



CITY OF CAMBRIDGE
 MASSACHUSETTS
 BOARD OF ZONING APPEAL
 831 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139
 617 349-6100

BZA APPLICATION FORM

Plan No: BZA-017115-2019

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: v Variance: v Appeal:

PETITIONER: 30 Berkshire Street LLC C/O James Hefferman, Navem Partners

PETITIONER'S ADDRESS: 18 Newbury Street, 4th Floor Boston, MA 02116

LOCATION OF PROPERTY: 30 Berkshire St Cambridge, MA

TYPE OF OCCUPANCY: 3 unit dwelling ZONING DISTRICT: Residence C-1 Zone

REASON FOR PETITION :
 New Structure

DESCRIPTION OF PETITIONER'S PROPOSAL :

Variance: To construct three unit dwelling slightly bigger than the building that was damaged by fire in violation of dimensional standards.

As previously approved by the Board of Zoning of Appeal on August 28, 2017 (case no. BZA-013619-2017).

(To the extent required) Special Permit: To park cars within 5 feet from property line.

(Approved on 8/28/17 - still v.l.d)

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Article 6.000 Section 6.44.1.B & G (Parking Setbacks).

Original Signature(s):
 (Petitioner(s) / Owner)

James Hefferman
 (Print Name)

Address: 30 Berkshire Street LLC
40 Navem Partners LLC

18 Newbury St., 4th Floor
Boston, MA 02116

Tel. No.: (617) 803-7622

E-Mail Address: jhefferman@navempartners.com

Date: 4/30/19

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We 30 Berkshire Street, LLC
(OWNER)

Address: c/o Navem Partners LLC, 18 Newbury Street, 4th Floor, Boston, MA 02116

State that I/We own the property located at 30 Berkshire Street, Units 1-3, Cambridge, MA which is the subject of this zoning application.

The record title of this property is in the name of _____
30 Berkshire Street, LLC

*Pursuant to a deed of duly recorded in the date 3/1/2019, Middlesex South County Registry of Deeds at Book 72290, Page 245 (Unit 1), 30 (Unit 2), 162 (Unit 3) Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.


SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*
As manager of 30 Berkshire Street, LLC

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Suffolk

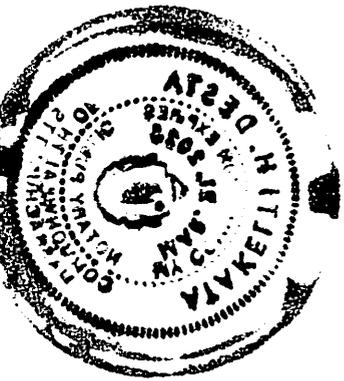
The above-name James Heffernan personally appeared before me, this 1st of May, 2019, and made oath that the above statement is true.

 Notary

My commission expires March 21, 2025 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recorded deed, or inheritance, please include documentation.



BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The literal enforcement of the provisions would involve a substantial hardship to the petitioner; the hardship related to the structure being damaged by a fire in the neighborhood and that the rebuilding of the structure required some expansion in order to improve the safety and visual impact of the structure.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The hardship owed to the shape of the nonconforming lot fully occupied by a structure, where any modifications would require zoning relief.

C) *DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:*

1) Substantial detriment to the public good for the following reasons:

The proposed structure would benefit the public that the structure that had been damaged by fire would not only be restored but improved by the work that is proposed.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Relief could be granted without substantial detriment to the public good or nullifying or substantially derogating from the intent and purpose of the ordinance.

*** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 30 Berkshire St Cambridge, MA (location) would not be a detriment to the public interest because:

- A) Requirements of the Ordinance can or will be met for the following reasons:
- B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:
- C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:
- D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:
- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:



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2019 MAY -1 PM 3:37

OFFICE OF THE CITY CLERK
 CAMBRIDGE, MASSACHUSETTS
 BZA-017115-2019

BZA APPLICATION FORM

Plan No:

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Original Signature(s) :

James Hefferman

 (Petitioner(s) / Owner)

James Hefferman
 (Print Name)

Address : 30 Berkshire Street LLC
 c/o Navem Partners, LLC

 18 Newbury Street 4th Floor
 Boston, MA 02116

Tel. No. : (617) 803-7622

E-Mail Address : jhefferman@navempartners.com

Date : _____



WARNING:
 This document may not be secure, may be corrupted in transmission or due to software incompatibility and/or may be amended or altered by third parties after leaving Joe The Architect LLC's possession. Joe The Architect LLC is not responsible for and accepts no liability for such matters. Subject only to any conflicting provision within any prior binding agreement by Joe The Architect LLC (which agreement may also contain additional conditions relating to this document and its use):
 1. the content of this document is confidential and copyright in it belongs to Joe The Architect LLC. They are permitted only to be opened, read and used by the addressee.
 2. all users of this document must carry out all relevant investigations and must examine, take advice as required and satisfy themselves concerning the contents, correctness and sufficiency of the attachment and its contents for their purposes.
 3. to the extent permitted by law, all conditions and warranties concerning this document or any use to which they may be put (whether as to quality, outcome, fitness, care, skill or otherwise) whether express or implied by statute, common law, equity, trade, custom or usage or otherwise are expressly excluded.
 4. any person using or relying on this document releases and indemnifies and will keep indemnified Joe The Architect LLC against all claims, liabilities, loss, costs and expenses arising directly or indirectly out of or in connection with such use or reliance including without limitation any misrepresentation, error or defect in this document.

Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. All work to comply with I.B.C. Statutory Authorities and relevant American Standards.

Index of Drawings

SHEET NUMBER	DRAWING TITLE	SHEET NUMBER	DRAWING TITLE	SHEET NUMBER	DRAWING TITLE	SHEET NUMBER	DRAWING TITLE
A000	COVER SHEET	A130	COMMON BASEMENT ARCHITECTURAL ELECTRIC & FINISH PLANS	A611	UNIT 1 INTERIOR ELEVATIONS	E001	ELECTRICAL LEGEND, NOTES & SPECIFICATIONS
LS001	LAND SURVEY PLAN SHOWING PROPOSED CONDOMINIUMS	A131	UNIT 1 ARCHITECTURAL ELECTRIC & FINISH PLANS	A620	UNIT 2 INTERIOR ELEVATIONS	E002	ELECTRICAL FIRE ALARM RISER
SHT1	LAYOUT AND MATERIALS	A132	UNIT 2 ARCHITECTURAL ELECTRIC & FINISH PLANS	A621	UNIT 2 INTERIOR ELEVATIONS	E100	ELECTRICAL FIRE ALARM PLAN
SHT2	GRADING, DRAINAGE & UTILITIES	A133	UNIT 3 ARCHITECTURAL ELECTRIC & FINISH PLANS	A630	UNIT 3 INTERIOR ELEVATIONS	E101	ELECTRICAL FIRE ALARM PLAN
SHT3	DETAILS	A200	EXTERIOR ELEVATIONS	A631	UNIT 3 INTERIOR ELEVATIONS	H001	HVAC LEGEND
A001	GENERAL NOTES, CODES, & REGULATIONS	A201	EXTERIOR ELEVATIONS	S0.1	GENERAL NOTES	H002	HVAC SCHEDULES
A002	ARCHITECTURAL GENERAL INFORMATION	A210	BUILDING SECTIONS	S0.2	TYPICAL DETAILS	H003	HVAC DETAIL SHEET No. 1
A020	EXISTING/DEMOLITION SITE PLAN	A211	BUILDING SECTIONS	S0.3	TYPICAL DETAILS	H004	HVAC DETAIL SHEET No. 2
A021	PROPOSED SITE PLAN	A300	WALL TYPE AND WINDOW SCHEDULE AND EQUIPMENT	S1.0	FOUNDATION PLAN	H005	HVAC SEQUENCES OF CONTROL
A110	COMMON BASEMENT FLOOR PLAN	A400	WALL SECTIONS	S1.1	FIRST FLOOR FRAMING PLAN	H100	HVAC DUCTWORK PLAN
A111	UNIT 1 FLOOR PLAN	A401	WALL SECTIONS	S1.2	SECOND FLOOR FRAMING PLAN	H101	HVAC DUCTWORK PLAN
A112	UNIT 2 FLOOR PLAN	A402	WALL SECTIONS	S1.3	THIRD FLOOR FRAMING PLAN	H102	HVAC DUCTWORK PLANS
A113	UNIT 3 FLOOR PLAN	A410	ENLARGED WALL SECTIONS	S1.4	ROOF FRAMING PLAN	H200	HVAC PIPING PLANS
A114	ROOF PLAN	A430	DOOR LEGEND	S2.1	SECTIONS	H201	HVAC PIPING PLANS
A120	COMMON BASEMENT REFLECTED CEILING PLAN	A431	SCHEDULES	S2.2	SECTIONS	H202	HVAC PIPING PLANS
A121	UNIT 1 REFLECTED CEILING PLAN	A600	BASEMENT INTERIOR ELEVATIONS	F001	FIRE PROTECTION LEGEND, NOTES AND DETAILS		
A122	UNIT 2 REFLECTED CEILING PLAN	A601	BASEMENT INTERIOR ELEVATIONS	F002	FIRE PROTECTION LEGEND, NOTES AND DETAILS		
A123	UNIT 3 REFLECTED CEILING PLAN	A610	UNIT 1 INTERIOR ELEVATIONS	F100	FIRE PROTECTION CEILING PLANS		
				F101	FIRE PROTECTION CEILING PLANS		



project number 092 drawing number A000 revision 8 07/13/2018

For Permit



PROJECT NAME:
BERKSHIRE STREET RESIDENCE

PROJECT ADDRESS:
30 Berkshire St., Cambridge, MA 02141

PROJECT NO: 092 DATE: 07/13/2018

CLIENT NAME:
Krissy Ellsworth, Denyce Wicht, Michael Workman

CLIENT ADDRESS:
30 Berkshire Street, Cambridge, MA 02141

THE ARCHITECT
 343 Marlboro Street, Suite 4C
 Somerville, MA 02145
 t: 617.754.3636
 e: info@joethearchitect.com
 website www.joethearchitect.com

PROJECT NAME:

PROJECT ADDRESS:

PROJECT NO:

DATE:

CLIENT NAME:

CLIENT ADDRESS:

PROJECT NO:

GENERAL NOTES

- The work shall conform to the applicable building code, and other ordinances, codes and regulations listed in the specifications or on the drawings, and required by local building authorities. The governing codes, rules and regulations are collectively referred to as "the code". The contractor shall report any inconsistencies, conflicts or omissions he may discover to the architect for interpretation prior to performing the work.
- The general contractor shall contact owner or property manager to determine the rules of the building relative to construction, when and how deliveries can be made, what phases and types of construction may be done one regular or overtime basis, and in general any special building requirements which will affect the cost of all work borne by the general contractor. All work shall conform to all base building standard specifications and building regulations, which the contractor shall obtain prior to submission of bid.
- The general contractor shall be responsible for the sub-contractors receipt of complete sets of these documents, as well as all future addenda, field directives and change orders, etc.
- Any contract document between parties shall be considered part of the general conditions of this work.
- The contractor shall coordinate with the building management the storage of all materials and shall provide protection as necessary to prevent vandalism and loss of materials by theft or damage sustained due to exposure to inappropriate environmental conditions and will make good any damage or losses at his own expense without charge to the owner.
- Where adjacent areas beyond the immediate construction area will be occupied during the construction period, the contractor shall:
 - Conform to owners and tenant requirements for hours of construction operations, access to tenant spaces and allowable noise level during tenant business hours.
 - Minor details not shown or specified, but necessary for proper construction of any part of the work, shall be included as if they were indicated in the drawings, unless otherwise agreed upon. Where the contract, construction notes or drawings call for any work of a more stringent nature than that required by the building code, or any other entity having jurisdiction over the work, the work of the more stringent nature shall be furnished in all cases.
 - Details are intended to show the intent of the design. Minor modifications may be required to suit the field dimensions or conditions and such modifications shall be included as part of the work of the contract.
 - All work shall be executed in a workmanlike manner by mechanics and tradesmen skilled in their respective trades and in accordance with the best practices of the trades involved.
 - All work shall be plumb, level and true. The contractor lay out all work and establish all points, grades, lines and levels and assume full responsibility for the same.
 - All exterior wall dimensions are to face of concrete block or to face of stud, unless otherwise noted.
 - The contractor shall confirm the availability and delivery times for all specified items upon receipt of the contract documents. Should any of the specified items availability pose a delay to the on-time completion of the project, the contractor shall notify the client immediately and propose an equivalent substitution if such a delay is not acceptable to the client.
 - Substitution of all equals shall be only as approved by the office of the architect. Where the term "or equal" is used the architect shall be the sole judge of equality based upon the information furnished by the contractor. Substitutions must be accepted in writing before they may be used.
 - The general contractor shall have received architect's approval for each sample submitted for all exposed materials, hardware and finishes required by this contract prior to the order placement, or use.
 - If the general contractor, the owner, or the owner's representative substitutes a material, method of attachment, revises a construction detail, or in any way alters the work such that in no longer conforms to these documents, without the written acceptance of the office of the architect, such action will relieve the architect of any responsibility or liability including but not limited to aesthetic consequences, subsequent failures(s) and personal or property damage attributable to this change.
 - The architect's approval or review of separate individual item(s) shall not constitute the review of and assembly in which the item functions within.
 - "Shop drawings" that contain excessive errors or that are incomplete or inadequate may be returned "unchecked" and any costs incurred for the resultant delays will be the responsibility of the contractor.
 - Approved "shop drawings" shall not relieve the contractor of obligations or responsibilities for deviations from the requirements of these contract documents, unless the office of the architect is notified of, and specifically approves of such deviations at the time of submission.
 - Approved "shop drawings" shall not relieve the general contractor's obligation for coordination nor waive responsibility for errors and omissions in the submittals, including "field measure".
 - Unless noted otherwise a minimum of 1" (one inch) clearance between property lines and any new construction like walls, footings, etc. Shall maintained.
 - Any changes in the scope of work, or in construction details, whether due to field conditions, or omissions, by the contractor, architect or owner, shall be documented by the architect and approved, prior to execution.
 - Should the general contractor claim that an issue, directed revision or change to the original contract involves additional cost under his contract, he shall give written notice within a period of not more than three (3) weeks (15 business days), but shall not proceeding to execute the work, until written approval for the change request is received. No such claims shall be valid unless so made. Unless otherwise agreed, no payment for such claims will be made until final settlement.
 - All claims for additional work will be submitted in writing for the client's approval. The contractor shall include a complete narrative description of the work to be performed as well as, materials to be used, the room number of the area or space being worked in and under whose authorization the work to be performed was initiated.
 - The presence of a representative of the architect on the job site does not imply concurrence with or the approval of any work. The general contractor shall call to the attention of the office of the architect, in writing, with any specific items for which acceptance is required.
 - Upon substantial completion of work the general contractor shall notify the office of the architect to prepare a "punch list" of corrections and unsatisfactory and/or incomplete work conditions. Final payment will be contingent on the completion of these items under the terms of the owner-contractor agreement.
 - The contractor shall maintain at the site, for the owner, one record copy of all drawings, permits, approved shop drawings, submittals and samples on which to record all changes during construction. Access to these shall be provided for the use of all trades, client representatives and the architect, during all phases of construction.
 - During construction, actual locations shall be indicated to scale in red ink on the owner's record drawings for all runs of mechanical and electrical work including concealed work which deviates from the drawings. Upon completion of the project, including all punch list items, this information shall be neatly transferred by the contractor to a set of drawings, which shall be marked "as built set" and copies shall be provided to both the owner and the architect. Within three (3) weeks (15 business days) of the receipt of the "as built set" approval for final payment to the contractor shall be granted or reasonable cause shown why such approval has been denied.
 - Prior to the completion of his work the general contractor shall assemble and furnish the client/owner, in a loose-leaf binder(s), a complete set of manufacturers catalogues, operating instructions, maintenance instructions and similar data, as well as all guarantee(s) for all equipment and operable devices furnished or installed by the general contractor under this contract, and shall orient and instruct the personnel designated by the client/owner in the operation of all such equipment.
 - The contractor shall immediately notify the owner if mold, or asbestos is uncovered. The owner shall retain a qualified consultant who shall arrange for the prompt identification, testing, treatment, remediation and storage of the mold or asbestos as required by law and good construction practices. The architect shall bear no responsibility for work related to these materials.
 - The contractor is advised that the premise has not been tested for lead paint or other potentially hazardous materials. The contractor shall use all appropriate precautions in the carrying out of all construction operations which might disturb such materials.
 - All contractors shall carry property damage and public liability insurance as required by any governing agencies having jurisdiction and complying with statutory requirements for disability and workmen's compensation.
- Contractor and subcontractors shall attend job meetings as required by this contract.
- The contractor shall obtain all permits for all site development work, pay all fees for permits, and check all governing authorities' specifications for but not limited to gutters, sidewalks, poles, and other structures, including the removal or relocation of existing utilities or other physical objects shown on plans or otherwise noted.
- All required permits must be obtained from the fire department prior to start of construction.
- All costs for inspections and/or tests shall be the responsibility of the general contractor, unless noted otherwise.
- The general contractor shall pay the expenses for all transportation; hoisting and elevator use charges on all his materials or equipment to the point of use, and shall be responsible for all unloading, checking and storage of the same regarding this contract.
- The general contractor shall make all arrangements, maintain and pay all costs for temporary water, plumbing, power, lighting, heating or ventilation as he may require to properly conduct his work.
- Do not scale these drawings; written dimensions shall govern. Should any dimensional discrepancies be encountered, clarifications shall be obtained from the office of the architect.
- Large scale details shall govern over smaller scale plans and elevations.
- Install all equipment and materials as per manufacturers' recommendations. Any difficulties are to be reported to the architect immediately.
- The contractor and each subcontractor shall warrantee all work performed by him directly for a minimum period of one (1) year. All defects occurring in the guaranteed period shall be corrected at no additional cost.
- The site and buildings shall be maintained accessible to and functional for the physically handicapped. All ramps shall be fitted with a non-slip finish.
- The client, architect, consultants and all inspectors from pertinent agencies shall be permitted access to the job site at all times during normal working hours.
- The general contractor shall provide all labor, materials, and equipment as necessary to execute all work as shown on these drawings except where noted as not in contract (N.I.C.). Unless otherwise noted on these drawings or in the specifications as being not in contract or existing, all items, materials, etc.. And the installation of same are a part of the contract defined by these drawings and specifications.
- Minor details not shown or specified, but necessary for proper construction of any part of the work, shall be included as if they were indicated in the drawings, unless otherwise agreed upon. Where the contract, construction notes or drawings call for any work of a more stringent nature than that required by the building code, or any other entity having jurisdiction over the work, the work of the more stringent nature shall be furnished in all cases.
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- All work shall be executed in a workmanlike manner by mechanics and tradesmen skilled in their respective trades and in accordance with the best practices of the trades involved.
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- The general contractor shall have received architect's approval for each sample submitted for all exposed materials, hardware and finishes required by this contract prior to the order placement, or use.
- If the general contractor, the owner, or the owner's representative substitutes a material, method of attachment, revises a construction detail, or in any way alters the work such that in no longer conforms to these documents, without the written acceptance of the office of the architect, such action will relieve the architect of any responsibility or liability including but not limited to aesthetic consequences, subsequent failures(s) and personal or property damage attributable to this change.
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PROJECT DATA	
PROPERTY CLASS	CONDOMINIUM
STATE CLASS CODE	102
MAP/LOT	40-140-1
NEIGHBORHOOD	WELLINGTON HARRINGTON - NEIGHBORHOOD 3

CITY OF CAMBRIDGE ZONING ORDINANCE; INCLUDING AMMENDMENTS APPROVED BY THE CITY COUNCIL UP TO ORDINANCE #1382 ORDAINED ON MAY 25, 2016.
 ZONING MAP OF THE CITY OF CAMBRIDGE ADOPTED FEB. 13, 1961 WITH CHANGES THROUGH AND INCLUDING ORDINANCE #1372 OF OCT. 19, 2015.

APPLICABLE CODES & REGULATIONS	
BUILDING	-780 CMR Massachusetts state building code (MSBC) 9th edition -international building code (ibc) 2015
ENERGY	-International energy conservation code (IECC) 2015, with MA amendments
PLUMBING	-248 CMR 10.00 Massachusetts uniform state plumbing code -Massachusetts general law (MGL) chapter 128 section 26G (auto sprinkler systems)
ACCESSIBILITY	-521 CMR Massachusetts Architectural Access Board (MAAB) 1/27/06 -2010 American Disability Act (ADA) standards

DIMENSIONAL REGULATIONS DISTRICT C-1 MULTIFAMILY DWELLINGS			
	REQUIRED	EXISTING	APPROVED BY ZONING BOARD ON 9/18/2017 BZA-013619-2017
MINIMUM LOT SIZE	5,000SF	3,058SF	3,058SF
TOTAL FRONTAGE	--	37'-8"	37'-8"
FLOOR AREA RATIO (FAR)	2,294SF (.75)	3,660SF (1.2)	3,813SF (1.2)
MIN. LOT AREA/ DU	1,500SF	--	UNIT 1: 977SF UNIT 2: 1,010SF UNIT 3: 1,010SF
MINIMUM LOT WIDTH	50'-0"	37'-8"	37'-8"
BUILDING HEIGHT	35'-0" MAX	35'-0"	35'-0"
MINIMUM YARD DIMENSIONS (BASED ON BUILDING HEIGHT/LENGTH)			
FRONT SETBACK: (H+L)/4	16'-8"FT	16'-8"FT	16'-8"FT
MIN SIDE SETBACK: (H+L)/5	7'-6" MIN	4'-6"FT	4'-6"FT
MIN REAR SETBACK: (H+L)/4	20'-0" MIN	43'-10"FT	38'-9"FT
OPEN SPACE MIN AS % OF GROSS FLR AREA	30% 917SF	60% 1,838SF	55% 1,687SF
PROPOSED BUILDING AREA INCLUDING BASEMENT	--	4,630SF	5,015SF
BALCONIES/DECK	--	0SF	168SF

PARKING REGULATIONS			
	REQUIRED	EXISTING	PROPOSED
PARKING SPACES PER DWELLING	1/DU	1/DU	1/DU
TOTAL PARKING SPACES	3	3	3

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stamp

revision	revision description	date
1	ZBA REVIEW	06/14/2017
2	ZBA REVIEW REV1	06/20/2017
4	FOR PRICING	09/14/2017
5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title
 BERKSHIRE STREET RESIDENCE
 30 Berkshire St., Cambridge, MA 02141

client
 Krissy Ellsworth, Denyce Wicht, Michael Workman
 30 Berkshire Street, Cambridge, MA 02141

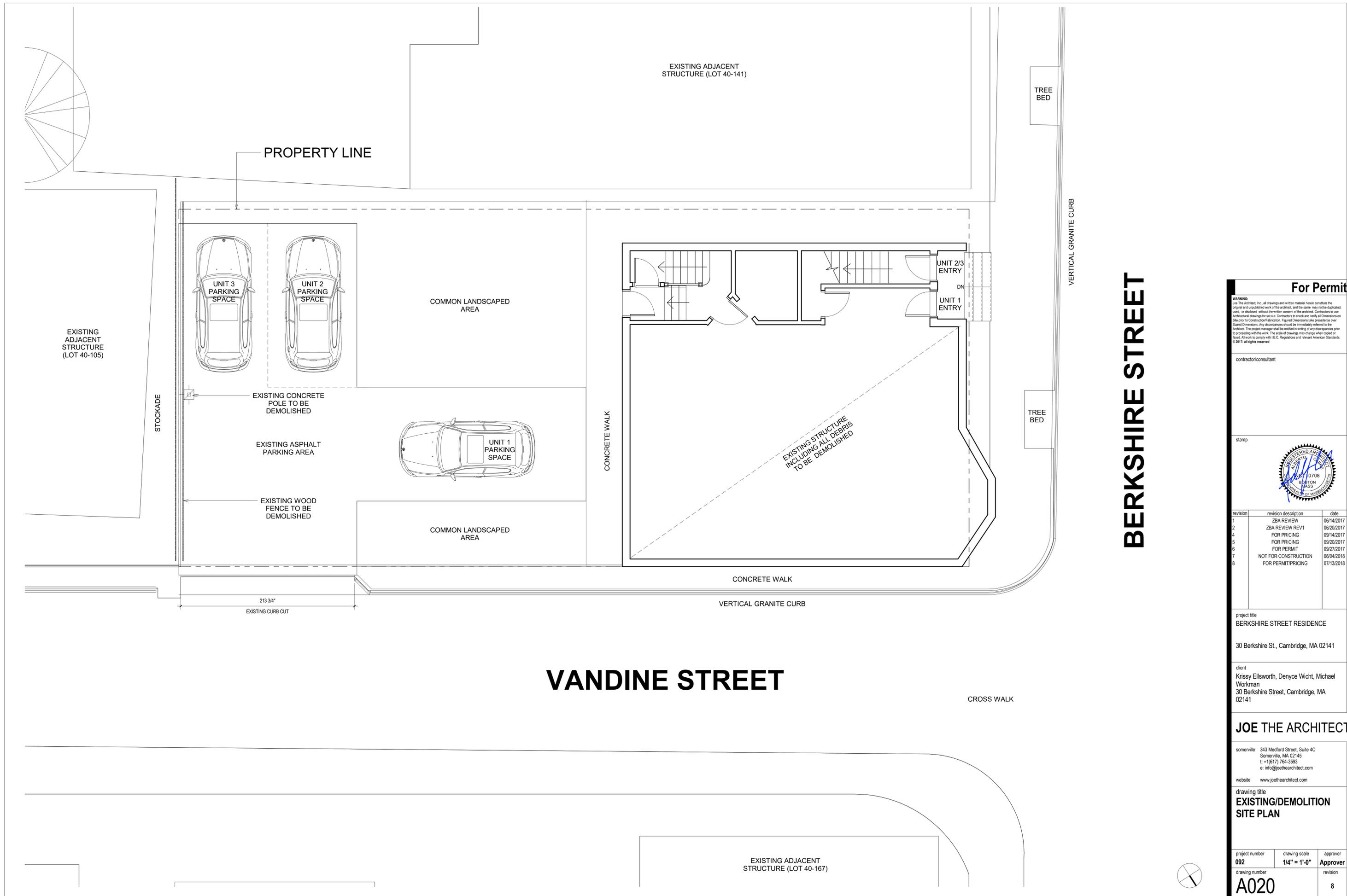
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website www.joethearchitect.com

drawing title
GENERAL NOTES, CODES, & REGULATIONS

project number	drawing scale	approver
092	As indicated	Approver
drawing number	revision	
A001	8	



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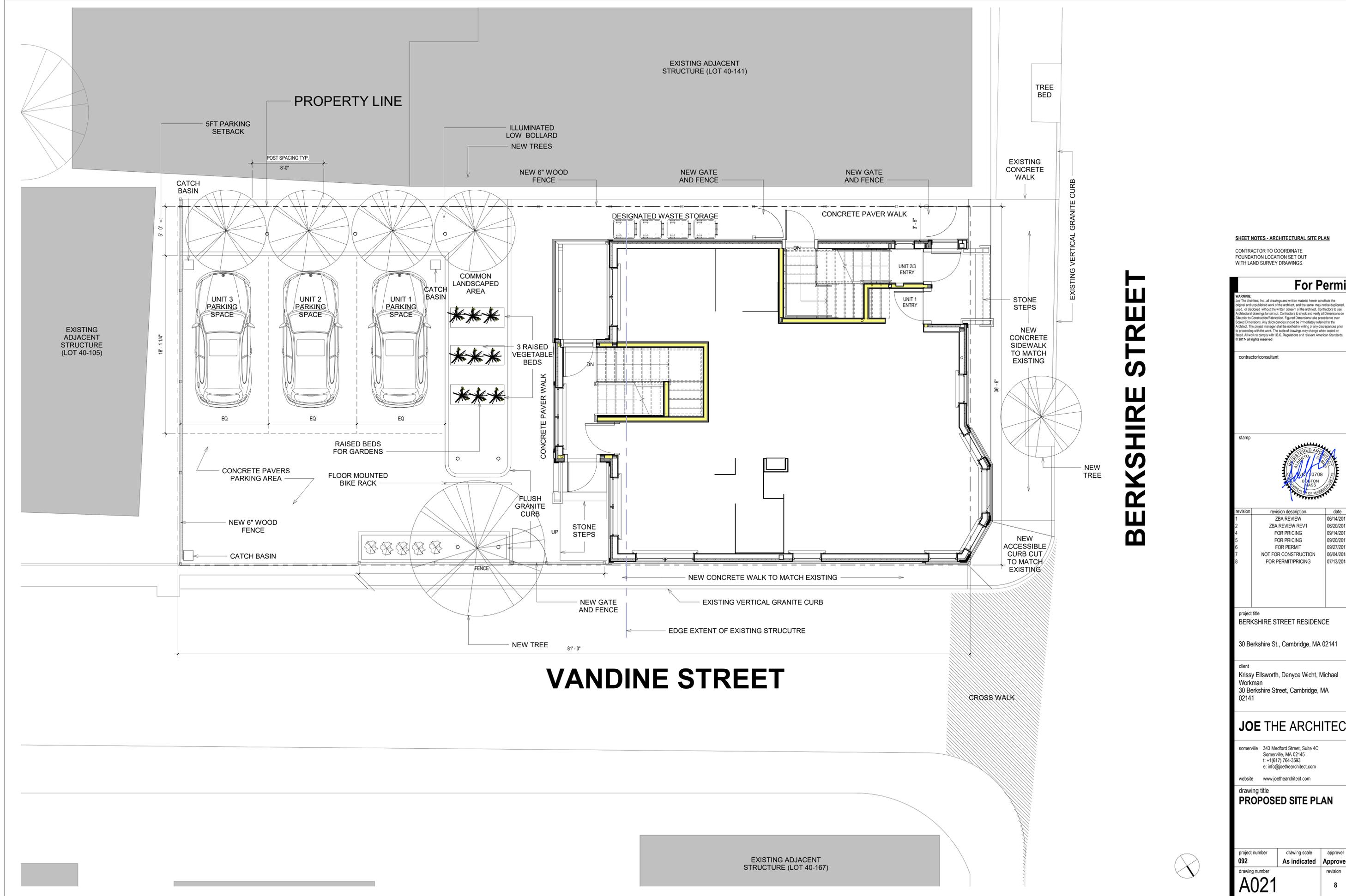
project title
BERKSHIRE STREET RESIDENCE
 30 Berkshire St., Cambridge, MA 02141

client
 Krissy Ellsworth, Denyce Wicht, Michael Workman
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drawing title EXISTING/DEMOLITION SITE PLAN		
project number 092	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A020	revision	8

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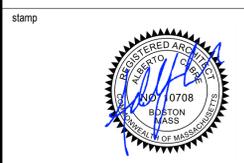
SHEET NOTES - ARCHITECTURAL SITE PLAN

CONTRACTOR TO COORDINATE FOUNDATION LOCATION SET OUT WITH LAND SURVEY DRAWINGS.

For Permit

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8	FOR PERMIT/PRICING	07/13/2018

project title
BERKSHIRE STREET RESIDENCE
 30 Berkshire St., Cambridge, MA 02141

client
 Krissy Ellsworth, Denyce Wicht, Michael Workman
 30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

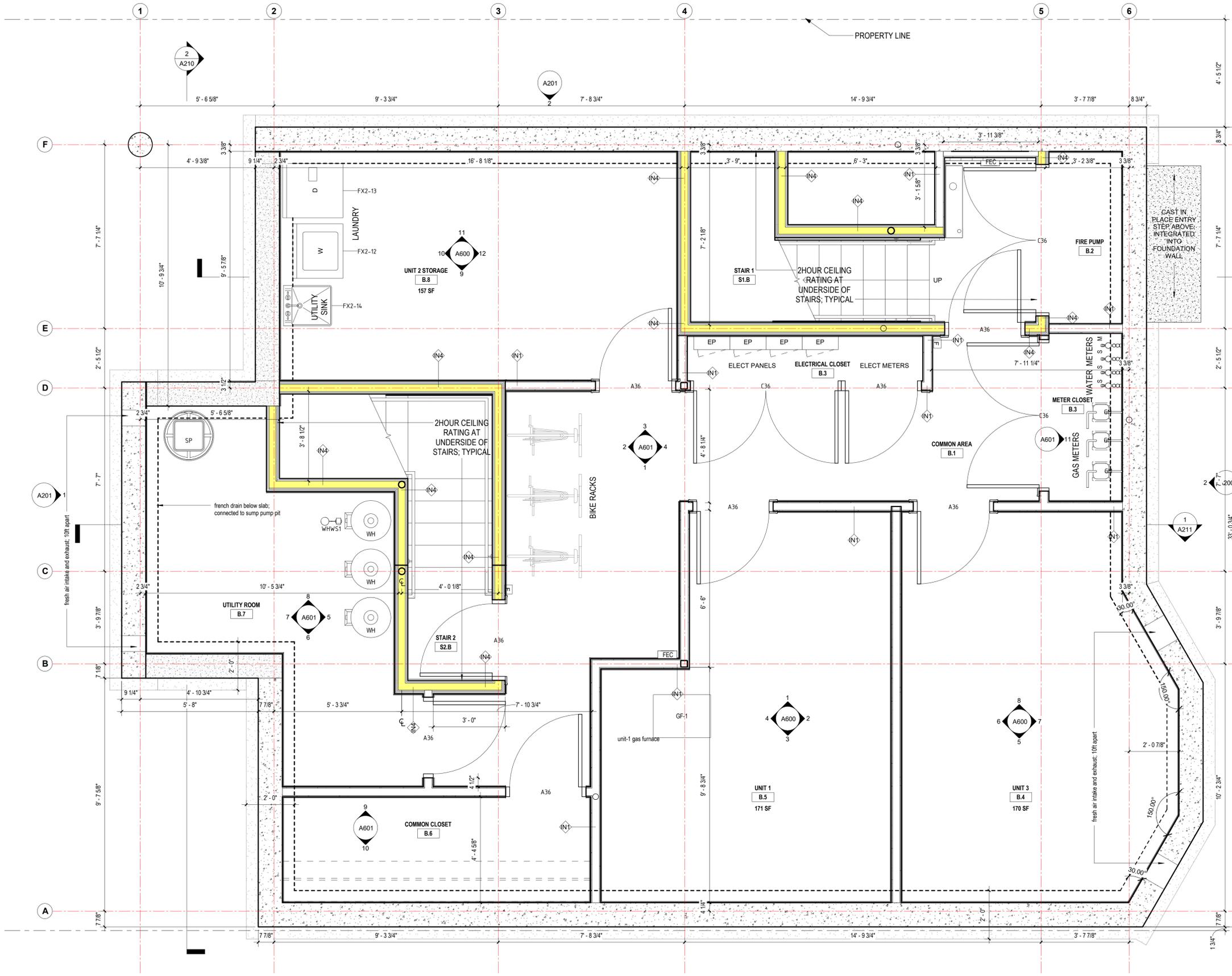
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drawing title
PROPOSED SITE PLAN

project number	drawing scale	approver
092	As indicated	Approver
drawing number	revision	
A021	8	

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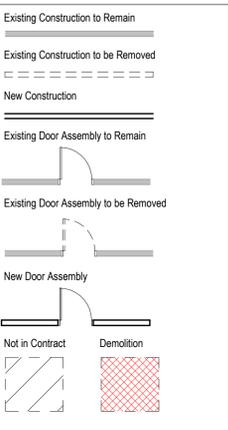


1 COMMON BASEMENT FLOOR PLAN
1/2" = 1'-0"

Construction Notes

- See sheet A002 for abbreviations and typical mounting heights.
- See sheet A430 for partition type schedule and information.
- Use type "X" gwb on fire rated partitions.
- Keep door frames 4" clear on hinge side at all partition intersections except at columns where clearance is provided for hardware.
- Use cementitious backer board (Durock) or equal at partitions scheduled to receive tile (U.O.N.). See finish plan for location of tile.
- Where furred partitions exceed maximum height, brace to adjacent structure.
- Provide level 5 finish at all partitions to receive wall covering.
- Provide level 4 finish at all interior partitions, U.O.N.
- Provide flush drywall type access panels in partitions as required for service of building systems.
- Dimensioning: All partition dimensions shown are to face of stud. - Dimensions noted as "cl." mean clear dimension to face of finish. - Dimensions noted as "R.O." mean dimension of clear rough opening between studs. - All horizontal dimensions are shown on plans and vertical dimensions on interior & exterior elevations where relevant. - Vertical dimensions are to top of subfloor, U.O.N. - See door schedule for door sizes, door info and interior details.
- Align vertically & horizontally electrical wall devices including switches, outlets, fire alarm devices, exit signs, emergency lights, etc. When possible within code requirements, and where in close proximity to each other U.O.N.
- See RCP for info regarding ceiling type finish, fixtures and all ceiling information.
- Provide blocking and backing as required within existing partitions and new partitions for all casework, shelving, countertops, toilet accessories, and owner supplied toilet accessories, and owner supplied equipment. Coordinate with shop drawings.
- Maintain integrity of existing fire resistant rated assemblies for all penetrations.
- Use water resistance GWB on all wet areas.
- All doors on 2H rated walls to be 1 1/2" rated door.
- G.C. to install acoustic insulation on all interior walls and ceilings.
- G.C. to coordinate all floor transition thickness with adequate floor thresholds that do not exceed 1/2" reveal.
- G.C. to provide HVAC systems distribution shop drawings for architect and owner approval and coordination.
- G.C. to keep a continuous building thermal envelope - wall R-20, roof R-38, basement wall R-10, floor R-30. In accordance with IBC energy efficiency Chapter 11.
- G.C. to coordinate all electrical power for kitchen islands.
- Coordinate with all Consultant drawings as there may be additional items not seen on Architectural Floor Plans.

Construction Legend



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stamp



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5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title
BERKSHIRE STREET RESIDENCE
30 Berkshire St., Cambridge, MA 02141
client
Krissy Ellsworth, Denyce Wicht, Michael Workman
30 Berkshire Street, Cambridge, MA 02141

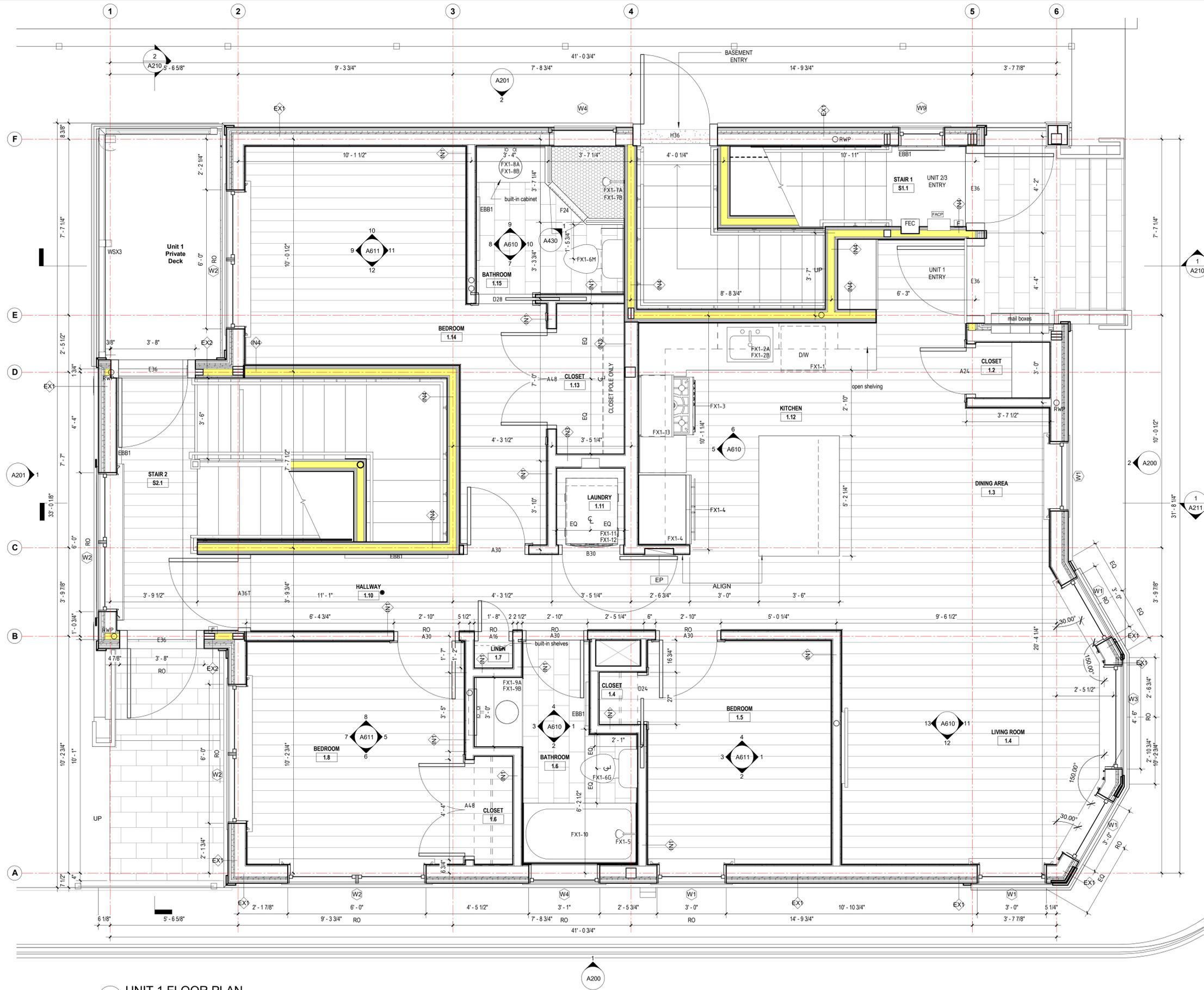
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website www.joethearchitect.com

drawing title
COMMON BASEMENT FLOOR PLAN

project number	drawing scale	approver
092	As indicated	AS
drawing number	revision	
A110	8	

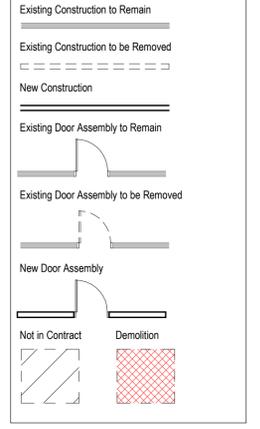
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Construction Notes

- See sheet A002 for abbreviations and typical mounting heights.
- See sheet A430 for partition type schedule and information.
- Use type "x" gwb on fire rated partitions.
- Keep door frames 4" clear on hinge side at all partition intersections except at columns where clearance is provided for hardware.
- Use cementitious backer board (Durock) or equal at partitions scheduled to receive tile (U.O.N.). See finish plan for location of tile.
- Where furred partitions exceed maximum height, brace to adjacent structure.
- Provide level 5 finish at all partitions to receive wall covering.
- Provide level 4 finish at all interior partitions, U.O.N.
- Provide flush drywall type access panels in partitions as required for service of building systems.
- Dimensioning: All partition dimensions shown are to face of stud. - Dimensions noted as "cl" mean clear dimension to face of finish. - Dimensions noted as "R.O." mean dimension of clear rough opening between studs. - All horizontal dimensions are shown on plans and vertical dimensions on interior & exterior elevations where relevant. - Vertical dimensions are to top of subfloor, U.O.N. - See door schedule for door sizes, door info and interior details.
- Align vertically & horizontally electrical wall devices including switches, outlets, fire alarm devices, exit signs, emergency lights, etc. When possible within code requirements, and where in close proximity to another U.O.N.
- See RCP for info regarding ceiling type finish, fixtures and all ceiling information.
- Provide blocking and backing as required within existing partitions and new partitions for all casework, shelving, countertops, toilet accessories, and owner supplied toilet accessories, and owner supplied equipment. Coordinate with shop drawings.
- Maintain integrity of existing fire resistant rated assemblies for all penetrations.
- Use water resistance GWB on all wet areas.
- All doors on 2H rated walls to be 1 1/2" rated door.
- G.C. to install acoustic insulation on all interior walls and ceilings.
- G.C. to coordinate all floor transition thickness with adequate floor thresholds that do not exceed 1/2" reveal.
- G.C. to provide HVAC systems distribution shop drawings for architect and owner approval and coordination.
- G.C. to keep a continuous building thermal envelope - wall R-20, roof R-38, basement wall R-10, floor R-30. In accordance with IBC energy efficiency Chapter 11.
- G.C. to coordinate all electrical power for kitchen islands.
- Coordinate with all Consultant drawings as there may be additional items not seen on Architectural Floor Plans.

Construction Legend



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5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018



contractor/consultant

project title
BERKSHIRE STREET RESIDENCE
 30 Berkshire St., Cambridge, MA 02141

client
 Krissy Ellsworth, Denyce Wicht, Michael Workman
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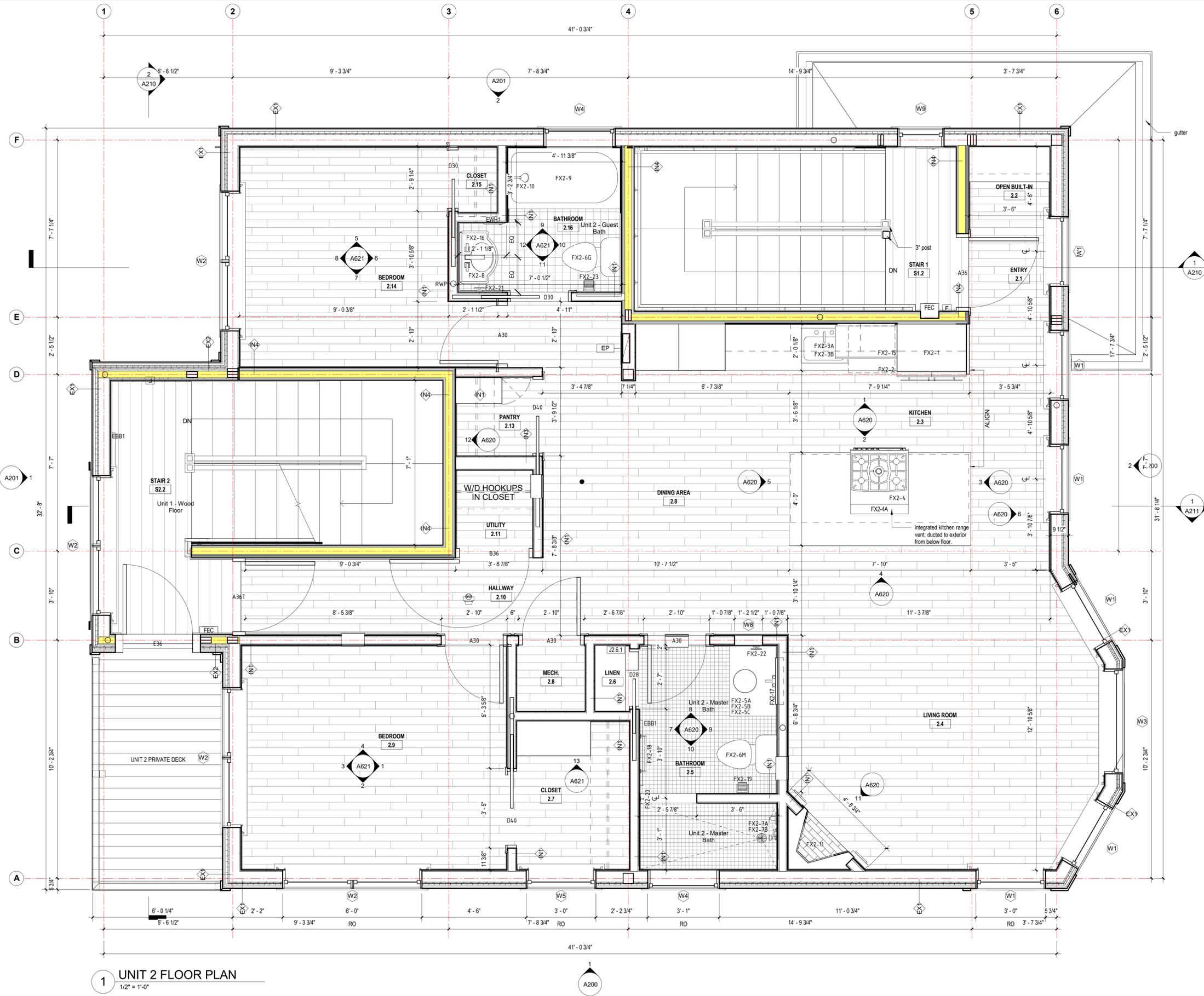
website www.joethearchitect.com

drawing title
UNIT 1 FLOOR PLAN

project number	drawing scale	approver
092	As indicated	Approver
drawing number	revision	
A111	8	

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1 UNIT 1 FLOOR PLAN
 1/2" = 1'-0"

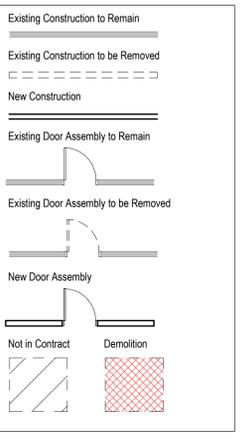


1 UNIT 2 FLOOR PLAN
1/2" = 1'-0"

Construction Notes

- See sheet A002 for abbreviations and typical mounting heights.
- See sheet A430 for partition type schedule and information.
- Use type "3" gwb on fire rated partitions.
- Keep door frames 4" clear on hinge side at all partition intersections except at columns where clearance is provided for hardware.
- Use cementitious backer board (Durock) or equal at partitions scheduled to receive tile (U.O.N.). See finish plan for location of tile.
- Where furred partitions exceed maximum height, brace to adjacent structure.
- Provide level 5 finish at all partitions to receive wall covering.
- Provide level 4 finish at all interior partitions, U.O.N. Provide flush drywall type access panels in partitions as required for service of building systems.
- Dimensioning: All partition dimensions shown are to face of stud. - Dimensions noted as "ck." mean clear dimension to face of finish. - Dimensions noted as "R.O." mean dimension of clear rough opening between studs. - All horizontal dimensions are shown on plans and vertical dimensions on interior & exterior elevations where relevant. - Vertical dimensions are to top of subfloor, U.O.N. - See door schedule for door sizes, door info and interior details.
- Align vertically & horizontally electrical wall devices including switches, outlets, fire alarm devices, exit signs, emergency lights, etc. When possible within code requirements, and where in close proximity to each other U.O.N.
- See RCP for info regarding ceiling type finish, fixtures and all ceiling information.
- Provide blocking and backing as required within existing partitions and new partitions for all casework, shelving, countertops, toilet accessories, and owner supplied toilet accessories, and owner supplied equipment. Coordinate with shop drawings.
- Maintain integrity of existing fire resistant rated assemblies for all penetrations.
- Use water resistance GWB on all wet areas.
- All doors on 2H rated walls to be 1 1/2" rated door.
- G.C. to install acoustic insulation on all interior walls and ceilings.
- G.C. to coordinate all floor transition thickness with adequate floor thresholds that do not exceed 1/2" reveal.
- G.C. to provide HVAC systems distribution shop drawings for architect and owner approval and coordination.
- G.C. to keep a continuous building thermal envelope - wall R-20, roof R-38, basement wall R-10, floor R-30. In accordance with IBC energy efficiency Chapter 11.
- G.C. to coordinate all electrical power for kitchen islands.
- Coordinate with all Consultant drawings as there may be additional items not seen on Architectural Floor Plans.

Construction Legend



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stamp		
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4	FOR PRICING	09/14/2017
5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client
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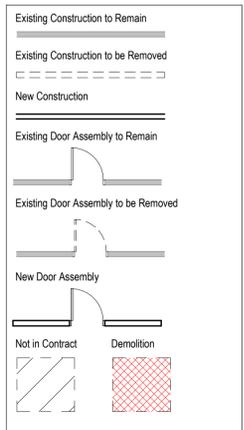
drawing title
UNIT 2 FLOOR PLAN

project number	drawing scale	approver
092	As indicated	AS
drawing number	revision	
A112	8	

Construction Notes

- See sheet A002 for abbreviations and typical mounting heights.
- See sheet A430 for partition type schedule and information.
- Use type "X" gwb on fire rated partitions.
- Keep door frames 4" clear on hinge side at all partition intersections except at columns where clearance is provided for hardware.
- Use cementitious backer board (Durock) or equal at partitions scheduled to receive tile (U.O.N.). See finish plan for location of tile.
- Where furred partitions exceed maximum height, brace to adjacent structure.
- Provide level 5 finish at all partitions to receive wall covering.
- Provide level 4 finish at all interior partitions, U.O.N.
- Provide flush drywall type access panels in partitions as required for service of building systems.
- Dimensioning: All partition dimensions shown are to face of stud. - Dimensions noted as "clr." mean clear dimension to face of finish. - Dimensions noted as "R.O." mean dimension of clear rough opening between studs. - All horizontal dimensions are shown on plans and vertical dimensions on interior & exterior elevations where relevant. - Vertical dimensions are to top of subfloor, U.O.N. - See door schedule for door sizes, door info and interior details.
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Construction Legend



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8	FOR PERMIT/PRICING	07/13/2018

project title
BERKSHIRE STREET RESIDENCE
 30 Berkshire St., Cambridge, MA 02141

client
 Krissy Ellsworth, Denyce Wicht, Michael Workman
 30 Berkshire Street, Cambridge, MA 02141

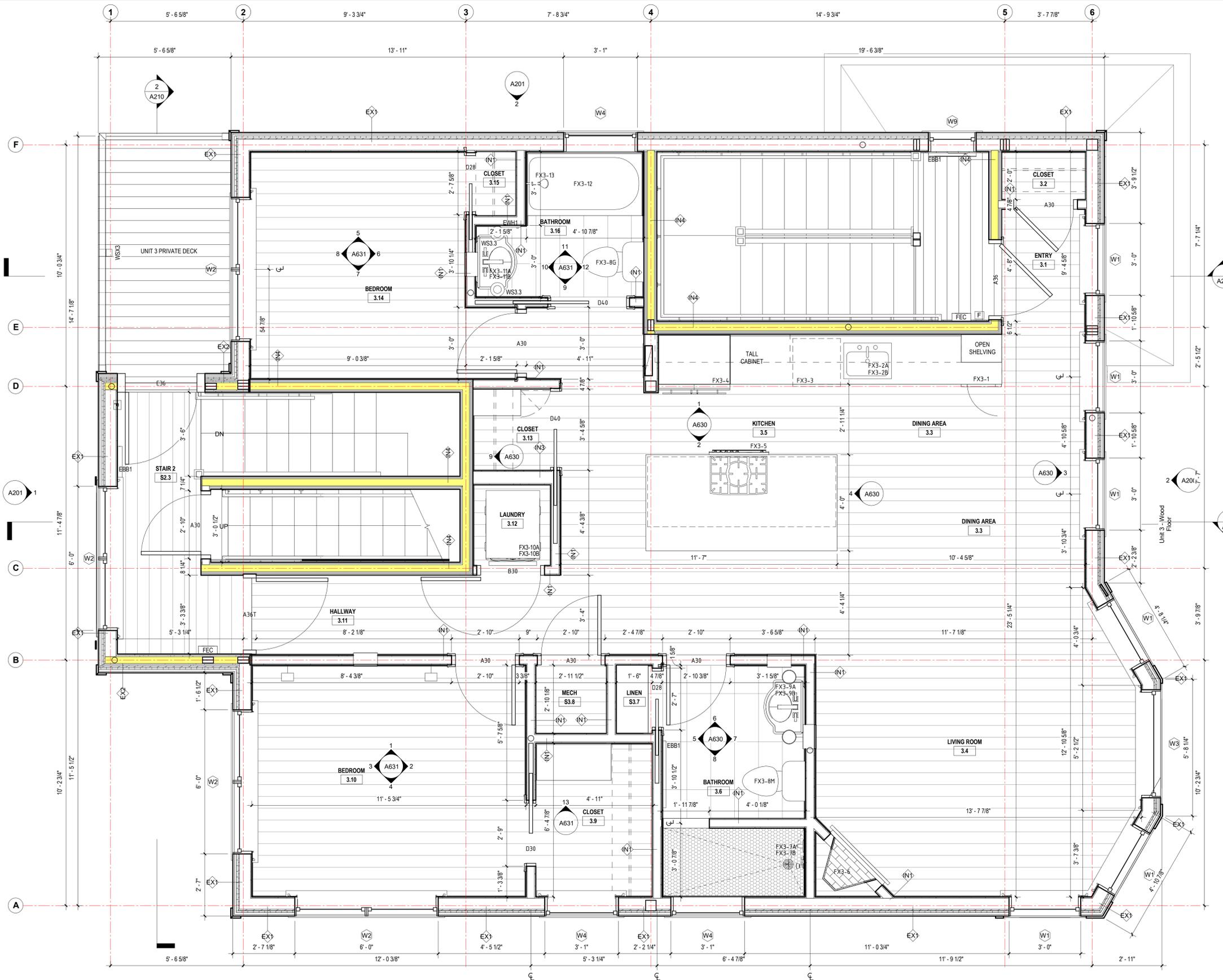
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website www.joethearchitect.com

drawing title
UNIT 3 FLOOR PLAN

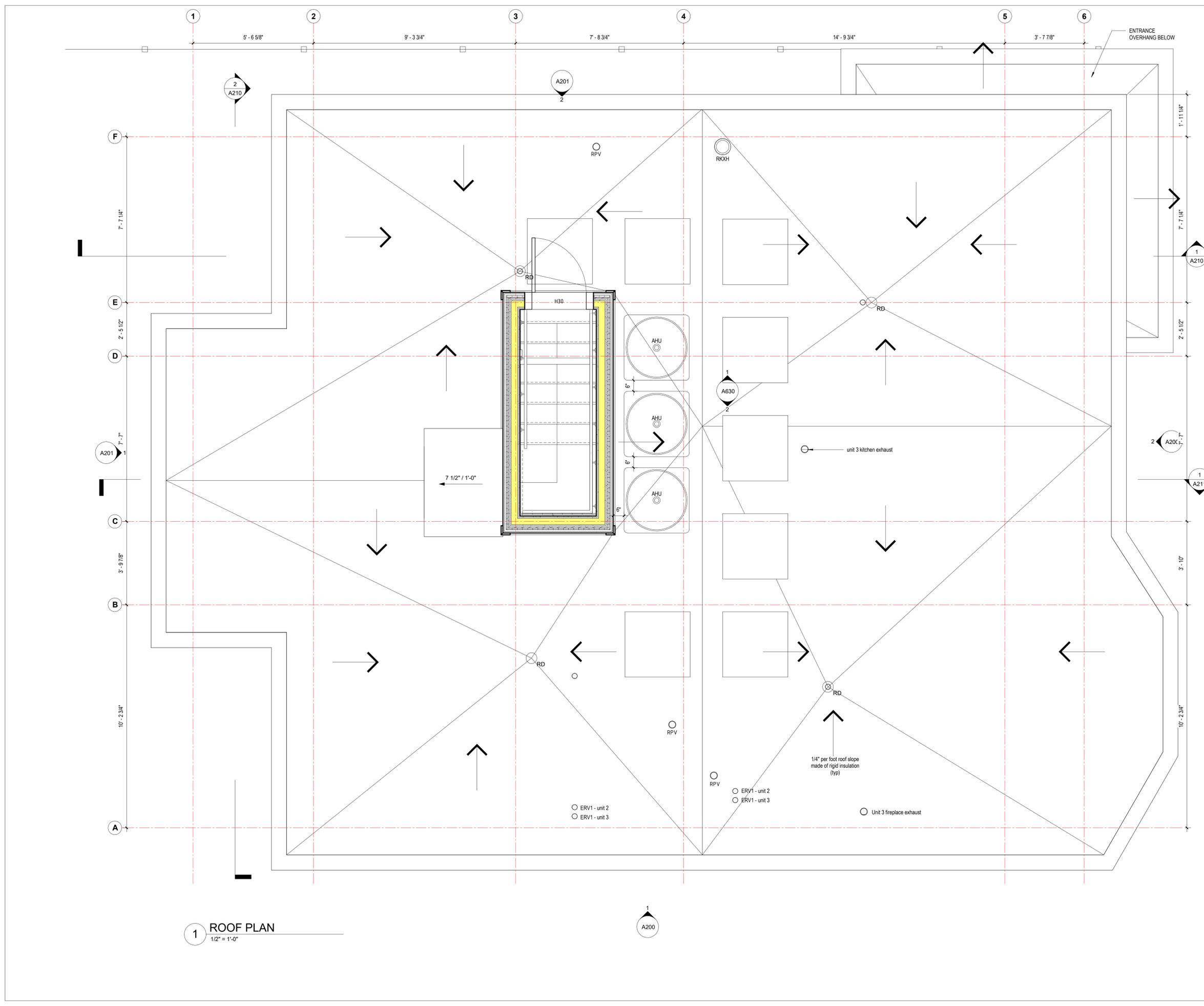
project number	drawing scale	approver
092	As indicated	AS
drawing number	revision	
A113	8	



1 UNIT 3 FLOOR PLAN
 1/2" = 1'-0"

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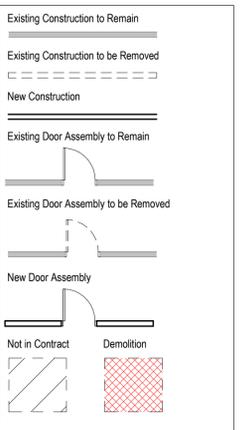


1 ROOF PLAN
1/2" = 1'-0"

Construction Notes

- See sheet A002 for abbreviations and typical mounting heights.
- See sheet A430 for partition type schedule and information.
- Use type "X" gwb on fire rated partitions.
- Keep door frames 4" clear on hinge side at all partition intersections except at columns where clearance is provided for hardware.
- Use cementitious backer board (Durock) or equal at partitions scheduled to receive tile (U.O.N.). See finish plan for location of tile.
- Where furred partitions exceed maximum height, brace to adjacent structure.
- Provide level 5 finish at all partitions to receive wall covering.
- Provide level 4 finish at all interior partitions, U.O.N.
- Provide flush drywall type access panels in partitions as required for service of building systems.
- Dimensioning: All partition dimensions shown are to face of stud - Dimensions noted as "cl" mean clear dimension to face of finish - Dimensions noted as "R.O." mean dimension of clear rough opening between studs - All horizontal dimensions are shown on plans and vertical dimensions on interior & exterior elevations where relevant - Vertical dimensions are to top of subfloor, U.O.N. - See door schedule for door sizes, door info and interior details.
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- Use water resistance GWS on all wet areas.
- All doors on 2H rated walls to be 1 1/2" rated door.
- G.C. to install acoustic insulation on all interior walls and ceilings.
- G.C. to coordinate all floor transition thickness with adequate floor thresholds that do not exceed 1/2" reveal.
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- G.C. to keep a continuous building thermal envelope - wall R-20 - roof R-38 - basement wall R-10 - floor R-30. In accordance with IBC energy efficiency Chapter 11.
- G.C. to coordinate all electrical power for kitchen islands.
- Coordinate with all Consultant drawings as there may be additional items not seen on Architectural Floor Plans.

Construction Legend



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contractor/consultant

stamp



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8	FOR PERMIT/PRICING	07/13/2018

project title
BERKSHIRE STREET RESIDENCE
30 Berkshire St., Cambridge, MA 02141

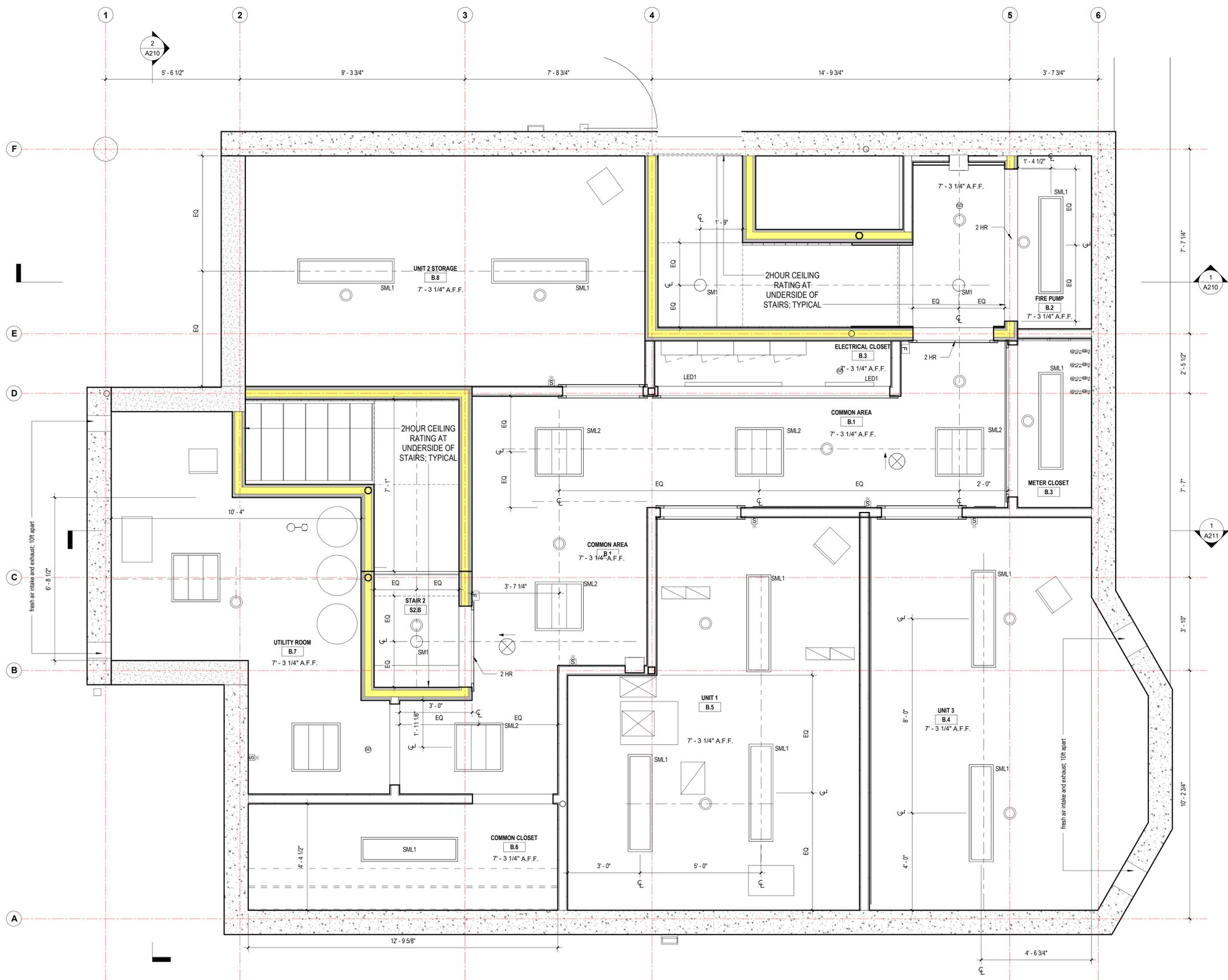
client
Krissy Ellsworth, Denyce Wicht, Michael Workman
30 Berkshire Street, Cambridge, MA 02141

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drawing title
ROOF PLAN

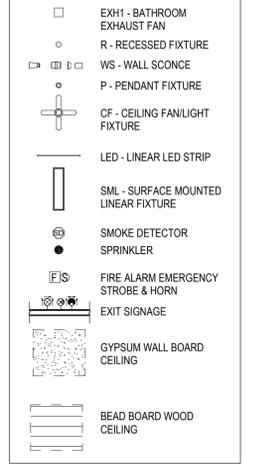
project number	drawing scale	approver
092	As indicated	Approver
drawing number	revision	
A114	8	



Reflected Ceiling Notes

- LIGHTING, ELECTRICAL EQUIPMENT, HVAC EQUIPMENT, AND SPRINKLERS ARE TO BE MOUNTED ON CENTER OF ACCT UNLESS OTHERWISE DIMENSIONED ON REFLECTED CEILING PLAN
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Ceiling Plan Legend



For Permit

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revision	revision description	date
4	FOR PRICING	09/14/2017
5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

contractor/consultant

stamp

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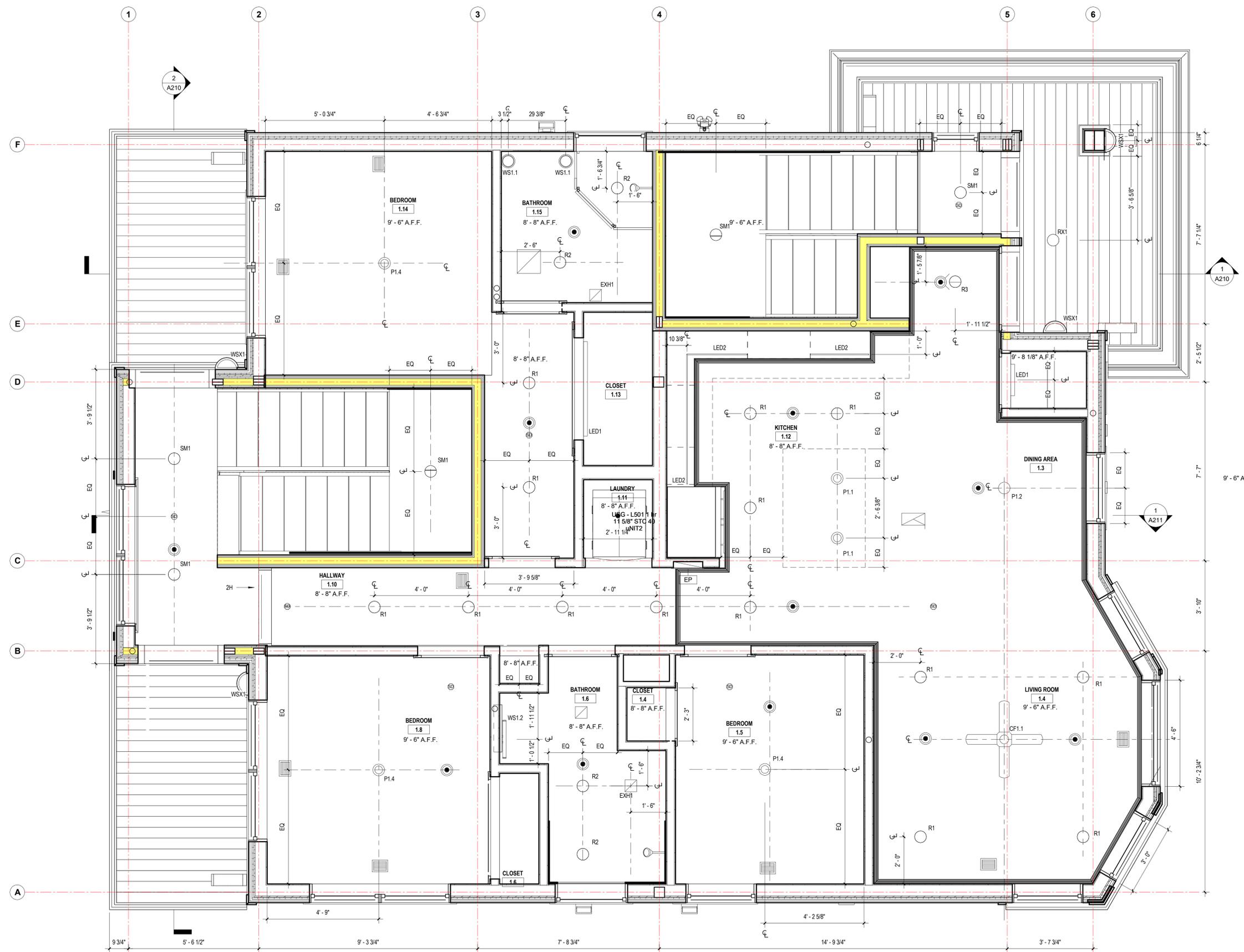
drawing title
COMMON BASEMENT REFLECTED CEILING PLAN

project number	drawing scale	approver
092	As indicated	Approver
drawing number	revision	
A120	8	

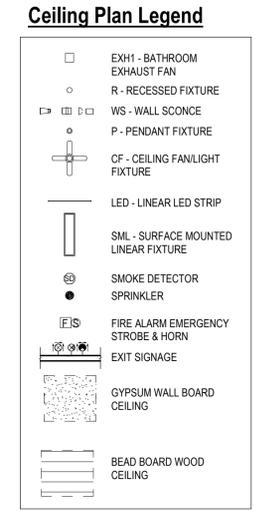
1 BASEMENT REFELCTED CEILING PLAN
 1/2" = 1'-0"

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- ### Reflected Ceiling Notes
1. LIGHTING, ELECTRICAL EQUIPMENT, HVAC EQUIPMENT, AND SPRINKLERS ARE TO BE MOUNTED ON CENTER OF ACT UNLESS OTHERWISE DIMENSIONED ON REFLECTED CEILING PLAN
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 3. ALL GWB CEILINGS TO BE PAINTED WHITE EGGSHELL U.O.N.
 4. PROVIDE EMERGENCY LIGHTING INTEGRAL IN FIXTURES. "BUG EYES" ARE NOT ACCEPTABLE, U.O.N.
 5. PROVIDE COATING MIXTURE OVER (E) FIREPROOFING TO PREVENT PARTICLES FROM FALLING
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project title
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client
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JOE THE ARCHITECT

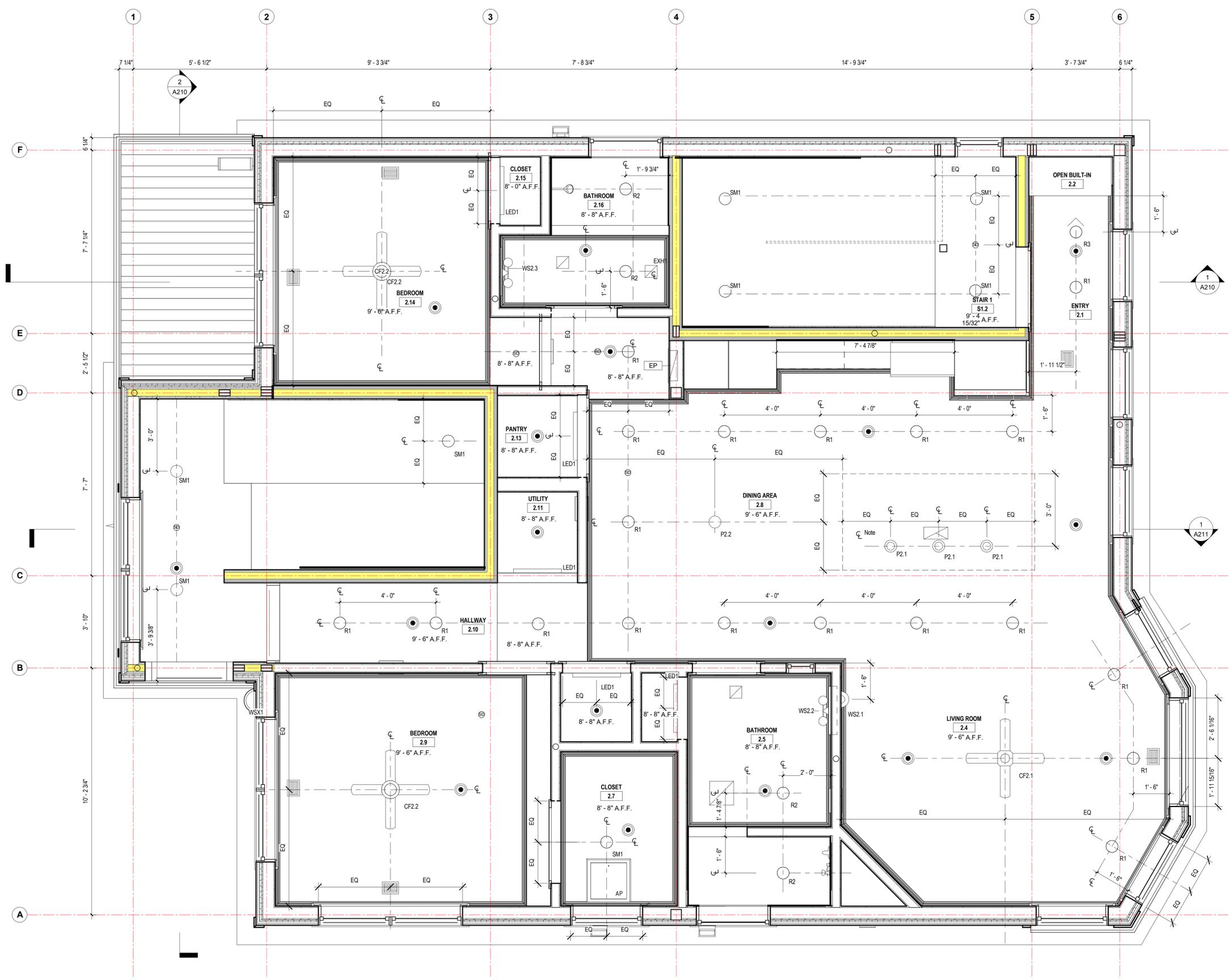
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website www.joethearchitect.com

drawing title
UNIT 1 REFLECTED CEILING PLAN

project number	drawing scale	approver
092	As indicated	Approver
drawing number	revision	
A121	8	

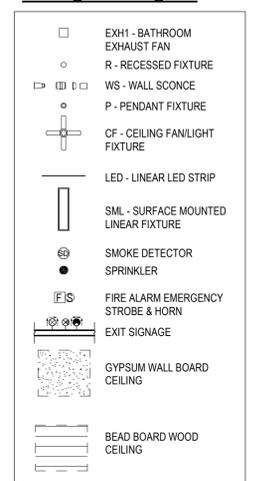
1 UNIT 1 REFLECTED CEILING PLAN
 1/2" = 1'-0"



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Ceiling Plan Legend



For Permit

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stamp		



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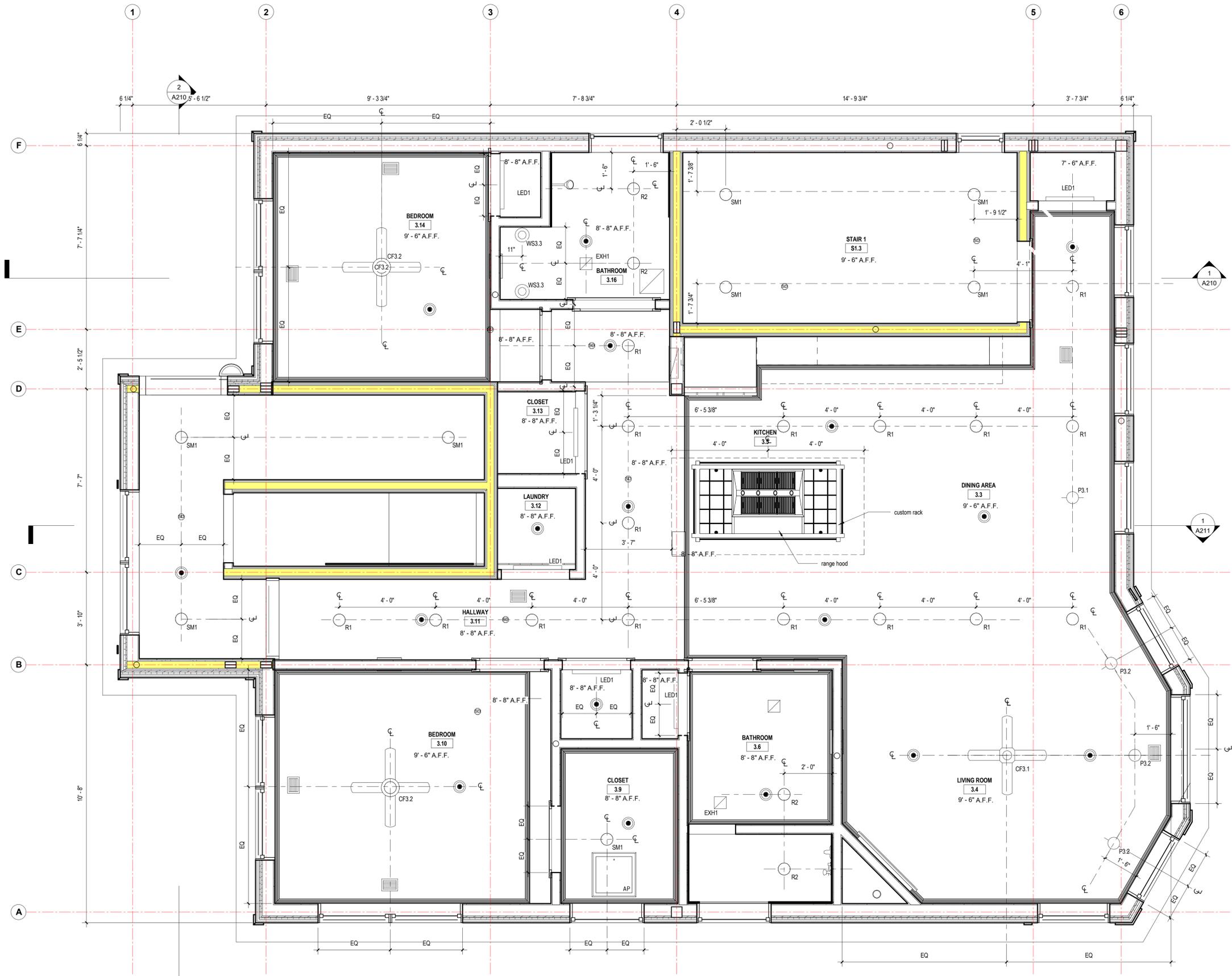
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drawing title UNIT 2 REFLECTED CEILING PLAN		
project number 092	drawing scale As indicated	approver Approver
drawing number A122	revision	8

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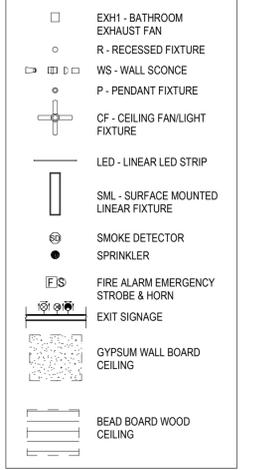
1 SECOND FLOOR REFLECTED CEILING
 1/2" = 1'-0"



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Ceiling Plan Legend



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drawing title
UNIT 3 REFLECTED CEILING PLAN

project number	drawing scale	approver
092	As indicated	Approver
drawing number		revision

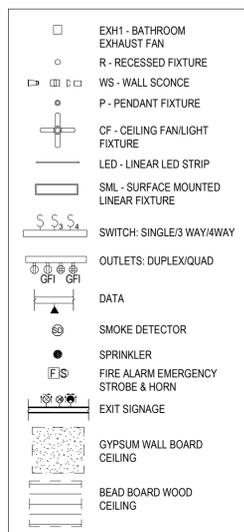
A123 8

1 UNIT 3 REFLECTED CEILING PLAN
 1/2" = 1'-0"

BASEMENT FINISH LEGEND			
TAG	MATERIAL	LOCATION	DESCRIPTION
PT1	Paint - 1	Common Area & Basement walls	TBD
PT2	Paint - 2	Common Area & Basement trim	TBD
PT3	Paint - 3	Common Area & Basement ceiling	TBD
WB0	Base Board	Basement throughout	TBD
CF0	Concrete Flooring	Basement throughout	TBD

LIGHTING FIXTURE SCHEDULE													
Type Mark	Count	Description	Manufacturer	Model	Dimensions			Lamp		Watts	Control	Mounting	Remarks
					W	D	H	No.	Type				
CF1.1	1	Ceiling Fan - Unit 1 - Living Room	Westinghouse Lighting Corporation	7801665 Matte Black w/ Frosted Glass		52" Dia		2	LED	60	ON/OFF	Ceiling	
CF2.1	1	Ceiling Fan - Unit 2 - Living Room	Craftmade Modern	Midoro - MO56		56" Dia	20 1/4"	4/2		25/60	ON/OFF	Ceiling	
CF2.2	2	Ceiling Fan - Unit 2 - Bedrooms	minkaAire	F519-BN		52" Dia	11.5"	1	HAL	100	ON/OFF	Ceiling	
CF3.1	1	Ceiling Fan - Unit 3 - Living Room	minkaAire	F524-ABD		52" Dia	11.5"				ON/OFF	Ceiling	
CF3.2	2	Ceiling Fan - Unit 3 - Bedrooms	minkaAire	F524-ABD		52" Dia	11.5"				ON/OFF	Ceiling	
FLX-1	1	Exterior Flood	Lithonia Lighting	OFLR 6LC 120 MO BZ	4 1/8"	7 5/8"	8 1/8"	6	LED	22	SENSOR	7'-6" AFF	Bronze Finish
LED1	15	LED Closet Fixture	Bartco	BLT210-22-30-5-S2-SM-WH				1	LED	10	SENSOR		White Finish
LED2	3	LED Under Cabinet Strip	Juno	SL212-20FT-30K-80CRI/DLDP5-60W-FPCZT				1	LED	2.2/ft	DIMMABLE	Under Cabinet	Clear
LED3	3	LED Under Rail Strip	Klik	LPXL-28-F00-30K-1.9-A-FLD-SIM				1	LED	1.9	ON/OFF	Under Rail	T.B.D.
P1.1	2	Kitchen Pendant - Unit 1	West Elm	Sculptural Glass Globe Pendant -Small		8 1/2" Dia	8"	1	LED	40	DIMMABLE	6'-0" AFF	
P1.2	1	Dining Room Pendant - Unit 1	Lighting Connection	Geometric Cage Lantern	20"		30"	4	LED	25	DIMMABLE	7'-6" AFF	
P1.4	3	Guest Bedrooms - Unit 1	Latitude Run	SKU: LRUN6557	24"	24"	13"	3	LED	60	DIMMABLE	Ceiling	
P2.1	3	Kitchen Pendant - Unit 2	Elk Group International	10435/1		10" Dia	9"	1	LED	60	DIMMABLE	6'-0" AFF	
P2.2	1	Dining Room Pendant - Unit 2	Meyda Lighting	25" Hyde Park T Mission 4 LT Chandelier	25"		35"	4	LED	60	DIMMABLE	7'-6" AFF	
P3.1	1	Dining Room Pendant - Unit 3	West Elm	Eclipse Chandelier		36" Dia	35"	6	CFL	10	DIMMABLE	7'-6" AFF	
P3.2	3	Living Room Pendant - Unit 3									DIMMABLE		
R1	49	Recessed Downlight	USA1	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	DIMMABLE		White Finish
R2	12	Recessed Downlight - Bathrooms	USA1	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	DIMMABLE		White Finish
R3	2	Recessed Downlight - Directional	USA1	B3RAF-15L2-30KS-25-S-WH-NCIC-UNV-D21				1	LED	15	DIMMABLE		White Finish
RX1	1	Recessed Downlight - Exterior	USA1	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	TIMER		White Finish
SM1	21	Surface Mounted Downlight	USA1	BLRD5-12C3-30KS-50-S-WH-RB-UNV-D2				1	LED				White Finish
SML1	10	Surface Mounted Troffer - 1X4	Lithonia Lighting	CLX-L48-3000LM-SEF-FDL-120-GZ10-30K-80C RI-WH				1	LED	22	ON/OFF		White Finish
SML2	7	Surface Mounted Troffer - 2X2	Lithonia Lighting	2TLX2-20L-FW-A12-120-EZ1-LP830				1	LED	18	ON/OFF		White Finish
WS1.1	2	Wall Sconce - Master Bathroom - Unit 1	Modern Forms	WS-W81625	25"	2 3/4"	3"	N/A	LED	20	ON/OFF	5'-6" AFF; Vertical	
WS1.2	1	Wall Sconce - Guest Bathroom - Unit 1	Modern Forms	WS-W81619	19"	2 3/4"	3"	N/A	LED	15	ON/OFF	6'-6" AFF; Horizontal	
WS2.1	1	Wall Sconce - Living Room - Unit 2	TBD										
WS2.2	1												
WS2.3	1												
WS3.1	2	Wall Sconce - Master Bathroom - Unit 3									ON/OFF		
WS3.2	2	Wall Sconce - Master Bedroom - Unit 3	West Elm	Arc Mid-Century Sconce - Single	4"	6"	6"	1	CFL	13	DIMMABLE	5'-6" AFF; Upward	
WS3.3	2	Wall Sconce - Guest Bathroom - Unit 3									ON/OFF		
WSX1	7	Wall Sconce - Exterior - Entry	Norwell Lighting	Weymouth							TIMER		
WSX3	3	Wall Sconce - Exterior - Private Deck	Norwell Lighting	Weymouth							ON/OFF		
XP1	8	Exterior Post - Bollard	Lumen Pulse	MOB3201-120-L30-40K-S-Finish-NO		6" Dia	39"	1	LED	30	TIMER	N/A	T.B.D.
Grand total: 175													

Electrical Fixture Legend



For Permit

WARNING:
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revision	revision description	date
4	FOR PRICING	09/14/2017
5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title
 BERKSHIRE STREET RESIDENCE
 30 Berkshire St., Cambridge, MA 02141

client
 Krissy Ellsworth, Denyce Wicht, Michael Workman
 30 Berkshire Street, Cambridge, MA 02141

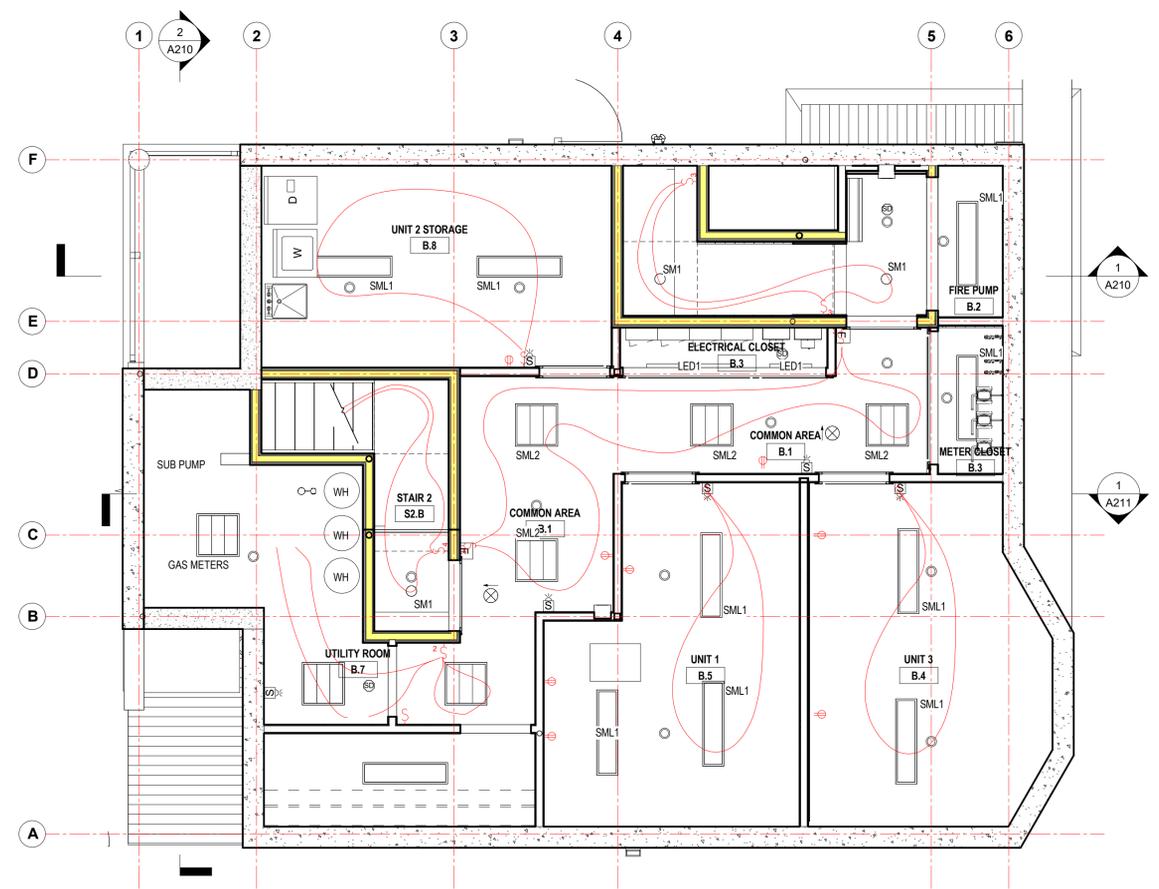
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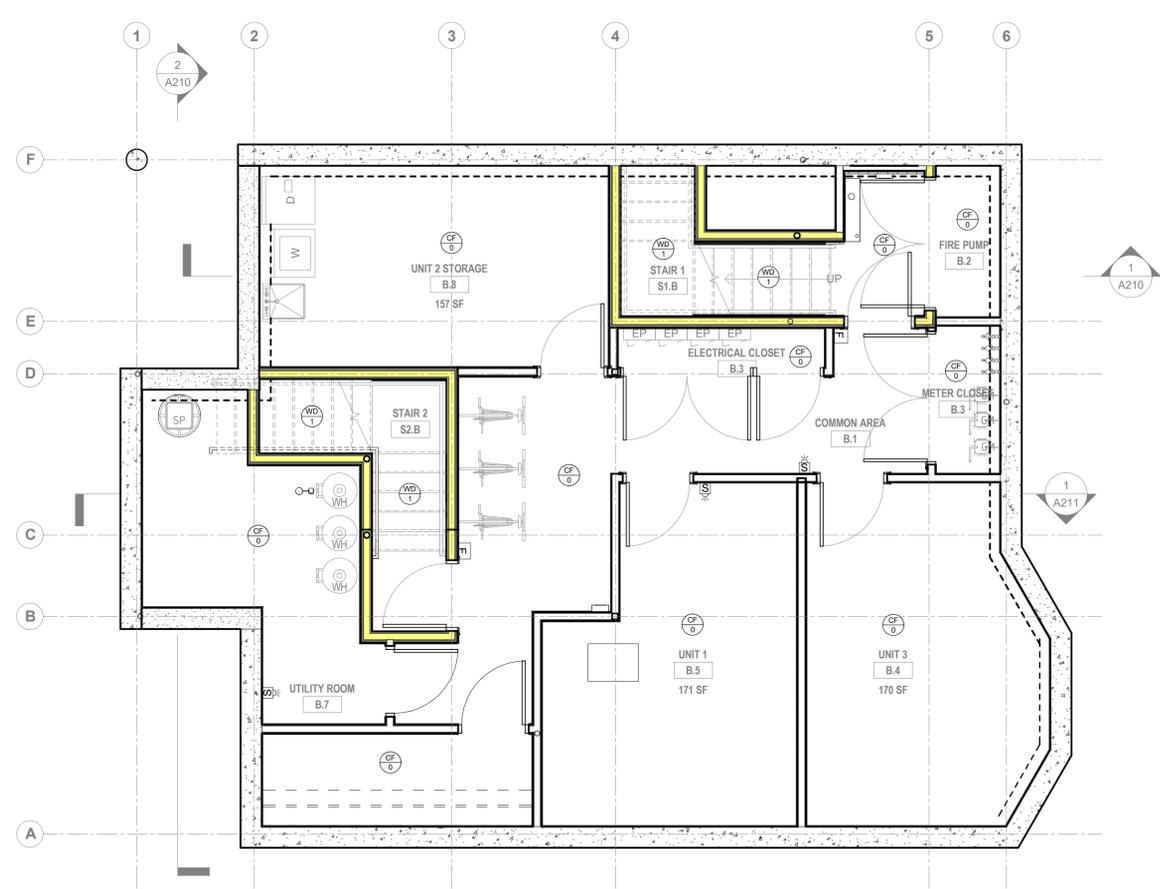
website www.joethearchitect.com

drawing title
COMMON BASEMENT ARCHITECTURAL ELECTRIC & FINISH PLANS

project number	drawing scale	approver
092	As indicated	AS
drawing number	revision	
A130	8	



2 COMMON BASEMENT ELECTRICAL LAYOUT
 1/4" = 1'-0"



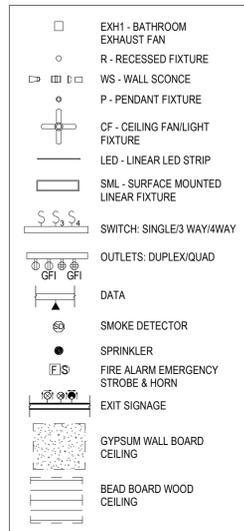
1 COMMON BASEMENT FINISH PLAN
 1/4" = 1'-0"

7/13/2018 4:51:51 PM C:\Users\alex\Documents\RLF\092 - BERKSHIRE STREET RESIDENCE_Silverstet.Alex@gmail.com.rvt

LEVEL 1 FINISH LEGEND			
TAG	MATERIAL	LOCATION	DESCRIPTION
PT1	Paint - 1	Common Area walls	TBD
PT2	Paint - 2	Common Area trim	TBD
PT3	Paint - 3	Common Area ceiling	TBD
PT1.1	Paint - 1.1	Unit 1 walls throughout (excluding bathrooms)	Benjamin Moore 1548 Classic Grey - Eggshell
PT1.2	Paint - 1.2	Unit 1 bathrooms walls	Benjamin Moore OC-65 Chantilly Lace - Eggshell
PT1.3	Paint - 1.3	Unit 1 trim	Benjamin Moore OC-117 Simply White - Semi-gloss
PT1.4	Paint - 1.4	Unit 1 ceiling	Benjamin Moore OC-117 Simply White - Flat
T1.1	Tile - 1.1	Kitchen backsplash	US Ceramics White Ice 2x8
T1.2	Tile - 1.2	Fireplace surround	MS International Grecian White 3x6 Polished Marble
T1.3	Tile - 1.3	Master bathroom floor	Splendor 12x24 Armani Grey Natural w/ tec mist power grout
T1.4	Tile - 1.4	Master bathroom shower floor	Splendor 3" Hex Armani Grey Natural
T1.5	Tile - 1.5	Master bathroom shower surround & half walls; Guest bathroom floor	Cer. Timeless 12x24 Matte Calacatta w/ tec silverado power grout
T1.6	Tile - 1.6	Guest bathroom shower surround & half walls	Alaska White 4x8 Flat Gloss w/ tec silverado power grout
T1.7	Tile - 1.7	Guest bathroom floor	Cer. Timeless 12x24 Matte Calacatta w/ tec silverado power grout
T1.8	Tile - 1.8	Guest bathroom shower walls	Alaska White 2x8 Bull nose gloss with tec silverado power grout
WD1	Hardwood Flooring - 1	Common Area Flooring (Levels 1 - 3 & Stairs)	TBD
WD1.1	Hardwood Flooring - 1.1	Unit 1 Flooring throughout	Hallmark Floors, Alta Vista Collection; Laguna
WD1.2	Exterior Decking - 1.2	Exterior Decks	Azek TBD
WB1	Base Board	Unit 1 throughout	TBD
ST1.1	Stone - 1.1	Unit 1 stone at deck	TBD
ST0	Stone - 0	Common tones at steps	TBD

LIGHTING FIXTURE SCHEDULE													
Type Mark	Count	Description	Manufacturer	Model	Dimensions			Lamp		Control	Mounting	Remarks	
					W	D	H	No.	Type				Watts
CF1.1	1	Ceiling Fan - Unit 1 - Living Room	Westinghouse Lighting Corporation	7801665 Matte Black w/ Frosted Glass	52" Dia			2	LED	60	ON/OFF	Ceiling	
CF2.1	1	Ceiling Fan - Unit 2 - Living Room	Craftmade Modern	Midoro - MO56	56" Dia	20 1/4"	4/2			25/60	ON/OFF	Ceiling	
CF2.2	2	Ceiling Fan - Unit 2 - Bedrooms	minkaAire	F519-BN	52" Dia	11.5"		1	HAL	100	ON/OFF	Ceiling	
CF3.1	1	Ceiling Fan - Unit 3 - Living Room	minkaAire	F524-ABD	52" Dia	11.5"					ON/OFF	Ceiling	
CF3.2	2	Ceiling Fan - Unit 3 - Bedrooms	minkaAire	F524-ABD	52" Dia	11.5"					ON/OFF	Ceiling	
FLX-1	1	Exterior Flood	Lithonia Lighting	OFLR 6LC 120 MO BZ	4 1/8"	7 5/8"	8 1/8"	6	LED	22	SENSOR	7'-6" AFF	Bronze Finish
LED1	15	LED Closet Fixture	Bartco	BLT210-22-30-5-S2-SM-WH				1	LED	10	SENSOR		White Finish
LED2	3	LED Under Cabinet Strip	Juno	SL212-20FT-30K-80CRI/DLDP5-60W-FPC2T				1	LED	2.2/f	DIMMABLE	Under Cabinet	Clear
LED3	3	LED Under Rail Strip	Klik	LPXL-28-F00-30K-1.9-A-FLD-SIM				1	LED	1.9	ON/OFF	Under Rail	T.B.D.
P1.1	2	Kitchen Pendant - Unit 1	West Elm	Sculptural Glass Globe Pendant -Small	8 1/2" Dia	8"		1	LED	40	DIMMABLE	6'-0" AFF	
P1.2	1	Dining Room Pendant - Unit 1	Lighting Connection	Geometric Cage Lantern	20"	30"		4	LED	25	DIMMABLE	7'-6" AFF	
P1.4	3	Guest Bedrooms - Unit 1	Latitude Run	SKU: LRUN6557	24"	24"	13"	3	LED	60	DIMMABLE	Ceiling	
P2.1	3	Kitchen Pendant - Unit 2	Elk Group International	10435/1	10" Dia	9"		1	LED	60	DIMMABLE	6'-0" AFF	
P2.2	1	Dining Room Pendant - Unit 2	Meyda Lighting	25" Hyde Park T Mission 4 LT Chandelier	25"			4	LED	60	DIMMABLE	7'-6" AFF	
P3.1	1	Dining Room Pendant - Unit 3	West Elm	Eclipse Chandelier	36" Dia	35"		6	CFL	10	DIMMABLE	7'-6" AFF	
P3.2	3	Living Room Pendant - Unit 3									DIMMABLE		
R1	49	Recessed Downlight	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	DIMMABLE		White Finish
R2	12	Recessed Downlight - Bathrooms	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	DIMMABLE		White Finish
R3	2	Recessed Downlight - Directional	USAI	B3RAF-15L2-30KS-25-S-WH-NCIC-UNV-D21				1	LED	15	DIMMABLE		White Finish
RX1	1	Recessed Downlight - Exterior	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	TIMER		White Finish
SM1	21	Surface Mounted Downlight	USAI	BLRD5-12C3-30KS-50-S-WH-RB-UNV-D2				1	LED				White Finish
SML1	10	Surface Mounted Troffer - 1X4	Lithonia Lighting	CLX-L48-3000LM-SEF-FDL-120-GZ10-30K-80C RI-WH				1	LED	22	ON/OFF		White Finish
SML2	7	Surface Mounted Troffer - 2X2	Lithonia Lighting	2TLX2-20L-FW-A12-120-EZ1-LP830				1	LED	18	ON/OFF		White Finish
WS1.1	2	Wall Sconce - Master Bathroom - Unit 1	Modern Forms	WS-W81625	25"	2 3/4"	3"	N/A	LED	20	ON/OFF	5'-6" AFF; Vertical	
WS1.2	1	Wall Sconce - Guest Bathroom - Unit 1	Modern Forms	WS-W81619	19"	2 3/4"	3"	N/A	LED	15	ON/OFF	6'-6" AFF; Horizontal	
WS2.1	1	Wall Sconce - Living Room - Unit 2	TBD								DIMMABLE		
WS2.2	1												
WS2.3	1												
WS3.1	2	Wall Sconce - Master Bathroom - Unit 3									ON/OFF		
WS3.2	2	Wall Sconce - Master Bedroom - Unit 3	West Elm	Arc Mid-Century Sconce - Single	4"	6"	6"	1	CFL	13	DIMMABLE	5'-6" AFF; Upward	
WS3.3	2	Wall Sconce - Guest Bathroom - Unit 3									ON/OFF		
WSX1	7	Wall Sconce - Exterior - Entry	Norwell Lighting	Weymouth							TIMER		
WSX3	3	Wall Sconce - Exterior - Private Deck	Norwell Lighting	Weymouth							ON/OFF		
XP1	8	Exterior Post - Bollard	Lumen Pulse	MOB3201-120-L30-40K-S-Finish-NO	6" Dia	39"		1	LED	30	TIMER	N/A	T.B.D.
Grand total: 175													

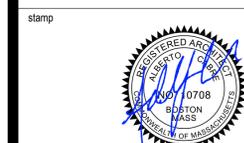
Electrical Fixture Legend



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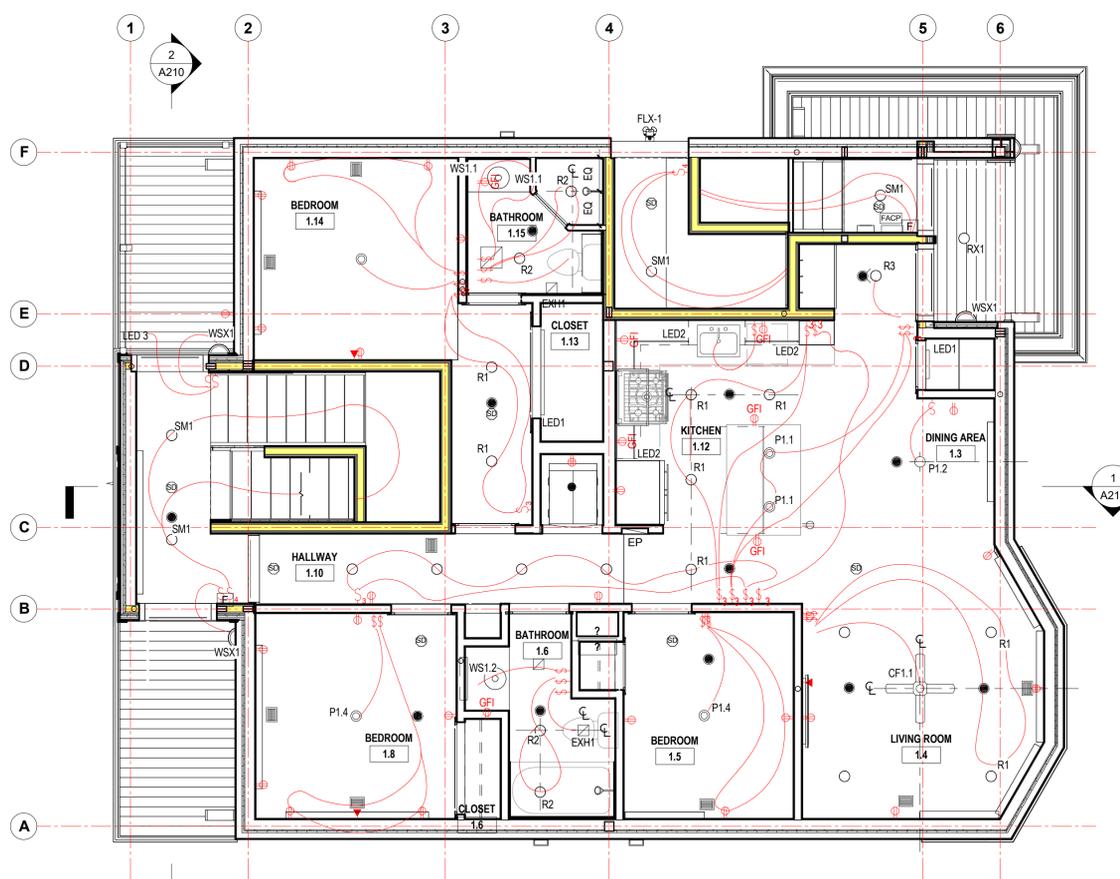
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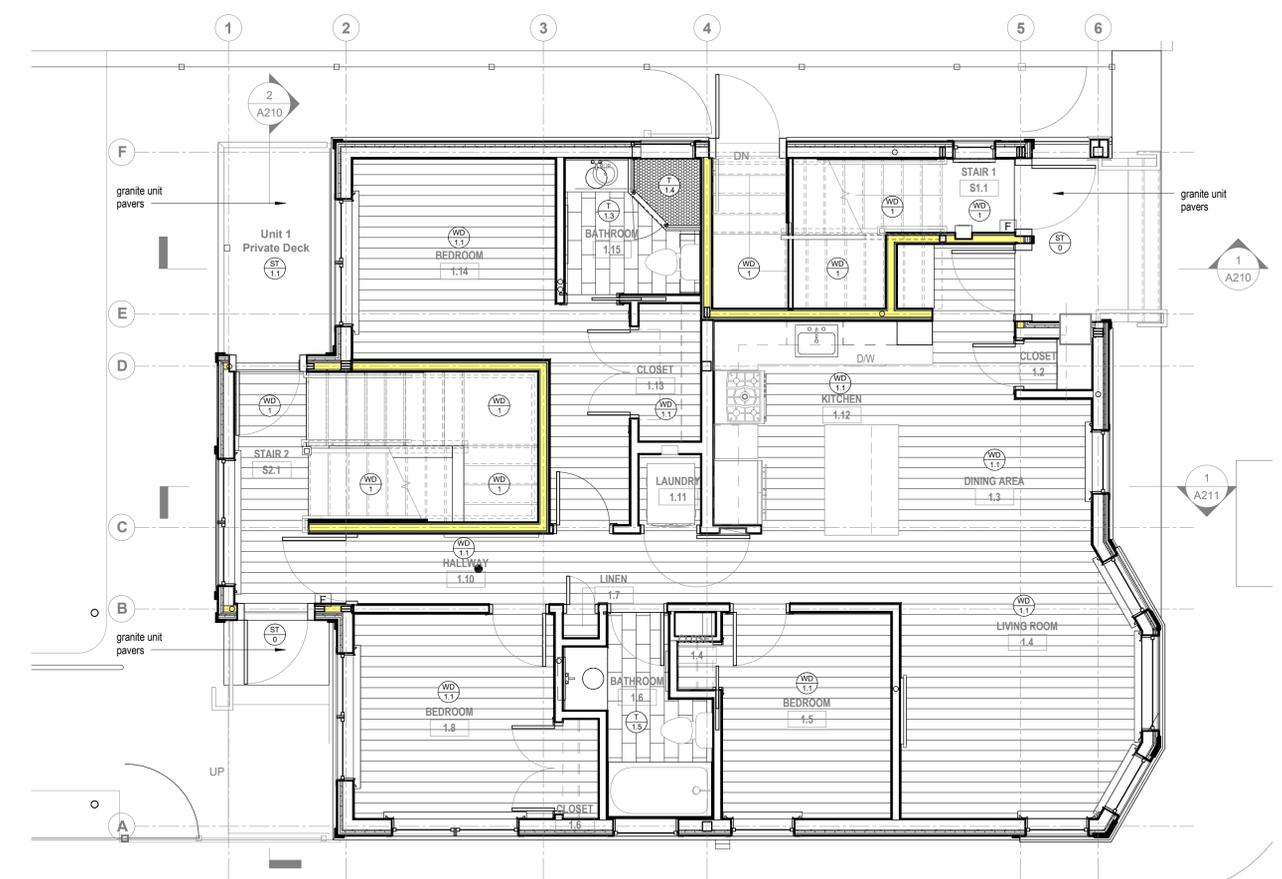
website www.joethearchitect.com

drawing title
**UNIT 1 ARCHITECTURAL
ELECTRIC & FINISH
PLANS**

project number	drawing scale	approver
092	As indicated	AS
drawing number	revision	
A131	8	



2 UNIT 1 ELECTRICAL LAYOUT
1/4" = 1'-0"

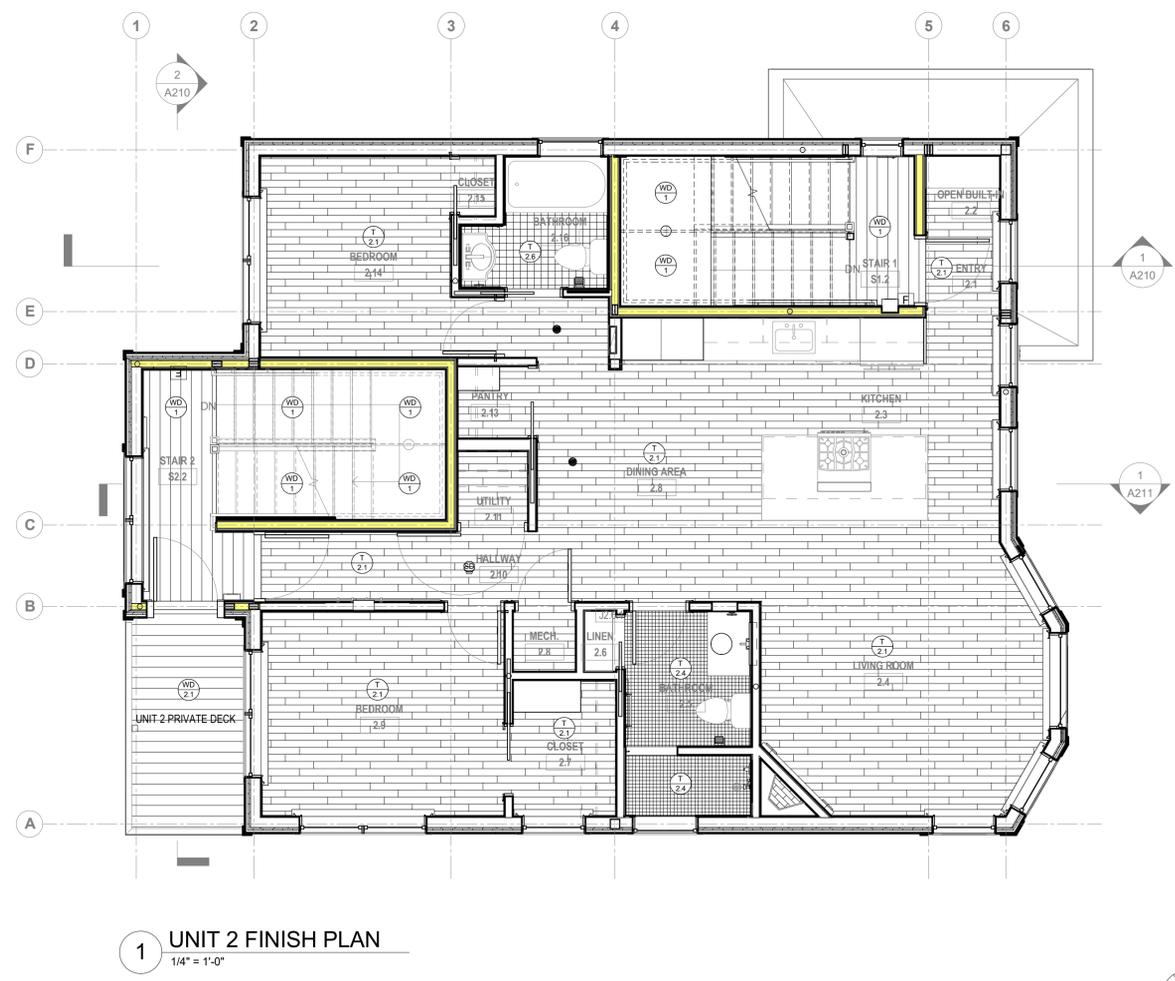
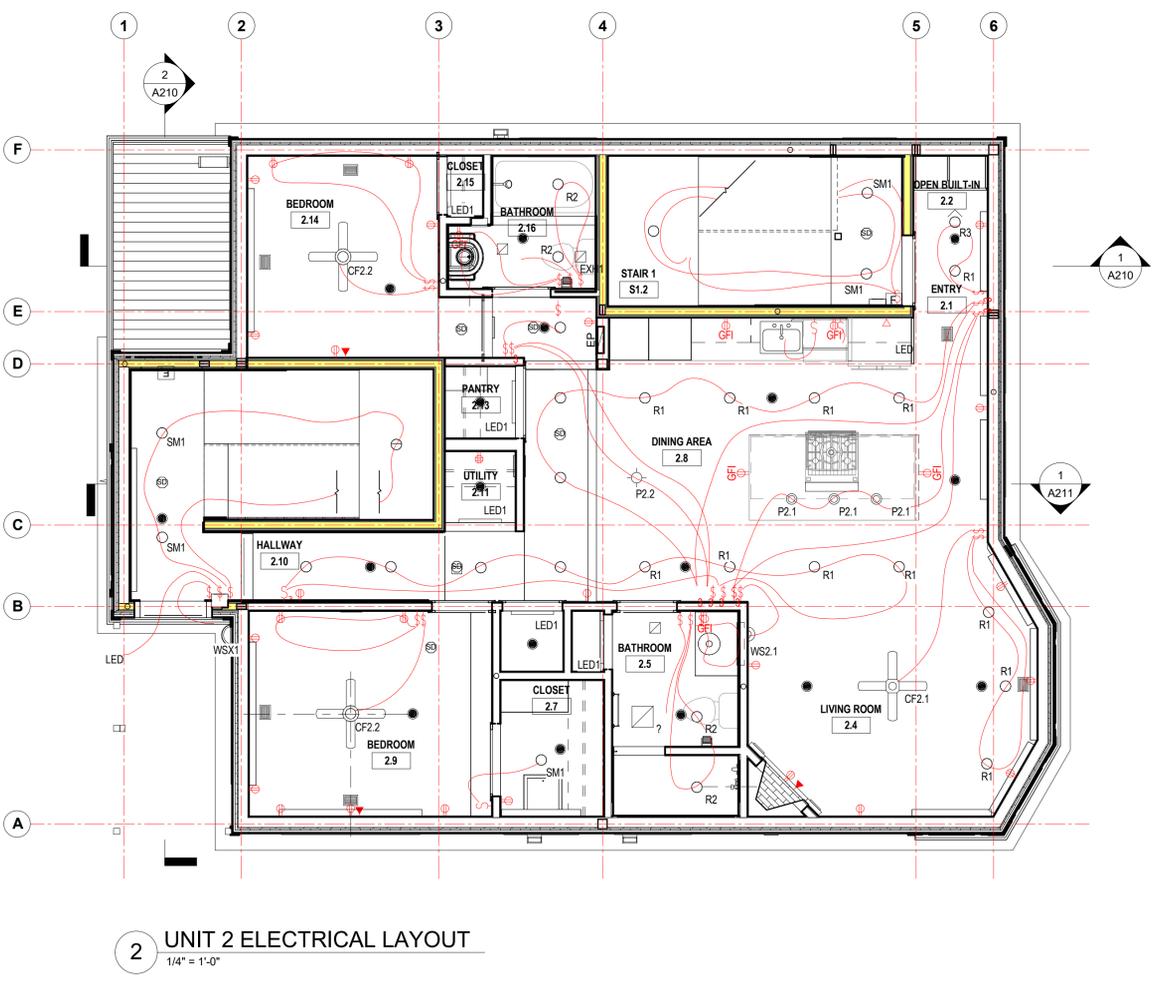


1 UNIT 1 FINISH PLAN
1/4" = 1'-0"

LEVEL 2 FINISH LEGEND			
TAG	MATERIAL	LOCATION	DESCRIPTION
PT1	Paint - 1	Common Area walls	TBD
PT2	Paint - 2	Common Area trim	TBD
PT3	Paint - 3	Common Area ceiling	TBD
PT2.1	Paint - 2.1	Unit 2 walls: hallways, living, dining, kitchen	Benjamin Moore 962 Gray Mist- Eggshell
PT2.2	Paint - 2.2	Unit 2 master bedroom walls	Benjamin Moore 2147-60 Dark Linen - Eggshell
PT2.3	Paint - 2.3	Unit 2 trim	Benjamin Moore OC-117 Simply White - Semi-gloss
PT2.4	Paint - 2.4	Unit 2 ceiling	Benjamin Moore OC-117 Simply White - Flat
PT2.5	Paint - 2.5	Unit 2 master bathroom walls	TBD
PT2.6	Paint - 2.6	Unit 2 guest bedroom walls	TBD
PT2.7	Paint - 2.7	Unit 2 guest bathroom walls	TBD
T2.1	Tile - 2.1	Unit 2 Flooring throughout	Legna 6x36 Scur
T2.2	Tile - 2.2	Kitchen backsplash	Evolution Series 2x8 white
T2.3	Tile - 2.3	Fireplace surround	Golden Sand Quartzite Interlocking 6x24
T2.4	Tile - 2.4	Master bathroom floor	White pinwheel mosaic; TBD
T2.5	Tile - 2.5	Master bathroom shower walls	Bacci Marmi Bianco Venatino Gioia 3x6 Polished
T2.6	Tile - 2.6	Guest bathroom floor	Seneca Tile Periwinkle 6x6 ceramic tile w/ delorean grey power grout
T2.7	Tile - 2.7	Guest bathroom shower surround	Neri white 3x6 white subway tile
T2.8	Tile - 2.8	Guest bathroom accent tile 1; 2 rows	Cepac Tile Serenity tranquil sky, basket weave
T2.9	Tile - 2.9	Guest bathroom accent tile 2; trim	Neri white rope
T2.10	Tile - 2.10	Guest bathroom accent tile 3; shower niche	Cepac Tile; TBD
WD1	Hardwood Flooring	Common Area Flooring (Levels 1 - 3 & Stairs)	TBD
WD2.1	Exterior Decking - 2.1	Exterior Decks	Azek TBD
BB2	Beardboard panneling	Unit 2 bathrooms & entry built in as indicated	White
WB2	Baseboard	Unit 2 throughout	TBD

LIGHTING FIXTURE SCHEDULE														
Type Mark	Count	Description	Manufacturer	Model	Dimensions			Lamp		Control	Mounting	Remarks		
					W	D	H	No.	Type				Watts	
CF1.1	1	Ceiling Fan - Unit 1 - Living Room	Westinghouse Lighting Corporation	7801665 Matte Black w/ Frosted Glass		52" Dia			2	LED	60	ON/OFF	Ceiling	
CF2.1	1	Ceiling Fan - Unit 2 - Living Room	Craftmade Modern	Midoro - MO56		56" Dia	20 1/4"	4/2		LED	25/60	ON/OFF	Ceiling	
CF2.2	2	Ceiling Fan - Unit 2 - Bedrooms	minkaAire	F519-BN		52" Dia	11.5"		1	HAL	100	ON/OFF	Ceiling	
CF3.1	1	Ceiling Fan - Unit 3 - Living Room	minkaAire	F524-ABD		52" Dia	11.5"					ON/OFF	Ceiling	
CF3.2	2	Ceiling Fan - Unit 3 - Bedrooms	minkaAire	F524-ABD		52" Dia	11.5"					ON/OFF	Ceiling	
FLX-1	1	Exterior Flood	Lithonia Lighting	OFLR 6LC 120 MO BZ	4 1/8"	7 5/8"	8 1/8"		6	LED	22	SENSOR	7'-6" AFF	Bronze Finish
LED1	15	LED Closet Fixture	Bartco	BLT210-22-30-5-S2-SM-WH					1	LED	10	SENSOR		White Finish
LED2	3	LED Under Cabinet Strip	Juno	SL212-20FT-30K-80CRI/DLDP5-60W-FPCZT					1	LED	2.2/R	DIMMABLE	Under Cabinet	Clear
LED3	3	LED Under Rail Strip	Klik	LPXL-28-F00-30K-1.9-A-FLD-SIM					1	LED	1.9	ON/OFF	Under Rail	T.B.D.
P1.1	2	Kitchen Pendant - Unit 1	West Elm	Sculptural Glass Globe Pendant -Small		8 1/2" Dia	8"		1	LED	40	DIMMABLE	6'-0" AFF	
P1.2	1	Dining Room Pendant - Unit 1	Lighting Connection	Geometric Cage Lantern	20"		30"		4	LED	25	DIMMABLE	7'-6" AFF	
P1.4	3	Guest Bedrooms - Unit 1	Latitude Run	SKU: LRUN6557	24"	24"	13"		3	LED	60	DIMMABLE	Ceiling	
P2.1	3	Kitchen Pendant - Unit 2	Elk Group International	10435/1		10" Dia	9"		1	LED	60	DIMMABLE	6'-0" AFF	
P2.2	1	Dining Room Pendant - Unit 2	Meyda Lighting	25" Hyde Park T Mission 4 LT Chandelier	25"		35"		4	LED	60	DIMMABLE	7'-6" AFF	
P3.1	1	Dining Room Pendant - Unit 3	West Elm	Eclipse Chandelier		36" Dia	35"		6	CFL	10	DIMMABLE	7'-6" AFF	
P3.2	3	Living Room Pendant - Unit 3										DIMMABLE		
R1	49	Recessed Downlight	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21					1	LED	15	DIMMABLE		White Finish
R2	12	Recessed Downlight - Bathrooms	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21					1	LED	15	DIMMABLE		White Finish
R3	2	Recessed Downlight - Directional	USAI	B3RAF-15L2-30KS-25-S-WH-NCIC-UNV-D21					1	LED	15	DIMMABLE		White Finish
RX1	1	Recessed Downlight - Exterior	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21					1	LED	15	TIMER		White Finish
SM1	21	Surface Mounted Downlight	USAI	BLRD5-12C3-30KS-50-S-WH-RB-UNV-D2					1	LED				White Finish
SML1	10	Surface Mounted Troffer- 1X4	Lithonia Lighting	CLX-L48-3000LM-SEF-FDL-120-GZ10-30K-80C RI-WH					1	LED	22	ON/OFF		White Finish
SML2	7	Surface Mounted Troffer - 2X2	Lithonia Lighting	2TLX2-20L-FW-A12-120-EZ1-LP830					1	LED	18	ON/OFF		White Finish
WS1.1	2	Wall Sconce - Master Bathroom - Unit 1	Modern Forms	WS-W81625	25"	2 3/4"	3"	N/A	LED	20	ON/OFF		5'-6" AFF; Vertical	
WS1.2	1	Wall Sconce - Guest Bathroom - Unit 1	Modern Forms	WS-W81619	19"	2 3/4"	3"	N/A	LED	15	ON/OFF		6'-6" AFF; Horizontal	
WS2.1	1	Wall Sconce - Living Room - Unit 2	TBD									DIMMABLE		
WS2.2	1													
WS2.3	1													
WS3.1	2	Wall Sconce - Master Bathroom - Unit 3										ON/OFF		
WS3.2	2	Wall Sconce - Master Bedroom - Unit 3	West Elm	Arc Mid-Century Sconce - Single	4"	6"	6"		1	CFL	13	DIMMABLE	5'-6" AFF; Upward	
WS3.3	2	Wall Sconce - Guest Bathroom - Unit 3										ON/OFF		
WSX1	7	Wall Sconce - Exterior - Entry	Norwell Lighting	Weymouth								ON/OFF		
WSX3	3	Wall Sconce - Exterior - Private Deck	Norwell Lighting	Weymouth								ON/OFF		
XP1	8	Exterior Post - Bollard	Lumen Pulse	MOB3201-120-L30-40K-S-Finish-NO		6" Dia	39"		1	LED	30	TIMER	N/A	T.B.D.
Grand total: 175														

Electrical Fixture Legend	
	EXH1 - BATHROOM EXHAUST FAN
	R - RECESSED FIXTURE
	WS - WALL SCONCE
	P - PENDANT FIXTURE
	CF - CEILING FAN/LIGHT FIXTURE
	LED - LINEAR LED STRIP
	SML - SURFACE MOUNTED LINEAR FIXTURE
	SWITCH: SINGLE/3 WAY/4WAY
	OUTLETS: DUPLEX/QUAD
	DATA
	SMOKE DETECTOR
	SPRINKLER
	FIRE ALARM EMERGENCY STROBE & HORN
	EXIT SIGNAGE
	GYPSUM WALL BOARD CEILING
	BEAD BOARD WOOD CEILING



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revision	revision description	date
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30 Berkshire St., Cambridge, MA 02141

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Krissy Ellsworth, Denyce Wicht, Michael Workman
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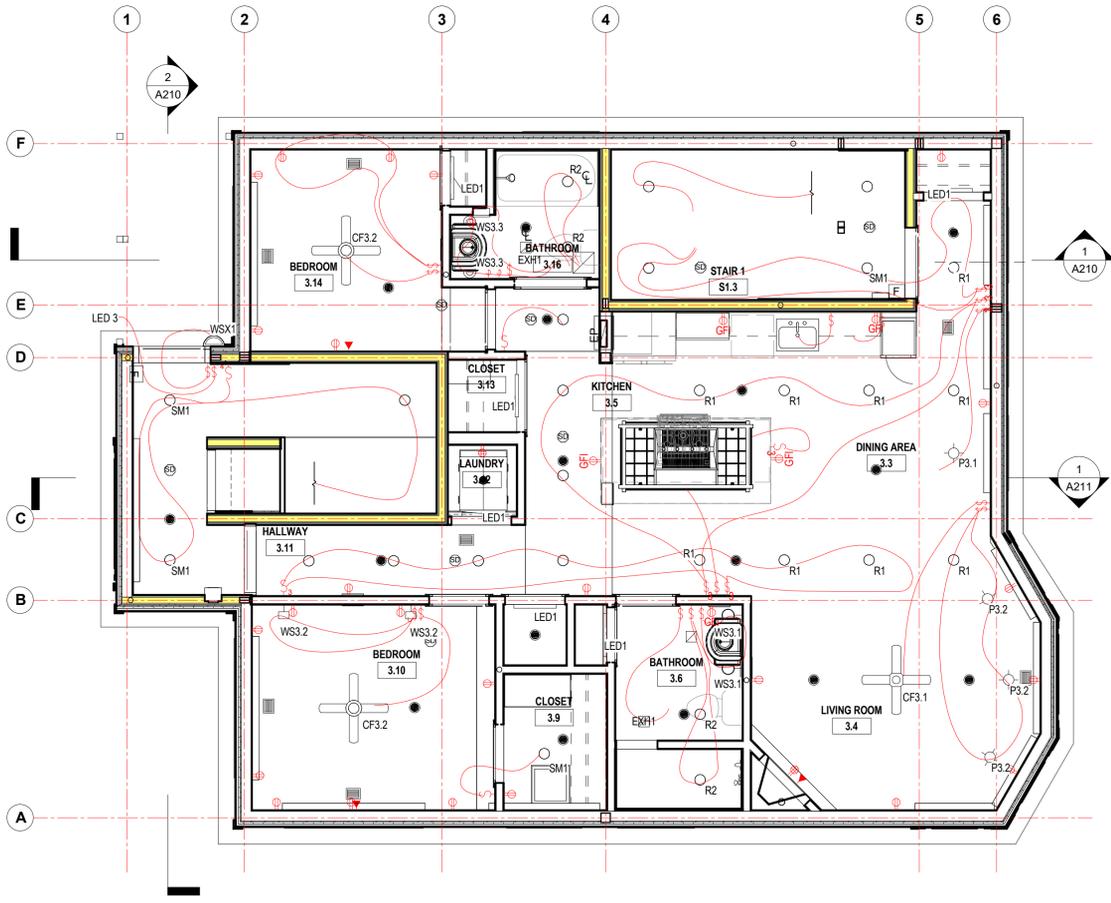
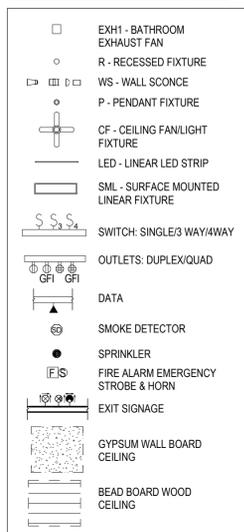
drawing title
**UNIT 2 ARCHITECTURAL
ELECTRIC & FINISH
PLANS**

project number	drawing scale	approver
092	As indicated	AS
drawing number	revision	
A132	8	

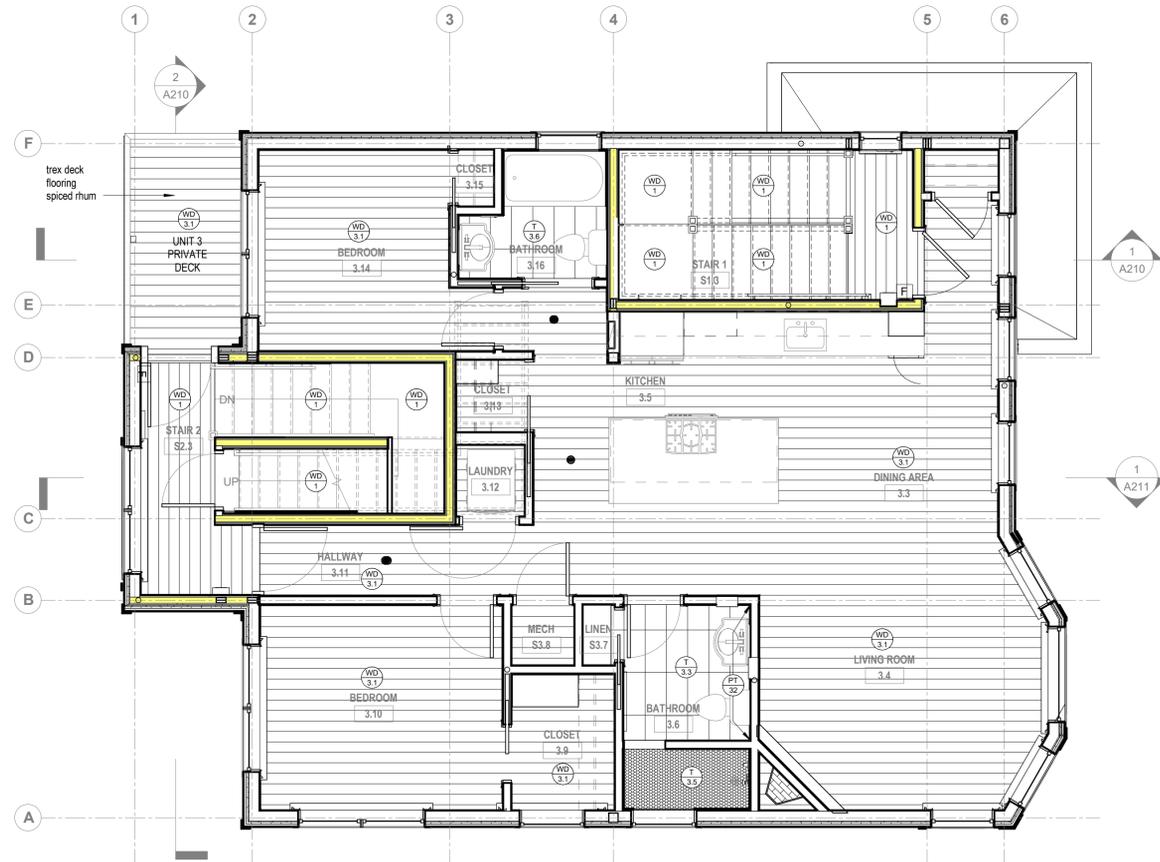
LEVEL 3 FINISH LEGEND			
TAG	MATERIAL	LOCATION	DESCRIPTION
PT1	Paint - 1	Common Area walls	TBD
PT2	Paint - 2	Common Area trim	TBD
PT3	Paint - 3	Common Area ceiling	TBD
PT3.1	Paint - 3.1	Unit 3 throughout (excluding bathrooms)	TBD
PT3.2	Paint - 3.2	Unit 3 bathroom walls	TBD
PT3.3	Paint - 3.3	Unit 3 trim	Benjamin Moore OC-117 Simply White - Semi-gloss
PT3.4	Paint - 3.4	Unit 3 ceiling	Benjamin Moore OC-117 Simply White - Flat
T3.1	Tile - 3.1	Kitchen backsplash	TBD
T3.2	Tile - 3.2	Fireplace surround	Tile; TBD
T3.3	Tile - 3.3	Master Bathroom flooring	Craft Series 12x24 Cotton
T3.4	Tile - 3.4	Master Bathroom shower surrounds	Craft Series 12x24 Cotton with Tec Silverado Power Grout
T3.5	Tile - 3.5	Master Bathroom shower floor	Craft Series wool Basketweave Mosaic with Tec Mist Power Grout
T3.6	Tile - 3.6	Guest Bathroom floor	Bits & Pieces 12x24 Pewter Smoke Matte with Tec Warm Taupe Power Grout
T3.7	Tile - 3.7	Guest Bathroom walls	Alaska White 4x8 Flat Gloss with Tec Warm Taupe Power Grout
T3.8	Tile - 3.8	Guest Bathroom walls	Alaska White 2x8 Bullnose Gloss with Tec Warm Taupe Power Grout
WD1	Hardwood Flooring	Common Area Flooring (Levels 1 - 3 & Stairs)	TBD
WD1	Hardwood Flooring	Unit 3 Flooring throughout (excluding bathrooms)	TBD
WD3.1	Exterior Decking - 3.1	Exterior Decks	Azek TBD
WB3	Baseboard	Unit 3 throughout	TBD

LIGHTING FIXTURE SCHEDULE													
Type Mark	Count	Description	Manufacturer	Model	Dimensions			Lamp Type	Watts	Control	Mounting	Remarks	
					W	D	H						
CF1.1	1	Ceiling Fan - Unit 1 - Living Room	Westinghouse Lighting Corporation	7801665 Matte Black w/ Frosted Glass		52" Dia		2	LED	60	ON/OFF	Ceiling	
CF2.1	1	Ceiling Fan - Unit 2 - Living Room	Craftmade Modern	Midoro - M056		56" Dia	20 1/4"	4/2	LED	25/60	ON/OFF	Ceiling	
CF2.2	2	Ceiling Fan - Unit 2 - Bedrooms	minkaAire	F519-BN		52" Dia	11.5"	1	HAL	100	ON/OFF	Ceiling	
CF3.1	1	Ceiling Fan - Unit 3 - Living Room	minkaAire	F524-ABD		52" Dia	11.5"				ON/OFF	Ceiling	
CF3.2	2	Ceiling Fan - Unit 3 - Bedrooms	minkaAire	F524-ABD		52" Dia	11.5"				ON/OFF	Ceiling	
FLX-1	1	Exterior Flood	Lithonia Lighting	OFLR 6LC 120 MO BZ	4 1/8"	7 5/8"	8 1/8"	6	LED	22	SENSOR	7'-6" AFF	Bronze Finish
LED1	15	LED Closet Fixture	Bartco	BLT210-22-30-5-S2-SM-WH				1	LED	10	SENSOR		White Finish
LED2	3	LED Under Cabinet Strip	Juno	SL212-20FT-30K-80CRI/DLDP5-60W-FPCZT				1	LED	2.2/ft	DIMMABLE	Under Cabinet	Clear
LED3	3	LED Under Rail Strip	Klik	LPXL-28-F00-30K-1.9-A-FLD-SIM				1	LED	1.9	ON/OFF	Under Rail	T.B.D.
P1.1	2	Kitchen Pendant - Unit 1	West Elm	Sculptural Glass Globe Pendant -Small		8 1/2" Dia	8"	1	LED	40	DIMMABLE	6'-0" AFF	
P1.2	1	Dining Room Pendant - Unit 1	Lighting Connection	Geometric Cage Lantern	20"		30"	4	LED	25	DIMMABLE	7'-6" AFF	
P1.4	3	Guest Bedrooms - Unit 1	Latitude Run	SKU: LRUN6557	24"		13"	3	LED	60	DIMMABLE	Ceiling	
P2.1	3	Kitchen Pendant - Unit 2	Elk Group International	10435/1		10" Dia	9"	1	LED	60	DIMMABLE	6'-0" AFF	
P2.2	1	Dining Room Pendant - Unit 2	Meyda Lighting	25" Hyde Park T Mission 4 LT Chandelier	25"		35"	4	LED	60	DIMMABLE	7'-6" AFF	
P3.1	1	Dining Room Pendant - Unit 3	West Elm	Eclipse Chandelier		36" Dia	35"	6	CFL	10	DIMMABLE	7'-6" AFF	
P3.2	3	Living Room Pendant - Unit 3									DIMMABLE		
R1	49	Recessed Downlight	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	DIMMABLE		White Finish
R2	12	Recessed Downlight - Bathrooms	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	DIMMABLE		White Finish
R3	2	Recessed Downlight - Directional	USAI	B3RAF-15L2-30KS-25-S-WH-NCIC-UNV-D21				1	LED	15	DIMMABLE		White Finish
RX1	1	Recessed Downlight - Exterior	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	TIMER		White Finish
SM1	21	Surface Mounted Downlight	USAI	BLRD5-12C3-30KS-50-S-WH-RB-UNV-D2				1	LED				White Finish
SML1	10	Surface Mounted Troffer- 1X4	Lithonia Lighting	CLX-L48-3000LM-SEF-FDL-120-GZ10-30K-80C RI-WH				1	LED	22	ON/OFF		White Finish
SML2	7	Surface Mounted Troffer - 2X2	Lithonia Lighting	2TLX2-20L-FW-A12-120-EZ1-LP830				1	LED	18	ON/OFF		White Finish
WS1.1	2	Wall Sconce - Master Bathroom - Unit 1	Modern Forms	WS-W81625	25"	2 3/4"	3"	N/A	LED	20	ON/OFF	5'-6" AFF; Vertical	
WS1.2	1	Wall Sconce - Guest Bathroom - Unit 1	Modern Forms	WS-W81619	19"	2 3/4"	3"	N/A	LED	15	ON/OFF	6'-6" AFF; Horizontal	
WS2.1	1	Wall Sconce - Living Room - Unit 2	TBD								DIMMABLE		
WS2.2	1												
WS2.3	1												
WS3.1	2	Wall Sconce - Master Bathroom - Unit 3									ON/OFF		
WS3.2	2	Wall Sconce - Master Bedroom - Unit 3	West Elm	Arc Mid-Century Sconce - Single	4"	6"	6"	1	CFL	13	DIMMABLE	5'-6" AFF; Upward	
WS3.3	2	Wall Sconce - Guest Bathroom - Unit 3									ON/OFF		
WSX1	7	Wall Sconce - Exterior - Entry	Norwell Lighting	Weymouth							TIMER		
WSX3	3	Wall Sconce - Exterior - Private Deck	Norwell Lighting	Weymouth							ON/OFF		
XP1	8	Exterior Post - Bollard	Lumen Pulse	MOB3201-120-L30-40K-S-Finish-NO		6" Dia	39"	1	LED	30	TIMER	N/A	T.B.D.
Grand total: 175													

Electrical Fixture Legend



2 UNIT 3 ELECTRICAL LAYOUT
1/4" = 1'-0"



1 UNIT 3 FINISH PLAN
1/4" = 1'-0"

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5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title
BERKSHIRE STREET RESIDENCE
30 Berkshire St., Cambridge, MA 02141

client
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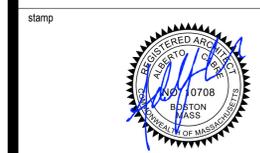
drawing title
**UNIT 3 ARCHITECTURAL
ELECTRIC & FINISH
PLANS**

project number	drawing scale	approver
092	As indicated	AS
drawing number	revision	
A133	8	

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revision	revision description	date
1	ZBA REVIEW	06/14/2017
2	ZBA REVIEW REV1	06/20/2017
4	FOR PRICING	09/14/2017
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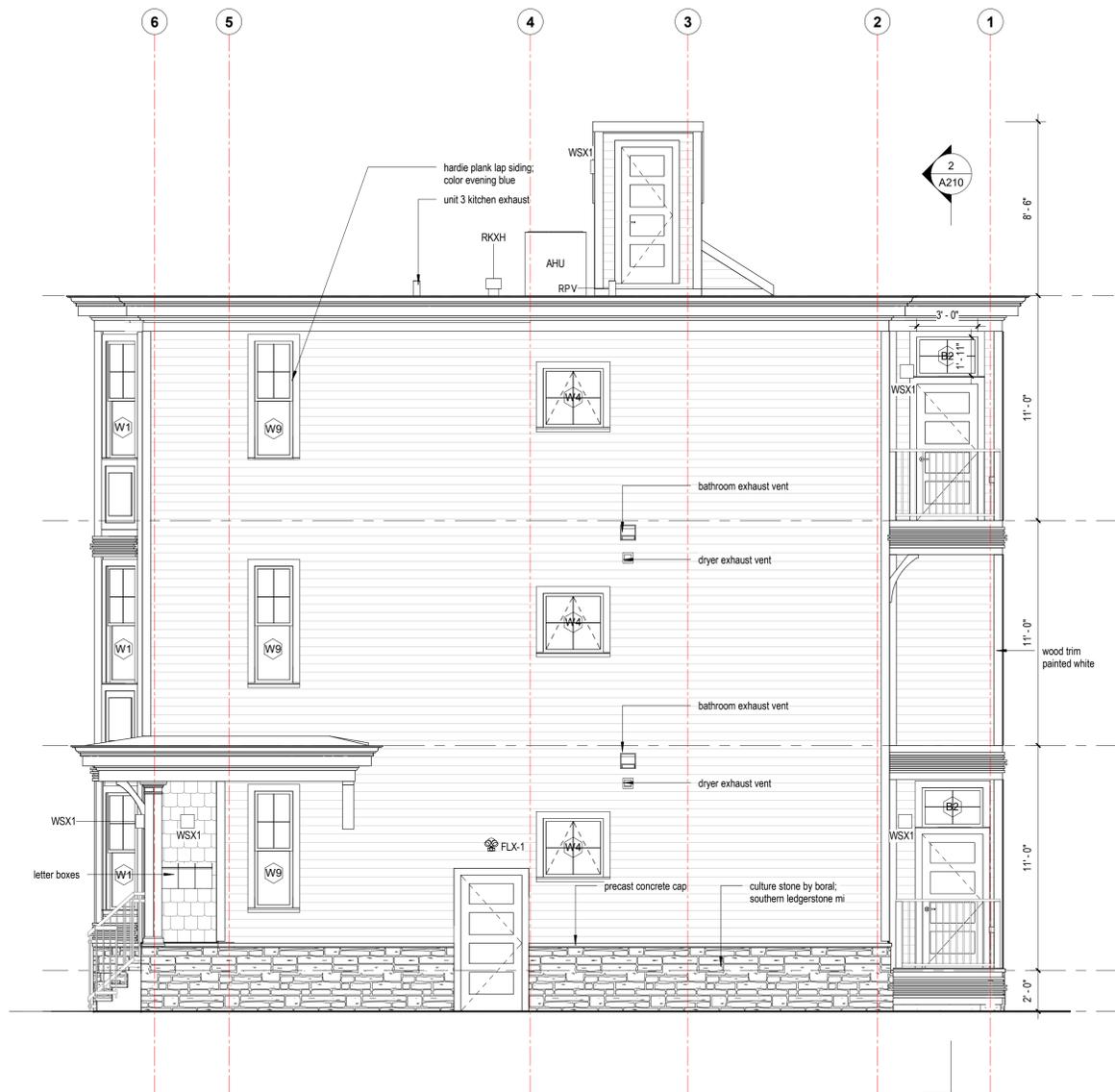
website www.joethearchitect.com

drawing title
EXTERIOR ELEVATIONS

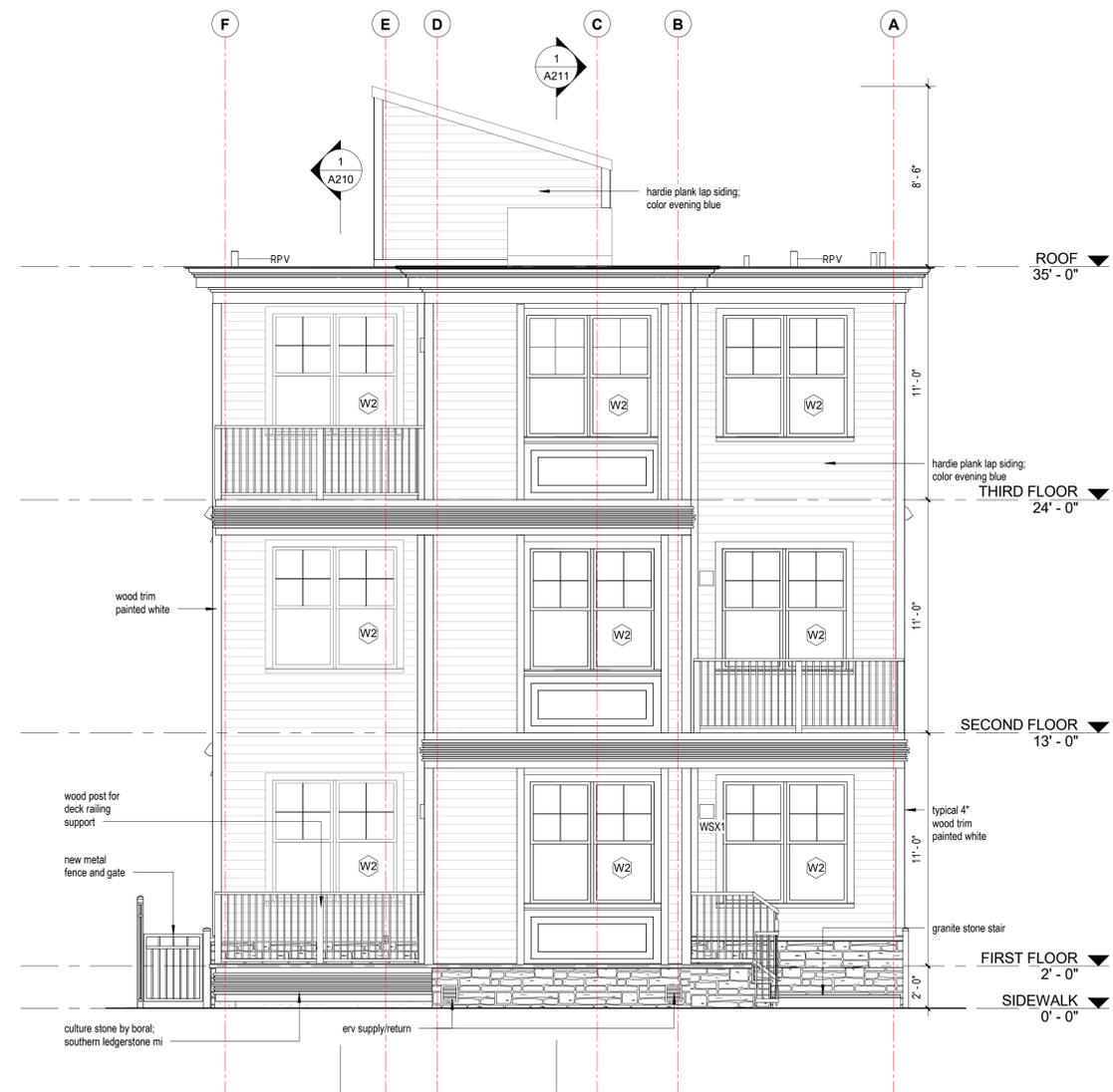
project number	drawing scale	approver
092	1/4" = 1'-0"	AS
drawing number	revision	
A200	8	



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2 SIDE ELEVATION RIGHT - ALLEY WAY
1/4" = 1'-0"

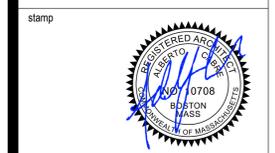


1 REAR ELEVATION
1/4" = 1'-0"

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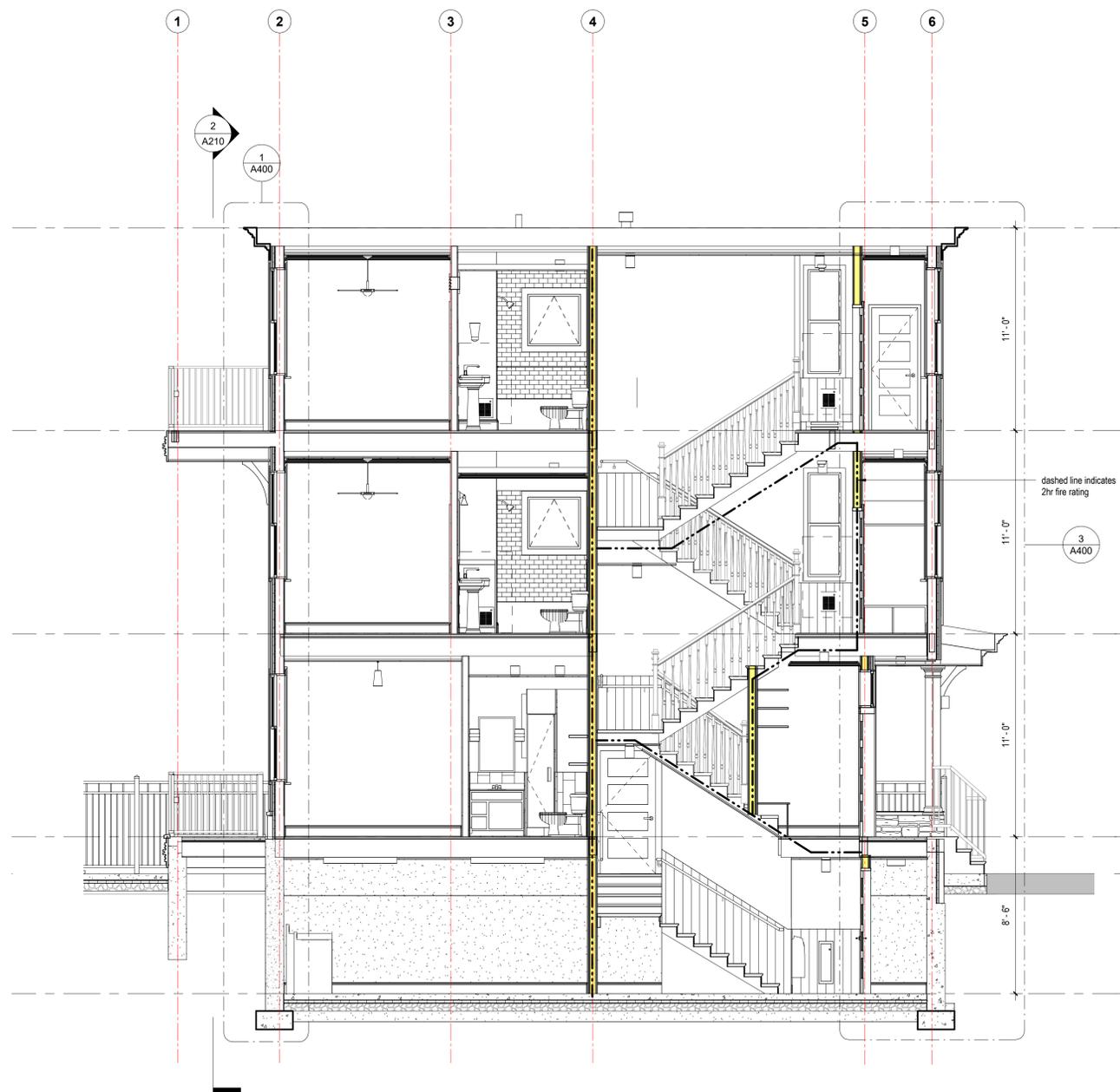
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drawing title
EXTERIOR ELEVATIONS

project number	drawing scale	approver
092	1/4" = 1'-0"	Approver
drawing number	revision	
A201	8	

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1 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"

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project title
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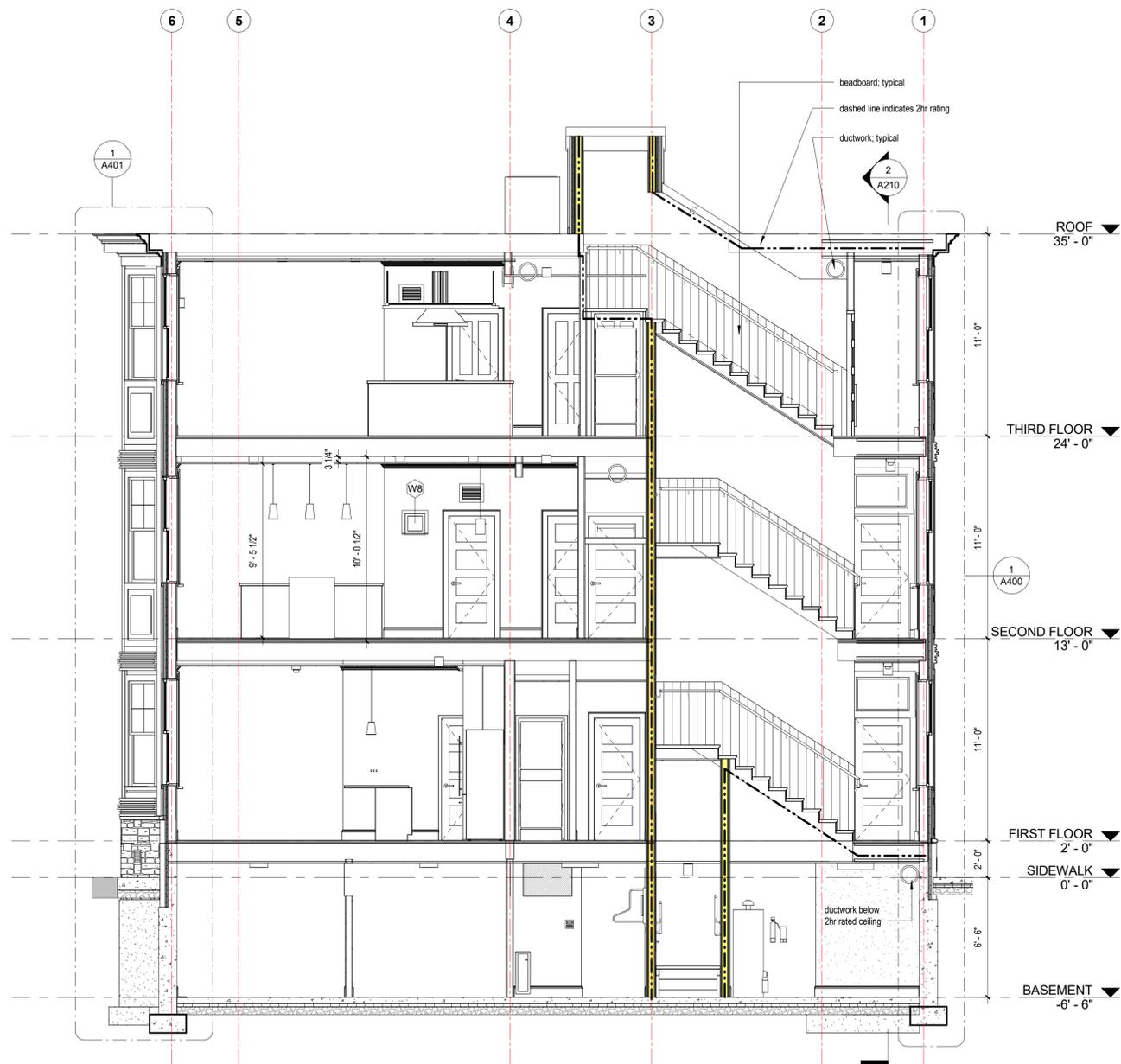
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drawing title
BUILDING SECTIONS

project number	drawing scale	approver
092	1/4" = 1'-0"	Approver
drawing number	revision	
A210	8	

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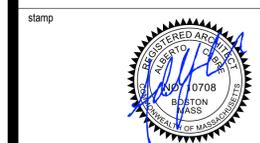


1 BUILDING SECTION
1/4" = 1'-0"

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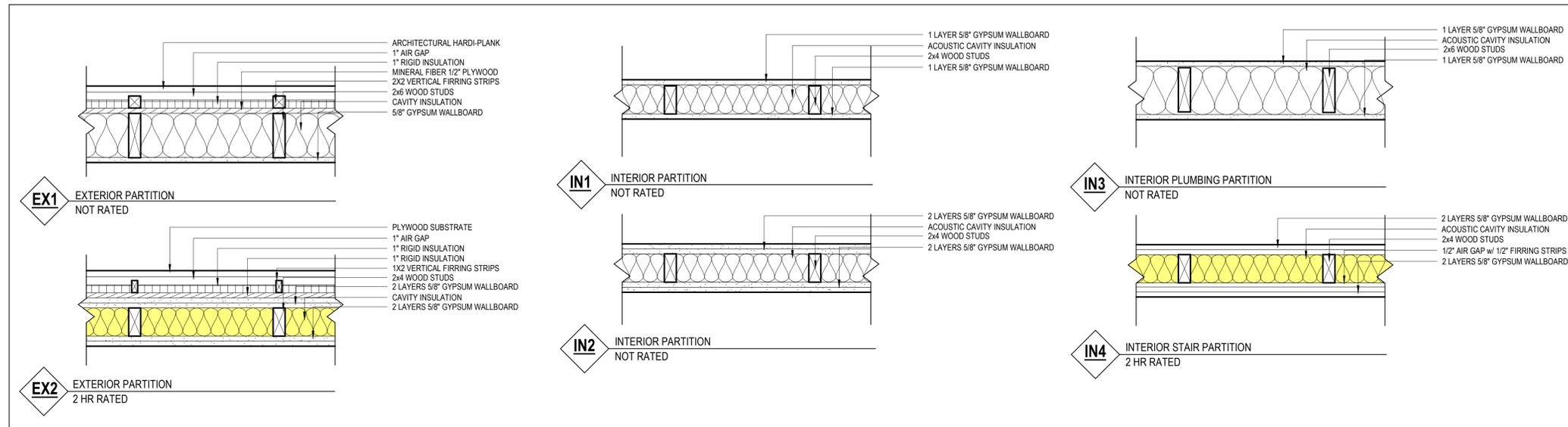
website www.joethearchitect.com

drawing title
BUILDING SECTIONS

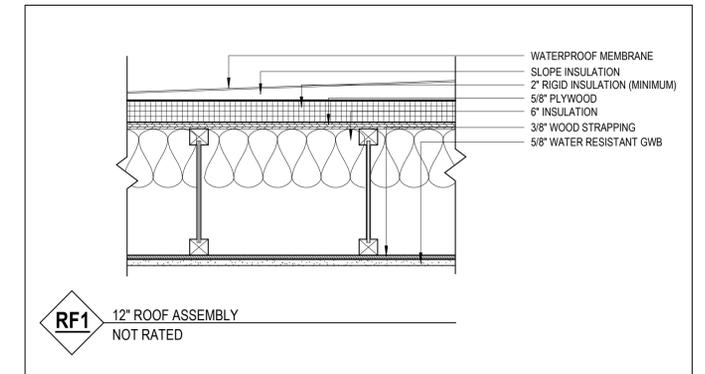
project number	drawing scale	approver
092	1/4" = 1'-0"	Approver

drawing number	revision
A211	8

WALL TYPE LEGEND



ROOF TYPE LEGEND



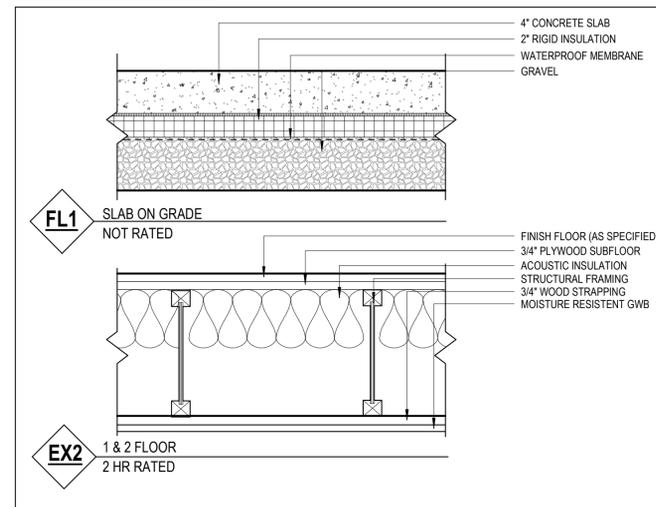
Window Notes

- Unit 1 to have painted maple interior - black
- Unit 2 to have painted maple interior - white; W8 window type to be painted maple - white on both sides.
- Unit 3 to have painted maple interior - sandstone

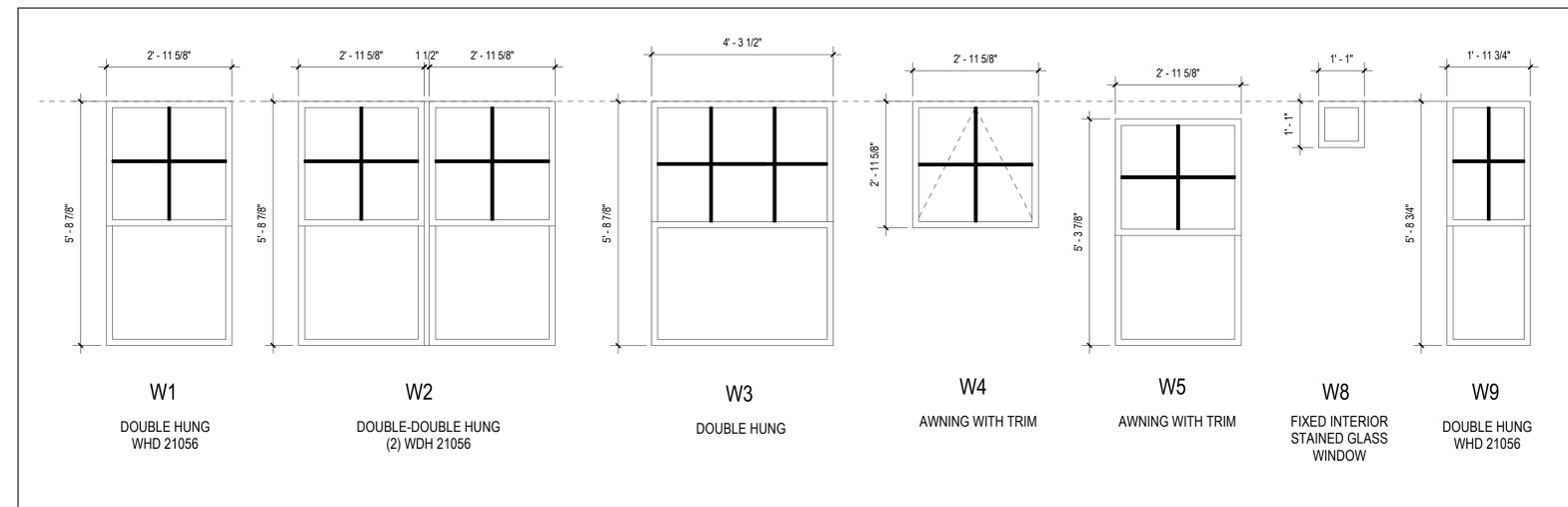
WALL TYPE NOTES

- See sheet A002 for abbreviations and typical mounting heights.

FLOOR TYPE LEGEND



WINDOW LEGEND



TYPE MARK	SIZE		QUANTITY	TYPE	Manufacturer	Model
	WIDTH	HEIGHT				
B2	3' - 1 1/2"	2' - 0 1/2"	6	35" x 24.5"	Andersen Corporation	400-Series
U	3' - 0"	2' - 0"	6	36" x 24"	Andersen Corporation	400-Series
W	2' - 6"	4' - 0"	1	30" x 48"	Andersen Corporation	400-Series
W1	3' - 0"	5' - 10"	17	36" x 70"	Andersen Corporation	400-Series
W2	6' - 0"	5' - 10"	12	72" x 70"	Andersen Corporation	400-Series
W3	4' - 6"	5' - 10"	3	54" x 70"	Andersen Corporation	400-Series
W4	3' - 1"	3' - 0"	7	37" x 36"	Andersen Corporation	400-Series
W5	3' - 0"	5' - 4 1/2"	1	36" x 65"	Andersen Corporation	400-Series
W8	1' - 2 1/2"	1' - 2 1/2"	1	12" x 12"	Andersen Corporation	400-Series
W9	2' - 0"	5' - 10"	3	24" x 70"	Andersen Corporation	400-Series
W14	1' - 0"	0' - 8"	10	REGISTER 8X12	Andersen Corporation	400-Series
W15	3' - 1 1/2"	1' - 6 1/2"	3	32" x 18" 2" Trim		

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project title
 BERKSHIRE STREET RESIDENCE

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drawing title
WALL TYPE AND WINDOW SCHEDULE AND EQUIPMENT

project number	drawing scale	approver
092	As indicated	AS
drawing number	revision	

A300

8



1 WALL SECTION
3/8" = 1'-0"

2 ENLARGED EXTERIOR ELEVATION
3/8" = 1'-0"

3 WALL SECTION
3/8" = 1'-0"

4 ENLARGED EXTERIOR ELEVATION
3/8" = 1'-0"

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drawing title
WALL SECTIONS

project number	drawing scale	approver
092	3/8" = 1'-0"	AS
drawing number	revision	
A400	8	

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1 WALL SECTION
3/8" = 1'-0"

2 ENLARGED EXTERIOR ELEVATION
3/8" = 1'-0"

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drawing title
WALL SECTIONS

project number	drawing scale	approver
092	3/8" = 1'-0"	AS
drawing number	revision	
A401	8	



2 WALL SECTION
3/8" = 1'-0"

4 ENLARGED EXTERIOR ELEVATION
3/8" = 1'-0"

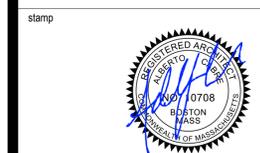
1 WALL SECTION
3/8" = 1'-0"

3 ENLARGED EXTERIOR ELEVATION
3/8" = 1'-0"

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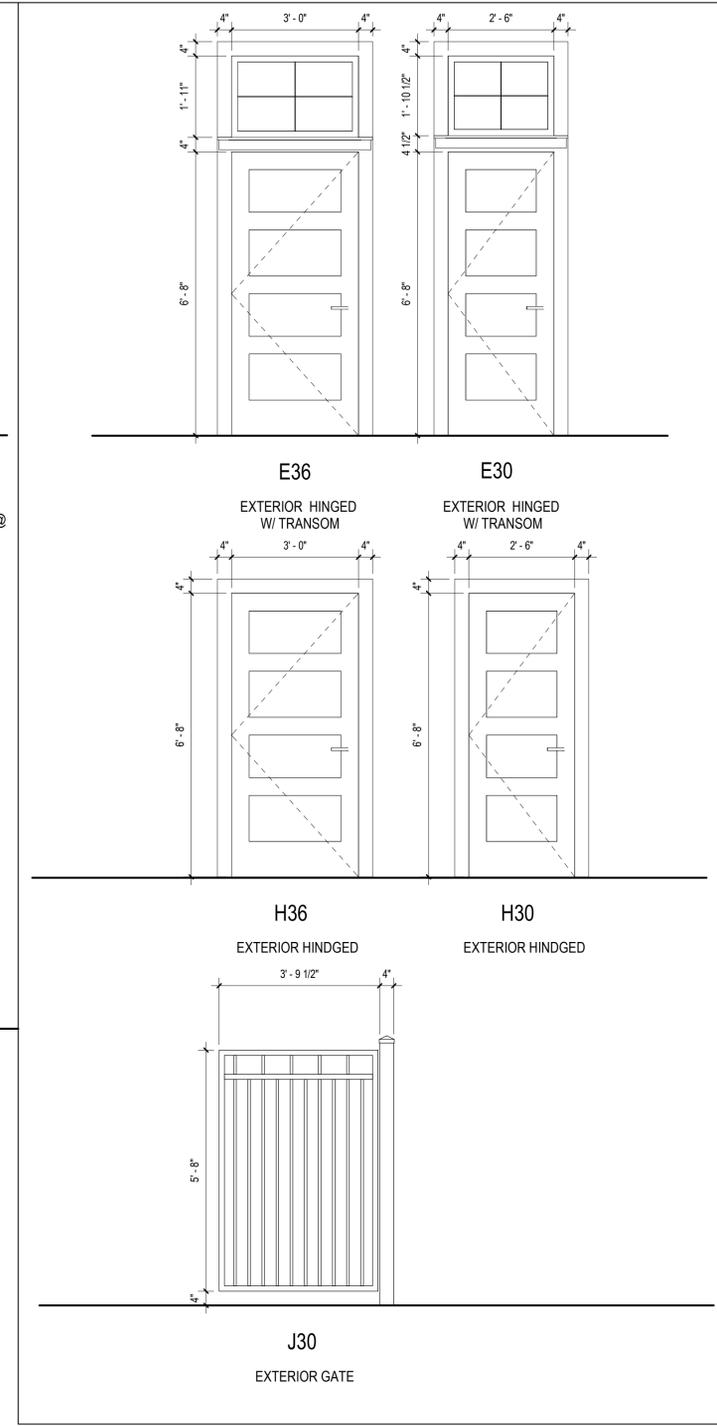
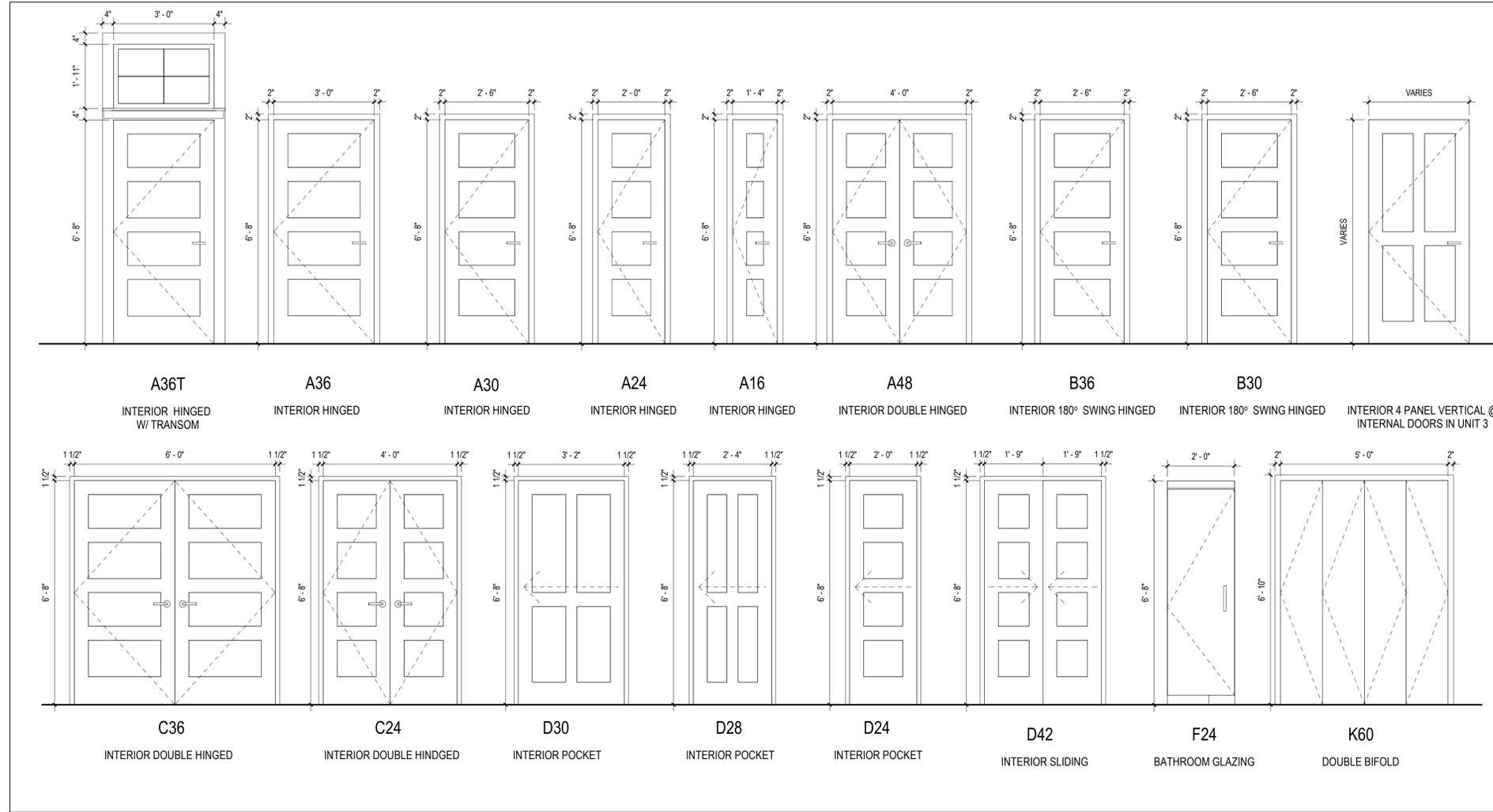
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drawing title
WALL SECTIONS

project number	drawing scale	approver
092	3/8" = 1'-0"	AS
drawing number		revision

A402 8

DOOR LEGEND



DOOR NOTES

1. 3rd floor door panels to be 4 panels vertical
2. Unit 1 door hardware to be Schlage Latitude series; matte black lever hardware.
3. Unit 2 door hardware to match kitchen hardware; oil-rubbed bronze.
4. Unit 2 entry doors to match knobs pull style and finish from common area side.
5. Unit 3 door hardware TBD.

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5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client
Krissy Ellsworth, Denyce Wicht, Michael Workman
30 Berkshire Street, Cambridge, MA 02141

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drawing title
DOOR LEGEND

project number	drawing scale	approver
092	As indicated	AS
drawing number	revision	
A430	8	

DOOR AND FRAME SCHEDULE											
Type Mark	Count	OPENING				DOOR					COMMENTS
		WIDTH	HEIGHT	R.O. WID	R.O. HGT	TYPE	THICK	Double?	Unequal?	CONFIG	
A16	1	1' - 4"	6' - 8"	1' - 8"	6' - 10"	P4H	0' - 1 3/4"	No	No	SINGLE	
A24	1	2' - 0"	6' - 8"	2' - 4"	6' - 10"	P4H	0' - 1 3/4"	No	No	SINGLE	
A30	14	2' - 6"	6' - 8"	2' - 10"	6' - 10"	P4H	0' - 1 3/4"	No	No	SINGLE	
A36	10	3' - 0"	6' - 8"	3' - 4"	6' - 10"	P4H	0' - 1 3/4"	No	No	SINGLE	
A36T	3	3' - 0"	6' - 8"	3' - 4"	6' - 10"	P4H	0' - 1 3/4"	No	No	SINGLE	
A48	2	4' - 0"	6' - 8"	4' - 4"	6' - 10"	P4H	0' - 1 9/16"	Yes	No	PAIR	
B30	2	2' - 6"	6' - 8"	2' - 10"	6' - 10"	P4H	0' - 1 3/4"	No	No	SINGLE	
B36	1	3' - 0"	6' - 8"	3' - 4"	6' - 10"	P4H	0' - 1 3/4"	No	No	SINGLE	
C36	3	6' - 0"	6' - 8"	6' - 3 5/32"	6' - 9 9/16"	P4H	0' - 1 9/16"	Yes	No	PAIR	
D24	1	2' - 0"	6' - 8"	2' - 3"	6' - 9 1/2"	P4H	0' - 1 3/8"	No	No	SINGLE	
D28	4	2' - 4"	6' - 8"	2' - 7"	6' - 9 1/2"	P4V	0' - 1 3/8"	No	No	SINGLE	

DOOR AND FRAME SCHEDULE											
Type Mark	Count	OPENING				DOOR					COMMENTS
		WIDTH	HEIGHT	R.O. WID	R.O. HGT	TYPE	THICK	Double?	Unequal?	CONFIG	
D30	3	2' - 6"	6' - 8"	2' - 9"	6' - 10"			No	No	SINGLE	
D40	4	3' - 2"	6' - 8"	3' - 5"	6' - 9 1/2"			No	No	SINGLE	
E36	6	3' - 0"	6' - 8"	3' - 8"	7' - 0"	P4H	0' - 1 3/4"	No	No	SINGLE	
F18	1	2' - 0 1/8"	6' - 1 1/2"								
H30	1	2' - 6"	6' - 8"	3' - 2"	7' - 0"	P4H	0' - 1 3/4"	No	No	SINGLE	
H36	1	3' - 0"	6' - 8"	3' - 8"	7' - 0"	P4H	0' - 1 3/4"	No	No	SINGLE	
J30	3										
Grand total: 61											

Multi-Category Schedule			
Type Mark	Manufacturer	Model	Description
FX1-1	Bosch	SHXM98W75N	800 Series – Stainless Steel 24" Bar Handle Dishwasher
FX1-2A	Frigidaire	FPUR2919-D10	Frigidaire Undermount Stainless Steel Kitchen Sink, 10m Radius Corners, 16 Gauge, Dep Basin, 27"
FX1-2B	Delta	9159-BL-DST	Trinsic Single Handle Pull-Down Kitchen Faucet; Matte Black
FX1-3	Bosch	HGI8054UC	800 Series – Stainless Steel 30" Gas Slide-in Range
FX1-4	Bosch	B21CT80SNS	800 Series – Stainless Steel 36" Counter-Depth 3-Door Refrigerator
FX1-5	Moen	MT3293	ALIGN™ MOENTROL® Single-Handle Tub/Shower Trim Only
FX1-6G	TOTO	cst744si#01	Drake 2 Piece 1.6GPF Single Flush Elongated Toilet in Cotton White
FX1-6M	TOTO	cst744si#01	Drake 2 Piece 1.6GPF Single Flush Elongated Toilet in Cotton White
FX1-7A	Delta	T17259-SSLHD	Trinsic Bathroom 17 Series MC Shower Trim
FX1-7B	Universal	58480-PK	Showering Components Shower Faucet with H2okinetic Technology
FX1-8A	Delta	559HA-DST	Trinsic Bathroom Single hole Bathroom Faucet with Drain Assembly and Diamond Seal Technology
FX1-8B	Neuman	EBDG7757	36" Single Bathroom Vanity Set with Mirror
FX1-9A	New Yorker	KBCL1066	36" Single Bathroom Vanity Set
FX1-9B	Trinsic	3559-MPU-DST	Bathroom Widespread Bathroom Faucet with Drain Assembly and Diamond Seal Technology
FX1-10	American Standard	2461.028W	Cambridge 5ft. Left Drain Bathtub in White
FX1-11	Electrolux	EFLS627U TT / IW	Electrolux FRONT LOAD WASHERS EFLS627U TT / IW
FX1-12	Electrolux	EFME627U TT / IW	Electrolux ELECTRIC FRONT LOAD DRYER EFME627U TT / IW
FX1-13	Bosch	HMVP053U	Benchmark Series – Stainless Steel 30" Over The Range Convection Microwave
FX2-1	Kenmore	70343	Kenmore 70343 27.2 cu. ft. French Door Refrigerator - Stainless Steel
FX2-2	Kenmore	14753	Kenmore Elite 14753 24" Built-In Dishwasher - Stainless Steel
FX2-3A	Sterling	11722-1	Under-mount Kitchen Sink
FX2-3B	Kohler	K-99262	Artifacts Kitchen Sink Faucet Swing Spout w/Spray
FX2-4	Kenmore	32603	Kenmore 32603 4.5 cu. ft. Slide-In Gas Range - Stainless Steel
FX2-4A	Thermador	UCVM30RS	30 Inch Downdraft Ventilation Masterpiece Series
FX2-5A	Fairmont	1504-V30	Smithfield 30" Vanity Med Grey
FX2-5B	Kohler	K-10577-4P	Bancroft Widespread Bathroom Sink Faucet
FX2-5C	Fairmont	T-3122	3/4" Marble/Granite Top
FX2-6G	Kohler	K-6925	Adair Class Five Toilet
FX2-6M	Kohler	K-3639	Kohler Archer Toilet
FX2-7A	Kohler	K-72421	Awaken B110 Multifunction Handshower
FX2-7B	Kohler	T10595-4P-CP	Bancraft Trans Valve Trim White Cermatic Level Handel
FX2-8	Kohler	K-2362-8	Cimarron Pedestal Bathroom Sink
FX2-9	Kohler	K-716	Villager 5' Bath
FX2-10	Kohler	K-TS461-4V	Memoirs Stately Rite-Temp Bath and Shower Valve Trim
FX2-11	Chaska	CSK-29-L	Chaska 29-Log Direct Vent Gas Fireplace Insert
FX2-12	Kenmore	41262	Front-Load Washer - White
FX2-13	Kenmore	81282	Kenmore Electric Dryer - White
FX2-14	TBD	TBD	TBD
FX2-15	Kenmore	80333	Kenmore 80333 1.7 cu. ft. Over-the-Range Microwave - Stainless Steel
FX2-16	Kohler	K-454-4V	Memoirs Stately Widespread Bathroom Sink Faucet
FX2-17	Fairmont	1504-MC24	Smithfield 24" Medicine Cabinet
FX2-18	Kohler	K-11411	Bancroft 24" Towel Bar
FX2-19	Kohler	K-11415	Bancroft Toilet Tissue Holder
FX2-20	Kohler	10555	Devonshire Robe Hook
FX2-21	TBD	TBD	Towel Ring
FX2-22	TBD	TBD	Towel Ring
FX2-23	Kohler	K-490	Memoirs Stately Toilet Tissue Holder
FX3-1	Kalamera	KRC-46DZB-TGD	Wine refrigerator 46 Bottle Dual Zone Built-in and Freestanding
FX3-2A	Franke	PTX110-25	Pescar Kitchen Sink
FX3-2B	Delta	9159-AR-DST	Trinsic Single Handle Pull-Down Kitchen Faucet
FX3-3	Bosch	SHS5AV55UC	Ascenta Scoop Handle Dishwasher
FX3-4	Bosch	B21CL80SNS	800 Series Counter-Depth 4-Door Refrigerator
FX3-5	Bosch	HGI8054UC	800 Series Gas Slide-in Range
FX3-6	Chaska	CSK-29-L	Chaska 29-Log Direct Vent Gas Fireplace Insert
FX3-7A	Mirabelle	MIRBR8010BN	BOCA RATON COLLECTION TRANSFER VALVE TRIM KIT
FX3-7B	Mirabelle	MIRHS4020ECP	CUSTOM SHOWERING 5 FUNCTION HANDSHOWER
FX3-8G	American Standard	207AA.104	Estate Vormax Right Height Elongated Toilet; White
FX3-8M	American Standard	207AA.104	Estate Vormax Right Height Elongated Toilet; White
FX3-9A	American Standard	0282.008	"Retrospect" Pedestal Bathroom Sink WHITE 8" CC
FX3-9B	Mirabelle	MIRWSCBR801CP	Bcoa Raton Bathroom Sink Faucet; Polished Chrome
FX3-10A	LG	WM3770H_A	4.5 cu.ft. Front Load Washer w/ TurboWash
FX3-10B	LG	DLEX3370_/DLGX3371_	Ultra Large Capacity SteamDryer™ w/ NFC Tag On
FX3-11A	American Standard	0282.008	Estate Vormax Right Height Elongated Toilet; White
FX3-11B	Mirabelle	MIRWSCBR801CP	Bcoa Raton Bathroom Sink Faucet; Polished Chrome
FX3-12	American Standard	2460.028W	Cambridge 5' Whirlpool and Bathing Pool
FX3-13	Mirabelle	MIRBR8030ECP	Boca Raton collection single-handel tub and shower trim kit chrome

For Permit

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contractor/consultant

stamp



revision	revision description	date
8	FOR PERMIT/PRICING	07/13/2018

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BERKSHIRE STREET RESIDENCE

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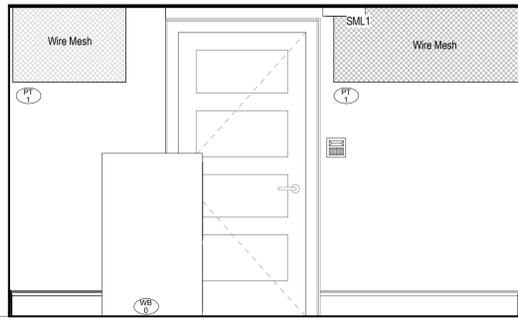
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website www.joethearchitect.com

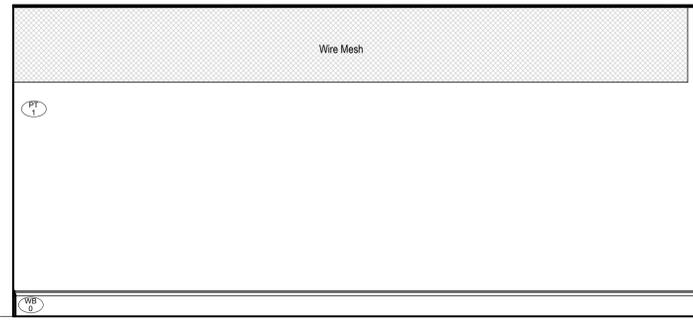
drawing title
SCHEDULES

project number	drawing scale	approver
092		Approver

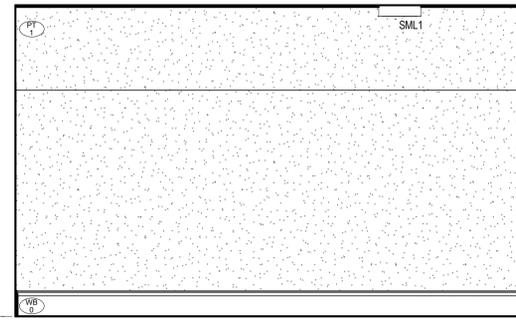
drawing number	revision
A431	8



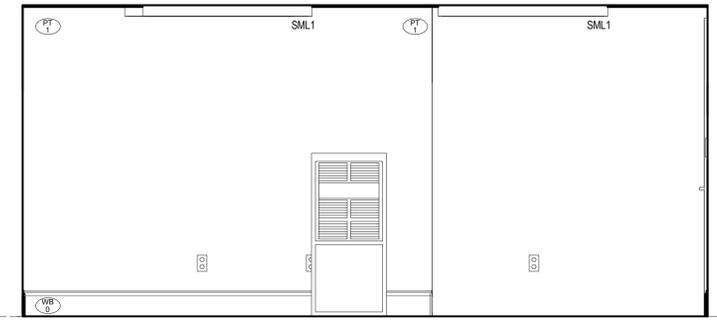
1 B.5 - UNIT 2 STORAGE 1
1/2" = 1'-0"



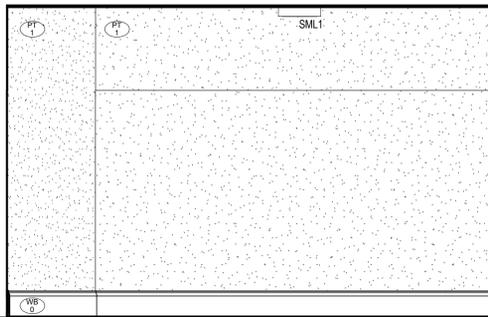
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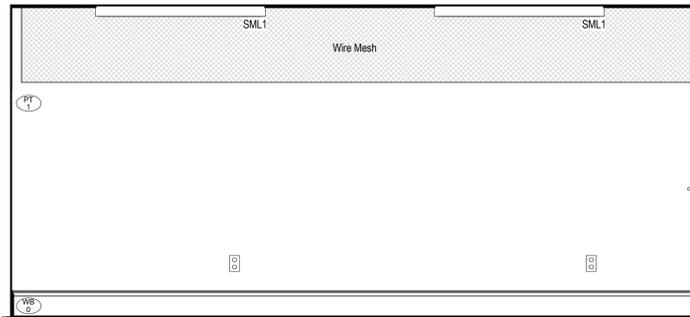
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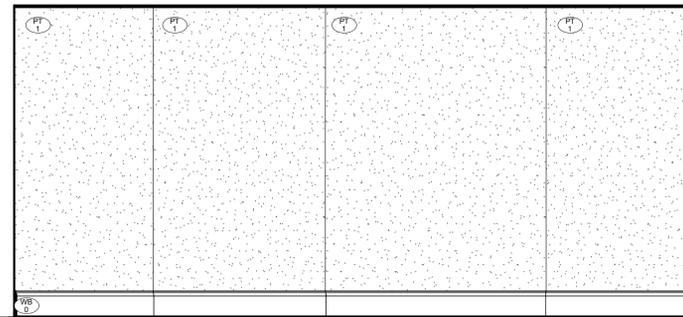
4 B.5 - UNIT 2 STORAGE 4
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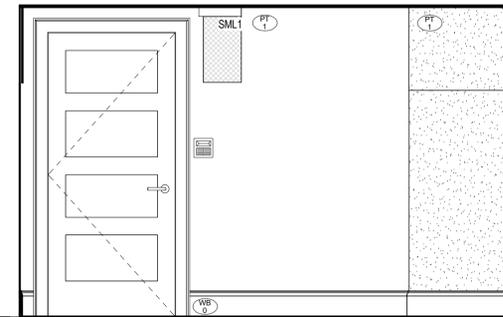
5 B.4 - UNIT 1 STORAGE 1
1/2" = 1'-0"



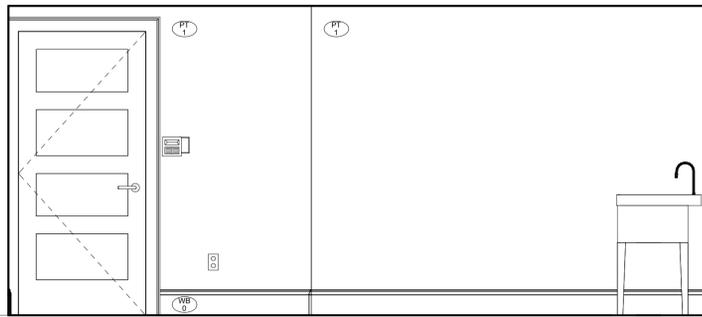
6 B.4 - UNIT 1 STORAGE 2
1/2" = 1'-0"



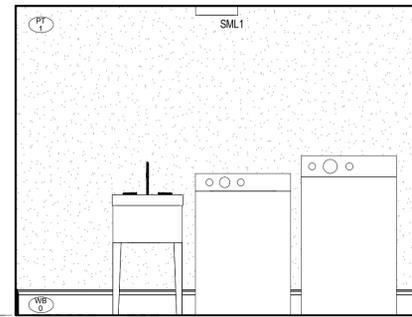
7 B.4 - UNIT 1 STORAGE 4
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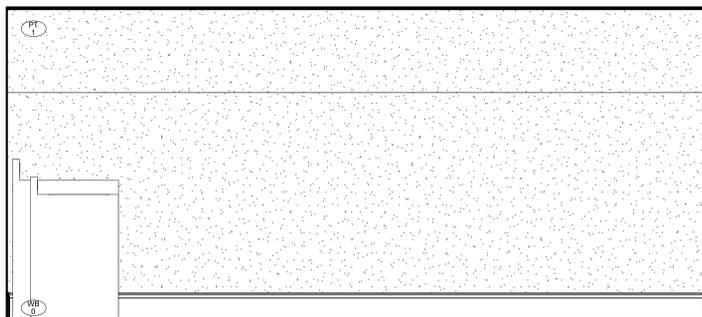
8 B.4 - UNIT 1 STORAGE 3
1/2" = 1'-0"



9 B.7 - UNIT 3 STORAGE 1
1/2" = 1'-0"



10 B.7 - UNIT 3 STORAGE 2
1/2" = 1'-0"



11 B.7 - UNIT 3 STORAGE 3
1/2" = 1'-0"



12 B.7 - UNIT 3 STORAGE 4
1/2" = 1'-0"

BASEMENT
-6' - 6"

BASEMENT
-6' - 6"

BASEMENT
-6' - 6"

BASEMENT
-6' - 6"

For Permit

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stamp



revision	revision description	date
4	FOR PRICING	09/14/2017
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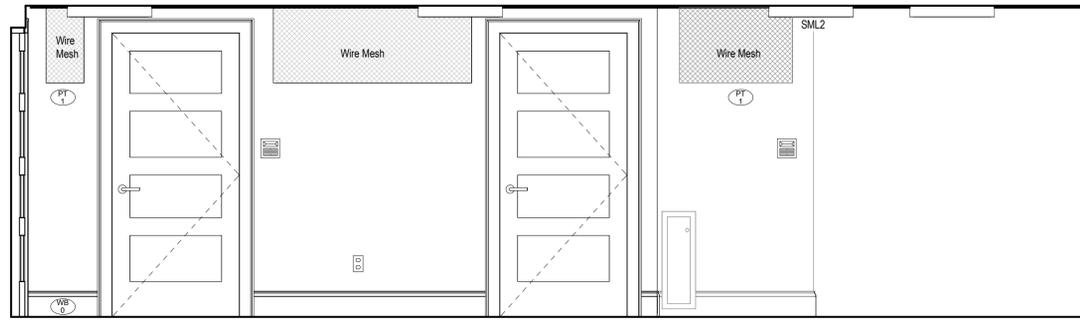
website www.joethearchitect.com

drawing title
BASEMENT INTERIOR ELEVATIONS

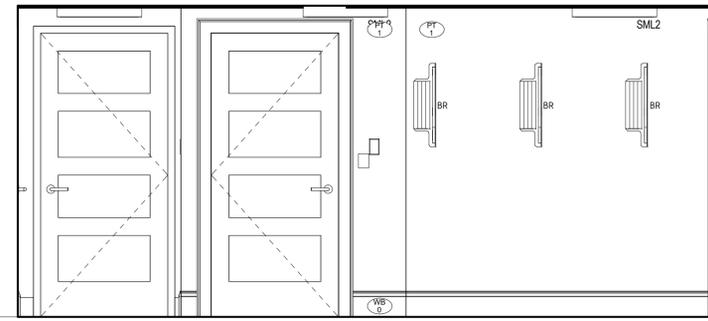
project number	drawing scale	approver
092	1/2" = 1'-0"	Approver
drawing number	revision	
A600	8	

A600

8

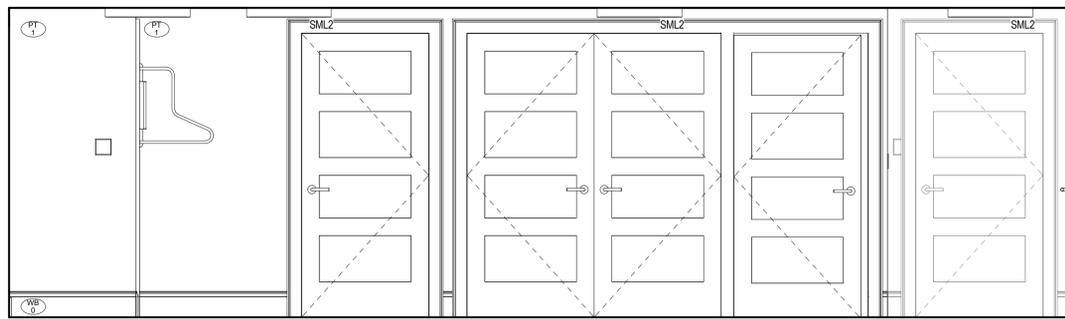


1 B.1 - COMMON AREA 1
1/2" = 1'-0"

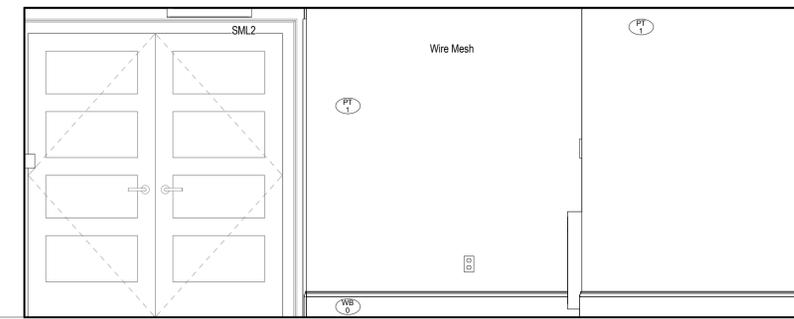


2 B.1 - COMMON AREA 2
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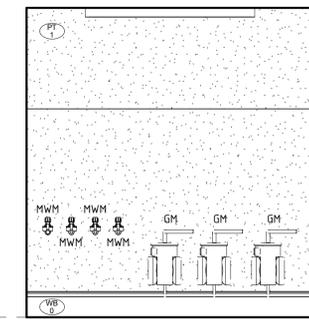
BASEMENT
-6' - 6"



3 B.1 - COMMON AREA 3
1/2" = 1'-0"

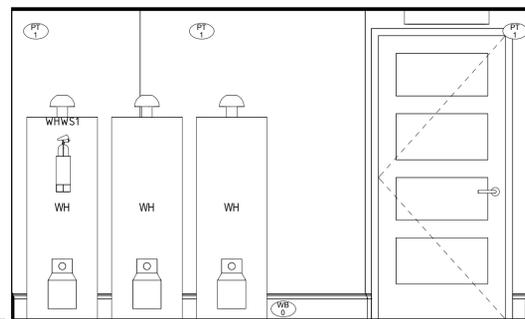


4 B.1 - COMMON AREA 4
1/2" = 1'-0"

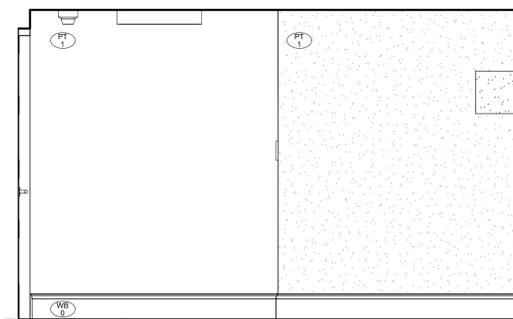


11 B.3 METER CLOSET
1/2" = 1'-0"

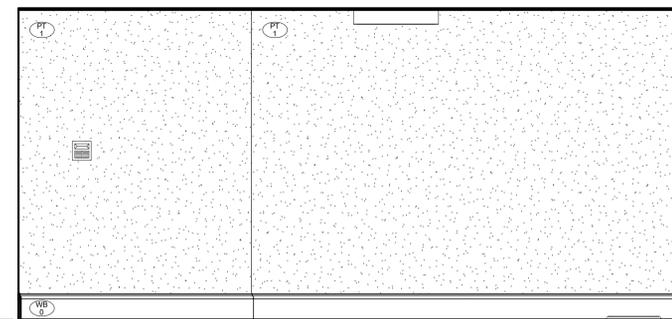
BASEMENT
-6' - 6"



5 B.6 - UTILITY ROOM 1
1/2" = 1'-0"

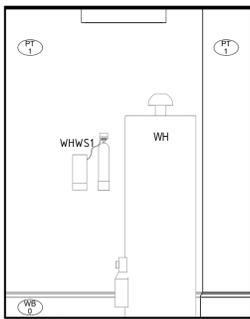


6 B.6 - UTILITY ROOM 2
1/2" = 1'-0"

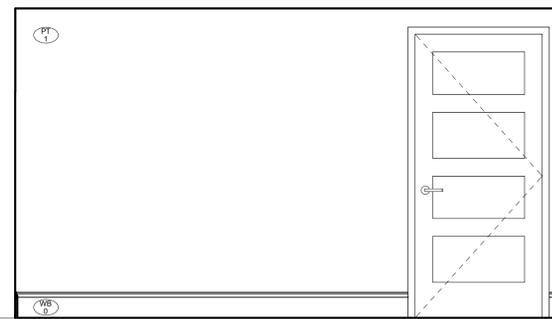


7 B.6 - UTILITY ROOM 3
1/2" = 1'-0"

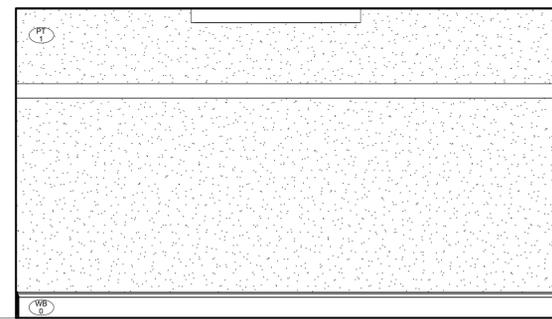
BASEMENT
-6' - 6"



8 B.6 - UTILITY ROOM 4
1/2" = 1'-0"



9 B.6 - COMMON CLOSET 1
1/2" = 1'-0"



10 B.6 - COMMON CLOSET 2
1/2" = 1'-0"

BASEMENT
-6' - 6"

For Permit

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stamp



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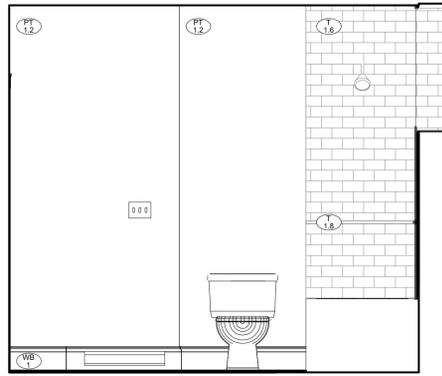
drawing title
BASEMENT INTERIOR ELEVATIONS

project number	drawing scale	approver
092	1/2" = 1'-0"	Approver

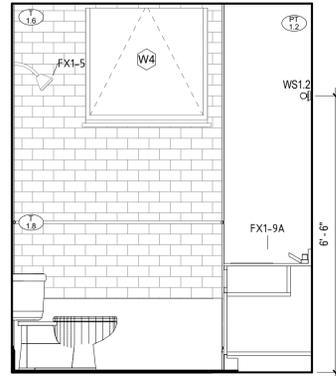
drawing number	revision
A601	8

A601

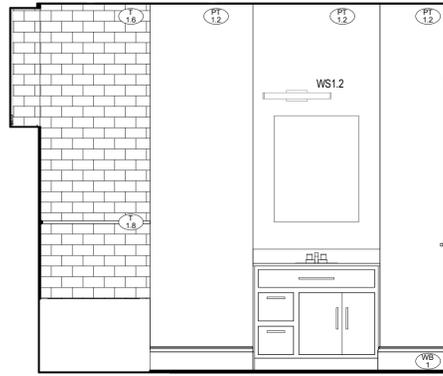
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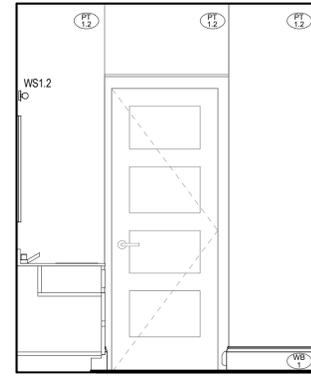
1 1.6 - UNIT 1 BATHROOM A
1/2" = 1'-0"



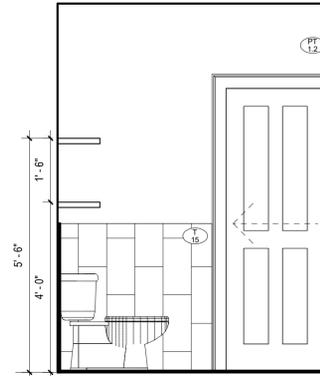
2 1.6 - UNIT 1 BATHROOM B
1/2" = 1'-0"



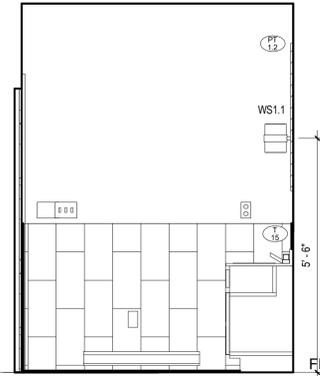
3 1.6 - UNIT 1 BATHROOM C
1/2" = 1'-0"



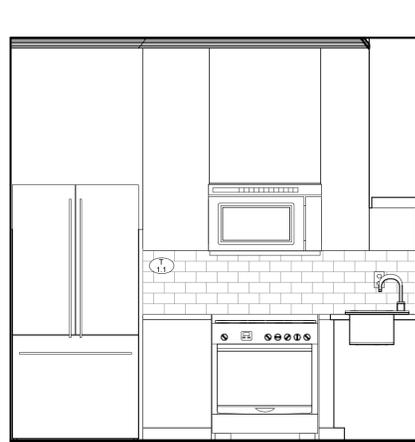
4 1.6 - UNIT 1 BATHROOM D
1/2" = 1'-0"



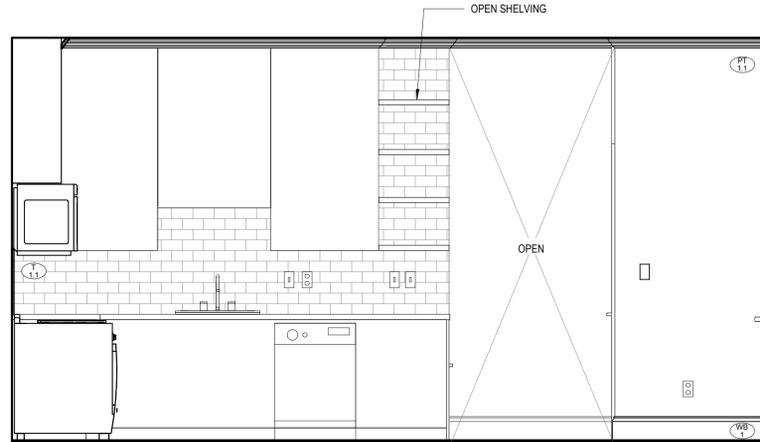
7 1.15 UNIT 1 BATHROOM 1
1/2" = 1'-0"



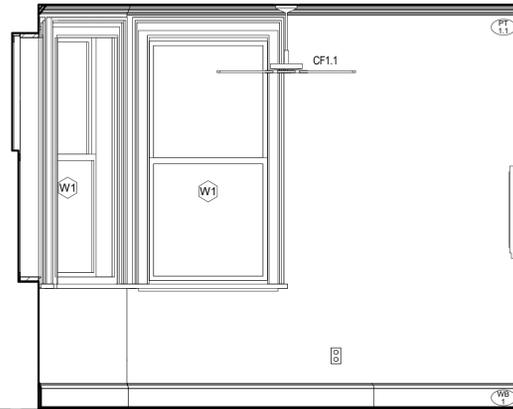
8 1.15 UNIT 1 BATHROOM 2
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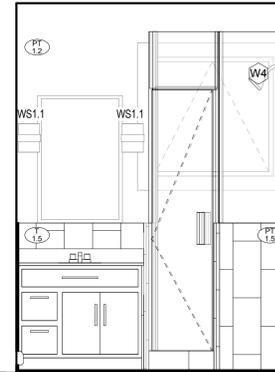
5 1.13 - UNIT 1 KITCHEN A
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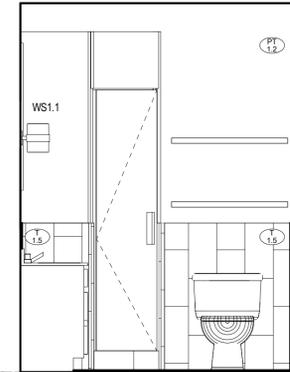
6 1.13 - UNIT 1 KITCHEN B
1/2" = 1'-0"



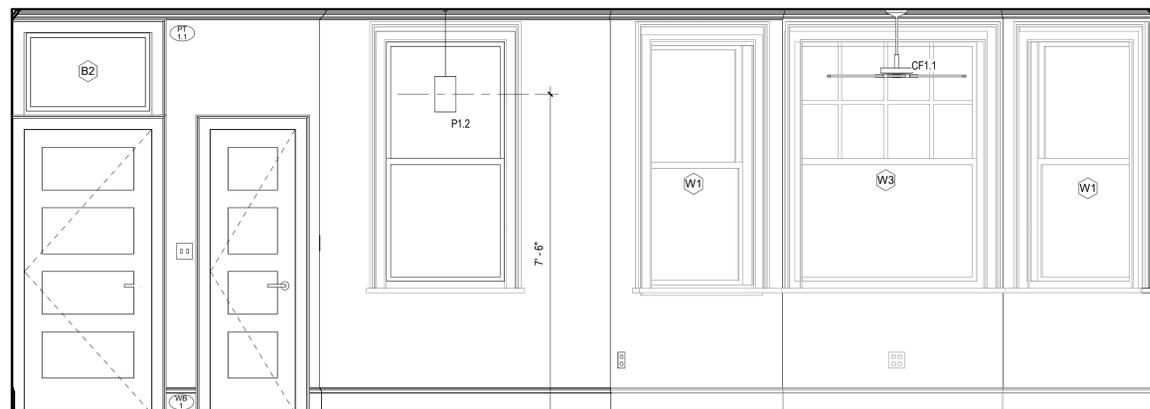
12 1.4 UNIT 1 LIVING ROOM 2
1/2" = 1'-0"



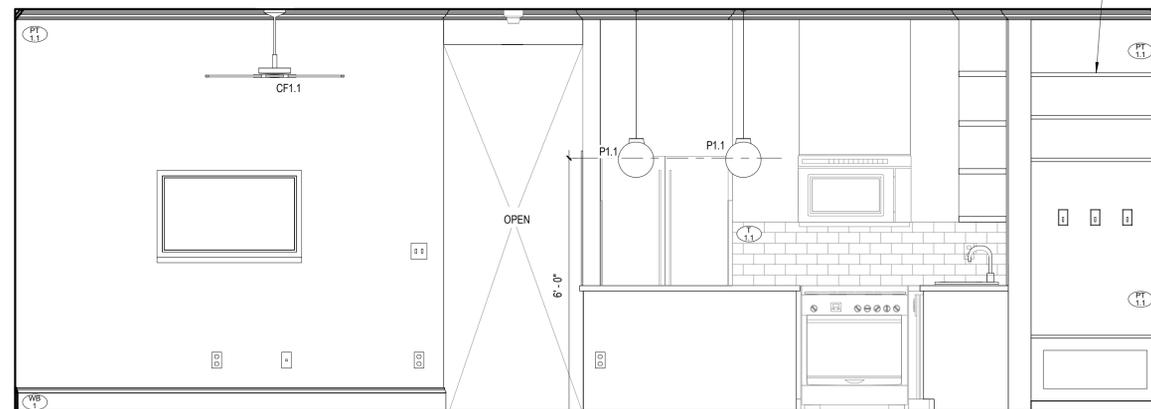
9 1.15 UNIT 1 BATHROOM 3
1/2" = 1'-0"



10 1.15 UNIT 1 BATHROOM 4
1/2" = 1'-0"



11 1.4 UNIT 1 LIVING ROOM 1
1/2" = 1'-0"



13 1.4 UNIT 1 LIVING ROOM 3
1/2" = 1'-0"

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stamp

revision	revision description	date
4	FOR PRICING	09/14/2017
5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title
BERKSHIRE STREET RESIDENCE
30 Berkshire St., Cambridge, MA 02141

client
Krissy Ellsworth, Denyce Wicht, Michael Workman
30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

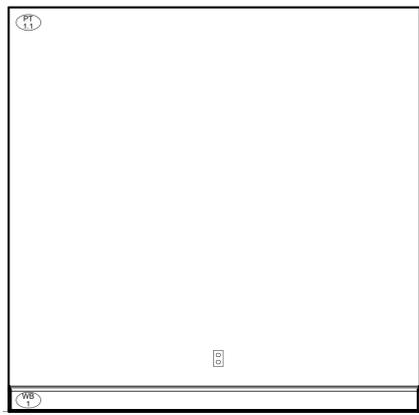
somerville 343 Medford Street, Suite 4C
Somerville, MA 02145
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e: info@joethearchitect.com

website www.joethearchitect.com

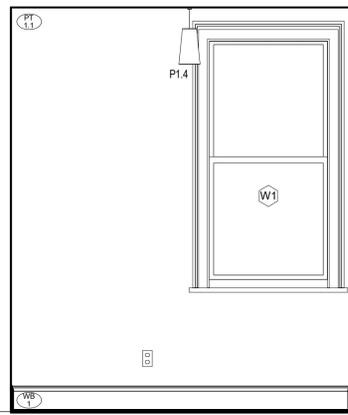
drawing title
UNIT 1 INTERIOR ELEVATIONS

project number	drawing scale	approver
092	1/2" = 1'-0"	Approver
drawing number	revision	
A610	8	

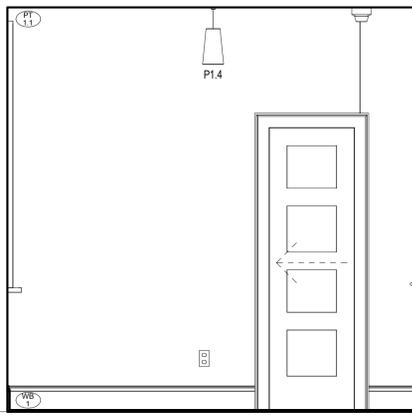
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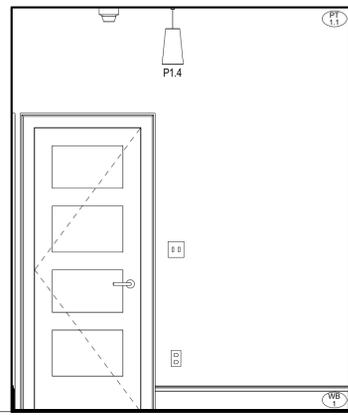
1 1.5 UNIT 1 BEDROOM 1
1/2" = 1'-0"



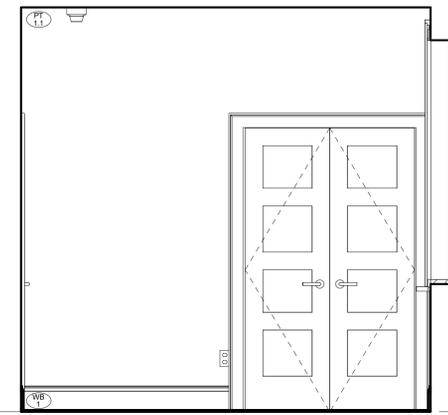
2 1.5 UNIT 1 BEDROOM 2
1/2" = 1'-0"



3 1.5 UNIT 1 BEDROOM 3
1/2" = 1'-0"

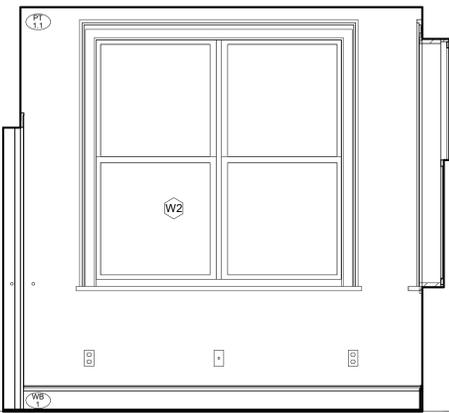


4 1.5 UNIT 1 BEDROOM 4
1/2" = 1'-0"

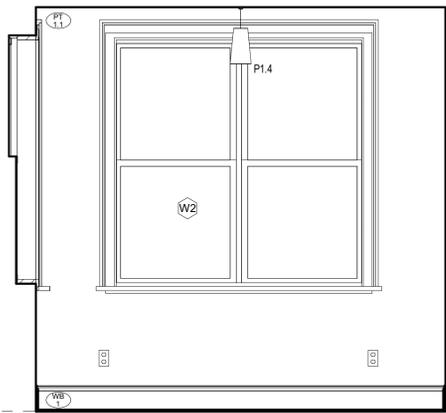


5 1.8 UNIT 1 BEDROOM 1
1/2" = 1'-0"

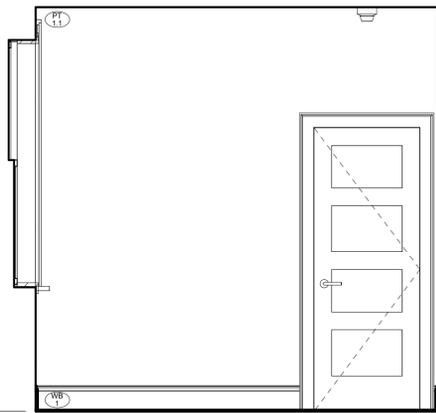
FIRST FLOOR
2' - 0"



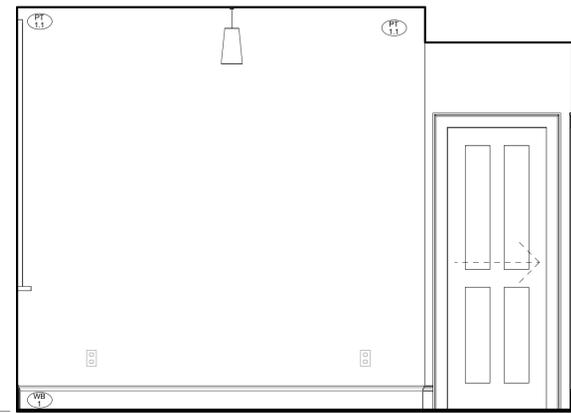
6 1.8 UNIT 1 BEDROOM 2
1/2" = 1'-0"



7 1.8 UNIT 1 BEDROOM 3
1/2" = 1'-0"

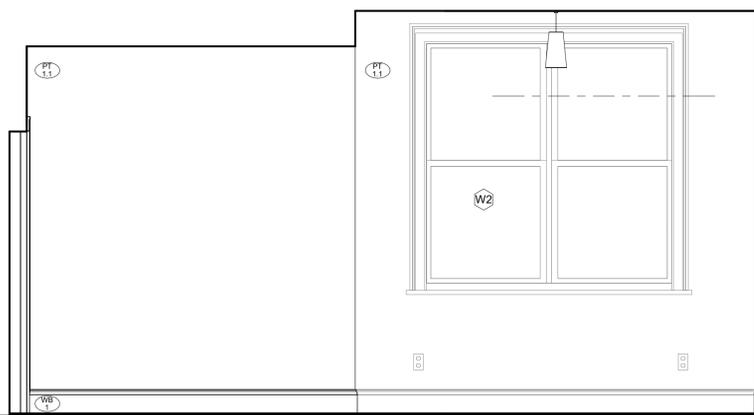


8 1.8 UNIT 1 BEDROOM 4
1/2" = 1'-0"

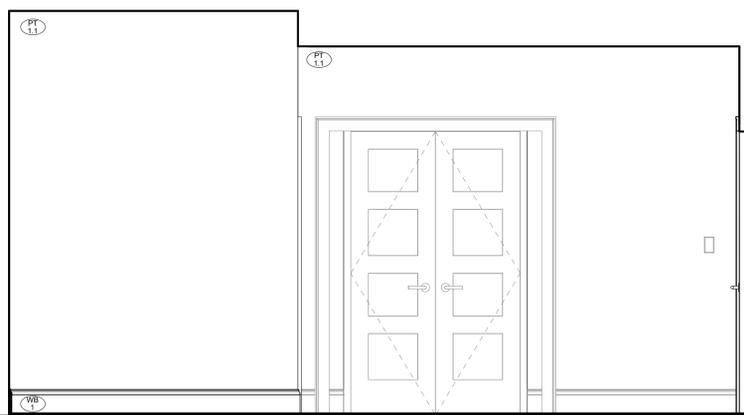


10 1.14 UNIT 1 BEDROOM 2
1/2" = 1'-0"

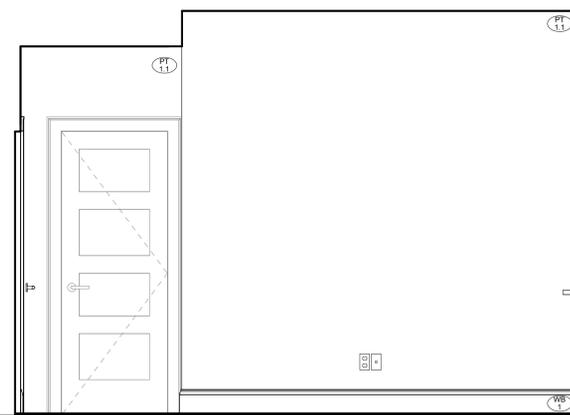
FIRST FLOOR
2' - 0"



9 1.14 UNIT 1 BEDROOM 1
1/2" = 1'-0"



11 1.14 UNIT 1 BEDROOM 3
1/2" = 1'-0"



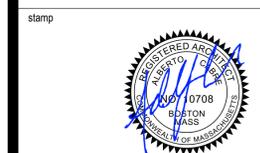
12 1.14 UNIT 1 BEDROOM 4
1/2" = 1'-0"

FIRST FLOOR
2' - 0"

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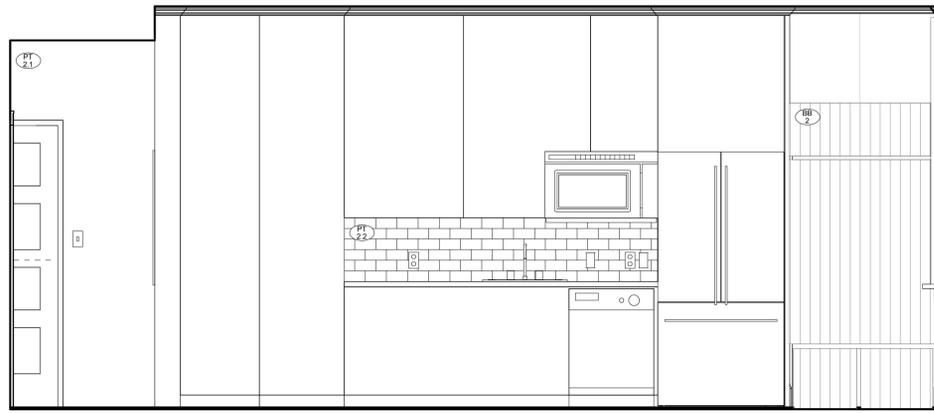
project title
BERKSHIRE STREET RESIDENCE
30 Berkshire St., Cambridge, MA 02141
client
Krissy Ellsworth, Denyce Wicht, Michael Workman
30 Berkshire Street, Cambridge, MA 02141

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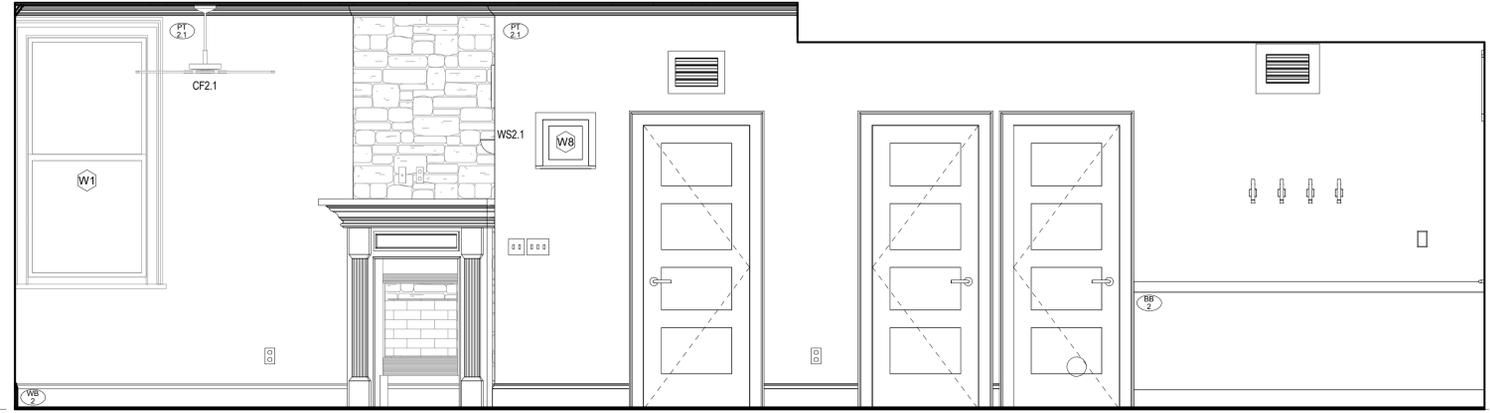
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drawing title
UNIT 1 INTERIOR ELEVATIONS

project number	drawing scale	approver
092	1/2" = 1'-0"	Approver
drawing number	revision	
A611	8	

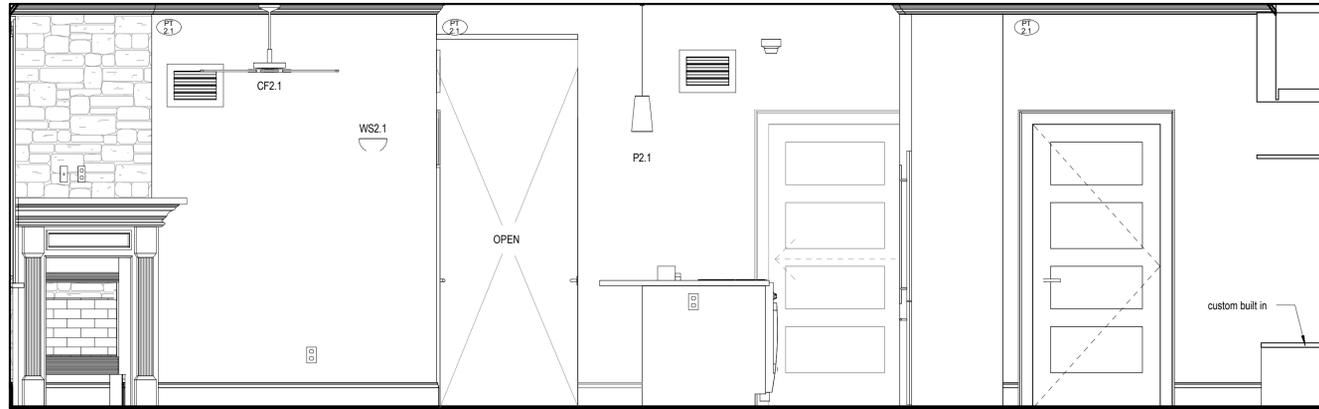


1 2.1 - UNIT 2 KITCHEN 1
1/2" = 1'-0"



2 2.1 - UNIT 2 KITCHEN 2
1/2" = 1'-0"

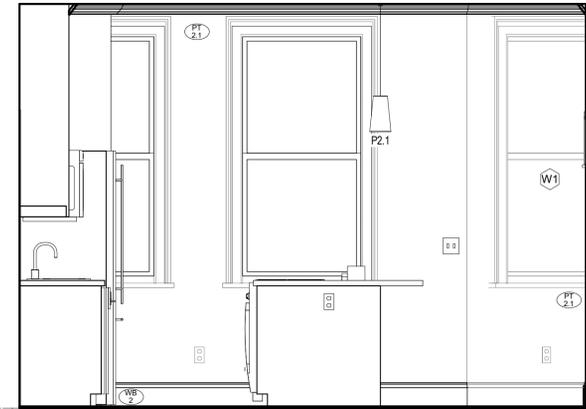
SECOND FLOOR
13' - 0"



3 2.1 - UNIT 2 KITCHEN 4
1/2" = 1'-0"

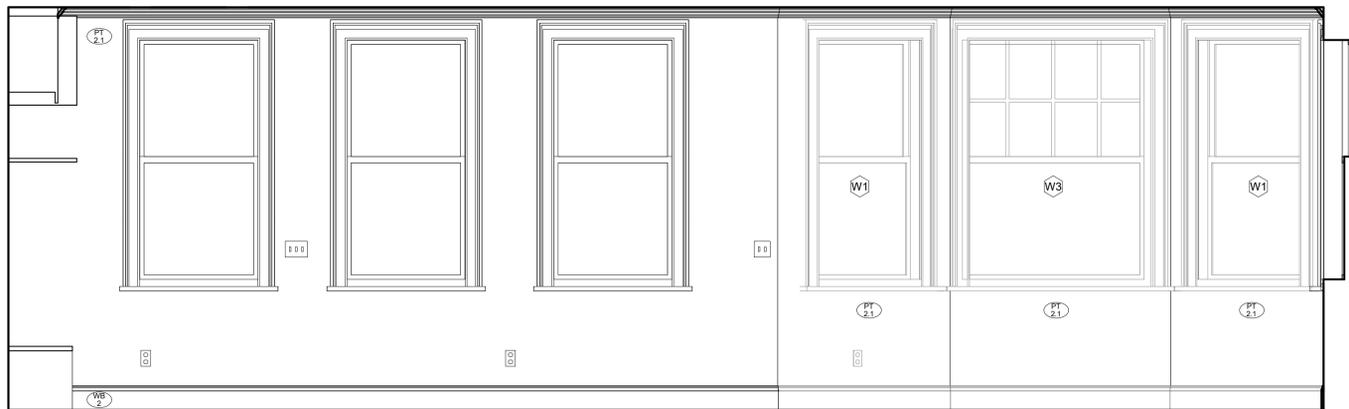


4 2.1 - UNIT 2 KITCHEN 5
1/2" = 1'-0"

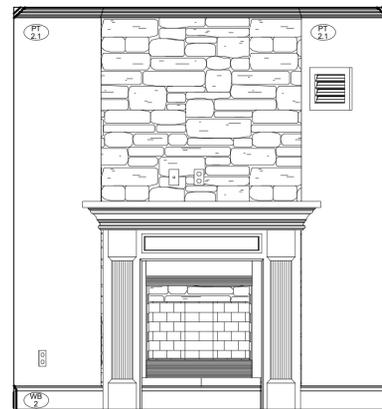


5 2.1 - UNIT 2 KITCHEN 3
1/2" = 1'-0"

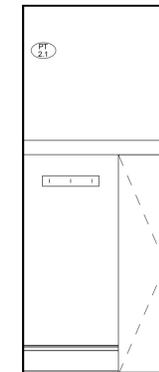
SECOND FLOOR
13' - 0"



6 2.1 - UNIT 2 KITCHEN 6
1/2" = 1'-0"

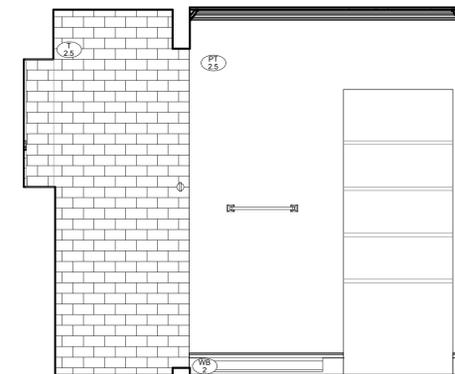


11 2.1 - UNIT 2 KITCHEN 7
1/2" = 1'-0"

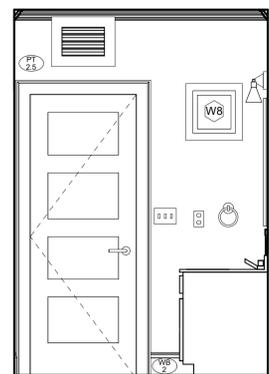


12 2.13 - UNIT 2 PANTRY
1/2" = 1'-0"

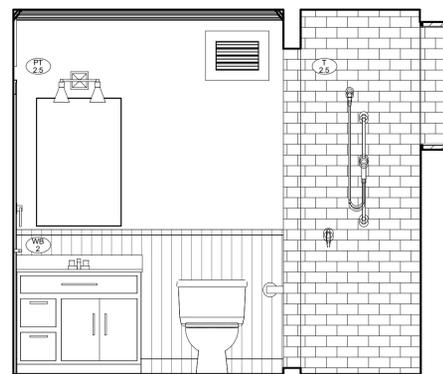
SECOND FLOOR
13' - 0"



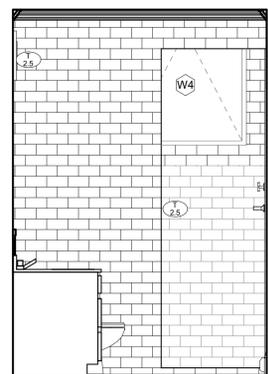
7 2.3 - UNIT 2 BATHROOM 1
1/2" = 1'-0"



8 2.3 - UNIT 2 BATHROOM 2
1/2" = 1'-0"



9 2.3 - UNIT 2 BATHROOM 3
1/2" = 1'-0"



10 2.3 - UNIT 2 BATHROOM 4
1/2" = 1'-0"

SECOND FLOOR
13' - 0"

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revision	revision description	date
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6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title
BERKSHIRE STREET RESIDENCE
30 Berkshire St., Cambridge, MA 02141

client
Krissy Ellsworth, Denyce Wicht, Michael Workman
30 Berkshire Street, Cambridge, MA 02141

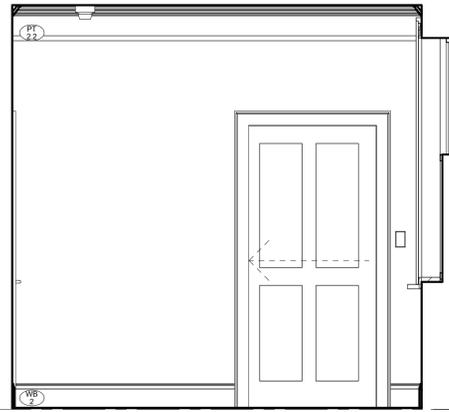
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website www.joethearchitect.com

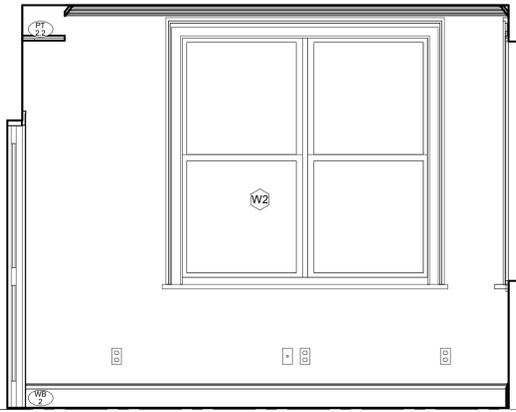
drawing title
UNIT 2 INTERIOR ELEVATIONS

project number	drawing scale	approver
092	1/2" = 1'-0"	Approver

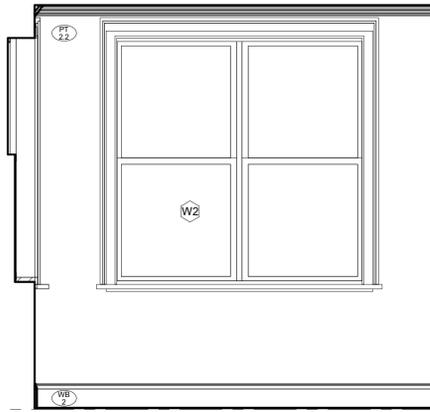
drawing number	revision
A620	8



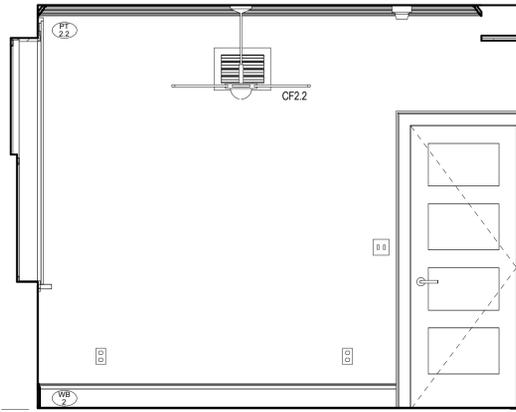
1 2.9 UNIT 2 BEDROOM 1
1/2" = 1'-0"



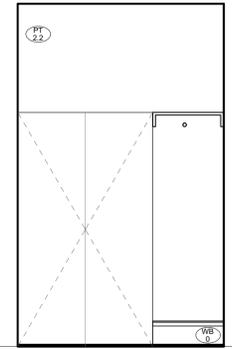
2 2.9 UNIT 2 BEDROOM 2
1/2" = 1'-0"



3 2.9 UNIT 2 BEDROOM 3
1/2" = 1'-0"

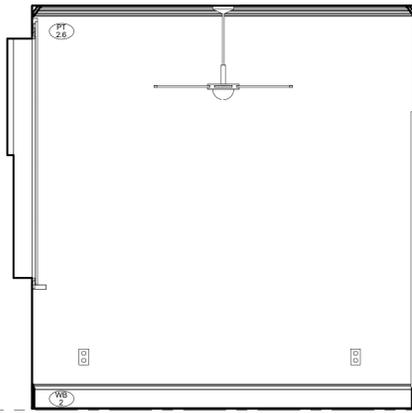


4 2.9 UNIT 2 BEDROOM 4
1/2" = 1'-0"

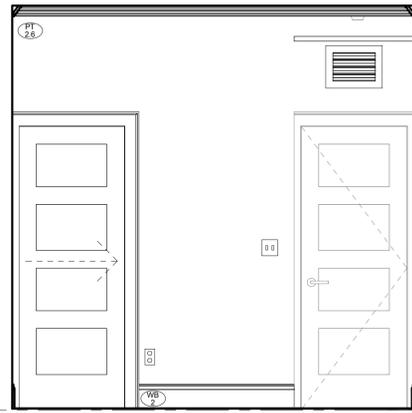


13 2.7 UNIT 2 CLOSET
1/2" = 1'-0"

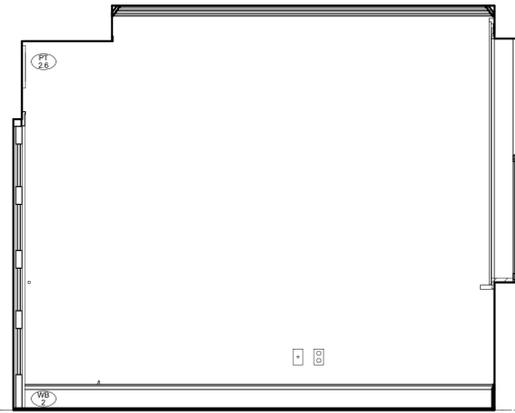
SECOND FLOOR
13' - 0"



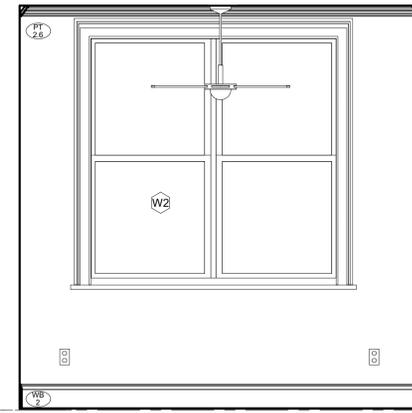
5 2.14 UNIT 2 BEDROOM 1
1/2" = 1'-0"



6 2.14 UNIT 2 BEDROOM 2
1/2" = 1'-0"

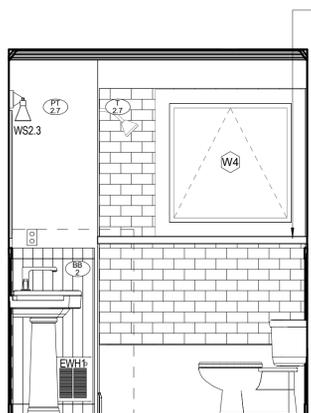


7 2.14 UNIT 2 BEDROOM 3
1/2" = 1'-0"



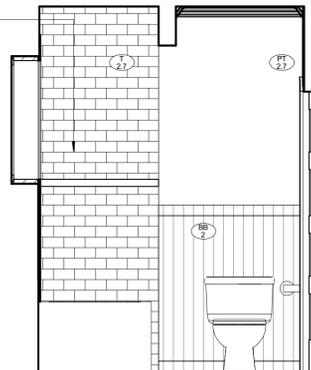
8 2.14 UNIT 2 BEDROOM 4
1/2" = 1'-0"

SECOND FLOOR
13' - 0"

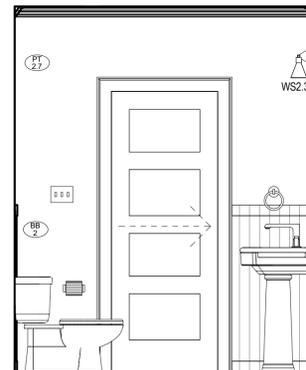


9 2.16 UNIT 2 BATHROOM 1
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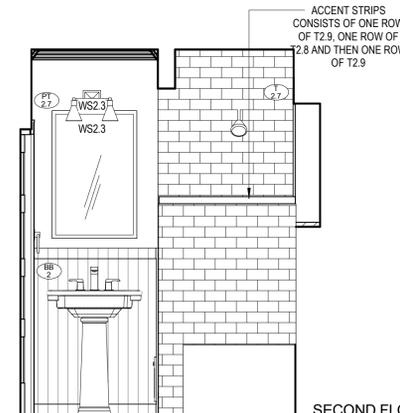
ACCENT TILE STRIPS
CONSISTS OF ONE ROW
OF T2.9, ONE ROW OF
T2.8 AND THEN ONE ROW
OF T2.9



10 2.16 UNIT 2 BATHROOM 2
1/2" = 1'-0"



11 2.16 UNIT 2 BATHROOM 3
1/2" = 1'-0"



12 2.16 UNIT 2 BATHROOM 4
1/2" = 1'-0"

SECOND FLOOR
13' - 0"

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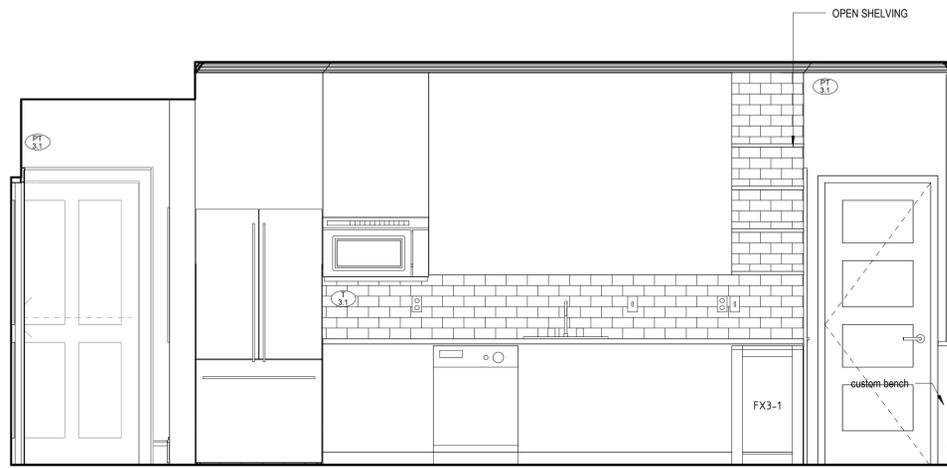
project title
BERKSHIRE STREET RESIDENCE
30 Berkshire St., Cambridge, MA 02141
client
Krissy Ellsworth, Denyce Wicht, Michael Workman
30 Berkshire Street, Cambridge, MA 02141

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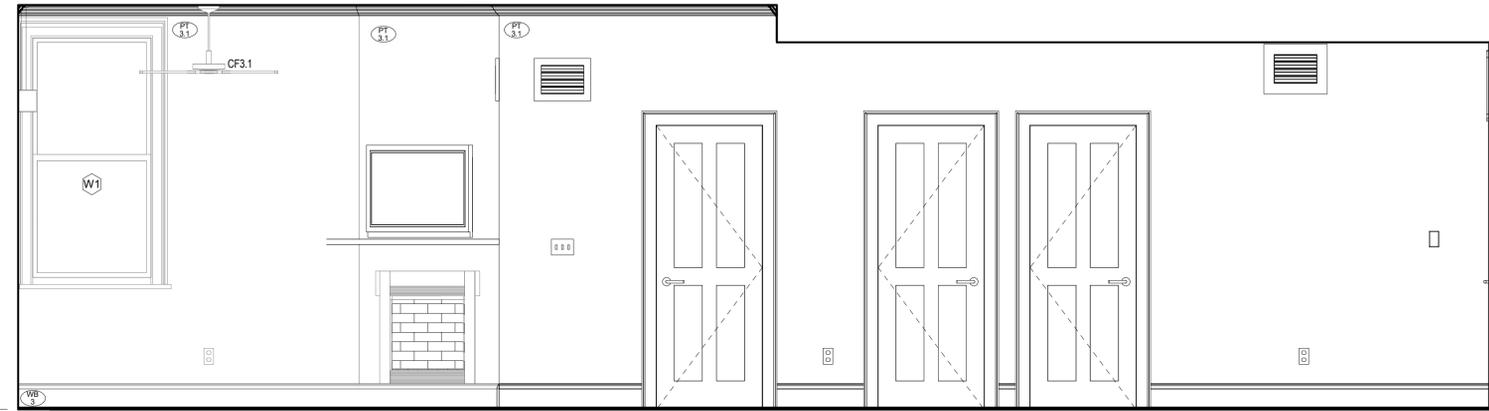
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t: +1(617) 764-3593
e: info@joethearchitect.com
website www.joethearchitect.com

drawing title
UNIT 2 INTERIOR ELEVATIONS

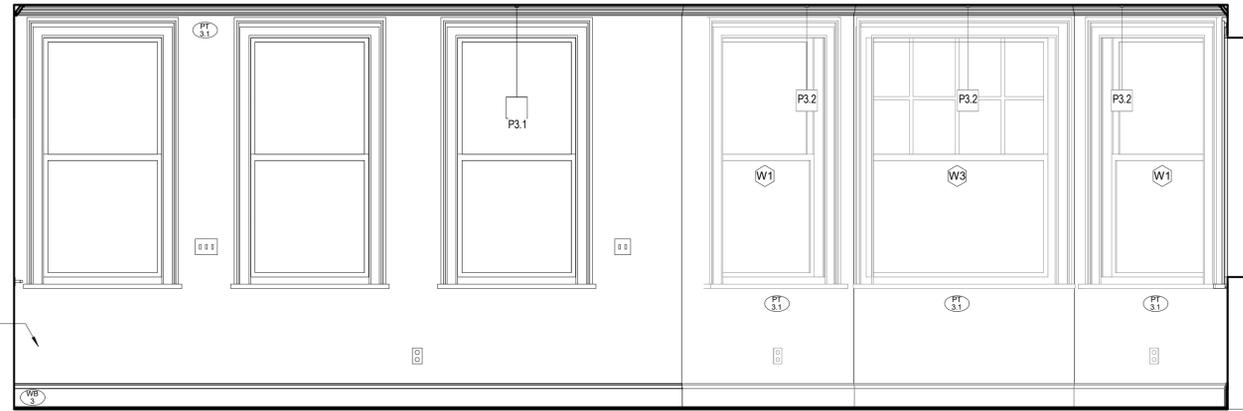
project number	drawing scale	approver
092	1/2" = 1'-0"	Approver
drawing number	revision	
A621	8	



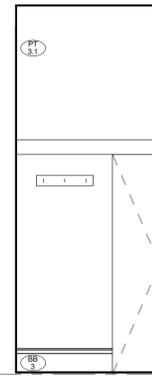
1 3.5 - UNIT 3 KITCHEN A
1/2" = 1'-0"



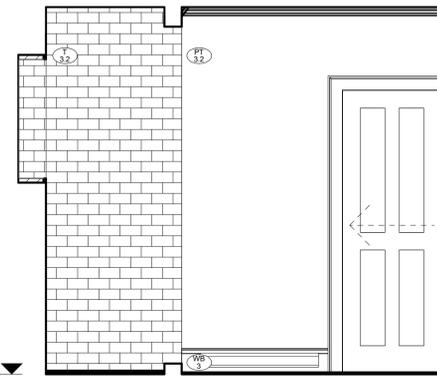
2 3.5 - UNIT 3 KITCHEN B
1/2" = 1'-0"



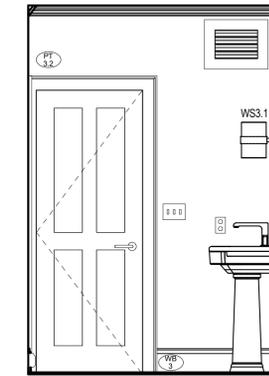
3 3.5 - UNIT 3 KITCHEN C
1/2" = 1'-0"



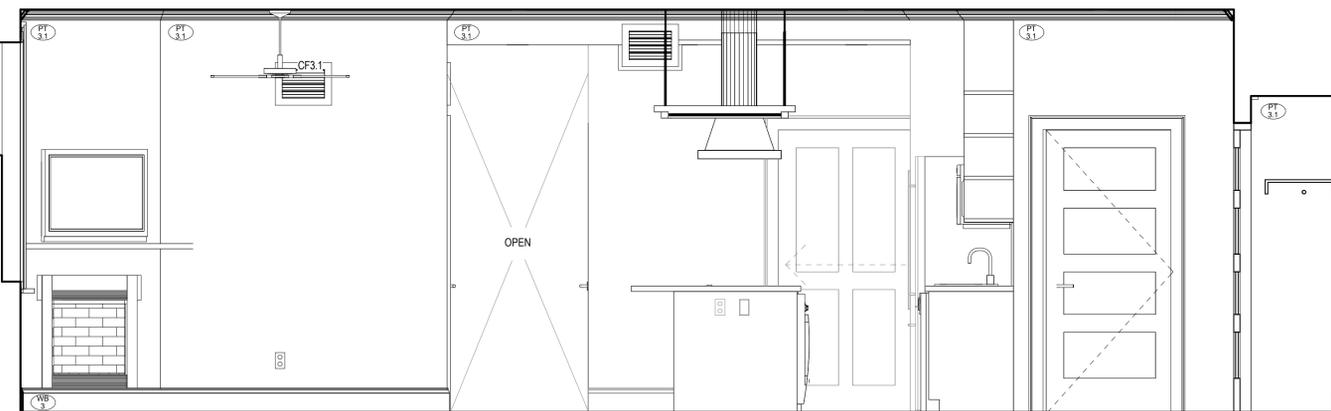
9 3.13 - UNIT 3 PANTRY
1/2" = 1'-0"



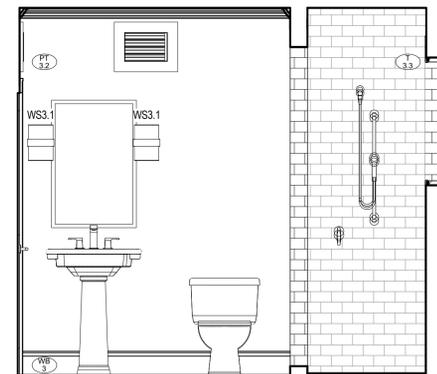
5 3.6 - UNIT 3 BATHROOM A
1/2" = 1'-0"



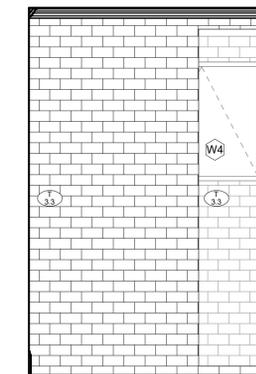
6 3.6 - UNIT 3 BATHROOM B
1/2" = 1'-0"



4 3.5 - UNIT 3 KITCHEN D
1/2" = 1'-0"



7 3.6 - UNIT 3 BATHROOM C
1/2" = 1'-0"



8 3.6 - UNIT 3 BATHROOM D
1/2" = 1'-0"

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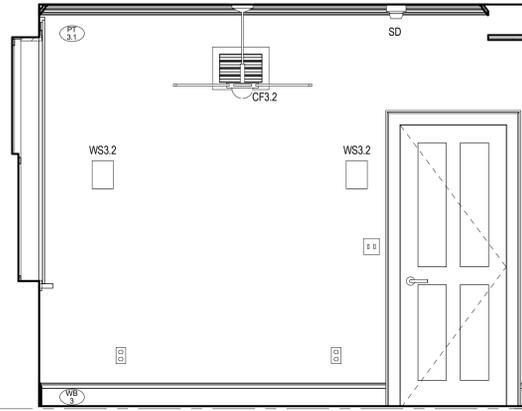
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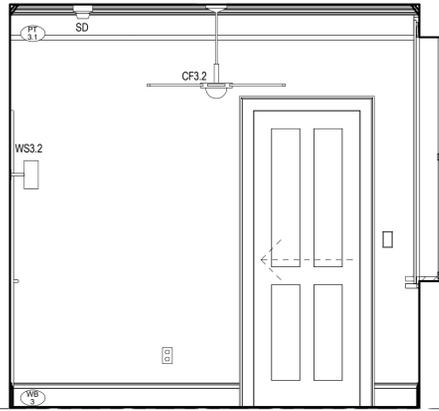
website www.joethearchitect.com

drawing title
UNIT 3 INTERIOR ELEVATIONS

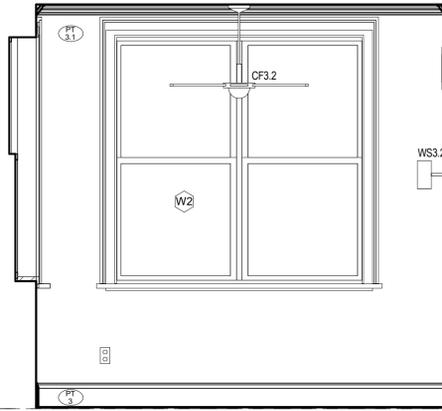
project number	drawing scale	approver
092	1/2" = 1'-0"	Approver
drawing number	revision	
A630	8	



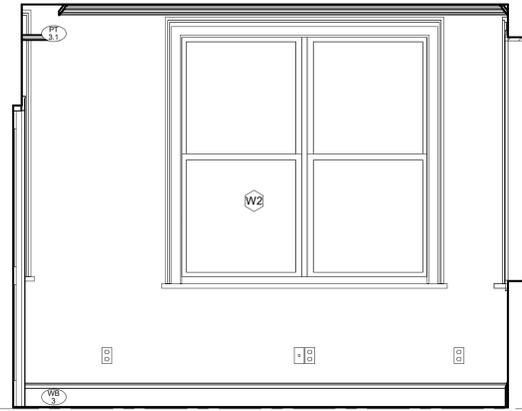
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1/2" = 1'-0"



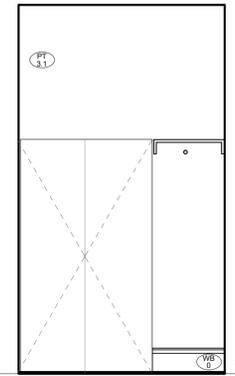
2 3.10 UNIT 3 BEDROOM 2
1/2" = 1'-0"



3 3.10 UNIT 3 BEDROOM 3
1/2" = 1'-0"

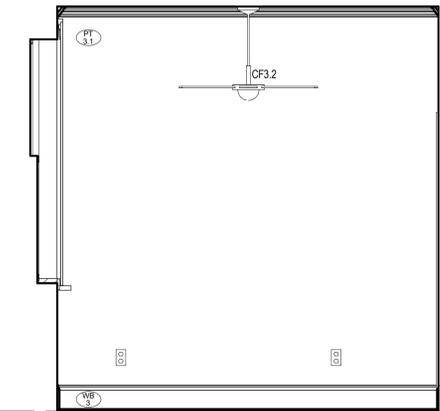


4 3.10 UNIT 3 BEDROOM 4
1/2" = 1'-0"

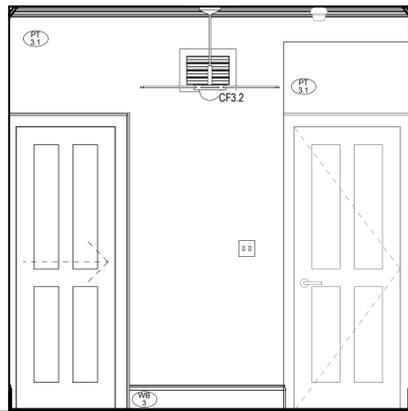


13 Elevation 2 - a
1/2" = 1'-0"

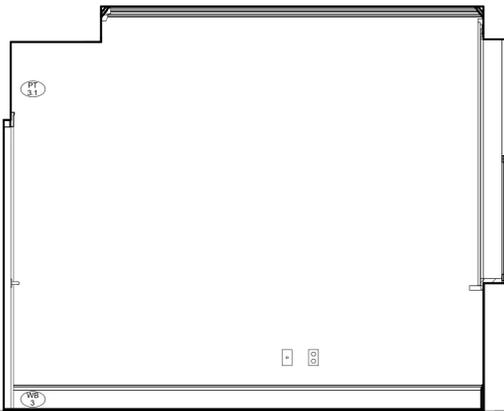
THIRD FLOOR
24' - 0"



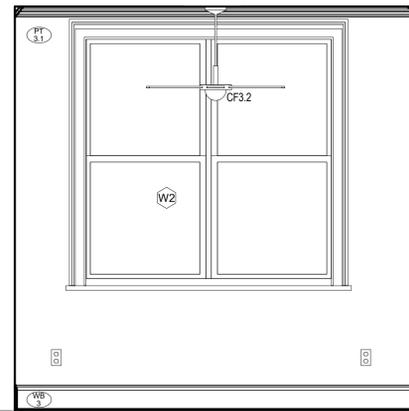
5 3.14 UNIT 3 BEDROOM 1
1/2" = 1'-0"



6 3.14 UNIT 3 BEDROOM 2
1/2" = 1'-0"



7 3.14 UNIT 3 BEDROOM 3
1/2" = 1'-0"

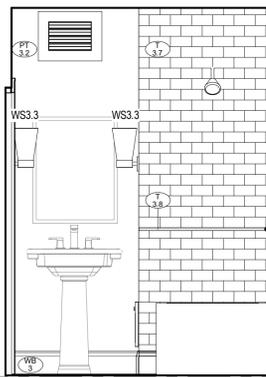


8 3.14 UNIT 3 BEDROOM 4
1/2" = 1'-0"

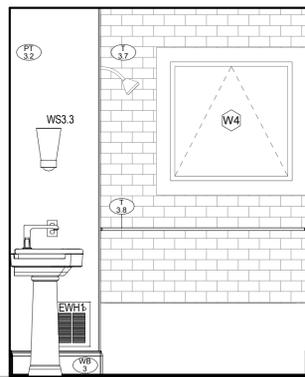
THIRD FLOOR
24' - 0"



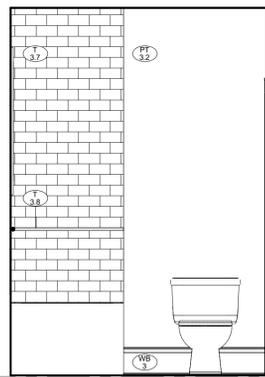
9 3.16 UNIT 3 BATHROOM 1
1/2" = 1'-0"



10 3.16 UNIT 3 BATHROOM 2
1/2" = 1'-0"



11 3.16 UNIT 3 BATHROOM 3
1/2" = 1'-0"



12 3.16 UNIT 3 BATHROOM 4
1/2" = 1'-0"

THIRD FLOOR
24' - 0"

For Permit

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contractor/consultant

stamp



revision	revision description	date
4	FOR PRICING	09/14/2017
5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client
Krissy Ellsworth, Denyce Wicht, Michael Workman
30 Berkshire Street, Cambridge, MA 02141

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drawing title
UNIT 3 INTERIOR ELEVATIONS

project number	drawing scale	approver
092	1/2" = 1'-0"	Approver
drawing number	revision	
A631	8	

A631

8



▲ 1



▲ 1P



▲ 2



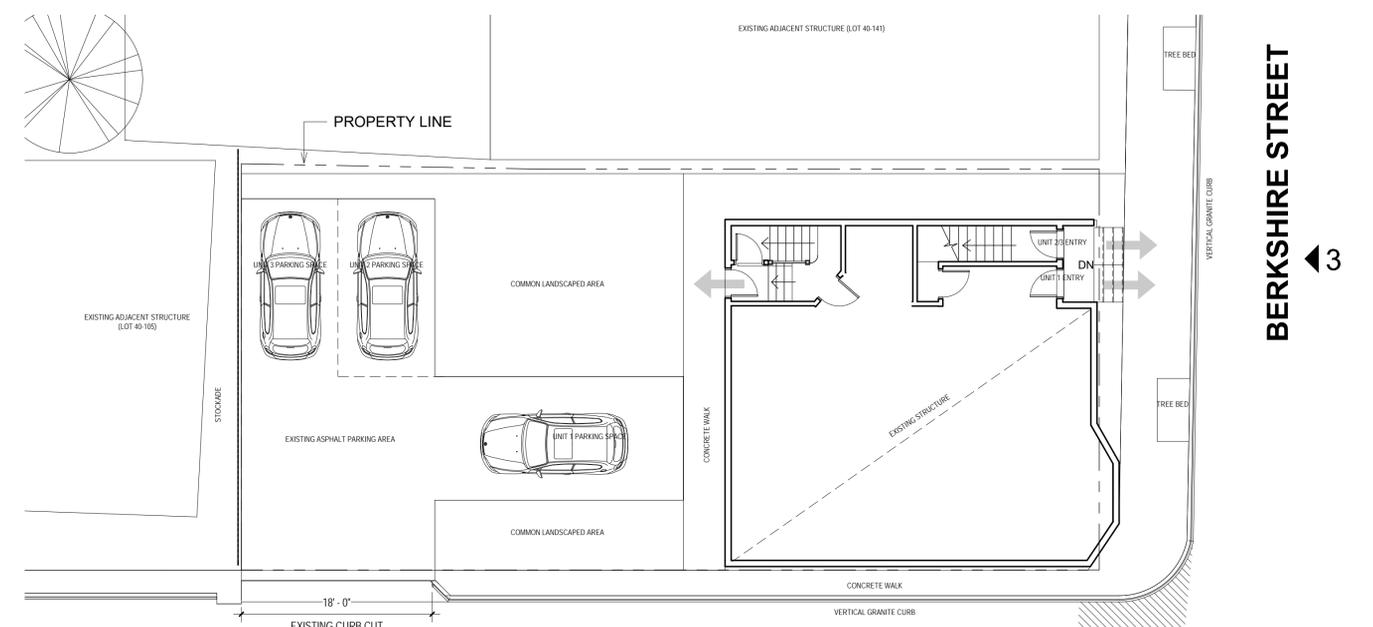
▲ 2P



▲ 3



▲ 3P

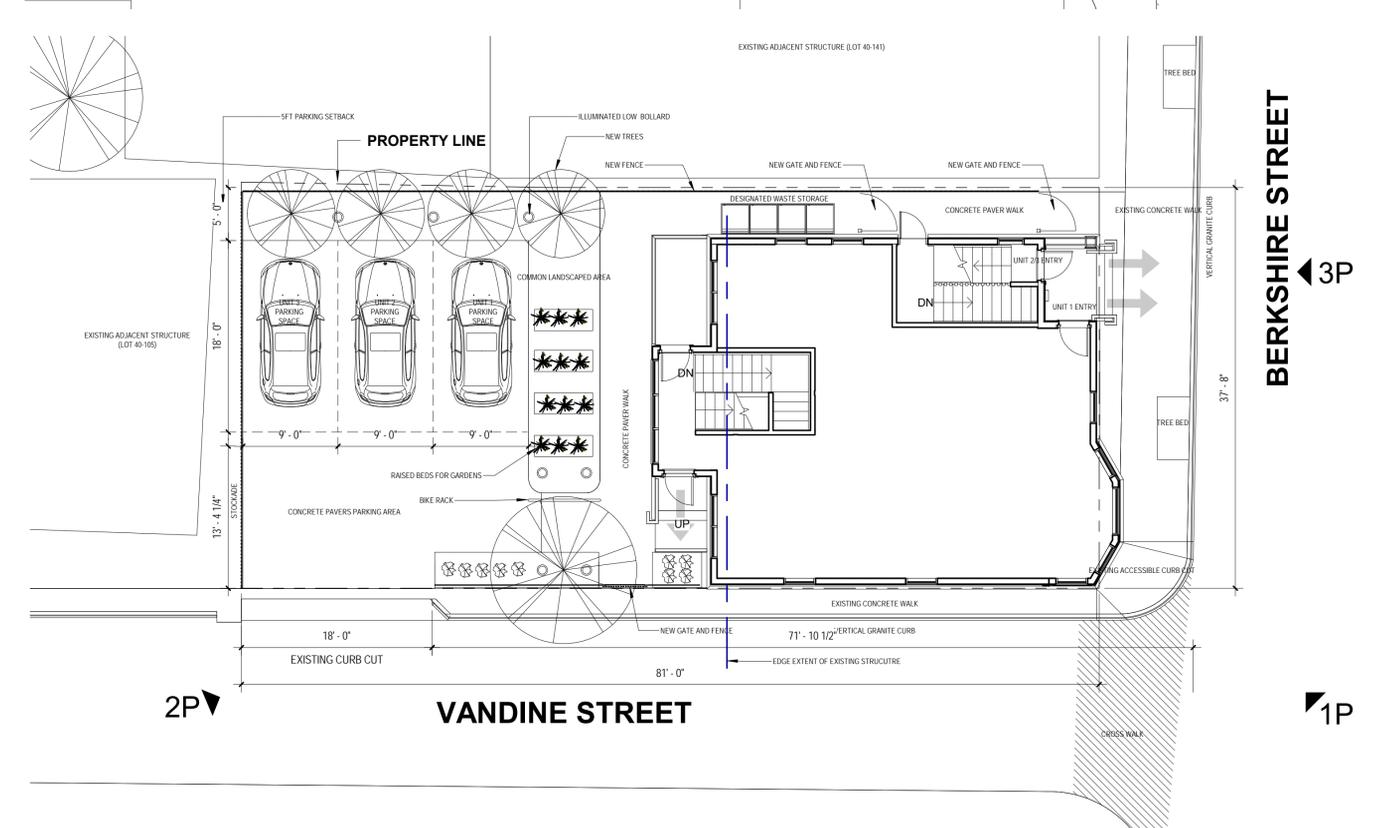


2▼

VANDINE STREET

▲ 1

EXISTING SITE CONTEXT



2P▼

VANDINE STREET

▲ 1P

PROPOSED SITE CONTEXT

drawing scale 1/8" = 1'-0" project number 092 drawing number APZ01 revision

For Zoning

BERKSHIRE STREET RESIDENCE

30 BERKSHIRE STREET, CAMBRIDGE, MA 02141

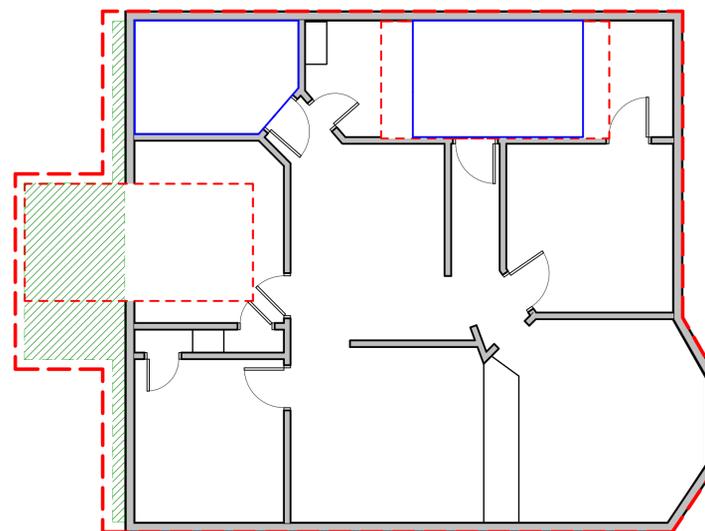
SITE CONTEXT

JOE THE ARCHITECT
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 website www.joethearchitect.com

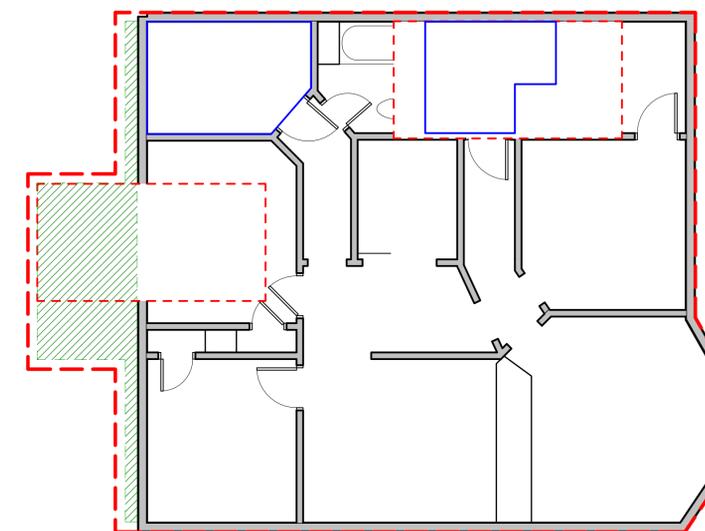
PROJECT DATA			
PROPERTY CLASS	CONDOMINIUM		
STATE CLASS CODE	102		
MAP/LOT	40-140-1		
NEIGHBORHOOD	WELLINGTON HARRINGTON - NEIGHBORHOOD 3		
CITY OF CAMBRIDGE ZONING ORDINANCE: INCLUDING AMMENDMENTS APPROVED BY THE CITY COUNCIL UP TO ORDINANCE #1382 ORDAINED ON MAY 25, 2016.			
ZONING MAP OF THE CITY OF CAMBRIDGE ADOPTED FEB. 13, 1961 WITH CHANGES THROUGH AND INCLUDING ORDINANCE #1372 OF OCT. 19, 2015.			
DIMENSIONAL REGULATIONS DISTRICT C-1 MULTIFAMILY DWELLINGS			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	5,000SF	3,058SF	3,058SF
TOTAL FRONTAGE	--	37'-8"	37'-8"
FLOOR AREA RATIO (FAR)	2,294SF (.75)	3,660SF (1.2)	3,813SF (1.2)
MIN. LOT AREA/ DU	1,500SF	--	UNIT 1: 977SF UNIT 2: 1,010SF UNIT 3: 1,010SF
MINIMUM LOT WIDTH	50'-0"	37'-8"	37'-8"
BUILDING HEIGHT	35'-0" MAX	35'-0"	35'-0"
MINIMUM YARD DIMENSIONS (BASED ON BUILDING HEIGHT/LENGTH)			
FRONT SETBACK: (H+L)/4	16'-8"FT	16'-8"FT	16'-8"FT
MIN SIDE SETBACK: (H+L)/5	7'-6" MIN	4'-6"FT	4'-6"FT
MIN REAR SETBACK: (H+L)/4	20'-0" MIN	43'-10"FT	38'-9"FT
OPEN SPACE MIN AS % OF GROSS FLR AREA	30% 917SF	60% 1,838SF	55% 1,687SF
PROPOSED BUILDING AREA INCLUDING BASEMENT	--	4,630SF	5,015SF
BALCONIES/DECK	--	0SF	168SF
PARKING REGULATIONS			
	REQUIRED	EXISTING	PROPOSED
PARKING SPACES PER DWELLING	1/DU	1/DU	1/DU
TOTAL PARKING SPACES	3	3	3
PARKING NOTES: 1. SPECIAL PERMIT GRANTING AUTHORITY MAY REQUIRE VISITOR SPACES IN EXCESS OF THE MINIMUM.			

Stair Internal Area Comparison		
	Existing Stair Diagram	Existing Stair Non Code Compliant
Basement		25sf
First Floor		70+45=115sf
Second Floor		70+78=148sf
Third Floor		69+49=118sf
Total		406sf Existing
New Stair Diagram		
	New Stair Diagram	New Stair Code Compliant
Basement		57sf+62sf= 119sf
First Floor		105+98=203sf
Second Floor		105+105=210sf
Third Floor		104+106=210sf
Total		742sf New
Area Difference Diagram		
	Area Difference Diagram	Area Delta Due to Code
Basement		119-25=94sf
First Floor		203-115=88sf
Second Floor		210-118=92sf
Third Floor		210-118=92sf
Total		336sf Delta

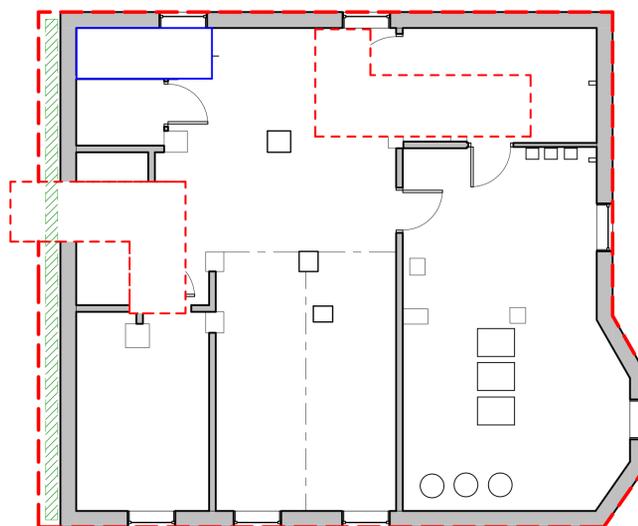
- New Building Footprint
- New Stair Circulation
- Additional SF Delta Driven By Code Compliant Stair



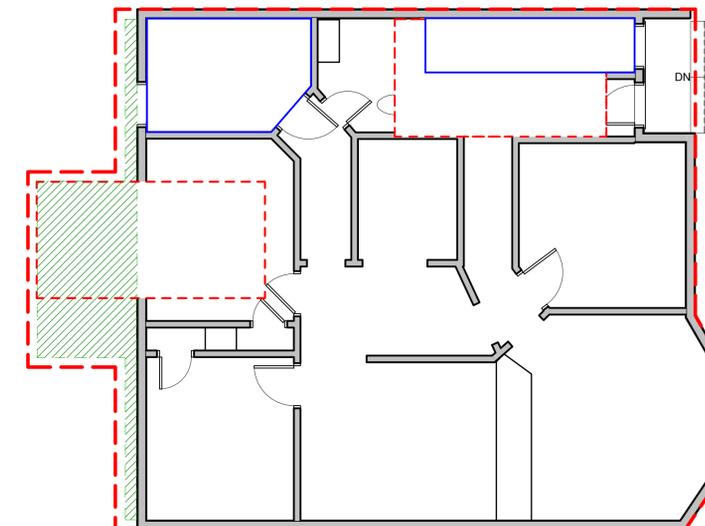
SECOND FLOOR



THIRD FLOOR



BASEMENT



FIRST FLOOR

NARRATIVE

Diagrams depicted on this sheet indicate the existing building vertical circulation square footage which is not compliant to current code. Rebuilding the vertical circulation to the current code requirements within the existing building volume will result in a loss of livable square footage.

The area calculations above depict what the total area of a compliant stair would require. The proposed building footprint has been expanded to account for the lose in living space required to build code compliant circulation and retain equivalent livable square footage in the building.

drawing scale As indicated project number 092 drawing number AP202 revision

For Zoning

BERKSHIRE STREET RESIDENCE

30 BERKSHIRE STREET, CAMBRIDGE, MA 02141

CODE ANALYSIS DIAGRAMS



▲ 1P



▲ 2P



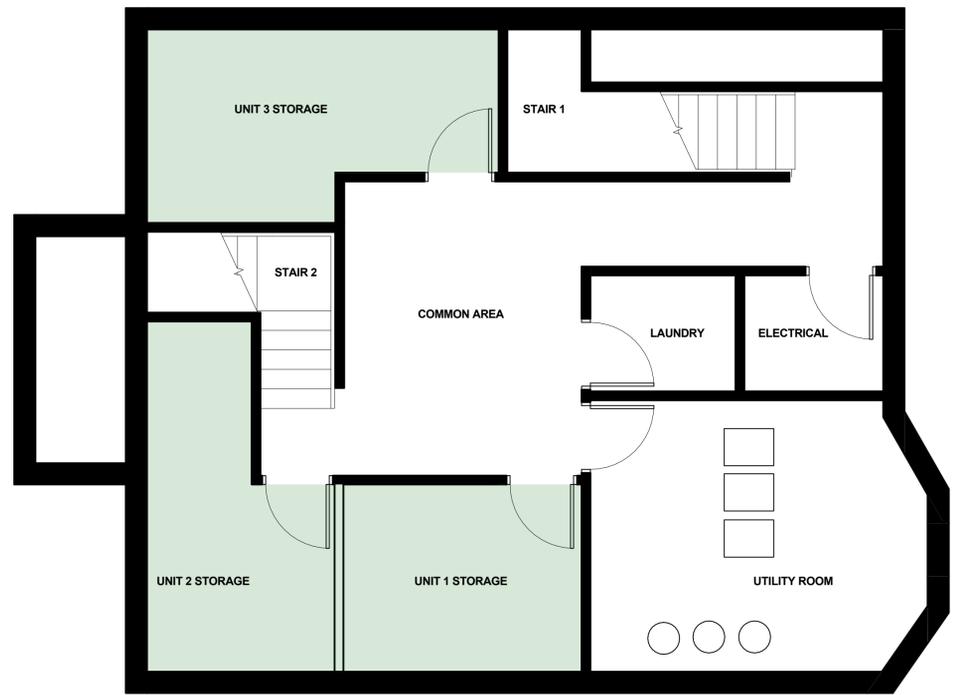
▲ 3P



THIRD FLOOR UNIT 3



SECOND FLOOR UNIT 2



BASEMENT SHARED STORAGE AND UTILITY



FIRST FLOOR UNIT 1

drawing scale: As indicated project number: 092 drawing number: AP203 revision:

For Zoning

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30 BERKSHIRE STREET, CAMBRIDGE, MA 02141

RESIDENTIAL UNIT PLANS



BERKSHIRE STREET VIEW



VANDINE STREET VIEW



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

Not For Construction

BERKSHIRE STREET RESIDENCE

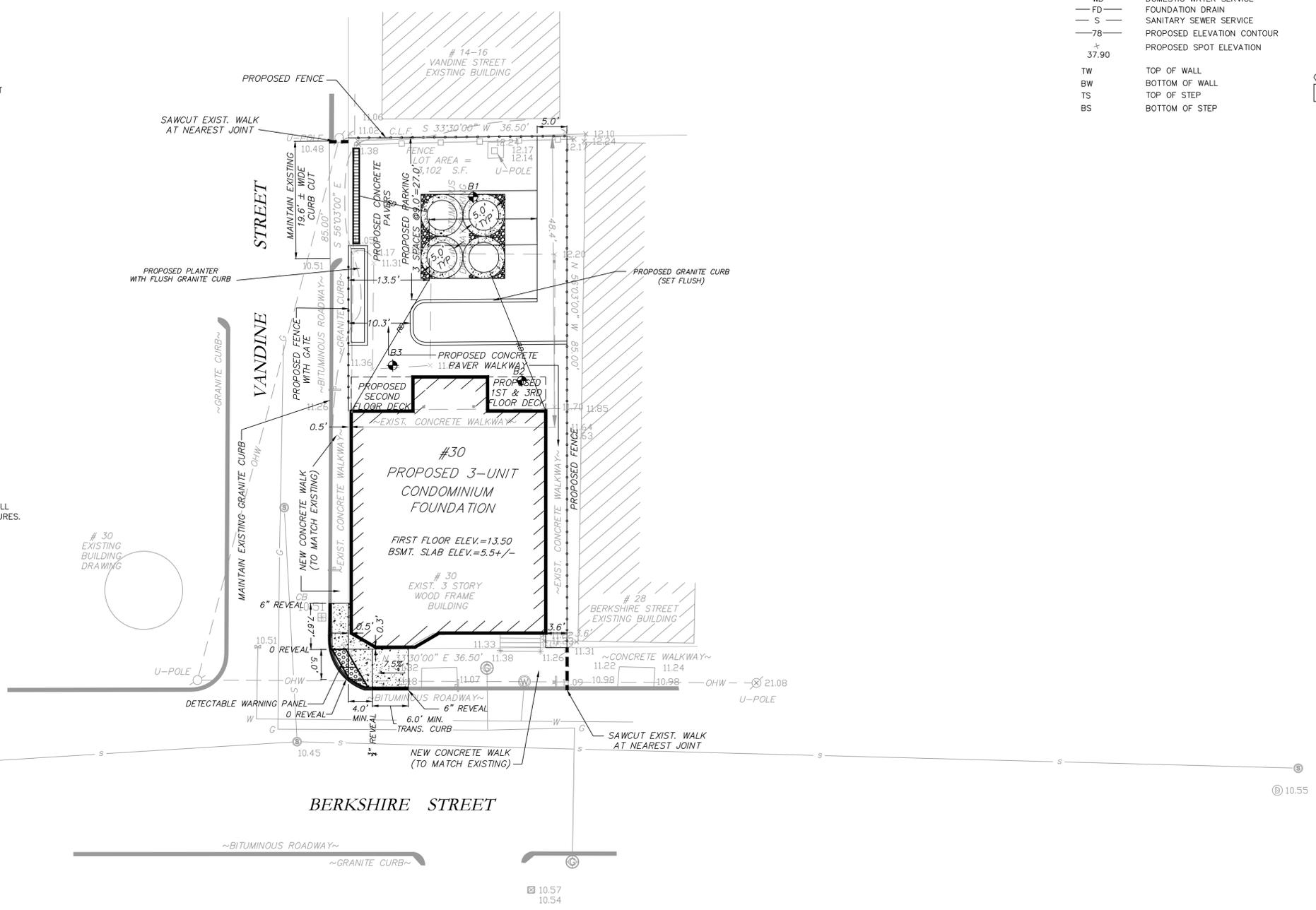
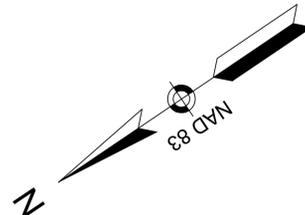
30 BERKSHIRE STREET, CAMBRIDGE, MA 02141

drawing scale 1/8" = 1'-0" project number 092 drawing number AP204 revision

ELEVATIONS & AERIAL VIEWS

CONSTRUCTION NOTES

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LEGEND:

● CO	CLEANOUT
● DMH	STORM DRAIN MANHOLE
● SMH	SANITARY SEWER MANHOLE
■ CB	CATCH BASIN
⊕	GATE VALVE
INV	INVERT
L	LENGTH
S	SLOPE
PVC	POLYVINYL CHLORIDE PIPE
PROP	PROPOSED
EXIST	EXISTING
CLDI	CEMENT LINED DUCTILE IRON
CI	CAST IRON
BSMT.	BASEMENT
FL.	FLOOR
ELEV.	ELEVATION
DS	DOWNSPOUT
CONN.	CONNECTION
PERF. P.E.	PERFORATED POLYETHYLENE PIPE
—RD—	ROOF DRAIN COLLECTOR
—D—	STORM DRAIN
—W/F—	FIRE PROTECTION WATER SERVICE
—WD—	DOMESTIC WATER SERVICE
—FD—	FOUNDATION DRAIN
—S—	SANITARY SEWER SERVICE
—76—	PROPOSED ELEVATION CONTOUR
+ 37.90	PROPOSED SPOT ELEVATION
TW	TOP OF WALL
BW	BOTTOM OF WALL
TS	TOP OF STEP
BS	BOTTOM OF STEP

Site Engineering Consultants, Inc.
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 CONSULTING CIVIL ENGINEERS

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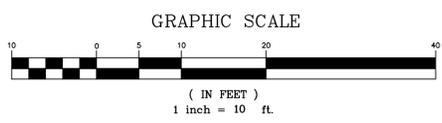
revision

project title
 BERKSHIRE STREET RESIDENCE
 30 Berkshire St., Cambridge, MA 02141
 client
 Krissy Ellsworth, Denyce Wicht, Michael Workman
 30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

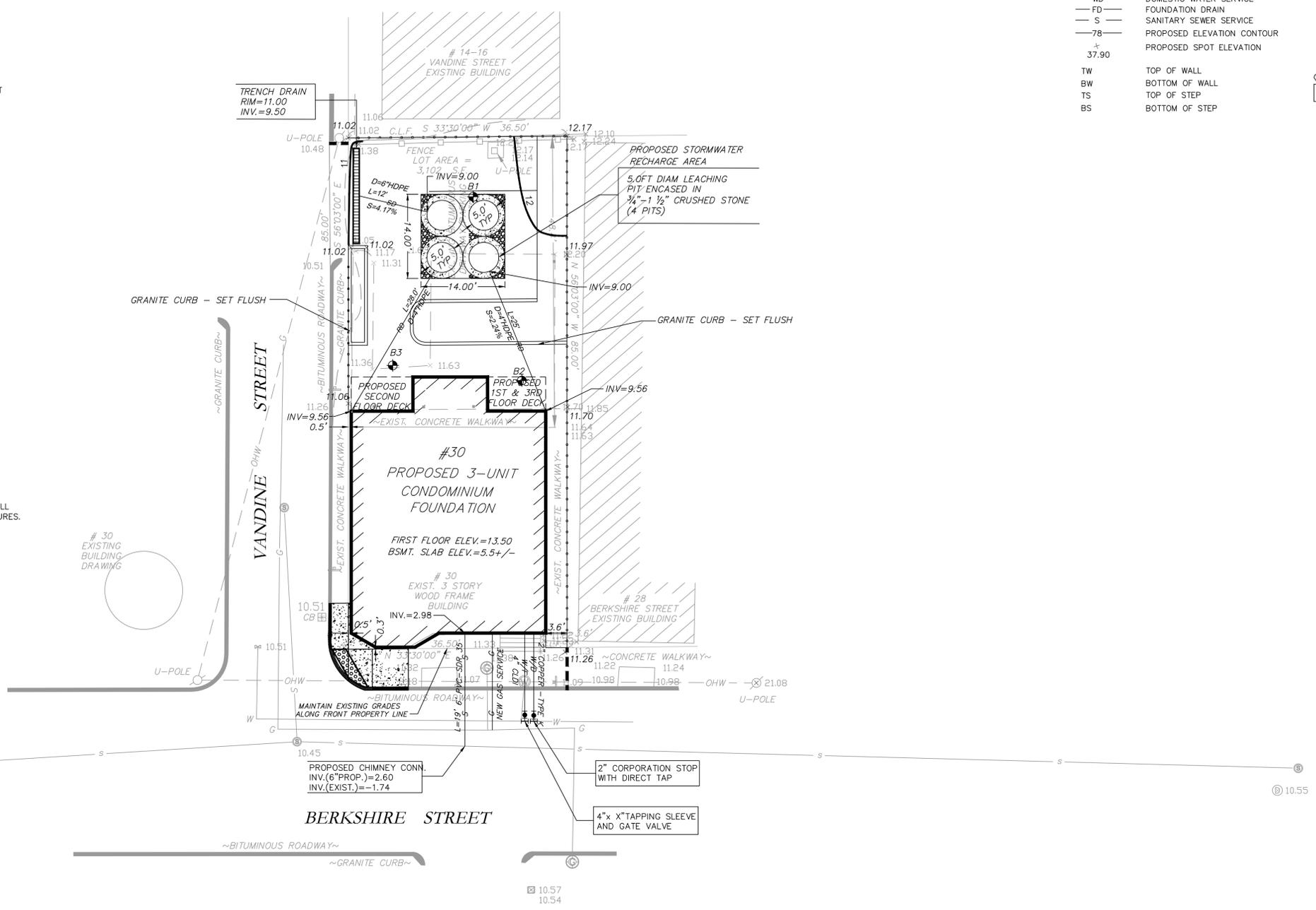
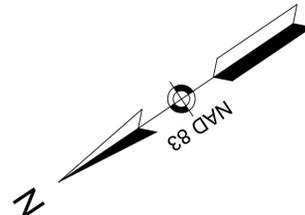
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 e: info@joethearchitect.com
 website www.joethearchitect.com

drawing title		
LAYOUT & MATERIALS		
project number	drawing scale	approver
092	As indicated	
drawing number		revision



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PROP	PROPOSED
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CLDI	CEMENT LINED DUCTILE IRON
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 30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

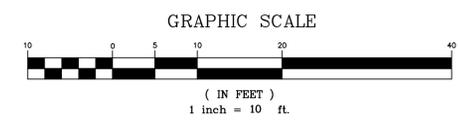
somerville 343 Medford Street, Suite 4C
 Somerville, MA 02145
 t: +1(617) 764-3593
 e: info@joethearchitect.com

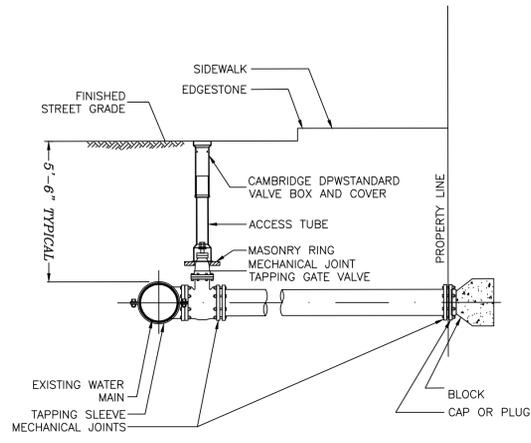
website www.joethearchitect.com

drawing title

GRADING, DRAINAGE & UTILITIES

project number	drawing scale	approver
092	As indicated	
drawing number		revision

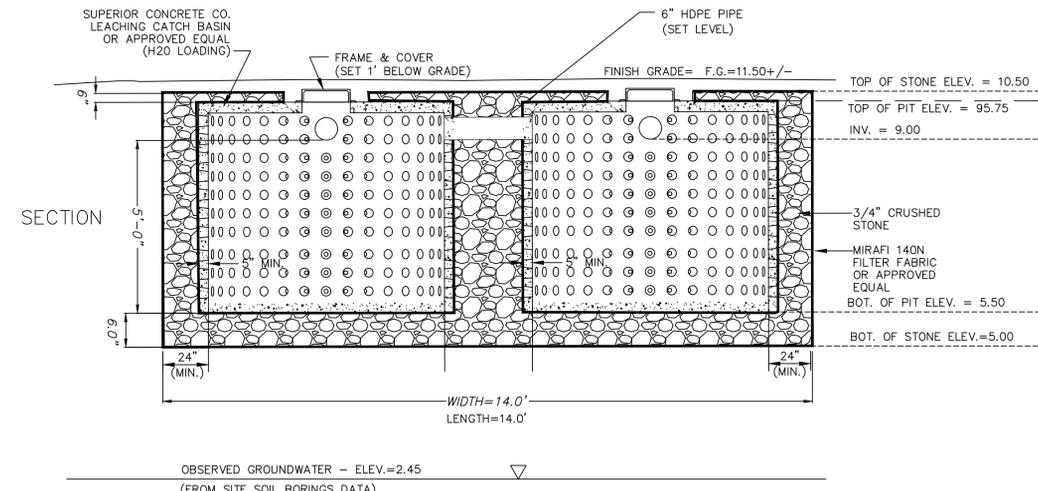
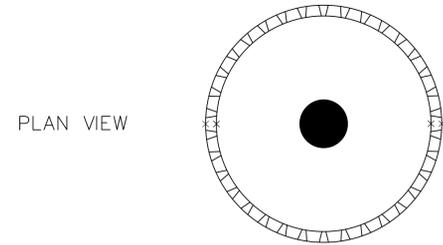




NOTES:
 - CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
 - USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
 - SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

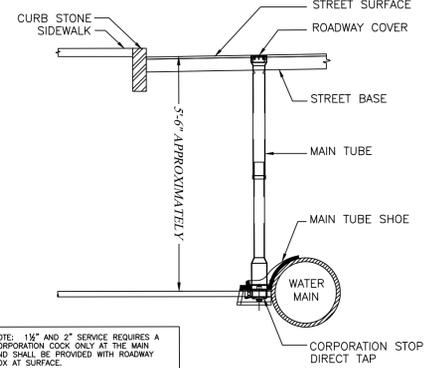
TAPPING SLEEVE AND GATE VALVE DETAIL

N.T.S.



LEACHING CHAMBER RECHARGE SYSTEM STORMWATER RECHARGE CROSS SECTION DETAIL, TYP.

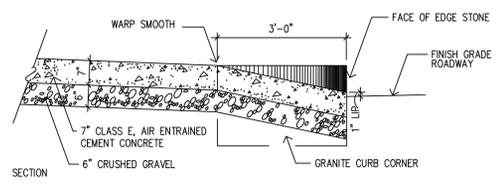
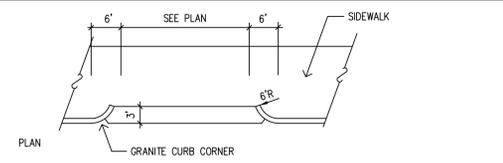
N.T.S.



NOTE: 1 1/2" AND 2" SERVICE REQUIRES A CORPORATION COCK ONLY AT THE MAIN AND SHALL BE PROVIDED WITH ROADWAY BOX AT SURFACE.

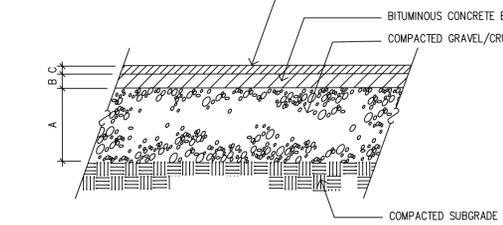
TYPICAL WATER SERVICE CONNECTION 1-1/2" TO 2" WATER SERVICE LINES

N.T.S.



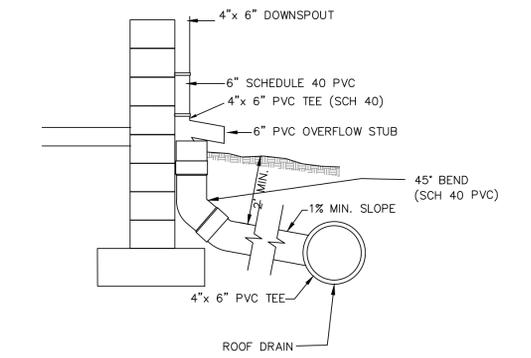
CURB CUT

N.T.S.



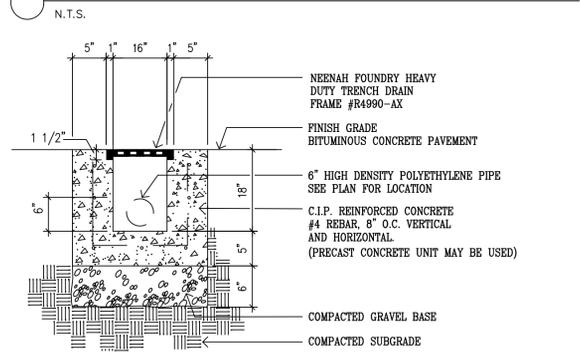
BITUMINOUS CONCRETE PAVEMENT DETAIL

N.T.S.



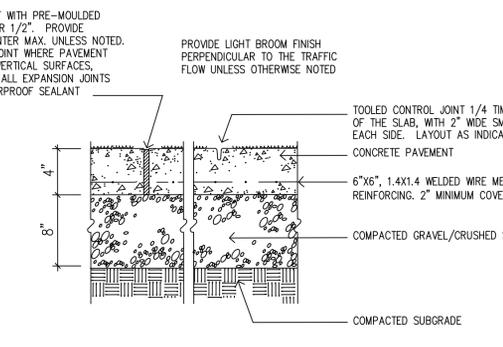
ROOF DRAIN COLLECTOR DETAIL

N.T.S.



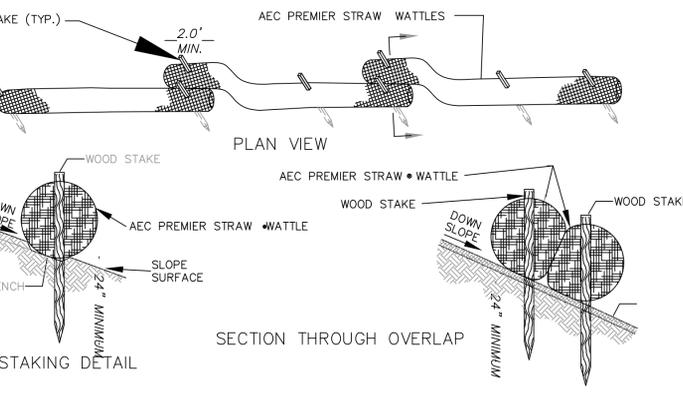
TRENCH DRAIN DETAIL

N.T.S.



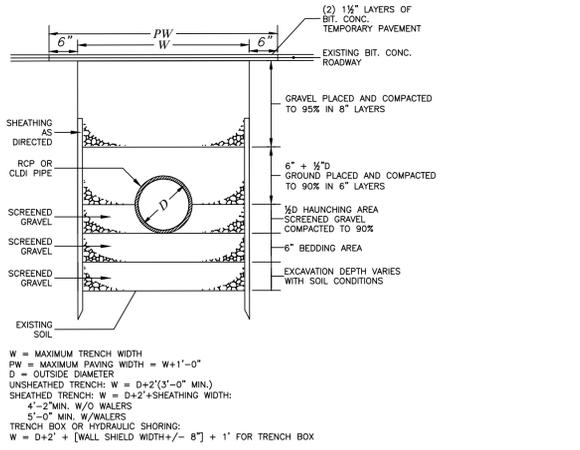
CEMENT CONCRETE WALKWAY PAVEMENT DETAIL

N.T.S.



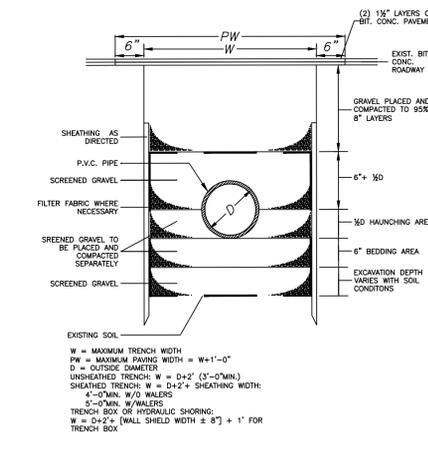
EROSION CONTROL BARRIER DETAILS (STRAW WATTLE)

N.T.S.



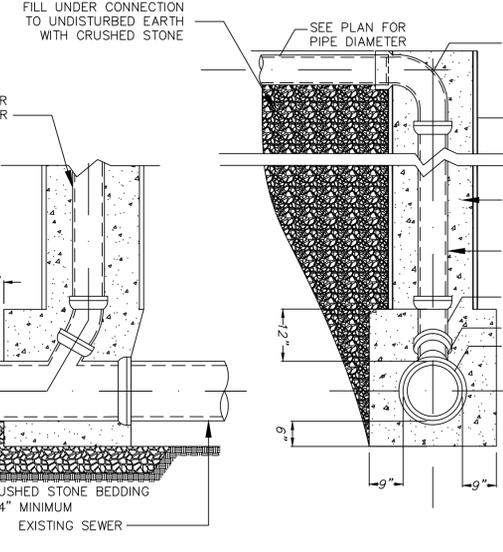
TRENCH SECTION - RCP/CLDI PIPE

N.T.S.



TRENCH SECTION - PVC PIPE

N.T.S.



SEWER CHIMNEY CONNECTION DETAIL

N.T.S.

Site Engineering Consultants, Inc.
 55 Grape Shot Road
 Sharon, Massachusetts 02067
 TEL: (781) 764-0326
 FAX: (781) 764-0482
 CONSULTING CIVIL ENGINEERS

For Permit

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 Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or displayed without the written consent of the architect. Contractors to use Architectural drawings for any use. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or filed. All work to comply with I.B.C., Regulations and relevant American Standards. © 2017 - all rights reserved.

contractor/consultant



stamp

revision

project title

client

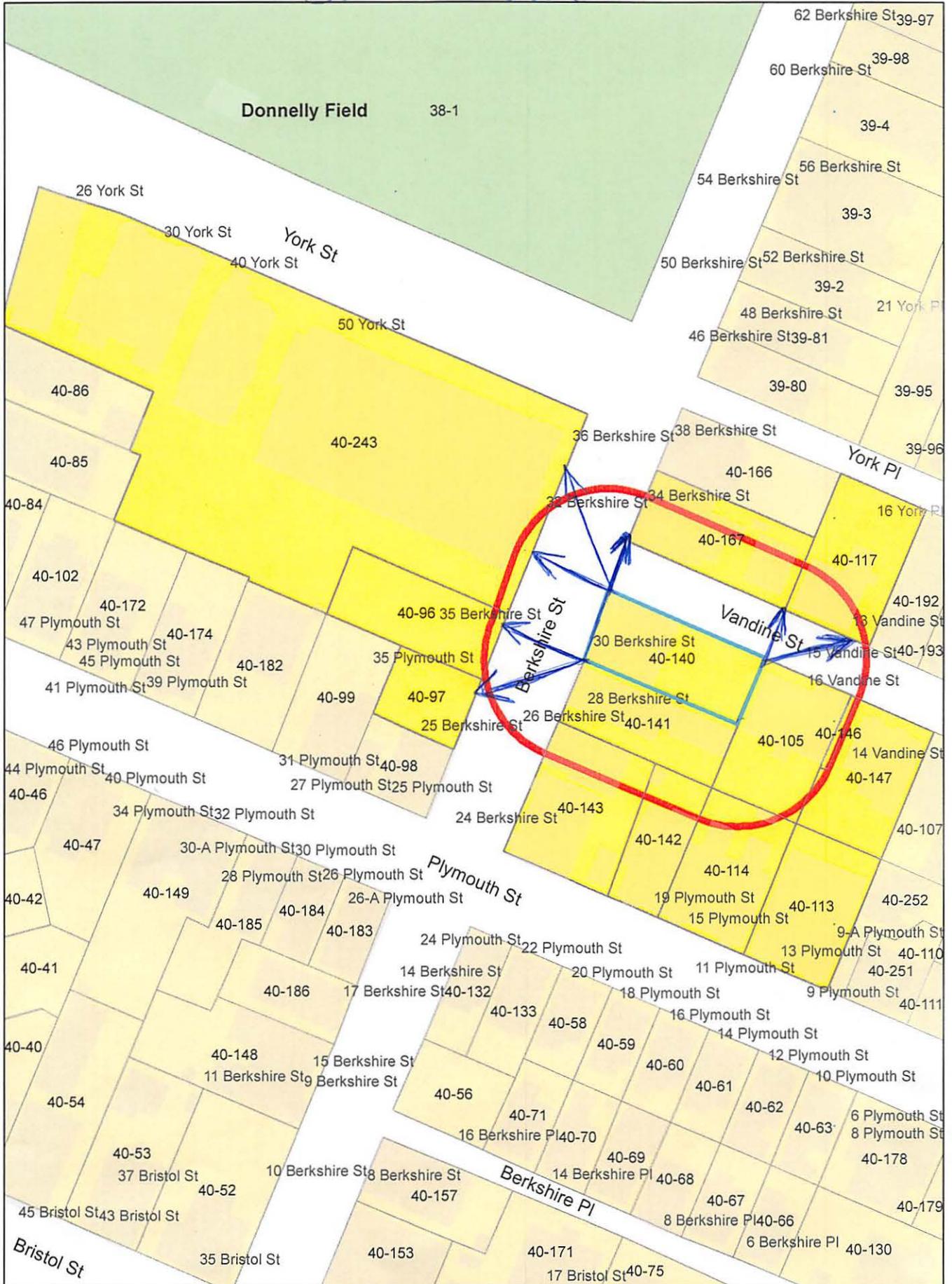
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 drawing title

drawing number drawing scale approver drawing number revision

DETAILS

30 Berkshire St.



30 Berkshire St

Petitioner

40-96
KHF PLYMOUTH LLC
1551 CENTRAL ST
STOUGHTON, MA 02072

40-97
DELL'OLIO, RICHARD, ANDREW, LINDA, CARON
C/O 25-27 BERKSHIRE LLC
228 WESTERN AVE
CAMBRIDGE, MA 02139

NAVEM PARTNERS
C/O JAMES HEFFERMAN
18 NEWBURY STREET - 4TH FL.
BOSTON, MA 02116

40-113
13 PLYMOUTH LLC
900 CUMMINGS DR., SUITE 215U
BEVERLY, MA 01915

40-114
PEONY REALTY, LLC
64 PARKER STREET
NEWTON, MA 02459

40-117
JEAN SKOPETZ LLC
71 HINSTON RD
EAST WEYMOUTH, MA 02189

40-142
LUZ, HERCULANO F. & MARIA M. LUZ
19 PLYMOUTH ST
CAMBRIDGE, MA 02141

40-143
BAIROS, JOAO DE ANDRADE
59 PLYMOUTH ST
CAMBRIDGE, MA 02141

40-105
ANNAcone, ANGELO L. AND
MARION J. ANNAcone
2 HENRY STREET
MEDFORD, MA 02155

40-167
GENTILE, JEAN F. A LIFE ESTATE
34 BERKSHIRE ST
CAMBRIDGE, MA 02141

40-243
JAS CONSOLIDATED PROPERTIES LLC C/O JAS
CORPORATION
1035 CAMBRIDGE ST., #12
CAMBRIDGE, MA 02141

40-141
JEFFREY, CHRISTINA
C/O 28 BERKSHIRE STREET LLC
30 KATHERINE RD
WATERTOWN, MA 02472

40-141
AL-RAWL, AHLAM, HASSAN, DUAA, & ALI
MOHAMMAD & CITY OF CAMBRIDGE TAX TITLE
28 BERKSHIRE ST., UNIT #2
CAMBRIDGE, MA 02141

40-141
KING, MICHAEL ANTHONY
38 VAN HORN ST.
WEST SPRINGFIELD, MA 01089

40-140
ELLSWORTH, KRISSY M., RANDAL N. ELLSWORTH
& SILVIA E. ELLSWORTH
30 BERKSHIRE ST., UNIT #1
CAMBRIDGE, MA 02139

40-140
WORKMAN, MICHAEL WHEELER
30 BERKSHIRE ST., #3
CAMBRIDGE, MA 02141

40-140
WICHT, DENYCE
218 THORNDIKE ST., #203
CAMBRIDGE, MA 02141

40-147
GREENE, BRIAN C. & VIRGINIA E. WALLACE
14 VANDINE ST., #1
CAMBRIDGE, MA 02141

40-147
LEKSA, NINA CAROLINA
14 VANDINE ST., UNIT #3
CAMBRIDGE, MA 02141

40-147
BUABBUD, GEORGE & JULIE BUABBUD
8 COUNTRY WAY
SHREWSBURY, MA 01545

40-146
CITY OF CAMBRIDGE
C/O LOUIS DEPASQUALE,
CITY MANAGER

40-146
CITY OF CAMBRIDGE
C/O NANCY GLOWA
CITY SOLICITOR

KRISSY M. ELLSWORTH, DENYCE WICHT
MICHAEL WORKMAN
30 BERKSHIRE STREET
CAMBRIDGE, MA 02141