CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

BZA APPLICATION FORM

Plan No: BZA-017160-2019

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ **Variance :** √ **Appeal :** _____

PETITIONER : 747 Cambridge St, LLC - C/O Ed Doherty, Kems Holding Corporation

PETITIONER'S ADDRESS : 200 Broadway, Suite 103 Lynnfield, MA 01940

LOCATION OF PROPERTY : 747 Cambridge St Cambridge, MA 02141

TYPE OF OCCUPANCY : YES (Mixed Use) **ZONING DISTRICT :** Business A Zone & Residence C-1 Zone

REASON FOR PETITION :

New Structure

DESCRIPTION OF PETITIONER'S PROPOSAL :

New mixed use bldg with improved ground floor space for the existing polish club, 9 residential units & 9 parking spaces, in an appropriately designed building with related improvements in site design, open space, and pedestrian access. The proposed project also includes 9 covered bike spaces & proposes a voluntary income restricted dwelling unit as part of the developer's request for zoning relief.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.27.2 (Floor Area Ratio).

Article 5.000 Section 5.24 (Front & Side Yard Setback).

Article 6.000 Section 6.34 (Parking Space Size Allocation).

Article 6.000 Section 6.35.1 (Reduction of Required Parking).

Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Original Signature(s) : _____
(Petitioner(s) / Owner)

Ed Doherty
(Print Name)

Address : 747 Cambridge Street, LLC c/o Kems Holding Corporation
200 Broadway, Suite 103 Lynnfield, MA 01940

Tel. No. : (978)-360-9558

E-Mail Address : edoherty@kemscorp.com

Date : 8-2-19

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Polish-American Citizens' Association of Cambridge, Inc.
(OWNER)

Address: 747 Cambridge Street, Cambridge, MA 02141

State that I/We own the property located at 747 Cambridge Street,

which is the subject of this zoning application.

The record title of this property is in the name of

Polish-American Citizens' Association of Cambridge, Inc.

*Pursuant to a deed of duly recorded in the date August 24, 1956, Middlesex South County Registry of Deeds at Book 08798 and 7445, Page 1 163; or Middlesex Registry District of Land Court, Certificate No. _____

Book _____ Page _____.

*SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT**

Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of MIDDLESEX

The above-name TAMMY L. DARLING personally appeared before me, this 19 of JUNE, 2019, and made oath that the above statement is true.

MDL S68671596

Robert Sweeney

My commission expires 1-24-2025 (Notary Seal).

ROBERT W. SWEENEY
MY COMMISSION EXPIRES
NOTARY PUBLIC
01/24/2025
COMMONWEALTH OF MASSACHUSETTS

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

ROBERT W. SWEENEY
COMMISSION EXPIRES
NOTARY
PUBLIC
COMMONWEALTH OF MASSACHUSETTS

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

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*Pursuant to a deed of duly recorded in the date August 24, 1956, Middlesex South County Registry of Deeds at Book 08798 and 7445, Page 1 163; or Middlesex Registry District of Land Court, Certificate No. _____

Book _____ Page _____.

*SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT**

Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of MIDDLESEX

The above-name VICTOR RESENDES personally appeared before me, this 19 of June, 2019, and made oath that the above statement is true.

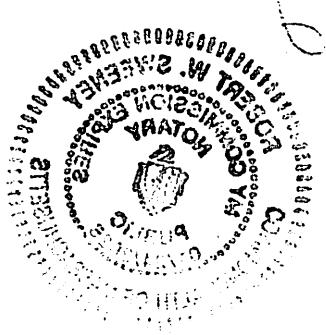
PASSPORT 560169031

Robert Sweeney Notary

My commission expires 1-24-2025 (Notary Seal).

ROBERT W. SWEENEY
MY COMMISSION EXPIRES
NOTARY
PUBLIC
01/24/2025
COMMONWEALTH OF MASSACHUSETTS

- If ownership is not shown in recorded deed, e.g. if by court order, current deed, or inheritance, please include documentation.


ROBERT W. SWEENEY
MY COMMISSION EXPIRES
NOTARY
PUBLIC

BZA APPLICATION FORM
SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the provisions of the Ordinance would involve a substantial financial and architectural hardship to the Appellant. Underutilized for many years as a single-story citizens club in a squat, unappealing brick building, the property site is ideal for infill improvement and revitalization, and for certain enhancements of pedestrian connectivity to the nearby, vibrant business districts and public transportation nodes. In response to the existing conditions, the proposal has been carefully designed and planned as a transit and pedestrian focused development with upgraded connectivity and walkability.

The site itself is located within two zoning districts: the front 100 feet is located in the BA Zone (Business A) and the rear 24 feet is located in the C-1 Zone (Residence C-1); as such, the proposed use as a multifamily residential dwelling is Allowed in both zones. The Business A Zone also Allows the proposed project's renovated Polish-American Citizens' Association of Cambridge, Inc. (the "Polish Club") space as a "club, lodge or other fraternal or sororal meeting facility." Please note, the club use is not situated within the 1,200 square feet of the Project Site located in the C-1 Zone and therefore its use provisions are not applicable.

If the property site was located entirely within the BA Zone, then Section 5.28-1 Dwellings in Non-Residential Districts would be applicable. A dwelling in a Business A district is subject to the same dimensional requirements and other restrictions as a dwelling in a Residence C-2B district. Therefore, the maximum Floor Area Ratio ("FAR") would be increased to 1.75 and the project's proposed FAR of 1.84 would be only a slight deviation from the allowed maximum. This, coupled with the proposed new space for the Polish Club, provides the proponent's rationale for requiring an FAR variance from the Ordinance combined maximum of 1.375. The proponent is proposing to maintain the Polish Club use, an existing long-time use in the community as a fraternal organization, which causes certain difficulties in siting and sizing of the building development in order to provide adequate usable space and proper circulation. The proposed project allows for nine (9) new two-bedroom, two-bathroom units as development without displacement by providing new, modernized space for the Polish Club use.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The substantial hardship is due to the unique location of the property site, which is located on the corner of Cambridge Street and Marion Street in the City's Wellington-Harrington neighborhood. Situated on an approximately 6,200 square foot lot, the existing building is a single story brick building which covers a majority of the Site and is located in two zoning

districts: the front 100 feet is located in the BA Zone (Business A) and the rear 24 feet is located in the C-1 Zone (Residence C-1). This irregularity has caused issues with siting the building in an appropriate manner on the property site without violating the setback requirements. The property location on the corner (as further illustrated in the project drawings and at the Board hearing) presents a practical difficulty in locating the structure of the Allowed Multifamily Residential Use, for the purpose of providing additional quality housing in the neighborhood, and the set-backs required are mitigated by the property site's location and shape, unlike many other nearby properties.

Additionally, the existing building currently encroaches onto the sidewalk at numerous points and the proposed project would greatly improve this existing condition by providing enhancements of pedestrian connectivity as it is carefully designed and planned as a transit and pedestrian focused development with upgraded connectivity and walkability.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:
1) Substantial detriment to the public good for the following reasons:

There will be no substantial detriment to the public good as the proposed project has been thoroughly processed with the community and the Appellant's proposed development will result in the much-needed revitalization of an under-utilized, irregularly shaped and unique property site with a new, Allowed Multifamily Residential Use, while also preserving the long-existing Polish Club Use, in a manner which is consistent with, and complementary to, the immediate and surrounding neighborhood. In this regard, the proposed project provides development without displacement by adding nine (9) new residential units while maintaining the Polish Club Use and providing for its long-term economic viability and stability within the community. As part of the proposed mitigation package for the project, and in order to further provide for the public good, the Appellant also proposes to voluntarily provide one (1) of these nine (9) units as affordable housing in conjunction with the City's inclusionary development housing policies.

In furtherance of this particular finding, the Appellant held its own informal abutter meeting on April 22, 2019, at the property site and also presented the proposed project to the East Cambridge Business Association on May 14, 2019, at the Loyal Nine restaurant at 660 Cambridge Street. The Appellant submits that the requested relief is consistent with the character and concerns providing for the public good, as the Appellant has given special attention to the siting, scale, design, and scope of the new structure, open space and vehicular and pedestrian access and neighborhood safety. Additionally, the Ordinance identifies the applicable Residence C-1 Zone as designated for "multifamily dwellings" and the Business A Zone as designated for "local and drive in retail business, offices and multifamily dwellings," which the proposed development contemplates as described within this application.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Relief may be granted without nullifying or substantially derogating from the intent or purpose of the Ordinance in regards to the Appellant's project because its proposed uses are Allowed under the Ordinance and the project's required dimensional relief is mitigated by its location in two (2) different zoning districts despite being only a 6,200 total square foot property. Additionally, as detailed above, if the site was located entirely within the BA Zone, then the maximum FAR would be 1.75 and the project's proposed FAR of 1.84 would be only a slight deviation from the allowed maximum, mostly in order to provide the proposed new space for the Polish Club. The project's required relief for Front Yard Setback and Side Yard Setback are also di minimus in nature as the existing building currently encroaches onto the sidewalk at numerous points and the proposed project would improve this existing condition. The proposed right Side Yard Setback is 15'8", in excess of the required 10'8.5" right Side Yard Setback calculation, while the Front Yard Setbacks at both Cambridge Street and Marion Street (as it is a corner lot) are mitigated by the fact that these setbacks are consistent with the existing street line conformity on a busy commercial street with no material impact on any direct abutters.

Finally, while the proposed project does require zoning relief for both the parking space size allocation and the parking amount, it does provide a one-to-one parking ratio for the residential units and the existing condition for the Polish Club does not provide any on-site parking allotment for patrons. As further mitigation of the on-site parking programming deficiency caused primarily by the lack of parking for the Polish Club Use, the property is located an easy walk directly down Cambridge Street at approximately 0.6 miles from the Lechmere MBTA Green Line Station and MBTA Bus Station providing access to downtown Boston and beyond via the B, C, D, and E train lines and the 69, 80, 87 and 88 buses. It is also located directly across the street from a large public parking lot at the corner of Marion Street and Macarelli Way which provides over 30 public parking spaces available for use by visitors and Polish Club patrons. Lastly, the proposed project provides 10 long term bicycle parking locker spaces and two (2) short term spaces in compliance with the Ordinance.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: 747 Cambridge Street, LLC **PRESENT USE/OCCUPANCY:** Fraternal Organization

LOCATION: 747 Cambridge Street **ZONE:** Front 100 Feet BA; Rear 24 Feet C-1

PHONE: (978) 360-9558 **REQUESTED USE/OCCUPANCY:** Mixed-Use Residential/Commercial

		EXISTING CONDITIONS	*REQUESTED CONDITIONS*	*ORDINANCE REQUIREMENTS*[1]	
TOTAL GROSS FLOOR AREA:		4,080 SF	11,451 SF	8,525 SF	(max.)
LOT AREA:		6,200 SF	6,200 SF	5,000 SF	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA:[2]		0.66	1.84	1.375 (combined)	(max.)
LOT AREA FOR EACH DWELLING UNIT:		N/A	9 D/U	9.1 D/U	(min.)
SIZE OF LOT:	WIDTH	50'	50'	50'	(min.)
	DEPTH	124'	124'	N/A	
Setbacks in Feet:	FRONT	1.7' OVER (MARION) 1.3' OVER (CAMBRIDGE)	MARION: 0' CAMBRIDGE: 0'@ BA, 4.5' @ R	0' FOR BA / 10' FOR R	(min.)
	REAR	N/A Corner Lot	N/A Corner Lot	N/A Corner Lot	(min.)
	LEFT SIDE	2.7'	10' @ FRONT MASSING 3.5' @ REAR MASSING	11.7' @ FRONT MASSING 11' ~~@ REAR MASSING~~	(min.)
	RIGHT SIDE	39.6'	15'	10.71'	(min.)
SIZE OF BLDG.:	HEIGHT	12'	35'	45'	(max.)
	LENGTH	85.7'	109'	N/A	
	WIDTH	48.2'	VARIES 46.5'-49.5'	N/A	
RATIO OF USABLE OPEN SPACE TO LOT AREA:[3])		32%	19.7%	14% combined	(min.)
NO. OF DWELLING UNITS:		0	9	9.1	(max.)
NO. OF PARKING SPACES:		0	9	27	(min./max)
NO. OF LOADING AREAS:		N/A	N/A	N/A	(min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:		N/A	N/A	N/A	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

WOOD FRAME CONSTRUCTION. THE GROUND FLOOR OF THE FRONT MASSING (ALONG CAMBRIDGE STREET) WILL BE COMMERCIAL USE FOR THE POLISH CLUB.

1. *SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).*
2. *TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.*
3. *OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.*

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Khalsa Design, Inc **PRESENT USE/OCCUPANCY:** Frat-Organization

LOCATION: 747 Cambridge St Cambridge, MA 02141 **ZONE:** Business A Zone & Residence

PHONE: **REQUESTED USE/OCCUPANCY:** Mixed-Residential/Frat-Organizat.

		EXISTING CONDITIONS	REQUESTED CONDITIONS	ORDINANCE REQUIREMENTS [1]	
TOTAL GROSS FLOOR AREA:		4080	11451	8525	(max.)
LOT AREA:		6200	6200	5000	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: [2]		.66	1.84	1.375	(max.)
LOT AREA FOR EACH DWELLING UNIT:		n/a	9 Du	9.1 DU	(min.)
SIZE OF LOT:	WIDTH	50	50	50	(min.)
	DEPTH	124	124	n/a	
SETBACKS IN FEET:	FRONT	1arion/-1.3'Can	Cambridge(4.5'	fo BA / 10' fo	(min.)
	REAR	n/a-Corner Lot	n/a-Corner Lot	n/a-Corner Lot	(min.)
	LEFT SIDE	2.7'	assing/3.5'@ R	1assing / 11' (	(min.)
	RIGHT SIDE	39.6'	15'	10.7'	(min.)
SIZE OF BLDG.:	HEIGHT	12	35	45	(max.)
	LENGTH	85.7	109	n/a	
	WIDTH	48.2	ıries 49.5-46.5	n/a	
RATIO OF USABLE OPEN SPACE TO LOT AREA: [3]		32%	19.7%	14%	(min.)
NO. OF DWELLING UNITS:		0	9	9.1	(max.)
NO. OF PARKING SPACES:		0	9	27	(min./max)
NO. OF LOADING AREAS:		n/a	n/a	n/a	(min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:		n/a	n/a	n/a	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

Wood Frame constructino. The ground floor of the front massing (along Cambridge St) will be commercial use for the Polish Club

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
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CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

2019 AUG -5 PM 3:39
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM

GENERAL INFORMATION

Plan No: BZA-017160-2019

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ **Variance :** √ **Appeal :** _____

PETITIONER : 747 Cambridge St, LLC - C/O Ed Doherty, Kems Holding Corporation

PETITIONER'S ADDRESS : 200 Broadway, Suite 103 Lynnfield, MA 01940

LOCATION OF PROPERTY : 747 Cambridge St Cambridge, MA 02141

TYPE OF OCCUPANCY : YES (Mixed Use) **ZONING DISTRICT :** Business A Zone & Residence C-1 Zone

REASON FOR PETITION :

New Structure

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New mixed use bldg with improved ground floor space for the existing polish club, 9 residential units & 9 parking spaces, in an appropriately designed building with related improvements in site design, open space, and pedestrian access. The proposed project also includes 9 covered bike spaces & proposes a voluntary income restricted dwelling unit as part of the developer's request for zoning relief.

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Article 5.000 Section 5.24 (Front & Side Yard Setback).
Article 6.000 Section 6.34 (Parking Space Size Allocation).
Article 6.000 Section 6.35.1 (Reduction of Required Parking).
Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Original Signature(s) : _____
(Petitioner(s) / Owner)

Ed Doherty
(Print Name)

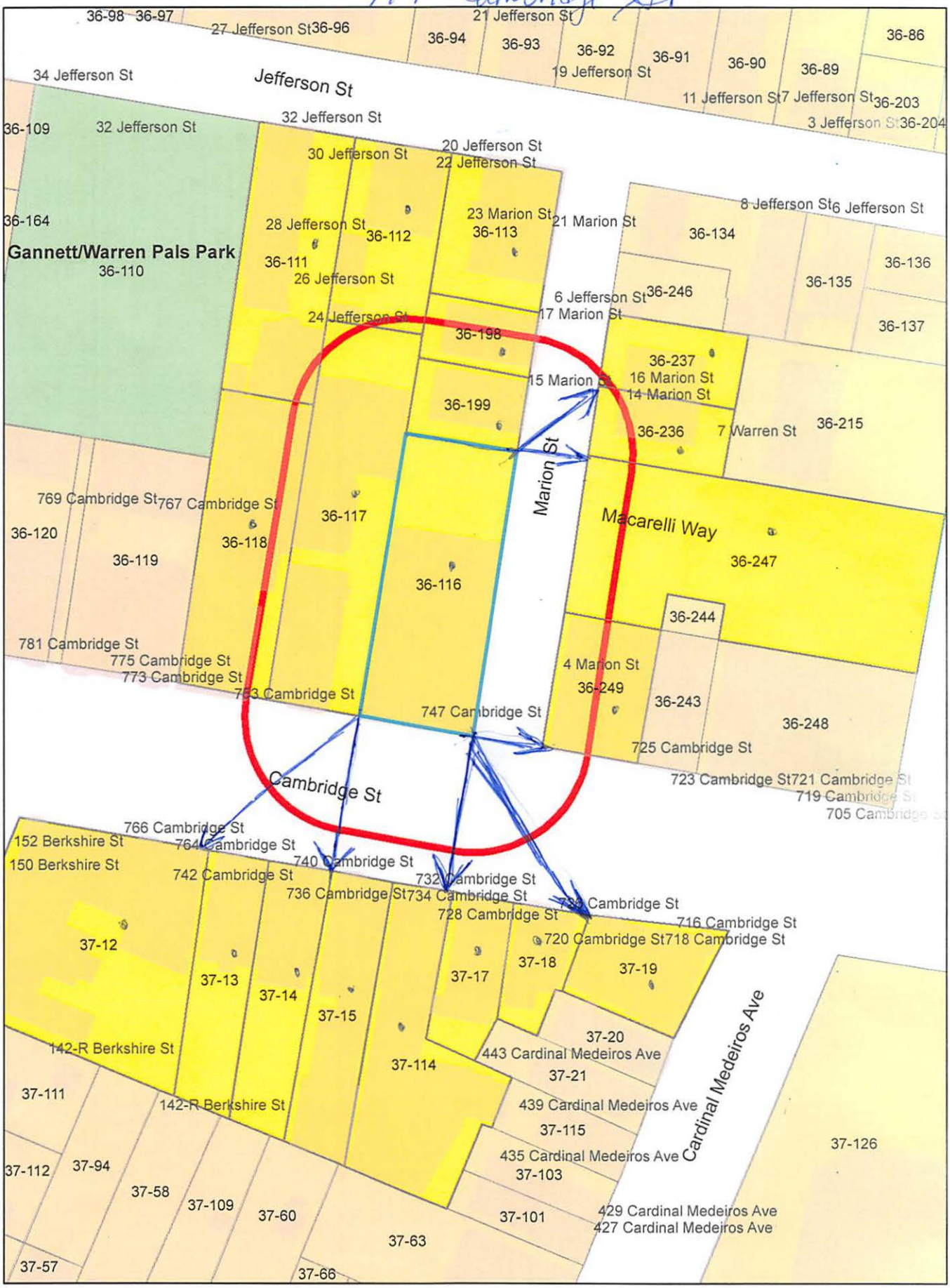
Address : 747 Cambridge Street, LLC c/o Kems Holding Corporation
200 Broadway, Suite 103 Lynnfield, MA 01940

Tel. No. : (978)-360-9558

E-Mail Address : edoherty@kemscorp.com

Date : 8-2-19

747 Cambridge St.



747 Cambs St

Petitioner

36-111
FREITAS, JOSE R. & ZELIA C. FREITAS, TR.
24 JEFFERSON ST
CAMBRIDGE, MA 02141

36-112
REGO, JOSE R. & MARIA R. REGO TRUSTEES,
THE REGO FAMILY TRUST
20 JEFFERSON ST
CAMBRIDGE, MA 02141

KEMS HOLDING CORPORATION
C/O ED DOHERTY
200 BROADWAY – SUITE 103
LYNNFIELD, MA 01940

36-116
POLISH AMERICAN CITIZENS ASSOCIATION
OF CAMBRIDGE &
CITY OF CAMBRIDGE TAX TITLE
747 CAMBRIDGE ST
CAMBRIDGE, MA 02141

36-117
DILANDO, NANCY MARY &
LAWRENCE F. CLINTON
757 CAMBRIDGE ST
CAMBRIDGE, MA 02141

36-118
761 CAMBRIDGE STREET, LLC
47 IRMA AVE
WATERTOWN, MA 02472

36-198
DIBIASE, FELICIA
17 MARION ST
CAMBRIDGE, MA 02141

36-199
DIBIASE, GIRO, JR. & FELICIA DIBIASE
12 CHURCHILL RD
WINCHESTER, MA 01890

36-236
SAUER, JAMES W. & MAUREEN V. SAUER
14 MARION STREET
CAMBRIDGE, MA 02141

36-247
CITY OF CAMBRIDGE
C/O NANCY GLOWA
CITY SOLICITOR

36-247
CAMBRIDGE CITY OF COMM DEV
57 INMAN ST
CAMBRIDGE, MA 02141

36-247
CITY OF CAMBRIDGE
C/O LOUIS DePASQUALE
CITY MANAGER

37-13-14
DIBIASE, GIRO & ELIZABETH DIBIASE,
TRS.,NOMINEE TRUST
26 GIRARD RD.
WINCHESTER, MA 01890

36-113
PONDELLI, ALBERT J. & LUCIA Y. PONDELLI,
TRS. OF THE MARION TRUST
56 GILMAN STREET
SOMERVILLE, MA 02145

37-15
MOREIRA, LISA & MANUEL MOREIRA
TRUSTEE OF LMCM REAL ESTATE TRUST
7 PEPPER HILL DR.
WINCHESTER, MA 01890

37-17
MEDEIROS, ANTONIO & MICHAEL VITAL,
JOAO CARVALHO, TR. OF THE JAM REALTY TR.
732 CAMBRIDGE ST
CAMBRIDGE, MA 02141

37-18
BERGANTINO, ANGELO A. & PAULINE M.
TRS REALTY TRUST
20 LANSDOWNE RD
ARLINGTON, MA 02474

36-249
BARROS, MANUEL S. & MARIA T. BARROS,
TRS. OF M & M BARROS REALTY TRUST
4 MARION STREET
CAMBRIDGE, MA 02141

37-19
DIDOMENICO, SALVATORE &
MARIE DIDOMENICO TRS
716 CAMBRIDGE STREET
CAMBRIDGE, MA 02141

36-237
AUBOURG, MARIE I.
16 MARION ST
CAMBRIDGE, MA 02141

37-12
MAIL, RANDI
146 BERKSHIRE ST., UNIT #3
CAMBRIDGE, MA 02141

37-12
MILLER, LAUREN M.
146 BERKSHIRE ST. UNIT#2
CAMBRIDGE, MA 02141

37-114
CENTRAL BAKERY, INC.
732 CAMBRIDGE ST.
CAMBRIDGE, MA 02141

37-12
HERNANDEZ, GUSTAVO
146 BERKSHIRE ST. UNIT#1
CAMBRIDGE, MA 02141

37-12
MEDRANO, ELVIS
6 MIDDLESEX CANAL PARK
WOBURN, MA 01801

37-12
BECHO, BZUMINA
770 CAMBRIDGE ST
CAMBRIDGE, MA 02141

37-12
BERZANSKIS, AUDRIUS
764 CAMBRIDGE STREET, UNIT #8
CAMBRIDGE, MA 02141

37-12
POEHLMAN, KRISTY & LARISSA POLLARD
764 CAMBRIDGE ST., #764/7
CAMBRIDGE, MA 02141

37-12
SUTTON, BRYAN
764 CAMBRIDGE ST., #6
CAMBRIDGE, MA 02141

37-12
BENZ, MARCEL & LAUREN BENZ
764 CAMBRIDGE ST., UNIT #5
CAMBRIDGE, MA 02138

747 Cambs St.

37-12
LACY, BROCK T. & CYNTHIA M. POLLARD
4469 MARIGOLD DR.
CHINO , CA 91710

37-12
MCCLENDON, CHRISTOPHER LEE TING YING WU MCCLENDON
764 CAMBRIDGE ST., #764/3
CAMBRIDGE, MA 02141

37-12
YACCATO, KARIN J.
764 CAMBRIDGE ST. UNIT#2
CAMBRIDGE, MA 02141

37-12
WILLIAMS, ROBERTA L. & CAROL MILLER STINE
764 CAMBRIDGE ST., UNIT #1
CAMBRIDGE, MA 02141

37-12
LIN, BEVIN
152 BERKSHIRE ST., #152/6
CAMBRIDGE, MA 02141

37-12
FEDERAL NATIONAL MORTGAGE ASSOCIATION
1900 MARKET ST. SUITE 800
PHILADELPHIA, MA 19103

37-12
BEAUBIEN, SIMONE
152 BERKSHIRE ST., UNIT #4
CAMBRIDGE, MA 02141

37-12
ANDERSON, RICHARD STANLEY & HEIDI WINSTON ALLISON TRU OF FLAMMIA FAM
152 BERKSHIRE ST. UNIT#3
CAMBRIDGE, MA 02141

37-12
GATELY, JOSHUA J. & HEATHER M. SWEENEY
152 BERKSHIRE STREET, UNIT #2
CAMBRIDGE, MA 02141

37-12
SPARROW, JANE,
A LIFE ESTATE THE SPARROW FAM IREV TRUST
152 BERKSHIRE ST. UNIT 1
CAMBRIDGE, MA 02141

37-12
SMITH, CHRISTA
C/O CHRISTA S. SHARMA
150 BERKSHIRE ST. UNIT#1
CAMBRIDGE, MA 02141

37-12
HANEY, BLAIR T.
148 BERKSHIRE STREET, UNIT 148-8
CAMBRIDGE, MA 02141

37-12
VANDEVER, KATHRYN G.
146 BERKSHIRE ST., #7
CAMBRIDGE, MA 02141

37-12
VAN MIDDLESWORTH, REX & DIANE UMSTEAD
1201 CLAIRE AVE
AUSTIN, TX 78703

37-12
SHIMANOVSKAYA, VERONICA A.
148 BERKSHIRE ST #5
CAMBRIDGE, MA 02141

37-12
BENEDICT, RACHEL A.
146 BERKSHIRE ST., #148/4
CAMBRIDGE, MA 02141

37-12
DAVE, PRATIK K.
148 BERKSHIRE ST., #3
CAMBRIDGE, MA 02141

37-12
MALAVER, PEDRO J.
148 BERKSHIRE ST., UNIT #2
CAMBRIDGE, MA 02141

37-12
PURCHON, SUSAN F.
146 BERKSHIRE ST., #148/1
CAMBRIDGE, MA 02141

37-12
HILL, LENORE
21 VILLAGE ST.
SOMERVILLE, MA 02143

BZA APPLICATION FORM

CHECK LIST

PROPERTY LOCATION: 747 Cambridge Street **DATE:** June 10, 2019

PETITIONER OR REPRESENTATIVE: 747 Cambridge Street, LLC

ADDRESS & PHONE: c/o Kems Holding Corporation, 200 Broadway Suite 103, Lynnfield, MA 01940
edoherty@kemscorp.com; Mobile: (978) 360-9558

BLOCK: 36 **LOT:** 116

PLEASE CHECK THAT YOU HAVE INCLUDED THE FOLLOWING WITH YOUR APPLICATION. APPLICATIONS WILL NOT BE ACCEPTED FOR PROCESSING & SCHEDULING UNLESS ALL REQUIRED DOCUMENTS ARE PROVIDED.

PLEASE INCLUDE THIS CHECKLIST WITH YOUR APPLICATION.
ALL DOCUMENTS ARE TO BE TYPED OR WRITTEN LEGIBLY.

DOCUMENTS	REQUIRED	ENCLOSED
Application Form **3 Forms with Original Signatures**	X	X
Supporting Statements - Scanned & 1 set to Zoning	X	X
Application Fee (You will receive invoice online)	X	
Assessor's GIS "Block Map" (Available on line or At Engineering Dept. - 147 Hampshire Street)	X	X
Dimensional Form - Refer to Cambridge Zoning Ordinance - Scanned & 1 set to Zoning (Subject to further review by Zoning Specialist)	X	X
Ownership Certificate, Notarized - Scanned & 1 set to Zoning	X	X
Floor Plans - Scanned & 1 set to Zoning	X	X
Elevations - Scanned & 1 set to Zoning	X	X
Certified Plot Plan - Scanned & 1 set to Zoning (By Registered Land Surveyor)	X	X
Photographs of Property - Scanned & 1 set to Zoning	X	X
Parking Plan (if relevant to your application) Scanned & 1 set to Zoning	N/A	N/A
FOR SUBDIVISION ALSO INCLUDE: Scanned & 1 set to Zoning		
Proposed Deeds	N/A	
Evidence of Separate Utilities **	N/A	
Proposed Subdivision Plan	N/A	

Petitioners are advised to refer to Attachment A (Procedures for applying to the Board of Zoning Appeal) & consult zoning staff for review.
It is advisable for the Petitioner to discuss the petition with the abutters as listed in the Zoning BZA Case file.

* For Special Permits under Art. 4.32.G.1 (Communication Towers and Antennas), include a photo simulation.
** Can be submitted after subdivision has been approved.

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ **Variance:** X **Appeal:** _____

PETITIONER: 747 Cambridge Street, LLC

PETITIONER'S ADDRESS: c/o Kems Holding Corporation, 200 Broadway Suite 103, Lynnfield, MA 01940

LOCATION OF PROPERTY: 747 Cambridge Street

TYPE OF OCCUPANCY: Mixed-Use **ZONING DISTRICT:** Located in 2 zoning districts: the front 100 feet is located in the BA Zone (Business A) and the rear 24 feet is located in the C-1 Zone (Residence C-1)

REASON FOR PETITION:

_____	Additions	X	New Structure
_____	Change in Use/Occupancy	_____	Parking
_____	Conversion to Addi'l Dwelling Unit's	_____	Sign
_____	Dormer	_____	Subdivision
_____	Other: _____		

DESCRIPTION OF PETITIONER'S PROPOSAL:

Construct a new, mixed-use building, including improved ground floor space for the existing Polish Club of approximately 1,500 square feet (and with 700 square feet of basement storage) and nine (9) residential units on the upper floors (all as two-bedroom, two-bath units), along with nine (9) on-site parking spaces, in an appropriately-designed building with related improvements in site design, open space and pedestrian access. The proposed project also includes nine (9) garaged bicycle parking spaces and proposes a voluntary income restricted dwelling unit as part of the Developer's request for zoning relief.

SECTIONS OF ZONING ORDINANCE CITED:

Article 5 Section 27.2 - Floor Area Ratio

Article 5 Section 24 - Front Yard Setback and Side Yard Setback

Article 6 Section 34 and 35.1 - Parking Space Size Allocation and Reduction of Required Parking

Applicants for a **Variance** must complete Pages 1-5
Applicants for a **Special Permit** must complete Pages 1-4 and 6
Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s): _____
(Petitioner(s)/Owner)

Ed Doherty
(Print Name)

Address: 747 Cambridge Street, LLC c/o Kems Holding Corporation
200 Broadway Suite 103
Lynnfield, MA 01940

Tel. No.: (978) 360-9558

E-Mail Address: edoherty@kemscorp.com

Date: 7-17-19

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Polish-American Citizens' Association of Cambridge, Inc.
(OWNER)

Address: 747 Cambridge Street, Cambridge, MA 02141

State that I/We own the property located at 747 Cambridge Street,

which is the subject of this zoning application.

The record title of this property is in the name of
Polish-American Citizens' Association of Cambridge, Inc.

*Pursuant to a deed of duly recorded in the date August 24, 1956, Middlesex South County Registry of Deeds at Book 08798 and 7445, Page 1 163; or Middlesex Registry District of Land Court, Certificate No. _____

Book _____ Page _____.

*SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT**

Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of MIDDLESEX

The above-name TAMMY L. DARLING personally appeared before me, this 19 of JUNE, 2019, and made oath that the above statement is true.

MDL S68671596

Robert Sweeney

My commission expires 1-24-2025 (Notary Seal).

ROBERT W. SWEENEY
MY COMMISSION EXPIRES
NOTARY PUBLIC
01/24/2025
COMMONWEALTH OF MASSACHUSETTS

- If ownership is not shown in recorded deed, e.g. if by court order, gift deed, or inheritance, please include documentation.

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Polish-American Citizens' Association of Cambridge, Inc.
(OWNER)

Address: 747 Cambridge Street, Cambridge, MA 02141

State that I/We own the property located at 747 Cambridge Street, which is the subject of this zoning application.

The record title of this property is in the name of Polish-American Citizens' Association of Cambridge, Inc.

*Pursuant to a deed of duly recorded in the date August 24, 1956, Middlesex South County Registry of Deeds at Book 08798 and 7445, Page 1 163; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

*SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT**

Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of MIDDLESEX

The above-name VICTOR RESENDES personally appeared before me, this 19 of June, 2019, and made oath that the above statement is true.

PASSPORT 560169031

Robert Sweeney Notary

My commission expires 1-24-2025 (Notary Seal).

ROBERT W. SWEENEY NOTARY PUBLIC MY COMMISSION EXPIRES 01/24/2025 COMMONWEALTH OF MASSACHUSETTS

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: 747 Cambridge Street, LLC **PRESENT USE/OCCUPANCY:** Fraternal Organization

LOCATION: 747 Cambridge Street **ZONE:** Front 100 Feet BA; Rear 24 Feet C-1

PHONE: (978) 360-9558 **REQUESTED USE/OCCUPANCY:** Mixed-Use Residential/Commercial

		EXISTING CONDITIONS	*REQUESTED CONDITIONS*	*ORDINANCE REQUIREMENTS*[1]	
TOTAL GROSS FLOOR AREA:		4,080 SF	11,451 SF	8,525 SF	(max.)
LOT AREA:		6,200 SF	6,200 SF	5,000 SF	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA:[2]		0.66	1.84	1.375 (combined)	(max.)
LOT AREA FOR EACH DWELLING UNIT:		N/A	9 D/U	9.1 D/U	(min.)
SIZE OF LOT:	WIDTH	50'	50'	50'	(min.)
	DEPTH	124'	124'	N/A	
Setbacks in Feet:	FRONT	1.7' OVER (MARION) 1.3' OVER (CAMBRIDGE)	MARION: 0' CAMBRIDGE: 0'@ BA, 4.5' @ R	0' FOR BA / 10' FOR R	(min.)
	REAR	N/A Corner Lot	N/A Corner Lot	N/A Corner Lot	(min.)
	LEFT SIDE	2.7'	10' @ FRONT MASSING 3.5' @ REAR MASSING	11'-8" @ FRONT MASSING 11'.5" @ REAR MASSING	(min.)
	RIGHT SIDE	39.6'	15'	10' 8.5"'	(min.)
SIZE OF BLDG.:	HEIGHT	12'	35'	45'	(max.)
	LENGTH				
	WIDTH				
RATIO OF USABLE OPEN SPACE TO LOT AREA:[3])		32%	19.7%	14% combined	(min.)
NO. OF DWELLING UNITS:		0	9	9.1	(max.)
NO. OF PARKING SPACES:		0	9	27	(min./max)
NO. OF LOADING AREAS:		N/A	N/A	N/A	(min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:		N/A	N/A	N/A	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

WOOD FRAME CONSTRUCTION. THE GROUND FLOOR OF THE FRONT MASSING (ALONG CAMBRIDGE STREET) WILL BE COMMERCIAL USE FOR THE POLISH CLUB.

1. *SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).*
2. *TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.*
3. *OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.*

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

***EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL* BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:**

***A*)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

See Attached Exhibit.

***B*)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following rearsons:

See Attached Exhibit.

C*)** ***DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

***1*)** Substantial detriment to the public good for the following reasons:

See Attached Exhibit.

***2*)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

See Attached Exhibit.

*** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM
SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the provisions of the Ordinance would involve a substantial financial and architectural hardship to the Appellant. Underutilized for many years as a single-story citizens club in a squat, unappealing brick building, the property site is ideal for infill improvement and revitalization, and for certain enhancements of pedestrian connectivity to the nearby, vibrant business districts and public transportation nodes. In response to the existing conditions, the proposal has been carefully designed and planned as a transit and pedestrian focused development with upgraded connectivity and walkability.

The site itself is located within two zoning districts: the front 100 feet is located in the BA Zone (Business A) and the rear 24 feet is located in the C-1 Zone (Residence C-1); as such, the proposed use as a multifamily residential dwelling is Allowed in both zones. The Business A Zone also Allows the proposed project's renovated Polish-American Citizens' Association of Cambridge, Inc. (the "Polish Club") space as a "club, lodge or other fraternal or sororal meeting facility." Please note, the club use is not situated within the 1,200 square feet of the Project Site located in the C-1 Zone and therefore its use provisions are not applicable.

If the property site was located entirely within the BA Zone, then Section 5.28-1 Dwellings in Non-Residential Districts would be applicable. A dwelling in a Business A district is subject to the same dimensional requirements and other restrictions as a dwelling in a Residence C-2B district. Therefore, the maximum Floor Area Ratio ("FAR") would be increased to 1.75 and the project's proposed FAR of 1.84 would be only a slight deviation from the allowed maximum. This, coupled with the proposed new space for the Polish Club, provides the proponent's rationale for requiring an FAR variance from the Ordinance combined maximum of 1.375. The proponent is proposing to maintain the Polish Club use, an existing long-time use in the community as a fraternal organization, which causes certain difficulties in siting and sizing of the building development in order to provide adequate usable space and proper circulation. The proposed project allows for nine (9) new two-bedroom, two-bathroom units as development without displacement by providing new, modernized space for the Polish Club use.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The substantial hardship is due to the unique location of the property site, which is located on the corner of Cambridge Street and Marion Street in the City's Wellington-Harrington neighborhood. Situated on an approximately 6,200 square foot lot, the existing building is a single story brick building which covers a majority of the Site and is located in two zoning

districts: the front 100 feet is located in the BA Zone (Business A) and the rear 24 feet is located in the C-1 Zone (Residence C-1). This irregularity has caused issues with siting the building in an appropriate manner on the property site without violating the setback requirements. The property location on the corner (as further illustrated in the project drawings and at the Board hearing) presents a practical difficulty in locating the structure of the Allowed Multifamily Residential Use, for the purpose of providing additional quality housing in the neighborhood, and the set-backs required are mitigated by the property site's location and shape, unlike many other nearby properties.

Additionally, the existing building currently encroaches onto the sidewalk at numerous points and the proposed project would greatly improve this existing condition by providing enhancements of pedestrian connectivity as it is carefully designed and planned as a transit and pedestrian focused development with upgraded connectivity and walkability.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:
1) Substantial detriment to the public good for the following reasons:

There will be no substantial detriment to the public good as the proposed project has been thoroughly processed with the community and the Appellant's proposed development will result in the much-needed revitalization of an under-utilized, irregularly shaped and unique property site with a new, Allowed Multifamily Residential Use, while also preserving the long-existing Polish Club Use, in a manner which is consistent with, and complementary to, the immediate and surrounding neighborhood. In this regard, the proposed project provides development without displacement by adding nine (9) new residential units while maintaining the Polish Club Use and providing for its long-term economic viability and stability within the community. As part of the proposed mitigation package for the project, and in order to further provide for the public good, the Appellant also proposes to voluntarily provide one (1) of these nine (9) units as affordable housing in conjunction with the City's inclusionary development housing policies.

In furtherance of this particular finding, the Appellant held its own informal abutter meeting on April 22, 2019, at the property site and also presented the proposed project to the East Cambridge Business Association on May 14, 2019, at the Loyal Nine restaurant at 660 Cambridge Street. The Appellant submits that the requested relief is consistent with the character and concerns providing for the public good, as the Appellant has given special attention to the siting, scale, design, and scope of the new structure, open space and vehicular and pedestrian access and neighborhood safety. Additionally, the Ordinance identifies the applicable Residence C-1 Zone as designated for "multifamily dwellings" and the Business A Zone as designated for "local and drive in retail business, offices and multifamily dwellings," which the proposed development contemplates as described within this application.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

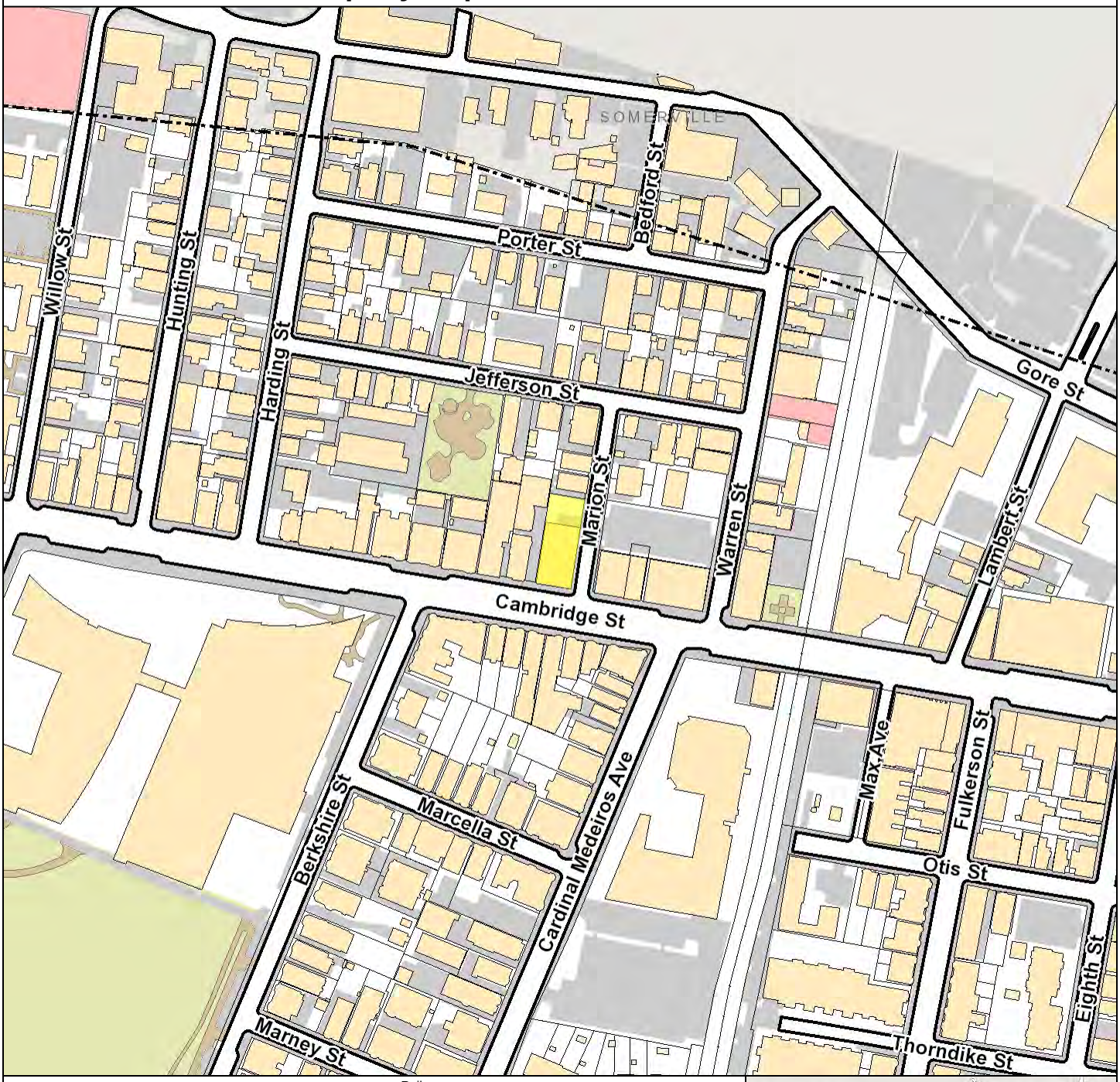
Relief may be granted without nullifying or substantially derogating from the intent or purpose of the Ordinance in regards to the Appellant's project because its proposed uses are Allowed under the Ordinance and the project's required dimensional relief is mitigated by its location in two (2) different zoning districts despite being only a 6,200 total square foot property. Additionally, as detailed above, if the site was located entirely within the BA Zone, then the maximum FAR would be 1.75 and the project's proposed FAR of 1.84 would be only a slight deviation from the allowed maximum, mostly in order to provide the proposed new space for the Polish Club. The project's required relief for Front Yard Setback and Side Yard Setback are also di minimus in nature as the existing building currently encroaches onto the sidewalk at numerous points and the proposed project would improve this existing condition. The proposed right Side Yard Setback is 15'8", in excess of the required 10'8.5" right Side Yard Setback calculation, while the Front Yard Setbacks at both Cambridge Street and Marion Street (as it is a corner lot) are mitigated by the fact that these setbacks are consistent with the existing street line conformity on a busy commercial street with no material impact on any direct abutters.

Finally, while the proposed project does require zoning relief for both the parking space size allocation and the parking amount, it does provide a one-to-one parking ratio for the residential units and the existing condition for the Polish Club does not provide any on-site parking allotment for patrons. As further mitigation of the on-site parking programming deficiency caused primarily by the lack of parking for the Polish Club Use, the property is located an easy walk directly down Cambridge Street at approximately 0.6 miles from the Lechmere MBTA Green Line Station and MBTA Bus Station providing access to downtown Boston and beyond via the B, C, D, and E train lines and the 69, 80, 87 and 88 buses. It is also located directly across the street from a large public parking lot at the corner of Marion Street and Macarelli Way which provides over 30 public parking spaces available for use by visitors and Polish Club patrons. Lastly, the proposed project provides 10 long term bicycle parking locker spaces and two (2) short term spaces in compliance with the Ordinance.

City of Cambridge

Property Map for 747 CAMBRIDGE ST.

June 7, 2019



City of Cambridge
Massachusetts

1" = 204 ft

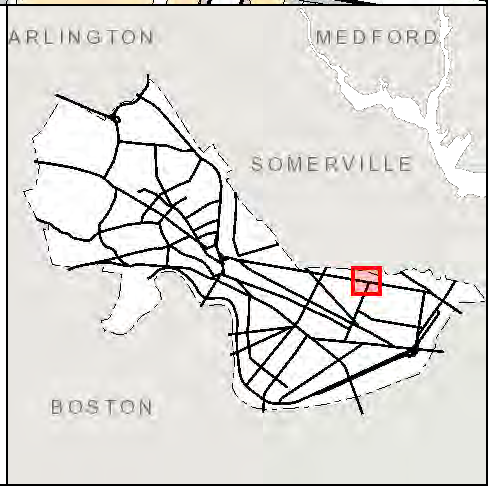
All data is provided for graphic representation only. The City of Cambridge expressly disclaims all warranties of any type, expressed or implied, including, but not limited to, any warranty as to the accuracy of the data, merchantability, or fitness for a particular purpose.

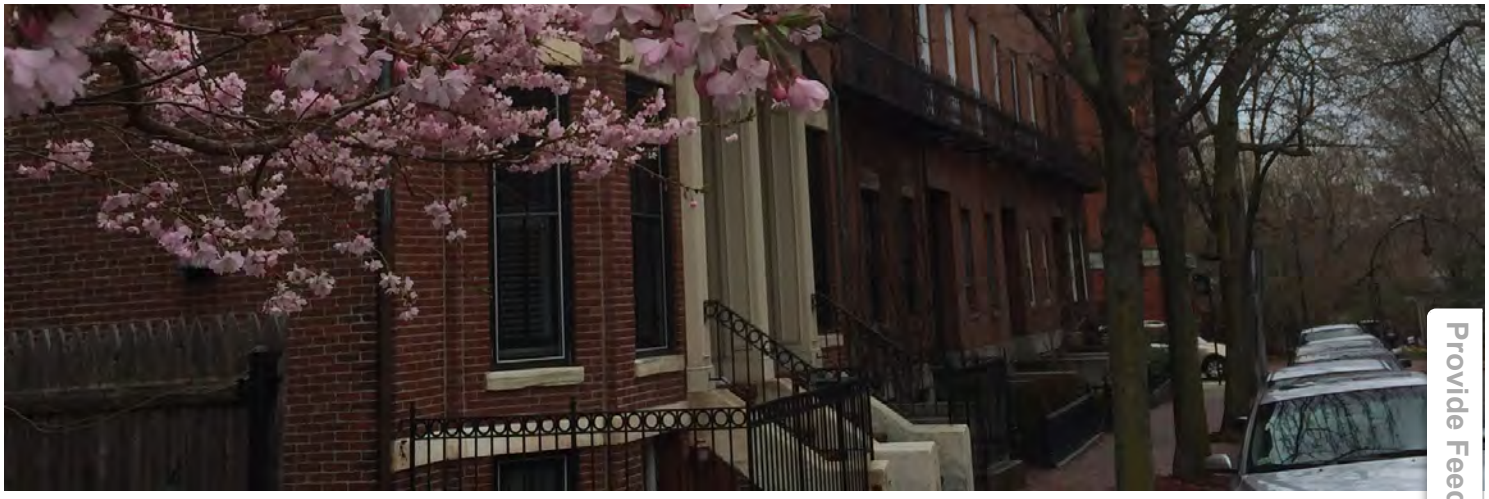
www.cambridgema.gov/gis

- Rail
- Building Footprints
- Parcels

Paved Surfaces

- Paved Roads
- Bridges
- Unpaved Roads
- Unpaved Parking
- Sidewalks
- Driveways
- Alleys
- Other Paved Surface
- Public Footpath





Provide Feedback

747 Cambridge St

Property Information

Property Class	FRAT-ORGANIZ
State Class Code	353
Zoning (Unofficial)	BA
Map/Lot	36-116
Land Area (sq. ft)	6,200

Property Value

Year of Assessment	2019
Tax District	C6
Residential Exemption	No
Building Value	$161,000
Land Value	$613,800
Assessed Value	$774,800
Sale Price	$0
Book/Page	69167/ 369
Sale Date	April 20, 2017
Previous Assessed Value	$711,900
Property Tax Amount	$11,174.35 This represents the total FY19 Real Estate Tax including the CPA Surcharge, but not including Residential Exemption or other Personal Exemptions deduction.

Owner Information

Photos

Sketches

Owner(s)	POLISH AMERICAN CITIZENS ASSOCIATION OF CAMBRIDGE & CITY OF CAMBRIDGE TAX TITLE 747 CAMBRIDGE ST CAMBRIDGE, MA 02141-1428

Building Information

COMMERCIAL BUILDING NUMBER 1, SECTION 1

Exterior

Style	CITY-CLUB
Occupancy	FRAT-ORGANIZ
Number of Stories	1
Exterior Wall Type	CONCR-BLOCK
Roof Material	RUBBER-MEMBRAN
Wall Height	12
Partititions	AVERAGE

Interior

Living Area (sq. ft.)	4,080
Number of Units	1

Systems

Heat Type	STEAM
Heat Fuel	Oil
Plumbing	AVERAGE

Condition & Grade

Year Built	1870
Overall Condition	Fair
Overall Grade	Fair

Subareas

Code	Description	Gross Area	Living Area
BAS	First Floor	4,080	4,080
UBM	Basement	4,080	0
	Total:	8,160	4,080

Provide Feedback

Architectural Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date
A-000	Cover Sheet	07/09/2019
C-1	Existing Civil Plan	11/26/2018
C-2	Proposed Civil Plan	07/09/2019
C-3	Civil Details	07/09/2019
C-4	Civil Details	07/09/2019
C-5	Demolition & Erosion Control Plan	07/09/2019
A-020	Architectural Site Plan	07/09/2019
A-021	Bike Parking Plan	07/09/2019
A-022	Area Plans	07/09/2019
A-023	Egress Diagrams	07/09/2019
A-100	1st Floor Plan	07/09/2019
A-101	2nd Floor Plan	07/09/2019
A-102	3rd Floor Plan	07/09/2019
A-103	Proposed Roof Plan	07/09/2019
A-300	Front Elevations	07/09/2019
A-301	Side Elevations	07/09/2019
A-302	Courtyard Elevations	07/09/2019
AV-1	Neighborhood Photos	11/01/2017
AV-2	Perspectives	07/09/2019
AV-3	Rendering	11/03/2017
SS-1	Shadow Study	07/09/2019
SS-2	Existing Shadow Study	07/09/2019

LOCUS PLAN:

SCALE: 1"=100'

PROJECT:
CAMBRIDGE @ MARION RESIDENCES

747 CAMBRIDGE STREET,
CAMBRIDGE MASSACHUSETTS

ARCHITECT
KHALSA DESIGN INC.
ADDRESS:
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
(617)-591-8682

CLIENT
747 CAMBRIDGE STREET, LLC
C/O KEMS HOLDING CORPORATION
200 BROADWAY, SUITE 103
LYNNFIELD MA 01940

CIVIL ENGINEER
PETER NOLAN & ASSOCIATES
ADDRESS:
697 CAMBRIDGE STREET, SUITE 103
BRIGHTON, MA 02134
(857)-891-7478

CIVIL ENGINEER
SPRUHAN ENGINEERING, P.C.
ADDRESS:
80 JEWETT ST, SUITE 1
NEWTON, MA 02458
(617)-816-0722

BZA SET:
07/09/2019

PROJECT NAME
Cambridge @ Marion Residences

PROJECT ADDRESS
747 CAMBRIDGE ST
CAMBRIDGE MA

CLIENT
747 CAMBRIDGE STREET, LLC

ARCHITECT
DESIGN
KHALSA
17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

CONSULTANTS:

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REGISTRATION

Project number	18141
Date	07/19/2019
Drawn by	ERS
Checked by	JSK
Scale	1" = 100'-0"

REVISIONS

No.	Description	Date

Cover Sheet

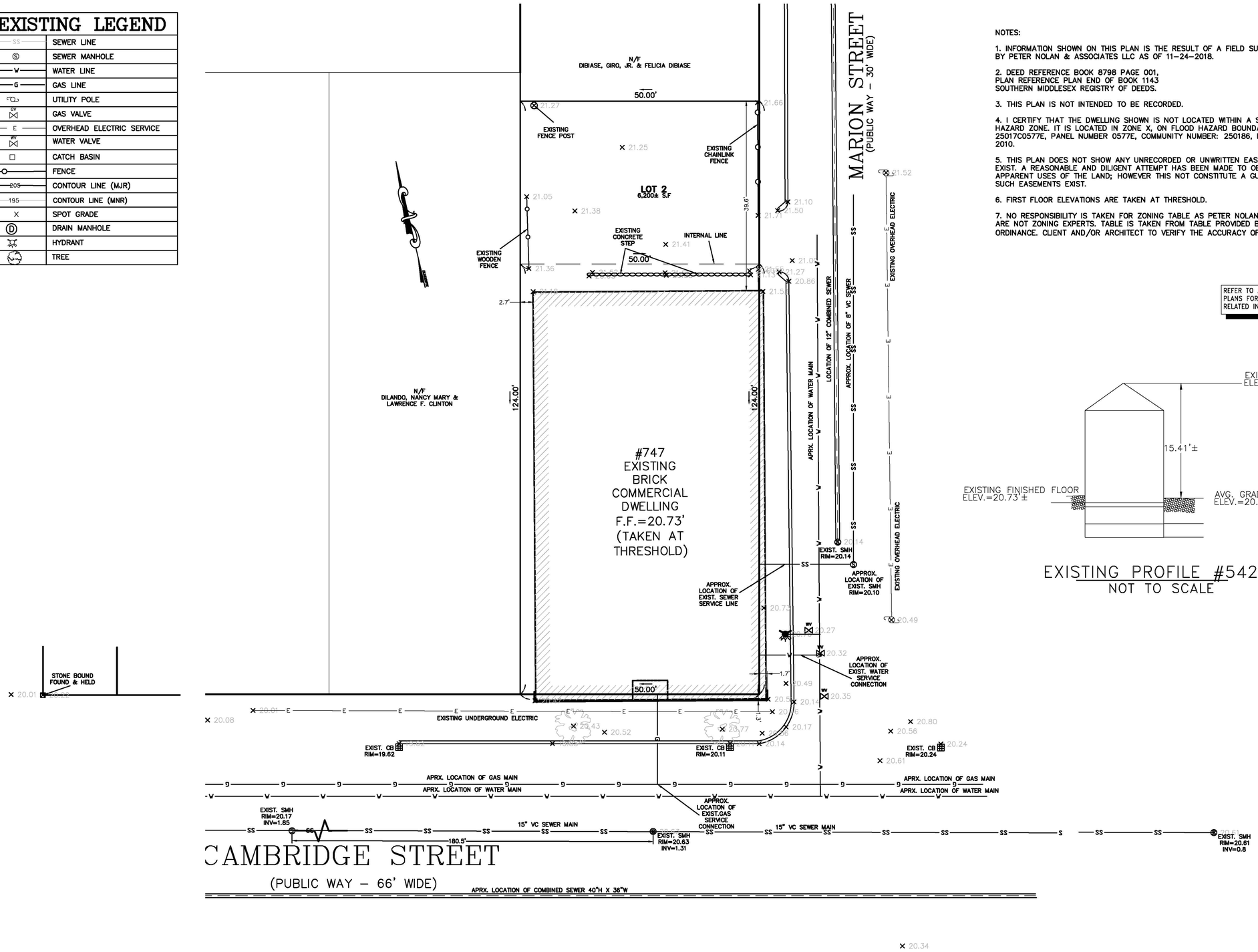
A-000

Cambridge @ Marion Residences

7/15/2019 2:09:36 PM \\TKG-SERVER\Data\18\18141-doherty-747 cambridge st cambridge\03 Drawings\00_ARCH_SD_DD\18141-747 Cambridge Street - 2019.04.19.rvt

EXISTING LEGEND

SS	SEWER LINE
Ⓢ	SEWER MANHOLE
W	WATER LINE
G	GAS LINE
	UTILITY POLE
GV	GAS VALVE
E	OVERHEAD ELECTRIC SERVICE
WV	WATER VALVE
□	CATCH BASIN
	FENCE
205	CONTOUR LINE (MJR)
195	CONTOUR LINE (MNR)
×	SPOT GRADE
Ⓓ	DRAIN MANHOLE
	HYDRANT
	TREE



NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11–24–2018.

2. DEED REFERENCE BOOK 8798 PAGE 001,
PLAN REFERENCE PLAN END OF BOOK 1143
SOUTHERN MIDDLESEX REGISTRY OF DEEDS.

3. THIS PLAN IS NOT INTENDED TO BE RECORDED.

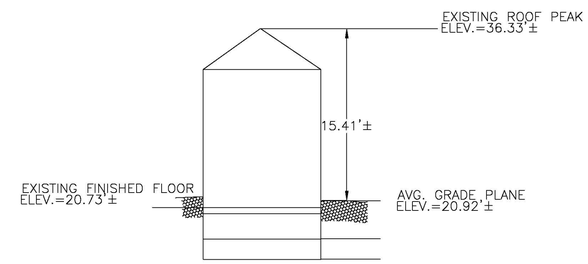
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0577E, PANEL NUMBER 0577E, COMMUNITY NUMBER: 250186, DATED JUNE 04, 2010.

5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.

6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.

7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.

REFER TO ARCHITECTURAL PLANS FOR ALL ZONING RELATED INFORMATION



EXISTING PROFILE #542
NOT TO SCALE

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

PETER NOLAN & ASSOCIATES, LLC
LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS
697 CAMBRIDGE STREET, (SUIT103),
BRIGHTON, MA 02135
Tel:857-891-7478
617-782-1533
Fax:617-2025691

SPRUHAN ENGINEERING, P.C.
80 JEWETT ST, (SUITE 1)
NEWTON, MA 02458
Tel: 617-816-0722
Email:edmond@spruhaneng.com

747 CAMBRIDGE STREET, CAMBRIDGE MASSACHUSETTS

REVISION BLOCK

DESCRIPTION	DATE

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of Peter Nolan & Associates, LLC, or Spruhan Engineering, P.C. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of Spruhan Engineering, P.C.. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and Spruhan Engineering, P.C., must be notified of any variation from the dimensions and conditions shown by these drawings.

EXISTING CONDITIONS SITE PLAN

SCALE:	1" = 10'
DATE:	11-26-2018
DRAWN BY:	AU
CHECKED BY:	PJN
APPROVED BY:	PJN

SHEET:

001

NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11–24–2018.

2. DEED REFERENCE BOOK 8798 PAGE 001,
PLAN REFERENCE PLAN END OF BOOK 1143
SOUTHERN MIDDLESEX REGISTRY OF DEEDS.

3. THIS PLAN IS NOT INTENDED TO BE RECORDED.

4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0577E, PANEL NUMBER 0577E, COMMUNITY NUMBER: 250186, DATED JUNE 04, 2010.

5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.

6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.

7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.

REFER TO ARCHITECTURAL PLANS FOR ALL ZONING RELATED INFORMATION

AREA LEGEND

- PROPOSED PERMEABLE PAVERS
- PROPOSED ROOF AREA
- PROPOSED PAVED AREA
- PROPOSED LANDSCAPED AREA

DRAINAGE AREA SUMMARY

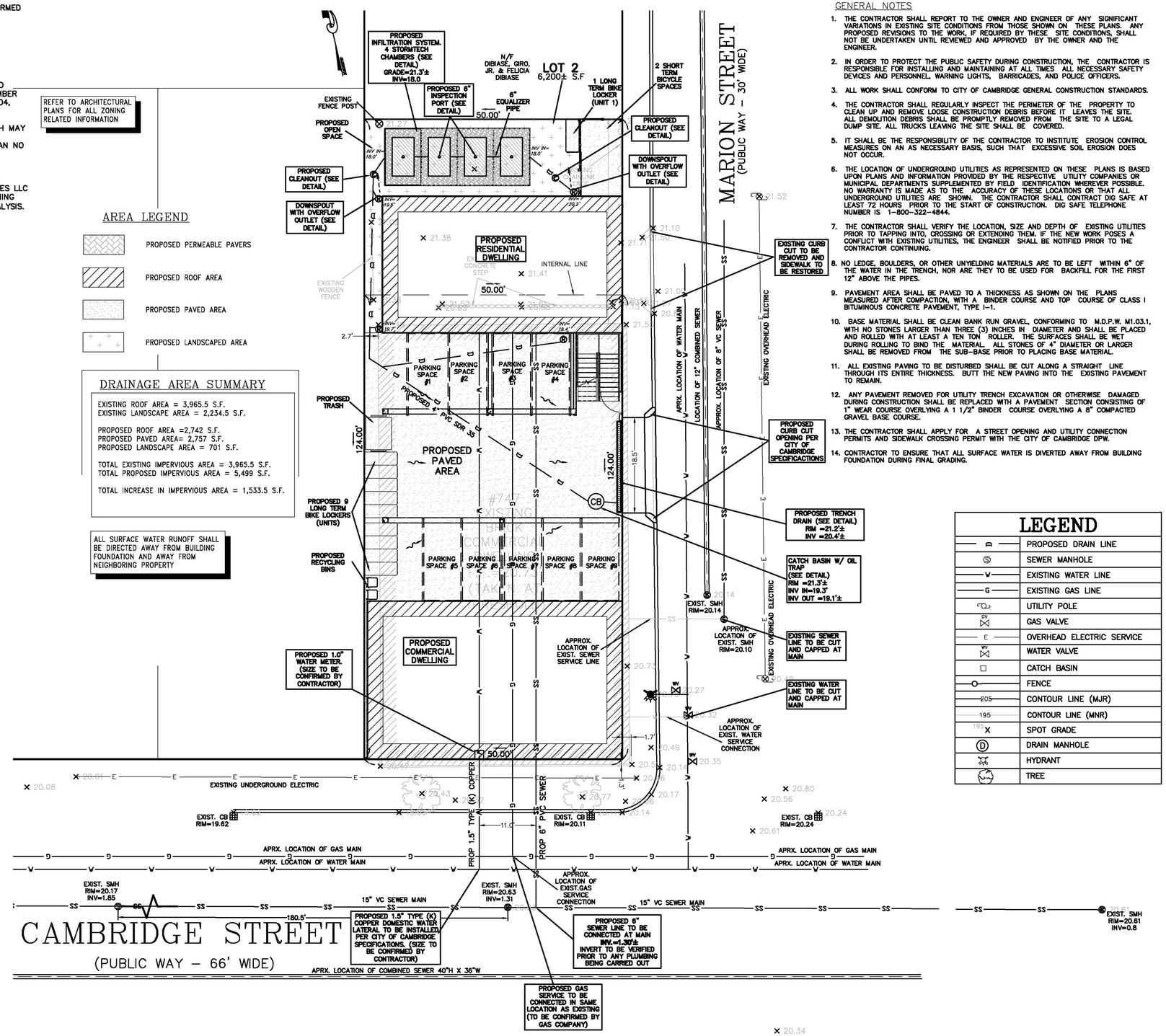
EXISTING ROOF AREA = 3,965.5 S.F.
EXISTING LANDSCAPE AREA = 2,234.5 S.F.

PROPOSED ROOF AREA =2,742 S.F.
PROPOSED PAVED AREA= 2,757 S.F.
PROPOSED LANDSCAPE AREA = 701 S.F.

TOTAL EXISTING IMPERVIOUS AREA = 3,965.5 S.F.
TOTAL PROPOSED IMPERVIOUS AREA = 5,499 S.F.

TOTAL INCREASE IN IMPERVIOUS AREA = 1,533.5 S.F.

ALL SURFACE WATER RUNOFF SHALL BE DIRECTED AWAY FROM BUILDING FOUNDATION AND AWAY FROM NEIGHBORING PROPERTY



GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

GENERAL NOTES

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
2. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS.
3. ALL WORK SHALL CONFORM TO CITY OF CAMBRIDGE GENERAL CONSTRUCTION STANDARDS.
4. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR.
6. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTRACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1–800–322–4844.
7. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
8. NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE WATER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE THE PIPES.
9. PAVEMENT AREA SHALL BE PAVED TO A THICKNESS AS SHOWN ON THE PLANS MEASURED AFTER COMPACTION, WITH A BINDER COURSE AND TOP COURSE OF CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I–1.
10. BASE MATERIAL SHALL BE CLEAN BANK RUN GRAVEL, CONFORMING TO M.D.P.W. M1.03.1, WITH NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB–BASE PRIOR TO PLACING BASE MATERIAL.
11. ALL EXISTING PAVING TO BE DISTURBED SHALL BE CUT ALONG A STRAIGHT LINE THROUGH ITS ENTIRE THICKNESS. BUTT THE NEW PAVING INTO THE EXISTING PAVEMENT TO REMAIN.
12. ANY PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OR OTHERWISE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH A PAVEMENT SECTION CONSISTING OF 1" WEAR COURSE OVERLYING A 1 1/2" BINDER COURSE OVERLYING A 8" COMPACTED GRAVEL BASE COURSE.
13. THE CONTRACTOR SHALL APPLY FOR A STREET OPENING AND UTILITY CONNECTION PERMITS AND SIDEWALK CROSSING PERMIT WITH THE CITY OF CAMBRIDGE DPW.
14. CONTRACTOR TO ENSURE THAT ALL SURFACE WATER IS DIVERTED AWAY FROM BUILDING FOUNDATION DURING FINAL GRADING.

LEGEND

	PROPOSED DRAIN LINE
	SEWER MANHOLE
	EXISTING WATER LINE
	EXISTING GAS LINE
	UTILITY POLE
	GAS VALVE
	OVERHEAD ELECTRIC SERVICE
	WATER VALVE
	CATCH BASIN
	FENCE
205	CONTOUR LINE (MJR)
195	CONTOUR LINE (MNR)
	SPOT GRADE
	DRAIN MANHOLE
	HYDRANT
	TREE

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747 CAMBRIDGE STREET, CAMBRIDGE MASSACHUSETTS

REVISION BLOCK

DESCRIPTION	DATE

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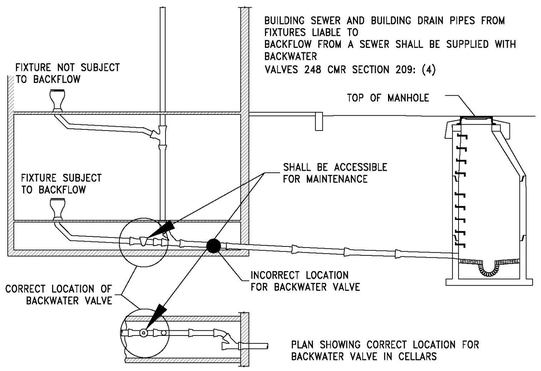
CIVIL PLAN

SCALE:	1" = 10'
DATE:	07-09-19
DRAWN BY:	AU
CHECKED BY:	ES
APPROVED BY:	ES

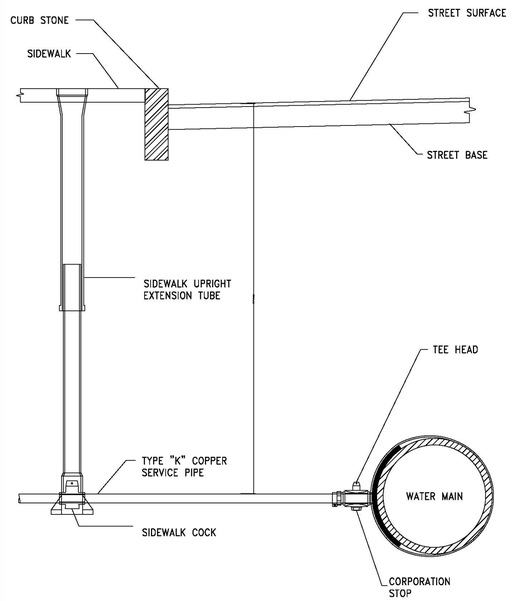
SHEET:

002



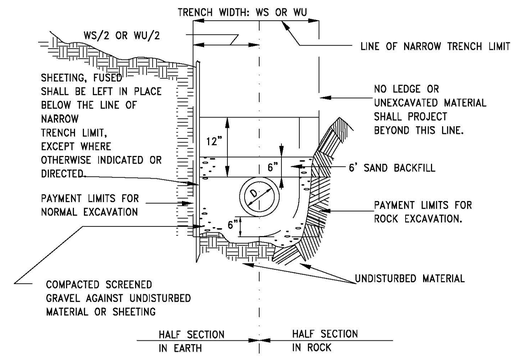
NOTE:
ALL PLUMBING FIXTURES BELOW THE LEVEL OF THE TOP OF THE MANHOLE OF THE SEWER SERVICING THE FIXTURE(S) SHALL BE CONSIDERED AS BEING SUBJECT TO BACKFLOW AND SHALL BE SUPPLIED WITH BACKWATER VALVES.

LOCATION OF BACKWATER VALVES
SCALE: NOT TO SCALE

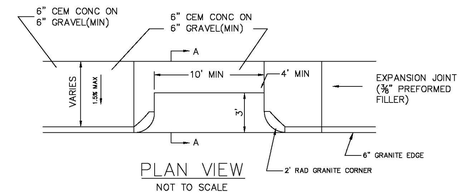


NEW WATER CONNECTION DETAIL
SCALE: NOT TO SCALE

TRENCH WIDTH WS OR WU		
DIAM. OF PIPE	WU UNSHEETED	WS SHEETED
12" AND SMALLER	3'-0"	4'-2"
15" AND LARGER	O.D.+20"	O.D.+36"

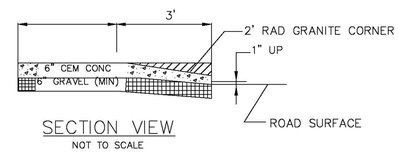


WATER TRENCH SECTION
NOT TO SCALE



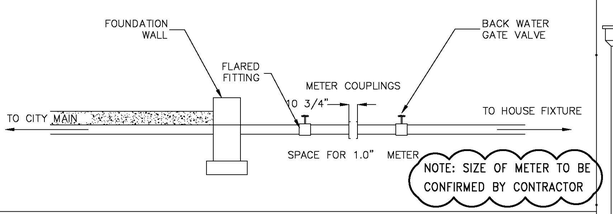
PLAN VIEW
NOT TO SCALE

TYPICAL RESIDENTIAL DRIVEWAY

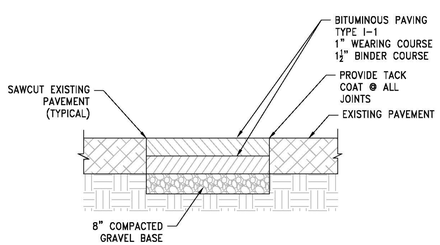


SECTION VIEW
NOT TO SCALE

CURB CUT DETAILS
NOT TO SCALE

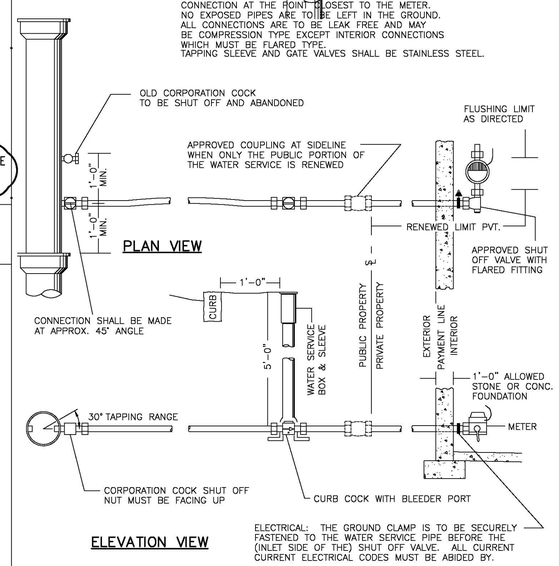


1.0" WATER METER DETAIL
SCALE: NOT TO SCALE



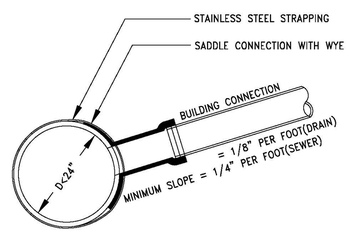
PAVEMENT MATCH SAWCUT DETAIL
N.T.S.

NOTES: ALL NEW PIPE IS TO BE FLUSHED JUST PRIOR TO FINAL CONNECTION AT THE POINT CLOSEST TO THE METER.
NO EXPOSED PIPES ARE TO BE LEFT IN THE GROUND.
ALL CONNECTIONS ARE TO BE LEAK FREE AND MAY BE COMPRESSION TYPE EXCEPT INTERIOR CONNECTIONS WHICH MUST BE FLARED TYPE.
TAPPING SLEEVE AND GATE VALVES SHALL BE STAINLESS STEEL.



ELECTRICAL: THE GROUND CLAMP IS TO BE SECURELY FASTENED TO THE WATER SERVICE PIPE BEFORE THE (INLET SIDE OF THE) SHUT OFF VALVE. ALL CURRENT CURRENT ELECTRICAL CODES MUST BE ABIDED BY.

TYPICAL WATER SERVICE CONFIGURATIONS
SCALE: NOT TO SCALE



EXISTING SEWER OR DRAIN PIPE

NOTES:

1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE.
2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
3. FULL WYE CONNECTION FITTINGS MAY BE USED
4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

TYPICAL SADDLE CONNECTION TO EXISTING SEWER OR DRAIN
SCALE: NOT TO SCALE

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APPROVED BY:	ES

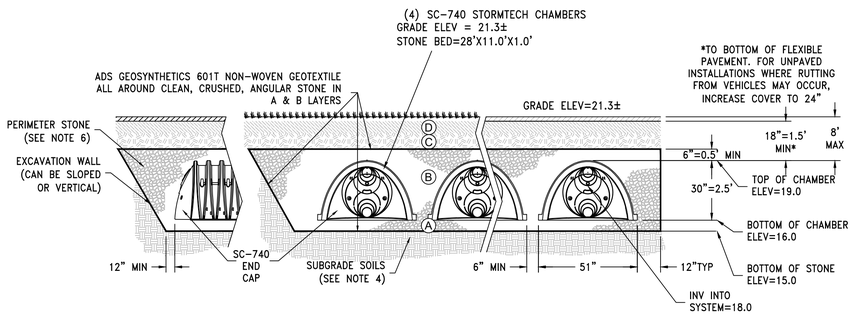
SHEET:
003

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION		DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145[1] A-1, A-2-4, A-3 OR AASHTO M43[1] 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43[1] 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43[1] 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. [2, 3]

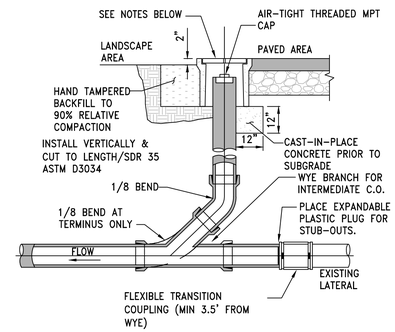
PLEASE NOTE:

1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

1. SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
4. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
5. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
6. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

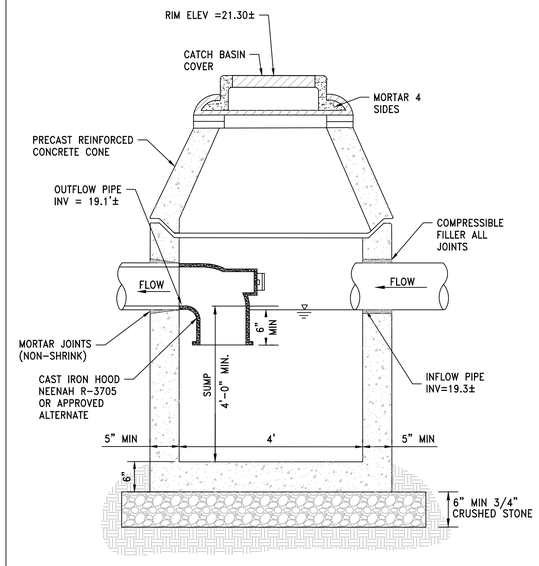


NOTES:

1. RECTANGULAR OR CIRCULAR BOXES ARE PERMITTED.
2. CONCRETE/FIBERLYTE LIDS ARE ACCEPTABLE IN NON-VEHICULAR AREAS. H-20 CAST IRON TRAFFIC LIDS AND BOXES IN VEHICULAR AREAS.
3. ALL CLEANOUT LIDS SHALL BE MARKED WITH AN "S" OR THE WORD "SEWER" FOR SANITARY SEWER CLEANOUTS
4. CLEANOUT PIPE SHALL BE THE SAME DIAMETER AS THE CONNECTED SITE PIPE.
5. TERMINATE C.O. AT CLOSEST JOINT TO SURFACE WITH TEMPORARY PLUG. AFTER ALL BACKFILL IS COMPLETE AND SUB-GRADE MADE IN AREAS TO BE PAVED, THE FINAL RISER PIPE AND BOX SHALL BE INSTALLED AS SHOWN.

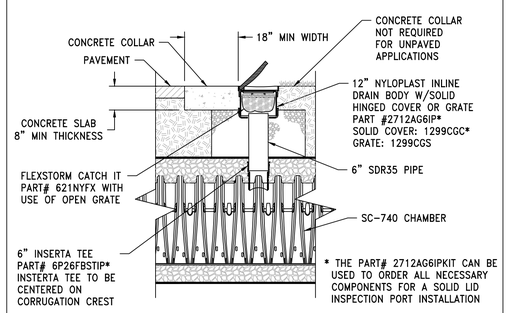
CLEANOUT TO GRADE

NTS



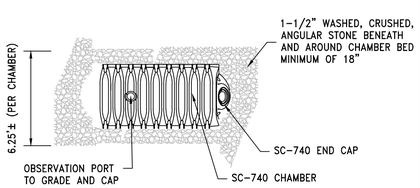
CATCH BASIN WITH OIL TRAP DETAIL

N.T.S.



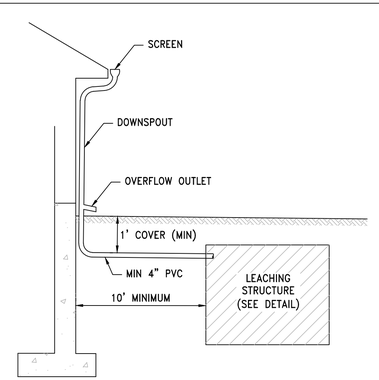
SC-740 6" INSPECTION PORT DETAIL

N.T.S.



STORMTECH SC-740 CHAMBER SYSTEM PLAN VIEW DETAIL

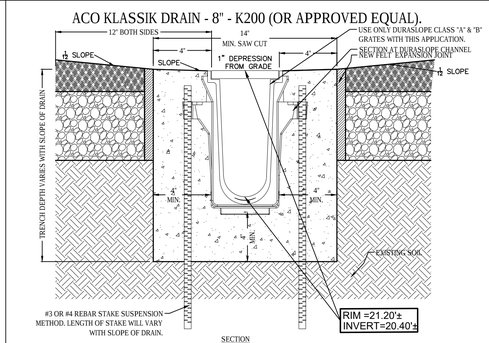
N.T.S.



TYPICAL DOWNSPOUT DETAIL

N.T.S.

ACO KLASSIK DRAIN - 8" - K200 (OR APPROVED EQUAL).



SECTION

NOTES:
1. CHANNELS TO BE INSTALLED WITH BLANK GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR (COVER HOLES WITH TAPE).
2.INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3.USE DS-340 UNIVERSAL OUTLET FOR 6" PIPE CONNECTION. (IF APPLICABLE)

TRENCH DRAIN DETAIL

N.T.S.

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APPROVED BY:	ES

SHEET: 004

EROSION CONTROL NOTES

1. THE EROSION CONTROL PLANS IN THIS SET SHALL BE REVIEWED AND IMPLEMENTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL WORK WITH THE PROJECT'S ENGINEER THROUGHOUT CONSTRUCTION TO ENSURE THE SITE IS PROPERLY PROTECTED FROM POSSIBLE POLLUTANTS. THE ENGINEER HAS AUTHORIZATION TO ADD OR REMOVE BMP MEASURES THROUGHOUT CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
3. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
4. AT THE END OF EACH WORKDAY, AT THE END OF EACH WORKWEEK, THE CONTRACTOR SHALL IMPLEMENT ALL TEMPORARY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, DIRECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES.
5. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO LEAVE THE SITE. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
6. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR SEEDING.
7. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
8. ANY MATERIAL STOCKPILED, FOR LONGER THAN 14 DAYS, DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
9. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
11. ALL SPILLS AND/OR LEAKS SHALL BE IMMEDIATELY CLEANED UP AND MITIGATED.

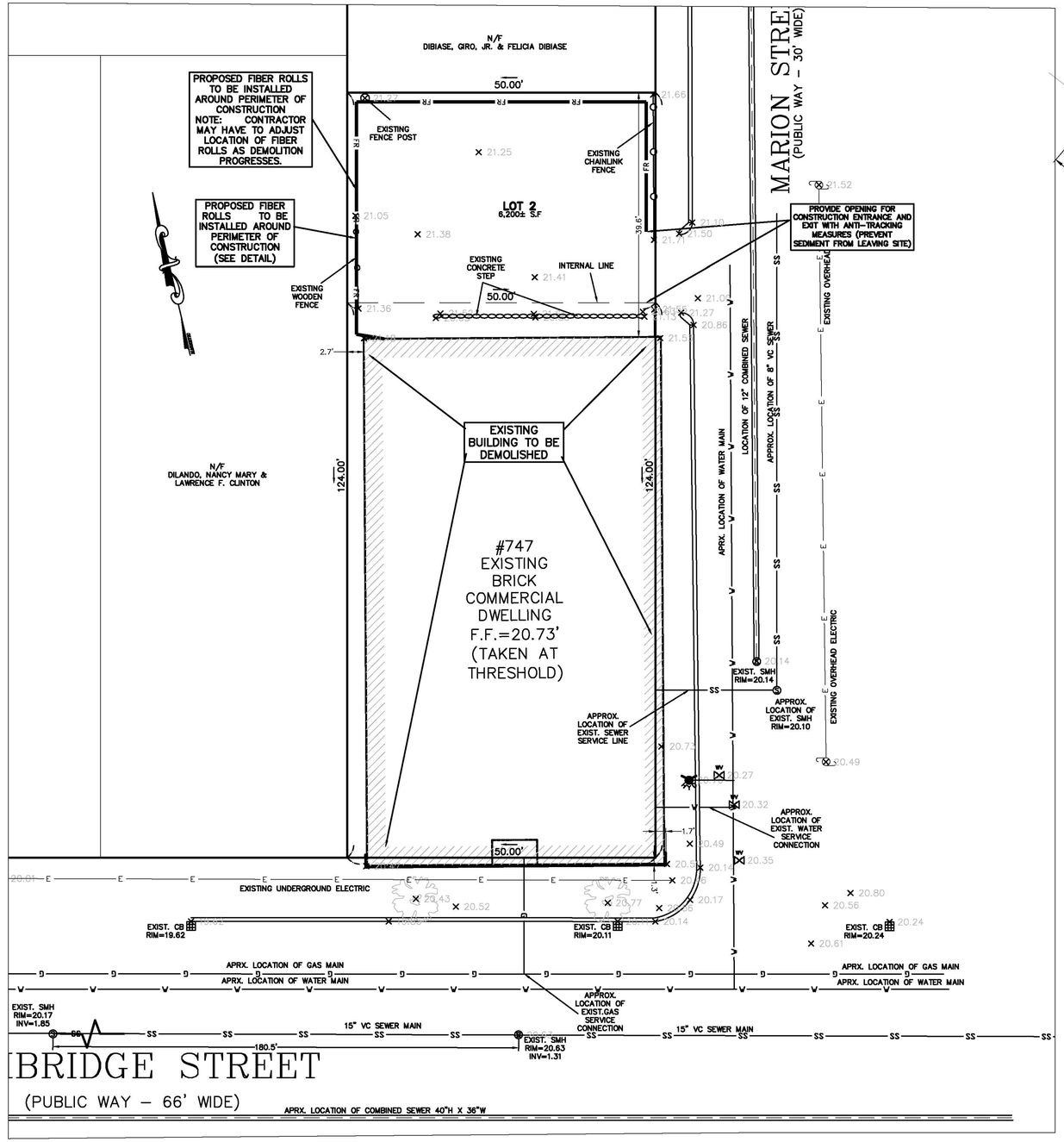
CONSTRUCTION MATERIALS

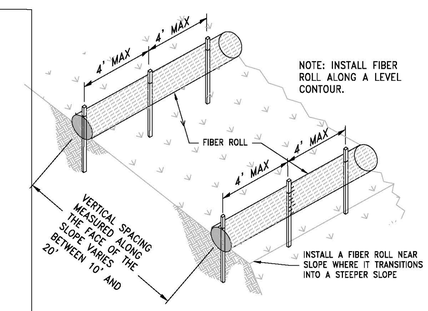
- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
- ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
- EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
- BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

WASTE MANAGEMENT

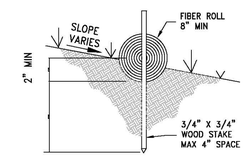
- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
- SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.

  PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND
- CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.





TYPICAL INSTALLATION



ENTRENCHMENT DETAIL

FIBER ROLLS

NTS

FIBER ROLL CONSTRUCTION SPECIFICATIONS

1. PREPARE SLOPE BEFORE THE WATTLING PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
2. DIG SMALL TRENCHES ACROSS SLOPE ON CONTOUR, TO PLACE WATTLES IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE WATTLE. WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE WATTLE 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT WATTLES ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.
3. START BUILDING TRENCHES AND INSTALL WATTLES FROM THE BOTTOM OF THE SLOPE AND WORK UP.
4. CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.
5. LAY THE WATTLE ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE STRAW WATTLE. USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE WATTLE AND INTO THE SOIL FOR THE WOODEN STAKES.
6. DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE WATTLE. IF USING WILLOW STAKES REFER TO USDA SOIL CONSERVATION SERVICE TECHNICAL GUIDE, BIOENGINEERING, FOR GUIDELINES TO PREPARING LIVE WILLOW MATERIAL.
7. INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH WATTLE. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY EROSIVE OR VERY STEEP SLOPES.

FIBER ROLL INSTALLATION AND MAINTENANCE

8. INSPECT THE STRAW WATTLE AND THE SLOPES AFTER SIGNIFICANT STORMS. MAKE SURE THE WATTLES ARE IN CONTACT WITH THE SOIL.
9. REPAIR ANY RILLS OR GULLIES PROMPTLY.
10. RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.

FR — FIBER ROLLS

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

VEHICLE STORAGE AND MAINTENANCE

- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

LANDSCAPE MATERIALS

- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

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747 CAMBRIDGE STREET, CAMBRIDGE MASSACHUSETTS

REVISION BLOCK

DESCRIPTION	DATE

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DEMOLITION & EROSION CONTROL PLAN

SCALE:	1" = 10'
DATE:	07-09-19
DRAWN BY:	AU
CHECKED BY:	PN
APPROVED BY:	PN

SHEET:

005

ZONING CHART

	ZONE : BA	REQUIRED (BA)	REQUIRED (C1)	REQUIRED (C2B)	REQUIRED (COMBINED)	EXISTING	PROPOSED	REMARKS
		1,500 S.F. IN BA ZONE	1,200 S.F. IN C1 ZONE	3,500 S.F. IN C2B ZONE				
	LOT AREA, MIN S.F.	N/A	5,000 S.F.	5,000 S.F.		6,200 S.F.	6,200 S.F.	COMPLIES
	LOT AREA, MIN S.F. / DU	600 S.F. / DU 2.5 DU ALLOWED	1,500 S.F. / DU 0.8 DU ALLOWED	600 S.F. / DU 5.8 DU ALLOWD	9.1 DU ALLOWED (See 5.27.1 Below)	1 COMMERCIAL SPACE	9 DU + 1 COMMERCIAL SPACE	COMPLIES
	MAX. FAR	1 (1,500)	0.75 (900 S.F.)	1.75 (6,125 S.F.)	8,525 S.F. (1.375) (See 5.27.2 Below)	.66 (4,080 S.F.) PER DATABASE	11,451 S.F. (1.84) (9,951 S.F. RESIDENTIAL)	DOES NOT COMPLY
	MIN. LOT WIDTH	N/A	50'	50'	50'	50' - 0"	50' - 0"	COMPLIES
SETBACKS	MIN. FRONT YARD CAMBRIDGE ST.)	0'-0"	(H+L) / (4+2) (35+50)/4=14.2' 10' MIN.	(H+L) / (4+2) (35+50)/4=14.2' 10' MIN.	14.2' 10' MIN.	1.3' OVER 31.3' FROM CL OF STREET	0'-0" (33' FROM CL OF ST) 4'-6" @ Residential (37'-6" FROM CL OF ST)	COMMERCIAL COMPLIES W/ BA RESIDENTIAL DOES NOT COMPLY W/ C-1 OR C-2B
	MIN. FRONT YARD MARION ST.)	0'-0"	(H+L) / (4+2) (35+92)/6=21.2' 10' MIN.	(H+L) / (4+2) (35+92)/6=21.2' 10' MIN.	21.2' 10' MIN.	1.7' OVER 28.3' FROM CL OF STREET	0'-0" (15' FROM CL OF ST) 0'-0" @ Residential	COMMERCIAL COMPLIES W/ BA RESIDENTIAL DOES NOT COMPLY W/ C-1 OR C-2B
	MIN SIDE YARD (LEFT)	0'-0"	(H+L) / (5+2) / 7'-6" MIN REFER TO DIAGRAM BELOW 11'-0.5" AT NORTH PORTION 11'-8" AT SOUTH PORTION	(H+L) / (5+2) REFER TO DIAGRAM BELOW 11'-0.5" AT NORTH PORTION 11'-8" AT SOUTH PORTION	11'-0.5" AT NORTH PORTION 11'-8" AT SOUTH PORTION	2.7'	0'-0" @ Commercial 3'-6" @ Residential	COMMERCIAL COMPLIES W/ BA RESIDENTIAL DOES NOT COMPLY W/ C-1 OR C-2B
	MIN SIDE YARD (RIGHT)	0'-0"	(H+L) / (5+2) (35+40) / 7 = 10.7 7'-6" MIN	(H+L) / (5+2) (35+40) / 7 = 10.7 10' MIN	10.7 10' MIN	2.7'	15'	COMMERCIAL COMPLIES W/ BA RESIDENTIALCOMPLIES W/ C-2B
	MAX HEIGHT	45'-0"	35'-0"	45'-0"	45' W/IN BA / 35' W/IN C1	+/-12'-0"	35'	COMPLIES
	MIN RATIO OF PRIVATE OP. SP. TO LOT AREA	NONE	30% (360 S.F.)	15% (525 S.F.)	885 S.F. (14% OF SITE)	+/- 32% 2,003 S.F.	19.7% (1,227 S.F.)	COMPLIES
	PARKING	1 SPACE/6 OCCUPANTS 17 SPACES REQUIRED	1 SPACE/DU	1 SPACE/DU	9 RESIDENTIAL SPACES 17 COMMERCIAL SPACES	0 SPACES	9 SPACES	RESIDENTIAL DOES NOT COMPLY COMMERCIAL DOES NOT COMPLY
	CLUB/ LODGE / OTHER MTG FACILITY: 1 PER 6 MEMBERS BASED ON MAXIMUM RATED CAPACITY (1,500 S.F. CLUB / 15 NET PER 2015 IBC 1004.1.2-ASSEMBLY WITHOUT FIXED SEATS-UNCONCENTRATED= 100 OCCUPANTS) 100 OCCUPANTS / 1 SPACE PER 6 OCCUPANTS=17 SPACES							
	BICYCLE PARKING	.8 SPACES / 1,000 S.F.(1 REQ'D) LONG TERM 0.6 SPACE / 1,000 S.F. (0.9 REQ'D) SHORT TERM	1 SPACE/DU .10 SPACE/DU	1 SPACE/DU .10 SPACE/DU	11 LONG TERM SPACES 2 SHORT TERM SPACES		10 SPACES 2 SPACES (1 RACK)	COMPLIES COMPLIES

5.24.4 Measurements for minimum yards which are determined by formula shall be made in the following manner:
(1) "H" is the height of the building. "L" is the length of the wall measured parallel to the corresponding lot or street line. The front yard is measured from the street line, or building line where such has been established, except where otherwise indicated herein. **For buildings of forty (40) feet or less in height the denominator in the yard formulas in the Tables in Section 5.30 may be increased by two** subject to the minimum yard requirements set forth in footnotes a, b and c of Tables 5-1 and 5-2.

5.27.1- The total number of dwelling units allowed shall be the sum of the total dwelling units allowed in each district, determined by adding the lota rea in each district divided by the minimum lota rea per dwelling unit for each district. Where the computation of the total number of dwelling units allowed in each district results in two fractional numbers and where the sum of the resulting remainders from both districts equals or exceeds one, an additional unit shall be permitted.

$$\text{Max \# of dwelling units} = \frac{\text{Lot area in district 1 (BA)}}{\text{district 1 min lot area/du}} + \frac{\text{Lot area in district 2 (C1)}}{\text{district 2 min lot area/du}} \frac{\text{Lot area in district 3 (C2B)}}{\text{district 3 min lot area/du}}$$

$$\text{Max \# of dwelling units} = \frac{1500\text{ s.f.}}{600\text{ s.f./du}} + \frac{1{,}200\text{ s.f.}}{1{,}500\text{ s.f. /du}} + \frac{3{,}500\text{ s.f.}}{600\text{ s.f./du}}$$

Max # of dwelling units = 2.5 (BA Zone) + .08 (C1 Zone) + 5.8 (C2B Zone)
Max # of dwelling units = 9.1 DU Allowed

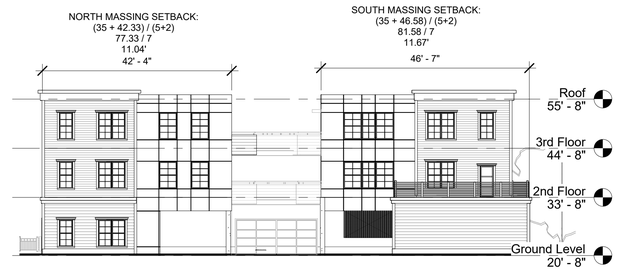
5.27.2- The maximum gross floor area shall be the sum of the total allowed gross floor area in each district, determined by adding the lot area in each district multiplied by the maximum allowed floor area ratio (FAR) for each district.

Max Gross Floor Area = (Lot area in district 1 (BA) x district 1 FAR) + (Lot area in district 2 (C1) x district 2 Far) + (Lot area in district 3 (C-2B) x distict 3 FAR)
Max Gross Floor Area = (1,500 s.f. x 1.0) + (1,200 s.f. x 0.75) + (3,500 s.f. x 1.75)
Max Gross Floor Area = (1,500 s.f.) + (900 s.f.) + (6,125 s.f.)
Max Gross Floor Area = 8,525 s.f.

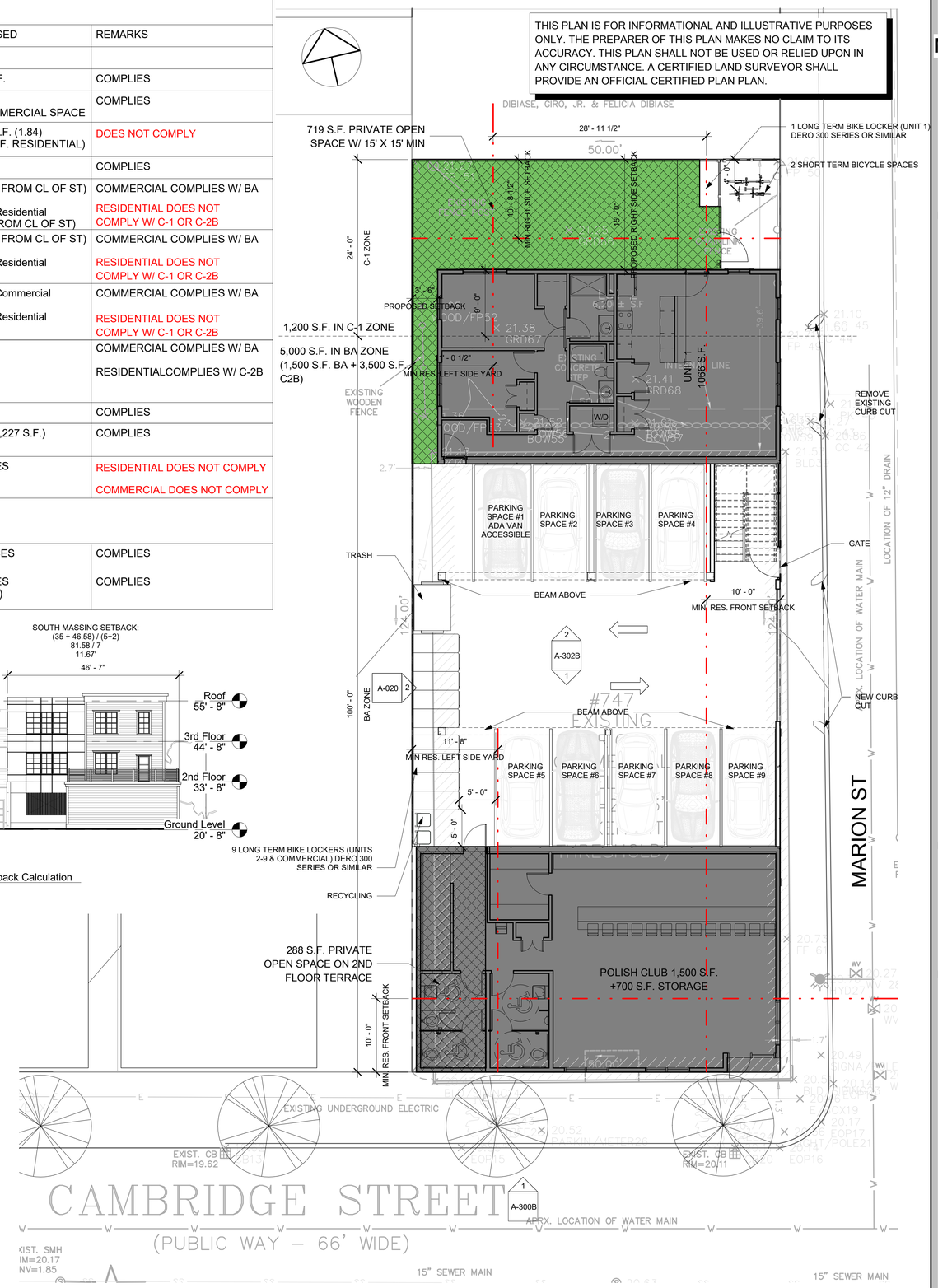
5.28.1-Dwellings in Non Residential Districts. A dwelling shall be subject to the dimensional standards generally applicable in the district set forth in the Tables of Dimensional Requirements in Section 5.30, except as provided for below.
a. A dwelling in a Business A district shall be subject to the same dimensional requirements and other restrictions as a dwelling in a Residence C-2B district, except that the height limitation on lots abutting Hampshire Street shall be sixty-five (65) feet.

30% AFFORDABLE HOUSING BONUS:
Maximum Residential S.F.: (900 s.f. (C-1 Zone) + 6,125 s.f. (C-2B Zone) = 7,025 s.f. total
7,025 s.f. X 30% = 2,107.5
7,025 Max Residenital base S.F. + 30% Inclusionary Bonus = 9,132.5 s.f.
9,132.5 s.f. Maximum Residential S.F. (W/ Bonus) + 1,500 s.f. (BA Zone) = 10,632.5

If the 30% inclusionary bonus is used, the maximum Floor Area Ratio is 10,632.5 (With 1,500 s.f. remaining in BA Zone)
Proposed Floor Area Ratio = 11,451 s.f.



2 Left Side Setback Calculation
1/16" = 1'-0"



1 Site Plan
1/8" = 1'-0"

0' 4' 8' 16' 32'

PROJECT NAME
Cambridge @ Marion Residences

PROJECT ADDRESS
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CAMBRIDGE MA

CLIENT
747 CAMBRIDGE STREET, LLC

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CONSULTANTS:

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REGISTRATION

Project number	18141
Date	07/19/2019
Drawn by	ERS
Checked by	JSK
Scale	As indicated

REVISIONS

No.	Description	Date

Architectural Site Plan

A-020

Cambridge @ Marion Residences

7/15/2019 2:09:53 PM \\TKG-SERVER\Data\18\18141-doherty-747 cambridge st cambridge\03 Drawings\00_ARCH_SD_DD\18141-747 Cambridge Street - 2019.04.19.rvt

HOW MUCH BICYCLE PARKING IS REQUIRED BY ZONING?

The tables below summarize the zoning requirements for some typical land uses. For more detail, review Section 6.100 of the Zoning Ordinance. When calculating the required number of long-term or short-term bicycle parking spaces for a particular use, round up to the nearest whole number.

	Minimum Required Bicycle Parking (see pg. 7 for more details)	
Residential Use Type	**Long-Term**	**Short-Term**
Single-family dwellings Two-family dwellings Rectories, parsonages	No minimum	No minimum
Townhouse dwellings Multifamily dwellings	1.00 space per unit for the first 20 units in a building; 1.05 spaces per unit for additional units	0.10 space per unit on a lot (for lots with 4 or more units)
Elderly oriented congregate housing	0.50 space per unit	0.05 space per unit
Lodging houses, convents, monasteries, dormitories, fraternities, sororities	0.50 space per bed	0.05 space per bed
Hotels, motels Tourist houses	0.02 space per sleeping room	0.05 space per sleeping room

Note:

Where four or fewer long-term bicycle parking spaces are required, they may be provided in a covered outdoor location rather than an enclosed structure.

photo by Greg Rasman

SITING BICYCLE PARKING

Bicycle parking must be designed for convenient daily use, not simply for storage of bicycles. Location is an extremely important factor in the usefulness of a bicycle rack. The rack must be located in a safe and accessible place with adequate space to maneuver a bicycle in and out.

photo by John Luton

Safe locations are:

- In full view, maximizing visibility and minimizing vandalism, near pedestrian traffic, windows, and/or well-lit areas.
- Under cover, to protect bicycles from inclement weather.
- Far enough away from the street or parking spaces so that bicycles will not be damaged by cars, setback if possible.
- Not obstructing pedestrian traffic.

Accessible locations have these characteristics:

- They are between the road/path that cyclists use and the entrance of the building.
- The primary access route is at least 5 feet wide.
- The primary access route does not have a slope greater than 5% (8% if level landing is provided every 30 feet of linear distance).
- Access may be provided by an elevator with interior dimensions of 80" x 54".
- Close to the main entrance that cyclists use for the building. For short-term parking within 25' is ideal but no more than 50' is required.

Weather-protected bicycle parking is desirable where bikes are parked for long periods.

SHORT-TERM AND LONG-TERM PARKING

Some aspects of bicycle parking are different depending on whether it will serve people who are storing bicycles all day long or overnight, or people who are making short trips to and from the site.

Long-Term:

Long-term Bicycle Parking must be located in an enclosed, limited-access area designed to protect bicycles from precipitation and from theft. It may be provided in the following types of facilities:

- Enclosed spaces in a building, such as bicycle rooms or garages.
- Bicycle sheds, covered bicycle cages, or other fully covered and enclosed structures within 200 feet of the main building entrance.
- Bicycle lockers, or fixed-in-place containers wherein single bicycles may be securely stored and protected.
- Weather-protected bicycle parking spaces that are monitored at all times by an attendant or other security system.

photo by Mark Horowitz

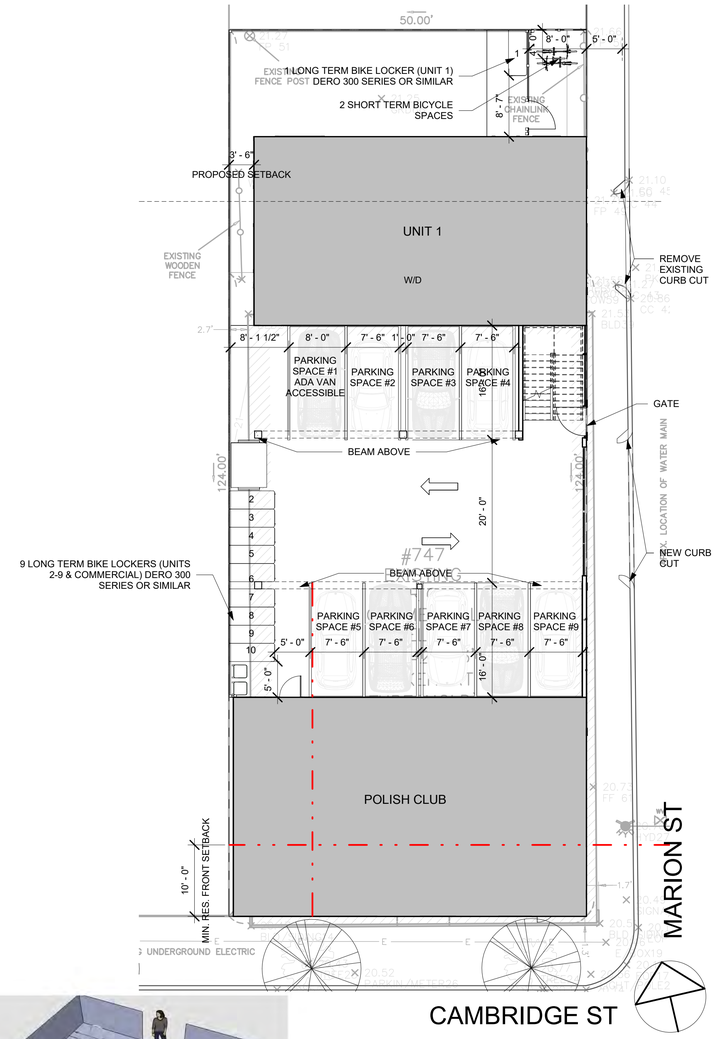
Short-Term:

Short-term bicycle parking must be located in a publicly accessible space within 50 feet of pedestrian entrances. Short-term bicycle parking is intended primarily to serve visitors, such as retail patrons making trips of up to a few hours; however, it may serve other bicycle users as needed.

PARKING GARAGES

Bicycle parking in parking garages must be either on the same level as the entrance to the garage from the street or accessible via automobile ramps designed to serve bicyclists (with slope of less than 5% or less than 8% with a landing every 30 feet), or near an elevator that is sufficiently large to accommodate bicycles. Bicycle racks inside parking garages must still meet the security standards of short-term racks or lockers. Where long-term bicycle parking is next to automobile parking or loading, a physical barrier, such as bollards, must be provided.

photo by Norman Coe



1 Bike Parking Plan
1" = 10'-0"

ACCEPTABLE BICYCLE RACKS

There are a variety of designs for bicycle racks produced by many manufacturers. Bike racks can be purchased as single units, with a capacity of locking 2 bikes (one on each side), or as multiple units attached together, with a larger capacity. However, not all manufactured bicycle racks meet Cambridge's standards.

Features of an acceptable bicycle rack:

- Installed on a permanent foundation (e.g., concrete pad) to ensure stability.
- Securely anchored into or on the foundation with tamper-proof nuts if surface mounted.
- Support for an upright bicycle by its frame horizontally in **two (2)** or more places.
- Keeps both bike wheels on the ground.
- Design that prevents the bicycle from tipping over.
- Ability to support a variety of bicycle sizes and frame shapes.
- Space to secure the frame and one or both wheels to the rack with a cable, chain, or u-lock.
- Diameter of locking pole is no more than 1.5 inches.
- Galvanized or stainless steel racks are recommended (and required for racks on public property) because they hold up best.

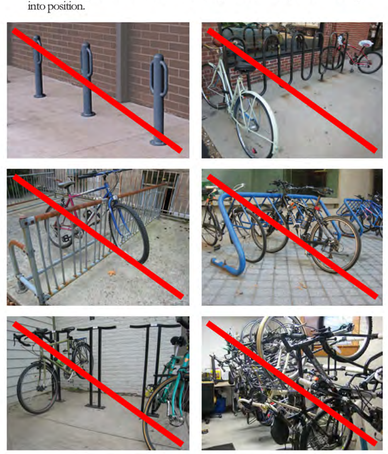
photo by Greg Rasman

Acceptable racks, like the "Inverted U," "Swerve," and "Post and Ring" racks, have two-point support and fit a variety of bicycle types. Custom designs and "artistic" racks can also be used, provided they meet the performance criteria for bicycle racks.

UNACCEPTABLE BICYCLE RACKS

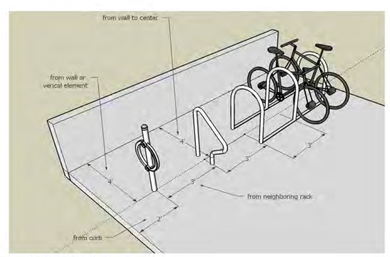
Bicycle racks must *NOT*:

- Support the bicycle at only one point.
- Allow the bicycle to fall, which can damage the bike and block pedestrian right-of-way.
- Have sharp edges, that can be hazardous to the visually impaired.
- Support the bicycle by one wheel.
- Connect to each other with a bar on top (that can block handlebars and baskets.
- Suspend any part of the bike in the air or require that the bicycle be lifted to get it into position.

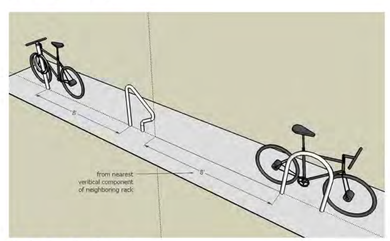


LAYOUT DIMENSIONS

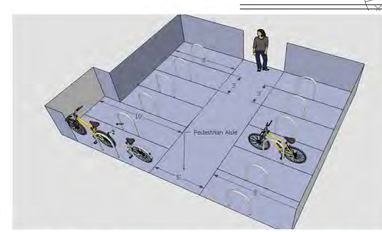
Proper layout of bicycle racks is essential to ensure that they will safely and conveniently accommodate the intended number of bicycles. Layout must follow these minimum dimensions:



Racks aligned side by side



Racks aligned end to end



Enclosed rack area with 20 or more racks, with pedestrian aisle and at least 5% of spaces providing an additional 2 feet of space for tandems and trailers.

Distance to other Racks:

- Rack units aligned parallel to each other (side by side) must be at least 3 feet apart. This includes racks that are sold as multiple rack units attached together.
- Rack units aligned end to end must be at least 8 feet apart.

Distance from Wall:

- Rack units placed perpendicular to a wall must be at least 4 feet from the wall to the center of the rack.
- Rack units parallel to a wall must be at least 3 feet from the rack to the wall.

Distance from a Curb:

- Rack units placed perpendicular to the curb must be at least 4 feet from the curb to the center of the rack.
- Rack units placed parallel to the curb must be at least 2 feet from the curb to the rack.

Distance from a Pedestrian Aisle:

- Rack units perpendicular to a pedestrian aisle must be at least 4 feet from the center of the rack to the edge of the aisle, and have at least a 5 feet wide aisle.
- Where 20 or more bicycle parking spaces are required, at least 5% of the spaces must be 10 feet long instead of 8 feet to allow space for tandems and trailers.

Other Distances:

- Racks should be at least 14 feet from curbside fire hydrants and 6 feet from wall fire hydrants.

PROJECT NAME

Cambridge @ Marion Residences

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ARCHITECT

DESIGN KHALSA

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REGISTRATION

Project number	18141
Date	07/19/2019
Drawn by	Author
Checked by	Checker
Scale	1" = 10'-0"

REVISIONS

No.	Description	Date

Bike Parking Plan

A-021

Cambridge @ Marion Residences

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Floor Area Gross. The sum, in square feet, of the gross horizontal areas of all floors of a building, as measured from the exterior walls [except in (8) and (9) below where only interior space shall be measured and in (h) where the area of the parking facility shall be measured] of a building or the centerline of party walls between buildings.

Gross Floor Area shall include:

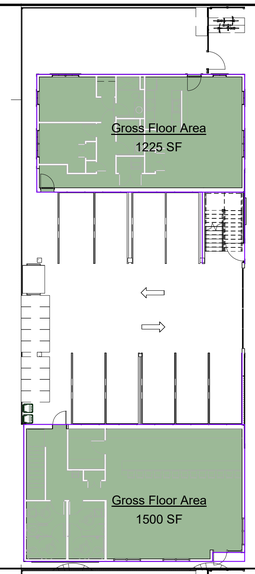
(a) roofed porches and balconies whether enclosed or unclosed;
(b) unroofed porches and balconies above third floor, with the exception of porch and balcony spaces associated with Functional Green Roof Area, in accordance with the regulations in Section 22.30 of this Zoning Ordinance;
(c) elevator shafts and stairwells on each floor, not excluded in (6) below;
(d) attic space, whether finished or unfinished, within the area of a horizontal plane that is five (5) feet above the attic floor and which touches the side walls and/or the underside of the roof rafters and which is not excluded in (5) below;
(e) interior balconies, mezzanines, and penthouses;
(f) deleted
(g) area of parking facilities in structures except as excluded in (2) below; and
(h) any accessory parking spaces not in above ground structures if in excess of the maximum number permitted on the premises as set forth in Section 5.25 and 6.30.

Gross Floor Area shall not include:

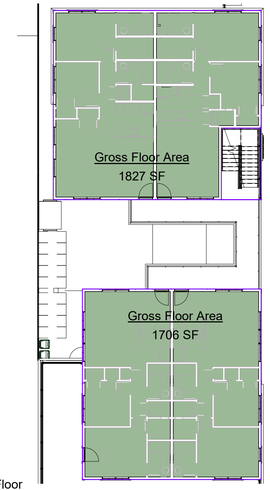
(1) areas used for off street loading purposes;
(2) area of parking facilities in structures located underground and the area of on grade open parking spaces outside the building footprint at or below the maximum number permitted on the premises as set forth in Sections 5.25 and 6.30;
(3) basement and cellar areas devoted to the operations and maintenance of the building such as heating and cooling equipment, electrical and telephone facilities, and fuel storage;
(4) open and lattice-work fire escapes;
(5) unroofed porches and balconies no higher than the third floor;
(6) attic space and other areas devoted to elevator machinery or mechanical equipment necessary for the operation of the building, including sustainable mechanical systems and related equipment and chases for systems including, but not limited to, solar energy systems, geothermal systems and heat pumps, solar hot water systems and related tubes and tanks, equipment related to radiant heating, hydronic cooling, heat recovery ventilators, and energy recovery ventilators;
(7) elevator shafts and stairwells on floors where there is no other area which qualifies to be included in gross floor area;
(8) attic space not otherwise included in (d) above;
(9) basement and cellar spaces with less than seven (7) feet of ceiling height measured from the floor to the line of the bottom of the floor joists, or to any subfloor or finished surface above any floor joists that are spaced not less than four (4) feet on center, and further provided that the basement or cellar is not a Story Above Grade as defined in the State Building Code.
(10) bicycle parking meeting or exceeding the requirements of Article 6.000, which shall include all areas occupied by Bicycle Parking Spaces and access routes intended exclusively for use by bicycles, which shall be clearly indicated in the bicycle parking plan requirements set forth in Section 6.52.1whether located in a principal use structure, any parking facility for motor vehicles, or in an accessory structure.
(11) Functional Green Roof Area, in accordance with the regulations in Section 22.30 of this Zoning Ordinance;
(12) interior air spaces within Double-Skin Façades and additional exterior wall thickness to accommodate insulation, in accordance with the regulations in Section 22.40 of this Zoning Ordinance; and
(13) space directly beneath overhangs, eaves, awnings, pergolas, arbors, trellises or other sunshading devices, in accordance with the regulations in Section 22.50 of this Zoning Ordinance.
(14) Public Bicycle-Sharing Stations

GROSS FLOOR AREA

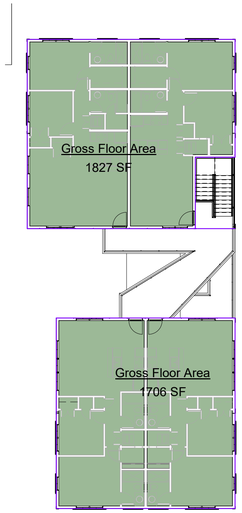
Gross Floor Area		
Area	Name	Level
1225 SF	Gross Floor Area	1st Floor
1500 SF	Gross Floor Area	1st Floor
2725 SF		
1706 SF	Gross Floor Area	2nd Floor
1827 SF	Gross Floor Area	2nd Floor
3533 SF		
1706 SF	Gross Floor Area	3rd Floor
1827 SF	Gross Floor Area	3rd Floor
3533 SF		
9791 SF		



1 1st Floor
1/16" = 1'-0"



2 2nd Floor
1/16" = 1'-0"

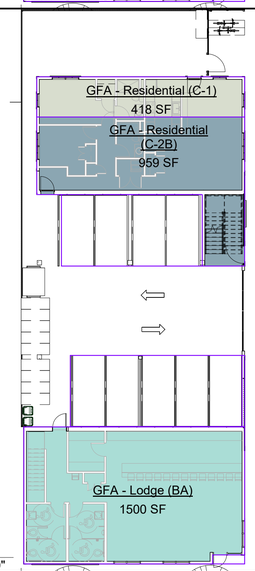


3 3rd Floor
1/16" = 1'-0"

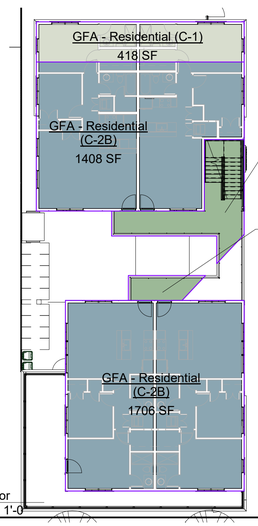
GROSS FLOOR AREA PER ZONING CODE

Gross Floor Area per Zoning		
Area	Level	Name
BA Zone		
1500 SF	1st Floor	GFA - Lodge (BA)
1500 SF		
1500 SF		
C-1 Zone		
418 SF	1st Floor	GFA - Residential (C-1)
418 SF	2nd Floor	GFA - Residential (C-1)
418 SF	3rd Floor	GFA - Residential (C-1)
1255 SF		
1255 SF		
C-2B Zone		
959 SF	Ground Level	GFA - Covered Balcony (C-2B)
326 SF	2nd Floor	GFA - Covered Balcony (C-2B)
82 SF	2nd Floor	GFA - Covered Balcony (C-2B)
142 SF	3rd Floor	GFA - Covered Balcony (C-2B)
1509 SF		
959 SF	1st Floor	GFA - Residential (C-2B)
1408 SF	2nd Floor	GFA - Residential (C-2B)
1706 SF	2nd Floor	GFA - Residential (C-2B)
1408 SF	3rd Floor	GFA - Residential (C-2B)
1706 SF	3rd Floor	GFA - Residential (C-2B)
7187 SF		
8696 SF		
11451 SF		

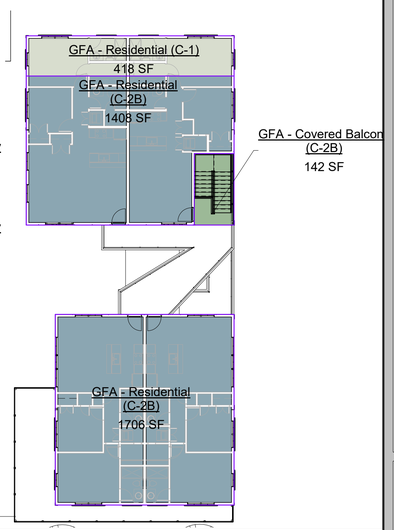
FAR:
BA: 1,500 S.F. GFA / 1,500 S.F. SITE = 1.0 FAR
C-1: 1,255 S.F. GFA / 1,200 S.F. SITE = 1.04 FAR
C-2B: 8,696 S.F. GFA/ 3,500 S.F. SITE = 2.5 FAR
SITE: 11,451 S.F. GFA / 6,200 S.F. SITE = 1.85 FAR



4 1st Floor
1/16" = 1'-0"



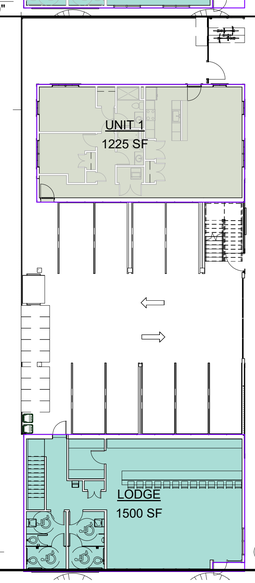
5 2nd Floor
1/16" = 1'-0



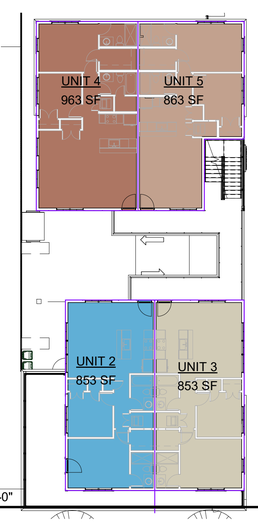
6 3rd Floor
1/16" = 1'-0"

UNIT AREAS

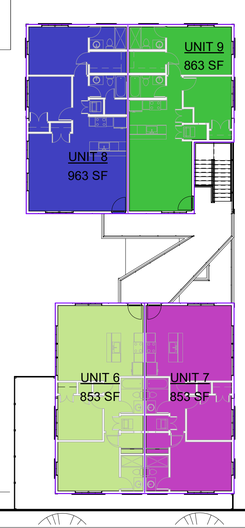
Unit Areas			
Area	Name	Level	USE
1500 SF	LODGE	1st Floor	Commercial
1500 SF			
1500 SF			
1225 SF	UNIT 1	1st Floor	Residential
1225 SF			
853 SF	UNIT 2	2nd Floor	Residential
853 SF	UNIT 3	2nd Floor	Residential
963 SF	UNIT 4	2nd Floor	Residential
863 SF	UNIT 5	2nd Floor	Residential
3533 SF			
853 SF	UNIT 6	3rd Floor	Residential
853 SF	UNIT 7	3rd Floor	Residential
963 SF	UNIT 8	3rd Floor	Residential
863 SF	UNIT 9	3rd Floor	Residential
3533 SF			
8291 SF			
9790 SF			



7 1st Floor
1/16" = 1'-0"



8 2nd Floor
1/16" = 1'-0"



9 3rd Floor
1/16" = 1'-0"

PROJECT NAME

Cambridge @ Marion Residences

PROJECT ADDRESS

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747 CAMBRIDGE STREET, LLC

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CONSULTANTS:

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REGISTRATION

Project number	18141
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Scale	1/16" = 1'-0"

REVISIONS

No.	Description	Date

Area Plans

A-022

Cambridge @ Marion Residences

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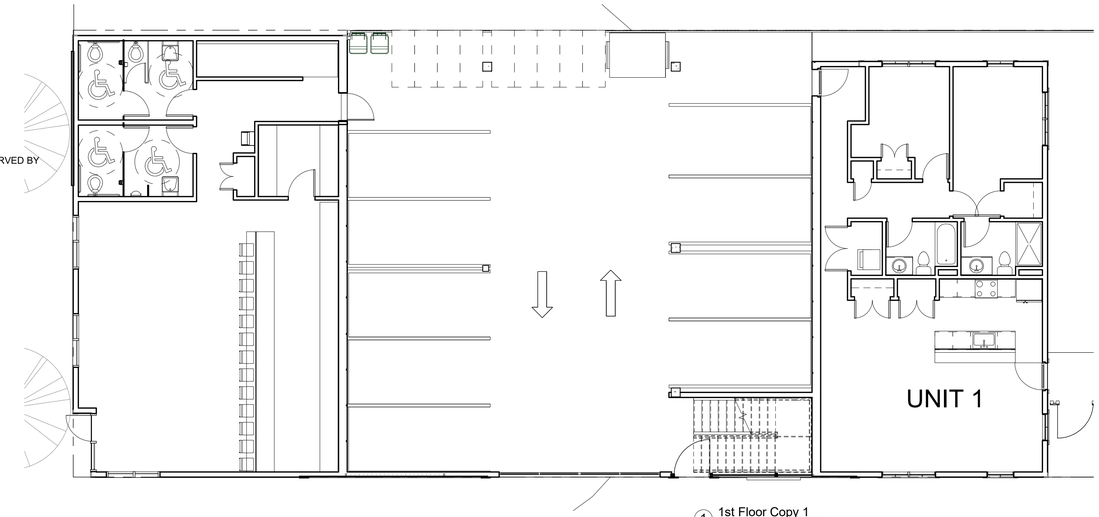
PER 1006.2.1, AN A OCCUPANCY WITH AN OCCUPANT LOAD GREATER THAN 49 CANNOT BE SERVED BY A SINGLE EXIT; 2 EXITS REQUIRED FROM POLISH CLUB

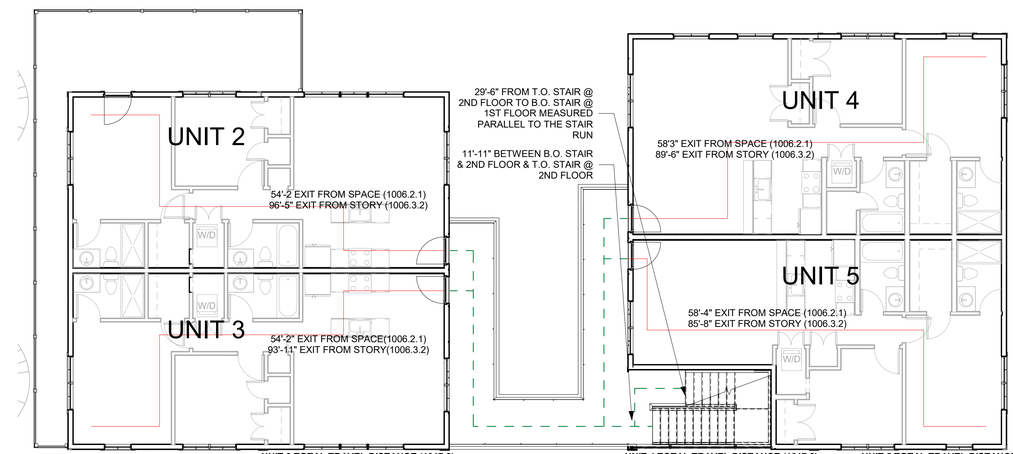


1 1st Floor Copy 1
1/8" = 1'-0"

PER 1006.2.1, THE MAXIMUM TRAVEL DISTANCE WITHIN A DWELLING UNIT (MOST REMOTE POINT OF UNIT TO EXIT OF UNIT) MUST BE LESS THAN 125' WITH A MAXIMUM OCCUPANCY OF 10

PER 1006.3.2, THE MAXIMUM TRAVEL DISTANCE FROM A **STORY** (MOST REMOTE POINT OF UNIT TO STAIR) IS 125' WITH A MAXIMUM OF 4 DWELLING UNITS & NO HIGHER THAN 3 STORIES

PER 1017.2, THE MAXIMUM TOTAL TRAVEL DISTANCE FOR AN R-2 OCCUPANCY IS 250' WITH AN AUTOMATIC SPRINKLER SYSTEM



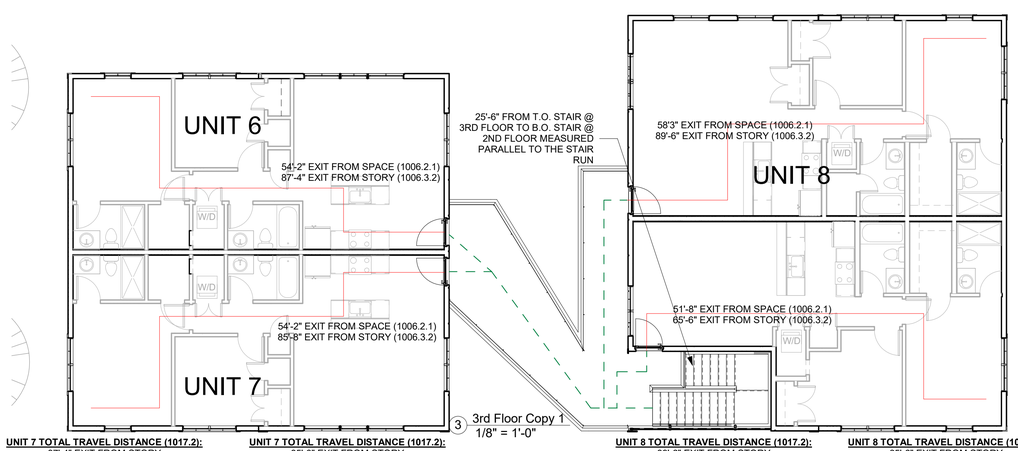
UNIT 2 TOTAL TRAVEL DISTANCE (1017.2):
96'-5" EXIT FROM STORY
+29'-6" FROM T.O. STAIR @ 2ND FLOOR TO B.O STAIR & 1ST FLOOR
125'-11" TOTAL TRAVEL DISTANCE

UNIT 3 TOTAL TRAVEL DISTANCE (1017.2):
93'-11" EXIT FROM STORY
+29'-6" FROM T.O. STAIR @ 2ND FLOOR TO B.O STAIR & 1ST FLOOR
123'-5" TOTAL TRAVEL DISTANCE

2 2nd Floor Copy 1
1/8" = 1'-0"

UNIT 4 TOTAL TRAVEL DISTANCE (1017.2):
89'-6" EXIT FROM STORY
+29'-6" FROM T.O. STAIR @ 2ND FLOOR TO B.O STAIR & 1ST FLOOR
119' TOTAL TRAVEL DISTANCE

UNIT 5 TOTAL TRAVEL DISTANCE (1017.2):
85'-8" EXIT FROM STORY
+29'-6" FROM T.O. STAIR @ 2ND FLOOR TO B.O STAIR & 1ST FLOOR
115'-2" TOTAL TRAVEL DISTANCE



UNIT 7 TOTAL TRAVEL DISTANCE (1017.2):
87'-4" EXIT FROM STORY
+25'-6" FROM T.O. STAIR @ 3RD FLOOR TO B.O. STAIR @ 2ND FLOOR
+11'-11" FROM B.O. STAIR @ 2ND FLOOR TO T.O. STAIR @ 2ND FLOOR
+29'-6" FROM T.O. STAIR @ 2ND FLOOR TO B.O STAIR & 1ST FLOOR
154'-3" TOTAL TRAVEL DISTANCE

UNIT 7 TOTAL TRAVEL DISTANCE (1017.2):
85'-8" EXIT FROM STORY
+25'-6" FROM T.O. STAIR @ 3RD FLOOR TO B.O. STAIR @ 2ND FLOOR
+11'-11" FROM B.O. STAIR @ 2ND FLOOR TO T.O. STAIR @ 2ND FLOOR
+29'-6" FROM T.O. STAIR @ 2ND FLOOR TO B.O STAIR & 1ST FLOOR
152'-7" TOTAL TRAVEL DISTANCE

3 3rd Floor Copy 1
1/8" = 1'-0"

UNIT 8 TOTAL TRAVEL DISTANCE (1017.2):
89'-6" EXIT FROM STORY
+25'-6" FROM T.O. STAIR @ 3RD FLOOR TO B.O. STAIR @ 2ND FLOOR
+11'-11" FROM B.O. STAIR @ 2ND FLOOR TO T.O. STAIR @ 2ND FLOOR
+29'-6" FROM T.O. STAIR @ 2ND FLOOR TO B.O STAIR & 1ST FLOOR
126'-11" TOTAL TRAVEL DISTANCE

UNIT 8 TOTAL TRAVEL DISTANCE (1017.2):
65'-6" EXIT FROM STORY
+25'-6" FROM T.O. STAIR @ 3RD FLOOR TO B.O. STAIR @ 2ND FLOOR
+11'-11" FROM B.O. STAIR @ 2ND FLOOR TO T.O. STAIR @ 2ND FLOOR
+29'-6" FROM T.O. STAIR @ 2ND FLOOR TO B.O STAIR & 1ST FLOOR
102'-11" TOTAL TRAVEL DISTANCE

PROJECT NAME

Cambridge @ Marion Residences

PROJECT ADDRESS

747 CAMBRIDGE ST
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REGISTRATION

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Date	07/19/2019
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Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date

Egress Diagrams

A-023

Cambridge @ Marion Residences

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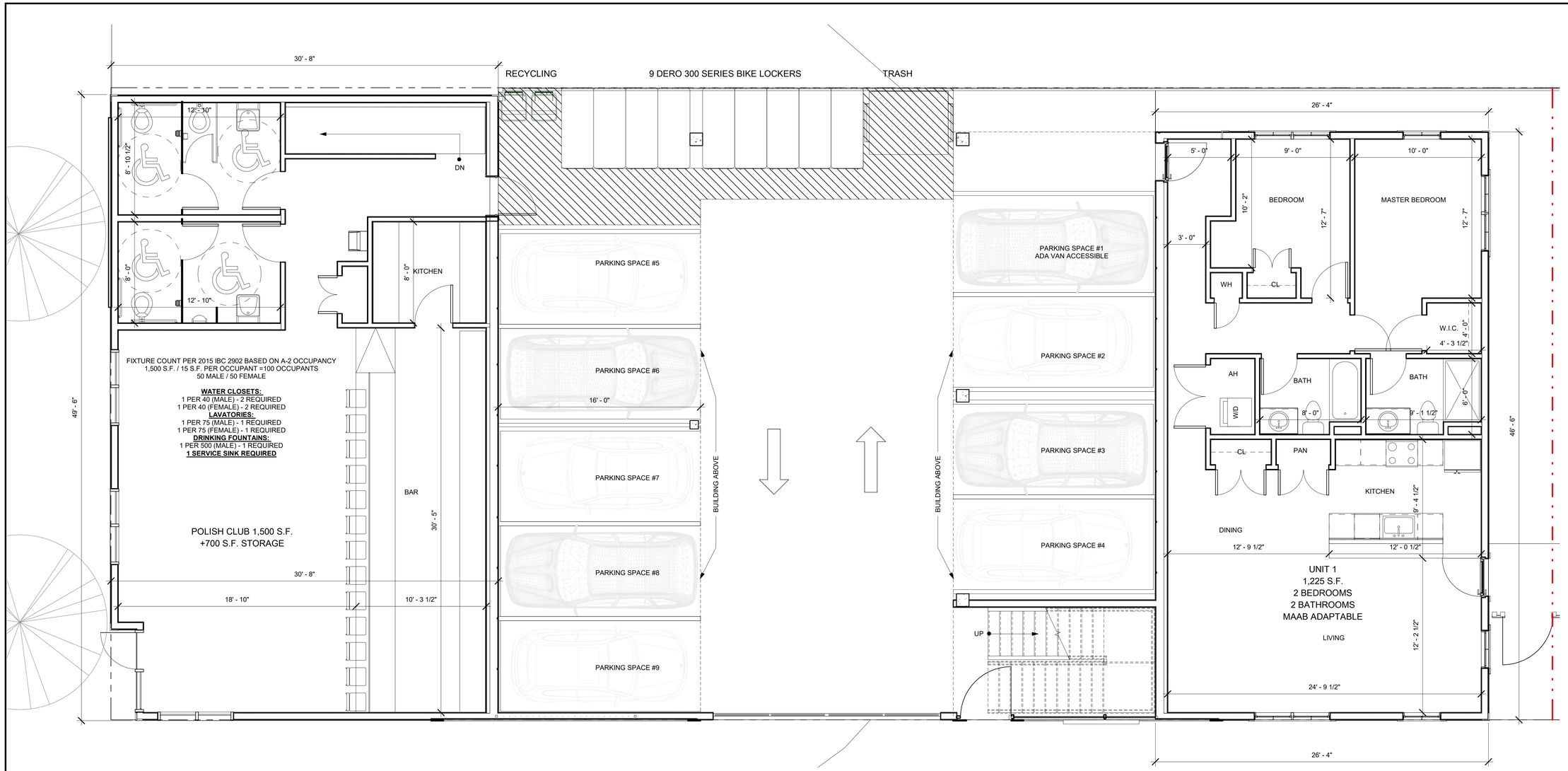
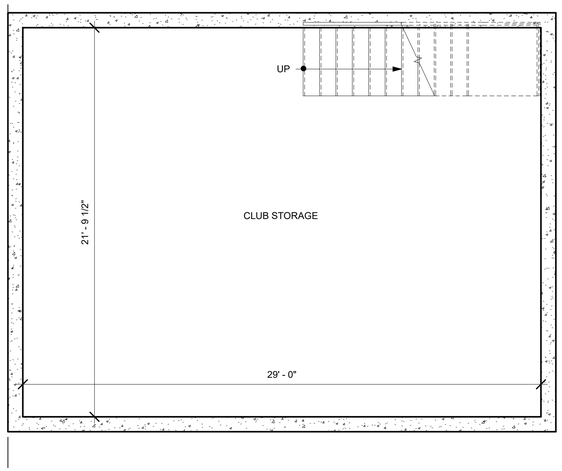


1 1st Floor
1/4" = 1'-0"



2 Basement
1/4" = 1'-0"

PROJECT NAME

Cambridge @ Marion Residences

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REGISTRATION

Project number	18141
Date	07/19/2019
Drawn by	ERS
Checked by	JSK
Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date

1st Floor Plan

A-100

Cambridge @ Marion Residences

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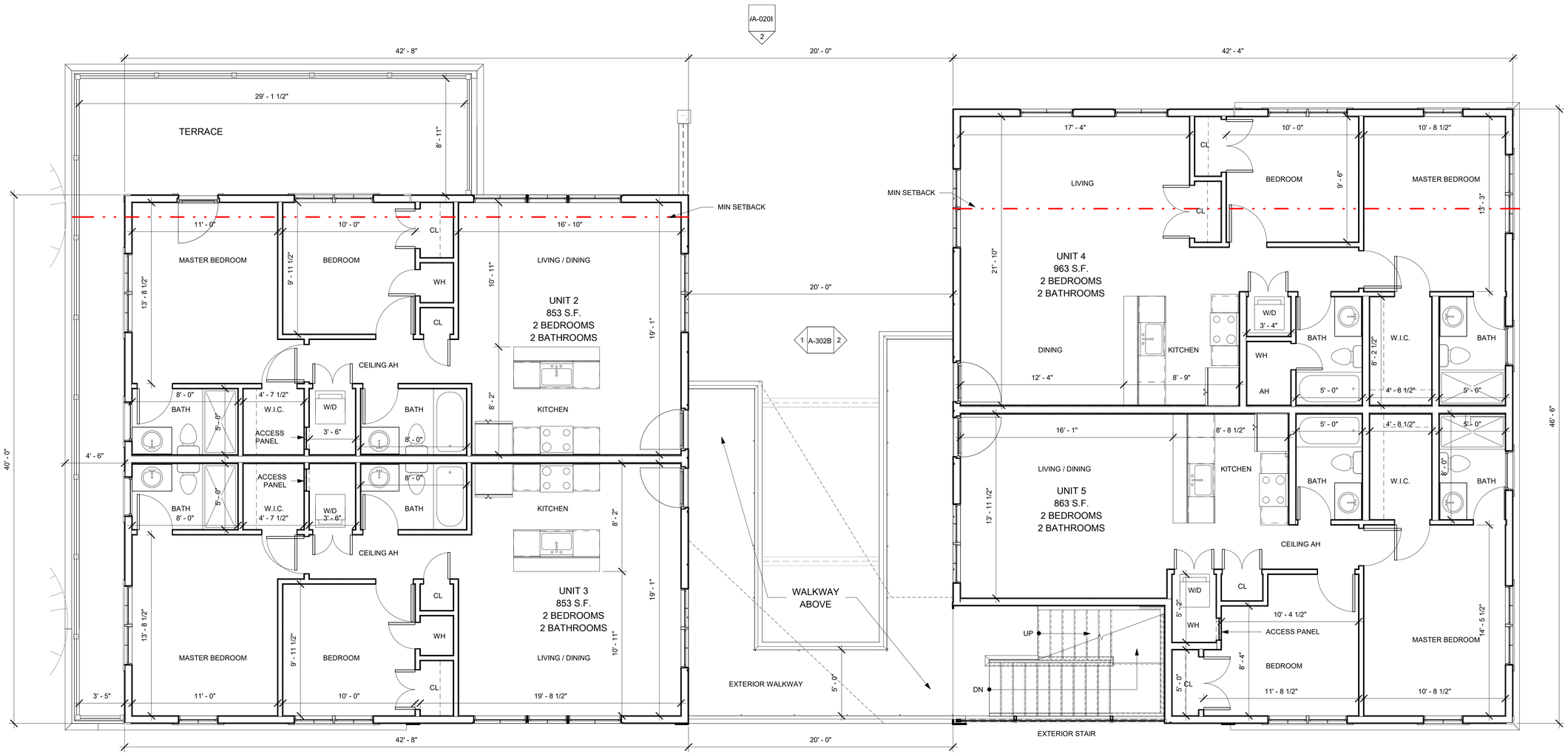

1 2nd Floor
1/4" = 1'-0"

PROJECT NAME

Cambridge @ Marion Residences

PROJECT ADDRESS

747 CAMBRIDGE ST
CAMBRIDGE MA

CLIENT

747 CAMBRIDGE STREET, LLC

ARCHITECT

DESIGN KHALSA

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REVISIONS

No.	Description	Date

2nd Floor Plan

A-101

Cambridge @ Marion Residences

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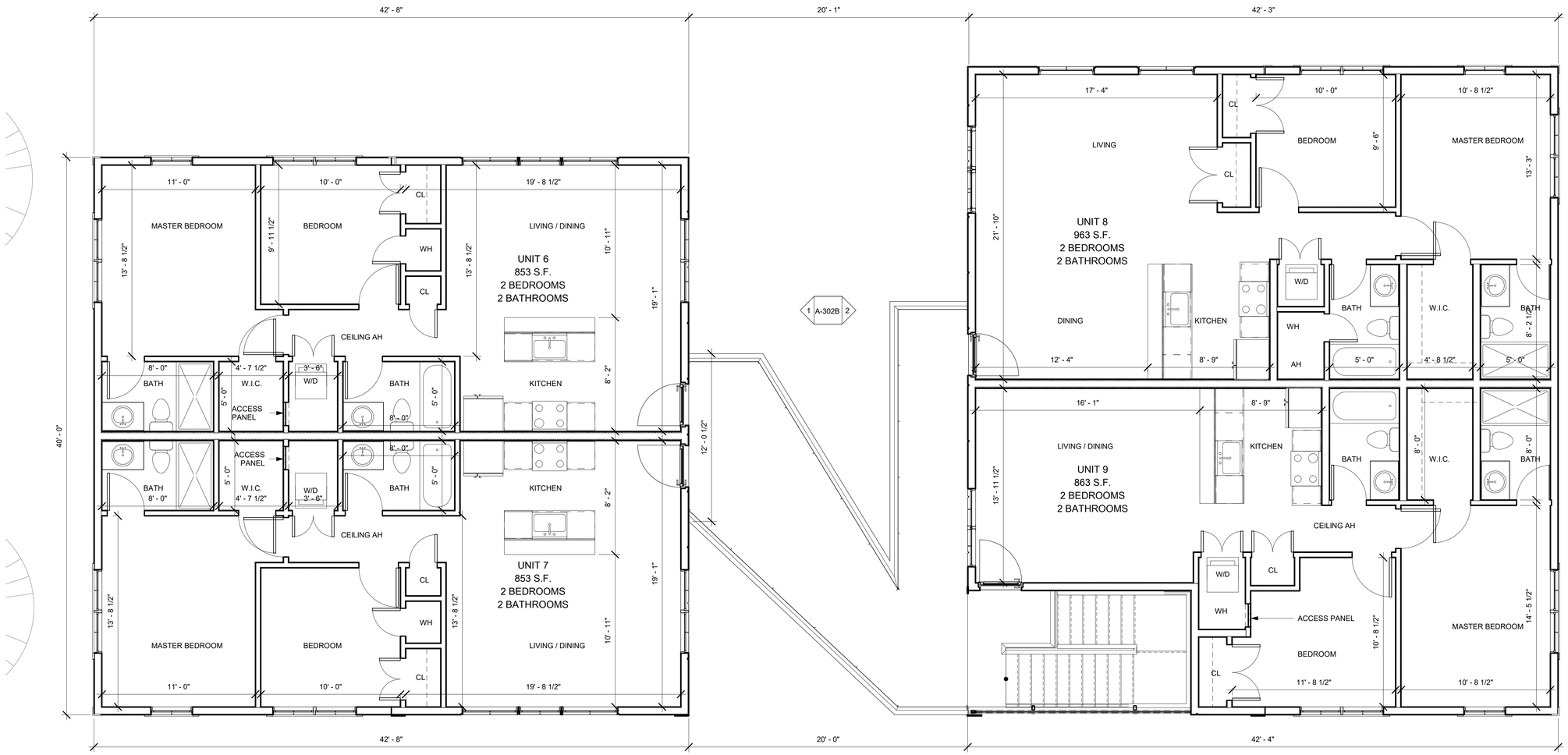

1 3rd Floor
1/4" = 1'-0"

PROJECT NAME

Cambridge @ Marion Residences

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CAMBRIDGE MA

CLIENT

747 CAMBRIDGE STREET, LLC

ARCHITECT

DESIGN KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

CONSULTANTS:

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REGISTRATION

Project number	18141
Date	07/19/2019
Drawn by	ERS
Checked by	JSK
Scale	1/4" = 1'-0"

REVISIONS

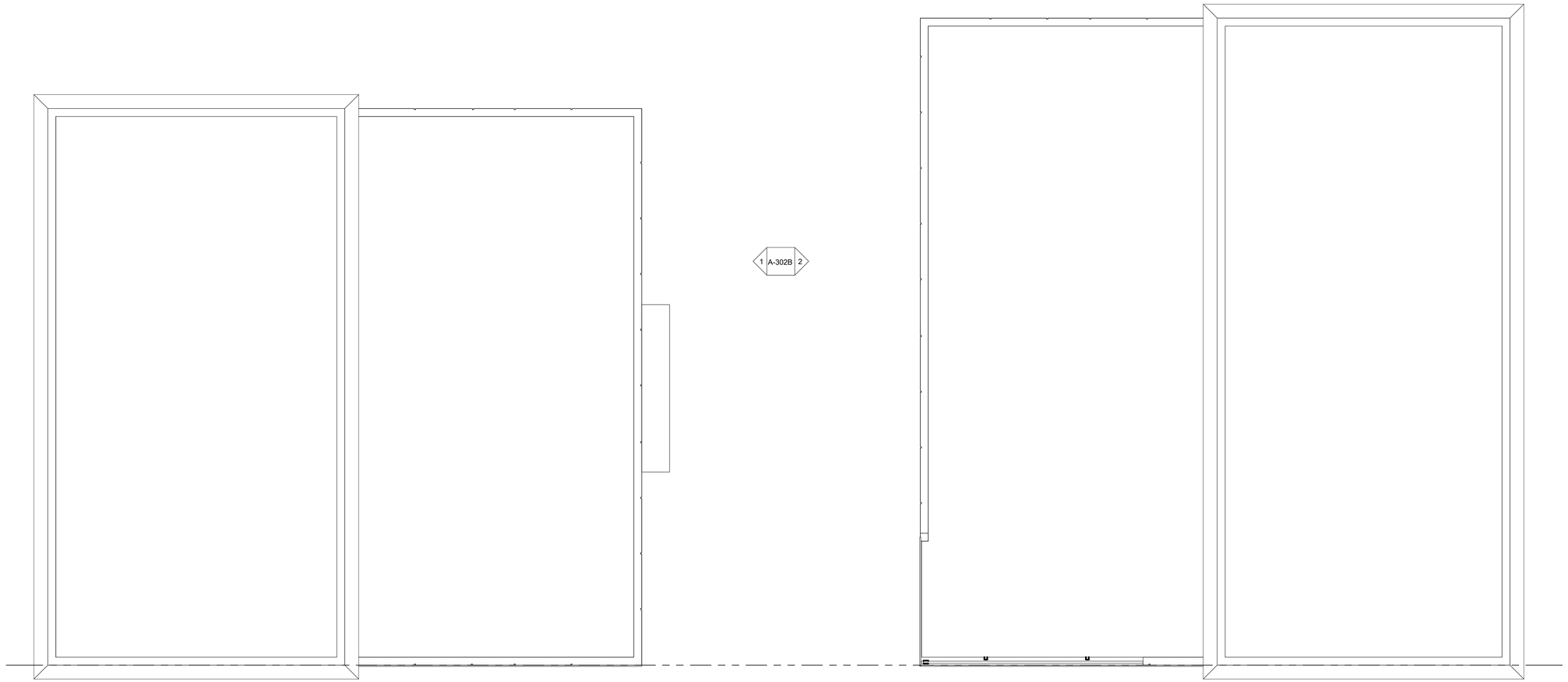
No.	Description	Date

3rd Floor Plan

A-102

Cambridge @ Marion Residences

7/15/2019 2:11:24 PM \\TKG-SERVER\Data\18\18141-doherty-747 cambridge st cambridge\03 Drawings\00_ARCH_SD_DD\18141-747 Cambridge Street - 2019.04.19.rvt



1 Roof
1/4" = 1'-0"

0' 2' 4' 8' 16'

PROJECT NAME

Cambridge @ Marion Residences

PROJECT ADDRESS

747 CAMBRIDGE ST
CAMBRIDGE MA

CLIENT

747 CAMBRIDGE STREET, LLC

ARCHITECT

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REVISIONS

No.	Description	Date

Proposed Roof Plan

A-103

Cambridge @ Marion Residences

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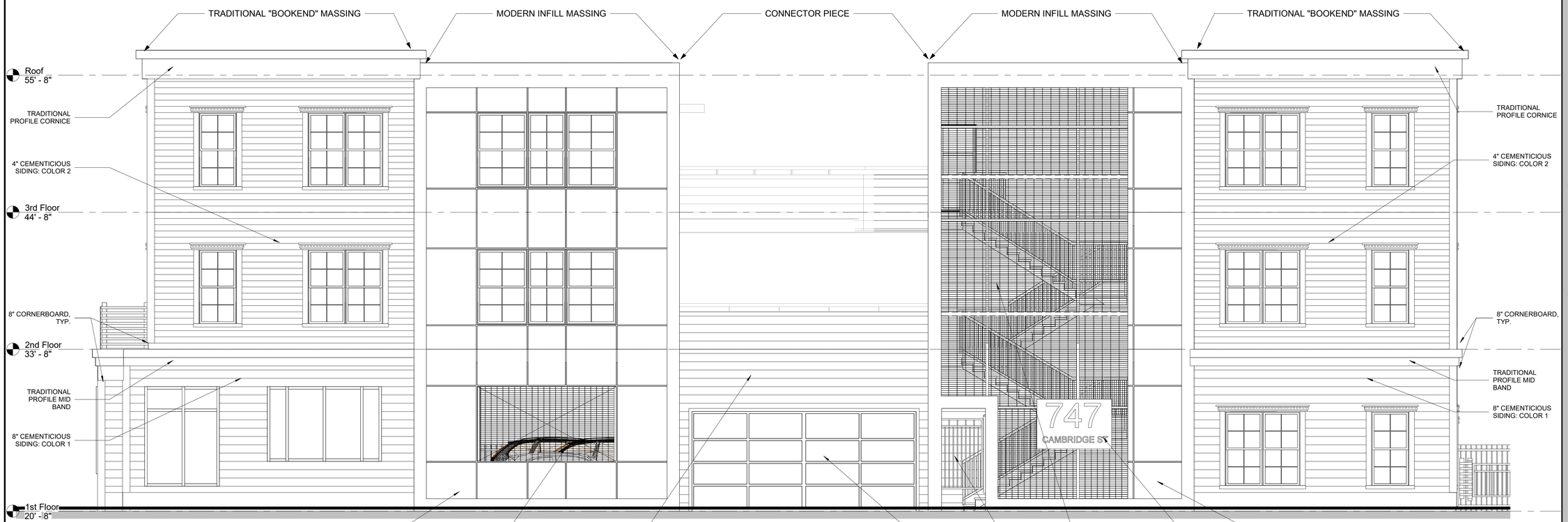
1 Cambridge Street (South) Elevation
1/4" = 1'-0"



2 Marion Street (East) Elevation
1/4" = 1'-0"

0' 2' 4' 8' 16'

PROJECT NAME

Cambridge @ Marion Residences

PROJECT ADDRESS

747 CAMBRIDGE ST
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REVISIONS

No.	Description	Date

Front Elevations

A-300

Cambridge @ Marion Residences

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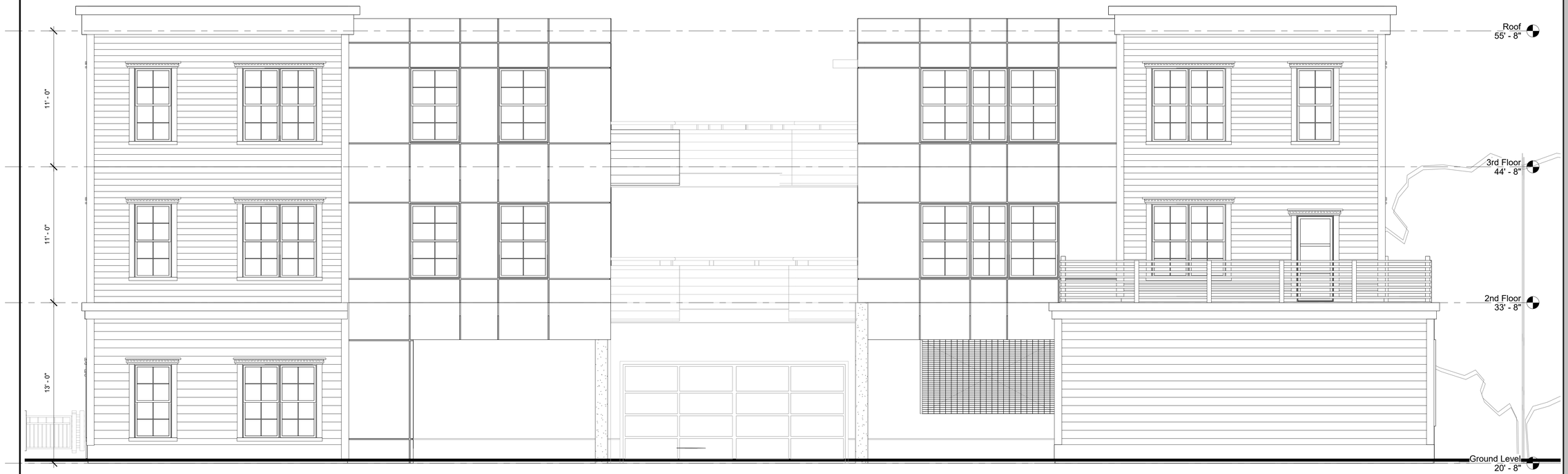
2 Right Side (North) Elevation
1/4" = 1'-0"



1 Left Side (West) Elevation
1/4" = 1'-0"

0' 2' 4' 8' 16'

PROJECT NAME

Cambridge @ Marion Residences

PROJECT ADDRESS

747 CAMBRIDGE ST
CAMBRIDGE MA

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REVISIONS

No.	Description	Date

Side Elevations

A-301

Cambridge @ Marion Residences

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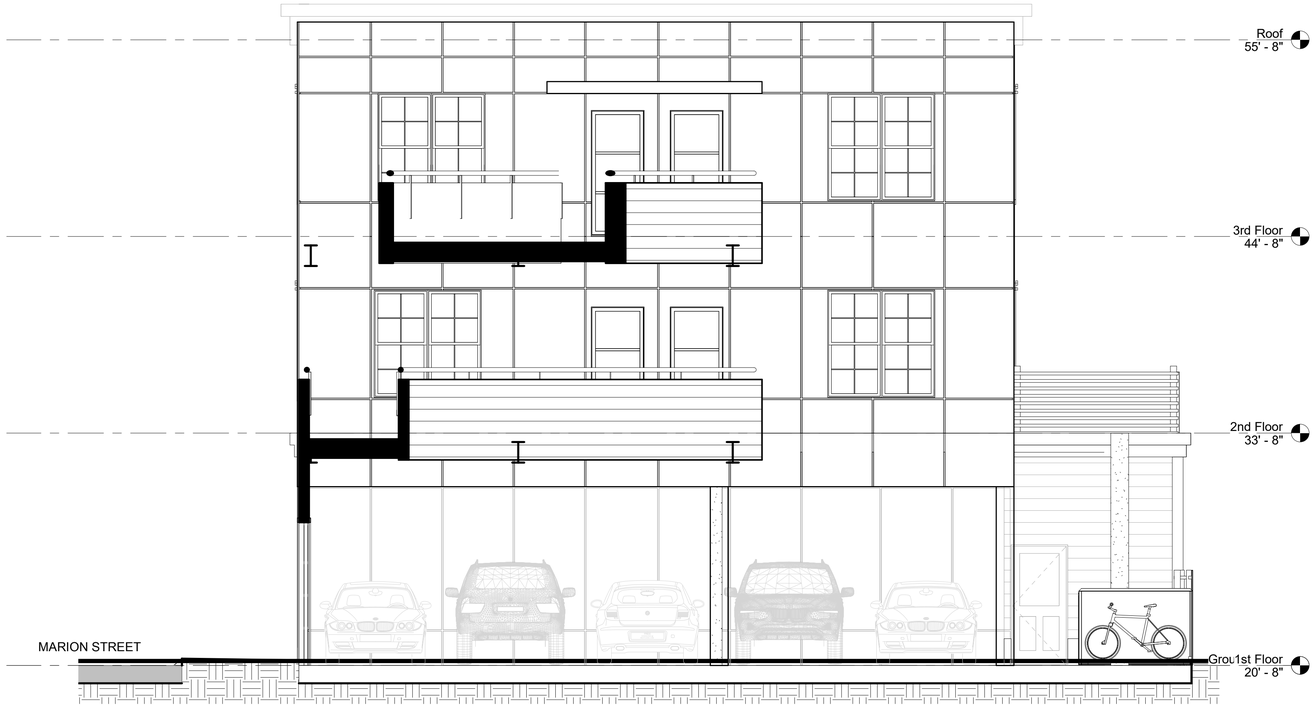

1 Courtyard Elevation - Left Side
1/4" = 1'-0"

2 Courtyard Elevation - Right Side
1/4" = 1'-0"

PROJECT NAME

Cambridge @ Marion Residences

PROJECT ADDRESS

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REGISTRATION

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Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date

Courtyard Elevations

A-302

Cambridge @ Marion Residences

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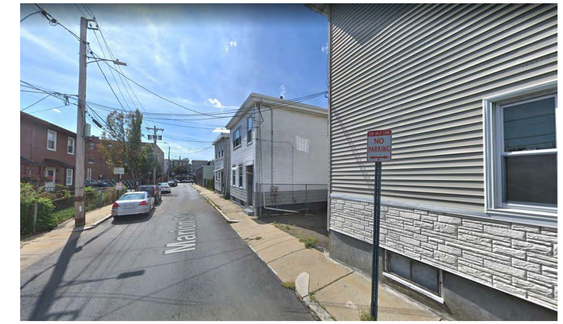
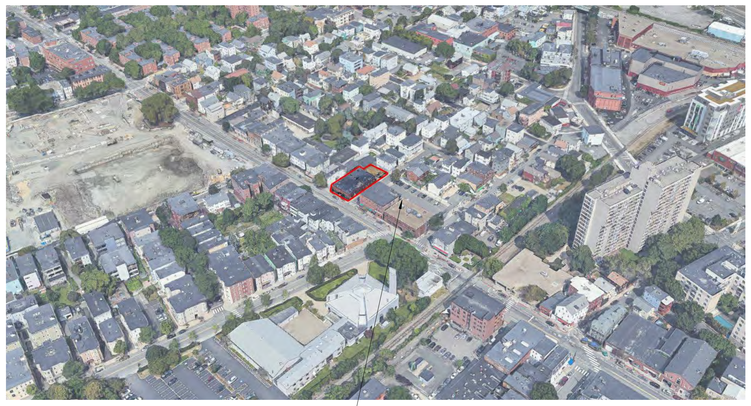
SITE: 747 CAMBRIGE ST



VIEW TOWARDS REAR OF SITE FROM MARION ST

VIEW TOWARDS SITE FROM CARDINAL MEDEIROS AVE @ CAMBRIDGE ST



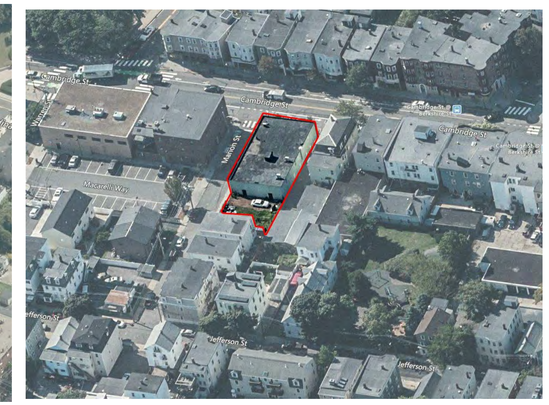
SITE: 747 CAMBRIDGE ST

VIEW TOWARDS SITE FROM BERKSHIRE ST @ CAMBRIDGE ST

BIRD'S EYE VIEW (EAST LOOKING WEST)

BIRD'S EYE VIEW (SOUTH LOOKING NORTH)

BIRD'S EYE VIEW (WEST LOOKING EAST)



BIRD'S EYE VIEW (NORTH LOOKING SOUTH)

PROJECT NAME

Cambridge @ Marion Residences

PROJECT ADDRESS

747 CAMBRIDGE ST
CAMBRIDGE MA

CLIENT

747 CAMBRIDGE STREET, LLC

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Scale	

REVISIONS

No.	Description	Date

Neighborhood Photos

AV-1

Cambridge @ Marion Residences

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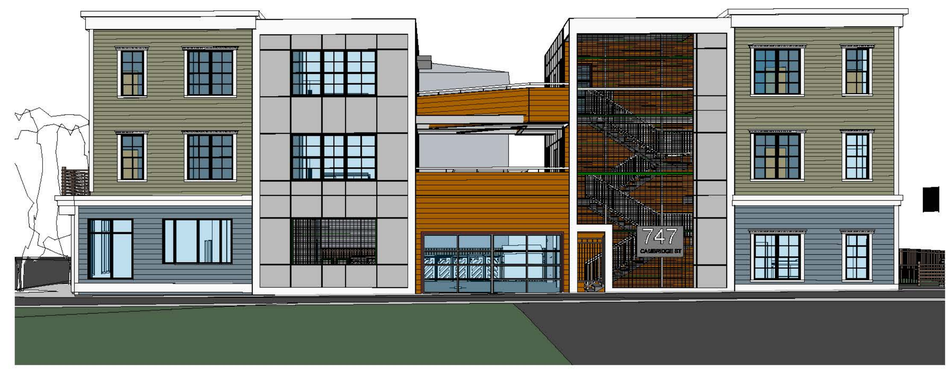

PROJECT NAME

Cambridge @ Marion Residences

PROJECT ADDRESS

747 CAMBRIDGE ST
CAMBRIDGE MA

CLIENT

747 CAMBRIDGE STREET, LLC

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Scale	

REVISIONS

No.	Description	Date

Perspectives

AV-2

Cambridge @ Marion Residences

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PROJECT NAME

Cambridge @ Marion Residences

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747 CAMBRIDGE ST
CAMBRIDGE MA

CLIENT

747 CAMBRIDGE STREET, LLC

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Scale	

REVISIONS

No.	Description	Date

Rendering

AV-3

Cambridge @ Marion Residences

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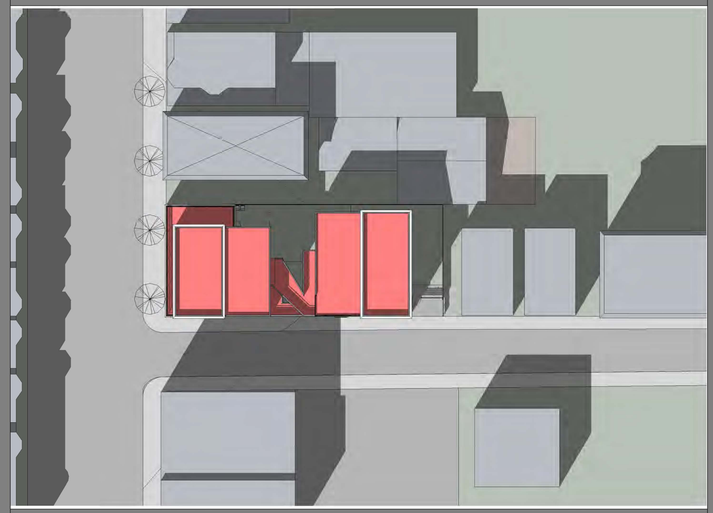
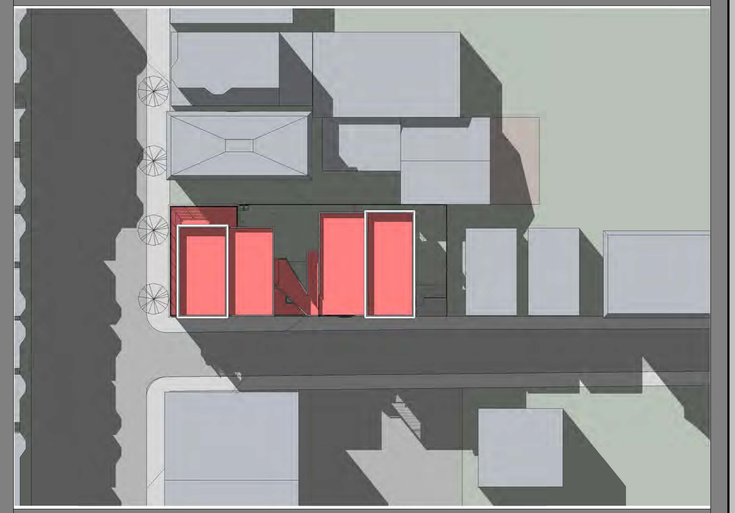
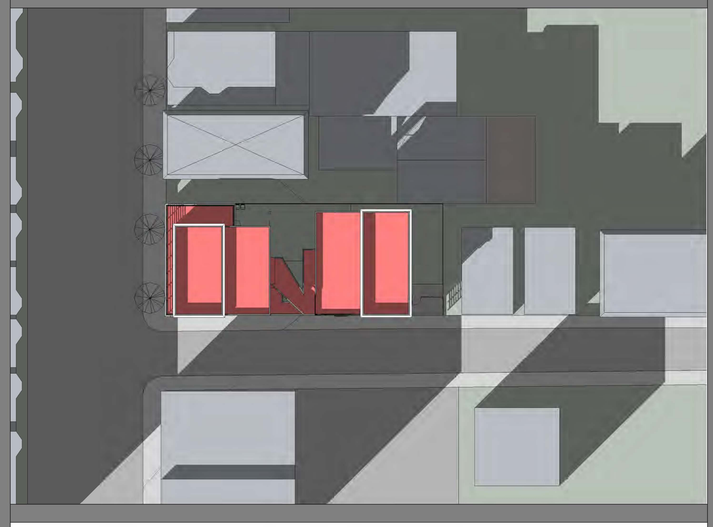
	MORNING (9-10 AM)	NOON (12 AM-1 PM)	AFTERNOON (3-4 PM)
SUMMER SOLSTICE			
FALL / SPRING EQUINOX			
WINTER SOLSTICE			

PROJECT NAME

Cambridge @ Marion Residences

PROJECT ADDRESS

747 CAMBRIDGE ST
CAMBRIDGE MA

CLIENT

747 CAMBRIDGE STREET, LLC

ARCHITECT

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REGISTRATION

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Scale	As indicated

REVISIONS

No.	Description	Date

Shadow Study

SS-1

Cambridge @ Marion Residences

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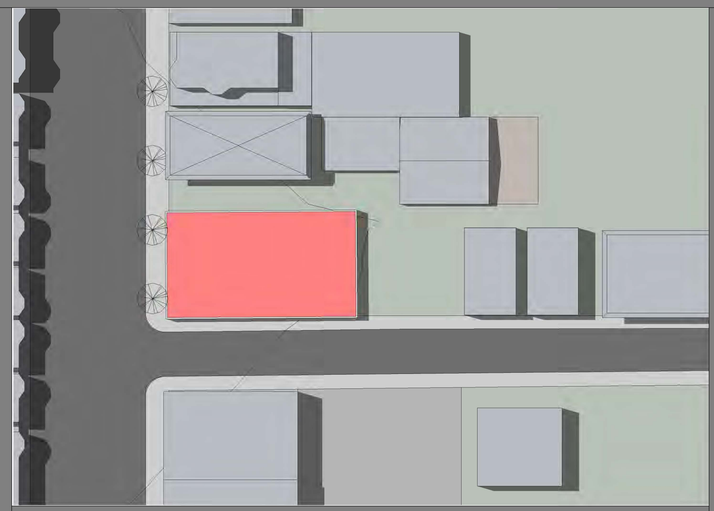
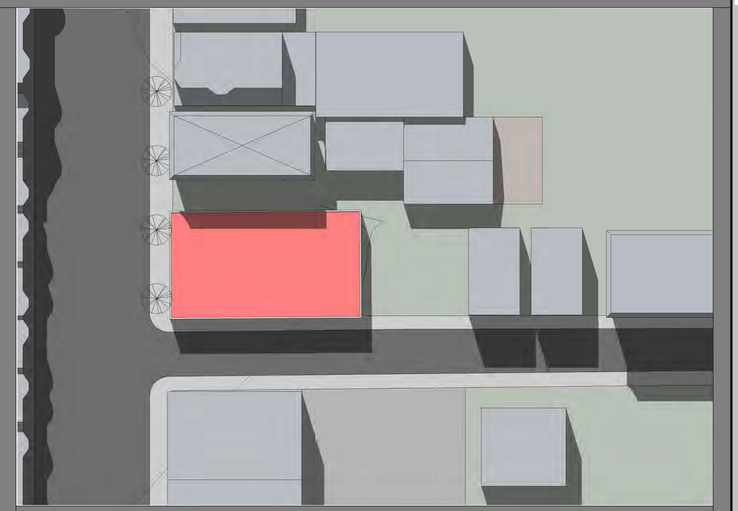
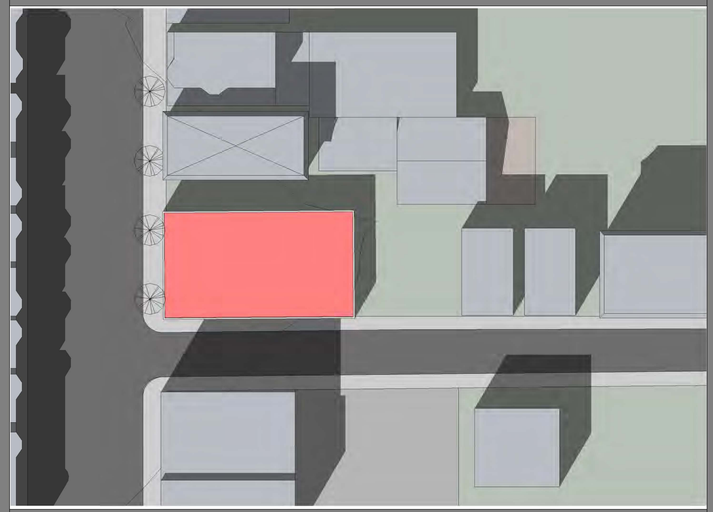
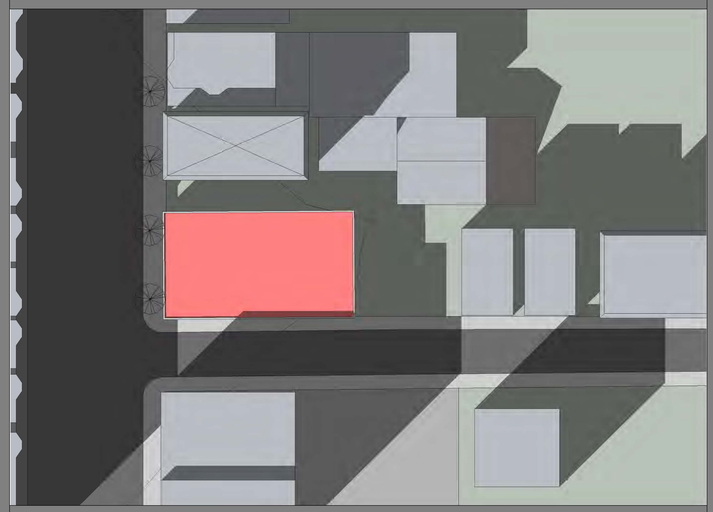
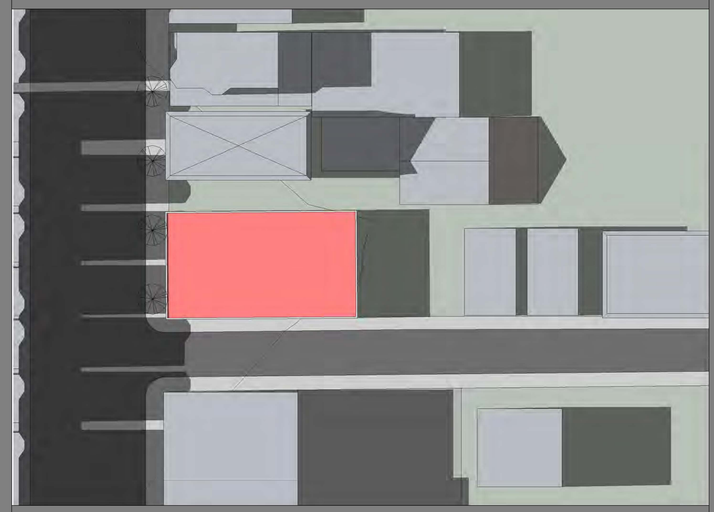
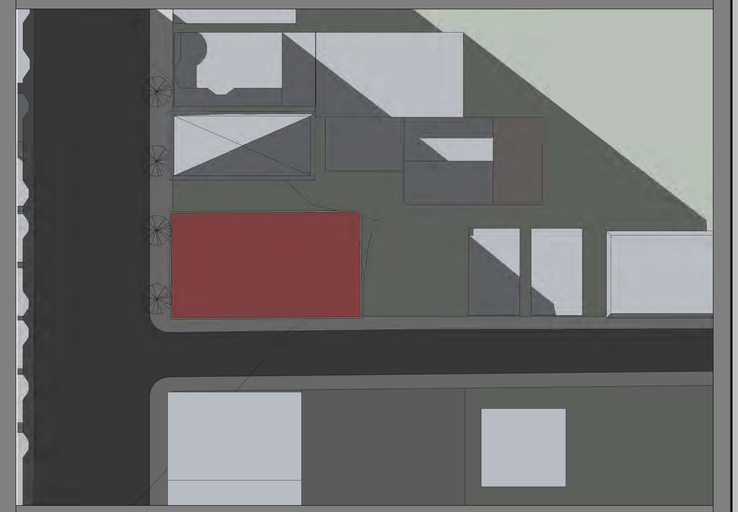
	MORNING (9-10 AM)	NOON (12 AM-1 PM)	AFTERNOON (3-4 PM)
SUMMER SOLSTICE			
FALL / SPRING EQUINOX			
WINTER SOLSTICE			

PROJECT NAME

Cambridge @ Marion Residences

PROJECT ADDRESS

747 CAMBRIDGE ST
CAMBRIDGE MA

CLIENT

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REGISTRATION

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Scale	As indicated

REVISIONS

No.	Description	Date

Existing Shadow Study

SS-2

Cambridge @ Marion Residences

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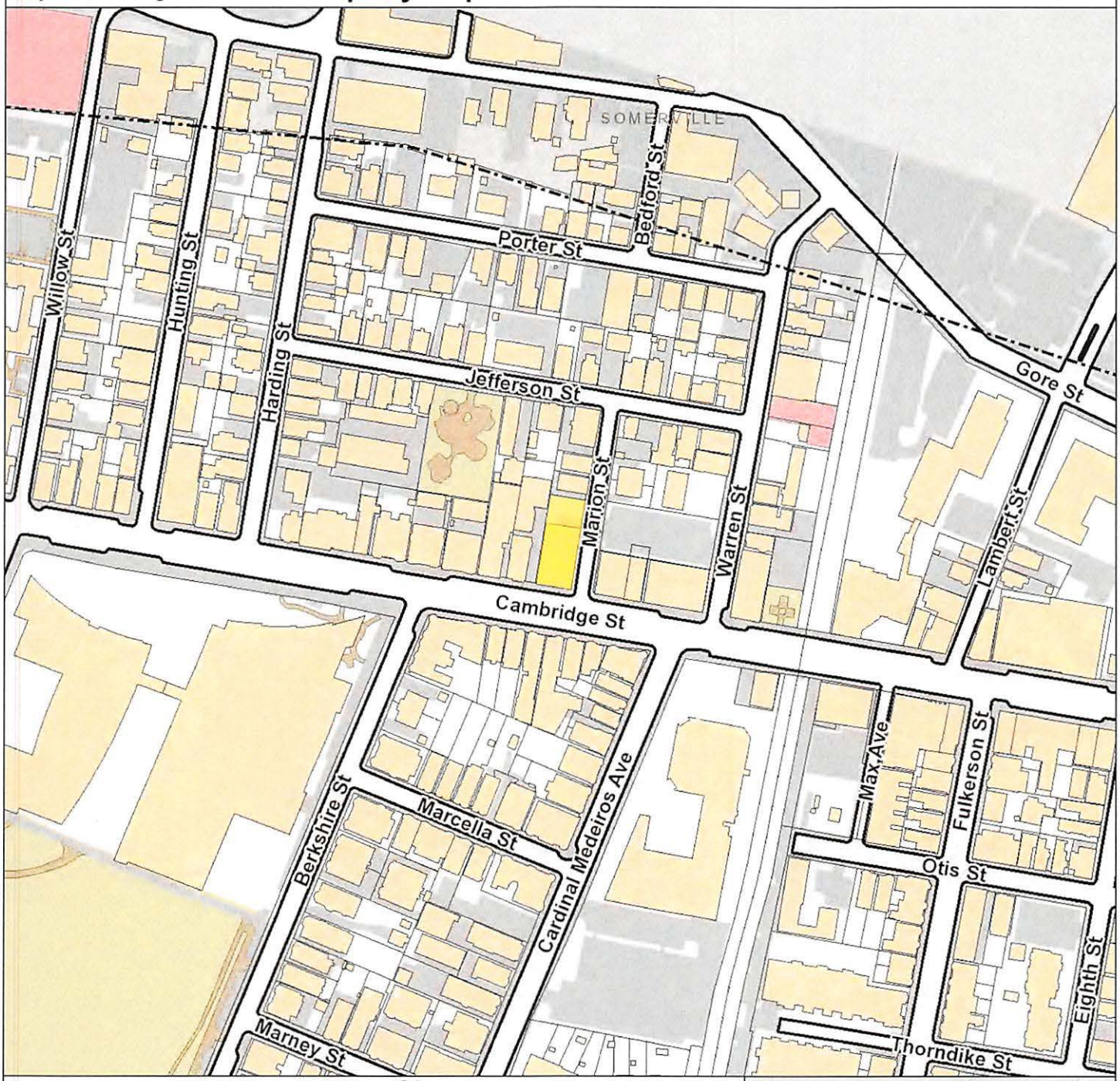
City of Cambridge

Property Map for 747 CAMBRIDGE ST.

June 7, 2019



City of Cambridge
Massachusetts

1" = 204 ft

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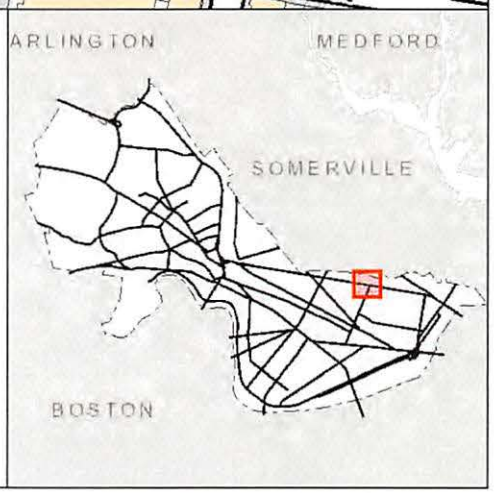
www.cambridgema.gov/gis

- Rail
- Building Footprints
- Parcels

Paved Surfaces

- Paved Roads
- Bridges
- Unpaved Roads
- Unpaved Parking
- Sidewalks
- Driveways
- Alleys
- Other Paved Surface
- Public Footpath



Provide Feedback

747 Cambridge St

Property Information

Property Class	FRAT-ORGANIZ
State Class Code	353
Zoning (Unofficial)	BA
Map/Lot	36-116
Land Area (sq. ft)	6,200

Property Value

Year of Assessment	2019
Tax District	C6
Residential Exemption	No
Building Value	$161,000
Land Value	$613,800
Assessed Value	$774,800
Sale Price	$0
Book/Page	69167/ 369
Sale Date	April 20, 2017
Previous Assessed Value	$711,900
Property Tax Amount	$11,174.35

This represents the total FY19 Real Estate Tax including the CPA Surcharge, but not including Residential Exemption or other Personal Exemptions deduction.

Owner Information

Photos

Sketches

Owner(s) POLISH AMERICAN CITIZENS ASSOCIATION OF CAMBRIDGE &
CITY OF CAMBRIDGE TAX TITLE
747 CAMBRIDGE ST
CAMBRIDGE, MA 02141-1428

Building Information

COMMERCIAL BUILDING NUMBER 1, SECTION 1

Exterior

Style	CITY-CLUB
Occupancy	FRAT-ORGANIZ
Number of Stories	1
Exterior Wall Type	CONCR-BLOCK
Roof Material	RUBBER-MEMBRAN
Wall Height	12
Partitions	AVERAGE

Interior

Living Area (sq. ft.)	4,080
Number of Units	1

Systems

Heat Type	STEAM
Heat Fuel	Oil
Plumbing	AVERAGE

Condition & Grade

Year Built	1870
Overall Condition	Fair
Overall Grade	Fair

Subareas

Code	Description		Gross Area	Living Area
BAS	First Floor		4,080	4,080
UBM	Basement		4,080	0
		Total:	8,160	4,080

Provide Feedback

747 Cambridge St.
BZA-017160-2019

BZA APPLICATION FORM
SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 747 Cambridge Street for the reduction of required parking under Section 6.35.1 of the Zoning Ordinance would not be a detriment to the public interest because:

A) <u>Requirements of the Ordinance can or will be met for the following reasons</u>:

The proposed project includes Allowed Uses under the requirements of the Zoning Ordinance. The Zoning Ordinance requires nine (9) residential parking spaces (1 per dwelling unit) and 17 commercial parking spaces for the proposed project. The proposed project provides for nine (9) residential parking spaces, in compliance with the Ordinance, but does not provide for any commercial parking spaces for the proposed renovated, reduced and reconfigured Polish-American Citizens' Association of Cambridge, Inc. (the "<u>Polish Club</u>") space.

The lesser amount of parking will not cause excessive congestion, endanger public safety, substantially reduce parking availability for other uses or otherwise adversely impact the neighborhood, as the existing condition for the Polish Club does not provide any on-site parking allotment for patrons and, in fact, the proposed future condition for the Polish Club provides for less overall space requiring less off-street parking, thus mitigating the requirements of the Ordinance. In this regard, the Polish Club component accounts for a majority of the proposed project's required parking count (1 space per 6 members at maximum occupancy).

As part of the proposed mitigation package for the project, the Appellant also proposes to voluntarily provide one (1) of these nine (9) units as affordable housing in conjunction with the City's inclusionary development housing policies. As such, this lesser amount of parking helps to provide benefits to the users of the lot and the neighborhood, including specifically, among other benefits, assisting in the provision of a voluntary affordable housing unit.

Finally, in conformance with the determining factors itemized in Section 6.35.1 of the Ordinance, less off-street parking is reasonable in light of the availability of surplus off street parking in the vicinity of the use being served and/or the proximity of an MBTA transit station and the availability of public parking facilities in the vicinity of the premises. Specifically, the property is located an easy walk directly down Cambridge Street at approximately 0.6 miles from the Lechmere MBTA Green Line Station and MBTA Bus Station providing access to downtown Boston and beyond via the B, C, D, and E train lines and the 69, 80, 87 and 88 buses. The property is also located directly across the street from a large public parking lot at the corner of Marion Street and Macarelli Way which provides over 30 public parking spaces available for use by visitors

and Polish Club patrons. Lastly, the proposed project provides 10 long term bicycle parking locker spaces and two (2) short term spaces in compliance with the Ordinance.

B) **Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:**

The addition of nine (9) new residential units will cause a de minimus increase in traffic thereby not causing congestion hazard or a substantial change in the established neighborhood character. Additionally, the project proposes for garage access and egress from a single curb cut located along Marion Street, thereby mitigating impacts along Cambridge Street from vehicular entry and exit for the proposed project.

C) **The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:**

The proposed project will not adversely affect the continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance because both of the proposed uses for the project are Allowed Uses under the Ordinance and the Polish Club is a long-time existing use at the premises. Further, while the proposed project does not provide the required parking allotment, it does provide a one-to-one parking ratio for the residential units and the existing condition for the Polish Club does not provide any on-site parking allotment for patrons. Additionally, and as stated above, the property is located within short walking distance from the Lechmere MBTA Green Line Station and MBTA Bus Station providing access to downtown Boston and beyond via the B, C, D, and E train lines and the 69, 80, 87 and 88 buses. It is also located directly across the street from a large public parking lot at the corner of Marion Street and Macarelli Way which provides over 30 public parking spaces available for use by visitors and Polish Club patrons. Lastly, the proposed project provides 10 long term bicycle parking locker spaces and two (2) short term spaces in compliance with the Ordinance.

D) **Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:**

No nuisance or hazard will be created by the proposed uses to the detriment of the health, safety and/or welfare of the occupant of the proposed use because both of the proposed uses for the project are Allowed Uses under the Ordinance and the Polish Club is a long-time existing use at the premises. The Appellant has given special attention to the siting, scale, design, and scope of the new structure, open space and vehicular and pedestrian access and neighborhood safety. Additionally, the Ordinance identifies the applicable Residence C-1 Zone as designated for "multifamily dwellings" and the Business A Zone as designated for "local and drive in retail business, offices and multifamily dwellings," which the proposed development contemplates as described within this application.

E) **<u>For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons</u>:**

Again, the project's proposed uses are Allowed under the Ordinance and the project's required dimensional relief is alleviated by certain other mitigating factors, as described herein. Furthermore, the proposed project has been thoroughly processed with the community and the Appellant's proposed development will result in the much-needed revitalization of an under-utilized, irregularly shaped and unique property site with a new, Allowed Multifamily Residential Use, while also preserving the long-existing Polish Club Use, in a manner which is consistent with, and complementary to, the immediate and surrounding neighborhood. Therefore, the proposed use will not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of the Ordinance.