



CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

BZA APPLICATION FORM

Plan No: BZA-017122-2019

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ Variance : v Appeal : _____

PETITIONER : Phillip T. Ragon & Susan M. Ragon - C/O Megan M. Kemp, Esq. / Adam Dash & As

PETITIONER'S ADDRESS : 48 Grove Street, Suite 304 Somerville, MA 02144

LOCATION OF PROPERTY : 8 Follen St Cambridge, MA

TYPE OF OCCUPANCY : 101 ZONING DISTRICT : Residence A-1 Zone

REASON FOR PETITION :

Other: Alteration to Rear Door Overhang

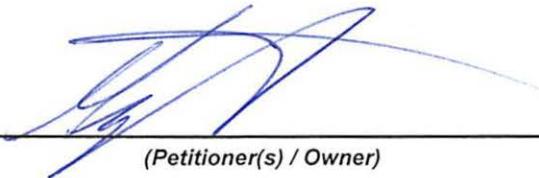
DESCRIPTION OF PETITIONER'S PROPOSAL :

The existing structure has a pre-existing non-conforming FAR limiting petitioners' ability to make any alteration without relief. Petitioner is requesting relief to alter an existing overhang over a rear door to create a uniform overhang from a bay window to the side of the door on one side across to a window on the other side of said door. Said extension of the overhang will result in a minimal increase for the pre-existing non-conforming FAR from 0.588 to 0.589.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.31 (Table of Dimensional Requirements).
Article 8.000 Section 8.22.3 (Non-Conforming Structure).
Article 10.000 Section 10.30 (Variance).

Original Signature(s) :



(Petitioner(s) / Owner)

Megan M. Kemp, Esq. // Adam Dash & Associates

(Print Name)

Address : 48 Grove Street, Suite 304
Somerville, MA 02144

Tel. No. : 617-625-7373

E-Mail Address : kemp@adamdashlaw.com

Date : May 9, 2019

BZA APPLICATION FORM - OWNERSHIP INFORMATION

*To be completed by OWNER, signed before a notary and returned to
The Secretary of the Board of Zoning Appeals.*

I/We Phillip T. Ragon and Susan M. Ragon
(OWNER)

Address: 8 Follen Street, Cambridge, MA

State that I/We own the property located at 8 Follen Street,
which is the subject of this zoning application.

The record title of this property is in the name of Phillip T. Ragon and
Susan M. Ragon

*Pursuant to a deed of duly recorded in the date 8/3/1995, Middlesex South
County Registry of Deeds at Book 25607, Page 081; or
Middlesex Registry District of Land Court, Certificate No. n/a
Book n/a Page n/a.

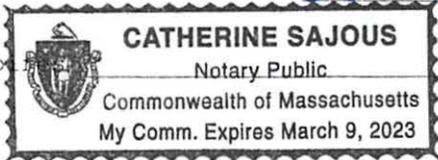

SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

**Written evidence of Agent's standing to represent petitioner may be requested.*

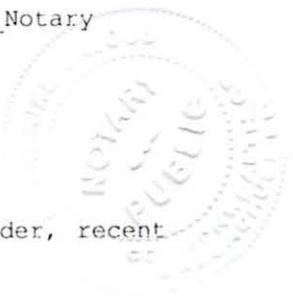
Commonwealth of Massachusetts, County of Suffolk

The above-name ~~Phillip T. and~~ Susan M. Ragon personally appeared before me,
this 24th of April, 2019, and made oath that the above statement is true.

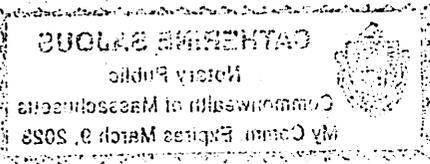
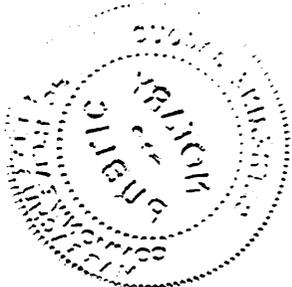
Catherine Sajous Notary

My commission expires  (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



Handwritten scribbles



BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the provisions of the Ordinance would prevent petitioner from being able to alter the overhang in any way leaving the door and neighboring window exposed. Individuals waiting to enter from this doorway would not have adequate overhead coverage in the elements.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The existing structure along with the unusual shape of the lot create a hardship for the petitioner which limits petitioner's ability to make any alterations to the property without relief from the Ordinance. The lot shape is unique to the property and is not generally an issue in the zoning district. Further, because of the location of the pre-existing decks/porches on the structure, any change to the overhangs affects the FAR, which would prevent any ability by the petitioner to better protect windows and doorways by altering same.

C) *DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:*

1) Substantial detriment to the public good for the following reasons:

The altered overhang is not visible by a public way and stays within the existing footprint of the structure resulting in no effect to neighbors or those passing through the neighborhood. The minor increase to the FAR does not result in any substantial or noticeable increase to the size of the building or the liveable space therein.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The minor alteration does not nullify or substantially derogate from the intent or purpose of the Ordinance as it allows for a better quality use of the property without negatively affecting congestion, density, or blight in the neighborhood. It is not an impermissible use of the premises and results in a benefit to the current and future owners.

*** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**



CITY OF CAMBRIDGE
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 CAMBRIDGE, MA 02139
 617 349-6100

2019 MAY 13 PM 1:37

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OFFICE OF THE CITY CLERK
 CAMBRIDGE, MASSACHUSETTS
 Plan No: BZA-017122-2019

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Original Signature(s) :



 (Petitioner(s) / Owner)

Megan M. Kemp, Esq. // Adam Dash & Associates

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Address : 48 Grove Street, Suite 304

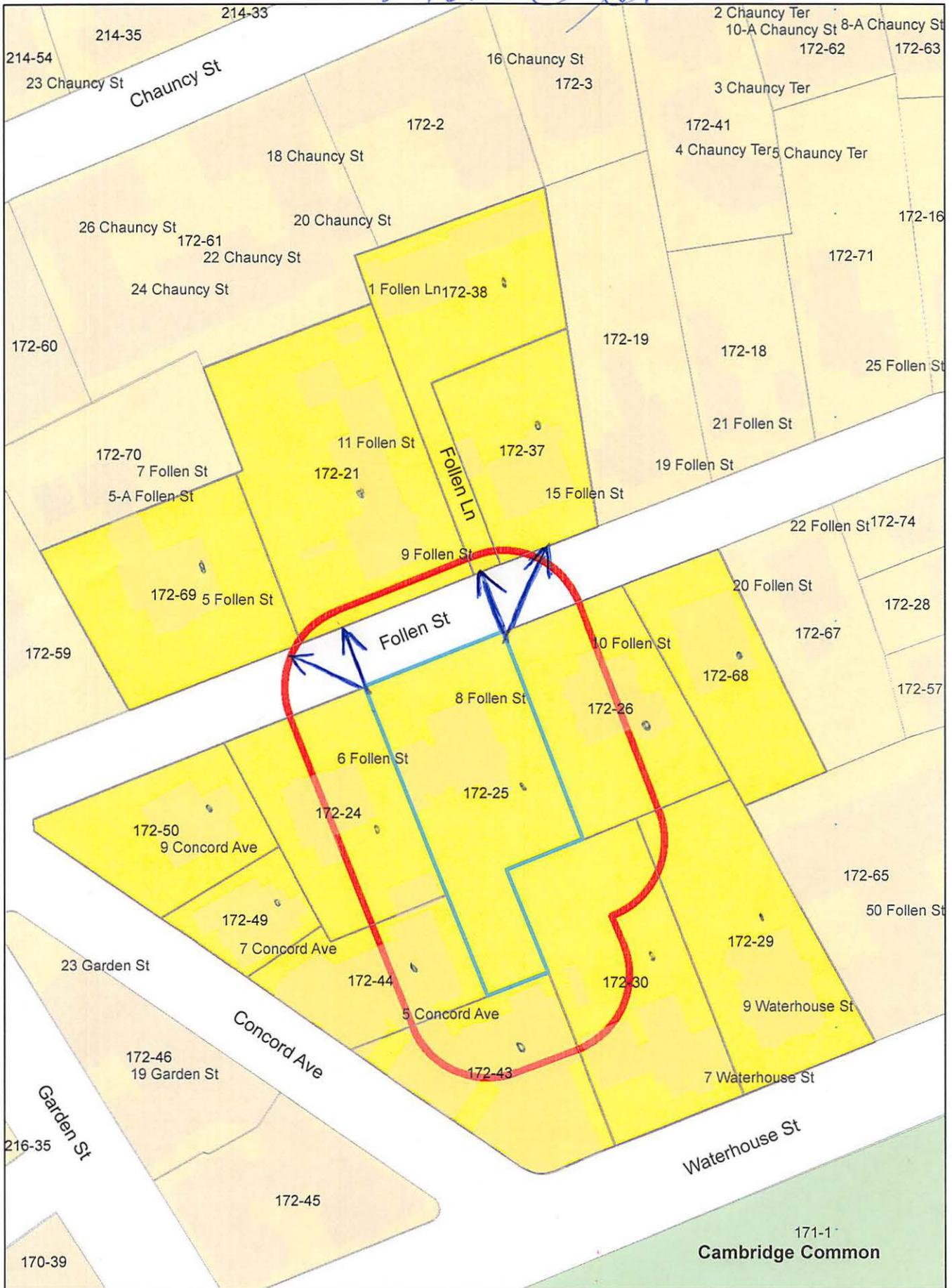
Somerville, MA 02144

Tel. No. : 617-625-7373

E-Mail Address : kemp@adamdashlaw.com

Date : May 9, 2019

8 Follen St.



8 Follen St.

Petitioner

172-21
KAVET, MATTHEW S. & SABRINA BALOUN-KAVET
TRUSTEES, THE 9-11 FOLLEN ST. REALTY TRS
9 FOLLEN ST.
CAMBRIDGE, MA 02138

172-21
STUART, C. TODD
11 FOLLEN ST., #11
CAMBRIDGE, MA 02138

ADAM DASH & ASSOCIATES
C/O MEGAN M. KEMP, ESQ.
48 GROVE ST. - SUITE 304
SOMERVILLE, MA 02144

172-29
MERCY CORPS
9 WATERHOUSE STREET
CAMBRIDGE, MA 02138

172-26
MNOOKIN, ROBERT H. & DALE S. MNOOKIN
10 FOLLEN ST
CAMBRIDGE, MA 02138

172-25
RAGON, PHILLIP T. & SUSAN M. RAGON
151 TREMONT ST. SUITE 110 PMB 397
BOSTON, MA 02111

172-30
SAFDIE, MOSHE MICHAL RONNEN SAFDIE
7 WATERHOUSE ST
CAMBRIDGE, MA 02138

172-37
MCCLINTOCK, THOMAS K., EMILY N.
MCCLINTOCK & CITY OF CAMBRIDGE TAX TITLE
15 FOLLEN ST
CAMBRIDGE, MA 02138

172-38
DAINORA, AUDRA
13 FOLLEN ST
CAMBRIDGE, MA 02138

172-43-44
BLEVINS, CHARLES,
TRUSTEE OF THE WATERHOUSE TRUST
C/O THE NILES CO.
3000 DAVENPORT AVE #201
CANTON, MA 02021

172-24
PICARD, DONAL F.
6 FOLLEN STREET
CAMBRIDGE, MA 02138

172-49
NEUMAN, GERALD L. & CAROL JONES NEUMAN
7 CONCORD AVE
CAMBRIDGE, MA 02138

172-50
SUTULA, MARY T. & FRANCIS SUTULA
9 CONCORD AVENUE
CAMBRIDGE, MA 02138

172-68
FOLLEN STREET, LLC
1770 MASSACHUSETTS AVE. #607
CAMBRIDGE, MA 02140

172-69
BIERER, MICHAEL F. &
ELIZABETH PETERS BIERER
5 FOLLEN ST
CAMBRIDGE, MA 02138



LEGEND

- ▣ SBDH STONE BOUND DRILL HOLE
- EOP EDGE OF PAVEMENT
- GC GRANITE CURB
- x SPOT GRADE
- x BOTTOM OF CURB
- x TOP OF CURB
- 24.2x BOTTOM OF WALL
- 24.9x TOP OF WALL
- ∩ UP UTILITY POLE
- OHW OVERHEAD WIRES
- * FLOOD LIGHT
- ⊕ EMH ELECTRIC MANHOLE
- ⊕ MH MANHOLE
- ⊕ DMH DRAIN MANHOLE
- ▣ CB CATCH BASIN
- DRAIN
- ⊕ METAL DRAIN COVER
- 3" GUTTER DRAIN PIPE
- PGD PLASTIC GRATE DRAIN
- ⊕ GG GAS GATE
- ⊕ WG WATER GATE
- WSO WATER SHUT OFF
- ⊕ S SPRINKLER HEAD
- ⊕ POOL ACCESS
- ⊕ 2'X2' AIR CONDITIONING UNIT
- ⊕ AIR CONDITIONING UNIT VENT
- LSA LANDSCAPED AREA
- DECIDUOUS TREE (AS SHOWN)
- CONIFEROUS TREE (AS SHOWN)

N/F
THOMAS K. MCCLINTOCK
& EMILY N. MCCLINTOCK
MAP 172, LOT 37

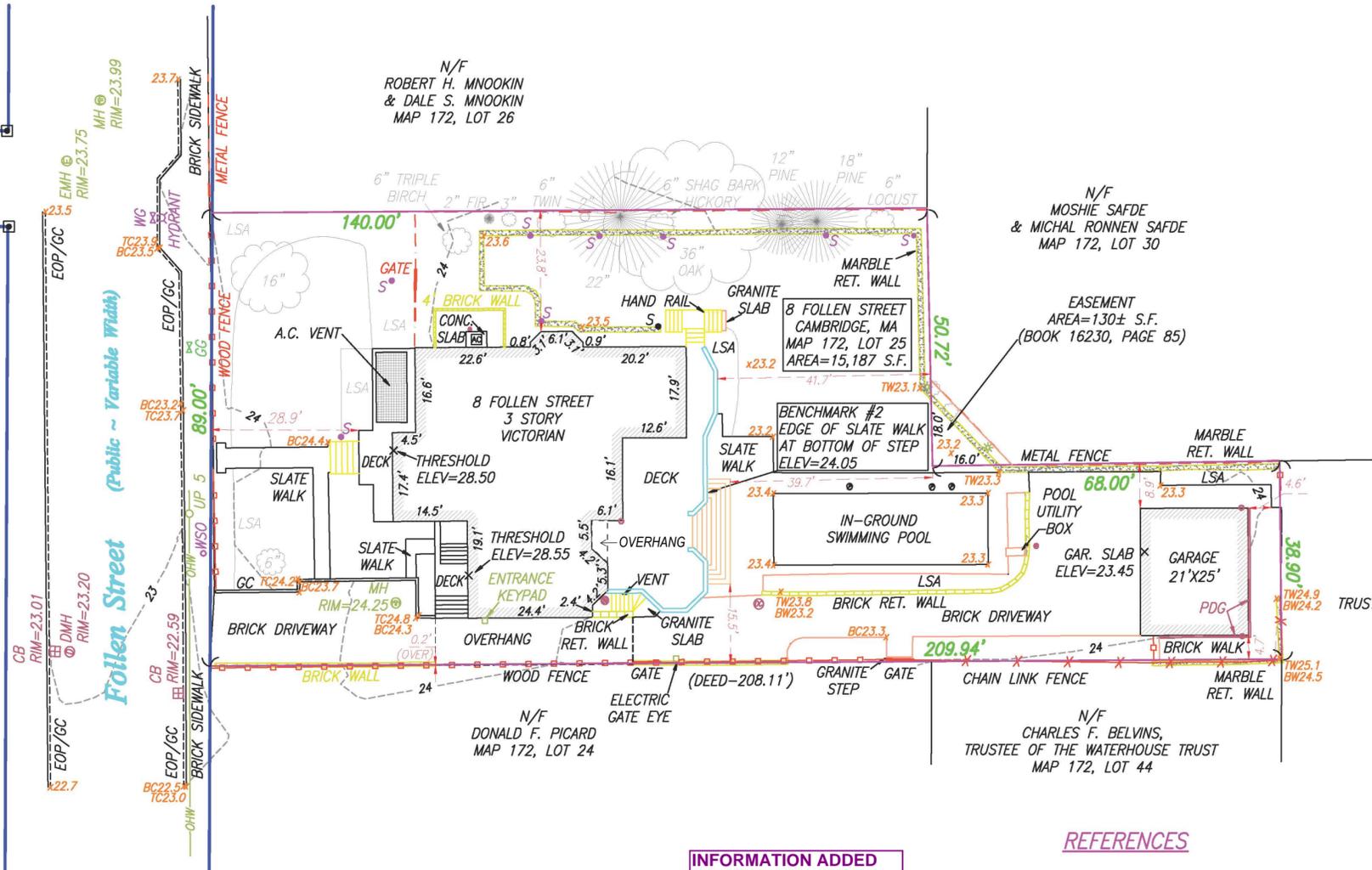
N/F
AUDRA DAINORA
MAP 172, LOT 38

N/F
9-11 FOLLEN STREET
CONDOMINIUM
MAP 172, LOT 21

N/F
ROBERT H. MNOOKIN
& DALE S. MNOOKIN
MAP 172, LOT 26

N/F
MOSHIE SAFDE
& MICHAL RONNEN SAFDE
MAP 172, LOT 30

N/F
CHARLES F. BELVINS,
TRUSTEE OF THE WATERHOUSE TRUST
MAP 172, LOT 43



NOTES

1. SUBJECT TO ANY STATEMENT OF FACT AN UP-TO-DATE ABSTRACT OF TITLE WOULD DISCLOSE.
2. SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
3. UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS, THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES WHICH THE EXISTENCE OF ARE NOT KNOWN. SIZE, TYPE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED BY PROPER AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION. CALL, TOLL FREE, DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION.
4. ELEVATIONS ON THIS PLAN ARE APPROXIMATE AND REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

INFORMATION ADDED BY ARCHITECT FOR CLARIFICATION

**CITY OF CAMBRIDGE, MASSACHUSETTS INTENSITY REGULATIONS:
RESIDENCE A-1 DISTRICT**

	REQUIRED	EXISTING	PROPOSED	COMMENTS
MAXIMUM RATIO OF FLOOR AREA TO LOT AREA	0.5	0.588	0.589	Existing non-conforming
MINIMUM LOT SIZE	8,000 S.F.	15,343 S.F.	15,343 S.F.	
MINIMUM LOT AREA (PER DWELLING UNIT)	6,000 S.F.	15,343 S.F.	15,343 S.F.	
MINIMUM LOT WIDTH	80'	38.3'	38.3'	
MINIMUM FRONT YARD	25'	28.9'	28.9'	
MINIMUM SIDE YARD	15'	0.2' (OVER)	0.2' (OVER)	Existing non-conforming
MINIMUM REAR YARD	25'	4.6'	4.6'	Existing non-conforming
MAXIMUM BUILDING HEIGHT	35'	36.1'	36.1'	Existing non-conforming
MINIMUM RATIO OF PRIVATE OPEN SPACE TO LOT AREA	50%	42%	42%	Existing non-conforming

REFERENCES

- DEED REFERENCES: MIDDLESEX COUNTY REGISTRY OF DEEDS (SOUTHERN DISTRICT) BOOK 25607, PAGE 81
- PLAN REFERENCES: PLAN ENTITLED "SUBDIVISION PLAN OF LAND APPROVAL NOT REQUIRED LOCATED AT 22 FOLLEN STREET, CAMBRIDGE, MA", PREPARED FOR ROBERT H. GILES, NANCY M. GILES, BY BOSTON SURVEY, INC., DATED 1/14/2010, PLAN NO. 188 OF 2010
- PLAN ENTITLED "SITE PLAN 9-11 FOLLEN STREET CONDOMINIUM, CAMBRIDGE, MASS.", PREPARED BY WENDELL H. MASON, PROF. LAND SURVEYOR, DATED MAY 11, 1993, PLAN NO. 670 OF 1993, BOOK 23620, PAGE 566
- PLAN ENTITLED "PLAN OF EASEMENT, CAMBRIDGE, MA", PREPARED BY HARRY R. FELDMAN, INC., LAND SURVEYORS, DATED MAY 24, 1985, PLAN NO. 743 OF 1985, BOOK 16230, PAGE 85

FEET & METERS SCALE



ZONING DESIGNATION:

CITY OF CAMBRIDGE ZONING DISTRICT
RESIDENCE A-1 DISTRICT

ASSESSOR'S REFERENCE:

MAP 172, LOT 25

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND ON MAY 29, 2018, AND THE LATEST PLANS AND DEEDS OF RECORD.

I CERTIFY THAT THE SUBJECT DWELLING SHOWN LIES IN A FLOOD ZONE "X" SHOWN ON MAP NUMBER 25017C0438E, HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.

REVISIONS

DATE	DESCRIPTION
12/8/18	PROP. ADD.
01/08/19	REV. #1

FIELD: EJP/BMD
CALCS: EJP/SMI
DRAWN BY: SMI
FIELD EDIT: N/A
CHECKED: EJP
APPROVED:
JOB #: 181644



PROFESSIONAL LAND SURVEYOR DATE

A.S. Elliott & Associates

Professional Land Surveyors
P.O. BOX 85 ~ HOPEDALE, MASSACHUSETTS
(508) 634-0256
www.aselliott.com

**Plan of Land Showing
Proposed Improvements**

**8 FOLLEN STREET
CAMBRIDGE, MASSACHUSETTS**

PREPARED FOR: LYNNE GIESECKE

SCALE: 1"= 20' DATE: NOVEMBER 13, 2018

8 FOLLEN ST. REAR DECK RENOVATION AND ENTRY OVERHANG ADDITION

CAMBRIDGE, MASSACHUSETTS 02138

ARCHITECT:

PAUL LUKEZ
ARCHITECTURE

1310 BROADWAY SUITE 104, SOMERVILLE, MA 02144
TEL:617-628-9160 FAX:617-628-9860 WWW.LUKEZ.COM

CONSULTANTS:

STRUCTURAL:
RSE ASSOCIATES

63 Pleasant Street, Suite 300, WATERTOWN, MA 02472
TEL:617-926-9300 WWW.RSEASSOCIATES.COM

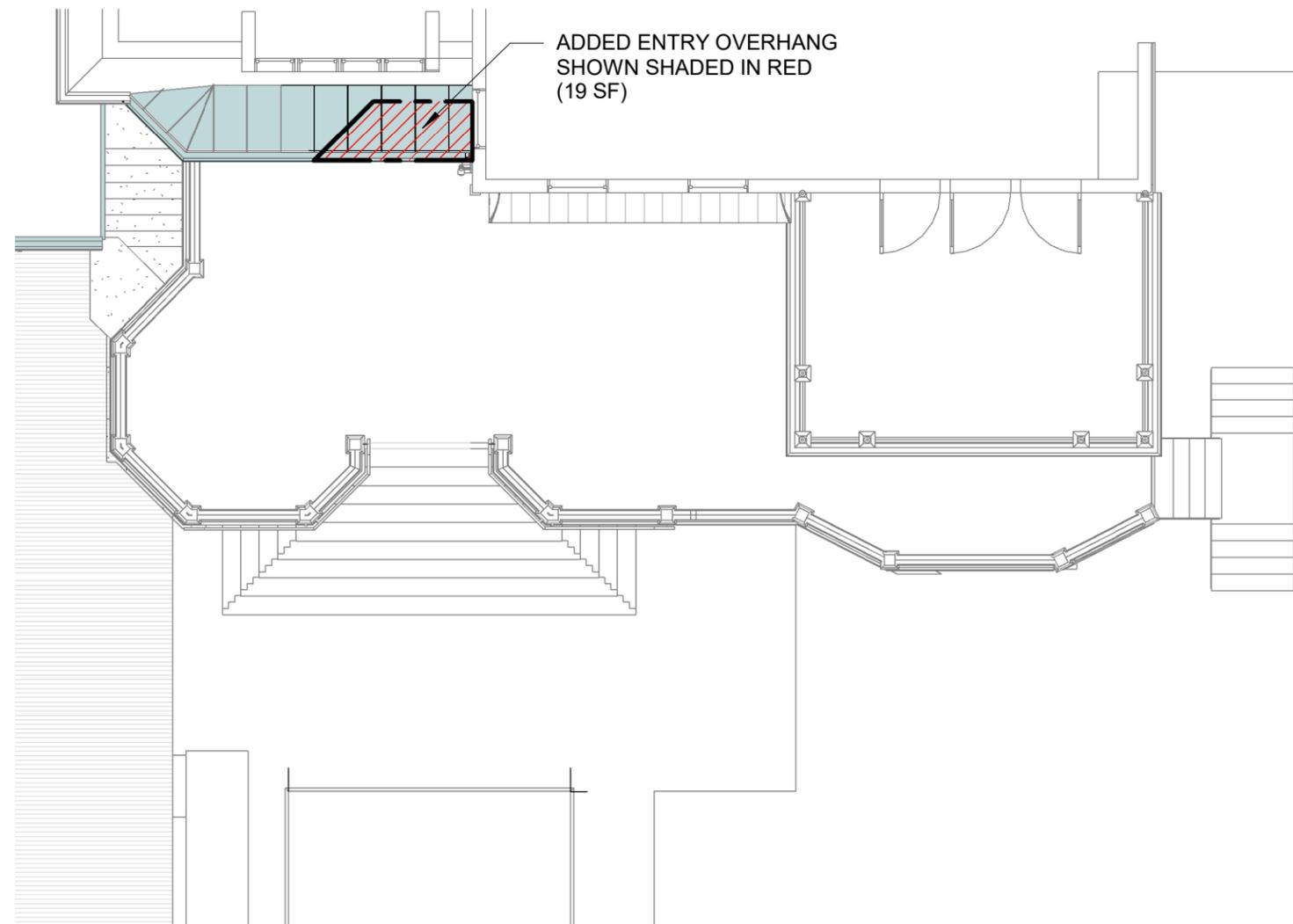
LIGHTING:

COLLABORATIVE LIGHTING

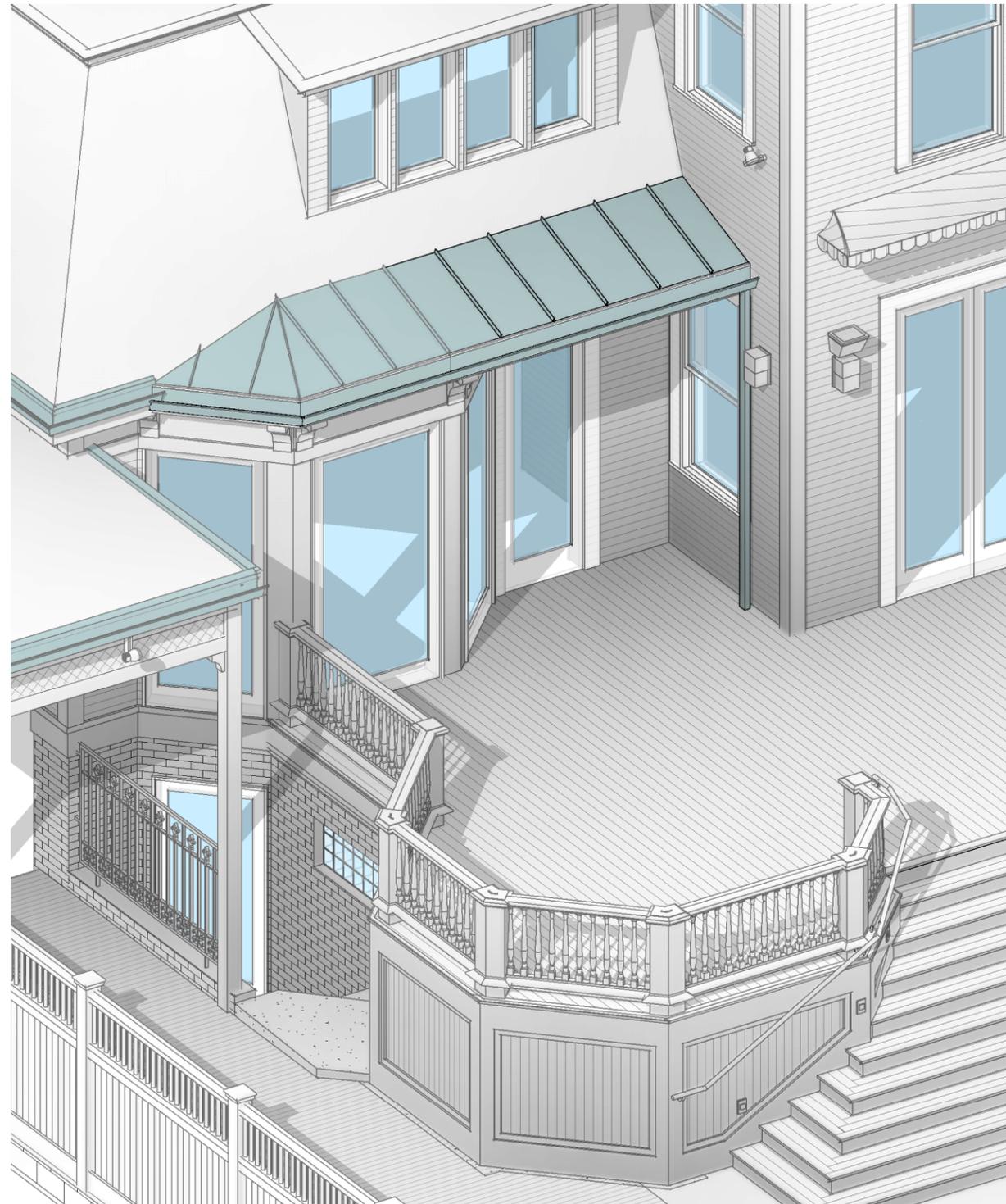
105 Great Fields Road, Brewster, MA 02631
TEL: 978.460.1258 www.collaborativelighting.com

CONSTRUCTION DOCUMENT - ZONING VARIANCE APPLICATION

01/21/19



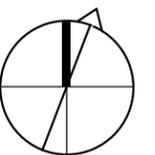
Sheet List	
Sheet Number	Sheet Name
COVER	COVER
A0.1	AXON VIEW & GENERAL NOTES
D1.1	DEMO PLAN & ELEVATION
A1.2	PROPOSED PLAN & ELEVATION
A3.1	ENTRY OVERHANG DETAILS
A3.2	ENTRY OVERHANG DETAILS



GENERAL NOTES

1. CONTRACTOR SHALL INSURE ALL WORK IS IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS IN FIELD PRIOR CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES ON DRAWINGS.
2. CONTRACTOR SHALL COORDINATE W/ LANDSCAPE CONTRACTOR TO COORDINATE ALL DEMO AND NEW WORK AROUND DECK AND DECK STEPS.
3. VISIT THE SITE TO VERIFY EXISTING CONDITIONS. CONTRACTOR SHALL MAKE REQUIRED ADJUSTMENTS TO SYSTEM COMPONENTS AS NECESSITATED BY ACTUAL FIELD CONDITIONS. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT BEFORE CONSTRUCTION BEGINS.
4. CONTRACTOR TO OBTAIN AND PROVIDE ARCHITECT WITH COLOR SAMPLES FOR PROPER COLOR SELECTION AND FINAL APPROVAL OF ALL FINISHES PRIOR TO INSTALLATION.
5. CONTRACTOR (AND HIS SUBCONTRACTORS) SHALL BE LICENSED BY THE STATE IN WHICH THE PROJECT IS LOCATED AND APPROVED IN ADVANCE BY THE OWNER.
6. CONTRACTOR SHALL FILE ALL APPLICATIONS, PAY FOR ALL NECESSARY PERMITS AND SECURE CERTIFICATES OF OCCUPANCY FOR THE PROJECT.
7. CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM PROJECT SITE AND SHALL PROVIDE DUMPSTERS ETC. AS REQUIRED. REMOVE ALL DEBRIS ON A DAILY BASIS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING BUILDINGS AND OTHER INSTALLATIONS THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK. PROVIDE AND MAINTAIN FIRE EXTINGUISHERS ON PROJECT SITE DURING CONSTRUCTION.
9. PAINTING FOR WOOD CONSTRUCTION - PROVIDE TWO (2) FINISH COATS OF PREMIUM GRADE PAINT OVER SINGLE COAT OF COMPATIBLE PRIMER. ALL PAINT BY SINGLE MANUFACTURER.

TRUE



PAUL LUKEZ
ARCHITECTURE

1310 BROADWAY SUITE 104
SOMERVILLE, MA 02144
TEL:617-628-9160
FAX:617-628-9860
WWW.LUKEZ.COM

8 FOLLEN ST.

REAR DECK RENOVATION AND ENTRY OVERHANG ADDITION

CAMBRIDGE, MASSACHUSETTS 02138

Rev.	AMENDMENT	DATE
1	REVISION	10/17/18

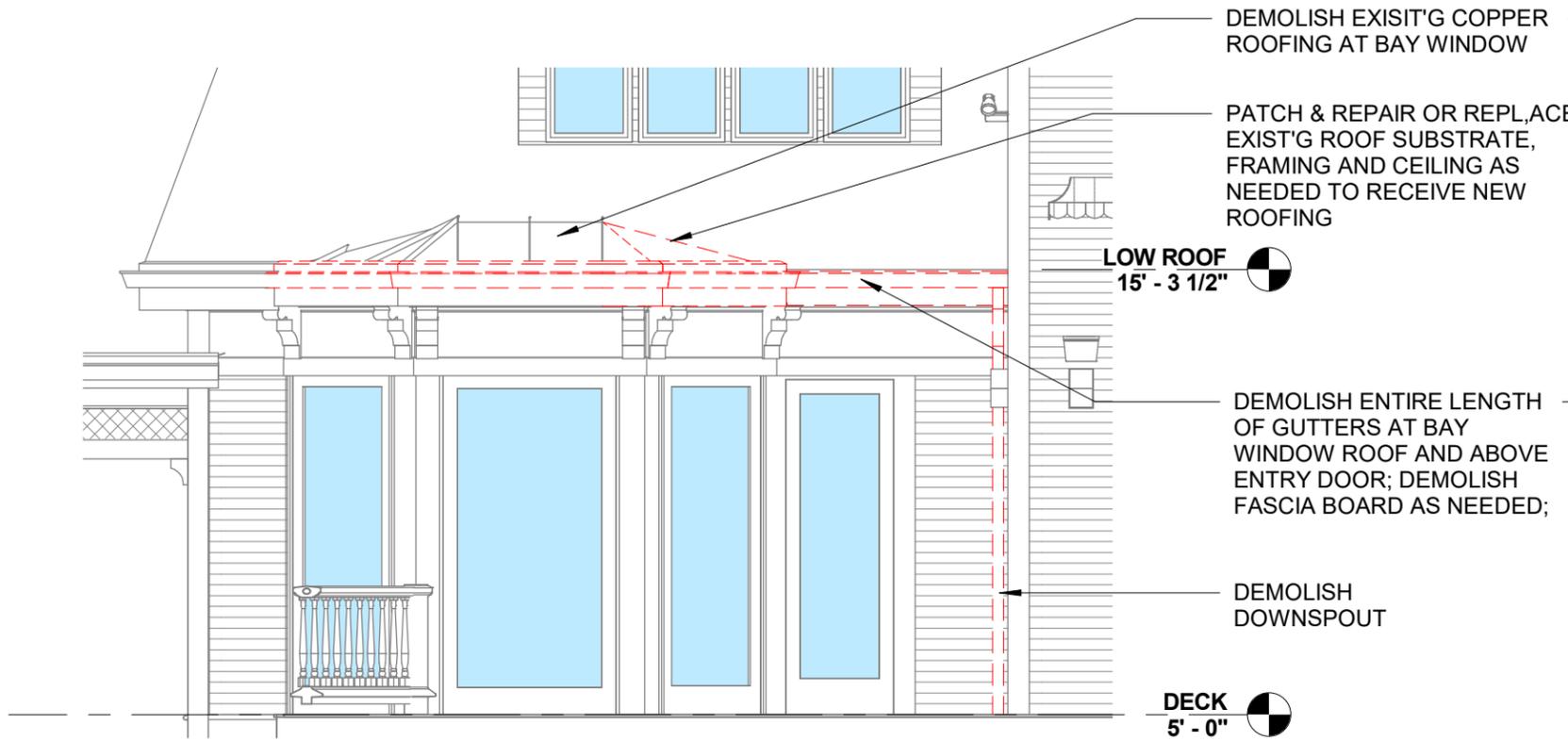
AXON VIEW & GENERAL NOTES

SCALE: 1/4" = 1'-0"

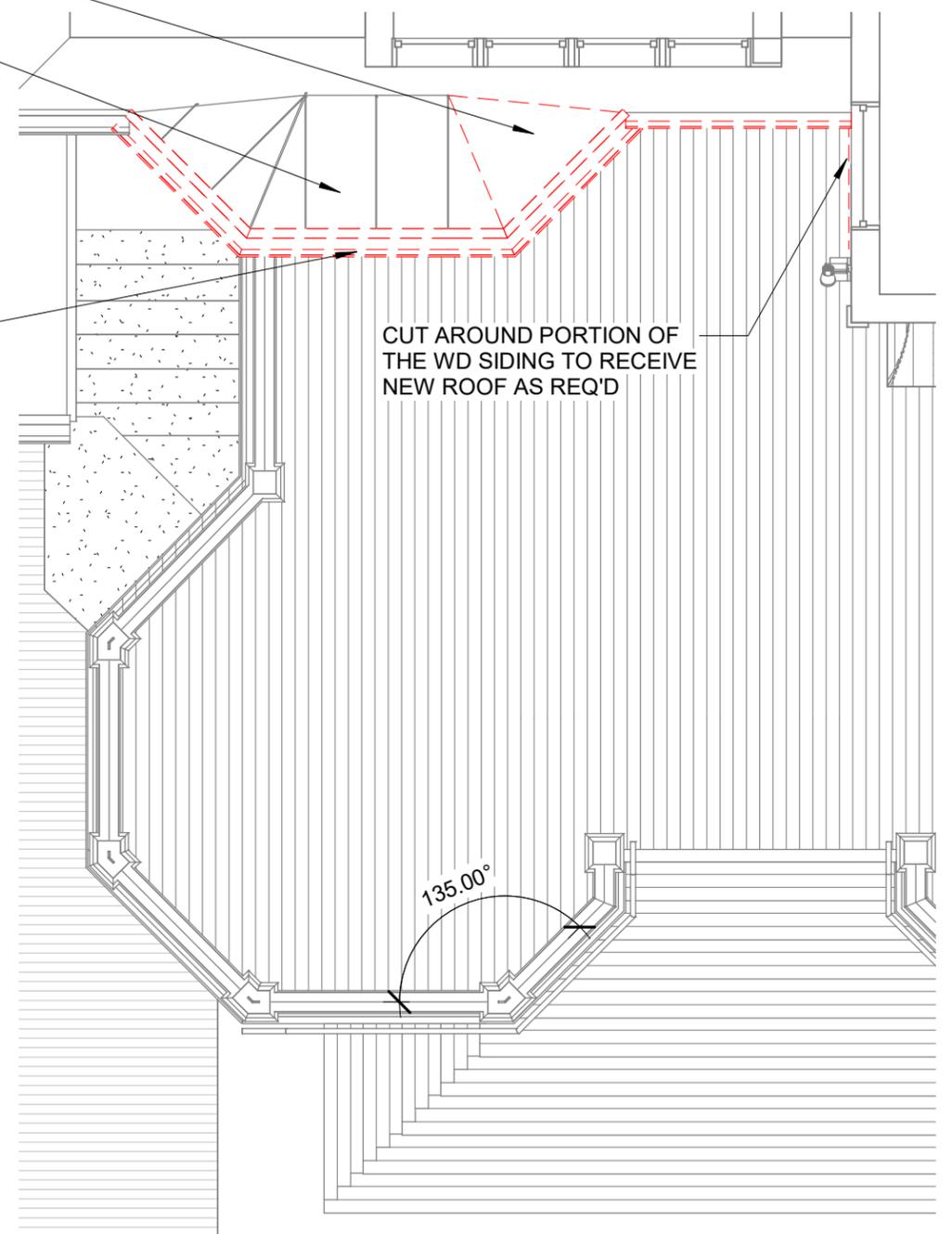
DATE: 01/21/19

DRAWING No.

A0.1



2 DEMO ELEVATION
1/4" = 1'-0"



1 DEMO PLAN
1/4" = 1'-0"

- DEMOLITION NOTES**
- REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
 - PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, WOOD TRIM, WALL PANELS, RAILS AND ROOFING. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. WITH ARCHITECT PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY ARCHITECT.
 - PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATES OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION.

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Rev.	AMENDMENT	DATE
1	REVISION	10/17/18

DEMOS PLAN & ELEVATION

SCALE: 1/4" = 1'-0"

DATE: 01/21/19

DRAWING No.
D1.1



NEW COPPER ENTRY OVERHANG; TO EXTEND FROM EXIST'G BAYWINDOW ROOF

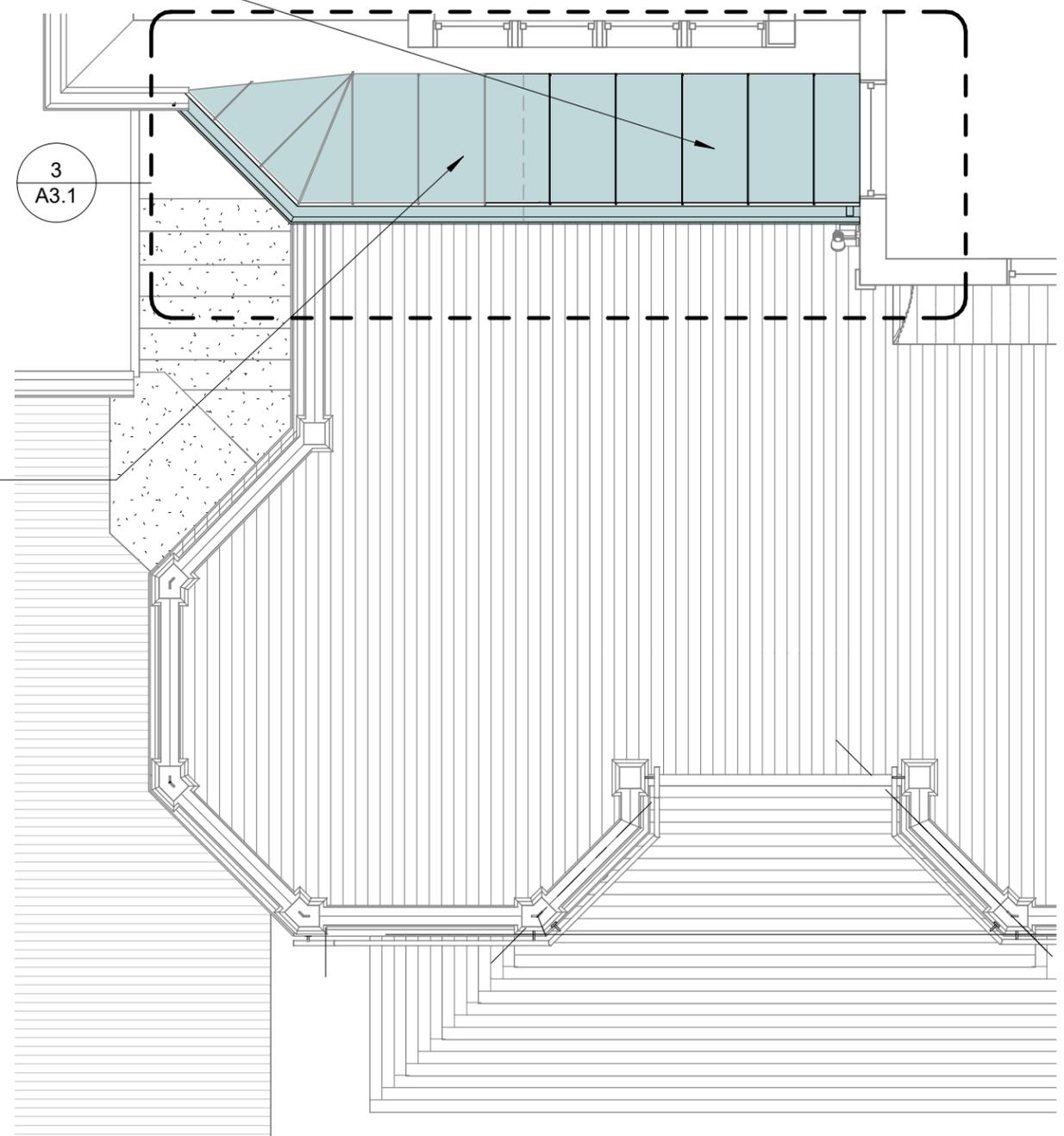
NEW ROOF OVERHANG

LOW ROOF
15' - 3 1/2"

NEW COPPER ROOFING TO MATCH EXIST'G

DECK
5' - 0"

SITE
0' - 0"



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1	REVISION	10/17/18

PROPOSED PLAN & ELEVATION

SCALE: 1/4" = 1'-0"

DATE: 01/21/19

DRAWING No.

A1.2

NEW COPPER ROOFING TO MATCH EXIST'G

NEW COPPER GUTTER TO MATCH EXIST'G PROFILE

NEW STANDING SEAM PATINATED COPPER ROOF TO MATCH EXIST'G; EQUAL PANEL WIDTH TO MATCH EXISTING;

NEW GUTTERS & FASCIA BD TO MATCH EXIST'G PROFILE, MATERIAL AND COLOR

3 ENTRY OVERHANG PLAN
1/2" = 1'-0"

SEE DEMO NOTE REGARDING EXIST'G SUBSTRATE & BAY WINDOW CEILING. IF NEEDED REPLACE WITH NEW TO MATCH EXIST'G

EXIST'G WD PANELS TO REMAIN; PATCH AND REPAINT

EXIST'G WD BRACKET TO REMAIN

NEW RECESSED LIGHT FIXTURE; ZANIBONI LUNA 3 AQ (SEE SPECS ATTACHED)

NEW T&G WD CEILING; MAHOGONY; PTD

NEW WD PANELS TO MATCH EXIST'G

NEW GUTTERS TO MATCH EXIST'G

ALIGN

NEW GUTTERS & FASCIA BD TO MATCH EXIST'G PROFILE, MATERIAL AND COLOR

4 ENTRY OVERHANG RCP
1/2" = 1'-0"

PAUL LUKEZ

ARCHITECTURE

1310 BROADWAY SUITE 104

SOMERVILLE, MA 02144

TEL:617-628-9160

FAX:617-628-9860

WWW.LUKEZ.COM

8 FOLLEN ST.

REAR DECK RENOVATION AND ENTRY OVERHANG ADDITION

CAMBRIDGE, MASSACHUSETTS 02138

Rev.	AMENDMENT	DATE
1	REVISION	10/17/18

ENTRY OVERHANG DETAILS

SCALE: 1/2" = 1'-0"

DATE: 01/21/19

DRAWING No.

A3.1

NEW COPPER ROOFING TO MATCH EXIST'G

NEW COPPER GUTTER TO MATCH EXIST'G PROFILE

NEW STANDING SEAM PATINATED COPPER ROOF TO MATCH EXIST'G; EQUAL PANEL WIDTH TO MATCH EXISTING;

COPPER CLEATS @ 12" O.C.

COPPER FLASHING

EXTEND WATERPROOFING UNDER EXIST'G SLATE ROOFING AND WEATHER RESISTIVE BARRIER & MTL FLASHING

NEW STANDING SEAM PATINATED COPPER ROOF TO MATCH EXIST'G; EQUAL PANEL WIDTH TO MATCH EXISTING;

WATER BARRIER SELF-ADHERING UNDERLAYMENT (Ultra, W.R.Grace Company or equal) OVER PLYWD SUBSTRATE

NEW FASCIA BD TO MATCH EXIST'G PROFILE, MATERIAL AND COLOR

① ENLARGED ELEVATION @ ENTRY OVERHANG
1/2" = 1'-0"

APPLY WATER PROOFING MEMBRANE WHERE THE BOTTOM OF THE ROOF MEETS THE WALL. PROPERLY INTEGRATE THE MEMBRANE TO EXIST'G HOUSE WRAP. WEAVE THE KICK-OUT & STEP COPPER FLASHING UNDER HOUSE WRAP AND WD SIDING. FLASH THE STEP FLASHING AS REQ'D

COPPER DRIP-EDGE

EXTEND WATERPROOFING UNDER GUTTER

NEW GUTTERS & FASCIA BD TO MATCH EXIST'G PROFILE, MATERIAL AND COLOR

NEW WD TRIM TO MATCH EXIST'G (SEE RCP)

P.T. FRAMINGS

③
A3.2

NEW STANDING SEAM PATINATED COPPER ROOF TO MATCH EXIST'G; EQUAL PANEL WIDTH TO MATCH EXISTING;

NEW GUTTERS & FASCIA BD TO MATCH EXIST'G PROFILE, MATERIAL AND COLOR

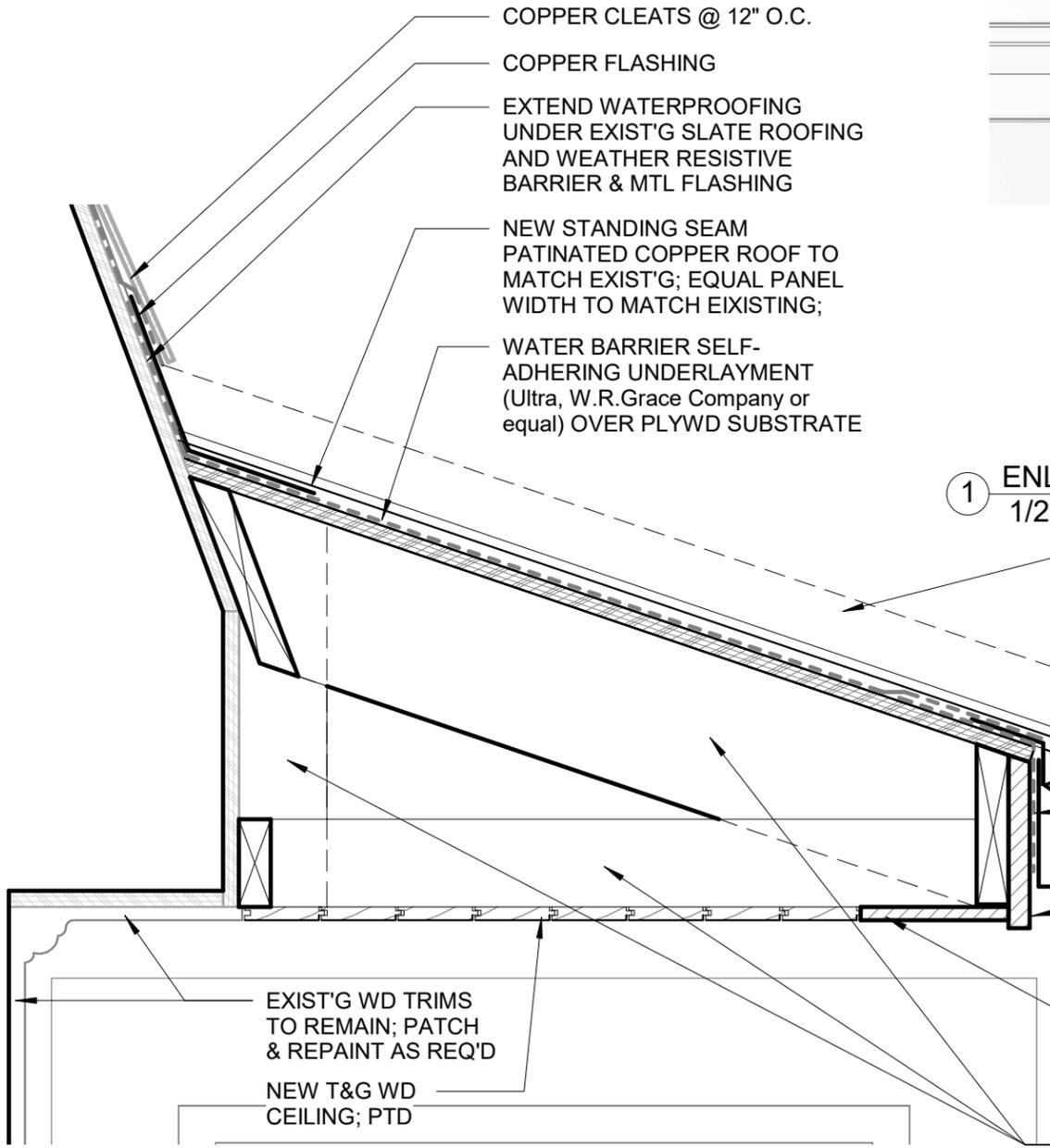
P.T. FRAMINGS

NEW T&G WD CEILING; PTD

NEW COPPER DOWNSPOUTS

EXIST'G WD TRIMS TO REMAIN; PATCH & REPAINT AS REQ'D

② ENLARGE SECTION @ ENTRY OVERHANG
1/2" = 1'-0"



③ SECTION DETAIL @ ENTRY OVERHANG
1 1/2" = 1'-0"

EXIST'G WD TRIMS TO REMAIN; PATCH & REPAINT AS REQ'D

NEW T&G WD CEILING; PTD

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REAR DECK RENOVATION AND ENTRY OVERHANG ADDITION
CAMBRIDGE, MASSACHUSETTS 02138

Rev.	AMENDMENT	DATE
1	REVISION	10/17/18

ENTRY OVERHANG DETAILS

SCALE: As indicated

DATE: 01/21/19

DRAWING No.

A3.2

S. Fallon St.

