

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: Appeal: _____

PETITIONER: Cambridge Housing Authority, on behalf of Harvard College

PETITIONER'S ADDRESS: 362 Green Street, 3rd Floor, Cambridge, MA 02139

LOCATION OF PROPERTY: 32-34 Mount Auburn Street

TYPE OF OCCUPANCY: R-2 (R-1 per C of O) ZONING DISTRICT: C-3

REASON FOR PETITION:

- | | |
|---|---|
| <input type="checkbox"/> Additions | <input type="checkbox"/> New Structure |
| <input type="checkbox"/> Change in Use/Occupancy | <input checked="" type="checkbox"/> Parking |
| <input type="checkbox"/> Conversion to Addi'l Dwelling Unit's | <input type="checkbox"/> Sign |
| <input type="checkbox"/> Dormer | <input type="checkbox"/> Subdivision |
| <input type="checkbox"/> Other: _____ | |

DESCRIPTION OF PETITIONER'S PROPOSAL:

This application seeks relieve from Section 6.48.1(a) which requires 5% of the parking facility to be landscaped. The proposed work will convert one HP accessible parking space to a HP Van Accessible space. This work will result in a minimal parking lot expansion (40 square feet) which will reduce the landscaped area from 2.59% to 2.22%, below the 5% minimum.

SECTIONS OF ZONING ORDINANCE CITED:

Article 6 Section 48.1(a)

Article _____ Section _____

Article _____ Section _____

Applicants for a **Variance** must complete Pages 1-5
Applicants for a **Special Permit** must complete Pages 1-4 and 6
Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s):  _____
(Petitioner(s)/Owner)

Michael J. Johnston, Esq., Executive Director

(Print Name)

Address: 362 Green Street, 3rd Floor
Cambridge, MA 02139

Tel. No.: 617-520-6212

E-Mail Address: mjjohnston@cambridge-housing.org

Date: _____

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Cambridge Housing Authority, with the authorization of Harvard College
(OWNER)

Address: 362 Green Street, 3rd Floor Cambridge, MA 02139

State that I/We own the property located at 32-34 Mount Auburn Street (10 DeWolfe Street), which is the subject of this zoning application.

The record title of this property is in the name of Harvard College

*Pursuant to a deed of duly recorded in the date 6/26/1991, Middlesex South County Registry of Deeds at Book 21246, Page 117; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

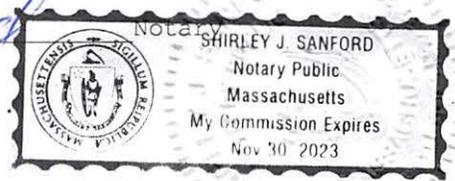
[Signature]
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

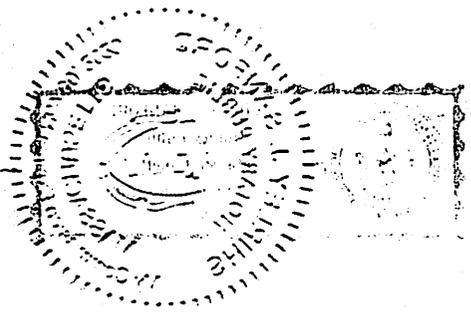
Commonwealth of Massachusetts, County of Middlesex

The above-name Michael J. Johnston personally appeared before me, this 18th of September, 2018, and made oath that the above statement is true.

My commission expires _____ (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.





September 15, 2018

Board of Zoning Appeals
831 Massachusetts Avenue
Cambridge, MA 02139

Dear Secretary:

As part of the submission to the Board of Zoning Appeals, I am writing to provide additional information about the ownership structure of the building and the land located at 32-34 Mount Auburn Street.

The record title of land is in the name of President and Fellows of Harvard College pursuant to a deed dated September 14, 1989 and duly recorded in Middlesex South County Registry of Deeds (the "Registry") at Book 20077, Page 167. The record title of the buildings and improvements on the land is in the name of Cambridge Housing Authority pursuant to a deed dated June 14, 1991 and duly recorded in the Registry at Book 21246, Page 117. Cambridge Housing Authority is ground tenant of the land as evidenced by the Notice of Lease dated June 14, 1991 and duly recorded in the Registry at Book 21246, Page 109.

Should you require additional information, please do not hesitate to contact a member of my staff, Margaret Keaveny at 617-520-6383 or at mkeaveny@cambridge-housing.org.

Thank you for your time.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael J. Johnston". The signature is stylized with a prominent loop and a sharp downward stroke at the end.

Michael J. Johnston, Esq.
Executive Director

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

Literal compliance with Section 6.48.1(a) would create a hardship primarily due to the dimensional limitations of the site. The site cannot meet the designated landscaped requirement and provide a designated compost structure and meet the requirements for a bicycle rack, as required by the City of Cambridge. Full compliance with 6.48.1 (a) would require the elimination of the composting structure and bicycle rack, which would create another non-conformance.

- B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

Section 6.48.1(a) would require 5% of the parking facility to be landscaped. The existing site has an exceedingly tight layout and has only one landscape island which contains a landscaped area of 2.59% of the parking lot. The applicant's proposed changes to the lot are intended to correct the drainage flow, correct handicapped accessible grading, and correct the arrangement of the handicapped parking spaces to comply with the van accessible requirements per the MAAB Rules and Regulations. To fully comply with the 5% landscape area requirement, a hardship would be created for the project because there is not enough room on the site to provide an area for a future composting structure and a bicycle rack. The only way to meet Section 6.48.1(a) would be to demolish the existing 5' landscaped screening buffer at one end or the other of the existing parking lot, and install a solid screening fence to meet the screening requirement. As a result, the area for the bicycle rack and the area designated for future compost shed structure would be eliminated, creating a different non-conformity.

- C) **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1) Substantial detriment to the public good for the following reasons:

The public good of providing a compliant handicapped accessible parking space, a bicycle rack, and the possibility of a future composting shed is notable. The benefits of a planted landscape screening as opposed to a solid fence to meet the screening requirement creates a warm and welcoming environment for the residents and neighbors. The existing small landscaped island has a healthy honey locust tree that is appropriately sized for the existing parking lot which is a public benefit for the neighbors as well as the residents at the property. Due to the spacing requirements for compliant parking spaces, enlarging the existing island to comply with the 5% requirement will result in the loss of amenities, a less desirable screening solution, and an unbalanced design for the existing landscaped island, all of which would be detrimental to the abutting properties and the visual appearance of the property.

- 2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The applicant believes the intent of this section of the ordinance is to provide visual relief, rain water absorption, and shading for larger parking facilities. The shading helps to relieve the "heat-island" effect in urban areas and beautifies parking areas. Since there is already an established healthy honey locust tree on the landscaped island, which will be retained, the applicant believes that enlarging the landscaped island will not have any influence on the heat-island effect. Also, the landscaped buffer screen areas are equally valuable in absorbing rain water and relieving the "heat island" effect as an increased island would be. The intent and purpose of the Ordinance represented in Section 6.48.1(a) will not in any way be nullified or derogated.

- * If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Cambridge Housing Authority **PRESENT USE/OCCUPANCY:** Residence (R-1 per C of O)

LOCATION: 34 Mount Auburn **ZONE:** C-3

PHONE: 617-520-6383 **REQUESTED USE/OCCUPANCY:** No change

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
<u>TOTAL GROSS FLOOR AREA:</u>	15,390 SF	15,390 SF	36,426 SF (max.)
<u>LOT AREA:</u>	12,142 SF		5,000 SF (min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:²</u>	1.27	1.27	3.0 (max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	1517	1517	300 (min.)
<u>SIZE OF LOT:</u>			
WIDTH	103.08		50' (min.)
DEPTH	120.06		
<u>Setbacks in Feet:</u>			
FRONT	20' +/-	20'	20' (min.)
REAR	50' +/-	50'	20' (min.)
LEFT SIDE	10.7' +/-	10.7'	16.6' (min.)
RIGHT SIDE	12.8' +/-	12.8' +/-	16.6' (min.)
<u>SIZE OF BLDG.:</u>			
HEIGHT	46'	46'	120' (max.)
LENGTH	54'	54'	
WIDTH	78'	78'	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:³</u>	15%	15%	10% (min.)
<u>NO. OF DWELLING UNITS:</u>	3 DU + 19 SRO	2 DU + 22SRO	40 (max.)
<u>NO. OF PARKING SPACES:</u>	9	9	9 (min./max)
<u>NO. OF LOADING AREAS:</u>	N/A	N/A	0 (min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	N/A	N/A	10' (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

There are no other buildings on the same lot. The existing building at 34 Mt. Auburn is a 4 story brick building with internal wood and steel framing, a slate roof, with some flat membrane roof areas. There is no new exterior construction included as part of the project, other than reconstruction of the elevator penthouse, which will be slightly lower than the existing penthouse, and will be clad in copper - same as the existing penthouse.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM

GENERAL INFORMATION

2018 SEP 19 PM 2:40

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

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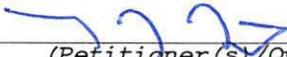
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Article 6 Section 48.1(a)

Article _____ Section _____

Article _____ Section _____

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Original Signature(s):  _____
(Petitioner(s)/Owner)

Michael J. Johnston, Esq., Executive Director

(Print Name)

Address: 362 Green Street, 3rd Floor
Cambridge, MA 02139

Tel. No.: 617-520-6212

E-Mail Address: mjjohnston@cambridge-housing.org

Date: _____



DE WOLFE ST
MT. AUBURN ST

MEMORIAL DRIVE
CLOSED SUNDAYS
11AM - 7PM
LAST SUNDAY IN APRIL
TO
END SUNDAY IN NOVEMBER
SEEKART ROUTE

NO PARKING
ANYTIME
EXCEPT
ON SUNDAYS
11AM - 7PM
NO PARKING
ANYTIME
EXCEPT
ON SUNDAYS
11AM - 7PM



30



TOW ZONE
NO PARKING
SNOW
EMERGENCY
TOW AWAY ZONE
NO STOPPING

TOW AWAY ZONE
NO PARKING
2 HR
PARKING
8AM-8PM
EXCEPT
SUNDAYS

DO NOT APPROX 10'
ENTRANCE
AT BACK OF
BUILDING

753 VV9







TOW AWAY ZONE
ILLEGALLY PARKED AND
UNAUTHORIZED VEHICLES
WILL BE TOWED AWAY AT
OWNER'S RISK & EXPENSE
24 HOURS A DAY
7 DAYS A WEEK
S&B TOWING
(617) 492-5781





NO PARKING
IN FRONT OF
THIS BUILDING
FROM 8:00 AM
TO 5:00 PM
DAILY

1922C
10195

Waltham, MA
781-891-7525





32-34 Mt. Auburn St.

Petitioner

132-4
CHEUNG, JANICE LAP CHI & EUNICE LAP MUN
TRUSTEE CHEUNG TRUST
C/O JANICE CHEUNG
30-C MT AUBURN ST #30-C
CAMBRIDGE, MA 02138

132-37
27 GRANT STREET, LLC,
10 SAMOSET RD.
WINCHESTER, MA 01890

CAMBRIDGE HOUSING AUTHORITY
C/O MICHAEL J. JOHNSTON, ESQ. EXECUTIVE DIRECTOR
362 GREEN STREET, 3RD FLOOR
CAMBRIDGEN, MA 02139

132-7
HONNET, CHARLES O. & ELLEN PORTER HONNET
9 ATHENS ST
CAMBRIDGE, MA 02138

132-8
ATHENS GROUP, LLC,
3 BOW ST
CAMBRIDGE, MA 02138

132-9
17 ATHENS STREET LLC.
C/O CONSIDINE CO
4582 S. ULSTER ST PKWY STE 310
DENVER, CO 80237

132-99
LEVINE, LINDA B. &
26 MT. AUBURN ST. #26/1 & #26/2
CAMBRIDGE, MA 02138

132-37
HERNSTADT, ORI & MARIANNE OGLO
29 GRANT ST
CAMBRIDGE, MA 02138

132-99
LEVINE, LINDA B., TR. OF S. L. TRUST
26-28 MT. AUBURN ST., #28-1
CAMBRIDGE, MA 02138

132-99
STEINMETZ, LEON & INGA KARETNIKOVA
26-28 MT. AUBURN ST., #28/2
CAMBRIDGE, MA 02138

132-99
EDDY, HELEN K. AND DAVID W. STAFFORD-PARKIN
26 MT. AUBURN ST #26-1A
CAMBRIDGE, MA 02138

132-149
HARDER, LAURE,
TR. OF 25 1/2 GRANT 2013 REALTY TRUST
76 BEDFORD PL., SUITE 23
LEXINGTON, MA 02420

132-150-151
CAMBRIDGE COMMUNITY HOUSING
DEVELOPMENT, INC.
C/O WINN COMPANIES
6 FANEUIL HALL MARKETPLACE
BOSTON, MA 02109

133-49
FOUNDATION FOR CIVIC LEADERSHIP, INC.
30 BOW STREET
CAMBRIDGE, MA 02138

132-152 /161-85
PRESIDENT & FELLOWS OF HARVARD COLLEGE
C/O HARVARD REAL ESTATE, INC.
HOLYOKE CENTER, ROOM 1000
1350 MASSACHUSETTS AVE
CAMBRIDGE, MA 02138

132-153
PRESIDENT & FELLOWS OF HARVARD COLLEGE
C/O HARVARD REAL ESTATE, INC. - SUITE 1017
1350 MASSACHUSETTS AVE
CAMBRIDGE, MA 02138

133-61-50
ROMAN CATHOLIC ARCHBISHOP OF BOSTON
CORPORATION SOLE
29 MT AUBURN STREET
CAMBRIDGE, MA 02138



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Floor, Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

Bruce A. Irving, *Chair*; Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director*
William G. Barry, Jr., Robert G. Crocker, Joseph V. Ferrara, Chandra Harrington, Jo M. Solet, *Members*
Gavin W. Kleespies, Paula A. Paris, Kyle Sheffield, *Alternates*

Jurisdiction Advice

To the Owner of Property at 34 Mt. Auburn Street

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- Old Cambridge Historic District
- Fort Washington Historic District
(M.G.L. Ch. 40C, City Code §2.78.050)
- Avon Hill Neighborhood Conservation District
- Half Crown – Marsh Neighborhood Conservation District
- Harvard Square Conservation District
Exterior alterations approved by Historical Commission.
- Mid Cambridge Neighborhood Conservation District
- Designated Landmark
- Property is being studied for designation: _____
(City Code, Ch. 2.78., Article III, and various City Council Orders)
- Preservation Restriction or Easement (as recorded)
- Structure is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). See the back of this page for definition of demolition.
- No jurisdiction: not a designated historic property and the structure is less than fifty years old.
- No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SLB Date September 12, 2018

Received by Uploaded to Energov Date September 12, 2018
Relationship to project BZA 17017-2018

cc: Applicant
Inspectional Services Commissioner

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission
831 Massachusetts Ave., 2nd Fl.
Cambridge, MA 02139
Ph: 617/349-4683 or TTY: 617/349-6112
<http://www.cambridgema.gov/Historic>

PLAN 1024 OF 1989

ASSESSORS:
MAP 132, LOT 153

REFERENCES:
DEED BOOK 21246, PAGE 117
DEED BOOK 20077, PAGE 167
PLAN 1024 OF 1989

RECORD OWNER:
1) CAMBRIDGE HOUSING AUTHORITY
(BUILDINGS AND IMPROVEMENTS ONLY)
2) PRESIDENT AND FELLOWS OF HARVARD COLLEGE. (LAND)

#32-34
MT. AUBURN STREET

Cambridge, Massachusetts 02138

PREPARED FOR
THE NARROW GATE ARCHITECTURE LTD
121 East Berkeley Street
Boston, Massachusetts 02118

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923
VOICE (978) 777-3050, FAX (978) 774-7016
WWW.HANCOCKASSOCIATES.COM



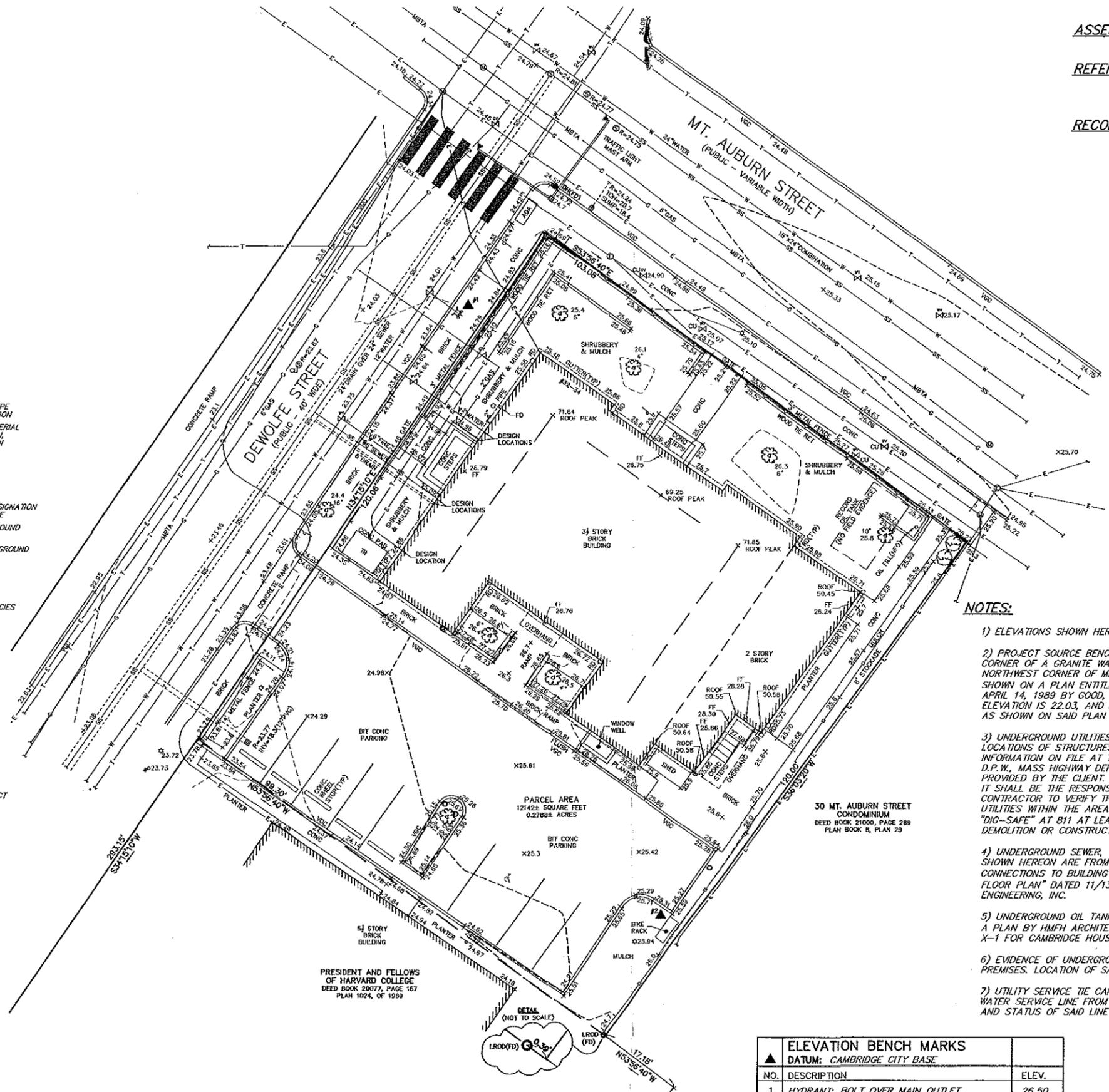
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
1	RJF	JMS	10/27/16	UTILITY SERVICE CONNECTIONS

EXISTING CONDITIONS PLAN OF LAND IN CAMBRIDGE, MA

DATE: 10/25/2016
SCALE: 1" = 10'
DRAWN BY: RJF
CHECK BY: JMS
DWC: 20099sv2.dwg
LAYOUT: EC24x36
SHEET: 1 OF 1
PROJECT NO.: 20099

LEGEND

- 234 --- SURFACE CONTOUR
- EDGE OF PAVEMENT
- CHAIN LINK FENCE
- WOOD FENCE
- 26.75 --- CURB WITH TOP AND BOTTOM CURB ELEVATION
- 8" --- SEWERLINE & MANHOLE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION
- 12" --- DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN, MANHOLE & ROUND CATCHBASIN
- 6" --- WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
- 10" --- GAS MAIN WITH SIZE & GATE VALVE
- OHW --- EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
- E --- ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES
- T --- TELEPHONE MANHOLE & UNDERGROUND TELEPHONE LINES
- RETAINING WALL
- 232.6 --- SPOT ELEVATION
- 26.6 --- PROMINENT DECIDUOUS TREE WITH ELEVATION, SIZE AND SPECIES
- 12" --- LIGHT POLE
- TYPICAL SHRUB
- CB --- CATCH BASIN
- D --- D GRATE CATCHBASIN
- TOH --- TOP OF HOODED PIPE
- BOLLARD
- SIGN
- MANHOLE (UNKNOWN UTILITY)
- TR --- TRANSFORMER
- FIRE ALARM
- RD --- ROOF DRAIN
- VGC --- VERTICAL GRANITE CURB
- CONC --- CONCRETE
- ADA --- AMERICANS WITH DISABILITIES ACT WARNING PAD
- I.ROD --- IRON ROD
- NFO --- NOT FIELD OBSERVED
- CU --- CONNECTION UNKNOWN
- FD --- FIRE DEPARTMENT CONNECTION

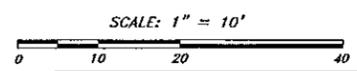


NOTES:

- 1) ELEVATIONS SHOWN HEREON REFER TO CAMBRIDGE CITY BASE.
- 2) PROJECT SOURCE BENCHMARK IS A CHISELED SQUARE IN THE CORNER OF A GRANITE WALL AT THE BACK OF SIDEWALK ON THE NORTHWEST CORNER OF MILL STREET AND DEWOLF STREET AS SHOWN ON A PLAN ENTITLED "PLOT PLAN IN CAMBRIDGE, MA," DATED APRIL 14, 1989 BY GOOD, CLANCY & ASSOCIATES, INC. BENCHMARK ELEVATION IS 22.03, AND IS PURPORTED TO BE CAMBRIDGE CITY BASE AS SHOWN ON SAID PLAN PROVIDED BY THE CITY OF CAMBRIDGE.
- 3) UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICES, TOWN D.P.W., MASS HIGHWAY DEPT., UTILITY COMPANIES, AND INFORMATION PROVIDED BY THE CLIENT. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- 4) UNDERGROUND SEWER, WATER, TELEPHONE, AND MBTA LINES SHOWN HEREON ARE FROM THE SAME PLAN REFERENCE IN NOTE TWO. CONNECTIONS TO BUILDING ARE FROM A PLAN ENTITLED "BASEMENT FLOOR PLAN" DATED 11/13/91, DRAWING NUMBER P-1, BY SAR ENGINEERING, INC.
- 5) UNDERGROUND OIL TANK AND OIL FILL SHOWN HEREON ARE FROM A PLAN BY HMFH ARCHITECTS, INC DATED 6/28/91, DRAWING NUMBER X-1 FOR CAMBRIDGE HOUSING.
- 6) EVIDENCE OF UNDERGROUND ELECTRIC LINES EXIST ON THE PREMISES. LOCATION OF SAID LINES IS UNKNOWN.
- 7) UTILITY SERVICE TIE CARDS PROVIDED BY THE CITY INDICATE A WATER SERVICE LINE FROM MOUNT AUBURN STREET. THE LOCATION AND STATUS OF SAID LINE IS UNKNOWN.

ELEVATION BENCH MARKS
DATUM: CAMBRIDGE CITY BASE

NO.	DESCRIPTION	ELEV.
1.	HYDRANT; BOLT OVER MAIN OUTLET	26.50
2.	VERTICAL GRANITE CURB; TOP BACK CORNER	25.59
3.		



DEMOLITION LEGEND

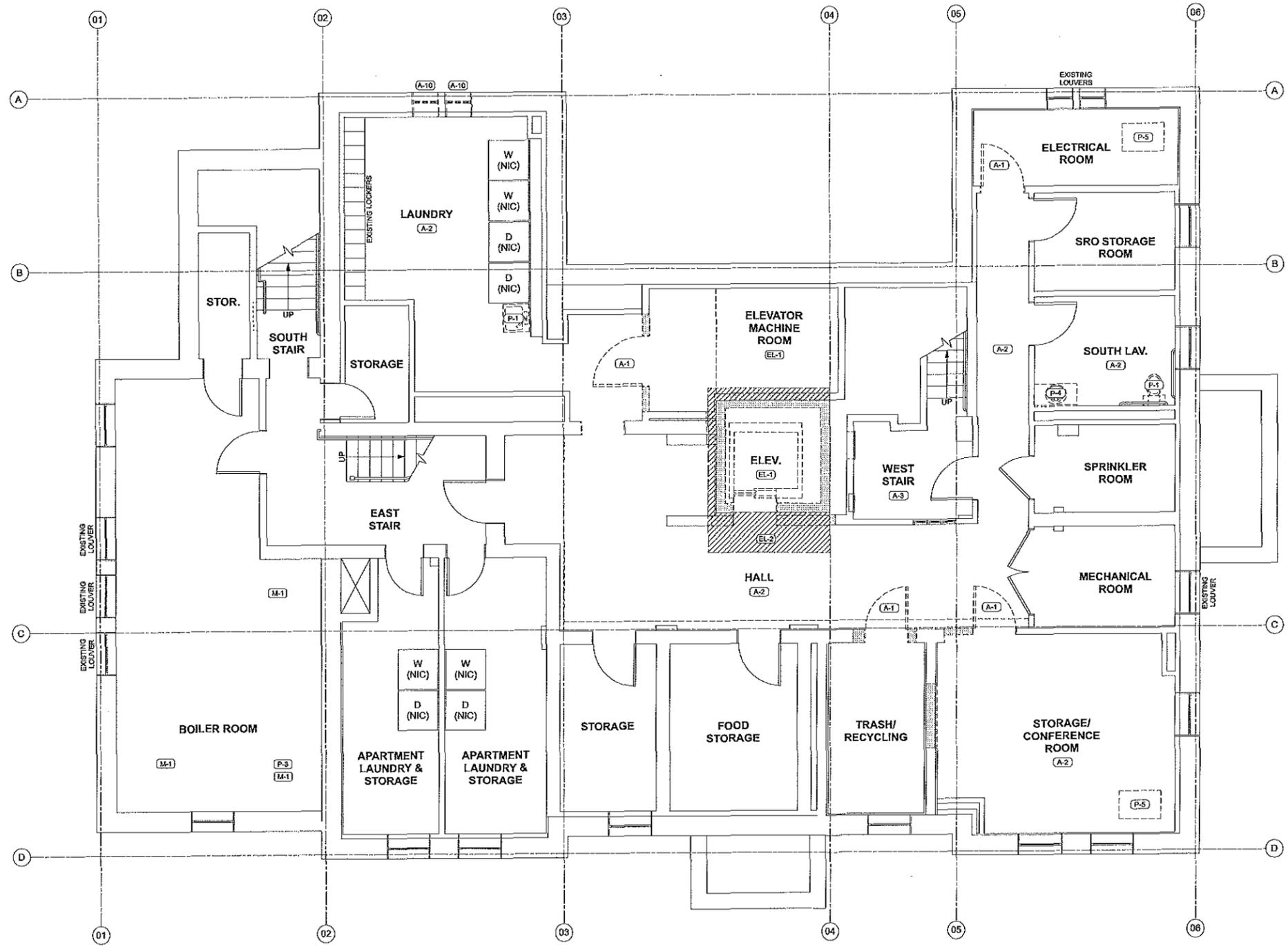
-  CUT AND REMOVE EXISTING FLOOR OPENING OR CONCRETE SLAB; SEE ARCHITECTURAL DRAWINGS FOR SIZE AND LOCATION; SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REINFORCING AND REPAIR SCOPE
-  REMOVE EXISTING CIU ELEVATOR SHAFT; SEE STRUCTURAL DRAWINGS FOR SEQUENCING
-  REMOVE MASONRY PARTITION; SEE STRUCTURAL DRAWINGS AS NEEDED
-  REMOVE EXISTING FRAMED PARTITION; SEE STRUCTURAL AS NEEDED

GENERAL DEMOLITION NOTES

1. SEE PLUMBING DRAWINGS FOR PLUMBING DEMOLITION; CAP ALL PLUMBING CONNECTIONS AFTER REMOVAL OF PIPING AND FIXTURES.
2. SEE MECHANICAL DRAWINGS FOR MECHANICAL DEMOLITION.
3. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL DEMOLITION.
4. CONTRACTOR TO COORDINATE ALL DEMOLITION WITH SCOPE OF WORK DESCRIBED IN HAZARDOUS MATERIALS REMOVAL AND ABATEMENT SPECIFICATIONS.
5. REFER TO SALVAGE NOTES FOR ITEMS TO BE REMOVED OR PROTECTED PRIOR TO OTHER DEMOLITION WORK.
6. CONTRACTOR TO VERIFY THAT ALL WALLS TO BE REMOVED ARE NOT LOAD BEARING PRIOR TO REMOVAL; CONTRACTOR SHALL NOTIFY ARCHITECT IF WALL INDICATED FOR REMOVAL IS LOAD-BEARING OR ITS LOAD-BEARING CONDITION IS QUESTIONABLE.
7. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID DAMAGE OF ALL EXISTING FLOORS, STAIR TREADS, AND WALL FINISHES TO REMAIN. ALL EXISTING FLOORS TO BE PROTECTED WITH PROTECTION BOARD MATERIAL TO BE LAID ON THE FLOOR. TAPE SEAMS AND EDGES OF PROTECTION BOARDS.
8. CONTRACTOR SHALL PROTECT ALL FINISH ITEMS INDICATED TO REMAIN IN PLACE, INCLUDING BUT NOT LIMITED TO: WINDOW CASINGS AND FRAMES, BASE BOARD TRIM, AND OTHER ITEMS AND AREAS AS INDICATED; REFER TO FINISH SCHEDULE FOR ITEMS AND LOCATIONS.
9. DEMOLITION TO INCLUDE REMOVAL FROM SITE AND LEGAL DISPOSAL, EXCEPT MATERIALS AS NOTED FOR SALVAGE.
10. REFER TO PROJECT MANUAL FOR SCOPE AND REQUIREMENTS FOR HAZARDOUS MATERIAL REMOVAL.
11. CONTRACTOR SHALL PROTECT ALL NON-WORK AREAS WITH DUST PARTICULATE BARRIERS; SUBMIT PROTECTION PLAN TO OWNER FOR APPROVAL.
12. REFER TO SITE/CAL DRAWINGS FOR DEMOLITION AT EXISTING SITE IMPROVEMENTS.
13. CONTRACTOR TO TAKE PRECAUTIONS AND USE CARE NOT TO DAMAGE EXISTING UNDERGROUND UTILITY PIPES AT AREA OF ELEVATOR DEMOLITION AND EXCAVATION.

NUMBERED DEMOLITION NOTES

- (A-1) REMOVE EXISTING DOOR(S) AND FRAME
- (A-2) REMOVE EXISTING FINISH FLOORING DOWN TO SUBFLOOR OR SLAB
- (A-3) REMOVE EXISTING CARPET AND PAD
- (A-4) RECONFIGURE EXISTING DROPPED CEILING AND FRAMING FOR NEW DUCTWORK
- (A-5) REMOVE EXISTING COUNTER AND CABINETS
- (A-6) REMOVE EXISTING BATH ACCESSORIES (GRAB BARS, TP DISPENSOR, MIRROR, TOWEL BARS, HOOKS, ETC.)
- (A-7) REMOVE EXISTING C.T. FLOORING, WAINSCOT, AND TUB/SHOWER SURROUND
- (A-8) REMOVE EXISTING APPLIANCE; DELIVER TO OWNER
- (A-9) REMOVE EXISTING DOOR AND FRAME; RELOCATE IN SAME WALL
- (A-10) REMOVE EXISTING WINDOW
- (EL-1) REMOVE ELEVATOR EQUIPMENT IN ITS ENTIRETY
- (EL-2) REMOVE EXISTING BASEMENT SLAB AND ALL EXISTING ELEVATOR PIT AND RELATED CONSTRUCTION; EXERCISE CAUTION WHEN EXCAVATING IN THIS AREA TO AVOID DAMAGE TO EXISTING SUB-SLAB UTILITY LINES
- (P-1) REMOVE EXISTING PLUMBING FIXTURE; SEE PLUMBING DRAWINGS
- (P-2) REMOVE EXISTING SINK AND COUNTER; SEE PLUMBING DRAWINGS
- (P-3) REMOVE PLUMBING EQUIPMENT IN BOILER ROOM; SEE PLUMBING DRAWINGS
- (P-4) REMOVE EXISTING FAUCET & DRAIN
- (P-5) REMOVE EXISTING DRAIN PIT; COORDINATE WITH PLUMBING SCOPE
- (M-1) REMOVE MECHANICAL EQUIPMENT IN BOILER ROOM; SEE MECHANICAL DRAWINGS



1 DEMO PLAN - BASEMENT
 Scale: 1/4" = 1'-0"

No.	Date	Revision Notes

CLIENT:
 CAMBRIDGE HOUSING AUTHORITY
 ST. PAUL'S RESIDENCE
 32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

DRAWING TITLE:
DEMO PLAN - BASEMENT

DATE: 08-11-18
 SCALE: 1/4" = 1'-0"
 DRAWING NO. 50% CONSTRUCTION DOCUMENTS

D-1.0

DEMOLITION LEGEND

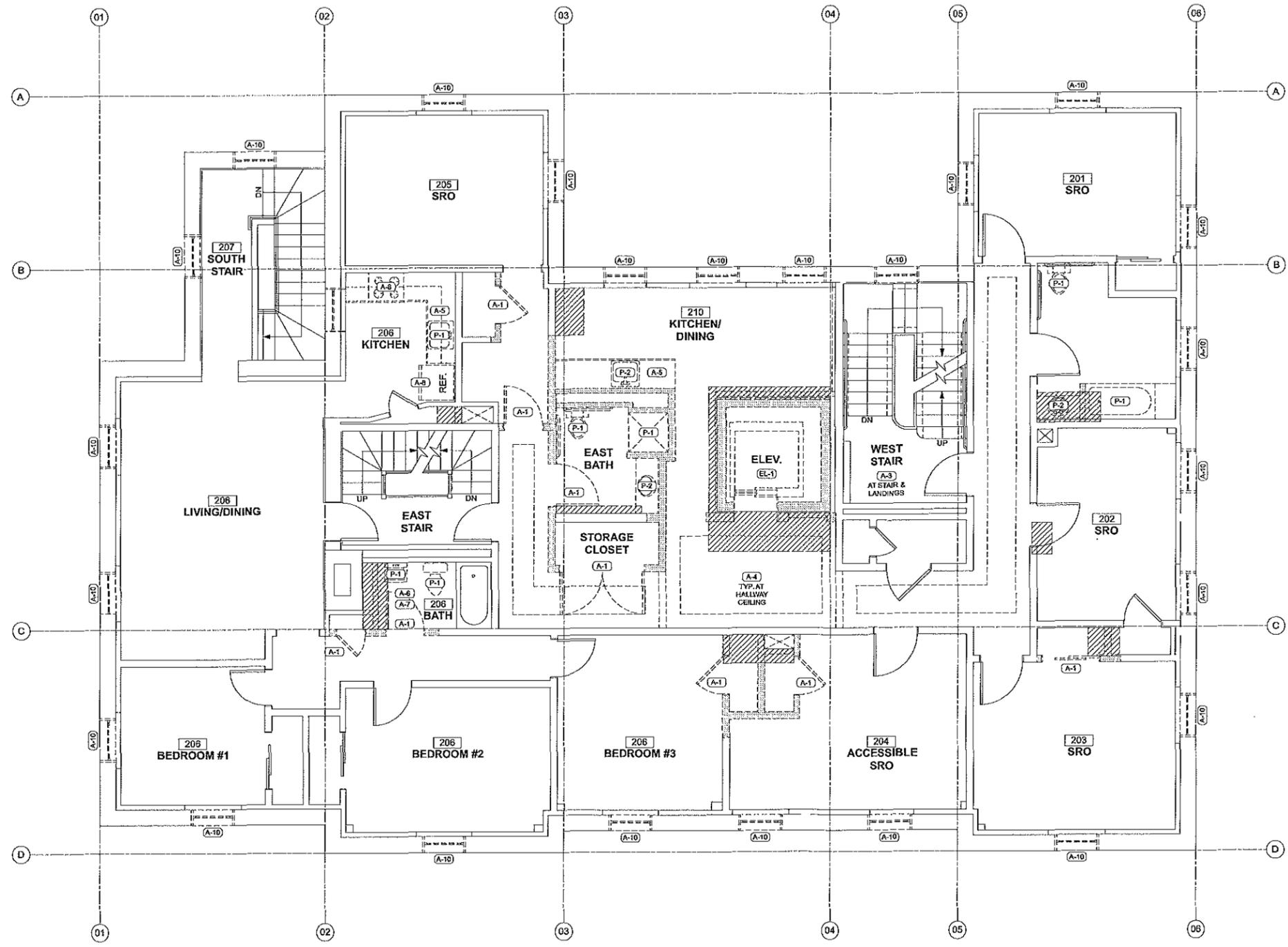
-  CUT AND REMOVE EXISTING FLOOR OPENING OR CONCRETE SLAB; SEE ARCHITECTURAL DRAWINGS FOR SIZE AND LOCATION; SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REINFORCING AND REPAIR SCOPE
-  REMOVE EXISTING CMU ELEVATOR SHAFT; SEE STRUCTURAL DRAWINGS FOR SEQUENCING
-  REMOVE MASONRY PARTITION; SEE STRUCTURAL DRAWINGS AS NEEDED
-  REMOVE EXISTING FRAMED PARTITION; SEE STRUCTURAL AS NEEDED

GENERAL DEMOLITION NOTES

1. SEE PLUMBING DRAWINGS FOR PLUMBING DEMOLITION; CAP ALL PLUMBING CONNECTIONS AFTER REMOVAL OF PIPING AND FIXTURES.
2. SEE MECHANICAL DRAWINGS FOR MECHANICAL DEMOLITION.
3. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL DEMOLITION.
4. CONTRACTOR TO COORDINATE ALL DEMOLITION WITH SCOPE OF WORK DESCRIBED IN HAZARDOUS MATERIALS REMOVAL AND ABATEMENT SPECIFICATIONS.
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12. REFER TO SITE/CIVIL DRAWINGS FOR DEMOLITION AT EXISTING SITE IMPROVEMENTS.
13. CONTRACTOR TO TAKE PRECAUTIONS AND USE CARE NOT TO DAMAGE EXISTING UNDERGROUND UTILITY PIPES AT AREA OF ELEVATOR DEMOLITION AND EXCAVATION.

NUMBERED DEMOLITION NOTES

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- (A-2) REMOVE EXISTING FINISH FLOORING DOWN TO SUBFLOOR OR SLAB
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- (A-6) REMOVE EXISTING BATH ACCESSORIES (GRAB BARS, TP DISPENSOR, MIRROR, TOWEL BARS, HOOKS, ETC.)
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- (A-9) REMOVE EXISTING DOOR AND FRAME; RELOCATE IN SAME WALL
- (A-10) REMOVE EXISTING WINDOW
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- (P-4) REMOVE EXISTING FAUCET & DRAIN
- (P-5) REMOVE EXISTING DRAIN PIT; COORDINATE WITH PLUMBING SCOPE
- (M-1) REMOVE MECHANICAL EQUIPMENT IN BOILER ROOM; SEE MECHANICAL DRAWINGS



1 DEMO PLAN - FLOOR 2
 Scale: 1/4" = 1'-0"

No.	Date	Revision Notes

No. Date Issue Notes
 CLIENT:
 CAMBRIDGE HOUSING AUTHORITY
 ST. PAUL'S RESIDENCE
 32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

DRAWING TITLE:
DEMO PLAN - FLOOR 2

DATE: 06-11-18
 SCALE: 1/4" = 1'-0"
 DRAWING NO. 60% CONSTRUCTION DOCUMENTS



D-1.2

DEMOLITION LEGEND

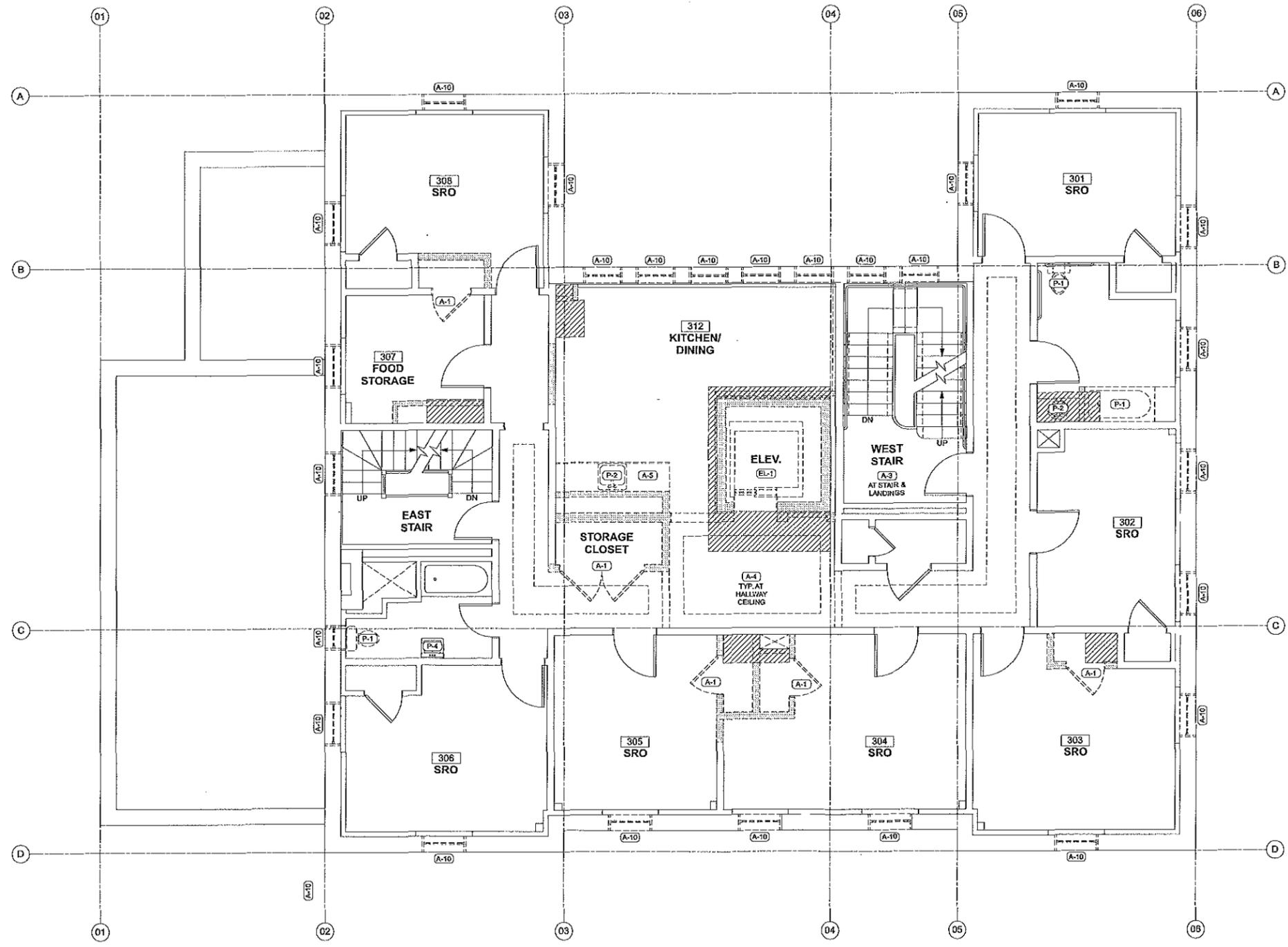
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-  REMOVE EXISTING CMU ELEVATOR SHAFT; SEE STRUCTURAL DRAWINGS FOR SEQUENCING.
-  REMOVE EXISTING MASONRY PARTITION; SEE STRUCTURAL DRAWINGS AS NEEDED.
-  REMOVE EXISTING FRAMED PARTITION; SEE STRUCTURAL AS NEEDED.

GENERAL DEMOLITION NOTES

1. SEE PLUMBING DRAWINGS FOR PLUMBING DEMOLITION; CAP ALL PLUMBING CONNECTIONS AFTER REMOVAL OF PIPING AND FIXTURES.
2. SEE MECHANICAL DRAWINGS FOR MECHANICAL DEMOLITION.
3. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL DEMOLITION.
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- (P-5) REMOVE EXISTING DRAIN PIT; COORDINATE WITH PLUMBING SCOPE
- (M-1) REMOVE MECHANICAL EQUIPMENT IN BOILER ROOM; SEE MECHANICAL DRAWINGS



1 DEMO PLAN - FLOOR 3
 Scale: 1/4" = 1'-0"

No.	Date	Revision Notes

No.	Date	Issue Notes

CLIENT:
 CAMBRIDGE HOUSING AUTHORITY
 ST. PAUL'S RESIDENCE
 32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

DRAWING TITLE:
DEMO PLAN - FLOOR 3

DATE: 06-11-18
 SCALE: 1/4" = 1'-0"
 DRAWING NO. 50% CONSTRUCTION DOCUMENTS

D-1.3



DEMOLITION LEGEND

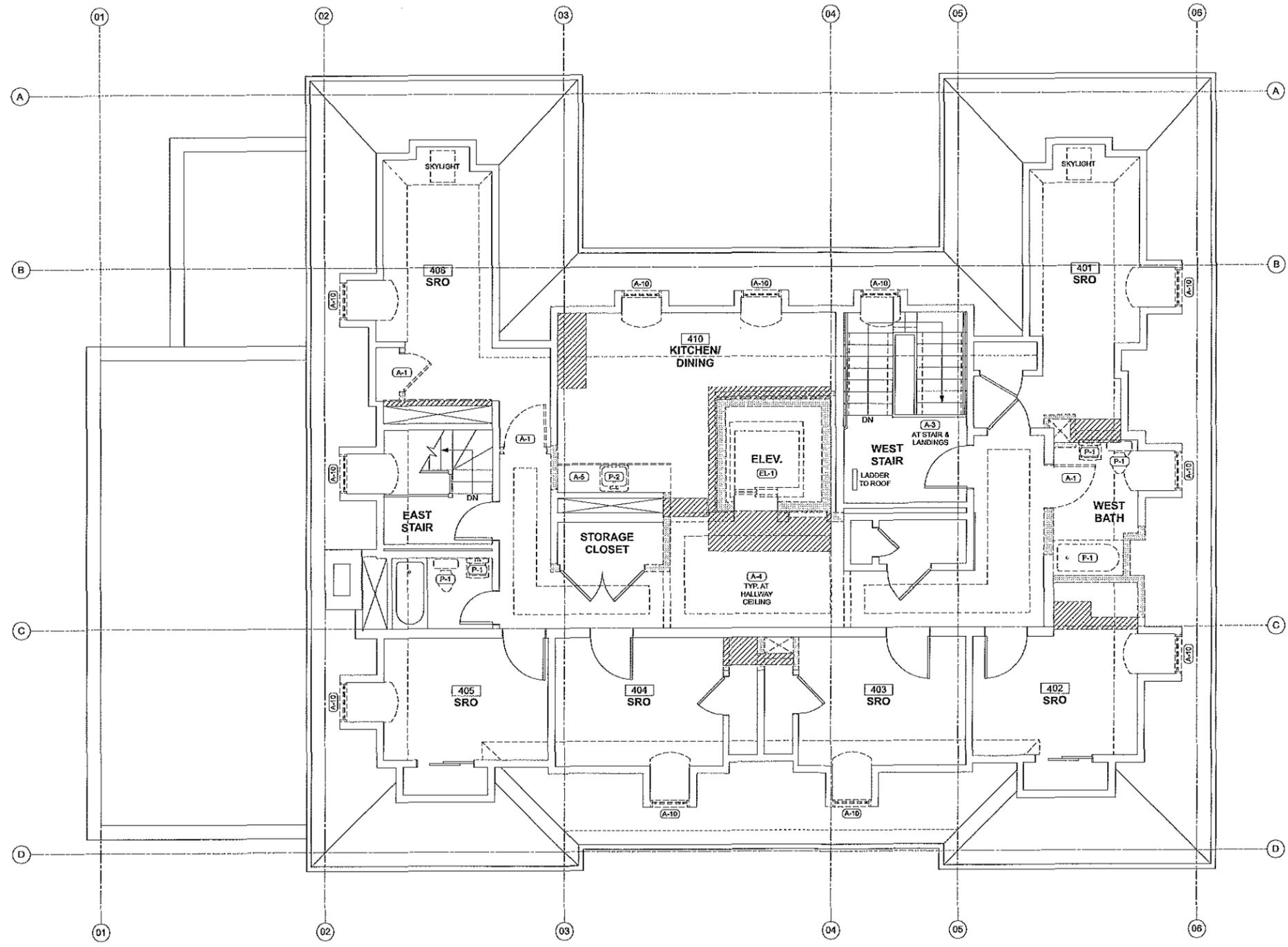
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GENERAL DEMOLITION NOTES

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NUMBERED DEMOLITION NOTES

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- (P-4) REMOVE EXISTING FAUCET & DRAIN
- (P-5) REMOVE EXISTING DRAIN FIT. COORDINATE WITH PLUMBING SCOPE
- (M-1) REMOVE MECHANICAL EQUIPMENT IN BOILER ROOM; SEE MECHANICAL DRAWINGS



1 DEMO PLAN - FLOOR 4
 Scale: 1/4" = 1'-0"

No.	Date	Revision Notes

CLIENT:
 CAMBRIDGE HOUSING AUTHORITY
 ST. PAUL'S RESIDENCE
 32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

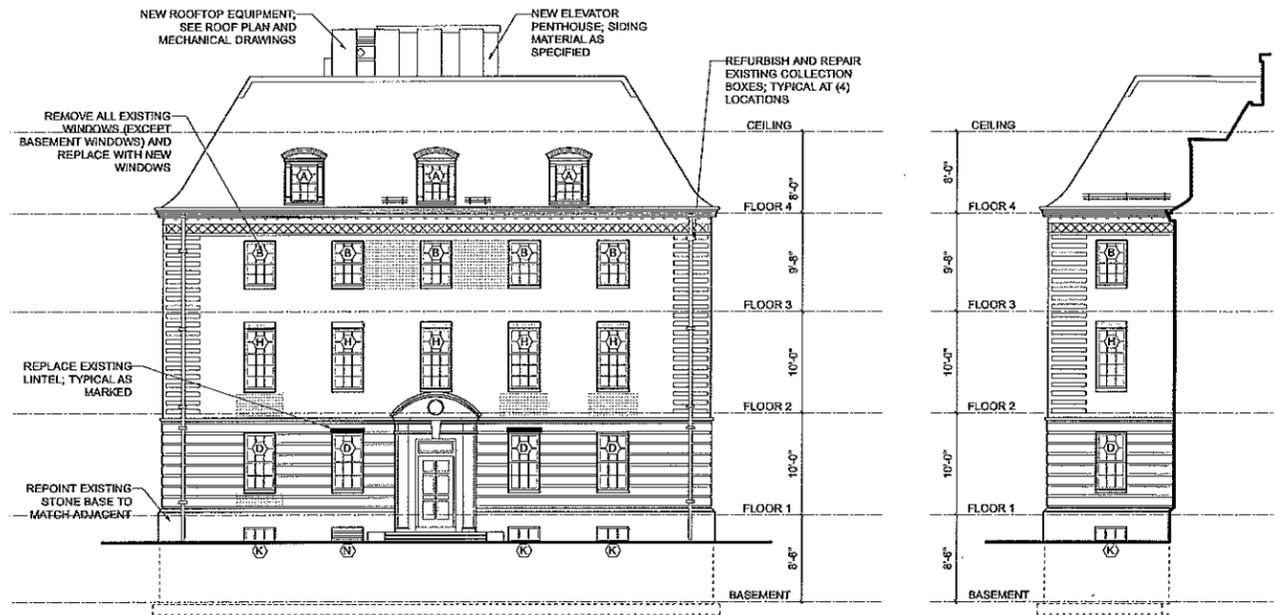
DRAWING TITLE:
DEMO PLAN - FLOOR 4

DATE: 06-11-18
 SCALE: 1/4" = 1'-0"
 DRAWING NO. 50% CONSTRUCTION DOCUMENTS

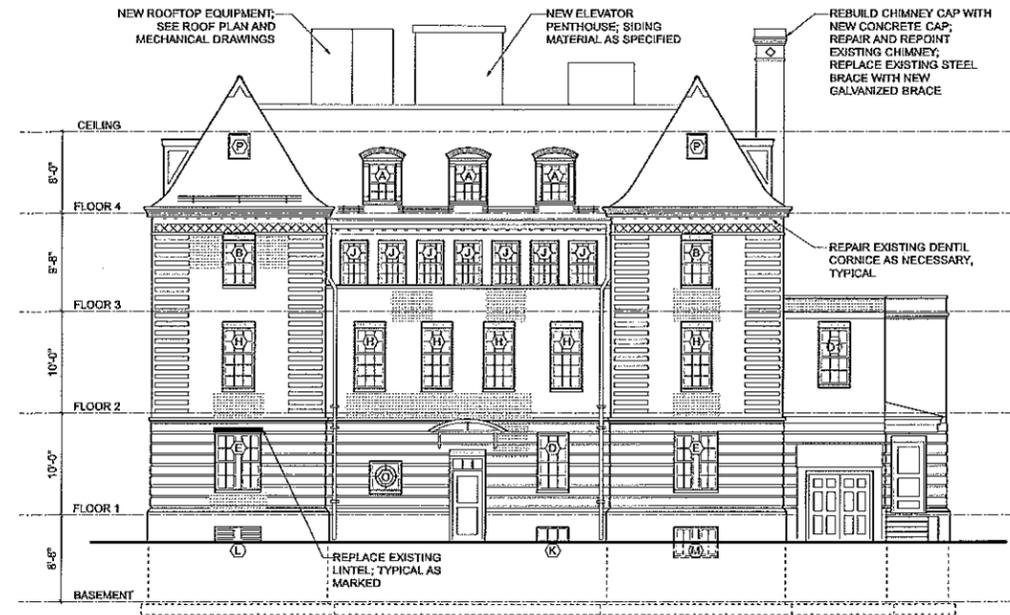
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KEY:
 REPOINT MASONRY AS MARKED
 REPLACE LINTELS AS MARKED

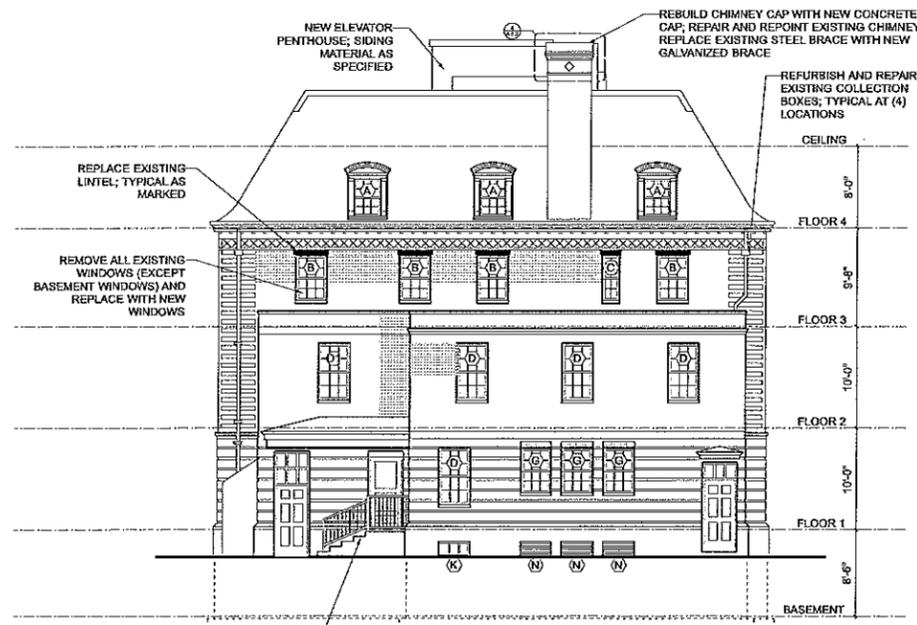


5 WEST (DEWOLFE STREET) ELEVATION
 Scale: 1/8" = 1'-0"

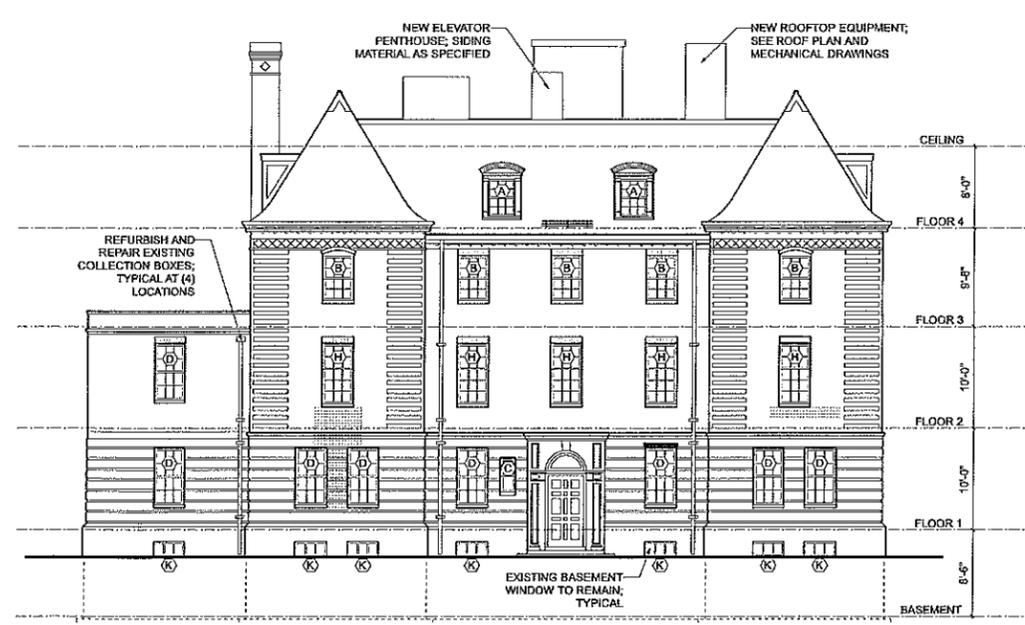


3 SOUTH (COURTYARD) ELEVATION
 Scale: 1/8" = 1'-0"

4 EAST COURTYARD ELEVATION
 Scale: 1/8" = 1'-0"
 NOTE: WEST COURTYARD ELEVATION OPP.



2 EAST ELEVATION
 Scale: 1/8" = 1'-0"



1 NORTH (MT. AUBURN STREET) ELEVATION
 Scale: 1/8" = 1'-0"

No.	Date	Revision Notes

CLIENT:
 CAMBRIDGE HOUSING AUTHORITY
 ST. PAUL'S RESIDENCE
 32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

DRAWING TITLE:
PROPOSED BUILDING ELEVATIONS

DATE: 06-11-18
 SCALE: AS NOTED
 DRAWING NO.: 50% CONSTRUCTION DOCUMENTS

A-2.0

PROPOSED LEGEND

-  = NEW WALL PARTITION; SEE WALL ASSEMBLIES
-  = NEW CMU ELEVATOR SHAFT WALL; SEE WALL ASSEMBLIES
-  = DRAFT STOP AT FLOOR 4

GENERAL PROPOSED NOTES

1. DRAWINGS SHALL NOT BE SCALED; USE WRITTEN DIMENSIONS ONLY. DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT SHALL BE CONSULTED ON ANY REQUIRED CORRECTIONS.
2. ALL DIMENSIONS SHOWN ARE TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED.
3. DIMENSIONS ARE ACTUAL SIZES EXCEPT FOR ROUGH FRAMING OR STRUCTURAL SHAPES, WHICH ARE NOMINAL SIZES, UNLESS OTHERWISE NOTED.
4. REFER TO ENLARGED PLANS FOR SPECIFIC DIMENSIONS.
5. ARCHITECTURAL LAYOUT, EXTENTS AND LOCATIONS OF THE BUILDING ELEMENTS ARE BASED ON MULTIPLE SOURCES OF INFORMATION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACCURACY OF THIS SITE INFORMATION AS WELL AS ALL EXISTING CONDITIONS AND RELOCATIONS INCLUDING BUT NOT LIMITED TO LOCATION OF EXISTING WALLS AND STRUCTURAL ELEMENTS, EXISTING AND RELOCATED UTILITIES, AND BUILDING FOUNDATIONS TO REMAIN.
6. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE HIS/HER WORK WITH THE APPROPRIATE HIGHWAY AND UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL WORK IS COMPLETE.
7. NO ATTEMPT HAS BEEN MADE ON THESE DRAWINGS TO SHOW ALL LOCATIONS WHERE BLOCKING IS REQUIRED. BLOCKING SHALL BE PROVIDED AT ALL LOCATIONS AS REQUIRED TO COMPLETE THE WORK.
8. FIRE RESISTIVE RATED WALLS & CEILINGS ARE NOT TO BE INTERRUPTED BY UNPROTECTED OPENINGS, RECESSED EQUIPMENT, OR CASEWORK. RECESSES AND VOIDS SHALL BE BUILT IN SUCH A MANNER AS TO ASSURE CONTINUITY OF THE CONSTRUCTION. ALL OPENINGS IN WALLS SHALL BE PROTECTED WITH DEVICES OR MATERIAL TO MAINTAIN THE REQUIRED FIRE RATING.
9. COORDINATION OF LAYOUT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY. THIS INCLUDES COORDINATION LAYOUT OF ALL PLUMBING, HEATING, VENTILATING, AND ELECTRICAL WORK WITH STRUCTURE, CEILING SOFFITS, AND CHASES. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES BETWEEN CONDITIONS AS DRAWN AND ACTUAL FIELD CONDITIONS WITH ADJUSTMENTS MADE AS DIRECTED BY ARCHITECT.
10. CONFORM TO MANUFACTURERS RECOMMENDATIONS; IF CONFLICTING WITH DETAIL S AS SHOWN, CONFORM TO MANUFACTURERS RECOMMENDATIONS IN ORDER TO PRESERVE MANUFACTURERS WARRANTY (TYP). NOTIFY ARCHITECT OF ANY CHANGES FROM SPECIFIED.
11. ALL PARTITIONS ARE TO EXTEND FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
12. ACOUSTICAL SEALANT TO BE USED AT ALL PENETRATIONS AND TOP & BOTTOM OF ALL PARTITIONS CONTAINING ACOUSTICAL INSULATION.
13. FRAME FOR DOORS AND WINDOW OPENINGS PER SIZES INDICATED ON DOOR AND WINDOW SCHEDULES; SEE ELEVATIONS AND SCHEDULE SHEETS. PROVIDE MINIMUM OF 4-1/2" FROM FACE OF WALL TO INSIDE FACE OF DOOR JAMB, UNLESS OTHERWISE NOTED.
14. SEE SHEETS A-0.2 AND A-0.3 FOR WALL ASSEMBLY TYPES AND SHEET A-0.4 FOR FLOOR/CEILING ASSEMBLY TYPES (TYP).
15. LAYOUT DOOR OPENINGS TO ALLOW FOR FULL CASINGS ON BOTH SIDES WHEREVER POSSIBLE. HOWEVER CONTRACTOR SHALL ALLOW 18" ON LATCH SIDE OF DOORS REQUIRED TO BE HP ACCESSIBLE.
16. SEE STRUCTURAL DRAWINGS FOR NEW FLOOR/ROOF FRAMING AT ALL CHIMNEY, ELEVATOR, AND REINFORCEMENT FOR MECHANICAL EQUIPMENT.
17. PATCH HARDWOOD FLOORING AT ALL RADIATORS AND AREAS OF WALL REMOVAL, TYP.
18. REFER TO SECTIONS, INTERIOR ELEVATIONS, AND REFLECTED CEILING PLANS FOR CEILING AND SOFFIT INFORMATION.
19. ALL NEW PIPING RISERS TO BE RUN WITHIN WALL, CHASES OR CEILING SPACES; COORDINATE ALL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
20. REFER TO SPECIFICATIONS SECTION 015000 FOR APPROVED CUTTING AND PATCHING PROCEDURES FOR STRUCTURAL ELEMENTS.
21. WHERE EXISTING GYPSUM WALL OR CEILING BOARD MUST BE REMOVED TO IMPLEMENT PROPOSED CONSTRUCTION SCOPE ALL GWS SHALL BE REPLACED WITH NEW FIRE-RATED GWS TO RESTORE FIRE RATING ENCLOSURE. WHERE EXISTING EQUIPMENT, PIPES, DUCTS, WIRES, CONDUITS, ETC. ARE REMOVED LEAVING HOLES OR GAPS IN THE EXISTING GYPSUM WALL OR CEILING BOARD, THESE LOCATIONS SHALL BE PATCHED AS SHOWN ON DETAILS TO RESTORE FIRE RATING ENCLOSURE. WHERE (2) LAYERS OF GWS ARE REMOVED OR WHERE HOLES ARE CREATED, REPLACE WITH (2) LAYERS OF FIRE-RATED GWS. GWS IN CONCEALED SPACES CAN BE FIRE TAPED ONLY.

NUMBERED PROPOSED NOTES

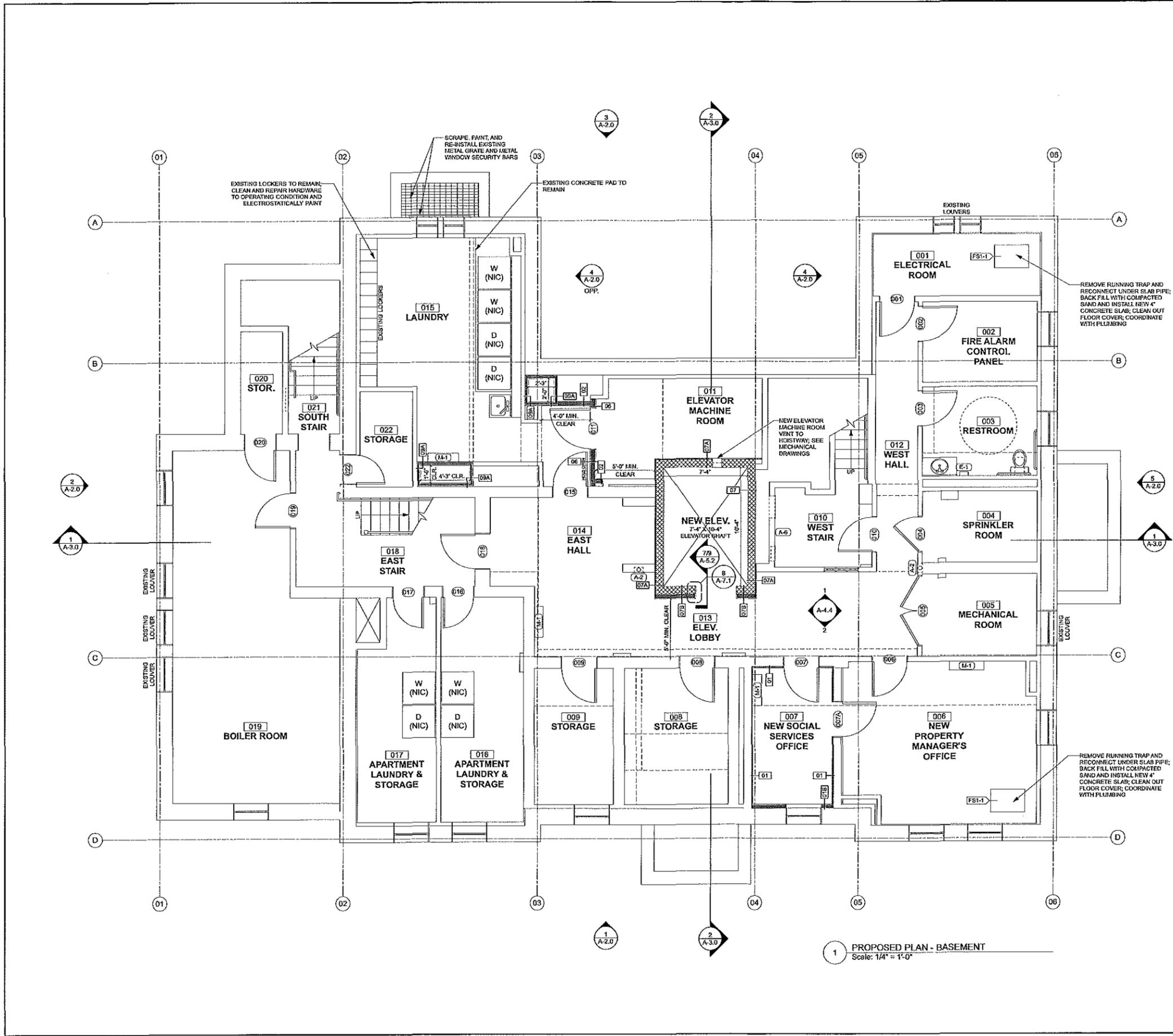
- (A-1) INSTALL NEW HAND RAILINGS IN EAST STAIRS ON FLOORS 1-4; SEE SHEET A-5.4
- (A-2) NEW FIRE EXTINGUISHER IN RECESSED CABINET; NEW FIRE EXTINGUISHER IN NEW RECESSED CABINET AT EAST HALL 214 ONLY; NEW WALL-MOUNTED FIRE EXTINGUISHER AT COMMUNITY ROOM 101 ONLY
- (A-3) RELOCATED EXISTING WALL CABINET
- (A-4) NEW WALL CABINET; SEE DETAIL 5 ON SHEET A-5.5
- (A-5) NEW 1/2" VERTICAL GRAB BAR AT EXISTING TUBS
- (A-6) WHERE EXISTING WALL BOARD MUST BE REMOVED TO INSTALL NEW EQUIPMENT, CONDUIT, PIPING, WIRING, ETC., REPLACE WITH (2) LAYERS OF NEW 5/8" FIRE-RATED GYPSUM WALL BOARD TO MAINTAIN 2-HOUR RATED CHASE ENCLOSURE
- (M-1) NEW HEAT PUMP UNIT; SEE MECHANICAL DRAWINGS
- (M-2) EXISTING RADIATOR TO REMAIN
- (E-1) NEW HAND DRYER; SEE ELECTRICAL DRAWINGS

No.	Date	Revision Notes

CLIENT:
CAMBRIDGE HOUSING AUTHORITY
 ST. PAUL'S RESIDENCE
 32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

DRAWING TITLE:
PROPOSED PLAN - BASEMENT

DATE: 08-09-18	DRAWING NO. 100% CONSTRUCTION DOCUMENTS
SCALE: 1/4" = 1'-0"	A-1.0



1 PROPOSED PLAN - BASEMENT
 Scale: 1/4" = 1'-0"

PROPOSED LEGEND

-  = NEW WALL PARTITION, SEE WALL ASSEMBLIES
-  = NEW CMU ELEVATOR SHAFT WALL; SEE WALL ASSEMBLIES
-  = DRAFT STOP AT FLOOR 4

GENERAL PROPOSED NOTES

1. DRAWINGS SHALL NOT BE SCALED; USE WRITTEN DIMENSIONS ONLY. DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT SHALL BE CONSULTED ON ANY REQUIRED CORRECTIONS.
2. ALL DIMENSIONS SHOWN ARE TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED.
3. DIMENSIONS ARE ACTUAL SIZES EXCEPT FOR ROUGH FRAMING OR STRUCTURAL SHAPES, WHICH ARE NOMINAL SIZES, UNLESS OTHERWISE NOTED.
4. REFER TO ENLARGED PLANS FOR SPECIFIC DIMENSIONS.
5. ARCHITECTURAL LAYOUT, EXTENTS AND LOCATIONS OF THE BUILDING ELEMENTS ARE BASED ON MULTIPLE SOURCES OF INFORMATION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACCURACY OF THIS SITE INFORMATION AS WELL AS ALL EXISTING CONDITIONS AND RELOCATIONS INCLUDING BUT NOT LIMITED TO LOCATION OF EXISTING WALLS AND STRUCTURAL ELEMENTS, EXISTING AND RELOCATED UTILITIES, AND BUILDING FOUNDATIONS TO REMAIN.
6. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE HIS/HER WORK WITH THE APPROPRIATE HIGHWAY AND UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL WORK IS COMPLETE.
7. NO ATTEMPT HAS BEEN MADE ON THESE DRAWINGS TO SHOW ALL LOCATIONS WHERE BLOCKING IS REQUIRED. BLOCKING SHALL BE PROVIDED AT ALL LOCATIONS AS REQUIRED TO COMPLETE THE WORK.
8. FIRE RESISTIVE RATED WALLS & CEILINGS ARE NOT TO BE INTERRUPTED BY UNPROTECTED OPENINGS, RECESSED EQUIPMENT, OR CASEWORK. RECESSES AND VOIDS SHALL BE BUILT IN SUCH A MANNER AS TO ASSURE CONTINUITY OF THE CONSTRUCTION. ALL OPENINGS IN WALLS SHALL BE PROTECTED WITH DEVICES OR MATERIAL TO MAINTAIN THE REQUIRED FIRE RATING.
9. COORDINATION OF LAYOUT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY; THIS INCLUDES COORDINATION LAYOUT OF ALL PLUMBING, HEATING, VENTILATING, AND ELECTRICAL WORK WITH STRUCTURE, CEILING SOFFITS, AND CHASES. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES BETWEEN CONDITIONS AS DRAWN AND ACTUAL FIELD CONDITIONS WITH ADJUSTMENTS MADE AS DIRECTED BY ARCHITECT.
10. CONFORM TO MANUFACTURERS RECOMMENDATIONS; IF CONFLICTING WITH DETAILS AS SHOWN, CONFORM TO MANUFACTURERS RECOMMENDATIONS IN ORDER TO PRESERVE MANUFACTURERS WARRANTY (TYP.) NOTIFY ARCHITECT OF ANY CHANGES FROM SPECIFIED.
11. ALL PARTITIONS ARE TO EXTEND FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
12. ACOUSTICAL SEALANT TO BE USED AT ALL PENETRATIONS AND TOP & BOTTOM OF ALL PARTITIONS CONTAINING ACOUSTICAL INSULATION.
13. FRAME FOR DOORS AND WINDOW OPENINGS PER SIZES INDICATED ON DOOR AND WINDOW SCHEDULES. SEE ELEVATIONS AND SCHEDULE SHEETS. PROVIDE MINIMUM OF 4-1/2" FROM FACE OF WALL TO INSIDE FACE OF DOOR JAMB, UNLESS OTHERWISE NOTED.
14. SEE SHEETS A-0.2 AND A-0.3 FOR WALL ASSEMBLY TYPES AND SHEET A-0.4 FOR CEILING ASSEMBLY TYPES (TYP.).
15. LAYOUT DOOR OPENINGS TO ALLOW FOR FULL CASINGS ON BOTH SIDES WHEREVER POSSIBLE. HOWEVER CONTRACTOR SHALL ALLOW 18" ON LATCH SIDE OF DOORS REQUIRED TO BE HP ACCESSIBLE.
16. SEE STRUCTURAL DRAWINGS FOR NEW FLOOR/ROOF FRAMING AT ALL CHIMNEY, ELEVATOR AND REINFORCEMENT FOR MECHANICAL EQUIPMENT.
17. PATCH HARDWOOD FLOORING AT ALL RADIATORS AND AREAS OF WALL REMOVAL, TYP.
18. REFER TO SECTIONS, INTERIOR ELEVATIONS, AND REFLECTED CEILING PLANS FOR CEILING AND SOFFIT INFORMATION.
19. ALL NEW PIPING RISERS TO BE RUN WITHIN WALL, CHASES OR CEILING SPACES; COORDINATE ALL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
20. REFER TO SPECIFICATIONS SECTION 011000 FOR APPROVED CUTTING AND PATCHING PROCEDURES FOR STRUCTURAL ELEMENTS.
21. WHERE EXISTING GYPSUM WALL OR CEILING BOARD MUST BE REMOVED TO IMPLEMENT PROPOSED CONSTRUCTION SCOPE, ALL GWB SHALL BE REPLACED WITH NEW FIRE-RATED SHEB TO RESTORE FIRE-RATING ENCLOSURE. WHERE EXISTING EQUIPMENT, PIPES, DUCTS, WIRES, CONDUITS, ETC. ARE REMOVED LEAVING HOLES OR GAPS IN THE EXISTING GYPSUM WALL OR CEILING BOARD, THESE LOCATIONS SHALL BE PATCHED AS SHOWN ON DETAILS TO RESTORE FIRE RATING ENCLOSURE. WHERE (2) LAYERS OF GWB ARE REMOVED OR WHERE HOLES ARE CREATED, REPLACE WITH (2) LAYERS OF FIRE-RATED GWB. GWB IN CONCEALED SPACES CAN BE FIRE TAPED ONLY.

NUMBERED PROPOSED NOTES

- (A-1) INSTALL NEW HAND RAILINGS IN EAST STAIRS ON FLOORS 1-4; SEE SHEET A-5.4
- (A-2) NEW FIRE EXTINGUISHER IN RECESSED CABINET; NEW FIRE EXTINGUISHER IN NEW RECESSED CABINET AT EAST HALL 114 ONLY; NEW WALL-MOUNTED FIRE EXTINGUISHER AT COMMUNITY ROOM 101 ONLY
- (A-3) RELOCATED EXISTING WALL CABINET
- (A-4) NEW WALL CABINET; SEE DETAIL 5 ON SHEET A-5.5
- (A-5) NEW 12" VERTICAL GRAB BAR AT EXISTING TUBS
- (A-6) WHERE EXISTING WALL BOARD MUST BE REMOVED TO INSTALL NEW EQUIPMENT, CONDUIT, PIPING, WIRING, ETC., REPLACE WITH (2) LAYERS OF NEW 5/8" FIRE-RATED GYPSUM WALL BOARD TO MAINTAIN 2-HOUR RATED CHASE ENCLOSURE
- (M-1) NEW HEAT PUMP UNIT; SEE MECHANICAL DRAWINGS
- (M-2) EXISTING RADIATOR TO REMAIN
- (E-1) NEW HAND DRYER; SEE ELECTRICAL DRAWINGS

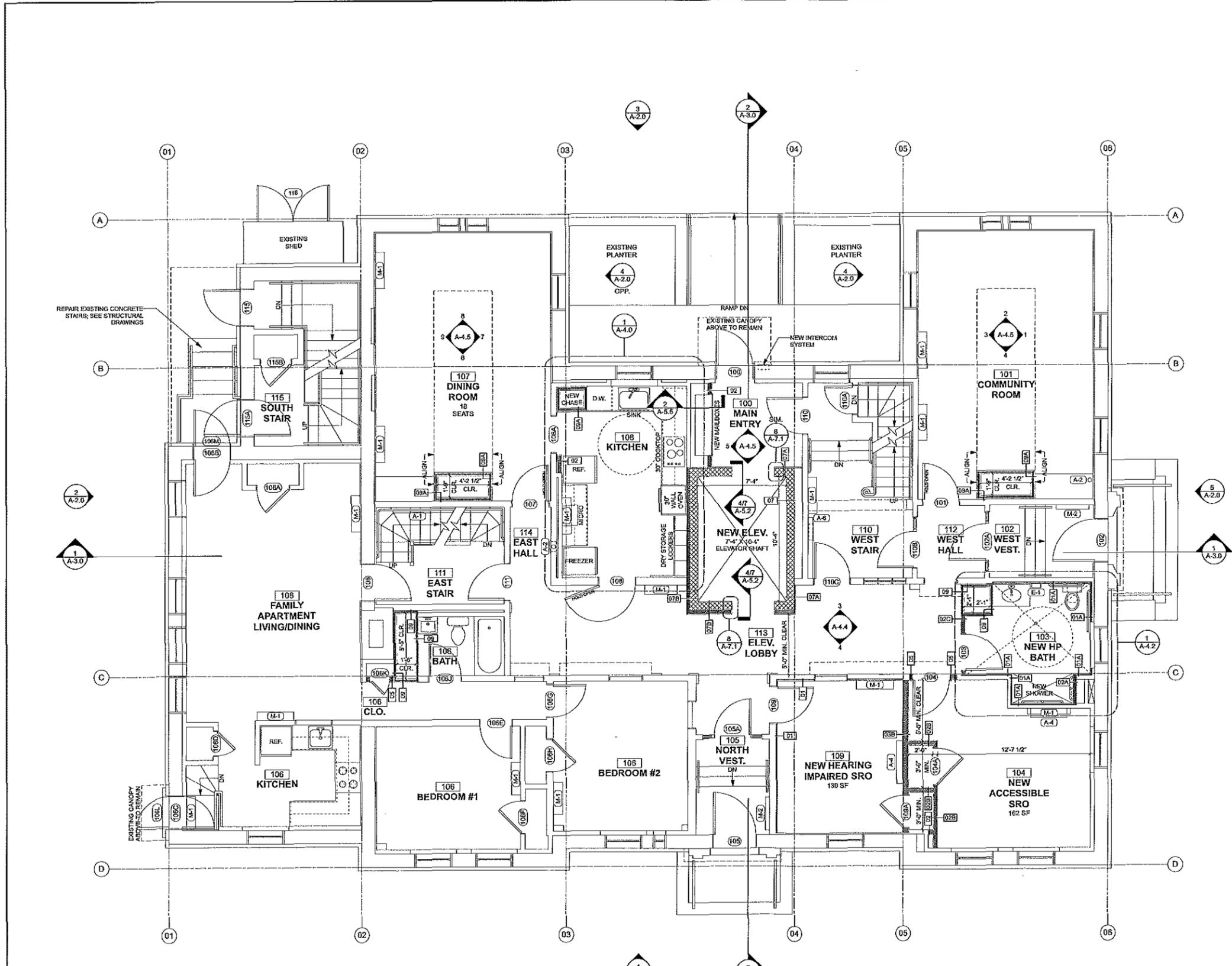
No.	Date	Revision Notes

No. Date Issue Notes
 CLIENT
CAMBRIDGE HOUSING AUTHORITY
 ST. PAUL'S RESIDENCE
 32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

PROPOSED PLAN - FLOOR 1

DATE: 08-09-18
 SCALE: 1/4" = 1'-0"
 DRAWING NO. 100% CONSTRUCTION DOCUMENTS

A-1.1



1 PROPOSED PLAN - FLOOR 1
 Scale: 1/4" = 1'-0"

PROPOSED LEGEND

-  = NEW WALL PARTITION, SEE WALL ASSEMBLIES
-  = NEW CAST-IN-PLACE ELEVATOR SHAFT WALL, SEE WALL ASSEMBLIES
-  = DRAFT STOP AT FLOOR 4

GENERAL PROPOSED NOTES

1. DRAWINGS SHALL NOT BE SCALED. USE WRITTEN DIMENSIONS ONLY. DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT SHALL BE CONSULTED ON ANY REQUIRED CORRECTIONS.
2. ALL DIMENSIONS SHOWN ARE TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED.
3. DIMENSIONS ARE ACTUAL SIZES EXCEPT FOR ROUGH FRAMING OR STRUCTURAL SHAPES, WHICH ARE NOMINAL SIZES, UNLESS OTHERWISE NOTED.
4. REFER TO ENLARGED PLANS FOR SPECIFIC DIMENSIONS.
5. ARCHITECTURAL LAYOUT, EXTENTS AND LOCATIONS OF THE BUILDING ELEMENTS ARE BASED ON MULTIPLE SOURCES OF INFORMATION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACCURACY OF THIS SITE INFORMATION AS WELL AS ALL EXISTING CONDITIONS AND RELOCATIONS INCLUDING BUT NOT LIMITED TO LOCATION OF EXISTING WALLS AND STRUCTURAL ELEMENTS, EXISTING AND RELOCATED UTILITIES, AND BUILDING FOUNDATIONS TO REMAIN.
6. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE HIS/HER WORK WITH THE APPROPRIATE HIGHWAY AND UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL WORK IS COMPLETE.
7. NO ATTEMPT HAS BEEN MADE ON THESE DRAWINGS TO SHOW ALL LOCATIONS WHERE BLOCKING IS REQUIRED. BLOCKINGS SHALL BE PROVIDED AT ALL LOCATIONS AS REQUIRED TO COMPLETE THE WORK.
8. FIRE RESISTIVE RATED WALLS & CEILINGS ARE NOT TO BE INTERRUPTED BY UNPROTECTED OPENINGS, RECESSED EQUIPMENT, OR CASEWORK. RECESSES AND VOIDS SHALL BE BUILT IN SUCH A MANNER AS TO ASSURE CONTINUITY OF THE CONSTRUCTION. ALL OPENINGS IN WALLS SHALL BE PROTECTED WITH DEVICES OR MATERIAL TO MAINTAIN THE REQUIRED FIRE RATING.
9. COORDINATION OF LAYOUT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY. THIS INCLUDES COORDINATION LAYOUT OF ALL PLUMBING, HEATING, VENTILATING, AND ELECTRICAL WORK WITH STRUCTURE, CEILING SOFFITS, AND CHASES. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES BETWEEN CONDITIONS AS DRAWN AND ACTUAL FIELD CONDITIONS WITH ADJUSTMENTS MADE AS DIRECTED BY ARCHITECT.
10. CONFORM TO MANUFACTURERS RECOMMENDATIONS; IF CONFLICTING WITH DETAILS AS SHOWN, CONFORM TO MANUFACTURERS RECOMMENDATIONS IN ORDER TO PRESERVE MANUFACTURERS WARRANTY (TYP.) NOTIFY ARCHITECT OF ANY CHANGES FROM SPECIFIED.
11. ALL PARTITIONS ARE TO EXTEND FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
12. ACOUSTICAL SEALANT TO BE USED AT ALL PENETRATIONS AND TOP & BOTTOM OF ALL PARTITIONS CONTAINING ACOUSTICAL INSULATION.
13. FRAME FOR DOORS AND WINDOW OPENINGS PER SIZES INDICATED ON DOOR AND WINDOW SCHEDULES. SEE ELEVATIONS AND SCHEDULE SHEETS. PROVIDE MINIMUM OF 4-1/2" FROM FACE OF WALL TO INSIDE FACE OF DOOR JAMB, UNLESS OTHERWISE NOTED.
14. SEE SHEETS A-0.2 AND A-0.3 FOR WALL ASSEMBLY TYPES AND SHEET A-0.4 FOR FLOOR/CEILING ASSEMBLY TYPES (TYP.).
15. LAYOUT DOOR OPENINGS TO ALLOW FOR FULL CASINGS ON BOTH SIDES WHEREVER POSSIBLE. HOWEVER, CONTRACTOR SHALL ALLOW 18" ON LATCH SIDE OF DOORS REQUIRED TO BE HP ACCESSIBLE.
16. SEE STRUCTURAL DRAWINGS FOR NEW FLOOR/ROOF FRAMING AT ALL CHIMNEY, ELEVATOR AND REINFORCEMENT FOR MECHANICAL EQUIPMENT.
17. PATCH HARDWOOD FLOORING AT ALL RADIATORS AND AREAS OF WALL REMOVAL, TYP.
18. REFER TO SECTIONS, INTERIOR ELEVATIONS, AND REFLECTED CEILING PLANS FOR CEILING AND SOFFIT INFORMATION.
19. ALL NEW PIPING RISERS TO BE RUN WITHIN WALL, CHASES OR CEILING SPACES; COORDINATE ALL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
20. REFER TO SPECIFICATIONS SECTION 011000 FOR APPROVED CUTTING AND PATCHING PROCEDURES FOR STRUCTURAL ELEMENTS.
21. WHERE EXISTING GYPSUM WALL OR CEILING BOARD MUST BE REMOVED TO IMPLEMENT PROPOSED CONSTRUCTION SCOPE, ALL GWB SHALL BE REPLACED WITH NEW FIRE-RATED GWB TO RESTORE FIRE RATING ENCLOSURE. WHERE EXISTING EQUIPMENT, PIPES, DUCTS, WIRES, CONDUITS, ETC. ARE REMOVED LEAVING HOLES OR GAPS IN THE EXISTING GYPSUM WALL OR CEILING BOARD, THESE LOCATIONS SHALL BE PATCHED AS SHOWN ON DETAILS TO RESTORE FIRE RATING ENCLOSURE. WHERE (2) LAYERS OF GWB ARE REMOVED OR WHERE HOLES ARE CREATED, REPLACE WITH (2) LAYERS OF FIRE-RATED GWB. GWB IN CONCEALED SPACES CAN BE FIRE TAPED ONLY.

NUMBERED PROPOSED NOTES

- (A-1) INSTALL NEW HAND RAILINGS IN EAST STAIRS ON FLOORS 1-4; SEE SHEET A-5.4
- (A-2) NEW FIRE EXTINGUISHER IN RECESSED CABINET; NEW FIRE EXTINGUISHER IN NEW RECESSED CABINET AT EAST HALL 214 ONLY; NEW WALL-MOUNTED FIRE EXTINGUISHER AT COMMUNITY ROOM 101 ONLY
- (A-3) RELOCATED EXISTING WALL CABINET
- (A-4) NEW WALL CABINET; SEE DETAIL 5 ON SHEET A-5.5
- (A-5) NEW 12" VERTICAL GRAB BAR AT EXISTING TUBS
- (A-6) WHERE EXISTING WALL BOARD MUST BE REMOVED TO INSTALL NEW EQUIPMENT, CONDUIT, PIPING, WIRING, ETC., REPLACE WITH (2) LAYERS OF NEW 5/8" FIRE-RATED GYPSUM WALL BOARD TO MAINTAIN 2-HOUR RATED CHASE ENCLOSURE
- (M-1) NEW HEAT PUMP UNIT; SEE MECHANICAL DRAWINGS
- (M-2) EXISTING RADIATOR TO REMAIN
- (E-1) NEW HAND DRYER; SEE ELECTRICAL DRAWINGS

No.	Date	Revision Notes

No.	Date	Issue Notes

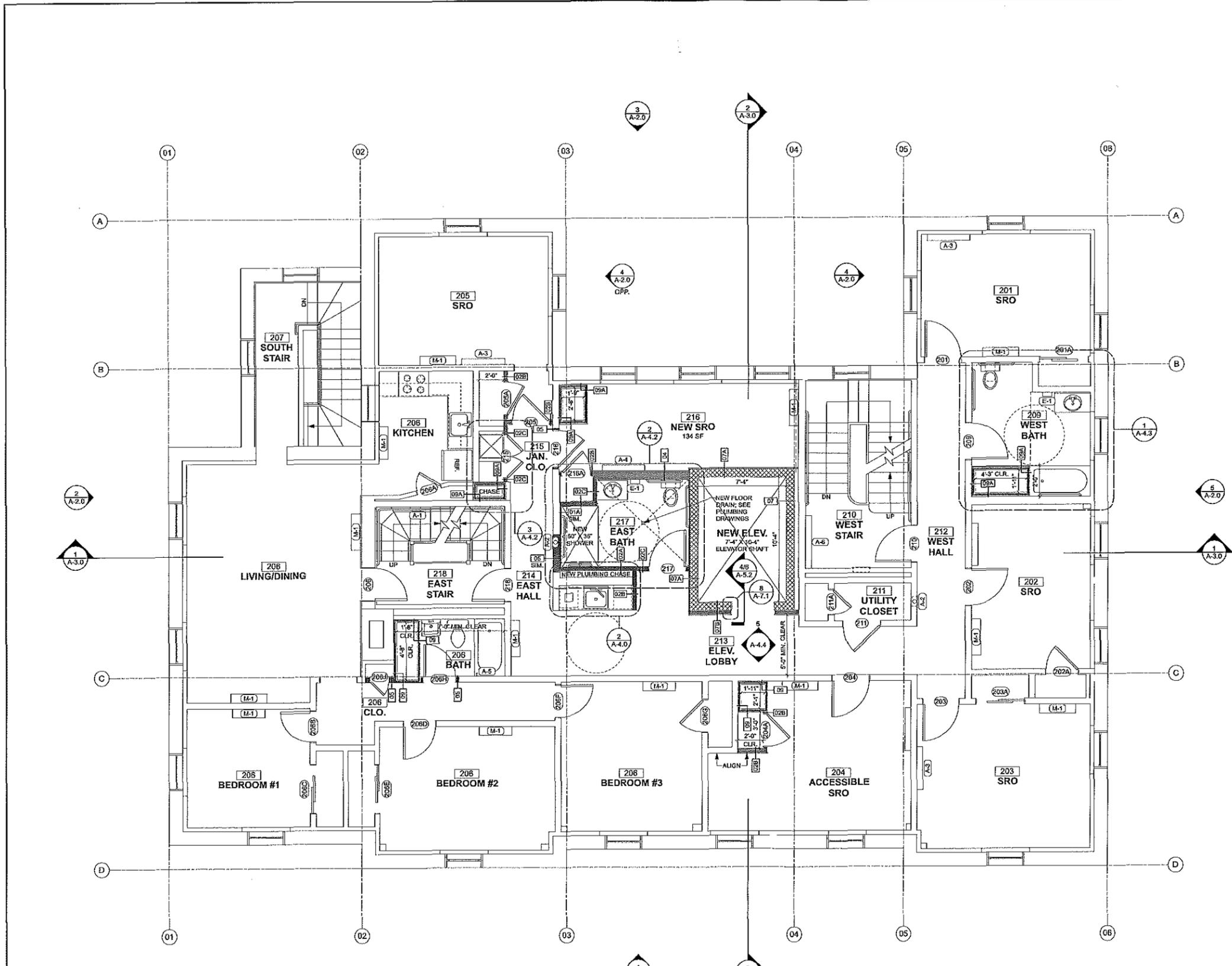
CLIENT:
CAMBRIDGE HOUSING AUTHORITY

ST. PAUL'S RESIDENCE

32-34 MT. AUBURN STREET
CAMBRIDGE, MA

DRAWING TITLE:
PROPOSED PLAN - FLOOR 2

DATE: 08-09-18	DRAWING NO. 100% CONSTRUCTION DOCUMENTS
SCALE: 1/4" = 1'-0"	A-1.2



1 PROPOSED PLAN - FLOOR 2
 Scale: 1/4" = 1'-0"

PROPOSED LEGEND

-  = NEW WALL PARTITION; SEE WALL ASSEMBLIES
-  = NEW CMU ELEVATOR SHAFT WALL; SEE WALL ASSEMBLIES
-  = DRAFT STOP AT FLOOR 4

GENERAL PROPOSED NOTES

1. DRAWINGS SHALL NOT BE SCALED; USE WRITTEN DIMENSIONS ONLY. DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT SHALL BE CONSULTED ON ANY REQUIRED CORRECTIONS.
2. ALL DIMENSIONS SHOWN ARE TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED.
3. DIMENSIONS ARE ACTUAL SIZES EXCEPT FOR ROUGH FRAMING OR STRUCTURAL SHAPES, WHICH ARE NOMINAL SIZES, UNLESS OTHERWISE NOTED.
4. REFER TO ENLARGED PLANS FOR SPECIFIC DIMENSIONS.
5. ARCHITECTURAL LAYOUT, EXTENTS AND LOCATIONS OF THE BUILDING ELEMENTS ARE BASED ON MULTIPLE SOURCES OF INFORMATION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACCURACY OF THIS SITE INFORMATION AS WELL AS ALL EXISTING CONDITIONS AND RELOCATIONS INCLUDING BUT NOT LIMITED TO LOCATION OF EXISTING WALLS AND STRUCTURAL ELEMENTS, EXISTING AND RELOCATED UTILITIES, AND BUILDING FOUNDATIONS TO REMAIN.
6. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE FISHER WORK WITH THE APPROPRIATE HIGHWAY AND UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL WORK IS COMPLETE.
7. NO ATTEMPT HAS BEEN MADE ON THESE DRAWINGS TO SHOW ALL LOCATIONS WHERE BLOCKING IS REQUIRED. BLOCKING SHALL BE PROVIDED AT ALL LOCATIONS AS REQUIRED TO COMPLETE THE WORK.
8. FIRE RESISTIVE RATED WALLS & CEILINGS ARE NOT TO BE INTERRUPTED BY UNPROTECTED OPENINGS, RECESSED EQUIPMENT, OR CASEWORK. RECESSES AND VOIDS SHALL BE BUILT IN SUCH A MANNER AS TO ASSURE CONTINUITY OF THE CONSTRUCTION. ALL OPENINGS IN WALLS SHALL BE PROTECTED WITH DEVICES OR MATERIAL TO MAINTAIN THE REQUIRED FIRE RATING.
9. COORDINATION OF LAYOUT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY. THIS INCLUDES COORDINATING LAYOUT OF ALL PLUMBING, HEATING, VENTILATING, AND ELECTRICAL WORK WITH STRUCTURE, CEILING SOFFITS, AND CHASES. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES BETWEEN CONDITIONS AS DRAWN AND ACTUAL FIELD CONDITIONS WITH ADJUSTMENTS MADE AS DIRECTED BY ARCHITECT.
10. CONFORM TO MANUFACTURERS RECOMMENDATIONS; IF CONFLICTING WITH DETAILS AS SHOWN, CONFORM TO MANUFACTURERS RECOMMENDATIONS IN ORDER TO PRESERVE MANUFACTURERS WARRANTY (TYP.) NOTIFY ARCHITECT OF ANY CHANGES FROM SPECIFIED.
11. ALL PARTITIONS ARE TO EXTEND FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
12. ACOUSTICAL SEALANT TO BE USED AT ALL PENETRATIONS AND TOP & BOTTOM OF ALL PARTITIONS CONTAINING ACOUSTICAL INSULATION.
13. FRAME FOR DOORS AND WINDOW OPENINGS PER SIZES INDICATED ON DOOR AND WINDOW SCHEDULES; SEE ELEVATIONS AND SCHEDULE SHEETS. PROVIDE MINIMUM OF 4'-1/2" FROM FACE OF WALL TO INSIDE FACE OF DOOR JAMB, UNLESS OTHERWISE NOTED.
14. SEE SHEETS A-0.2 AND A-0.3 FOR WALL ASSEMBLY TYPES AND SHEET A-0.4 FOR FLOOR/CEILING ASSEMBLY TYPES (TYP.).
15. LAYOUT DOOR OPENINGS TO ALLOW FOR FULL CASINGS ON BOTH SIDES WHEREVER POSSIBLE. HOWEVER CONTRACTOR SHALL ALLOW 1/8" ON LATCH SIDE OF DOORS REQUIRED TO BE HP ACCESSIBLE.
16. SEE STRUCTURAL DRAWINGS FOR NEW FLOOR/ROOF FRAMING AT ALL CHIMNEY, ELEVATOR AND REINFORCEMENT FOR MECHANICAL EQUIPMENT.
17. PATCH HARDWOOD FLOORING AT ALL RADIATORS AND AREAS OF WALL REMOVAL. TYP.
18. REFER TO SECTIONS, INTERIOR ELEVATIONS, AND REFLECTED CEILING PLANS FOR CEILING AND SOFFIT INFORMATION.
19. ALL NEW PIPING RISERS TO BE RUN WITHIN WALL, CHASES OR CEILING SPACES; COORDINATE ALL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
20. REFER TO SPECIFICATIONS SECTION 011000 FOR APPROVED CUTTING AND PATCHING PROCEDURES FOR STRUCTURAL ELEMENTS.
21. WHERE EXISTING GYPSUM WALL OR CEILING BOARD MUST BE REMOVED TO IMPLEMENT PROPOSED CONSTRUCTION SCOPE, ALL GWB SHALL BE REPLACED WITH NEW FIRE-RATED GWB TO RESTORE FIRE RATING ENCLOSURE. WHERE EXISTING EQUIPMENT, PIPES, DUCTS, WIRES, CONDUITS, ETC. ARE REMOVED LEAVING HOLES OR GAPS IN THE EXISTING GYPSUM WALL OR CEILING BOARD, THESE LOCATIONS SHALL BE PATCHED AS SHOWN ON DETAILS TO RESTORE FIRE RATING ENCLOSURE. WHERE (2) LAYERS OF GWB ARE REMOVED OR WHERE HOLES ARE CREATED, REPLACE WITH (2) LAYERS OF FIRE-RATED GWB. GWB IN CONCEALED SPACES CAN BE FIRE TAPED ONLY.

NUMBERED PROPOSED NOTES

- (A-1) INSTALL NEW HAND RAILINGS IN EAST STAIRS ON FLOORS 1-4; SEE SHEET A-5.4
- (A-2) NEW FIRE EXTINGUISHER IN RECESSED CABINET; NEW FIRE EXTINGUISHER IN NEW RECESSED CABINET AT EAST HALL 214 ONLY; NEW WALL-MOUNTED FIRE EXTINGUISHER AT COMMUNITY ROOM 101 ONLY
- (A-3) RELOCATED EXISTING WALL CABINET
- (A-4) NEW WALL CABINET; SEE DETAIL 5 ON SHEET A-5.5
- (A-5) NEW 1/2" VERTICAL GRAB BAR AT EXISTING TUBS
- (A-6) WHERE EXISTING WALL BOARD MUST BE REMOVED TO INSTALL NEW EQUIPMENT, CONDUIT, PIPING, WIRING, ETC., REPLACE WITH (2) LAYERS OF NEW 5/8" FIRE-RATED GYPSUM WALL BOARD TO MAINTAIN 2-HOUR RATED CHASE ENCLOSURE
- (M-1) NEW HEAT PUMP UNIT; SEE MECHANICAL DRAWINGS
- (M-2) EXISTING RADIATOR TO REMAIN
- (E-1) NEW HAND DRYER; SEE ELECTRICAL DRAWINGS

No.	Date	Revision Notes

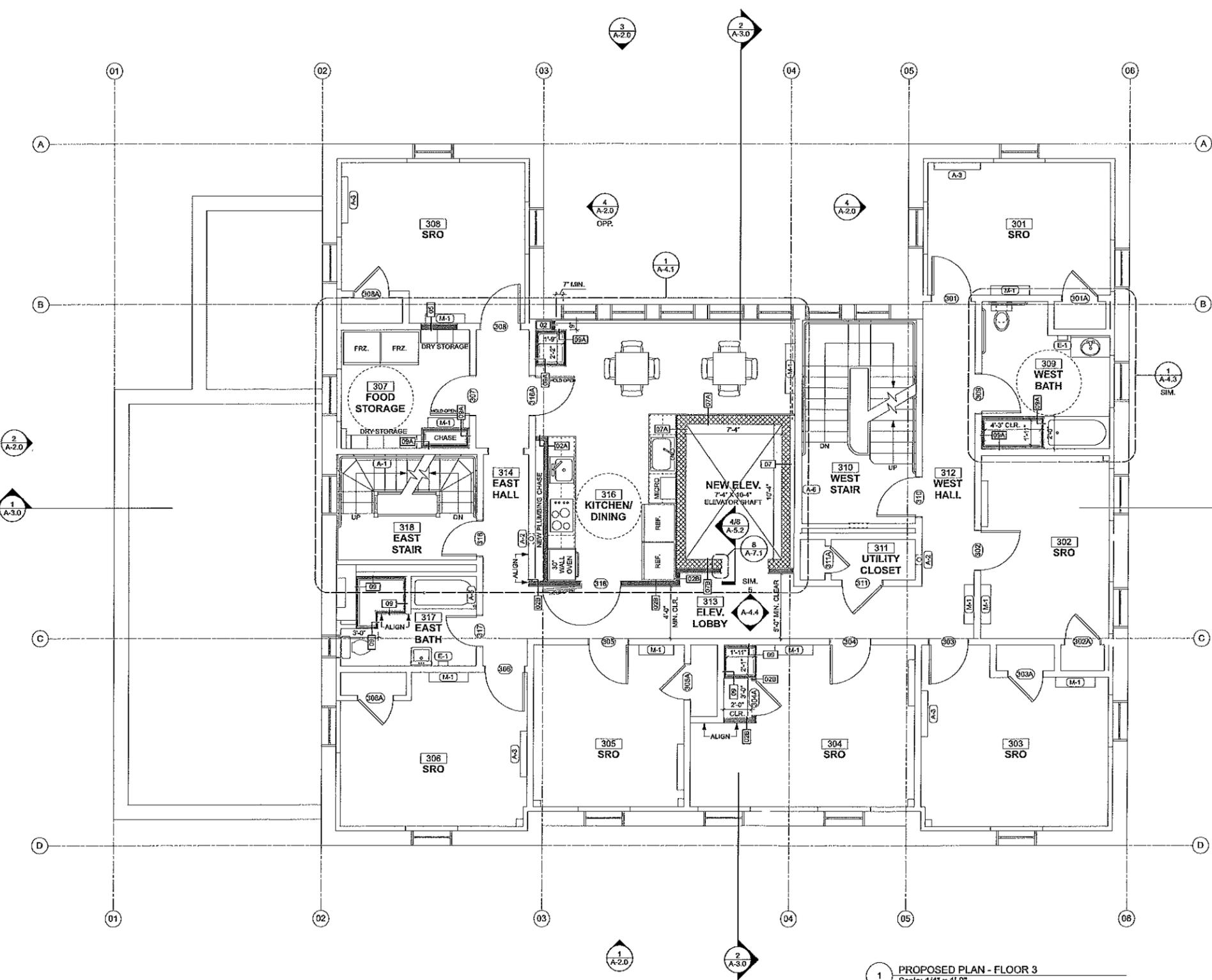
CLIENT:
CAMBRIDGE HOUSING AUTHORITY

ST. PAUL'S RESIDENCE

32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

DRAWING TITLE:
PROPOSED PLAN - FLOOR 3

DATE: 08-09-18	DRAWING NO. 100% CONSTRUCTION DOCUMENTS
SCALE: 1/4" = 1'-0"	A-1.3

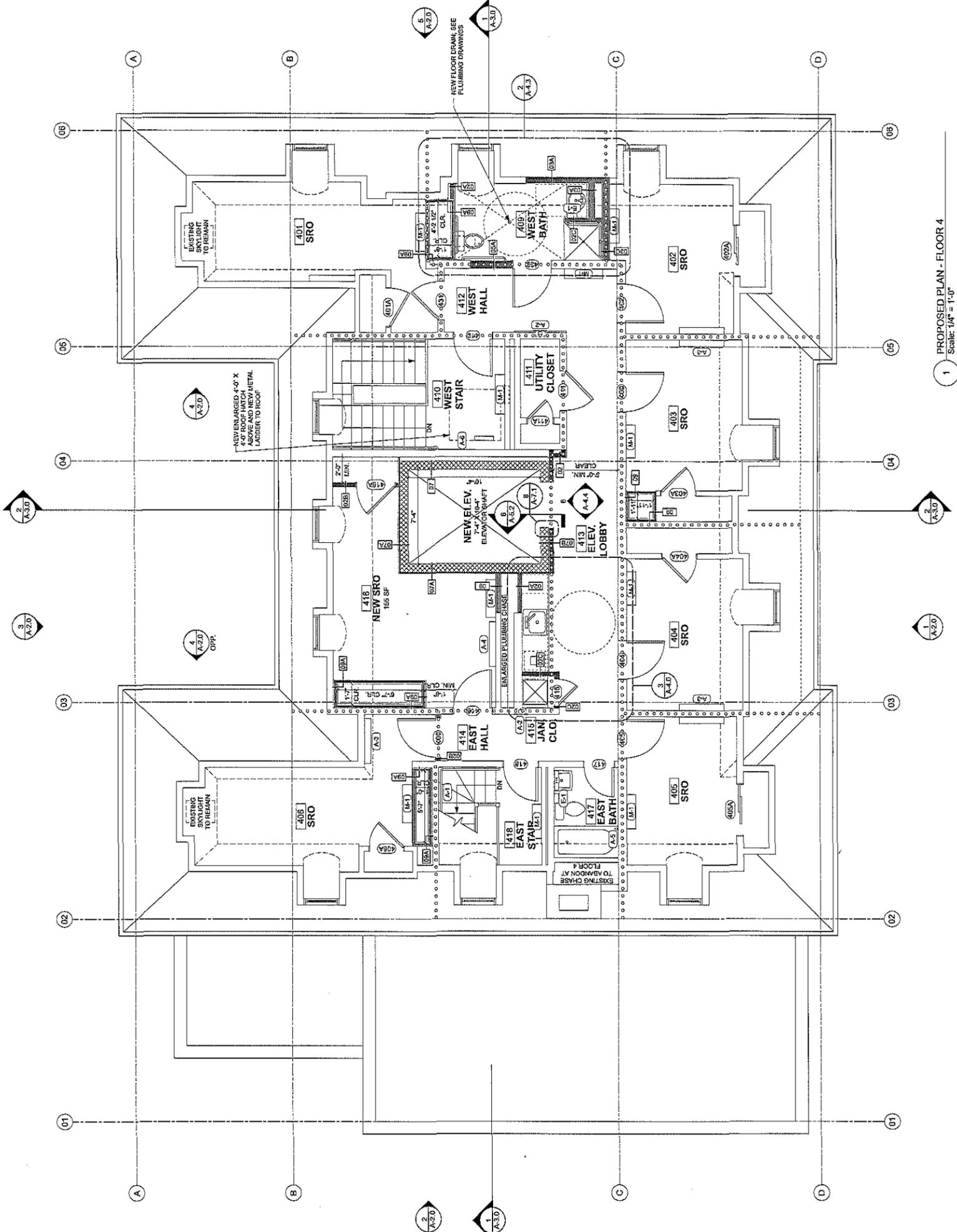


1 PROPOSED PLAN - FLOOR 3
 Scale: 1/4" = 1'-0"

PROPOSED LEGEND
- NEW WALL PARTITION; SEE WALL ASSEMBLIES
- NEW 4" X 4" ELEVATOR SHAFT WALL; SEE WALL ASSEMBLIES
- DRAFT STOP AT FLOOR 4

GENERAL PROPOSED NOTES
1. DRAWINGS SHALL NOT BE SCALED; USE WRITTEN DIMENSIONS ONLY. DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE CONSTRUCTION. CORRECTIONS SHALL BE CONSULTED ON ANY REQUIRED CORRECTIONS.
2. ALL DIMENSIONS SHOWN ARE TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED.
3. DIMENSIONS ARE ACTUAL SIZES EXCEPT FOR ROUGH FRAMING OR STRUCTURAL SIZES, WHICH ARE NOMINAL SIZES, UNLESS OTHERWISE NOTED.
4. REFER TO ENLARGED PLANS FOR SPECIFIC DIMENSIONS.
5. ARCHITECTURAL LAYOUT, EXTENTS AND LOCATIONS OF THE BUILDING ELEMENTS ARE BASED ON THE GENERAL CONTRACTOR TO VERIFY THE ACCURACY OF THIS SITE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATIONS INCLUDING BUT NOT LIMITED TO LOCATION OF EXISTING WALLS AND STRUCTURAL ELEMENTS, EXISTING AND RELOCATED UTILITIES, AND BUILDING FOUNDATIONS TO REMAIN.
6. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY AND UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD UNTIL WORK IS COMPLETE.
7. NO ATTEMPT HAS BEEN MADE ON THESE DRAWINGS TO SHOW ALL LOCATIONS WHERE BLOCKING IS REQUIRED. BLOCKING SHALL BE LOCATED AT ALL LOCATIONS AS REQUIRED TO COMPLETE THE WORK.
8. PRE-EXISTING RATED WALLS & CEILING ARE NOT TO BE INTERRUPTED BY UNPROTECTED OPENINGS. RECESSED EQUIPMENT OR SERVICE ACCESSES AND VOIDS SHALL BE BUILT TO MATCH THE RATED WALLS. ALL OPENINGS IN WALLS SHALL BE PROTECTED WITH AN EQUAL OR BETTER RATED MATERIAL TO MAINTAIN THE REQUIRED FIRE RATING.
9. COORDINATION OF LAYOUT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY. THIS INCLUDES COORDINATION LAYOUT OF ALL PLUMBING, HEATING, VENTILATING, AND ELECTRICAL WORK WITH THE ARCHITECTURAL LAYOUT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INFORMED OF ANY DISCREPANCIES BETWEEN CONDITIONS AS DRAWN AND ACTUAL FIELD CONDITIONS WITH ADJUSTMENTS MADE AS DIRECTED BY ARCHITECT.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY AND UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD UNTIL WORK IS COMPLETE.
11. ALL PARTITIONS ARE TO EXTEND FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
12. ACOUSTICAL SEALANT TO BE USED AT ALL PENETRATIONS AND TOP & BOTTOM OF ALL PARTITIONS CONTAINING ACOUSTICAL INSULATION.
13. FRAME FOR DOORS AND WINDOW OPENINGS PER SIZES SHOWN IN THESE DRAWINGS SHALL BE INSTALLED TO MATCH THE FINISH AND SCHEDULE SHEETS. PROVIDE ANIMAL OF 4-1/2" FROM FACE OF WALL TO INSIDE FACE OF DOOR JAMB, UNLESS OTHERWISE NOTED.
14. SEE SHEETS A-02 AND A-03 FOR WALL ASSEMBLY TYPES AND SCHEDULES FOR CONCRETE ASSEMBLY TYPES (TYP).
15. LAYOUT DOOR OPENINGS AND ALLOW FOR FULL CLOSING ON ALL WALLS TO BE CONSTRUCTED. PROVIDE ANIMAL OF 4-1/2" FROM FACE OF WALL TO INSIDE FACE OF DOOR JAMB, UNLESS OTHERWISE NOTED.
16. SEE SHEETS A-02 AND A-03 FOR WALL ASSEMBLY TYPES AND SCHEDULES FOR CONCRETE ASSEMBLY TYPES (TYP).
17. PATCH HARDWOOD FLOORING AT ALL PARTITIONS AND AREAS OF WALL REMOVAL. TYP.
18. REFER TO SECTIONS, INTERIOR ELEVATIONS, AND REFLECTED CEILING PLANS FOR CEILING AND SOFFIT INFORMATION.
19. ALL NEW PIPING RISERS TO BE RUN WITHIN WALL CHASES OR CEILING SPACES; COORDINATE ALL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
20. REFER TO SPECIFICATIONS SECTION 01100 FOR APPROVED MATERIALS AND FINISH PROCEDURES FOR STRUCTURAL ELEMENTS.
21. WHERE EXISTING GYPSUM WALL OR CEILING BOARD MUST BE REMOVED TO IMPLEMENT PROPOSED CONSTRUCTION SCOPE, ALL REMOVED MATERIALS SHALL BE RECYCLED. WHERE EXISTING EQUIPMENT PIPES, DUCTS, WIRES, CONDUITS, ETC. ARE REMOVED, LEAVING HOLES OR GAPS, ALL HOLES SHALL BE PATCHED AS SHOWN ON DETAILS TO RESTORE FIRE RATING ENCLOSURE. WHERE (2) LAYERS OF GWB ARE REMOVED, RE-INSTALL GWB TO MAINTAIN 2-HOUR RATED CHASE ENCLOSURE.
22. NEW HEAT PUMP UNIT; SEE MECHANICAL DRAWINGS.
23. EXISTING RADIATOR; SEE ELECTRICAL DRAWINGS.
24. NEW HAND DRIVERS; SEE ELECTRICAL DRAWINGS.

NUMBERED PROPOSED NOTES
(A-1) INSTALL NEW HAND DRIVERS IN EAST STAIRS ON FLOORS 1-4; SEE SHEET A-3-4
(A-2) NEW FIRE EXTINGUISHER IN RECESSED CABINET; NEW FIRE EXTINGUISHER IN NEW RECESSED CABINET AT EAST STAIRS; SEE SHEET A-3-4
(A-3) RELOCATED EXISTING WALL CABINET
(A-4) NEW WALL CABINET; SEE DETAIL 5 ON SHEET A-5-5
(A-5) NEW 1" VERTICAL GRAB BAR AT EXISTING TUBS
(A-6) WHERE EXISTING WALL BOARDING MUST BE REMOVED TO INSTALL NEW EQUIPMENT, CONDUIT, PIPING, WIRING, ETC., REPLACE WITH (2) LAYERS OF NEW 5/8" TYPE X Gypsum Board. PATCH AND FINISH TO MAINTAIN 2-HOUR RATED CHASE ENCLOSURE.
(A-7) NEW HEAT PUMP UNIT; SEE MECHANICAL DRAWINGS
(A-8) EXISTING RADIATOR; SEE ELECTRICAL DRAWINGS
(E-1) NEW HAND DRIVERS; SEE ELECTRICAL DRAWINGS

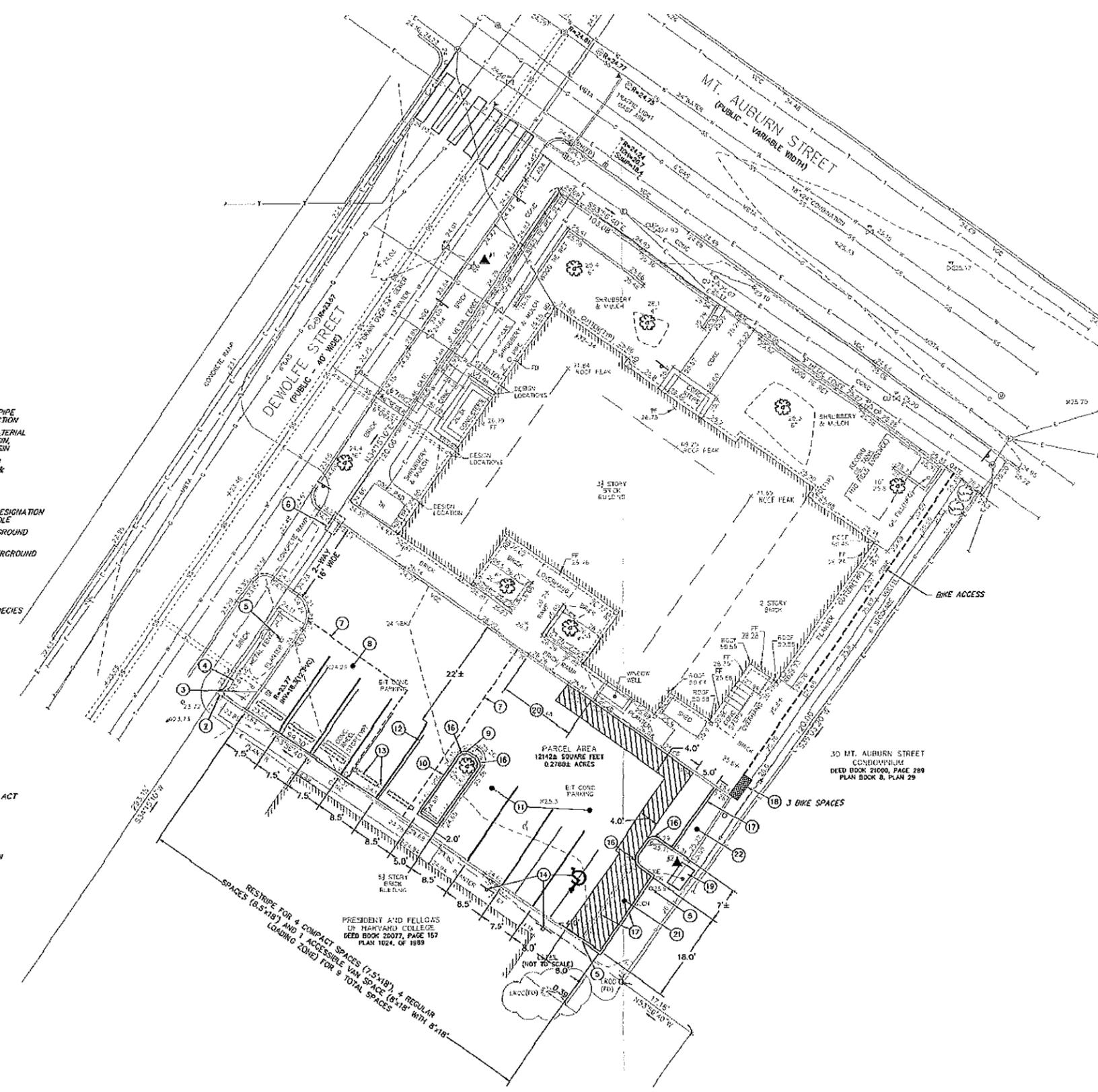


1 PROPOSED PLAN - FLOOR 4
Scale: 1/4" = 1'-0"

PLAN 1024 OF 1989

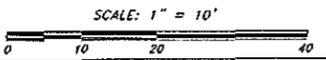
LEGEND

- 234 --- SURFACE CONTOUR
- 28.75 --- EDGE OF PAVEMENT
- 28.25 --- CHAIN LINK FENCE
- 26.75 --- WOOD FENCE
- 26.75 --- CURB WITH TOP AND BOTTOM CURB ELEVATION
- 8.75 --- SEWERLINE & MANHOLE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION
- 12.75 --- DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN, MANHOLE & ROUND CATCHBASIN
- 8.75 --- WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
- 10.75 --- GAS MAIN WITH SIZE & GATE VALVE
- OHW --- EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
- E --- ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES
- T --- TELEPHONE MANHOLE & UNDERGROUND TELEPHONE LINES
- --- RETAINING WALL
- * 232.6 --- SPOT ELEVATION
- ⊙ 26.8 --- PROMINENT DECIDUOUS TREE WITH ELEVATION, SIZE AND SPECIES
- ⊙ --- LIGHT POLE
- ⊙ --- TYPICAL SHRUB
- CB --- CATCH BASIN
- ⊙ --- 0 GRATE CATCHBASIN
- TOH --- TOP OF HOODED PIPE
- ⊙ --- BOLLARD
- ⊙ --- SIGN
- ⊙ --- MANHOLE (UNKNOWN UTILITY)
- TR --- TRANSFORMER
- ⊙ --- FIRE ALARM
- RD --- ROOF DRAIN
- VGC --- VERTICAL GRANITE CURB
- CONC --- CONCRETE
- ADA --- AMERICANS WITH DISABILITIES ACT WARNING PAD
- LRDD --- IRON ROD
- NFO --- NOT FIELD OBSERVED
- CU --- CONNECTION UNKNOWN
- FD --- FIRE DEPARTMENT CONNECTION



CONSTRUCTION NOTES:

- 1 ELEVATIONS SHOWN HEREON REFER TO CAMBRIDGE CITY BASE. TOPOGRAPHIC SURVEY TAKEN FROM PLAN TITLED, EXISTING CONDITIONS PLAN OF LAND IN CAMBRIDGE, MA PREPARED BY HANCOCK ASSOCIATES, DATED OCTOBER 25, 2016, LAST REVISED OCTOBER 27, 2016.
- 2 PROTECT 88 +/- LF OF EXISTING VGC AND CONCRETE WALK ON ABUTTING SITE. THE CONTRACTOR SHALL REPAIR EXISTING CURB AND SIDEWALK DAMAGED DURING CONSTRUCTION AT HIS EXPENSE. MAINTAIN REVEAL OF EXISTING CURB.
- 3 REMOVE 20 +/- LF OF EXISTING VGC TO MODIFY DRAINAGE SYSTEM AND LOWER EXISTING CATCH BASIN GRATE. RESET EXISTING CURB AS REQUIRED.
- 4 REMOVE AND RESET OR PROTECT-IN-PLACE EXISTING METAL FENCE AND SHRUBS. RESTORE LANDSCAPED AREA TO ORIGINAL CONDITIONS.
- 5 SUPPORT AND PROTECT EXISTING LIGHT POLE AND ELECTRICAL CONNECTION. GRIND DOWN EXISTING CONCRETE SIDEWALK APPROXIMATELY ONE INCH AT EDGE OF BRICK SIDEWALK. SAWCUT PAVEMENT.
- 6 REMOVE AND RECONSTRUCT 530 +/- SF OF EXISTING PAVEMENT AND SUBBASE (3" BIT CONC OVER 6" GRAVEL) FOR MODIFICATIONS TO DRAINAGE SYSTEM. REMOVE TWO EXISTING BOLLARDS IN ISLAND. AT HIS EXPENSE, THE CONTRACTOR SHALL HAVE LICENSED ARBORIST EXAMINE EXISTING TREE AND SUBMIT OPINION TO ARCHITECT REGARDING NEED FOR ROOT PRUNING AND ADJUSTMENTS TO POSITION OF VGC AND SAWCUTTING OF VGC NECESSARY TO ENSURE SURVIVABILITY OF TREE. ARCHITECT SHALL DIRECT CONTRACTOR REGARDING TREATMENTS FOR ROOT PRUNING AND VGC MODIFICATIONS.
- 7 REMOVE AND RESET EXISTING VGC TO PROVIDE FOR PROPERLY DIMENSIONED PARKING SPACES. THE 2 FT. RADI AT NOSE OF ISLAND SHALL BE GRANITE CURB STONES.
- 8 REMOVE AND RECONSTRUCT 1800 +/- SF OF EXISTING PAVEMENT (3" BIT CONC OVER 6" GRAVEL) FOR RECONSTRUCTION OF ISLAND AND LOT TO CORRECT GRADES FOR ADA REASONS.
- 9 PAINT BLACK THE REMNANTS OF EXISTING PARKING LOT STRIPES AND ACCESSIBILITY SYMBOL. PAINT NEW 4 INCH WHITE LINES TO DIMENSIONS SHOWN.
- 10 REMOVE AND RESET/REANCHOR FIVE (5) EXISTING CONCRETE WHEELSTOPS TO ALIGN WITH NEW SPACES.
- 11 REMOVE EXISTING ACCESSIBLE SIGN AND INSTALL NEW ACCESSIBLE VAN PARKING SIGN (WITH 7 FT. MOUNTING HEIGHT) PER CITY/MAAB REQUIREMENTS. PAINT NEW INTERNATIONAL ACCESSIBILITY SYMBOL ON PAVEMENT.
- 12 PAINT WHITE 8 FT. WIDE ACCESSIBLE VAN LOADING SPACE AND 4 FT. WIDE ACCESSIBLE ROUTE TO EXISTING ACCESSIBLE CURB RAMP WITH 4 INCH WHITE LINES AROUND PERIMETER AND AT 16 INCHES ON CENTER AT 45 DEGREE SLANT. NO FINISHED PAVEMENT SURFACE IN THIS PAINTED AREA SHALL EXCEED 2% IN ANY DIRECTION.
- 13 INSTALL 2 FT. RADIUS GRANITE CURBSTONE. NO SUBSTITUTIONS FOR CURBSTONE WILL BE ACCEPTED.
- 14 INSTALL NEW VGC AND/OR RESET EXISTING VGC FOR TOTAL OF 46 +/- LF EXCLUSIVE OR THE TWO 2 FT. RADIUS CURBSTONES.
- 15 RELOCATE EXISTING 5 FT. X 2 FT. BIKE RACK.
- 16 CONSTRUCT PROPOSED 5 FT. X 3 FT. COMPOSTING SHED AND FOUNDATION. SEE ARCHITECTURAL PLANS.
- 17 RETAIN EXISTING ACCESSIBLE CURB RAMP.
- 18 REMOVE PAVEMENT AND LANDSCAPING AND RECONSTRUCT 170 +/- SF OF EXISTING PAVEMENT AND SUBBASE (3" BIT CONC OVER 6" GRAVEL).
- 19 REMOVE EXISTING PAVEMENT AND REPLACE WITH EXCAVATED CLEAN MATERIAL TOPPED WITH 6 INCHES LOOSE MULCH.



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No	Date	Issue/Notes

CLIENT:
CAMBRIDGE HOUSING AUTHORITY

ST. PAUL'S RESIDENCE
 32-34 MT. AUBURN STREET
 CAMBRIDGE, MA

PARKING PLAN

DATE: 6-11-18
 SCALE: 1" = 10'
 DRAWING NO. 50% CONSTRUCTION DOCUMENTS

C-1.0



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139

Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112

E-mail: histcomm@cambridgema.gov URL: <http://www.cambridgema.gov/Historic>

William B. King, *Chair*; Bruce A. Irving, *Vice Chair*, Charles M. Sullivan, *Executive Director*
William G. Barry Jr., Robert G. Crocker, Chandra Harrington, Jo M. Solet,
Susannah Barton Tobin, *Members*; Joseph V. Ferrara, Kyle Sheffield, *Alternates*

CERTIFICATE OF APPROPRIATENESS

Property: 34 Mt. Auburn Street
Applicant: Cambridge Housing Authority
Attention: Margaret Keaveny
Cambridge Housing Authority
362 Green Street
Cambridge, Mass. 02139

Wendy Richter
The Narrow Gate Architecture
121 East Berkeley Street, 3rd Fl.
Boston, Mass. 02118

The Cambridge Historical Commission hereby certifies, pursuant to the Massachusetts Historic Districts Act (MGL Ch. 40C) and the Cambridge Historical Buildings and Landmarks Ordinance (Cambridge City Code, Ch. 2.78), that the work described below is not incongruous to the historic aspects or architectural character of the building or district:

Exterior renovation of the former St. Paul's rectory building including:

1. Replace the elevator and install a new elevator penthouse.
2. Replace the existing wood windows with aluminum windows in the existing openings, matching the existing brick moulding and existing muntin dimension, profile and pattern.
3. Replace approximately 9 steel lintels and patch affected brick masonry.
4. Replace the copper flashing at hips, valleys and eaves. Re-install salvaged Munson slates to the full extent possible using new Munson slate, where necessary.
5. Replace the rubber membrane roofs with new white TPO membrane and new insulation.
6. Replace the rooftop mechanical equipment and ventilators.

7. Replace the copper gutters to match existing. Repair the existing copper finials, dormers, cornices, downspouts and collector boxes.
8. Selectively repoint and clean the brick masonry.
9. Re-grade the rear parking area to improve drainage.

Work is to be carried out as indicated on the drawings by The Narrow Gate Architecture titled, "St. Paul's Residence 32-34 Mt. Auburn Street Cambridge, MA," and dated April 9, 2018.

Approval was granted on the condition that cleaning, pointing, mortar, and window samples be reviewed with and approved by Historical Commission staff.

All improvements shall be carried out as shown on the plans and specifications submitted by the applicant, except as modified above. Approved plans and specifications are incorporated by reference into this certificate.

This certificate is granted upon the condition that the work authorized herein is commenced within six months after the date of issue. If the work authorized by this certificate is not commenced within six months after the date of issue, or if such work is suspended in significant part for a period of one year after the time the work is commenced, then this certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time, for periods not exceeding six months each, may be allowed in writing by the Chair.

Case Number: 3921

Date of Certificate: 5/22/2018

Attest: A true and correct copy of decision filed with the offices of the City Clerk and the Cambridge Historical Commission on 5/22/2018.

By B. A. R., Chair.

Twenty days have elapsed since the filing of this decision.
No appeal has been filed _____. Appeal has been filed _____.
Date _____, City Clerk