



# CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

## BZA Application Form

**BZA Number: 1141278**

### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X   Variance:            Appeal:           

**PETITIONER:** Michael J. Green and Laura C. Carey C/O Sarah Like Rhatigan, Esq., Trilogy Law LLC

**PETITIONER'S ADDRESS:** 12 Marshall Street, Boston, MA 02108

**LOCATION OF PROPERTY:** 23 ELLSWORTH AVE., Unit 1, Cambridge, MA

**TYPE OF OCCUPANCY:** 3-family residential (condo unit) **ZONING DISTRICT:** Residence C-1 Zone

**REASON FOR PETITION:**

**DESCRIPTION OF PETITIONER'S PROPOSAL:**

Enlarge basement window on exterior façade located within the right-side yard setback, requiring special permit.

**SECTIONS OF ZONING ORDINANCE CITED:**

Article: 5.000	Section: 5.31 (Table Dimensional Requirements).
Article: 8.000	Section: 8.22.1.d (Nonconformance)
Article: 8.000	Section: 8.22.2.c (Alteration to Non-Conforming Structure).
Article: 10.000	Section: 10.40 (Special Permit).

Original  
Signature(s):

  
(Petitioner (s) / Owner)

Sarah Like Rhatigan, Esq. on behalf of Petitioners

(Print Name)

Trilogy Law LLC  
12 Marshall Street, Boston, MA 02108

Address:

Tel. No.

E-Mail Address:

617-543-7009

sarah@trilogylaw.com

**Date:** October 31, 2024

2024 NOV - 1 AM 10:19  
OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS



## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

**Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.**

**Granting the Special Permit requested for 23 ELLSWORTH AVE , Unit 1 , Cambridge, MA (location) would not be a detriment to the public interest because:**

**A) Requirements of the Ordinance can or will be met for the following reasons:**

The Petitioner seeks to enlarge (by widening) a basement window on exterior façade located within the right side yard setback, requiring special permit. The enlarged window will allow additional natural light to a renovated basement-level family room. Where it occurs on the right exterior façade which is nonconforming, being sited approximately 2.9 feet from the right lot line, this work requires a special permit in accordance with Section 8.22.1.d and 8.22.2.c. No new nonconformities will result from the construction proposed by the Petitioners.

**B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:**

The proposed renovation project will not change the current use of the Property as a three-unit residential condominium, nor allow for an increase in the density or intensity of the residential use, nor will the project cause any additional traffic, change in traffic, or change in the established neighborhood character.

**C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:**

No change in the residential use of the Property will result from allowing the Petitioner to widen the opening and install a wider basement window to improve the natural light entering their basement family room. The enlarged window is close to grade and will be screened from the neighboring property by the solid wooden fence that stands between the Petitioner's and the neighbor's properties. Abutters will not be able to see the new windows as a result and thus, the adjacent uses will not be adversely affected by the requested special permit relief.

**D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:**

No nuisance or hazard will be created as a result of the proposed special permit relief, as the enlarged basement window will be screened from view of the abutting property by the solid wooden fence.

**E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:**

The requested special permit relief can be granted without impairing the integrity of the District or adjoining district, because the new basement windows will be in keeping with standard residential construction and consistent with neighborhood uses.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**



**BZA Application Form****DIMENSIONAL INFORMATION**

**Applicant:** Michael J. Green and Laura C. Carey  
**Location:** 23 ELLSWORTH AVE., Unit 1, Cambridge, MA  
**Phone:** 617-543-7009

**Present Use/Occupancy:** 3-family residential (condo unit)  
**Zone:** Residence C-1 Zone  
**Requested Use/Occupancy:** 3-family residential (condo unit)

		<b><u>Existing Conditions</u></b>		<b><u>Requested Conditions</u></b>		<b><u>Ordinance Requirements</u></b>	
<b><u>TOTAL GROSS FLOOR AREA:</u></b>		5,854 sf		5,854 sf		3,039 sf	(max.)
<b><u>LOT AREA:</u></b>		4,053 sf		4,053 sf		5,000 sf	(min.)
<b><u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u></b>		1.44		1.44		0.75	
<b><u>LOT AREA OF EACH DWELLING UNIT:</u></b>		1,351 sf		1,351 sf		1,500 sf	
<b><u>SIZE OF LOT:</u></b>	WIDTH	37.5 ft		37.5 ft		50.0 ft	
	DEPTH	112.0 ft		112.0 ft		n/a	
<b><u>SETBACKS IN FEET:</u></b>	FRONT	12.8 ft		12.8 ft		10.9 ft	
	REAR	37.1 ft		37.1 ft		20.0 ft	
	LEFT SIDE	4.8 ft		4.8 ft		7.5 ft	
	RIGHT SIDE	2.9 ft		2.9 ft		7.5 ft	
<b><u>SIZE OF BUILDING:</u></b>	HEIGHT	37.8		37.8		35.0 ft	
	WIDTH	59.0 ft		59.0 ft		n/a	
	LENGTH	28.0 ft		28.0 ft		n/a	
<b><u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u></b>		21%		21%		30%	
<b><u>NO. OF DWELLING UNITS:</u></b>		3		3		2	
<b><u>NO. OF PARKING SPACES:</u></b>		0		0		0	
<b><u>NO. OF LOADING AREAS:</u></b>		0		0		0	
<b><u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u></b>		n/a		n/a		(H+L)/6	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.:

*Proposed construction type is conventional and engineered wood frame construction, consistent with standard residential construction.*

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



BOARD OF ZONING APPEALS  
23 ELLSWORTH AVENUE, CAMBRIDGE MASSACHUSETTS  
UNIT #1 RENOVATION

CODE SUMMARY

BUILDING TYPE: VB  
SPRINKLER: 13D  
MEANS OF EGRESS: COMMON EGRESS STAIRS AT FRONT AND REAR OF THE BUILDING.

RELEVANT CODE REFERENCES

MASSACHUSETTS BUILDING CODE - NINTH EDITION CMR 780  
MASSACHUSETTS EXISTING BUILDING CODE WITH AMENDMENTS - IIBC 2015

OCCUPANCY: R-2 RESIDENTIAL

IEBC 504.1 - LEVEL 2 ALTERATION

Level 2 alterations include the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment, and shall apply where the work area is equal to or less than 50 percent of the building area.

IEBC 403.1 General. Except as provided by Section 401.2 or this section, alterations to any building or structure shall comply with the requirements of the International Building Code for new construction. Alterations shall be such that the existing building or structure is no less conforming with the provisions of the International Building Code than the existing building or structure was prior to the alteration.

IEBC 1501.2 Storage and Placement  
Construction equipment and materials shall be stored and placed so as not to endanger the public, the workers or adjoining property for the duration of the construction project.

IEBC 1501.3 Alterations, Repairs, and Additions  
Required exits, existing structural elements, fire protection devices, and sanitary safeguards shall be maintained at all times during alterations, repairs, or additions to any building or structure.

- Exceptions:
- When such required elements or devices are being altered or repaired, adequate substitute provisions shall be made.
  - When the existing building is not occupied

IEBC 1501.4 Manner of Removal  
Waste materials shall be removed in a manner which prevents injury or damage to persons, adjoining properties, and public rights-of-way.

IEBC 1501.5 Fire Safety During Construction  
Fire safety during construction shall comply with the applicable requirements of the International Building Code and the applicable provisions of Chapter 33 of the International Fire Code.

Single-or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-3, R-4 and I-1 regardless of occupant load at all of the following locations:

- On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms.
- In each room used for sleeping purposes.
- In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

IBC 420.6 Fire Alarm Systems and Smoke Alarms

Fire alarm systems and smoke alarms shall be provided in Group I-1, R-1, R-2 and R-4 occupancies in accordance with Sections 907.2.6, 907.2.8, 907.2.9 and 907.2.10, respectively. Single-or multiple-station smoke alarms shall be provided in Groups I-1, R-2, R-3 and R-4 in accordance with Section 907.2.11.

IBC 1031.2 Emergency Escape and Rescue

Basements and sleeping rooms below the fourth story above grade plane shall have not fewer than one emergency escape and rescue opening in accordance with this section. Where basements contain one or more sleeping rooms, an emergency escape and rescue opening shall be required in each sleeping room, but shall not be required in adjoining areas of the basement. Such openings shall open directly into a public way or to a yard or court that opens to a public way.

- Exceptions:
- Basements with a ceiling height of less than 80 inches (2032 mm) shall not be required to have emergency escape and rescue openings.
  - Emergency escape and rescue openings are not required from basements or sleeping rooms that have an exit door or exit access door that opens directly into a public way or to a yard, court or exterior egress balcony that opens to a public way.
  - Basements without habitable spaces and having not more than 200 square feet (18.6 m2) in floor area shall not be required to have emergency escape and rescue openings.
  - Storm shelters are not required to comply with this section where the shelter is constructed in accordance with ICC 500.
  - Within individual dwelling and sleeping units in Groups R-2 and R-3, where the building is equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, sleeping rooms in basements shall not be required to have emergency escape and rescue openings provided that the basement has one of the following:
    - One means of egress and one emergency escape and rescue opening.
    - Two means of egress.

Note: Basement is below three stories above grade plane. Building is sprinklered. Basement has one means of egress directly out to the rear yard.

IBC 1017.2 EXIT ACCESS TRAVEL DISTANCE

OCCUPANCY - R: 250' with Sprinkler (Conforms)

PROJECT DESCRIPTION:

THE CURRENT STRUCTURE CONSTITUTES A 3-FAMILY RESIDENCE. THE PROJECT IS LIMITED TO THE RENOVATION OF UNIT 1 WHICH INCLUDES THE GROUND FLOOR AND EXISTING FINISHED BASEMENT. PARTIAL RENOVATION OF THE GROUND LEVEL INCLUDING UPDATING ALL BATHROOM FINISHES AND FIXTURES IN ONE EXISTING BATHROOM, ADDING A WALL TO THE LIVING ROOM TO CREATE A SMALL OFFICE SPACE TO WHAT WAS FORMERLY AN OPEN OFFICE SPACE, ADDING BUILT-INS IN THE LIVING ROOM TV WALL, AND ADDING A BUILT-IN BENCH IN THE KITCHEN. LOWER LEVEL IMPROVEMENTS INCLUDE RENOVATING THE FAMILY ROOM AND PLAYROOM, RENOVATING THE EXISTING BATHROOM AND REPLACING MASONRY COLUMNS WITH STEEL LALLY COLUMNS, ENLARGING WINDOW ON FRONT FAVADE AND ENGLARGING WINDOW ON RIGHT FACADE. NO CHANGES TO THE EXTERIOR WALLS OR CLADDING OF THE BUILDING ARE PROPOSED.

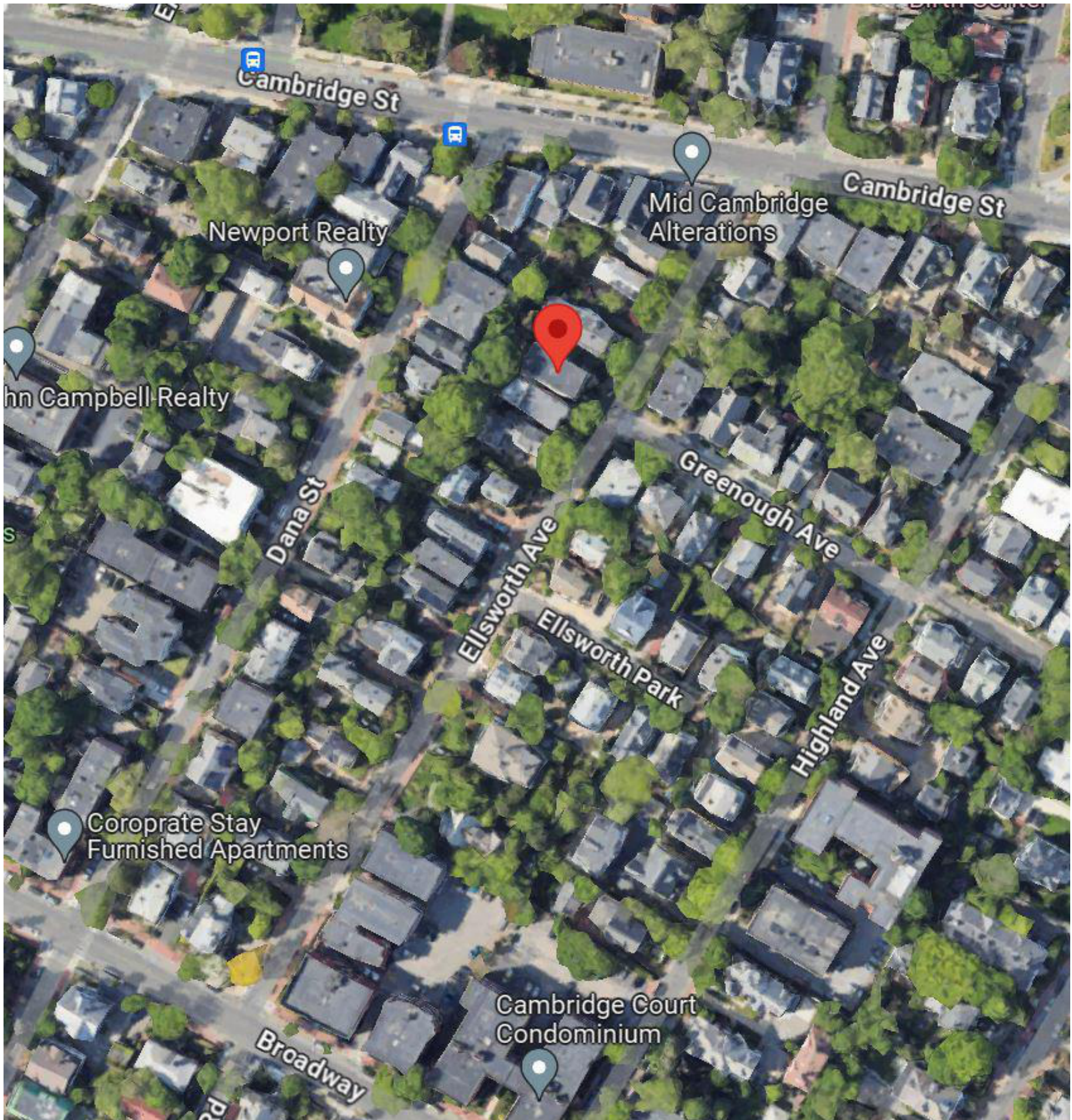
ZONING ORDINANCE CITY OF CAMBRIDGE, MASSACHUSETTS

ZONING DISTRICT: Residence C-1  
LOT SIZE: 4,053 SF  
BUILDING ID: 337-14  
FIRST FLOOR GROSS AREA: 1,521 GSF  
BASEMENT GROSSSS AREA: 1,033 GSF  
TOTAL GROSS AREA: 2,554 GSF  
TOTAL LIVING AREA: 1,521 SF  
BUILDING LIVING AREA: 5,854 SF

Sheet List		
Sheet Number	Sheet Name	Sheet Issue Date
T0.00	PROJECT & ZONING SUMMARY	10/15/24
S1	EXISTING SURVEY	10/15/24
A3.01	BLDG ELEVATIONS - SOUTH	10/15/24
A3.02	BLDG ELEVATIONS - EAST	10/15/24
ID-1.0	DEMO FLOOR PLANS	10/15/24
I-2.0	PROPOSED FLOOR PLANS	10/15/24
I-3.0	ELECTRICAL PLANS	10/15/24
I-5.0	SCHEDULES & RENDERINGS	10/15/24



ASSESSOR'S PHOTO



AERIAL MAP

SOZA  
ARCHITECTURE | DESIGN

SOZA ARCHITECTS  
617.866.7794 www.soza-architecture.com  
597 Adams Street, #2, Boston, MA 02122

PROJECT NAME:  
23 ELLSWORTH UNIT 1 RENOVATION

PROJECT ADDRESS:  
23 ELLSWORTH AVENUE, CAMBRIDGE, MA 02139

CONSULTANTS:

**Interior Designer**  
GREGOIRE INTERIORS  
jen@gregoireinteriors.com  
860.460.7026

**Structural Engineer**  
Monolith Group, Inc.  
info@monolih-group.net  
617.314.4177

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PROJECT &  
ZONING  
SUMMARY

Project Number	00055
Date	15 October, 2024
Drawn By	SP
Checked By	SP

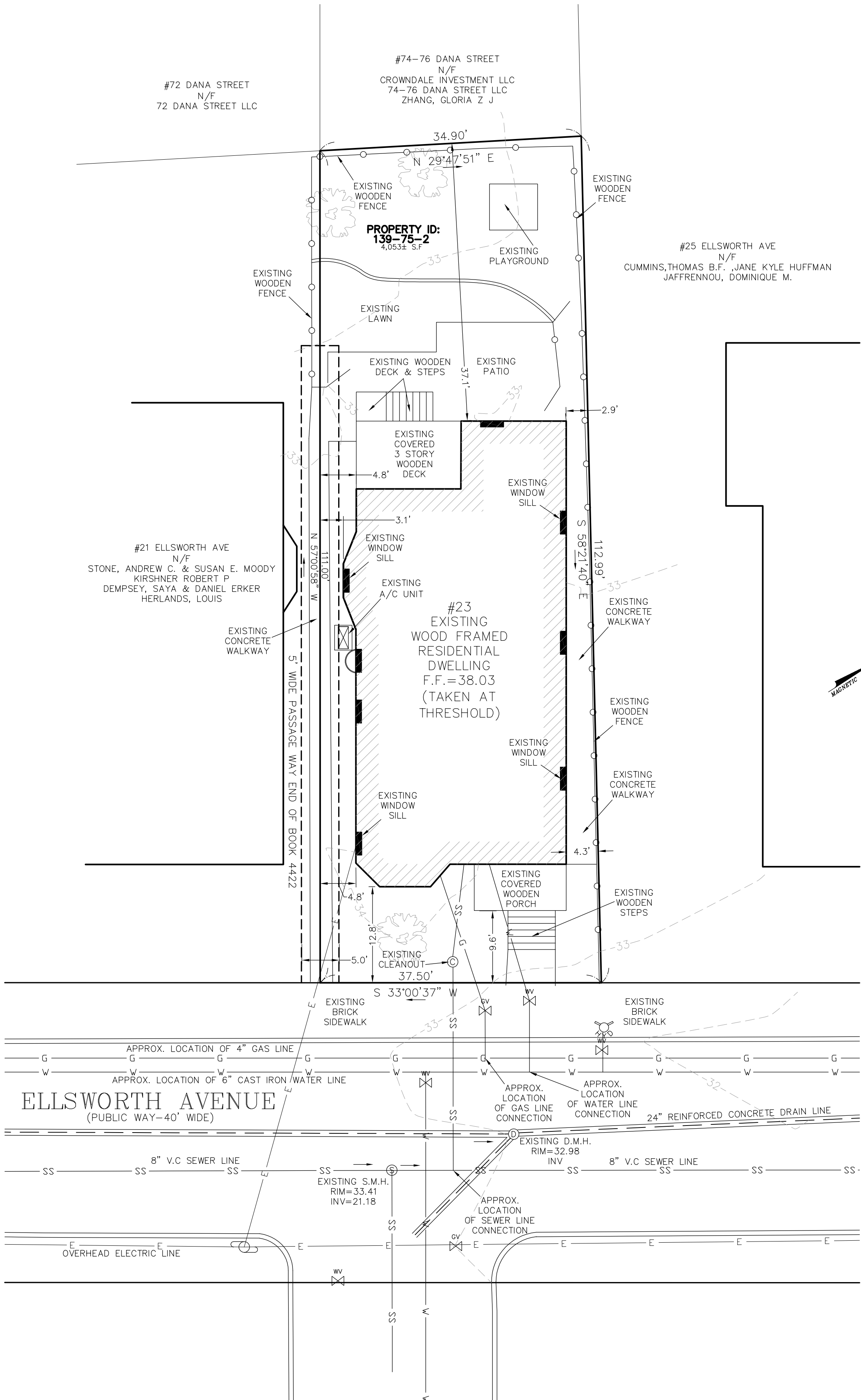
T0.00

Scale

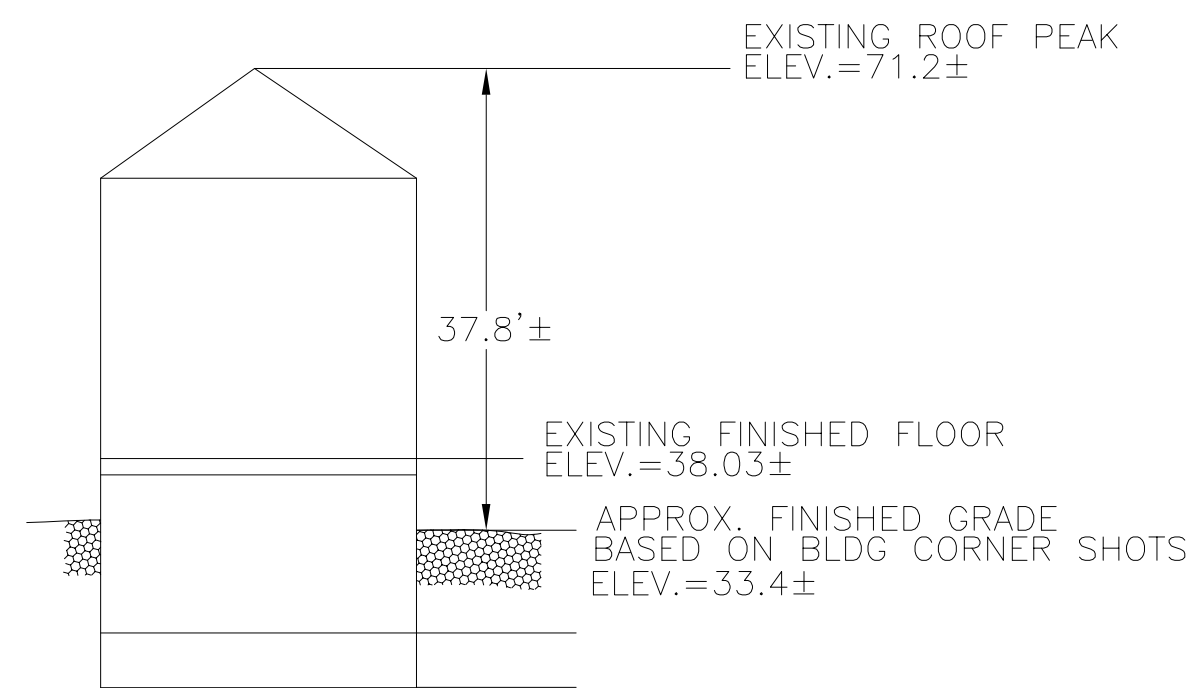


	BOUND
	IRON PIN/PIPE
	TREE
	TREE STUMP
	SIGN
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	WATER VALVE
	HYDRANT
	GAS VALVE
	ELECTRIC MANHOLE
	UTILITY POLE
	LIGHT POLE
	MANHOLE
	EXISTING BUILDING
	RETAINING WALL
	FENCE
	SEWER LINE
	WATER LINE
	GAS LINE
	ELECTRIC LINE
	CONTOUR LINE (MJR)
	CONTOUR LINE (MNR)

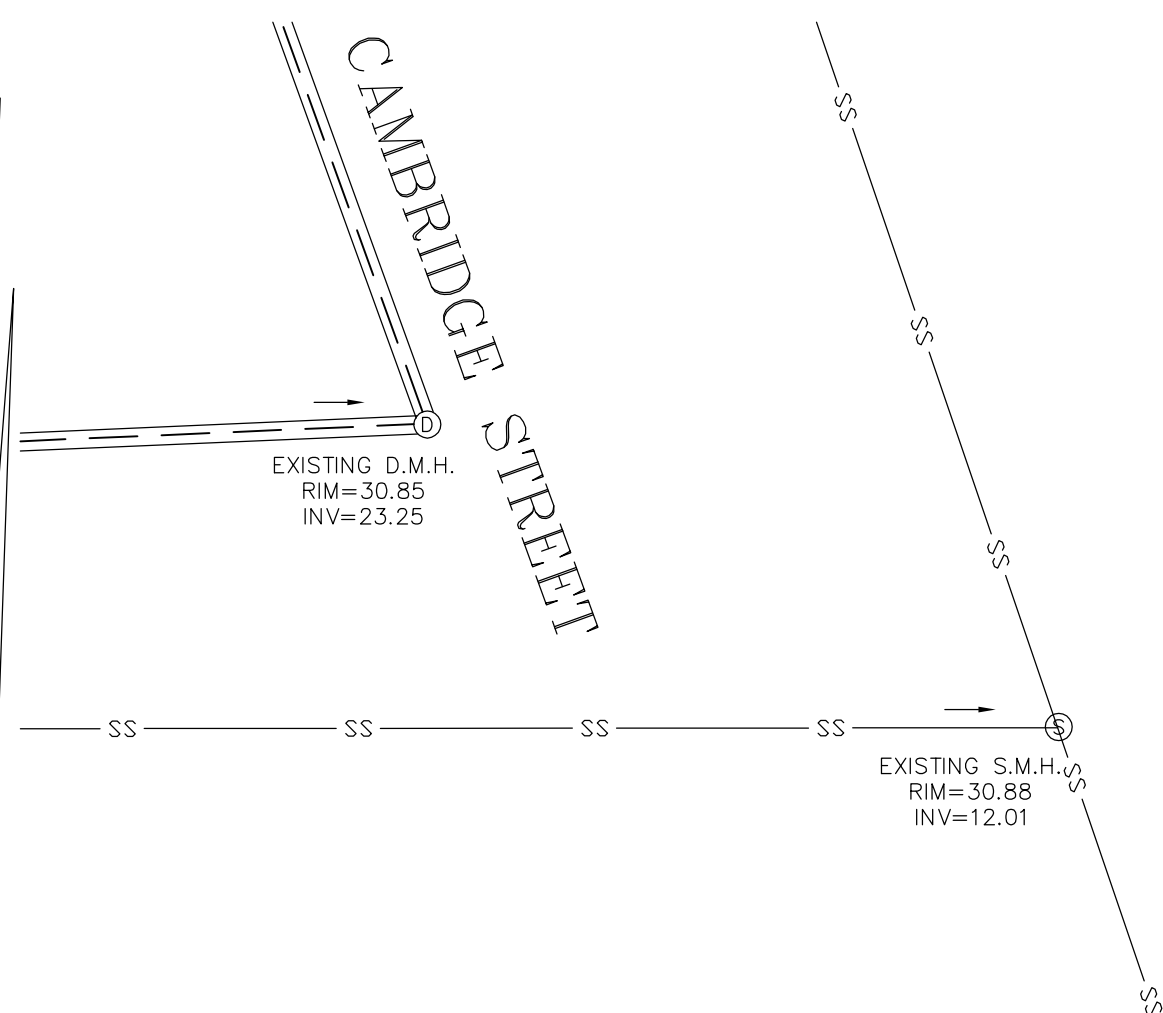
Ground Elevation Min:	32.0 ft-CCB
Ground Elevation Max:	34.2 ft-CCB
2070 - 1% - SLR/SS	N/A
2070 - 1% - Precip	N/A
2070 - 10% - SLR/SS	N/A
2070 - 10% - Precip	N/A
2030 - 1% - Precip	N/A
2030 - 10% - Precip	N/A
Present Day - 1%-Precip	N/A
Present Day - 10%-Precip	N/A
FEMA 500-Year	N/A
FEMA 100-Year	N/A
1% - LTFE	N/A
10% - LTFE	N/A



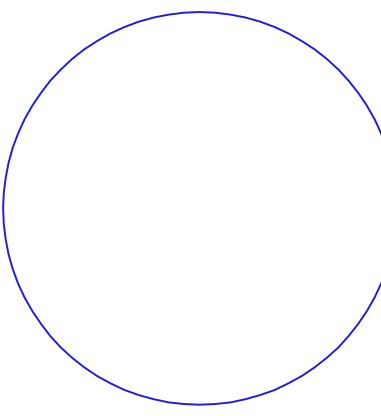
9. THE ELEVATIONS SHOWN ARE BASED ON CITY OF CAMBRIDGE DATUM.



EXISTING PROFILE  
NOT TO SCALE

[illegible]

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*SHEET 1 OF 1*



SOZA ARCHITECTS  
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PROJECT NAME:  
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BLDG  
ELEVATIONS -  
SOUTH

Project Number 00055  
Date 15 October, 2024  
Drawn By SP  
Checked By SP

A3.01

Scale 1/4" = 1'-0"



① PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"

INSTALL NEW MARVIN DOUBLE-HUNG WINDOW. ROUGH OPENING: 38 1/4" X 39 1/4" MAINTAIN EXISTING HEAD HEIGHT GLASS: IG 1-LITE, TEMPERED LOW E2 FROSTED W/ ARGON, STAINLESS



DEMOLISH EXISTING 20'X37" WINDOW AND PORTION OF WALL TO ACCOMODATE NEW WINDOW. EXISTING WINDOW HEAD HEIGHT TO REMAIN.

② EXISTING SOUTH ELEVATION  
1/4" = 1'-0"



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PROJECT ADDRESS:  
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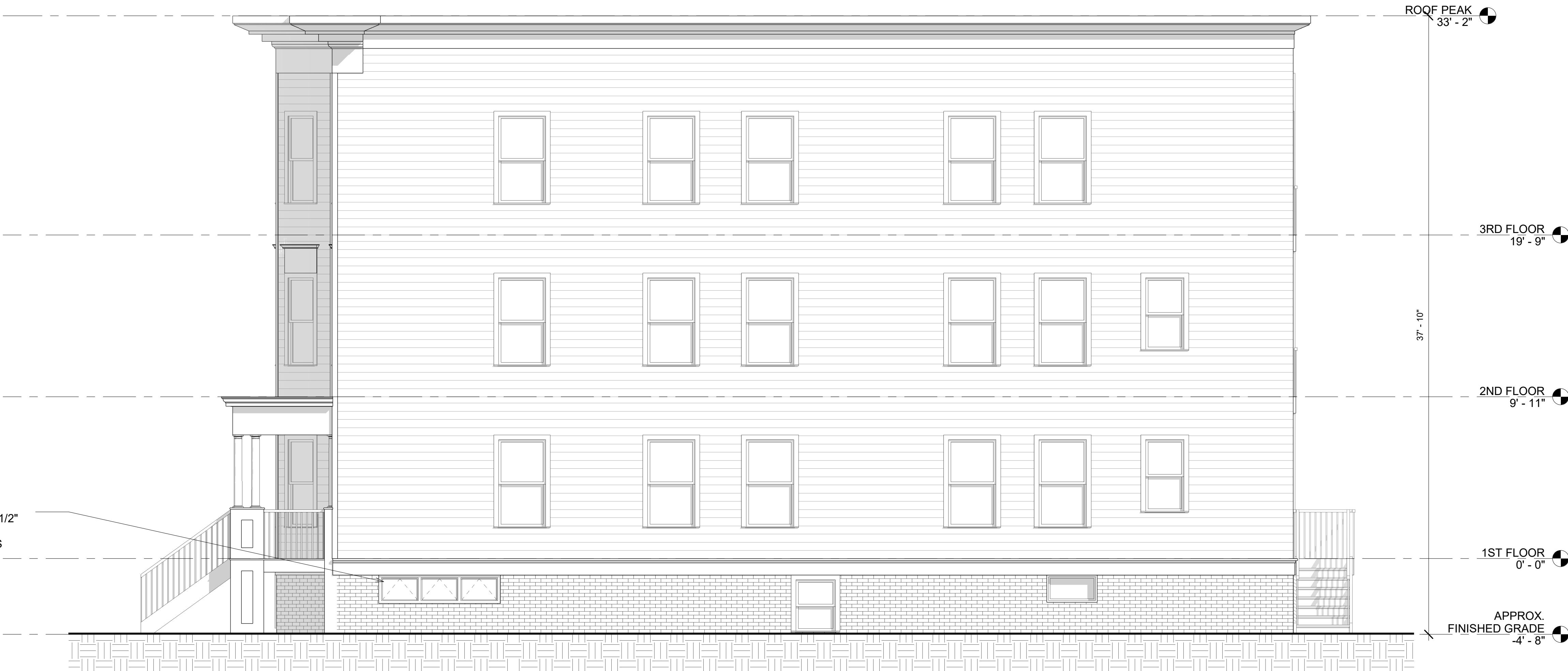
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BLDG  
ELEVATIONS -  
EAST

Project Number 00055  
Date 15 October, 2024  
Drawn By SP  
Checked By SP

A3.02

Scale 1/4" = 1'-0"



② PROPOSED EAST ELEVATION  
1/4" = 1'-0"



① EXISTING EAST ELEVATION  
1/4" = 1'-0"

INSTALL NEW WINDOW  
MARVIN ESSENTIAL AWNING - 3  
WINDOWS WIDE  
ROUGH OPENING: 87 33/64" X 19 1/2"  
GLASS: IG, TEMPERED LOW E3  
FROSTED W/ ARGON, STAINLESS

DEMOLISH EXISTING 20"x37" WINDOW  
AND PORTION OF WALL TO  
ACCOMMODATE NEW WINDOW.  
EXISTING WINDOW HEAD HEIGHT TO  
REMAIN.



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- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO FINISHED FACE UNLESS OTHERWISE NOTED.
  - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
  - INTERIOR PARTITIONS TO BE 2x4 WOOD STUD WALLS W/ 1/2" BOARD AND PLASTER.
  - INTERIOR PARTITIONS AT BATHROOMS TO BE 2x4 WOOD STUD WALLS W/ 1/2" MOISTURE RESISTANT BOARD AND PLASTER OR 1/2" CEMENT BOARD AND TILE WHERE INDICATED.

- DESIGN/BUILD NOTES:**
- ALL WORK RELATED TO HVAC, PLUMBING, AND ELECTRICAL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ON A DESIGN/BUILD BASIS. ALL WORK SHALL COMPLY WITH ALL RELEVANT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
  - HVAC, ELECTRICAL, AND PLUMBING LAYOUTS WHERE SHOWN ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY. INSTALLERS SHALL HAVE FULL RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL LIABILITY IN CONNECTION THEREIN.

- ELECTRICAL NOTES:**
- MOUNTING HEIGHTS FOR ELECTRICAL RECEPTACLES AND SWITCHES SHALL MATCH EXISTING BUILDING EQUIPMENT AND CODE. ELECTRICAL RECEPTACLES MAY BE NO LOWER THAN 18" A.F.F. (CENTERLINE) MAXIMUM HEIGHT FOR CONTROLS IS 48" A.F.F.
  - COVER PLATES FOR ANY DEVICES SHALL NOT BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED.
  - ALL ELECTRICAL WORK SHALL BE COORDINATED WITH HVAC, CABINETWORK, PARTITION CONSTRUCTION AND ANY OTHER WORK WHERE SO REQUIRED/APPROPRIATE EVEN IF NOT SPECIFICALLY REQUESTED.
  - ELECTRICAL CONTRACTOR WILL COORDINATE ANY CHANGES OR CHANGE REQUESTS IN ELECTRICAL POWER OR DEVICE REQUIREMENTS WITH OWNER AND ARCHITECT.
  - COMPLY WITH ALL MANUFACTURER REQUIREMENTS FOR ELECTRICAL, TELEPHONE, AND OTHER ASSOCIATED DEVICES.

**APPLICABLE CODE:**  
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL RESIDENTIAL CODE

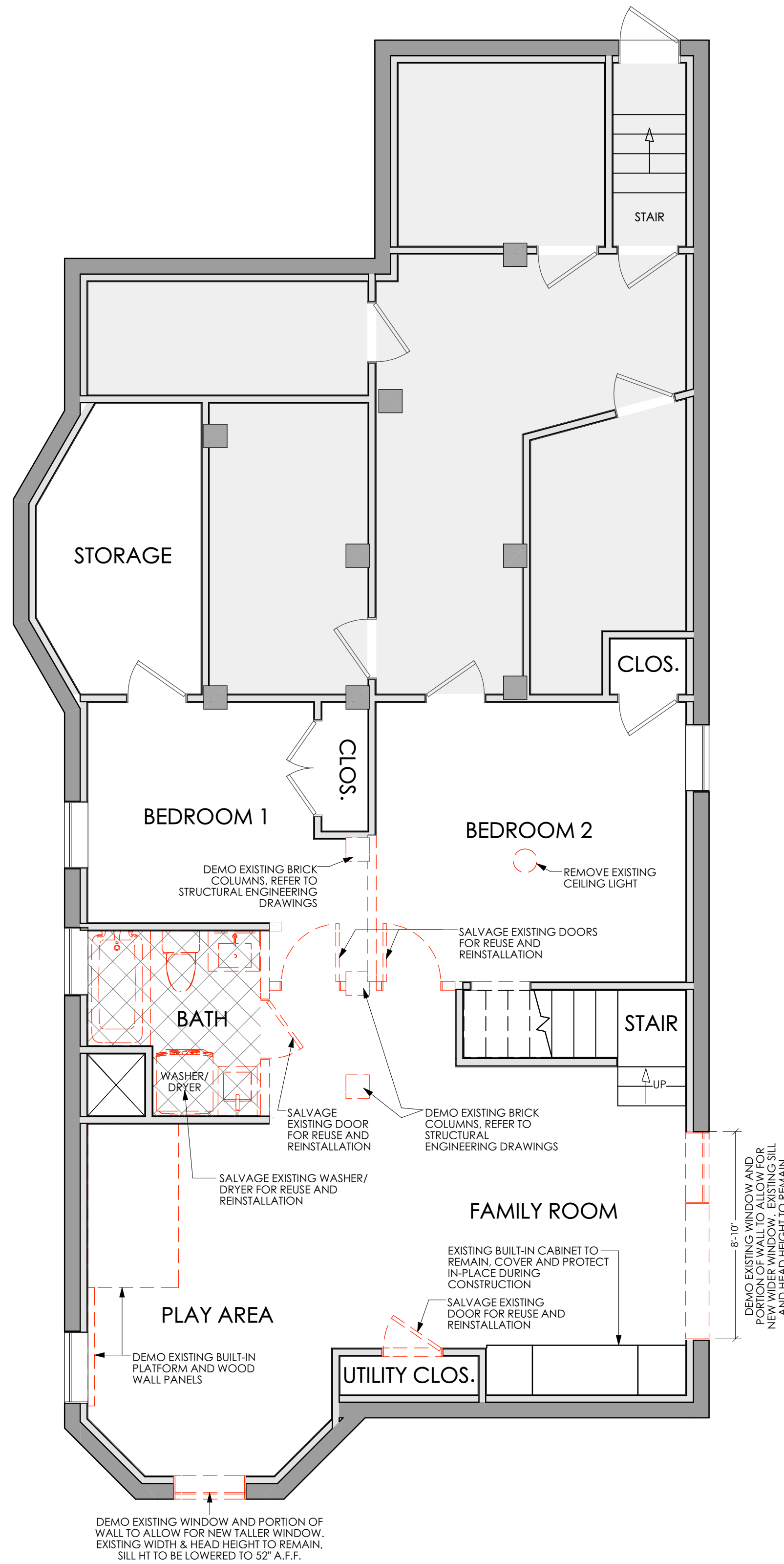
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## DEMO FLOOR PLANS

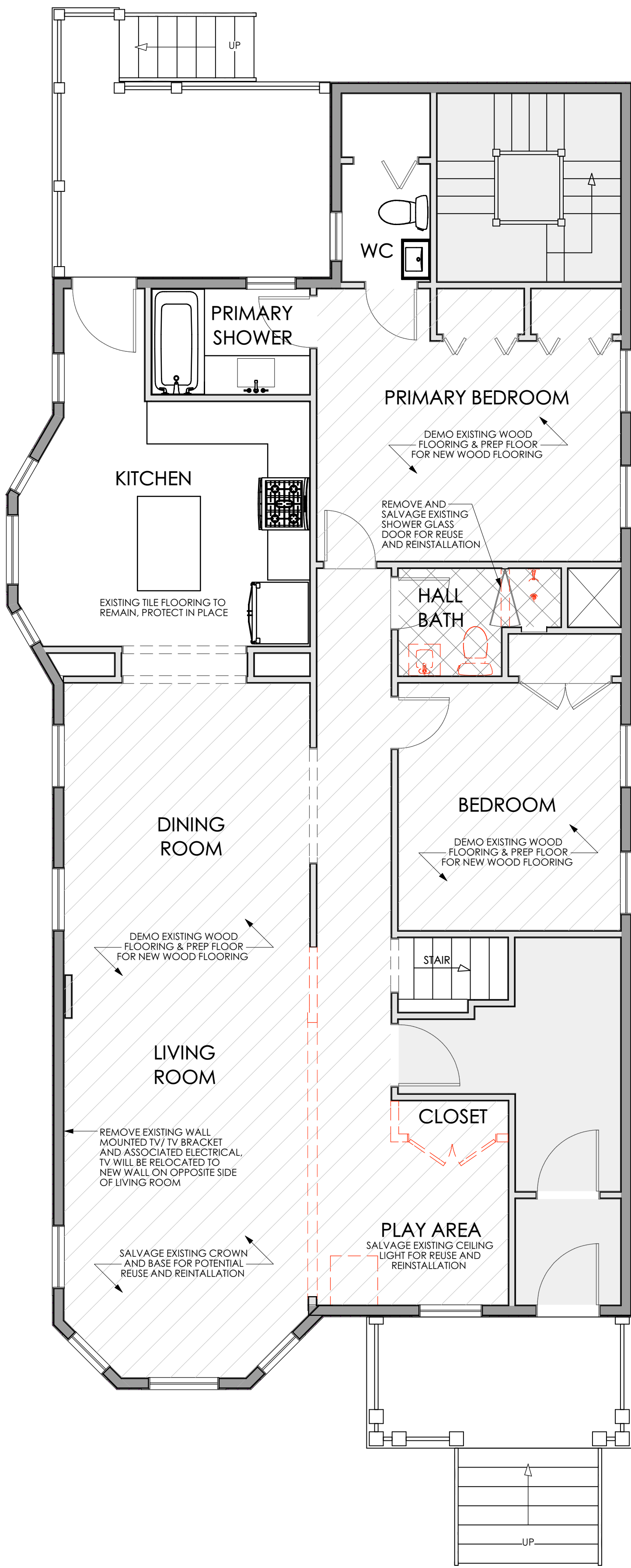
Project Number  
Date 15 October, 2024  
Drawn By JG  
Checked By SP

# ID-1.0

Scale 1/4" x 1'-0"



2 DEMO FLOOR PLAN - LOWER LEVEL  
SCALE: 1/4" = 1'-0"



1 DEMO FLOOR PLAN - FIRST FLOOR  
SCALE: 1/4" = 1'-0"

### DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- DASHED LINE INDICATES DEMOLITION SCOPE
- DEMO WALLBOARD/ BUILT-IN ELEMENT
- DEMO FLOORING
- FULL GUT DEMO OF ROOM/ AREA
- (N) NEW
- (E) EXISTING



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- ELECTRICAL NOTES:**
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  - ALL ELECTRICAL WORK SHALL BE COORDINATED WITH HVAC, CABINETWORK, PARTITION CONSTRUCTION AND ANY OTHER WORK WHERE SO REQUIRED/APPROPRIATE EVEN IF NOT SPECIFICALLY REQUESTED.
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  - COMPLY WITH ALL MANUFACTURER REQUIREMENTS FOR ELECTRICAL, TELEPHONE, AND OTHER ASSOCIATED DEVICES.

**APPLICABLE CODE:**  
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL RESIDENTIAL CODE

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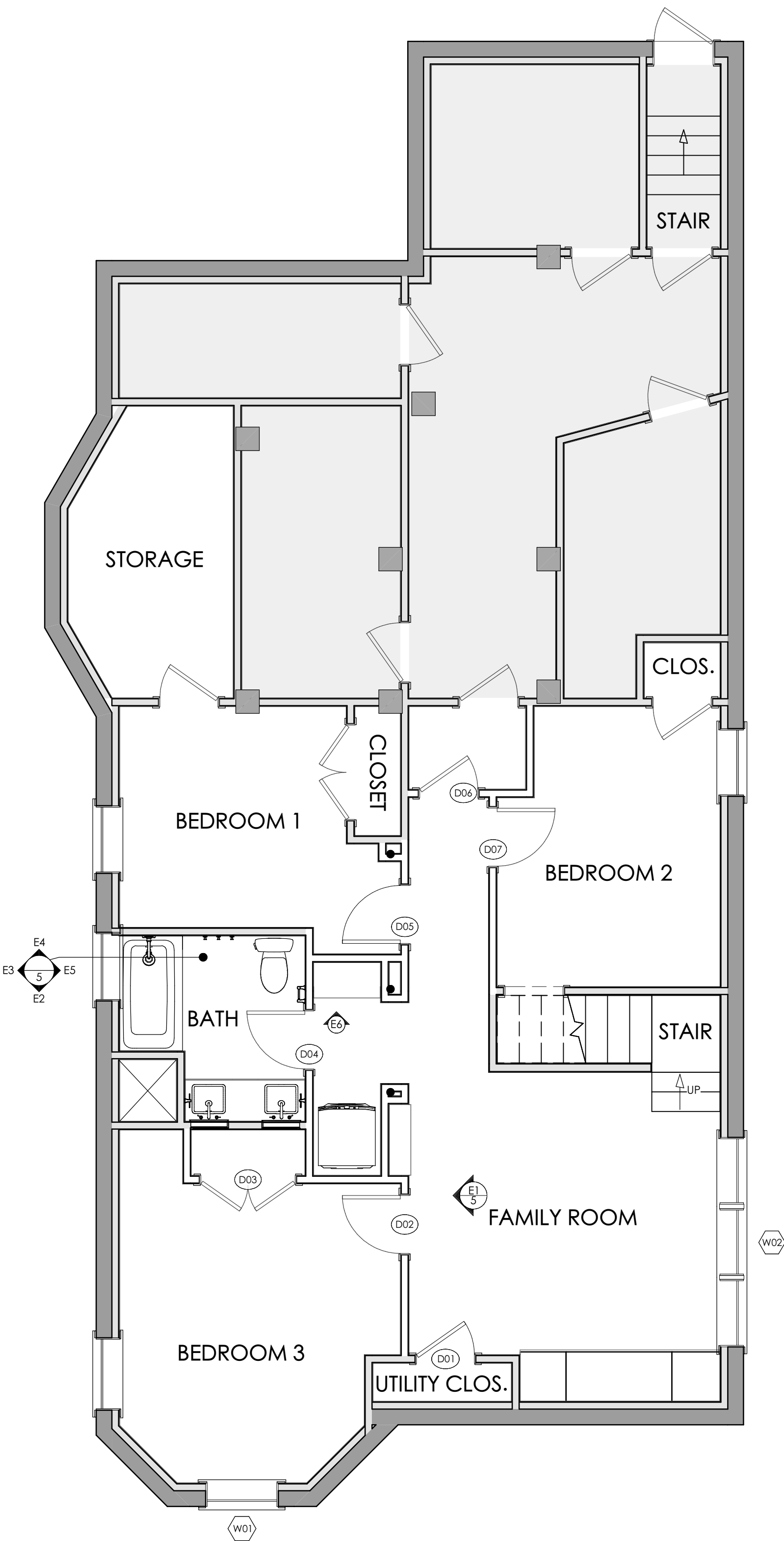
## PROPOSED FLOOR PLANS

Project Number  
Date 15 October, 2024  
Drawn By JG  
Checked By SP

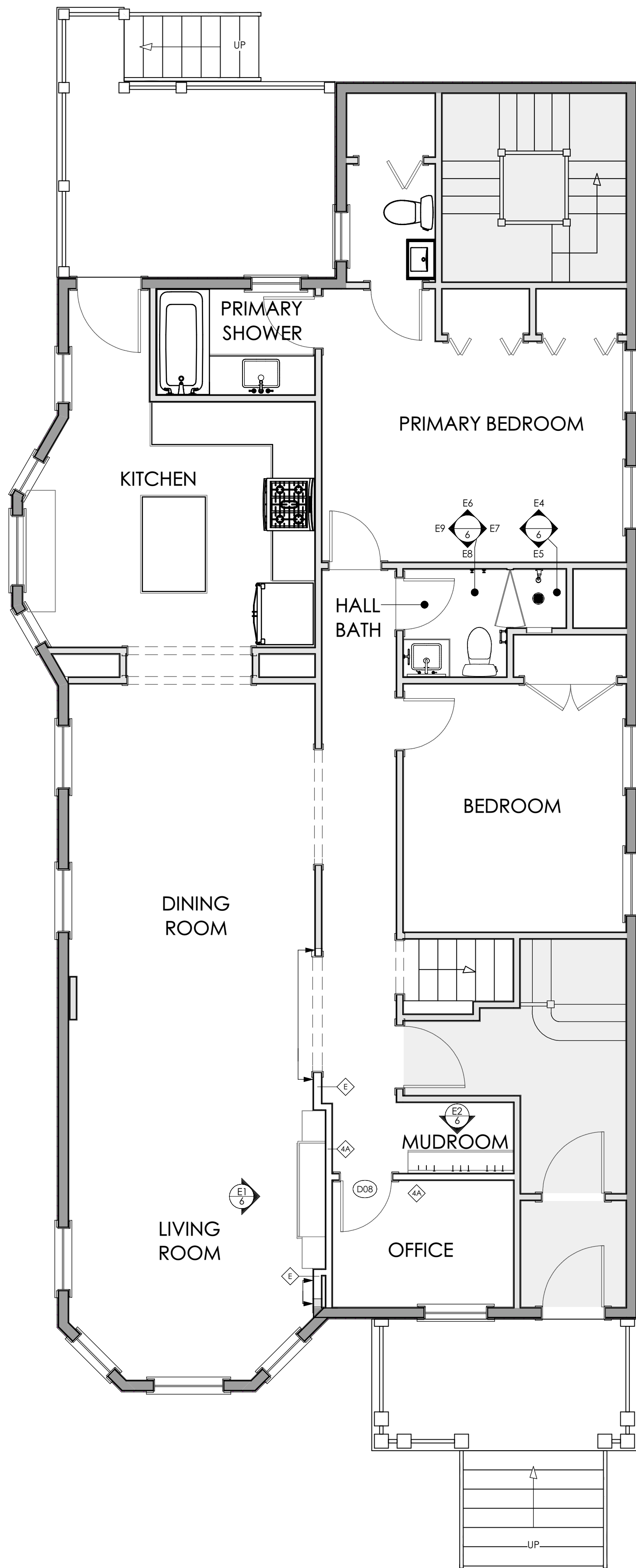
# I-2.0

Scale 1/4" x 1'-0"

15 October, 2024



2 PROPOSED FLOOR PLAN - LOWER LEVEL  
SCALE: 1/4" = 1'-0"



1 PROPOSED FLOOR PLAN - FIRST FLOOR  
SCALE: 1/4" = 1'-0"

### PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL, REFER TO WALL TYPES
- DOOR SYMBOL, REFER TO DOOR SCHEDULE
- WINDOW SYMBOL, REFER TO WINDOW SCHEDULE
- BLOCKING IN WALL

- C.O. CASSED OPENING
- R.O. ROUGH OPENING
- EQ. EQUAL
- (N) NEW
- (E) EXISTING
- C.L. CENTERLINE
- V.I.F. VERIFY IN FIELD, REVIEW WITH DESIGNER IF FIELD DIMENSION DIFFERS FROM DRAWINGS

- NOTES:**
- REFER TO DOOR, PLUMBING & FINISHES SCHEDULES FOR ADDITIONAL INFORMATION.
  - NEW BASEBOARD AND TRIM TO MATCH EXISTING THROUGHOUT HOME.
  - REVIEW HVAC DUCTWORK LOCATIONS AND DESIGN W/ DESIGNER PRIOR TO INSTALL
  - NO CEILING CROWN EXCEPT WHERE NOTED AT NEW BUILT-IN CABINETS

### WALL TYPES

- 2X4 WOOD STUD WALL W/ 1/2" GYP TO ONE SIDE
- 2X4 WOOD STUD WALL INSULATED W/ 1/2" GYP ON ONE SIDE
- 2X4 WOOD STUD WALL W/ 1/2" GYP TO BOTH SIDES
- 2X4 WOOD STUD WALL INSULATED W/ 1/2" GYP ON BOTH SIDES
- MATCH EXISTING ADJ. WALL ASSEMBLY

### DOOR SCHEDULE

- LOCATION: UTILITY CLOSET  
REUSE EXISTING SALVAGED DOOR  
DIMENSIONS: V.I.F.  
QTY: 1
- LOCATION: BEDROOM 3  
REUSE EXISTING SALVAGED DOOR  
DIMENSIONS: V.I.F.  
QTY: 1
- LOCATION: BEDROOM 3 CLOSET  
DOOR STYLE: DOUBLE CLOSET DOORS - TO MATCH EXISTING INTERIOR DOORS  
DIMENSIONS: 4'-0" X MATCH EXISTING HEIGHT  
QTY: 1
- LOCATION: BASEMENT BATHROOM  
REUSE EXISTING SALVAGED DOOR  
DIMENSIONS: V.I.F.  
QTY: 1
- LOCATION: BEDROOM 1  
REUSE EXISTING SALVAGED DOOR  
DIMENSIONS: V.I.F.  
QTY: 1
- LOCATION: BASEMENT HALL  
REUSE EXISTING SALVAGED DOOR  
DIMENSIONS: V.I.F.  
QTY: 1
- LOCATION: BEDROOM 2  
REUSE EXISTING SALVAGED DOOR  
DIMENSIONS: V.I.F.  
QTY: 1
- LOCATION: OFFICE  
DOOR STYLE: NEW DOOR TO MATCH EXISTING INTERIOR DOORS  
DIMENSIONS: MATCH WIDTH & HEIGHT OF ADJ. HALLWAY DOORS. V.I.F.  
QTY: 1

**DOOR NOTES:**  
REUSE EXISTING DOORS AND DOOR HARDWARE WHERE FEASIBLE. IF NEW DOORS AND HARDWARE ARE NEEDED, SIZE, DESIGN AND STYLE ARE TO MATCH EXISTING.

### WINDOW SCHEDULE

- LOCATION: BEDROOM 3  
MFR: MARVIN  
PRODUCT: ESSENTIAL  
ROUGH OPENING HT: 39"  
ROUGH OPENING WIDTH: 38"  
UNIT TYPE: DOUBLE HUNG  
GLASS: IG-1 LITE, TEMPERED LOW E2 FROSTED W/ ARGON, STAINLESS  
FINISH: STONE WHITE
- LOCATION: FAMILY ROOM  
MFR: MARVIN  
PRODUCT: ESSENTIAL MULLED UNIT  
ROUGH OPENING HT: TO MATCH EXISTING  
ROUGH OPENING WIDTH: 8'-10"  
UNIT TYPE: AWNING, ROJO OPENING  
GLASS: IG-1 TEMPERED LOW E3 FROSTED W/ ARGON, STAINLESS  
FINISH: STONE WHITE



SOZA ARCHITECTS  
617.866.7794  
www.soz-architecture.com  
597 Adams Street, #2, Boston, MA 02122

PROJECT NAME:  
23 ELLSWORTH UNIT 1 RENOVATION

PROJECT ADDRESS:  
23 ELLSWORTH AVENUE, CAMBRIDGE, MA 02139

CONSULTANTS:

**Interior Designer**  
GREGOIRE INTERIORS  
jen@gregoireinteriors.com  
860.460.7026

**Structural Engineer**  
Monolith Group, Inc.  
info@monolith-group.net  
617.314.4177

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FINISHED FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
- INTERIOR PARTITIONS TO BE 2x4 WOOD STUD WALLS W/ 1/2" BOARD AND PLASTER.
- INTERIOR PARTITIONS AT BATHROOMS TO BE 2x4 WOOD STUD WALLS W/ 1/2" MOISTURE RESISTANT BOARD AND PLASTER OR 1/2" CEMENT BOARD AND TILE WHERE INDICATED.

DESIGN/BUILD NOTES:

- ALL WORK RELATED TO HVAC, PLUMBING, AND ELECTRICAL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ON A DESIGN/BUILD BASIS. ALL WORK SHALL COMPLY WITH ALL RELEVANT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
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APPLICABLE CODE:  
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL RESIDENTIAL CODE

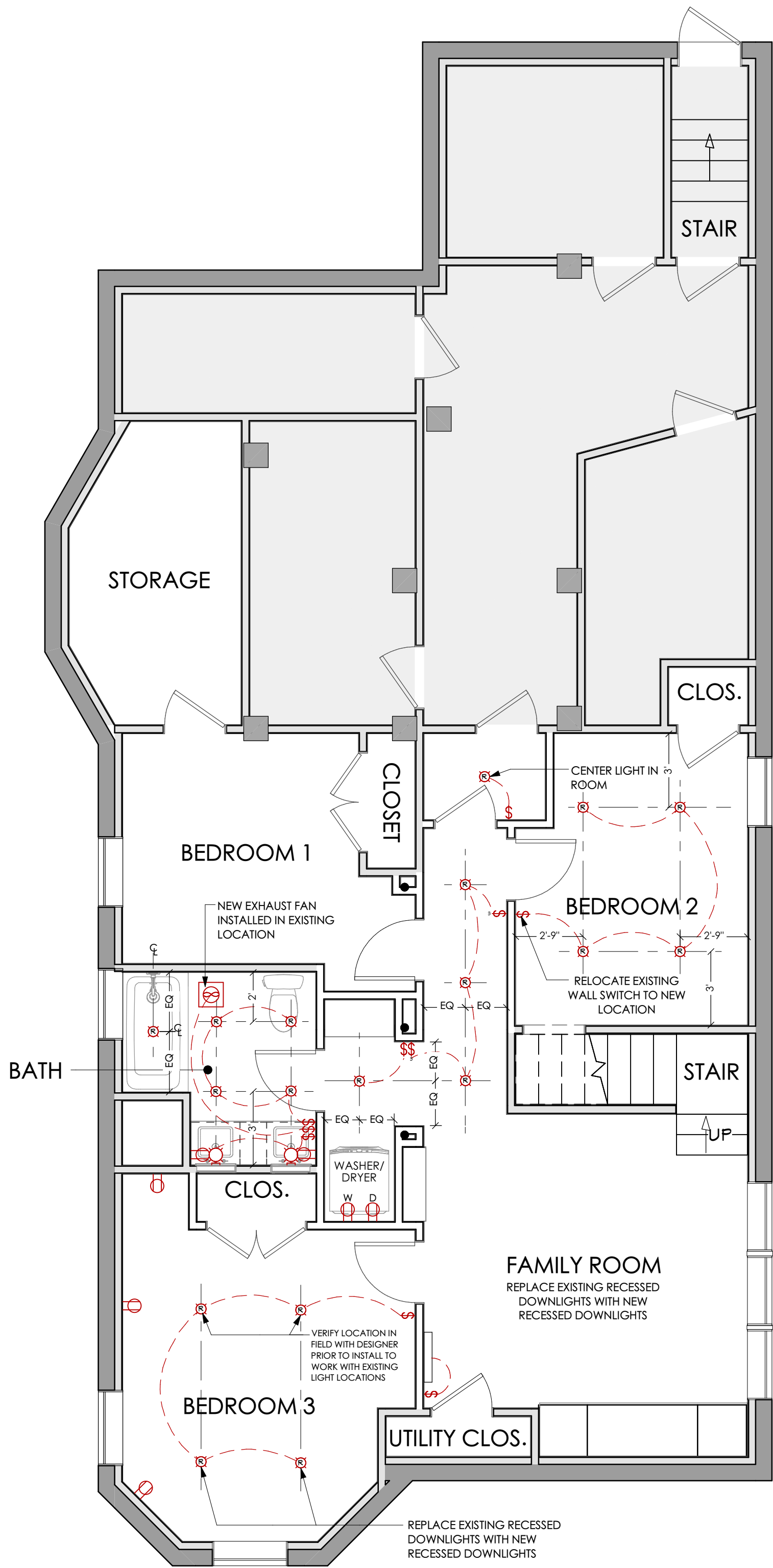
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## ELECTRICAL PLANS

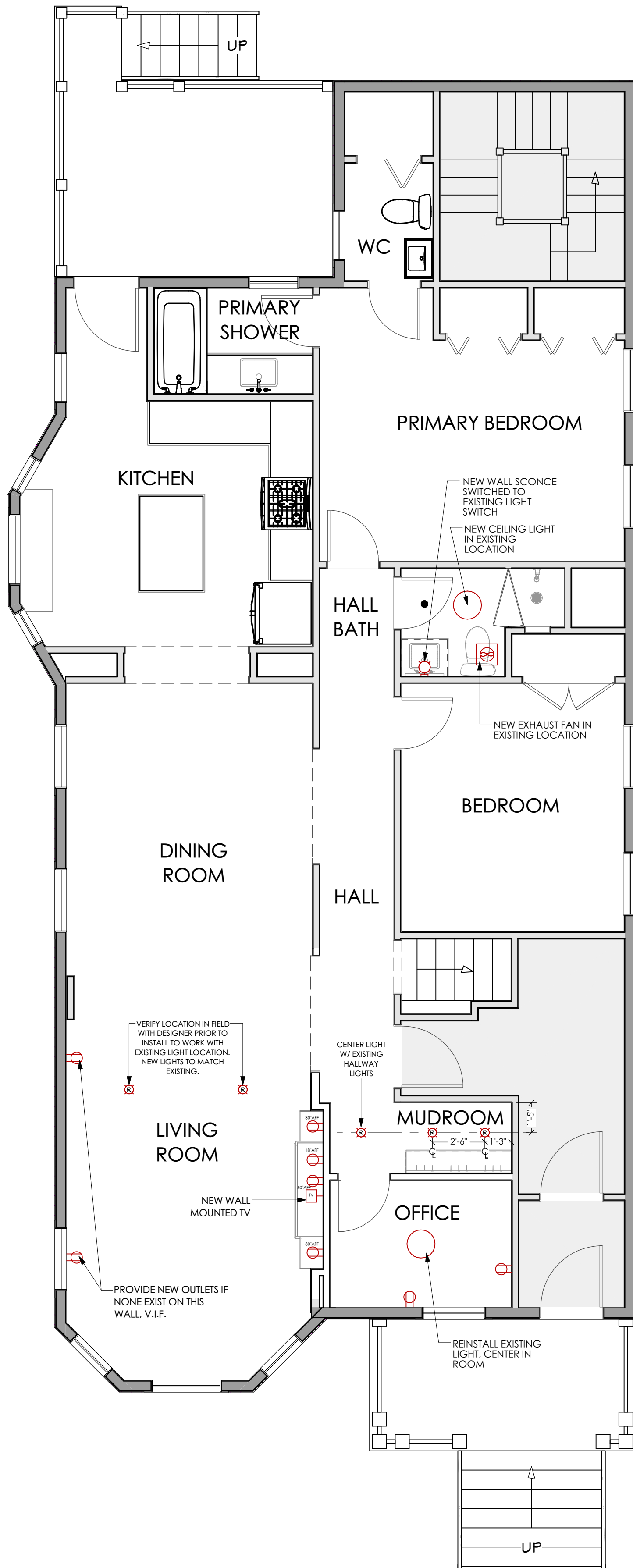
Project Number  
Date 15 October, 2024  
Drawn By JG  
Checked By SP

I-3.0

Scale 1/4" x 1'-0"



2 ELECTRICAL PLAN - LOWER LEVEL  
SCALE: 1/4" = 1'-0"



1 ELECTRICAL PLAN - FIRST FLOOR  
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
⊖	OUTLET
⊕	SWITCH
⊕/⊖	REFRIGERATOR AND FREEZER
⊕/⊖	GAS & ELECTRIC RANGE
⊕/⊖	HOOD INSERT
⊕/⊖	BUILT-IN MICROWAVE
⊕/⊖	GARBAGE DISPOSAL IN CABINET UNDER SINK
⊕/⊖	DISHWASHER
⊕/⊖	GAS & ELECTRIC WASHER/DRYER TOWER
⊕/⊖	UNDERCOUNTER WINE FRIDGE
⊕/⊖	AIR SWITCH FOR GARBAGE DISPOSAL
⊕/⊖	EXHAUST FAN (NO LIGHT)
A.F.F.	INDICATES MOUNTING HEIGHT ABOVE FINISHED FLOOR

NOTES:

- REFER TO LIGHTING LEGEND FOR LIGHTING SELECTION
- ALL NEW LIGHTS TO BE ON DIMMERS UNLESS OTHERWISE NOTED
- PROVIDE ALL ELECTRICAL OUTLETS AS REQUIRED BY CODE
- REFER TO PLUMBING SPECS FOR ADDITIONAL INFORMATION

LIGHTING LEGEND	
⊕	INFORMATION
R	RECESSED DOWNLIGHTS MFR: PER GC/ ELECTRICAL SUB ITEM: PER GC/ ELECTRICAL SUB COLOR: WHITE NOTES: LIGHTS TO BE ON DIMMERS
W-1	WALL SCONCE @ LOWER LEVEL BATHROOM MFR: KOHLER ITEM: TONE 7" TALL BATHROOM SCONCE ITEM #: 317-68-SC01-BLL COLOR: CLEAR GLASS W/ BLACK METAL
W-2	WALL SCONCE @ HALL BATH MFR: POTTERY BARN ITEM: COOPER DOUBLE SCONCE COLOR: MATTE BLACK NOTE: MOUNT HORIZONTALLY ABOVE MIRROR





1 LOWER LEVEL FAMILY ROOM RENDERING (FOR REFERENCE ONLY)

# SOZA

ARCHITECTURE | DESIGN

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597 Adams Street, #2, Boston, MA 02122

PROJECT NAME:  
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**Interior Designer**  
GREGOIRE INTERIORS  
jen@gregoireinteriors.com  
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**Structural Engineer**  
Monolith Group, Inc.  
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## RENDERINGS FOR REFERENCE

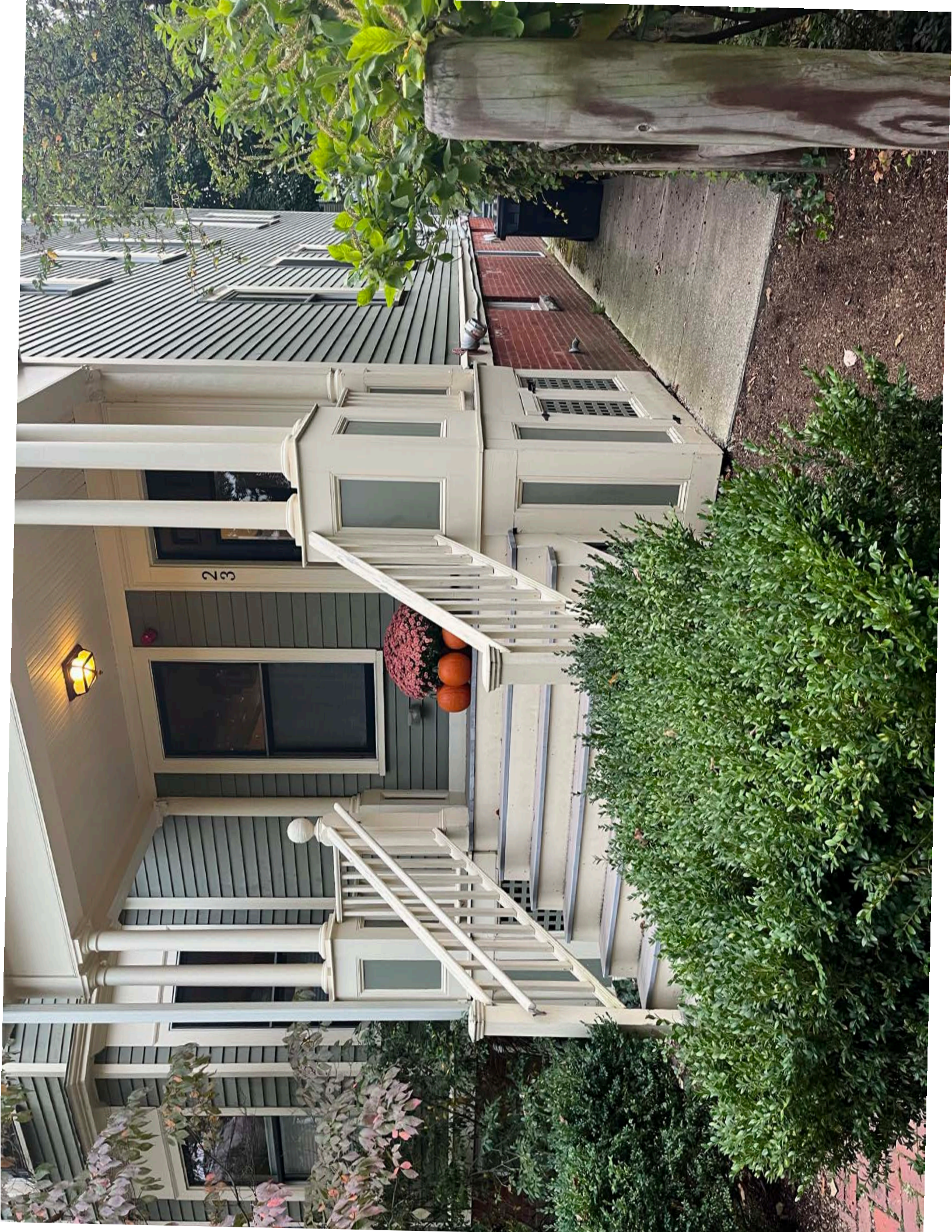
Project Number	
Date	15 October, 2024
Drawn By	JG
Checked By	SP

I-5.0	
Scale	N/A

















City of Cambridge  
Massachusetts

1" = 35 ft

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[www.cambridgema.gov/gis](http://www.cambridgema.gov/gis)



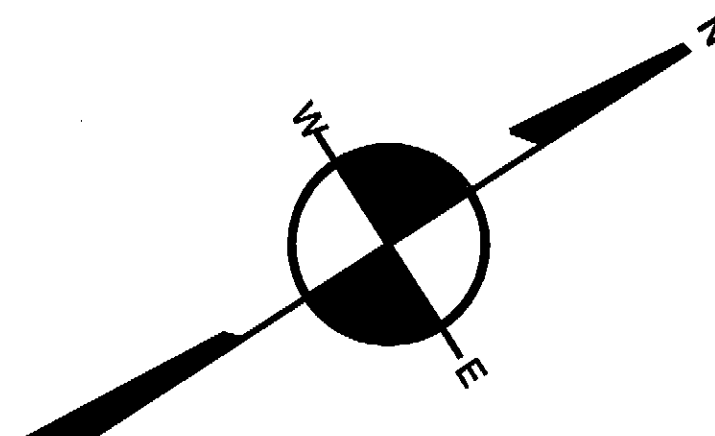
- Address
- Rail
- Building Footprints
- Parcels
- Paved Surfaces
  - Paved Roads
  - Bridges
  - Unpaved Roads
  - Unpaved Parking
  - Sidewalks
  - Driveways
  - Alleys
  - Other Paved Surface
  - Public Footpath





Middlesex Registry of Deeds,  
Southern District  
Cambridge, Massachusetts  
Plan No. \_\_\_\_\_ of 20  
Rec'd \_\_\_\_\_ 20\_\_\_\_  
Attest \_\_\_\_\_  
Register

REGISTRY OF DEEDS USE ONLY



I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY  
ON THE GROUND BETWEEN THE DATES OF AUGUST 2 AND SEPTEMBER 14,  
2007 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

I HEREBY CERTIFY THAT THE PROPERTY IS NOT LOCATED IN AN  
ESTABLISHED FLOOD HAZARD AREA AS DEFINED BY THE DEPT.  
OF HOUSING AND URBAN DEVELOPMENT.

I FURTHER CERTIFY THAT THE BUILDING SHOWN CONFORMED  
TO THE ZONING LAWS OF THE CITY OF CAMBRIDGE WHEN CONSTRUCTED.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ARE LINES  
DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS  
SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY  
ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING  
OWNERSHIPS OR FOR NEW WAYS ARE SHOWN.

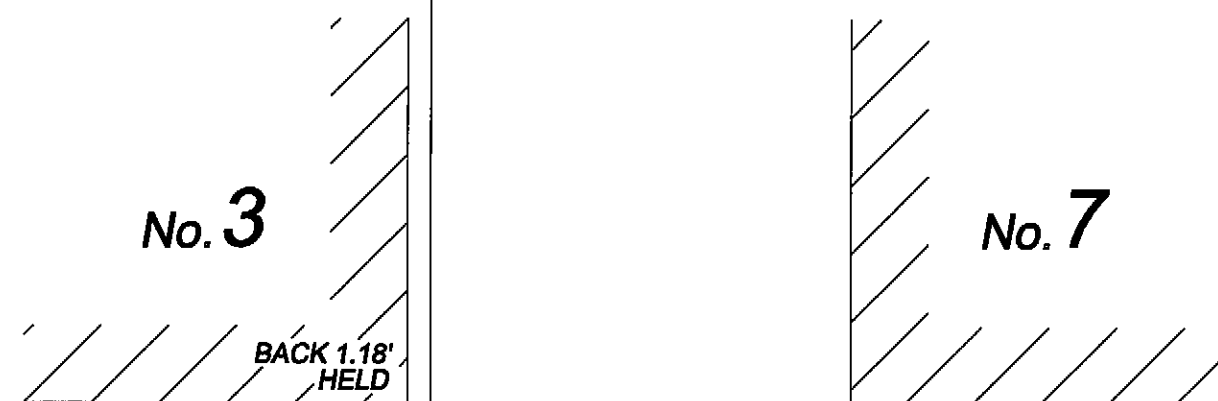
I HEREBY CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS  
THE LOCATION AND DIMENSIONS OF THE BUILDINGS AS BUILT AND FULLY  
LISTS THE UNITS CONTAINED THEREIN.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMITY  
WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF  
THE COMMONWEALTH OF MASSACHUSETTS.

*George C. Collins*  
GEORGE C. COLLINS P.L.S.

0-5-08  
DATE

BROADWAY



No. 21 ELLSWORTH AVENUE  
N/F  
THE 21 ELLSWORTH AVE. CONDO  
TRUST

No. 25 ELLSWORTH AVENUE  
N/F  
THE 25 ELLSWORTH AVE. CONDO  
TRUST

No. 27

ELLSWORTH

STREET

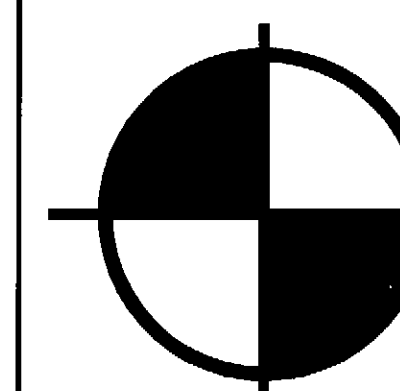
DRAWN BY: M.O. CHECKED BY: G.C.  
PREPARED: 09/14/07  
REVISION:

REFERENCES:

DEED: BOOK 21854, PAGE 327  
PLAN: L.C.C.# 627169-A  
BOOK 11, PAGE 19  
BOOK 10, PAGE 45  
BOOK 4422, END

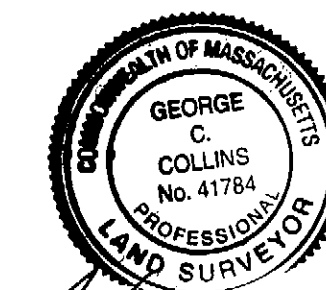
CONDOMINIUM SITE PLAN  
FOR THE  
"23 ELLSWORTH STREET CONDOMINIUM"  
LOCATED AT  
23 ELLSWORTH STREET  
CAMBRIDGE, MA

PREPARED FOR:  
CLIFFORD CICCARONE  
2193 COMMONWEALTH AVE.  
SUITE 394  
BRIGHTON, MA



BOSTON  
SURVEY, INC.

UNIT C-4 SHIPWAYS PLACE  
CHARLESTOWN, MA. 02129  
(617) 242-1313



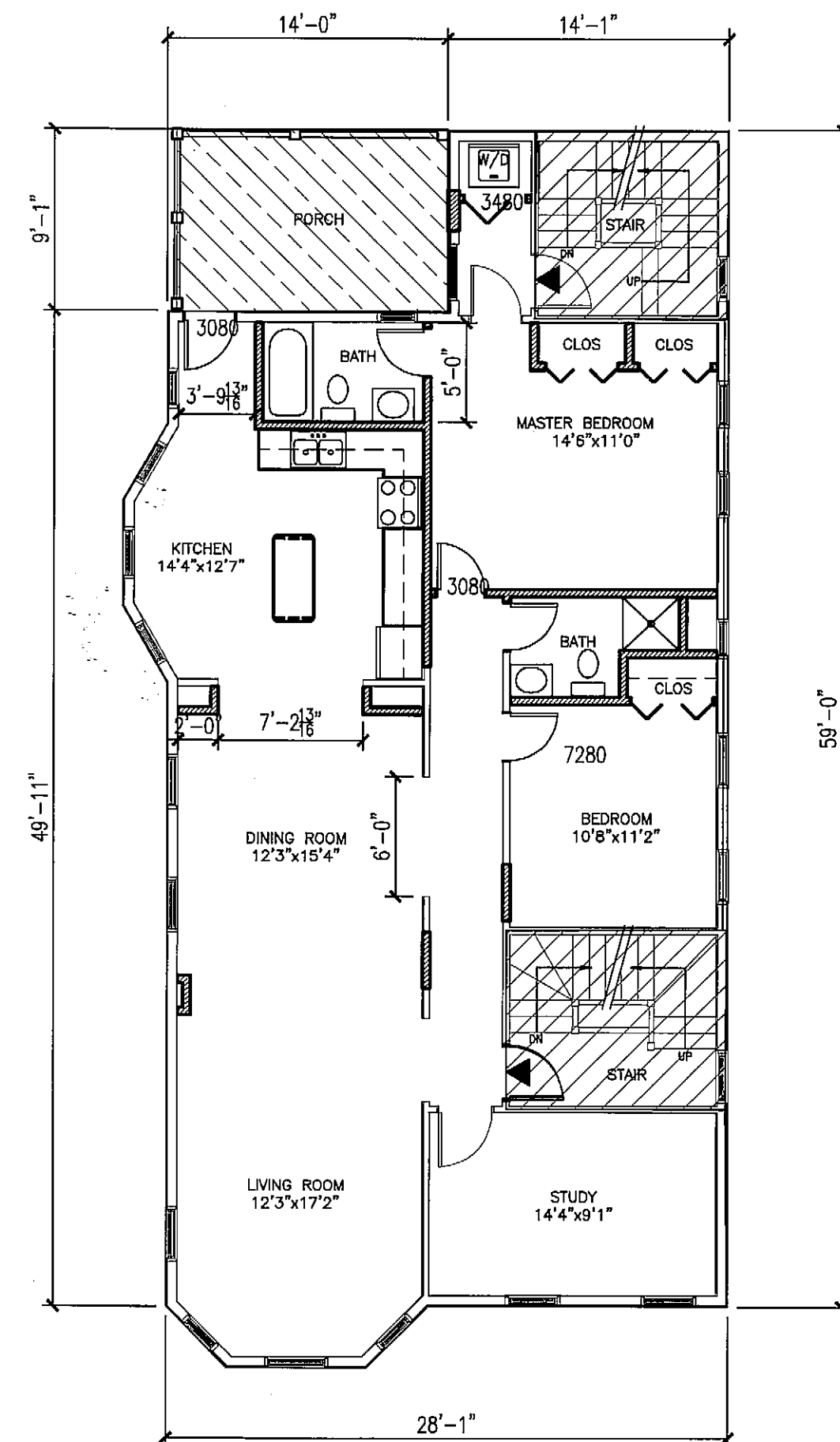
JOB # 07-00475

FILE # 07-00475-09/14/07

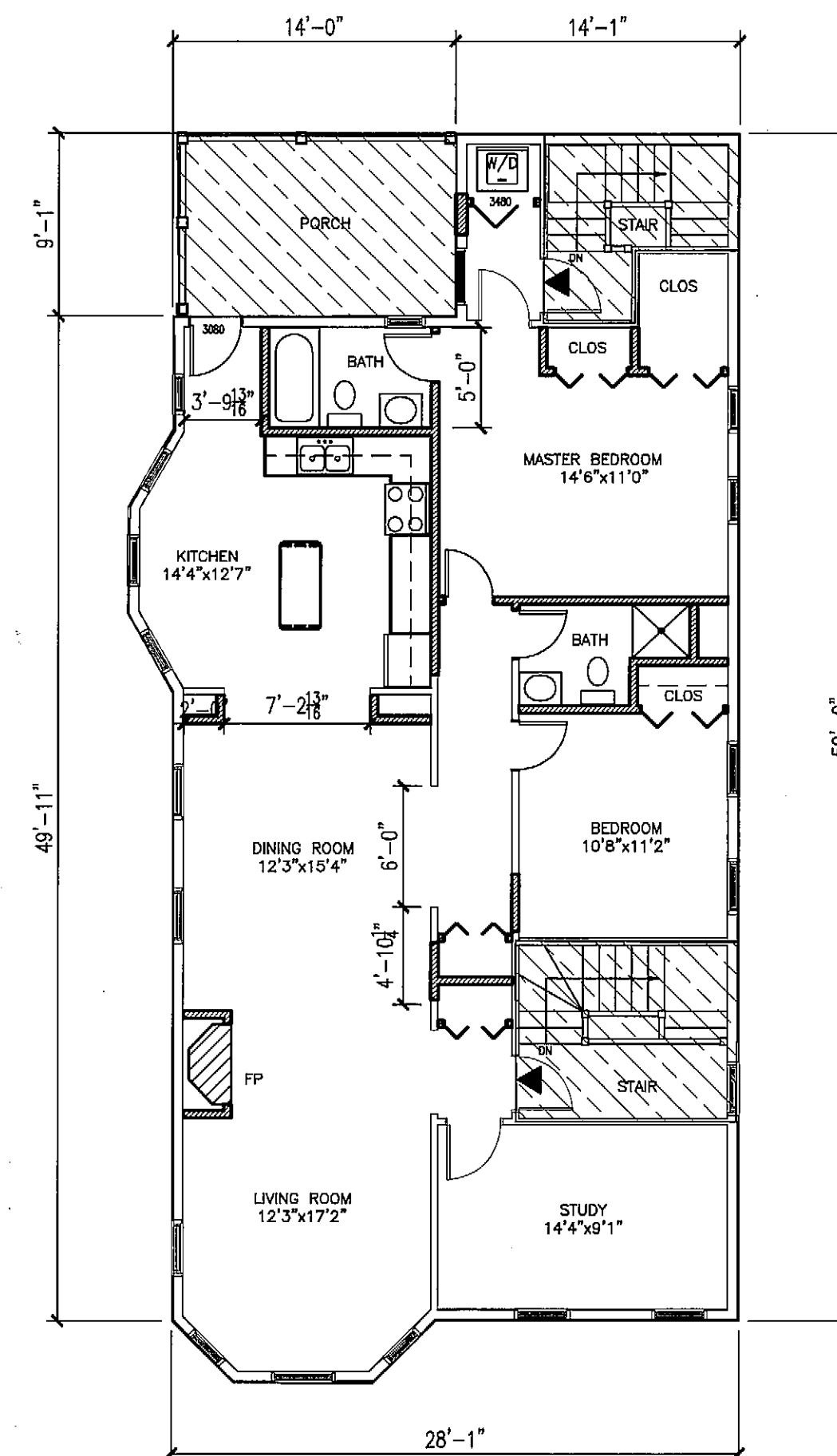
785

10F2

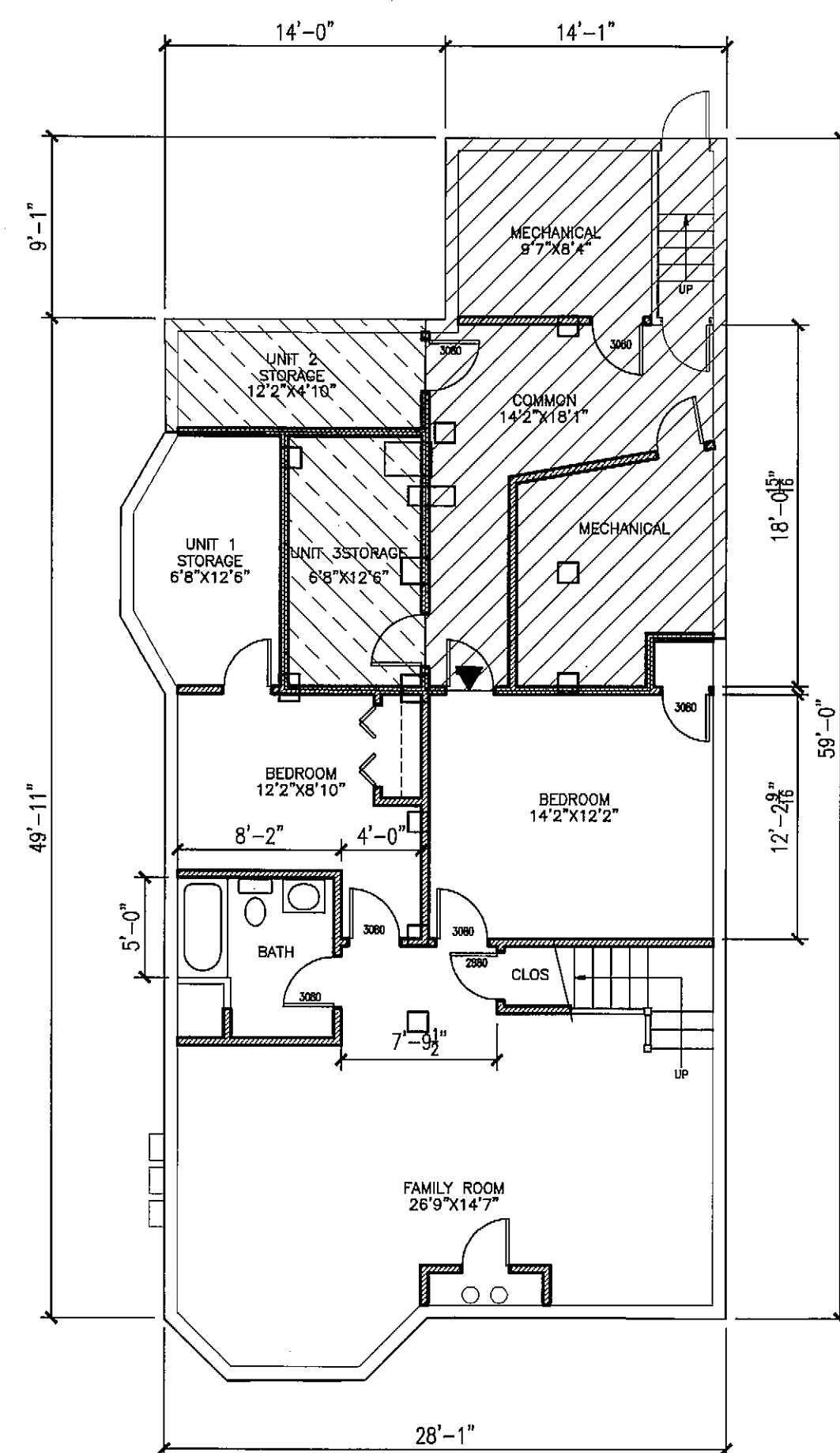




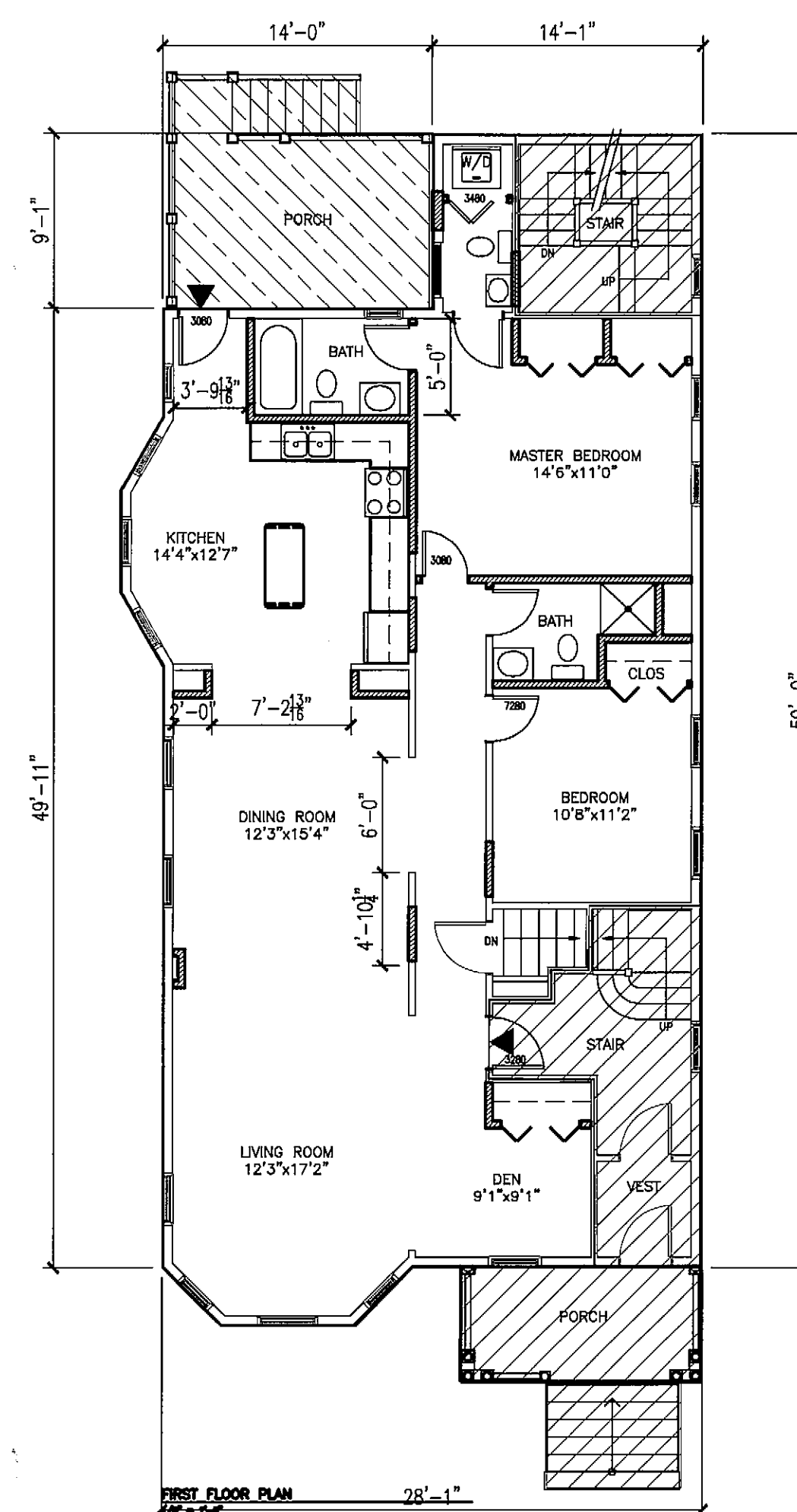
SECOND FLOOR PLAN  
1/8" = 1'-0"



THIRD FLOOR PLAN  
1/8" = 1'-0"



BASMENT PLAN  
1/8" = 1'-0"



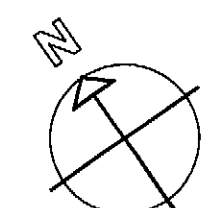
FIRST FLOOR PLAN  
1/8" = 1'-0"

I HEREBY CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LAYOUT, LOCATIONS, UNIT NUMBERS AND DIMENSIONS OF THE UNITS AS BUILT.

I HEREBY CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE BUILDING KNOWN AS "23 ELLSWORTH AVE. CONDOMINIUM TRUST" AS-BUILT AND FULLY LISTS THE UNITS CONTAINED HEREIN.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

JATINDER L. SINGH  
No. 6684  
BROOKLINE, MA  
DATE 8-30-2008



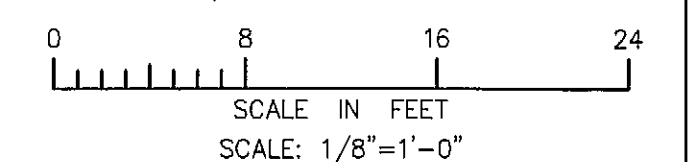
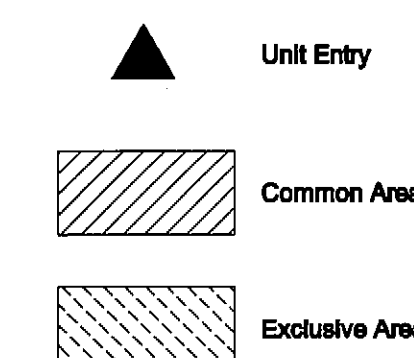
FLOOR AREAS					
LOCATION	Common	UNIT 1	UNIT 2	UNIT 3	BLDG TOAL
BASEMENT	412 s.f.	1,033 s.f. <sup>2</sup>	78 s.f.	95 s.f.	1,618 s.f.
1ST FLOOR	223 s.f.	1,521 s.f. <sup>1</sup>			1,744 s.f.
2ND FLOOR	190 s.f.		1,554 s.f. <sup>1</sup>		1,744 s.f.
3RD FLOOR	171 s.f. <sup>3</sup>			1,573 s.f. <sup>1</sup>	1,744 s.f.
TOTAL	996 s.f.	2,554 s.f.	1,632 s.f.	1,668 s.f.	6,850 s.f.

Notes: 1. Includes Rear Deck 2. Includes Attached Storage 3. Exclusive Use Unit 3

CONDOMINIUM PLANS FOR THE  
CONDOMINIUM CONVERSION AT  
23 Ellsworth Ave.  
Cambridge, MA Middlesex County  
March, 2008

Prepared By:  
JS ASSOCIATES  
48 Linden Place  
Brookline, MA 02445

Key:

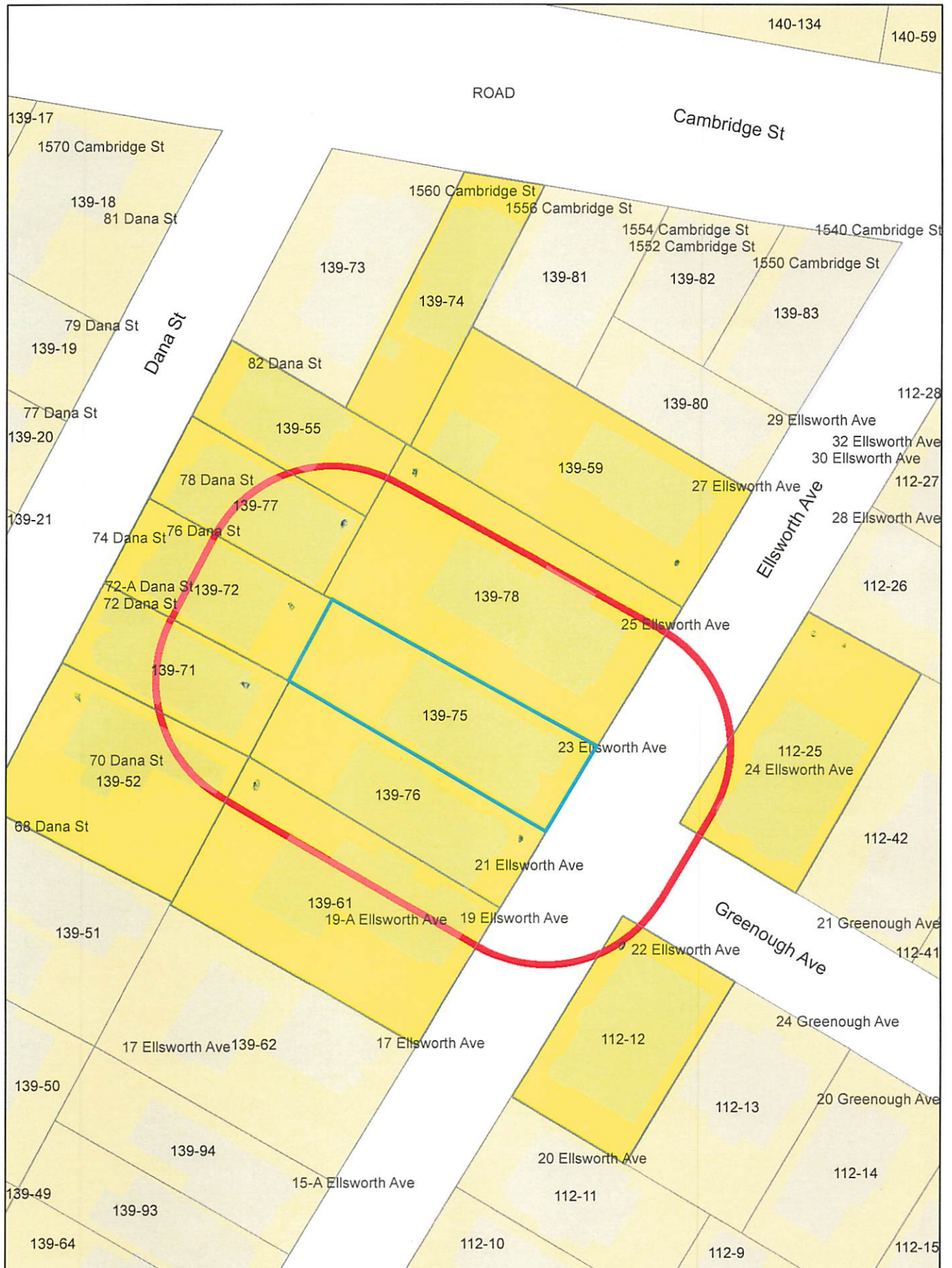


FOR REGISTRY USE ONLY

PLAN NO. 785 OF 2008  
SHEET 2 OF 2



23 Ellsworth Ave, #1 B2A 1141278





23 Ellsworth Ave, #1

Pebblestone

112-25  
NEWMAN, KENNETH W. & ELIZABETH NEILD  
24 ELLSWORTH AVE UNIT 3  
CAMBRIDGE, MA 02139-1038

112-12  
STEINBERG, ROBERT J. & SURA STEINBERG  
22 ELLSWORTH AVE  
CAMBRIDGE, MA 02139-1037

↑  
TRILOGY LAW LLC  
C/O SARAH L. RHATIGAN, ESQ  
12 MARSHALL STREET,  
BOSTON, MA, 02108  
↓

139-59  
THOMPSON, GORDON R. &  
PAULA F. GUTLOVE  
27 ELLSWORTH AVE.  
CAMBRIDGE, MA 02139-1036

139-76  
DEMPSEY, SAYA & DANIEL ERKER  
21 ELLSWORTH AVE UNIT 3  
CAMBRIDGE, MA 02139

139-77  
COOKE, CHRISTOPHER A. &  
ISABELLE ANGUELOVSKI  
110 ROBERT COLE CT.  
WILLIAMSBURG, VA 23815

139-74  
LAGASSE, MICHAEL J. & FARIBA ABBASI  
14 CAMBERLAIN RD  
NEWTON, MA 02458

139-77  
CAREAGA, MARK & ALLISON CROSBIE  
78 DANA ST UNIT 1  
CAMBRIDGE, MA 02138

139-77  
COLBY, SARAH J. & PHILLIP J. CHANDLER  
78 DANA ST UNIT 2  
CAMBRIDGE, MA 02138

139-76  
STONE, ANDREW C. & SUSAN E. MOODY  
21 ELLSWORTH AVE UNIT 2  
CAMBRIDGE, MA 02138

139-61  
HAVERTY, DEBORAH A.  
TRUSTEE OF HAVERTY FAMILY TRUST  
19 ELLSWORTH AVE  
CAMBRIDGE, MA 02139

139-76  
HERLANDS, LOUIS  
21 ELLSWORTH AVE UNIT 1  
CAMBRIDGE, MA 02139

139-78  
CUMMINS, THOMAS B.F. &  
JANE KYLE HUFFMAN  
25 ELLSWORTH AVE UNIT 1  
CAMBRIDGE, MA 02139

139-78  
JAFFRENNOU, DOMINIQUE M.  
25 ELLSWORTH AVE UNIT 2  
CAMBRIDGE, MA 02139

139-75  
CLIFFORD, CICCARONE &  
KATERINA CICCARONE  
2193 COMM AVE UNIT 394  
BRIGHTON, MA 02135

139-75  
HIBBARD, GEORGE &  
CYNTHIA STRONG HIBBARD  
23 ELLSWORTH AVE UNIT 2  
CAMBRIDGE, MA 02139

139-75  
GREEN, MICHAEL J. & LAURA C. CAREY  
23 ELLSWORTH AVE. UNIT 1  
CAMBRIDGE, MA 02139

112-25  
LIEBERMAN, FRANCES S., TRS THE  
FRANCES S. LIEBERMAN 2006 REVOC TRT  
24 ELLSWORTH AVE UNIT 2  
CAMBRIDGE, MA 02139

139-52  
SMITH ELISE K & ROBERT M SMITH JR  
70 DANA ST  
CAMBRIDGE, MA 02138

139-55  
DEWITT DAVID M & ANN E DEWITT  
82 DANA ST  
CAMBRIDGE, MA 02138

139-61  
HARROW ARAM W & SHEFALI B OZA  
19 ELLSWORTH AVE UNIT 19  
CAMBRIDGE, MA 02139

139-72  
CROWDALE INVESTMENT LLC  
6507 ORCHID LN  
DALLAS, TX 75230

139-72  
ZHANG, GLORIA Z J  
74-76 DANA ST UNIT 2  
CAMBRIDGE, MA 02138

139-72  
LIFSHITZ, MAYA YOGEV  
74-76 DANA ST UNIT 1  
CAMBRIDGE, MA 02138

139-71  
WINTERVALE LLC  
9 TRAVERS ST  
HAVERHILL, MA 01830

112-25  
ALT, ROBIN &  
PETER F. WOHLAUER, TRUSTEES  
24 ELLSWORTH AVE UNIT 1  
CAMBRIDGE, MA 02139





# Mid Cambridge Neighborhood Conservation District Commission

831 Massachusetts Avenue, Cambridge, Massachusetts 02139  
Telephone: 617 349 4683 TTY: 617 349 6112  
E-mail: histncds@cambridgema.gov  
www.cambridgema.gov/historic/districtsHistoricProperties/midcambridgenced

Tony Hsiao, *Chair*, Lestra Litchfield, *Vice Chair*  
Monika Pauli, Charles Redmon, Katinka Hakuta, *Members*  
Nan Laird, Catherine Tice, *Alternates*

## CERTIFICATE OF NON-APPLICABILITY

Property: 23 Ellsworth Avenue

Applicant: Sarah Rhatigan

The Mid Cambridge Neighborhood Conservation District Commission hereby certifies, pursuant to Chapter 2.78, Article III, Section 2.78.140-270 of the Code of the City of Cambridge and the order establishing said district that the work described below does not involve any activity requiring issuance of a Certificate of Appropriateness or Hardship:

Enlarge two basement windows.  
Permit # 1141278

All improvements shall be carried out as shown on the plans and specifications submitted by the applicant, except as modified above. Approved plans and specifications are incorporated by reference into this certificate.

This certificate is granted upon the condition that the work authorized herein is commenced within six months after the date of issuance. If the work authorized by this certificate is not commenced within six months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding six months each may be allowed in writing by the Chair.

Case Number: MC 7171

Date of Certificate: November 4, 2024

Attest: A true and correct copy of decision filed with the offices of the City Clerk and the Cambridge Historical Commission on November 4, 2024.

By Tony Hsiao/aac, Chair

\*\*\*\*\*

Twenty days have elapsed since the filing of this decision. No appeal has been filed \_\_\_\_ .  
Appeal has been filed \_\_\_\_ . Date \_\_\_\_\_ City Clerk:



BZA APPLICATION

CONDOMINIUM OWNERS ASSENT TO BZA APPLICATION

We, the undersigned, are all the owners of units in the 23 Ellsworth Avenue Condominium Association, created by Master Deed dated September 4, 2008, and recorded with Middlesex South District Registry of Deeds, in Book 51657, Page 111, as may be amended of record (the "Condominium").

We have reviewed the plans prepared by Soza Architects dated October 15, 2024 (the "Plans"), for the renovation of Unit 1, 23 Ellsworth Avenue, Cambridge, MA, including the addition of two basement windows that require a special permit from the Board of Zoning Appeal.

We have no objection to the Plans and support the owners' application to the Board of Zoning Appeal requesting zoning relief to complete the renovations.

OWNERS OF UNIT 2:

By: 

Name: GEORGE HIBBARD

By: 

Name: CYNTHIA STRONG HIBBARD

Nov. 4, 2024

OWNERS OF UNIT 3:

By: 

Name: CLIFFORD CICCARONE

By: 

Name: KATERINA CICCARONE

11 / 05 / 2024

DATE: NOVEMBER 11 / 05 / 2024



**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

(To be completed by **OWNER**, signed before a notary, and returned to Secretary of Board of Appeal).

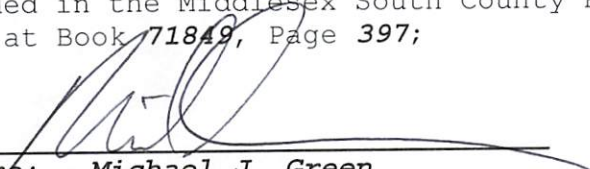
**Michael J. Green and Laura C. Carey**

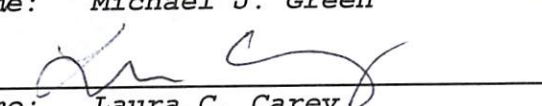
(OWNER)

Address: **23 Ellsworth Avenue, Unit 1, Cambridge, MA 02139**

states that **Michael J. Green and Laura C. Carey** own the property located at **23 Ellsworth Avenue, Unit 1, Cambridge, MA** which is the subject of this zoning application.


The record title of this property is in the name of **Michael J. Green and Laura C. Carey** pursuant to a deed dated **November 2, 2018** and duly recorded in the Middlesex South County Registry of Deeds on **November 6, 2018**, at Book **71849**, Page **397**;

By:   
Name: **Michael J. Green**

By:   
Name: **Laura C. Carey**

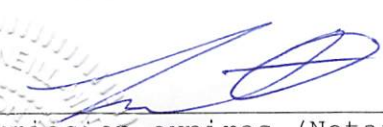
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STATE OF MASSACHUSETTS, County of Middlesex, SS.

The above-named **Michael J. Green**, personally appeared before me, this 5<sup>th</sup> day of November, 2024, and made oath that the above statement is true.

 Notary 12/17/2030  
My commission expires (Notary Seal).

STATE OF MASSACHUSETTS, County of Middlesex, SS.

The above-named **Laura C. Carey**, personally appeared before me, this 5<sup>th</sup> day of November, 2024, and made oath that the above statement is true.

 Notary  
My commission expires (Notary Seal). 12/13/2030

