

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Mitchell Nelin
(OWNER)

Address: 24 Cushing Street Cambridge

State that I/We own the property located at 24 Cushing St Cambridge, MA,
which is the subject of this zoning application.

The record title of this property is in the name of Mitchell Nelin

*Pursuant to a deed of duly recorded in the date 03/13/2002, Middlesex South
County Registry of Deeds at Book 35025, Page 41; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

[Signature]
SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of Middlesex

The above-name Mitchell Nelin personally appeared before me,
this 24th of July, 2019, and made oath that the above statement is true.

[Signature] Notary

My commission expires May 16 2025

(Notary Seal). **JAYDEN DDHIR**
Notary Public
Commonwealth of Massachusetts
My Commission Expires
May 16, 2025

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the provisions would require the home owner to lift up and move his entire existing 3 story structure 4.8" to the left out of the right side set back. In all other respects the existing structure is conforming and the proposed dormers would be as-by-right if not for the 4.8" encroachment of the existing house into the right side setback.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The homeowner has owned and occupied this property since 1984. The 3rd floor unit is very narrow with and with very low ceilings, the existing kitchen and bathroom are terribly cramped. The proposed dormer additions would greatly improve the functionality and comfort of the unit and make it able to accommodate a more functional kitchen and bathroom, making the unit more suitable and more comfortable for a family both in its current use as a rental, and also as a place for future long term stays by his grown children and young grandchildren.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

1) Substantial detriment to the public good for the following reasons:

The proposed 15'-0" dormers would not create any new noise or light pollution, they would not create a lack of privacy or cast shadows for the adjacent properties, and they would not result in the loss of any on street parking or private open space. The only existing non-conforming condition will remain as is and it will not be increased.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The proposed dormers would meet all the preferred dormer guidelines except the step down from the existing roof ridge in order that we maintain the existing 3rd floor ceiling height and accommodate a more attractive dormer roof slope rather than a flat dormer roof. The proposed dormers are modest in scale, they maintain the character and scale of the existing house and the neighborhood, and as part of the work an existing unsightly left side dormer will be removed.

*** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**



24 CUSHING STREET VIEW FROM LEFT



24 CUSHING STREET VIEW FROM RIGHT

PROJECT:
NEW DORMER ADDITIONS
24 CUSHING STREET
CAMBRIDGE, MA

ARCHITECT:
GCD ARCHITECTS

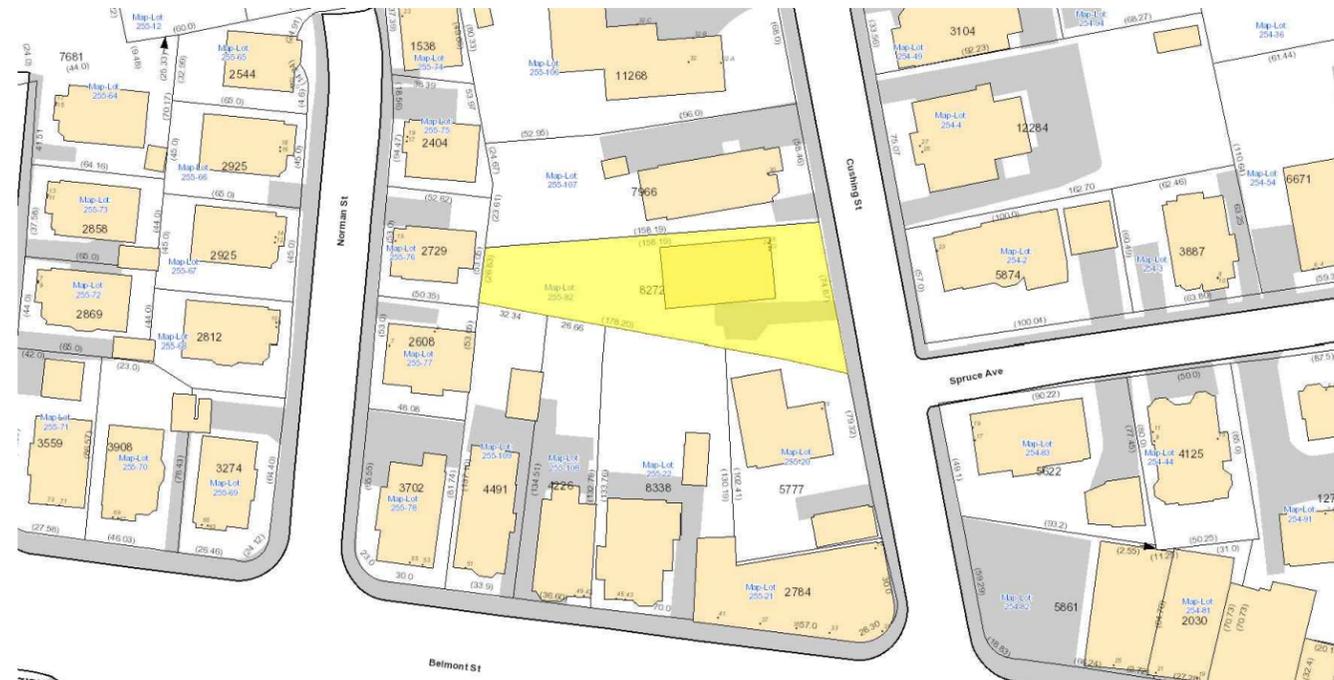
2 Worthington St
 Cambridge, MA 02138
 Tel. 617-412-8450



ISSUED FOR
ZBA APPROVAL



24 CUSHING STREET VIEW



GIS MAP

DRAWING LIST:

- COVER
- SITE PLAN
- A0 FAR PLANS
- A1 EXISTING PLANS FLOORS B THRU 2
- A2 EXISTING ELEVATIONS
- A3 EXISTING & PROPOSED 3RD FLOOR PLANS
- A4 PROPOSED ELEVATIONS
- A5 PROPOSED ELEVATIONS

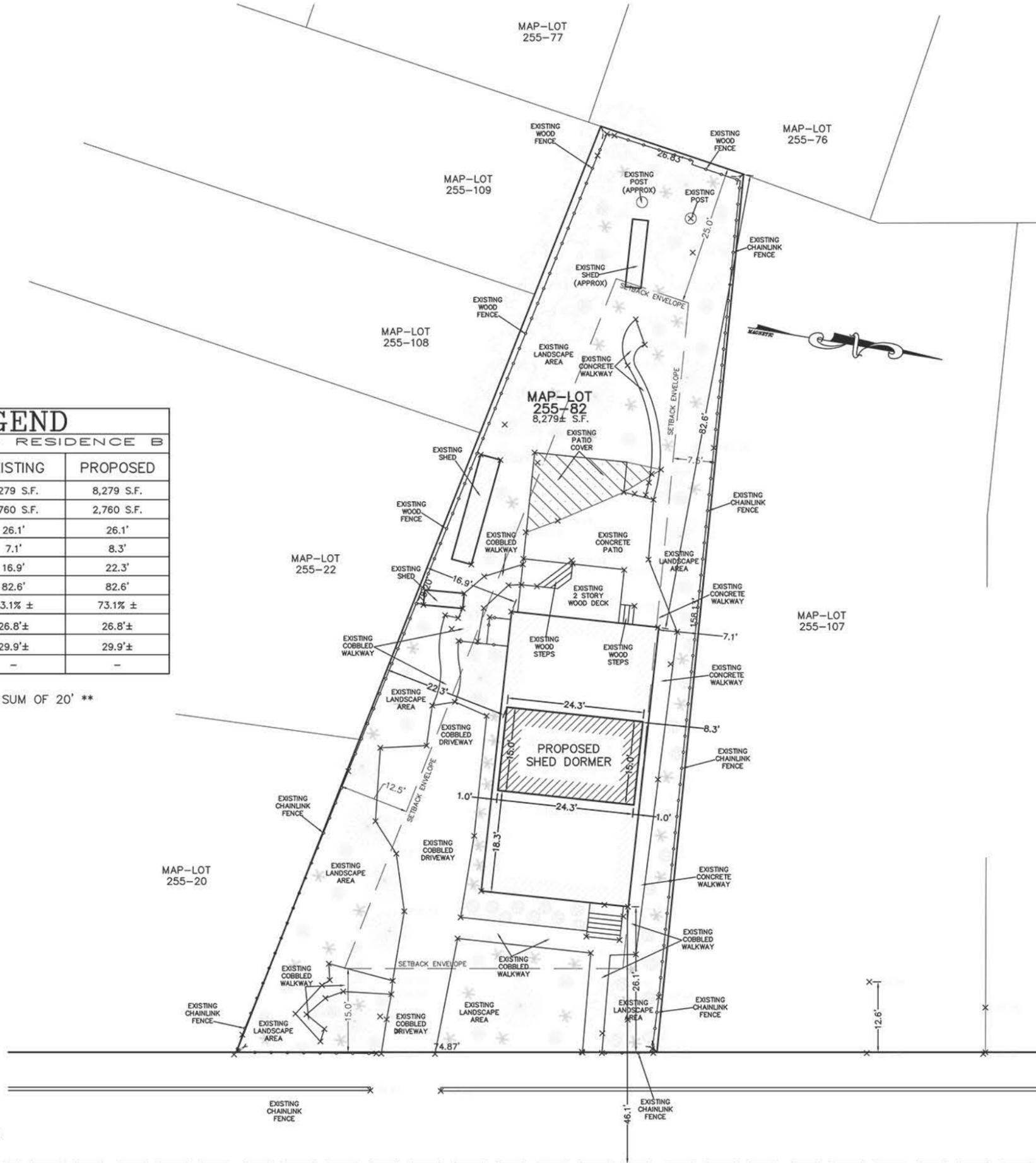
EXISTING LEGEND

| | |
|---|---------------------------|
| — | SEWER LINE |
| ⊙ | SEWER MANHOLE |
| — | WATER LINE |
| — | GAS LINE |
| ⊙ | UTILITY POLE |
| ⊙ | GAS VALVE |
| — | OVERHEAD ELECTRIC SERVICE |
| ⊙ | WATER VALVE |
| □ | CATCH BASIN |
| — | FENCE |
| — | CONTOUR LINE (MJR) |
| — | CONTOUR LINE (MNR) |
| X | SPOT GRADE |
| ⊙ | DRAIN MANHOLE |
| ⊙ | HYDRANT |
| ⊙ | TREE |

ZONING LEGEND

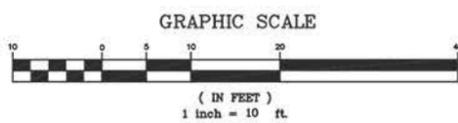
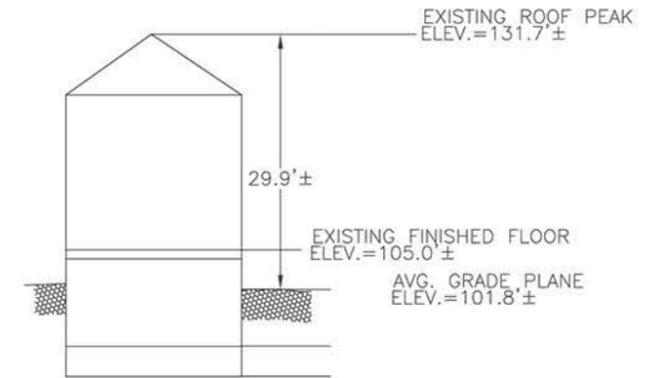
| ZONING DISTRICT: RB — RESIDENCE B | | | |
|-----------------------------------|------------|------------|------------|
| | REQUIRED | EXISTING | PROPOSED |
| MIN. AREA | 5,000 S.F. | 8,279 S.F. | 8,279 S.F. |
| MIN. AREA FOR EACH DWELLING UNIT | 2,500 S.F. | 2,760 S.F. | 2,760 S.F. |
| MIN. YARD FRONT | 15' | 26.1' | 26.1' |
| SIDE (RIGHT) | 7.5' | 7.1' | 8.3' |
| SIDE (LEFT) | 12.5' | 16.9' | 22.3' |
| REAR | 25' | 82.6' | 82.6' |
| MIN. OPEN SPACE | 40% | 73.1% ± | 73.1% ± |
| MIN. LOT WIDTH | 50' | 26.8'± | 26.8'± |
| MAX. BLDG. HEIGHT | 35' | 29.9'± | 29.9'± |
| MAX F.A.R. | 0.5 | — | — |

** SIDE YARD SETBACKS REQUIRED TO THE SUM OF 20' **



NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 7/16/2019.
2. DEED REFERENCE BOOK 35025 PAGE 041, MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0419E, PANEL NUMBER 0419E, COMMUNITY NUMBER: 250182, DATED JUNE 4, 2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. ZONING DISTRICT = RESIDENCE B



| | |
|----------|---|
| SCALE | 1"=10' |
| DATE | 7/18/2019 |
| SHEET | 1 |
| PLAN NO. | 1 OF 1 |
| CLIENT: | 24 CUSHING STREET CAMBRIDGE MASSACHUSETTS |
| DRAWN BY | PUN |
| CHKD BY | PUN |
| APPD BY | PUN |

| REV | DATE | REVISION | BY |
|-----|------|----------|----|
| | | | |

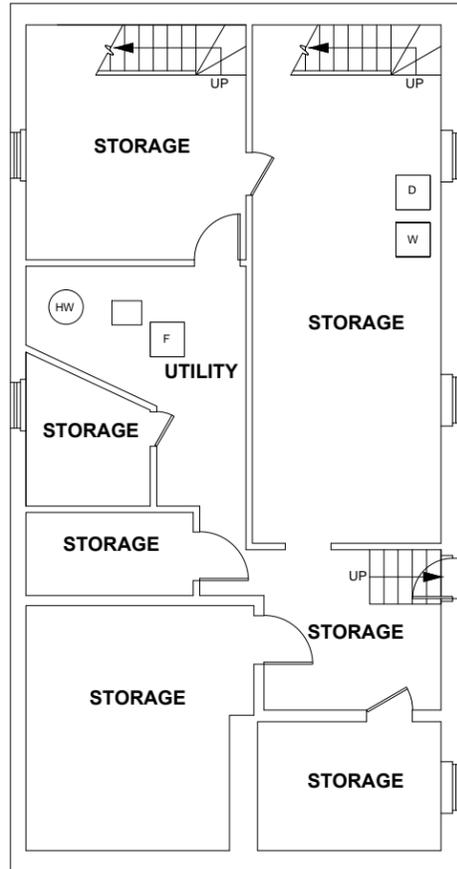
PLOT PLAN OF LAND

PETER NOLAN & ASSOCIATES LLC
 LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS
 697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135
 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691
 EMAIL: pnolan@pnasurveyors.com

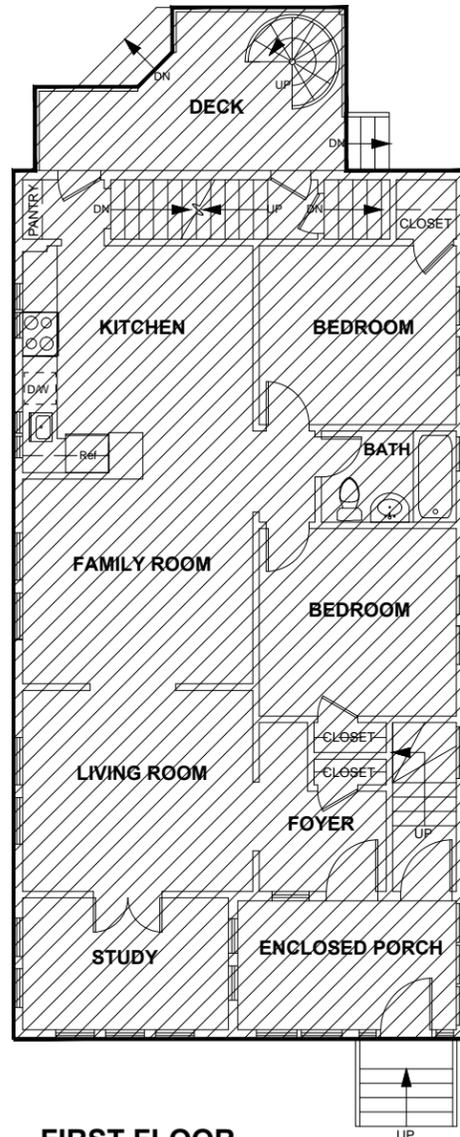
SHEET NO. **1**

CUSHING STREET
(PUBLIC WAY-40' WIDE)

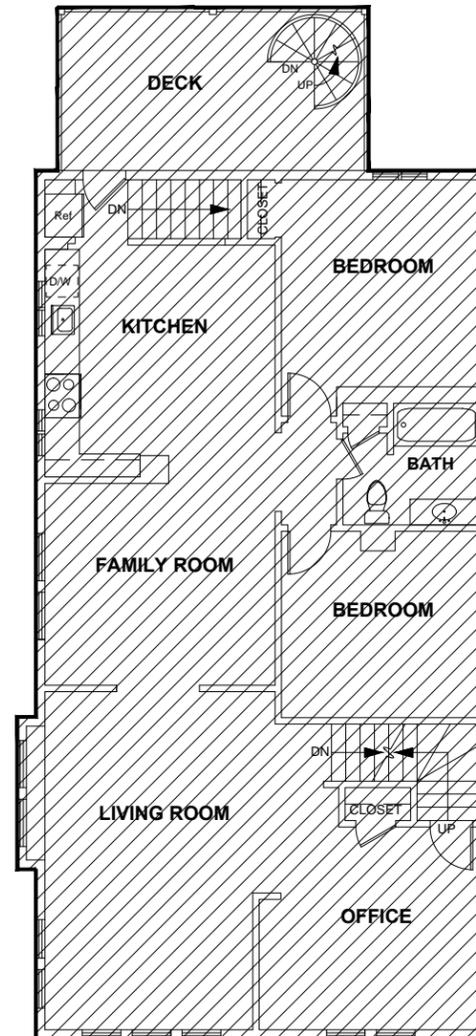
PETER NOLAN & ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 THE EXTENT OF PETER NOLAN & ASSOCIATES LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST.
 COPYRIGHT 2013 PETER NOLAN & ASSOCIATES LLC
 All Rights Reserved



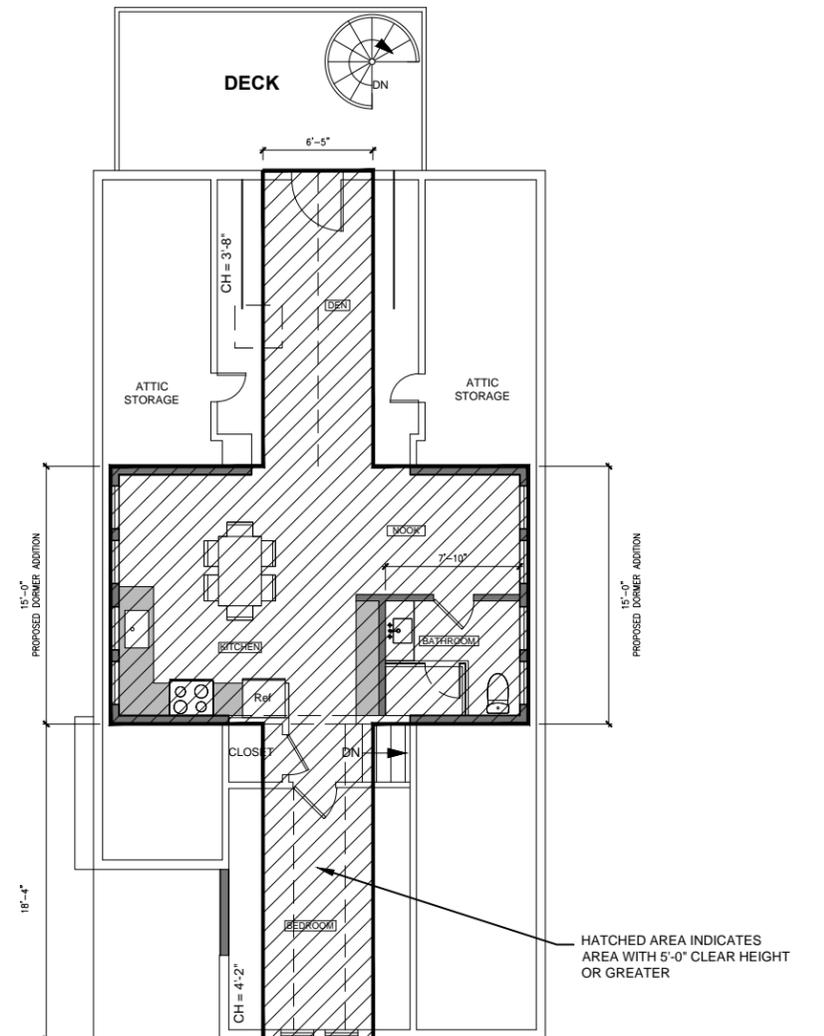
BASEMENT
0 SF FOR FAR



FIRST FLOOR
1,470.00 SF FOR FAR



SECOND FLOOR
1,515.00 SF FOR FAR



THIRD FLOOR WITH PROPOSED DORMER
593.00 SF FOR FAR

3,578 TOTAL AREA FOR FAR

2,500.00 / 5,000.00 SF LOT = .50 FAR FOR THE FIRST 5,000.00 SF OF LOT *CONFORMING**

1,078.00 / 3,279.00 SF LOT = .33 FAR FOR THE REMAINNG LOT AREA **CONFORMING**



ARCHITECT:
GCD ARCHITECTS
2 Worthington St
Cambridge, MA 02138
Tel. 617-412-8450
www.glassmanchungdesign.com

SCALE:
 $3/32" = 1'-0"$

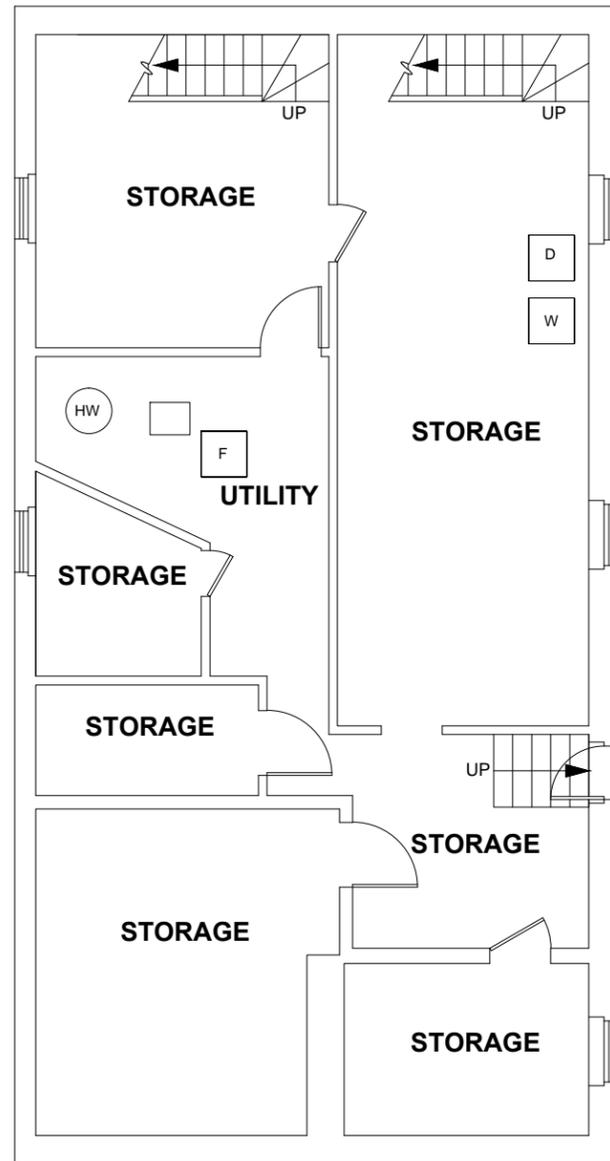
DATE:
7-10-209

PROJECT:
24 CUSHING ST
PROPOSED DORMER ADDITIONS

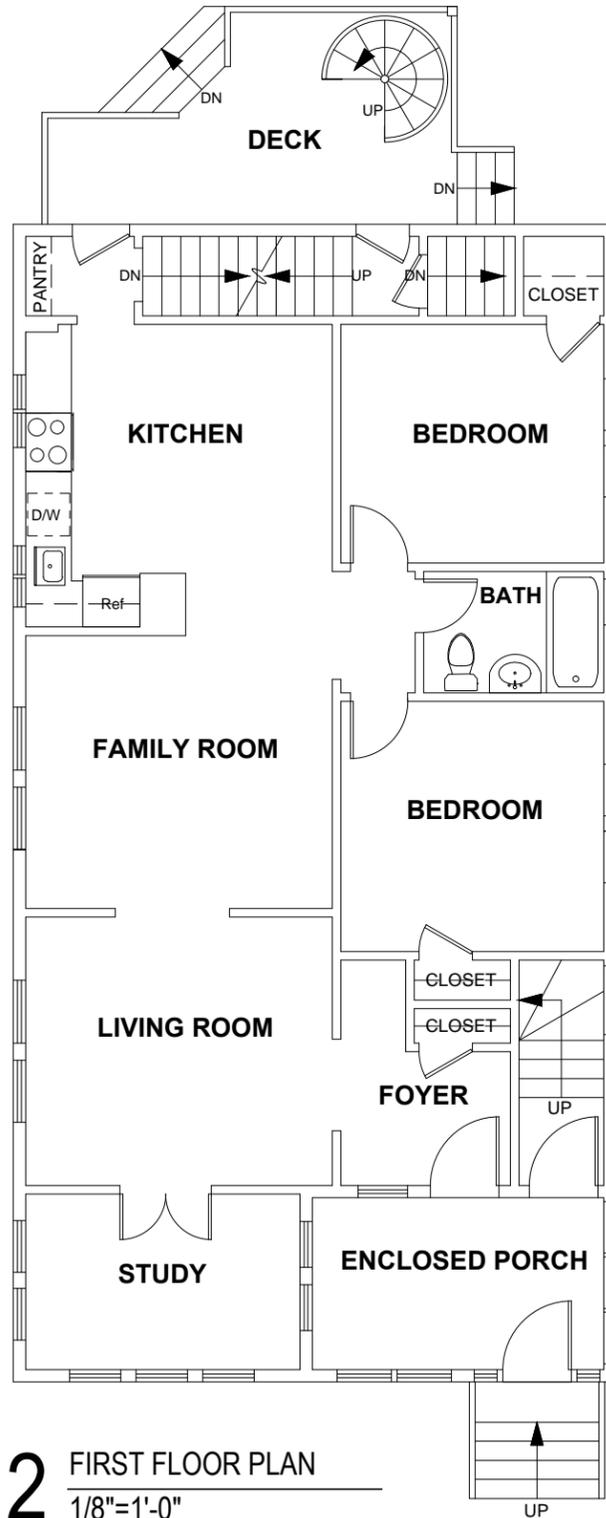
TITLE:
FAR PLANS

DRAWING:

A0



1 BASEMENT FLOOR PLAN
1/8"=1'-0"



2 FIRST FLOOR PLAN
1/8"=1'-0"



3 SECOND FLOOR PLAN
1/8"=1'-0"



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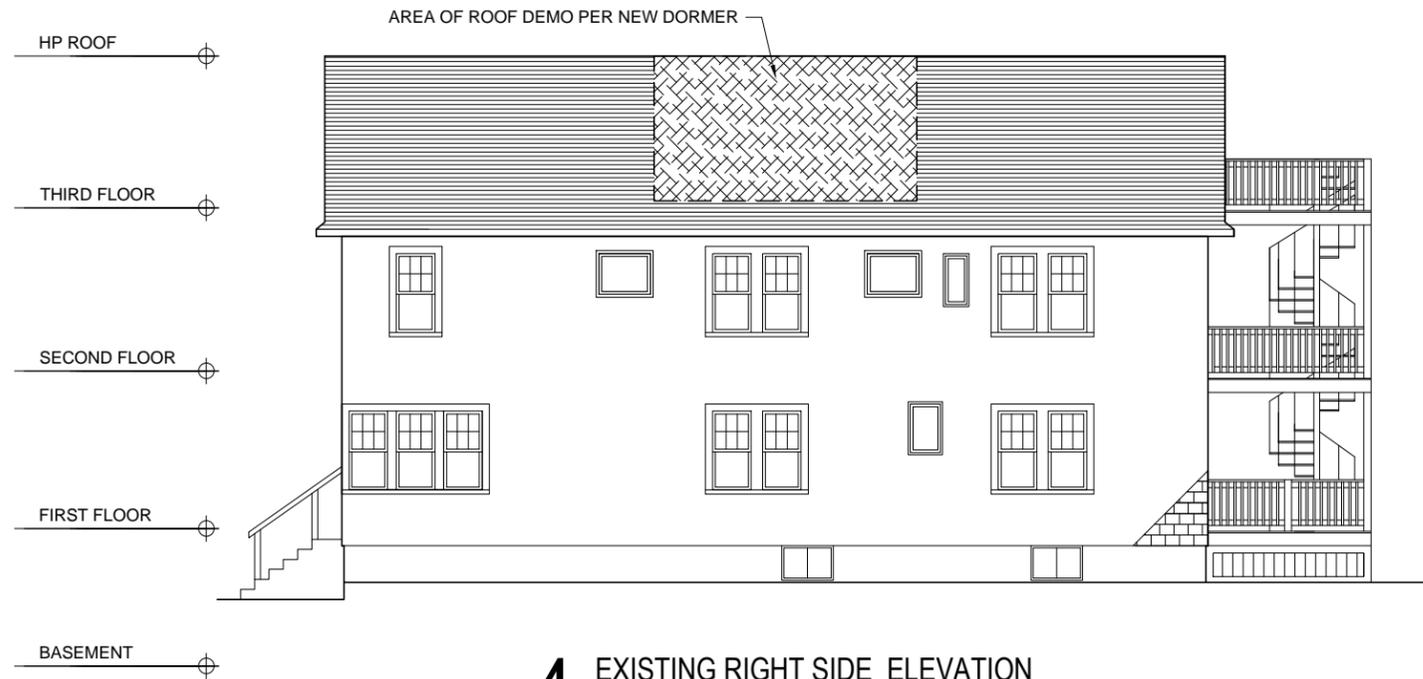
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EXISTING PLANS

DRAWING:

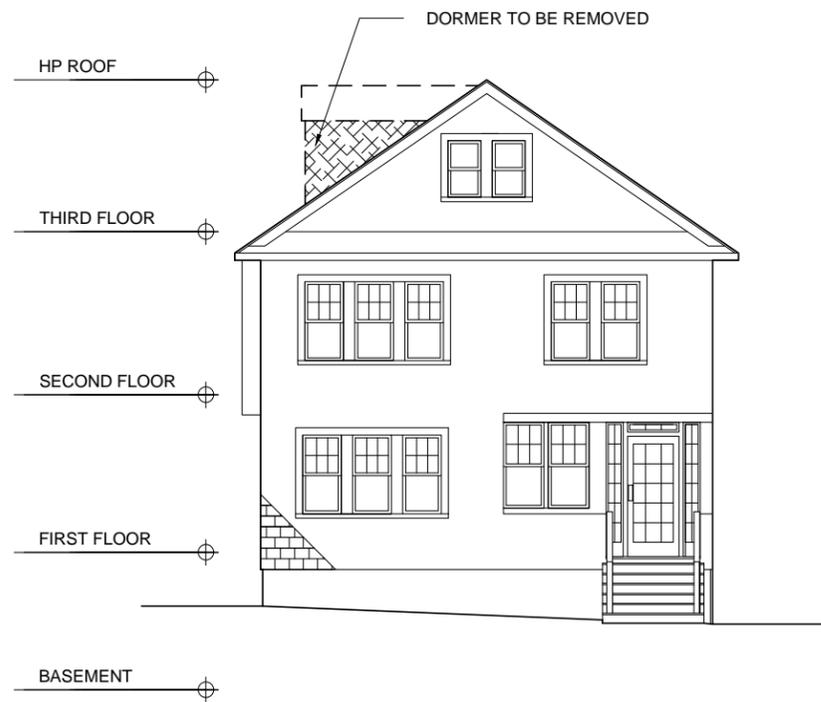
A1



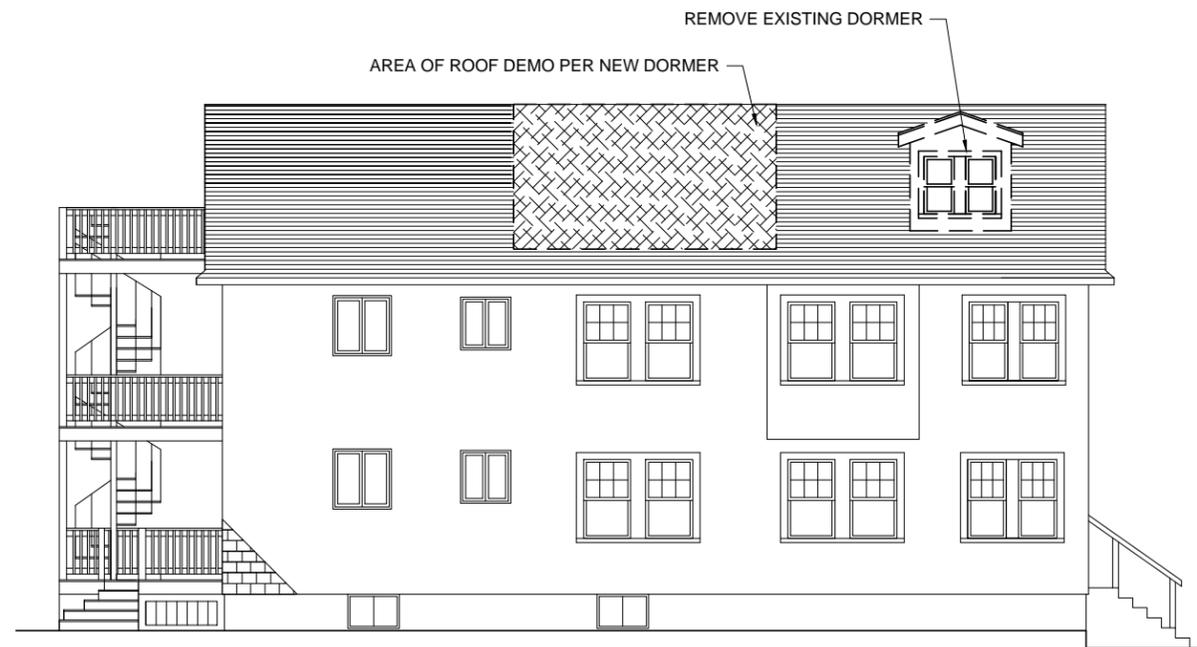
3 EXISTING REAR ELEVATION
3/32"=1'-0"



4 EXISTING RIGHT SIDE ELEVATION
3/32"=1'-0"

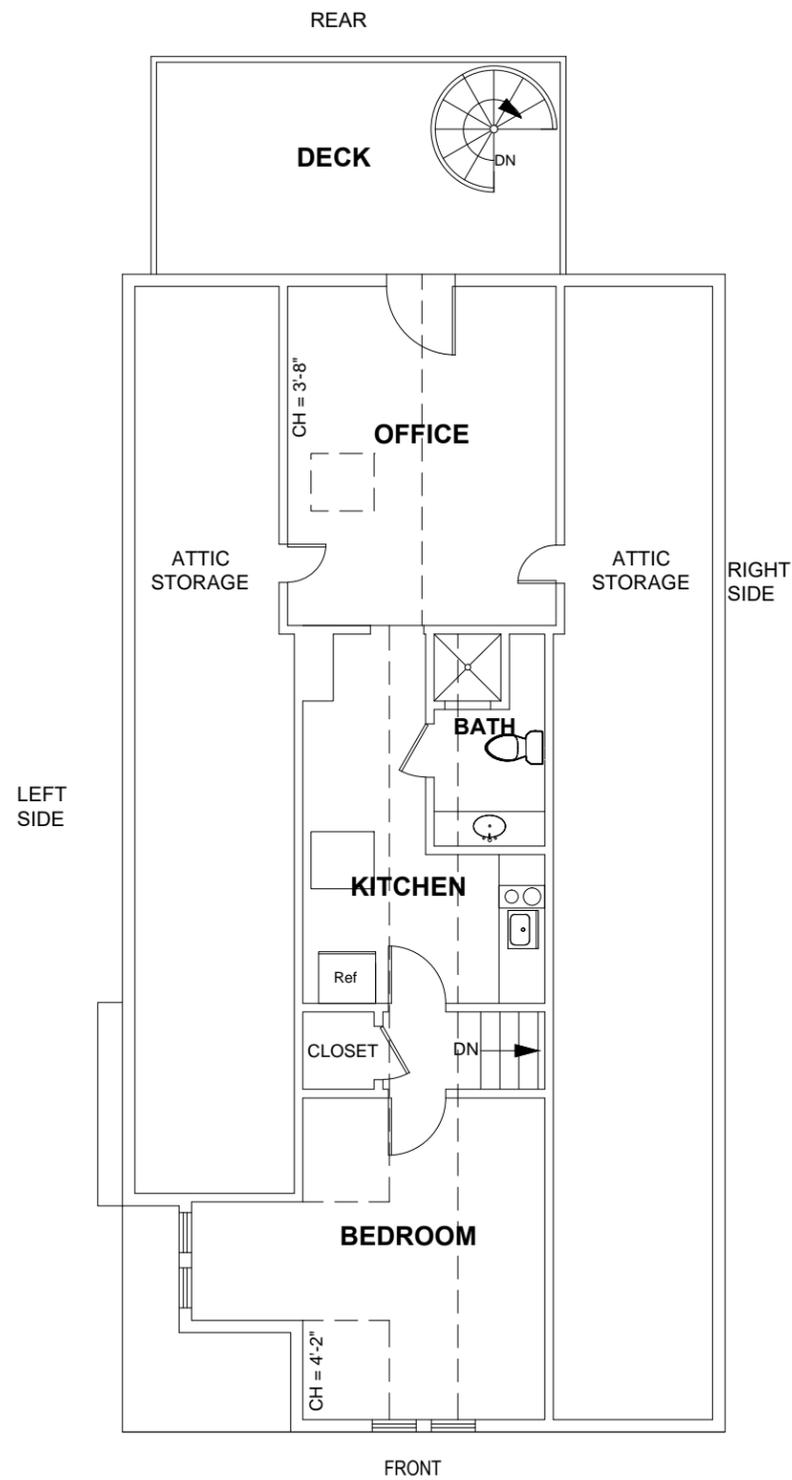


1 EXISTING FRONT ELEVATION
3/32"=1'-0"

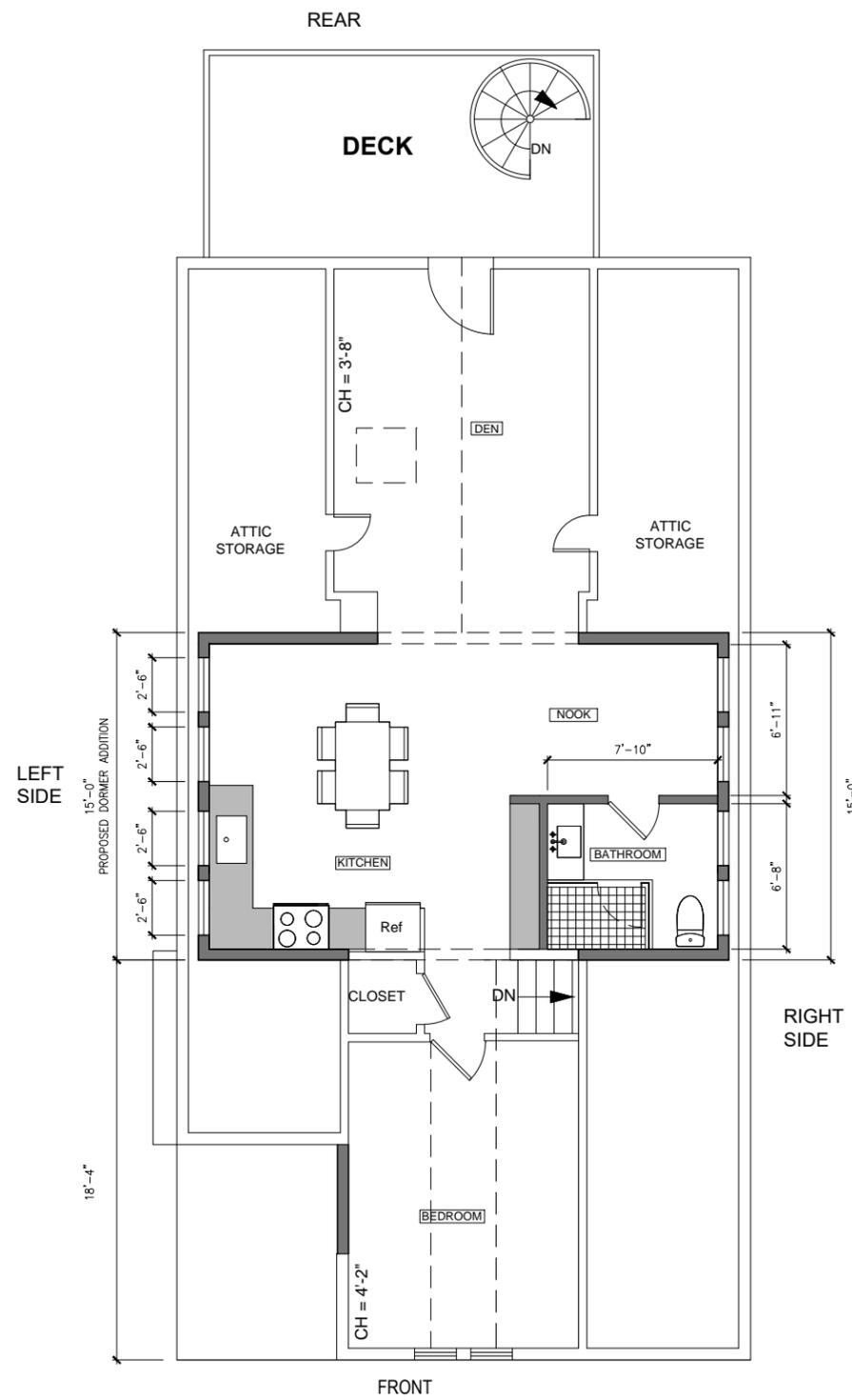


2 EXISTING LEFT SIDE ELEVATION
3/32"=1'-0"

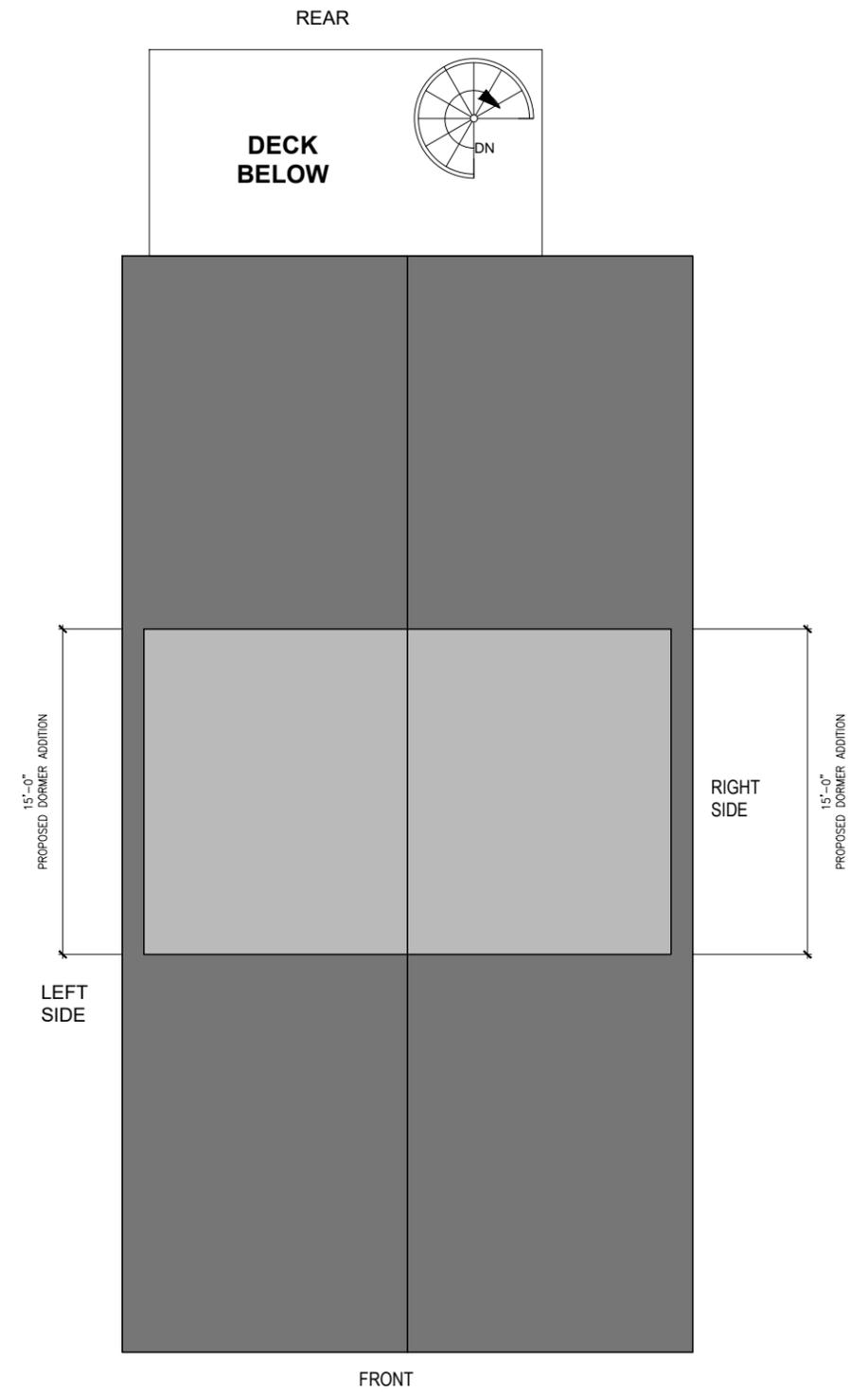




1 EXISTING THIRD FLOOR PLAN
1/8"=1'-0"



2 PROPOSED THIRD FLOOR PLAN
1/8"=1'-0"



3 PROPOSED ROOF PLAN
1/8"=1'-0"



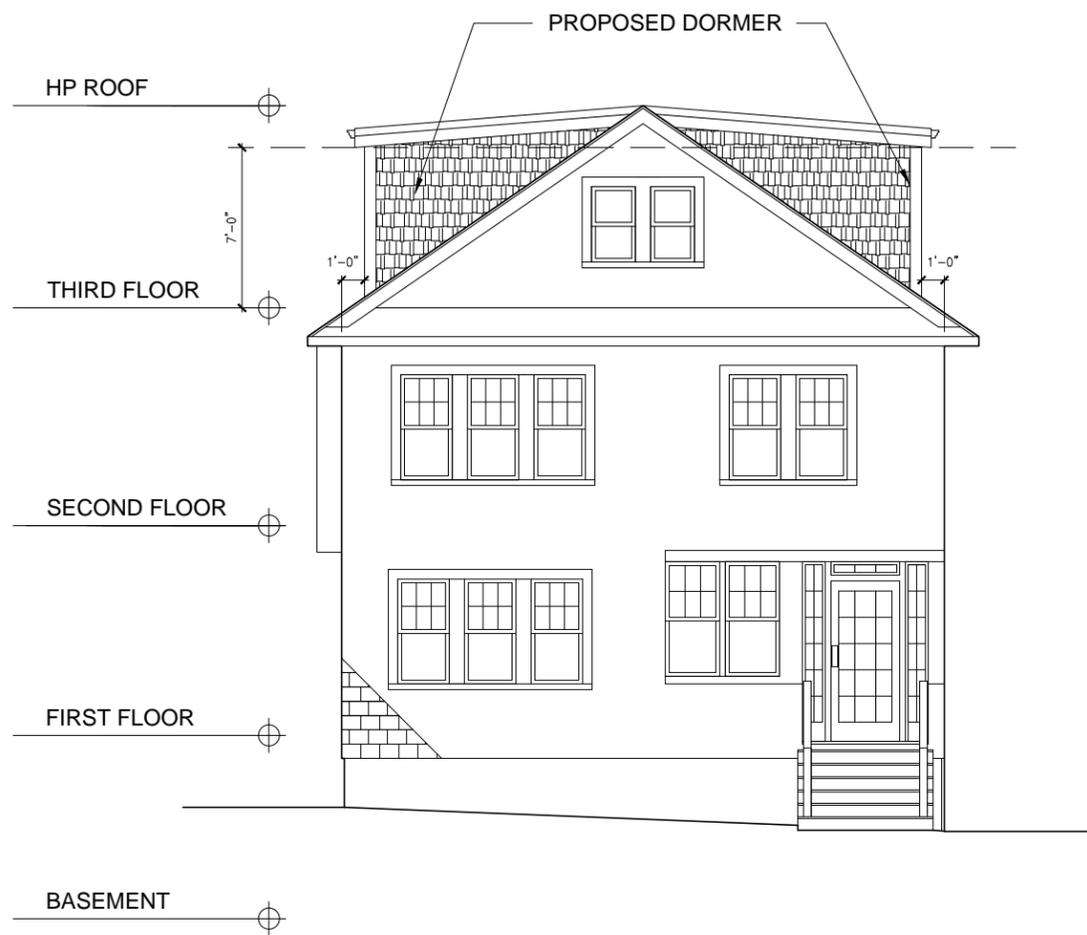
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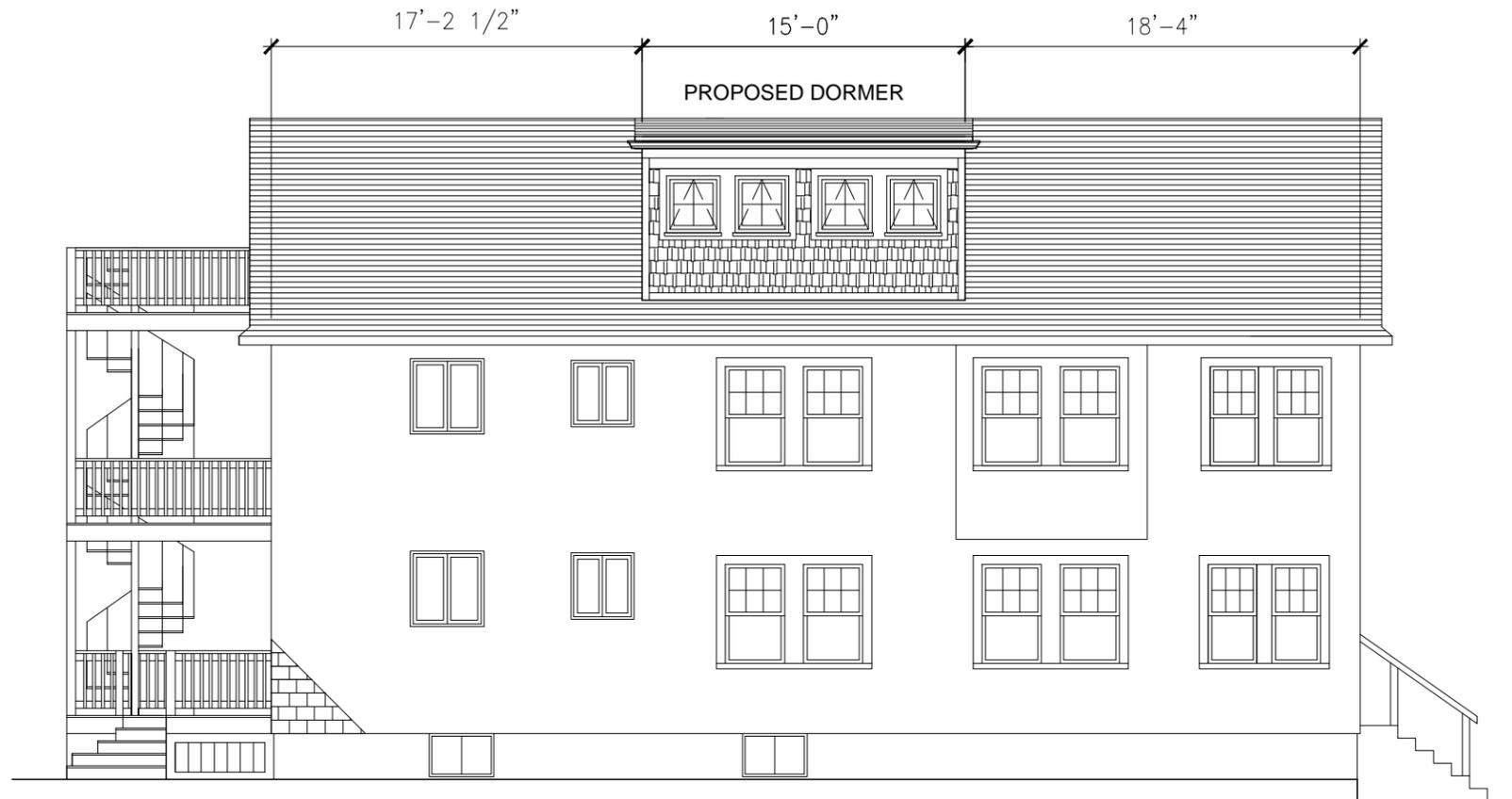
PROJECT:
24 CUSHING ST
PROPOSED DORMER ADDITIONS

TITLE:
3RD FLOOR
PLANS

DRAWING:
A3



1 PROPOSED FRONT ELEVATION
1/8"=1'-0"



2 PROPOSED LEFT SIDE ELEVATION
1/8"=1'-0"



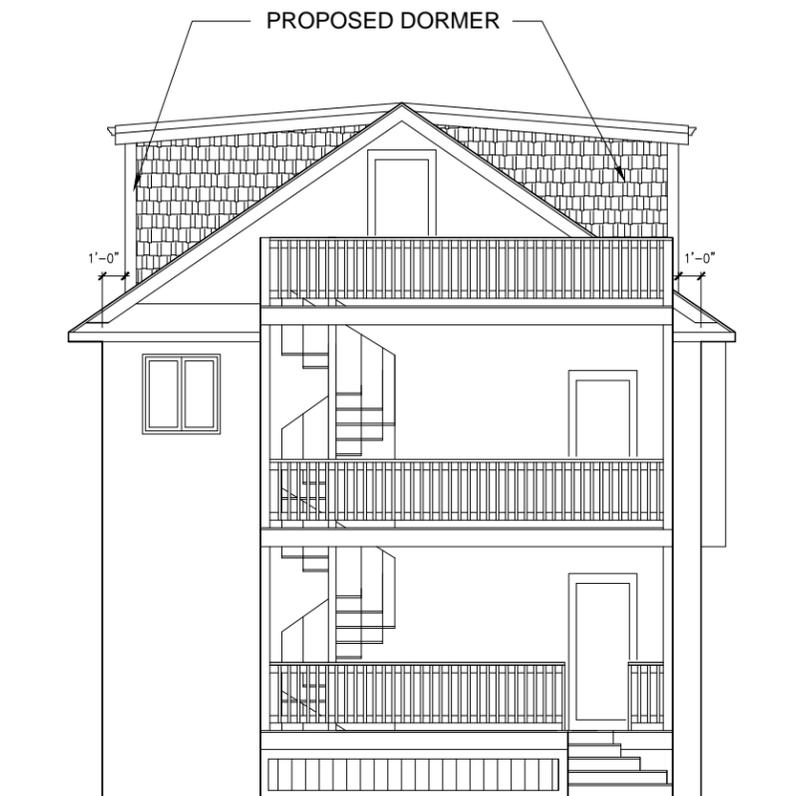
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DATE:
7-10-209

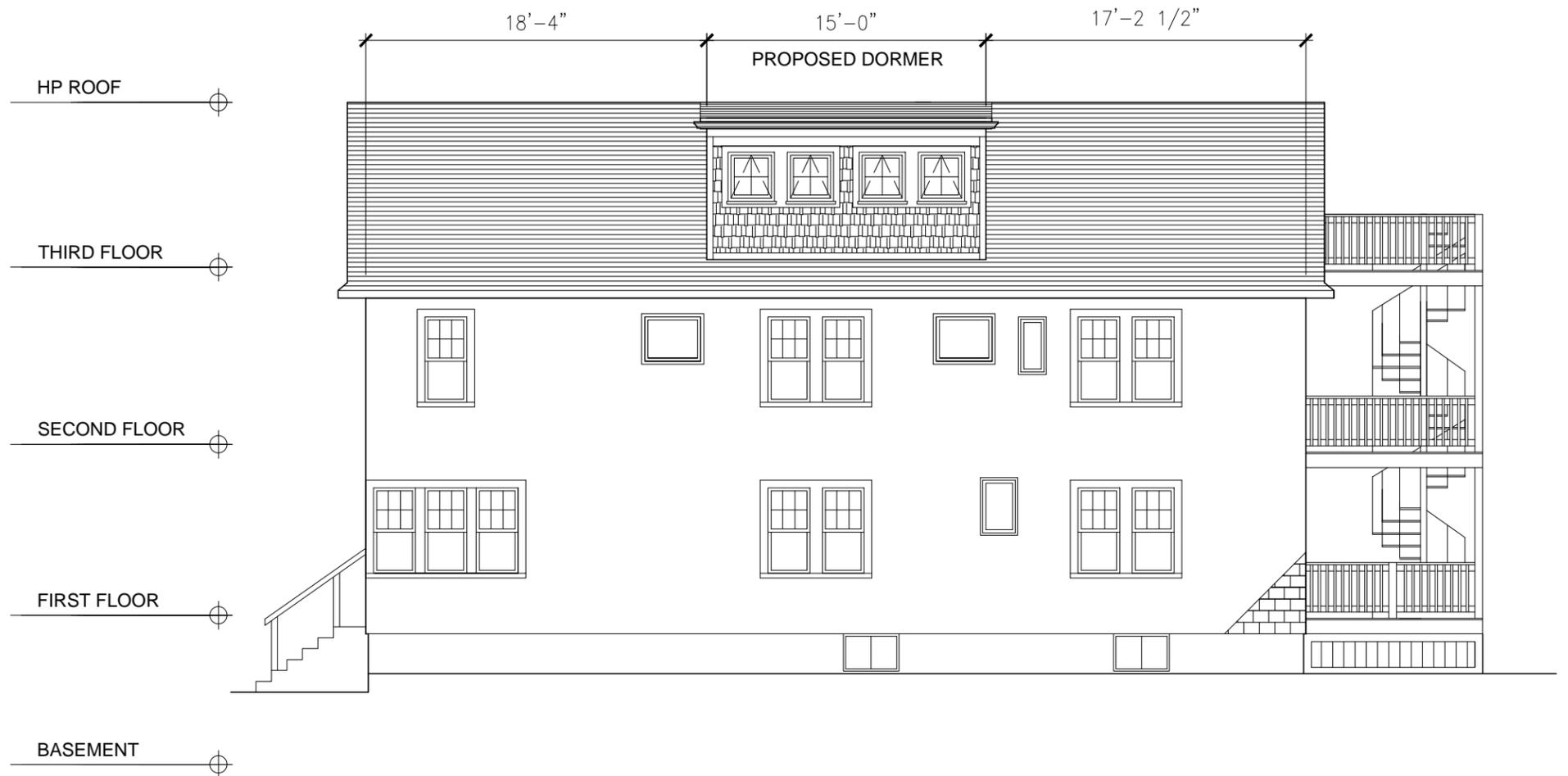
PROJECT:
24 CUSHING ST
PROPOSED DORMER ADDITIONS

TITLE:
PROPOSED ELEVATIONS

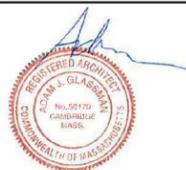
DRAWING:
A4



1 PROPOSED REAR ELEVATION
1/8"=1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
1/8"=1'-0"



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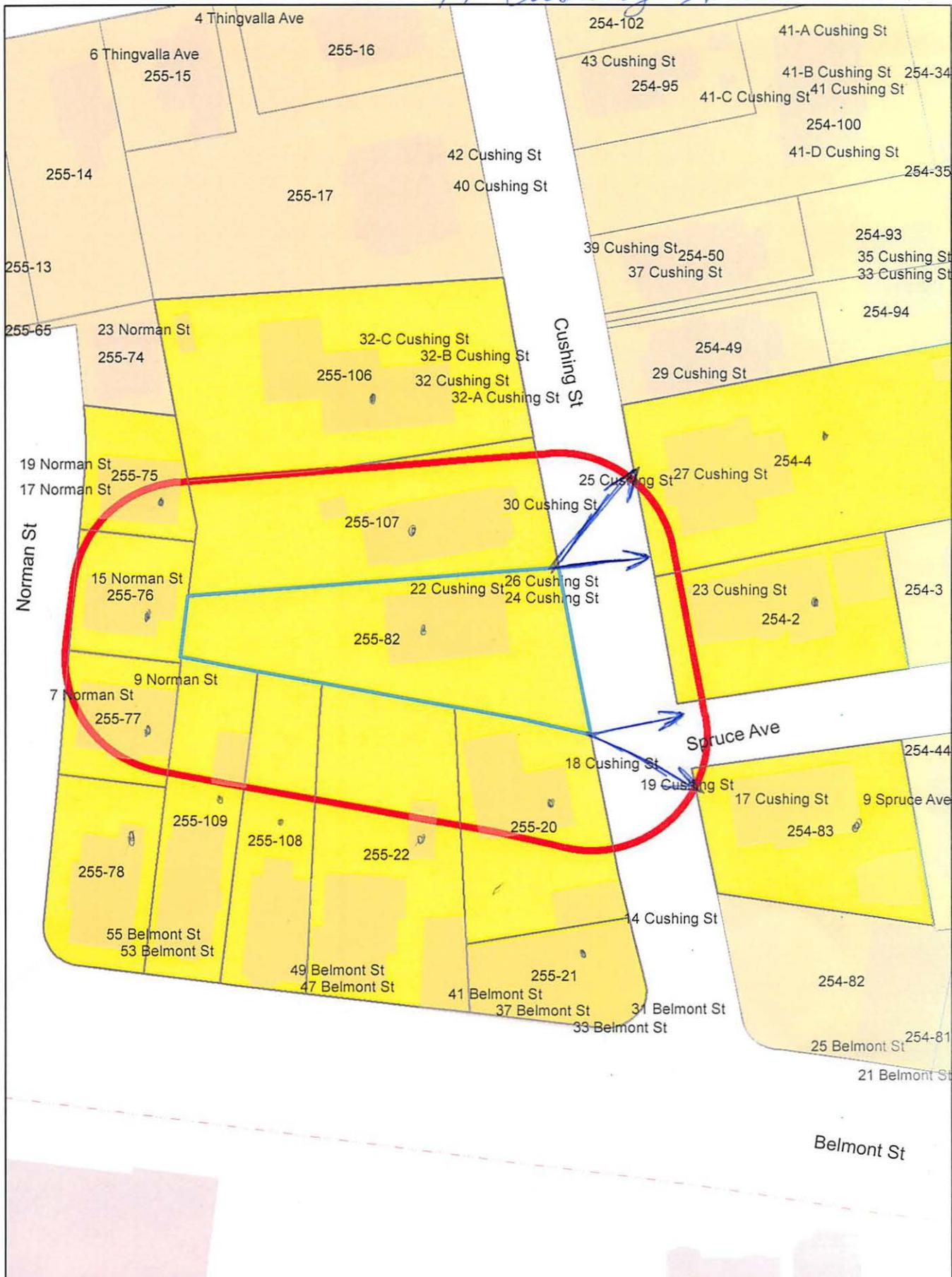
DATE:
7-10-209

PROJECT:
24 CUSHING ST
PROPOSED DORMER ADDITIONS

TITLE:
PROPOSED ELEVATIONS

DRAWING:
A5

24 Cushing St.



24 Cushing St.

Petitioner

254-2
POLLARD, WILLIAM J. & LAURA D. INDIGO
23 CUSHING ST., #1
CAMBRIDGE, MA 02138

254-2
KRAMAN, NADINE
23 CUSHING ST. UNIT#2
CAMBRIDGE, MA 02138

ADAM J. GLASSMAN, R.A.
2 WORTHINGTON STREET
CAMBRIDGE, MA 02138

254-83
VON TURKOVICH, RICHARD &
MYRA VON TURKOVICH
31 SHEPARD ST
CAMBRIDGE, MA 02138

255-20
POLIMOU, ANNE M. & ELLEA POLIMOU
18 CUSHING ST
CAMBRIDGE, MA 02138

255-82
NELIN, MITCHELL E.
TR. 24 CUSHING STREET REALTY TRUST
24 CUSHING ST
CAMBRIDGE, MA 02138

255-22
ZHANG, SHIYU & YING CHANG
43 BELMONT ST
CAMBRIDGE, MA 02138

255-75
KALTHOFER, DORIS
19 NORMAN ST
CAMBRIDGE, MA 02138

255-76
COLEMAN, PALO N. & REBECCA M. LEMOV
15 NORMAN ST
CAMBRIDGE, MA 02138

255-77
GRUNMANN, ROSALYN &
MICHAEL J. MICHALSKI, JR.
7 NORMAN ST
CAMBRIDGE, MA 02138

255-78
DEPAZ, SUSANA & EDDY F. PAZ
102 ASHCROFT ST.
DEDHAM, MA 02026

255-21
DEFABRITIIS FAMILY, LLC,
110 STONELEIGH RD
WATERTOWN, MA 02472

255-106
HOFMANN, ANTON J. & TRUDI T. HOFMANN
58570 350TH STREET
HASTINGS, IA 51540

255-106
COHEN, AVA-ROBIN
32 CUSHING ST., UNIT B
CAMBRIDGE, MA 02138

255-106
IRVING, BRUCE A. & DEBORAH K. IRVING
32 CUSHING ST., UNIT C
CAMBRIDGE, MA 02138

255-108
MINDO REAL ESTATE I LLC
7 DAVENPORT ST
CAMBRIDGE, MA 02140

255-109
RONNA, JOHN L. & MARGARET SMALL RONNA
51 BELMONT ST.
CAMBRIDGE, MA 02138

255-107
CRAWFORD, DANIEL K.
30 CUSHING ST., #B
CAMBRIDGE, MA 02138

255-107
CRUSCO, KAREN M.
30 CUSHING ST., UNIT #2
CAMBRIDGE, MA 02138

255-107
YOUNG, CARLTON G.
30 CUSHING ST. UNIT#1
CAMBRIDGE, MA 02139

254-4
FENTRESS, JENNIFER
25-27 CUSHING ST., #25/1
CAMBRIDGE, MA 02138

254-4
PADAMSEE, YASMIN, EBENEZER FORBES &
CITY OF CAMBRIDGE TAX TITLE
27 CUSHING ST. UNIT #2
CAMBRIDGE, MA 02138

254-4
XIONG, KAN & XIAOMENG HAN
27 CUSHING ST., #1
CAMBRIDGE, MA 02138

254-4
MALIK, KHURRAM & AYEDA KHALID-MALIK
25-27 CUSHING ST., #25/2
CAMBRIDGE, MA 02139

254-2
YANG, CHUOH-SHYNG
23 CUSHING ST #3
CAMBRIDGE, MA 02138