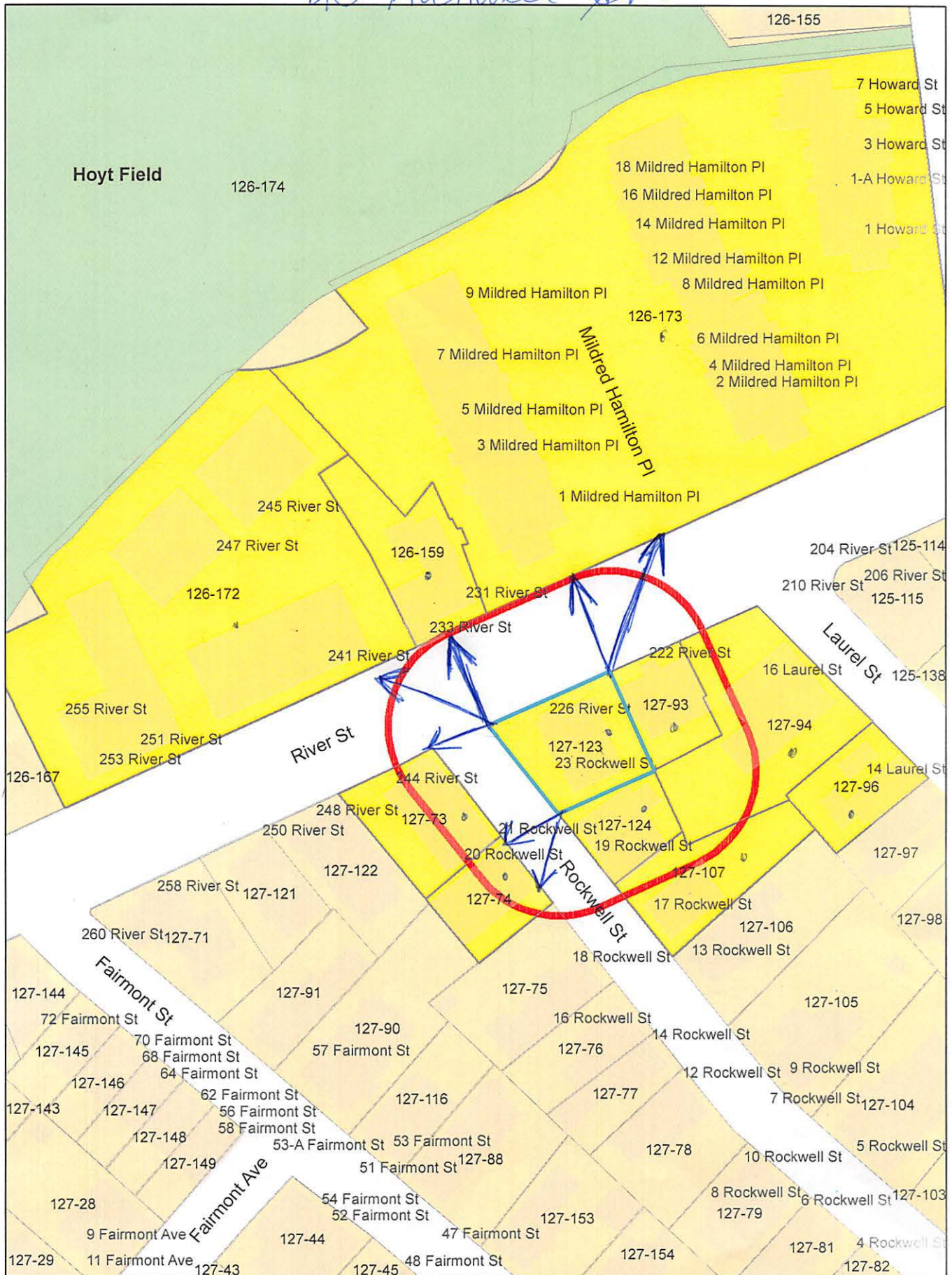
23 ROCKWELL ST. (RIVER ST. FACADE)
CAMBRIDGE, MA



23 ROCKWELL ST. (ROCKWELL ST. FACADE)
CAMBRIDGE, MA

1057

23 Rockwell St



23 Rockwell St.

Petitioner

126-159
BECKFORD, HAROLD H.
231 RIVER ST
CAMBRIDGE, MA 02139

126-173
CAMBRIDGE HOUSING AUTHORITY
675 MASSACHUSETTS AVE
CAMBRIDGE, MA 02139

127-123
HUNTER, CAROLINE
23 ROCKWELL ST
CAMBRIDGE, MA 02139

127-93
SHAPLYKO, NICHOLAS & EKATERINA SOROKINA
115 COLLEGE AVE
SOMERVILLE, MA 02144

127-94
BOEHM, WILLIAM HOLLISTER &
DANIELLE SUAVE
18 LAUREL ST
CAMBRIDGE, MA 02139

WILLIAM TURVILLE, ARCHITECT
1165R MASS AVENUE - B-1
ARLINGTON, MA 02476

127-94
MARSH-MACNEIL, NERUDA,
TR. THE SIXTEEN B. LAUREL ST REALTY TR.
16B LAUREL ST.
CAMBRIDGE, MA 02139

127-96
GRASSROOTS INFRASTRUCTURE CHARITABLE TR
14 LAUREL ST
CAMBRIDGE, MA 02139

127-107
NELSON, SARA & GABRIEL BELFORT
17 ROCKWELL ST.
CAMBRIDGE, MA 02139

127-94
MARSH-MACNEIL, NERUDA
16-18 LAUREL ST., #16A
CAMBRIDGE, MA 02139

127-124
NELSON, SARA & GABRIEL BELFORT
19-21 ROCKWELL ST., #19
CAMBRIDGE, MA 02139

127-124
MEADE, STEPHEN R.
19-21 ROCKWELL ST., UNIT #21
CAMBRIDGE, MA 02139

126-172
BEAULIEU, DANIEL & ELIZABETH A. DORAN
249 RIVER ST
CAMBRIDGE, MA 02139

126-172
CHANG, DAVID & JEFFREY C. CHANG
C/O AARH, LLC
8 EULITA TER
BRIGHTON, MA 02135

126-172
GLASS, RUSSELL & ROBIN CHERRY
237-253 RIVER ST., UNIT# 247/3
CAMBRIDGE, MA 02139

126-172
CHAN, ERICA Y.
247 RIVER ST. UNIT#2
CAMBRIDGE, MA 02139

126-172
BEWSHER, ANDREW C. & CELINE BEWSHER
247 RIVER ST., UNIT #1
CAMBRIDGE, MA 02139

126-172
COLANGELO, AUGUSTUS B., IV
241-255 RIVER ST. UNIT#245/3
CAMBRIDGE, MA 02139

126-172
BALL, VALERIE M.
245 RIVER ST., UNIT #2
CAMBRIDGE, MA 02139

126-172
WU, SHUYING,
TRUSTEE JING LIU REALTY TRUST
245-1 RIVER ST
CAMBRIDGE, MA 02139

126-172
APOSHEAN, DAVID L.
241-255 RIVER ST. UNIT#255
CAMBRIDGE, MA 02139

126-172
PERROTT, JEFFREY H. & ALEXANDRA R. PERROTT
453 PRENTICE ST
HOLLISTON, MA 01746

126-172
SANTOS, JOHN C.,
TRUSTEE THE JOHN C. SANTOS REV TRUST
70 SEAVIEW AVE
MARBLEHEAD, MA 01945

126-172
KIM, SANDRA M.
241 RIVER ST. UNIT#9
CAMBRIDGE, MA 02139

126-172
YAN, XUEFENG & LI JIANG
26014 SUMMER SAVORY LN
KATY, TX 77494

126-172
KIM, SANDRA M.
247-1 RIVER ST
CAMBRIDGE, MA 02139

126-172
HUSSAIN, SHAHNAJ & NAJEEB HUSSAIN
241 RIVER ST. UNIT#1
CAMBRIDGE, MA 02139

126-172
MASSARI, PAOLA
241-255 RIVER ST, UNIT #241/2
CAMBRIDGE, MA 02139

126-172
GUEVARA, REYNERIO & GLORIBEL BARUCO
241 RIVER ST. UNIT#3
CAMBRIDGE, MA 02139

126-172
MOODY, JASON
241-255 RIVER ST, UNIT #241/4
CAMBRIDGE, MA 02139

23 Rockwell St.

126-172
KASTLEMAN, REBECCA R.
241 RIVER ST
CAMBRIDGE, MA 02139

126-172
LEE, MOONSOO & JUNG JA LEE
241-255 RIVER ST., UNIT #241/6
CAMBRIDGE, MA 02139

127-73
BENTON, JOSHUA A.
244 RIVER ST. UNIT#1
CAMBRIDGE, MA 02139

127-73
JONES, JESSICA
104 W 129TH ST. #4
NEW YORK, NY 10027

127-73
EISENDRATH, MATTHEW
244 RIVER ST. UNIT#2
CAMBRIDGE, MA 02139

127-74
KUI, JOHNNY Y. & KATHY Y. LEE
30 GARRISON RD
CONCORD, MA 01742