



CITY OF CAMBRIDGE
 MASSACHUSETTS
 BOARD OF ZONING APPEAL
 831 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139
 617 349-6100

BZA APPLICATION FORM

Plan No: BZA-017225-2019

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : v Variance : v Appeal :

PETITIONER : Camille Preston and Mark Newhall

PETITIONER'S ADDRESS : 3 St Paul St Cambridge, MA 02139

LOCATION OF PROPERTY : 3 St Paul St Cambridge, MA 02139

TYPE OF OCCUPANCY : residential ZONING DISTRICT : Residence C-1 Zone

REASON FOR PETITION :
 Other: enlarge door, relocate window, build deck

DESCRIPTION OF PETITIONER'S PROPOSAL :

We are switching a door and a window. We are hoping to have the new door be a sliding glass door to let in more light and allow us to watch young kids in the yard while cooking.
We want to put in a small deck from the glass doors down to bricked patio.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Article 8.000 Section 8.22.2.C (Non-Conforming Structure).

Original Signature(s) : Camille Preston

(Petitioner(s) / Owner)

Camille Preston
 (Print Name)

Address : 3 St. Paul St
Cambridge, MA 02139

Tel. No. : 202 422 6193

E-Mail Address : Camille @ camleadership.com

Date : 11/26/19

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

we are unable to effectively see our children playing in the backyard with the current configuration of the kitchen window and door. the proposed changes will provide much better line of sight.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

pre-existing, non conforming lot
pre-existing, non conforming building

C) **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

1) Substantial detriment to the public good for the following reasons:

the proposed changes will not be detrimental to the neighborhood or to the building. the project cannot be seen from the street. To minimize noise and provide light we propose adding additional latic fencing and supporting neighbors with a budget for additional plantings.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

minimal relief is required and it will not deviate from the intention of the ordinance,

* If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 3 St Paul St Cambridge, MA 02139 (location) would not be a detriment to the public interest because:

- A) Requirements of the Ordinance can or will be met for the following reasons:
the proposed windows relation will bring more light and ventilation.
- B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:
no traffic will bw created....
- C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:
no changes to the use of the building.
- D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:
no nuisance or hazard will be created.
- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:
it will provide better access to the backhard and will improve useability of the building



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2019 DEC -2 PM 4:50

BZA APPLICATION FORM

OFFICE OF THE CITY CLERK
 CAMBRIDGE, MASSACHUSETTS
 Plan No. BZA-017225-2019

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Article 8.000 Section 8.22.2.C (Non-Conforming Structure).

Original Signature(s) :

Camille Preston

(Petitioner(s) / Owner)

Camille L.P.

(Print Name)

Address :

3 St. Paul St

Cambridge, MA 02139

Tel. No. :

202 422 6193

E-Mail Address :

Camille@amlleadership.com

Date :

11/26/19

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Camille Preston Mark Newhall
(OWNER)

Address: 3 St. Paul St Cambridge MA 02139

State that I/We own the property located at 3 St. Paul St Cambridge which is the subject of this zoning application.

The record title of this property is in the name of Camille Preston + Mark Newhall

*Pursuant to a deed of duly recorded in the date 9/28/2015, Middlesex South County Registry of Deeds at Book 71681, Page 372; or

Middlesex Registry District of Land Court, Certificate No. _____

Book _____ Page _____

**SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT***

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of _____

The above-name _____ personally appeared before me, this _____ of _____, 20____, and made oath that the above statement is true.

Anthony Tuccinardi Notary

My commission expires June 27, 2025 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, deed, or inheritance, please include documentation.





2606 15 800

Dr. [Signature]

[Faint, illegible text, likely a medical report or certificate]

NEW ENGLAND LAND SURVEY
 Professional Land Surveyors
 710 MAIN STREET
 N.Oxford, MA 01537
 PHONE: (508) 987-0025
 FAX: (508) 438-6604
 REGISTRY SOUTHERN MIDDLESEX

MORTGAGE INSPECTION PLAN

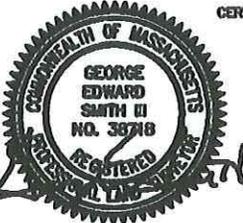
NAME CAMILLE L PRESTON & MARK D NEWHALL

LOCATION 3 SAINT PAUL STREET
CAMBRIDGE, MA

SCALE 1"=20' DATE 8/20/2018

18MIP11106

BASED UPON DOCUMENTATION PROVIDED, REQUIRED MEASUREMENTS WERE MADE OF THE FRONTAGE AND BUILDING(S) SHOWN ON THIS MORTGAGE INSPECTION PLAN. IN OUR JUDGEMENT ALL VISIBLE EASEMENTS ARE SHOWN AND THERE ARE NO VIOLATIONS OF ZONING REQUIREMENTS REGARDING DWELLING STRUCTURES TO PROPERTY LINE OFFSETS (UNLESS OTHERWISE NOTED IN DRAWING BELOW). NOTE: NOT DEFINED ARE ABOVE GROUND POOLS, DRIVENWAYS, OR SHEDS WITH NO FOUNDATIONS, ETC. THIS IS A MORTGAGE INSPECTION PLAN, NOT AN INSTRUMENT SURVEY. DO NOT USE TO ERECT FENCES, OTHER BOUNDARY STRUCTURES, OR TO PLANT SHRUBS. LOCATION OF THE STRUCTURE(S) SHOWN HEREON IS EITHER IN COMPLIANCE WITH LOCAL ZONING FOR PROPERTY LINE OFFSET REQUIREMENTS, OR IS EXEMPT FROM VIOLATION ENFORCEMENT ACTION UNDER MASS. G.L. TITLE VII, CHAP. 40A, SEC. 7, UNLESS OTHERWISE NOTED. THIS CERTIFICATION IS NON-TRANSFERABLE. THE ABOVE CERTIFICATIONS ARE MADE WITH THE PROVISION THAT THE INFORMATION PROVIDED IS ACCURATE AND THAT THE MEASUREMENTS USED ARE ACCURATELY LOCATED IN RELATION TO THE PROPERTY LINES.



CERTIFY TO: LEADER BANK

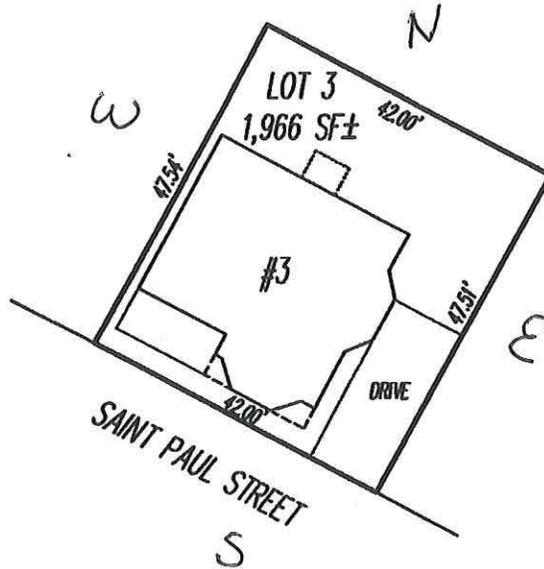
DEED REFERENCE: 54920/495

PLAN REFERENCE: 158 OF 1936

WE CERTIFY THAT THE BUILDING(S) ARE NOT WITHIN THE SPECIAL FLOOD HAZARD AREA. SEE FIG. 2

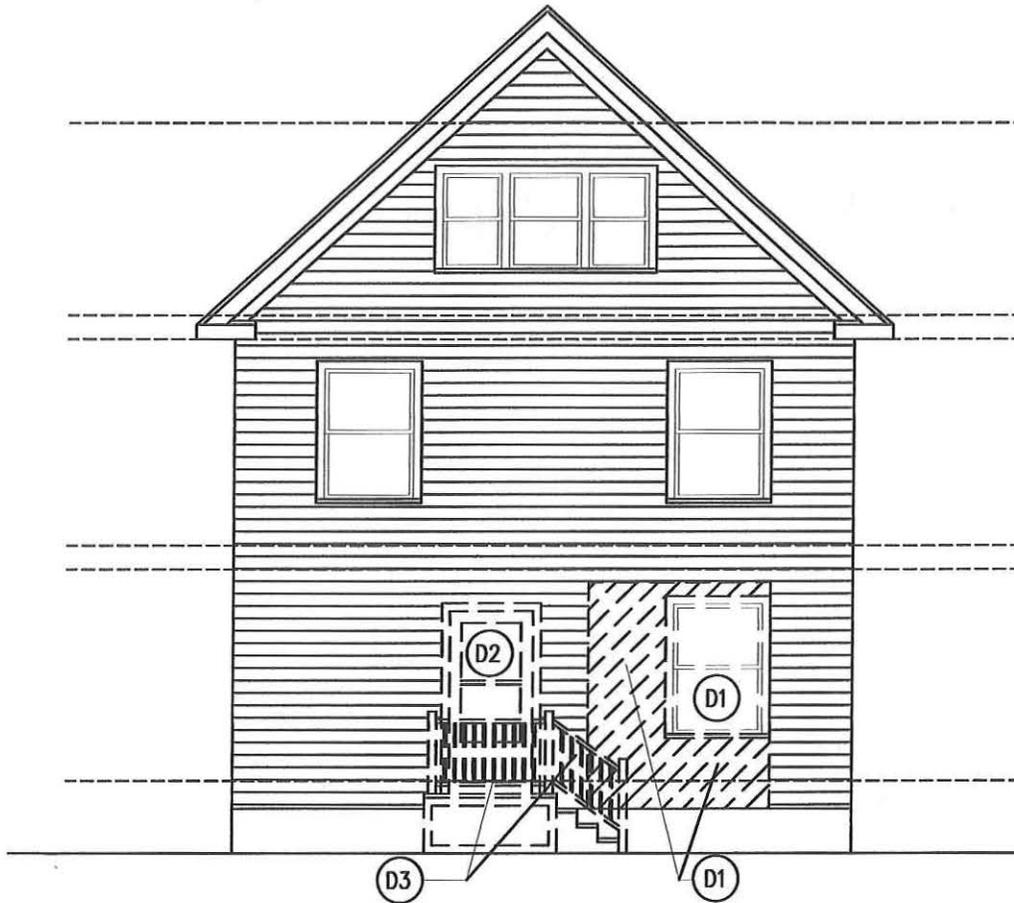
25017C0576E DTD: 06/04/2010

FLOOD HAZARD ZONE HAS BEEN DETERMINED BY SCALE AND IS NOT NECESSARILY ACCURATE. UNTIL DEFINITIVE PLANS ARE ISSUED BY HUD AND/OR A VERTICAL CONTROL SURVEY IS PERFORMED, PRECISE ELEVATIONS CANNOT BE DETERMINED.



REQUESTED BY: PRESSMAN & KRUSKAL**
 DRAWN BY: CRC
 CHECKED BY: GCS
 FILE: 18MIP11106

Man
CRC



- KEYNOTES OF PROPOSED DEMOLITION WORK (SEE PLAN BELOW):
- Ⓓ1 – REMOVE EXISTING WINDOW AND ENLARGE EXISTING OPENING TO ACCOMMODATE NEW 7'-0" X SLIDING DOORS
 - Ⓓ2 – REMOVE EXISTING DOORS
 - Ⓓ3 – REMOVE EXISTING WOOD LANDING, RAILS, AND STAIRS

EXISTING REAR NORTH ELEVATION
(SHOWING DEMOLITION WORK)

NOTE: THIS DRAWING IS FOR
INFORMATION AND DISCUSSION
PURPOSES ONLY;
NOT FOR CONSTRUCTION)

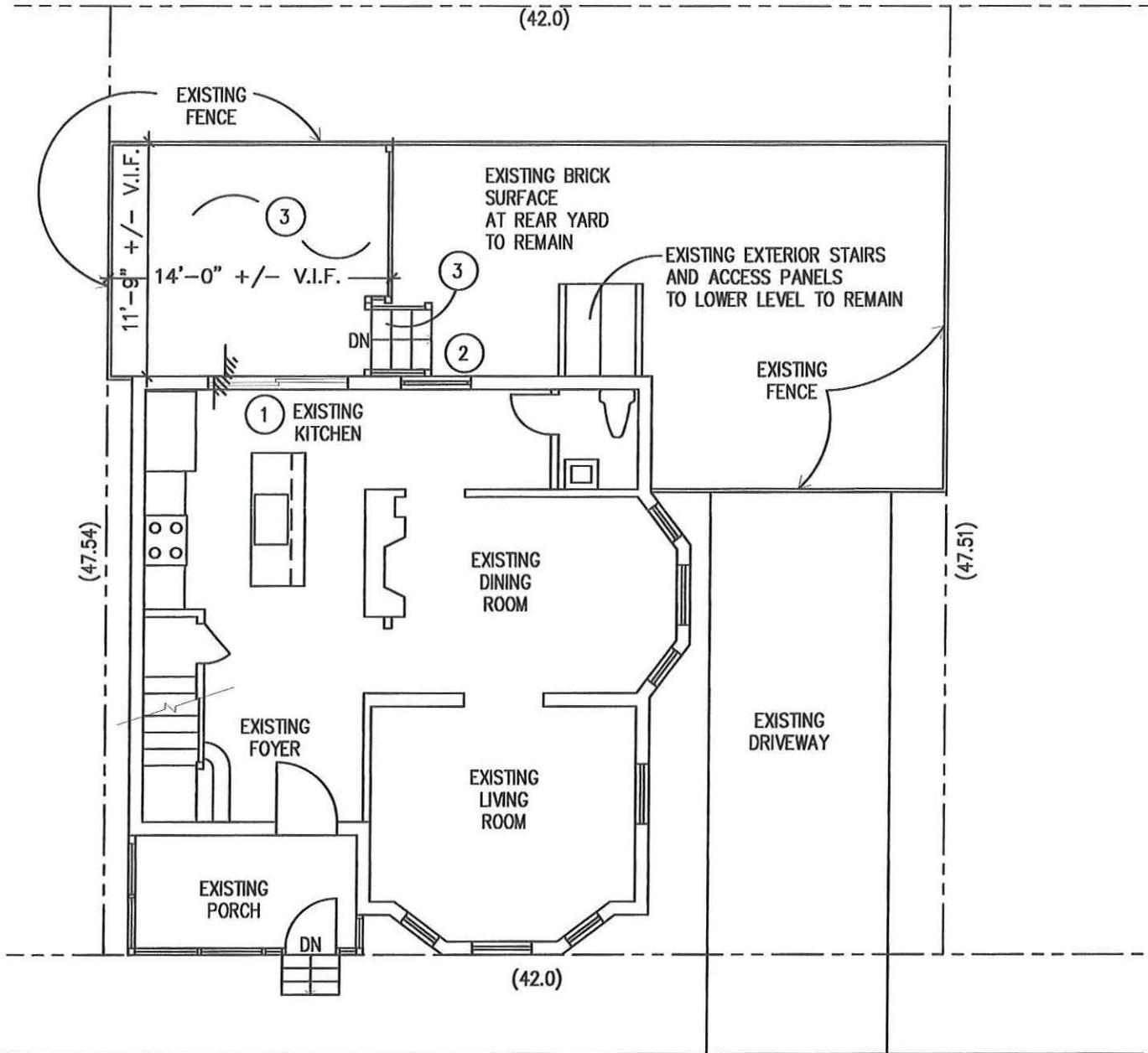
NEWHALL PRESTON RESIDENCE
#3 ST. PAUL STREET
CAMBRIDGE, MA

OCTOBER 9, 2019
APPROXIMATE SCALE: 1/8" = 1'-0"

EXISTING ADJACENT OPENINGS.

② - NEW DOUBLE HUNG WINDOW TO FIT IN EXISTING OPENING OF PREVIOUS DOOR LOCATION. NEW SILL HEIGHT TO MATCH EXISTING ADJACENT WINDOWS. ALIGN TOP OF WINDOW WITH EXISTING OPENING. FILL AREA BELOW SILL TO MATCH ADJACENT EXISTING MATERIALS. NEW INTERIOR AND EXTERIOR TRIM TO MATCH EXISTING.

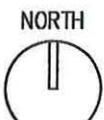
③ - NEW CODE COMPLIANT PRESSURED TREATED WOOD DECK (OR SIMILAR MATERIAL SELECTED BY OWNER) LOCATED 7" MAXIMUM BELOW EXISTING FINISHED FIRST FLOOR. MAINTAIN 42" MINIMUM BETWEEN TOP OF NEW DECK TO TOP OF EXISTING FENCE AT WEST AND NORTH SIDES OF DECK. PROVIDE NEW 42" HIGH GUARDRAILS AT THE EAST SIDE OF DECK AND 36" WIDE STAIRS WITH CODE COMPLIANT 42" GUARDRAILS, RISERS @ 7" MAXIMUM, AND TREADS @ 11" MINIMUM. COVER OPENING UNDER DECK WITH LATTICE WORK AND ACCESS PANELS AS COORDINATED WITH OWNER.



ST. PAUL STREET

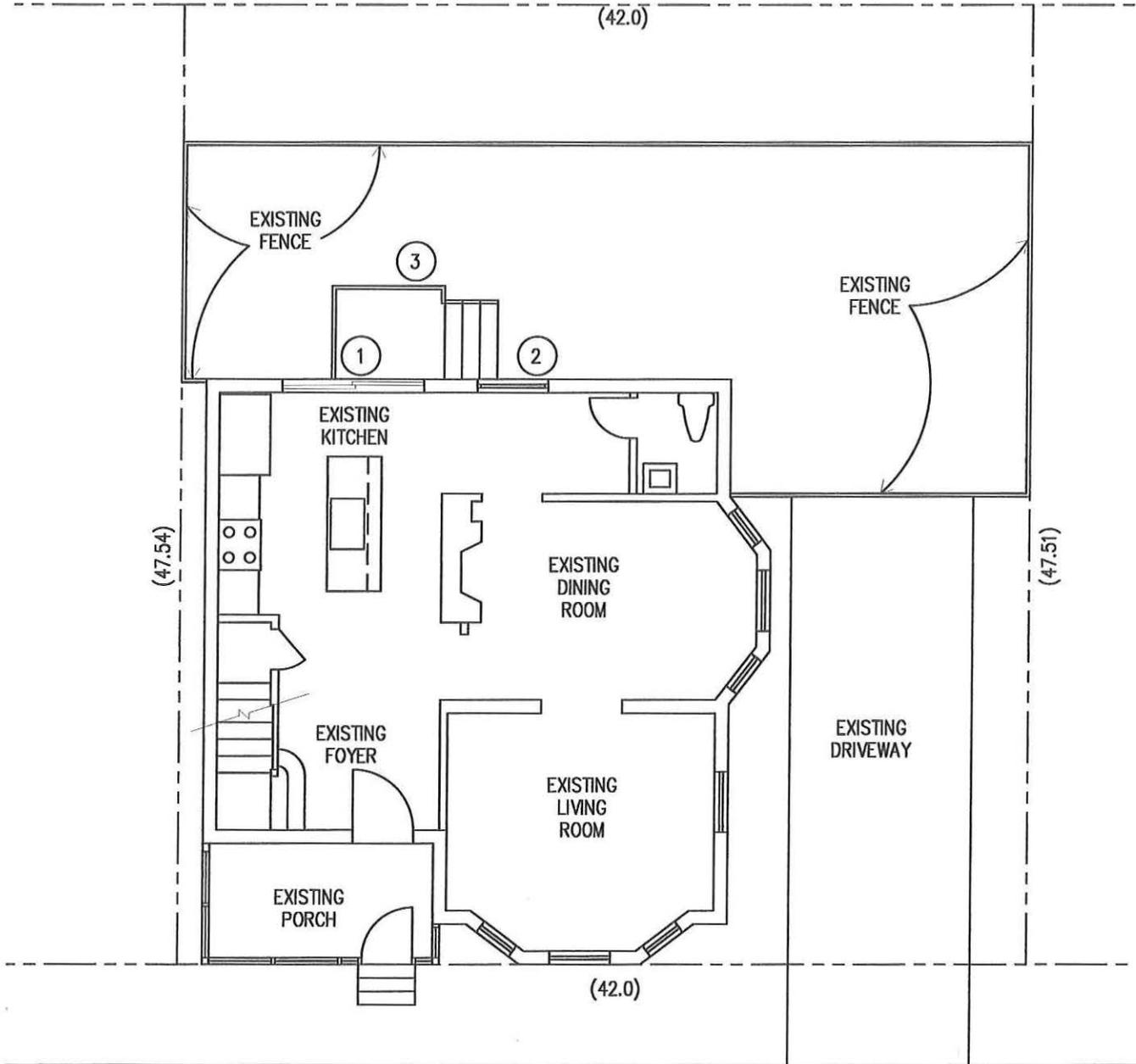
PROPOSED REAR DECK
(SHOWING NEW SLIDING DOORS AT
NORTH REAR ELEVATION)

NOTE: THIS DRAWING IS FOR
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PURPOSES ONLY;
NOT FOR CONSTRUCTION



NEWHALL PRESTON RESIDENCE
#3 ST. PAUL STREET
CAMBRIDGE, MA

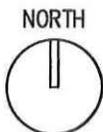
- ①- NEW PAIR OF 7'-0" WIDE X 8'-0" HIGH SLIDING GLASS DOORS. NEW INTERIOR TRIM TO MATCH EXISTING
- ②- NEW DOUBLE HUNG WINDOW TO FIT IN EXISTING OPENING OF PREVIOUS DOOR LOCATION. NEW SILL HEIGHT TO MATCH EXISTING ADJACENT WINDOWS. ALIGN TOP OF WINDOW WITH EXISTING OPENING. FILL AREA BELOW SILL TO MATCH ADJACENT EXISTING MATERIALS. NEW INTERIOR TRIM TO MATCH EXISTING.
- ③- NEW CODE COMPLIANT WOOD LANDING, RAILINGS, AND STAIRS TO MATCH EXISTING TO BE REMOVED



ST. PAUL STREET

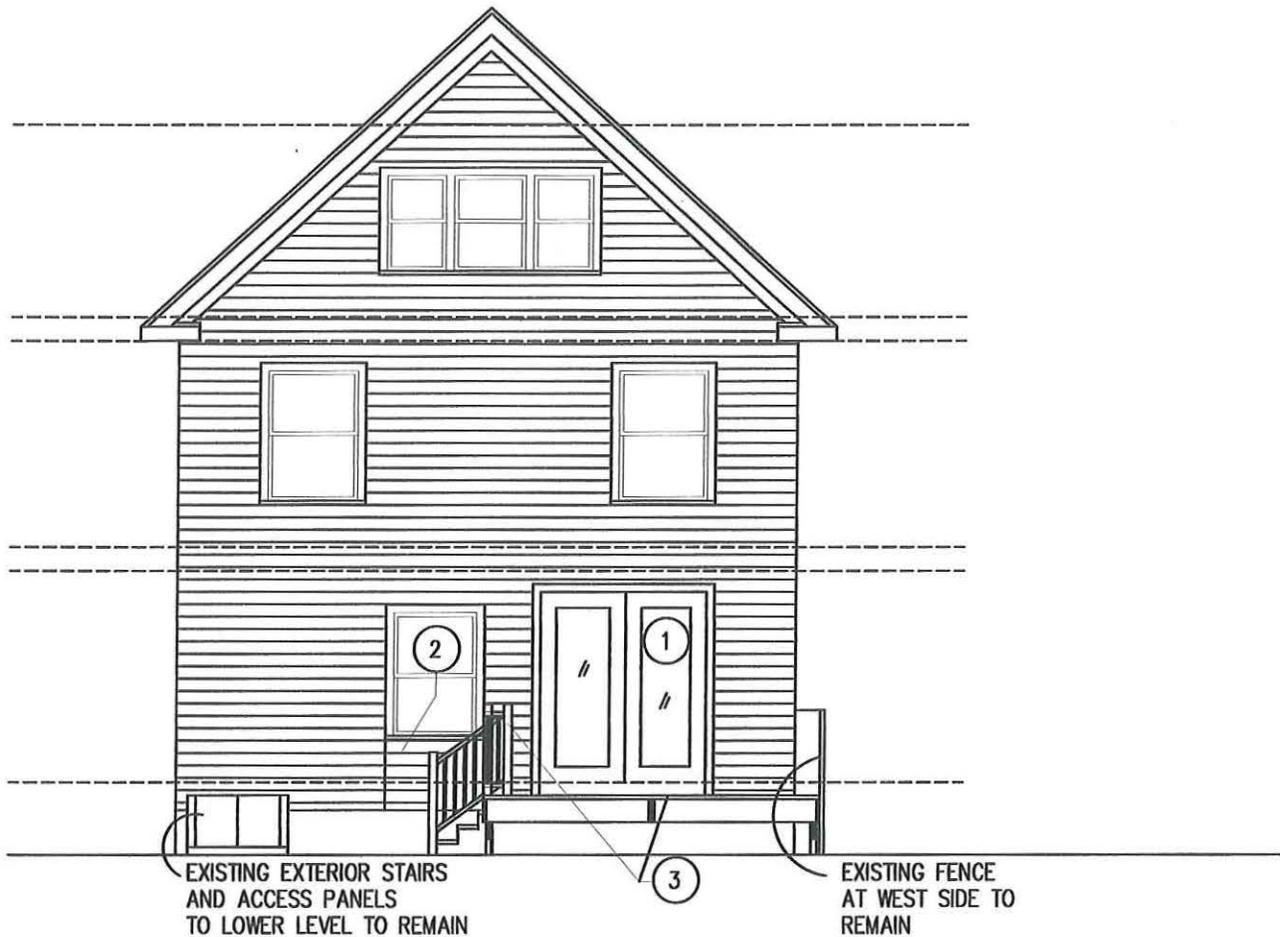
PROPOSED FIRST FLOOR PLAN
(SHOWING NEW SLIDING DOORS AT NORTH REAR ELEVATION)

NOTE: THIS DRAWING IS FOR INFORMATION AND DISCUSSION PURPOSES ONLY;
NOT FOR CONSTRUCTION)



NEWHALL PRESTON RESIDENCE
#3 ST. PAUL STREET
CAMBRIDGE, MA

OCTOBER 2, 2010



KEYNOTES OF PROPOSED NEW WORK (SEE PLAN BELOW):

- ① – NEW PAIR OF 7'-0" WIDE X 8'-0" HIGH SLIDING GLASS DOORS. NEW INTERIOR AND EXTERIOR TRIM TO MATCH EXISTING ADJACENT OPENINGS.
- ② – NEW DOUBLE HUNG WINDOW TO FIT IN EXISTING OPENING OF PREVIOUS DOOR LOCATION. NEW SILL HEIGHT TO MATCH EXISTING ADJACENT WINDOWS. ALIGN TOP OF WINDOW WITH EXISTING OPENING. FILL AREA BELOW SILL TO MATCH ADJACENT EXISTING MATERIALS. NEW INTERIOR AND EXTERIOR TRIM TO MATCH EXISTING.
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PROPOSED REAR NORTH ELEVATION
(SHOWING NEW WORK)

NOTE: THIS DRAWING IS FOR
INFORMATION TO SHOW DESIGN INTENT
AND FOR DISCUSSION
PURPOSES ONLY;
NOT FOR CONSTRUCTION)

NEWHALL PRESTON RESIDENCE
#3 ST. PAUL STREET
CAMBRIDGE, MA

OCTOBER 24, 2019
APPROXIMATE SCALE: 1/8" = 1'-0"

3 St. Paul St.











October 17, 2019

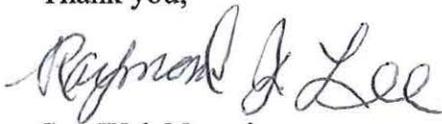
To whom it may concern,

We are writing in support of the proposed alterations to 3 St. Paul St., Cambridge. We own the property at 93 Prospect Street. We support the proposed changes as we believe this will be an improvement to the current site use. Along those ends, we have no concerns about supporting the issuance of a special permit and variance to allow the renovations to go ahead.

A member has met with the owners, Camille Preston / Mark Newhall, to review their plans. The changes they are proposing are thoughtful and will not impact other local owners.

Consider this letter a confirmation of my approval for the proposed project at 3 St. Paul Street. I hope you agree and issue a special permit and variance, allowing the Preston-Newhall project to move forward in a timely manner.

Thank you,

A handwritten signature in cursive script that reads "Raymond J. Lee".

Sun Wah Nominnee

93 Prospect St

Cambridge, MA 02139

October 16, 2019

To whom it may concern,

I'm writing on behalf of our neighborhoods, Camille Preston and Mark Newhall, who live at 3 St. Paul St, Cambridge.

They are currently proposing a minor alteration to their home and have shared their plans with me and other people in the community. Their proposed alterations will improve their use of their property and will have no obvious impact on other local stakeholders, including my community, the attached Christ the King Presbyterian Church located at 99 Prospect St.

In summary, I support the small changes that Camille and Mark want to make to their property and appreciate their consultation.

Thank you,

A handwritten signature in black ink, appearing to read "Richard Downs". The signature is fluid and cursive, with the first name "Richard" being more prominent than the last name "Downs".

Rev. Richard Downs
Christ the King Presbyterian Church
99 Prospect St
Cambridge MA 02139

October 17, 2019

To Whom It May Concern,

We are writing in support of the proposed alterations to 3 St. Paul St, Cambridge. My wife Elizabeth and I have owned the home across the street at 6 St Paul street since 1992. We think the proposed changes would be an improvement of the current use of the site, and we would support the issuance of a special permit and variance to allow the renovations to go ahead.

We have met with Camille Preston and her husband, Mark Newhall; we have reviewed their plans, and we are impressed with the thoughtfulness and openness with which they engaged with the community. The changes they propose can not be seen from the street and will not impact stakeholders.

In short, we support the small adaptations that Camille and Mark want to make and believe that this is a well thought out project. We hope you will agree and that you will issue a special permit and variance, allowing the project to move forward.

Thank you,

Handwritten signatures of Bob and Elizabeth Nunberg. The signature for Bob is on the left and for Elizabeth is on the right.

Bob and Elizabeth Nunberg
6 St Paul St
Cambridge, MA 02139

October 17, 2019

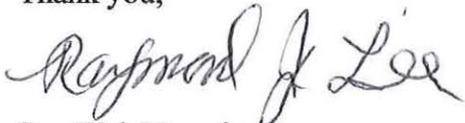
To whom it may concern,

We are writing in support of the proposed alterations to 3 St. Paul St., Cambridge. We own the property at 93 Prospect Street. We support the proposed changes as we believe this will be an improvement to the current site use. Along those ends, we have no concerns about supporting the issuance of a special permit and variance to allow the renovations to go ahead.

A member has met with the owners, Camille Preston / Mark Newhall, to review their plans. The changes they are proposing are thoughtful and will not impact other local owners.

Consider this letter a confirmation of my approval for the proposed project at 3 St. Paul Street. I hope you agree and issue a special permit and variance, allowing the Preston-Newhall project to move forward in a timely manner.

Thank you,

A handwritten signature in cursive script that reads "Raymond J. Lee".

Sun Wah Nowminee

93 Prospect St
Cambridge, MA 02139

October 21, 2019

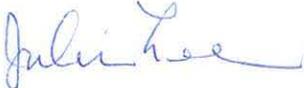
To whom it may concern,

We are writing in support of the proposed alterations to 3 St. Paul St., Cambridge. I own the property at 4 St. Paul Street, and I believe that the proposed changes would be an improvement to the current site use. On this basis, I have no concerns about supporting the issuance of a special permit and variance to allow the renovations to go ahead.

Notably, I have met with the owners, Camille Preston / Mark Newhall, to review their plans. The changes they are proposing are thoughtful and will not impact other local owners.

Consider this letter a confirmation of my approval for the proposed project at 3 St. Paul Street. I hope you agree and issue a special permit and variance, allowing the Preston-Newhall project to move forward in a timely manner.

Thank you,

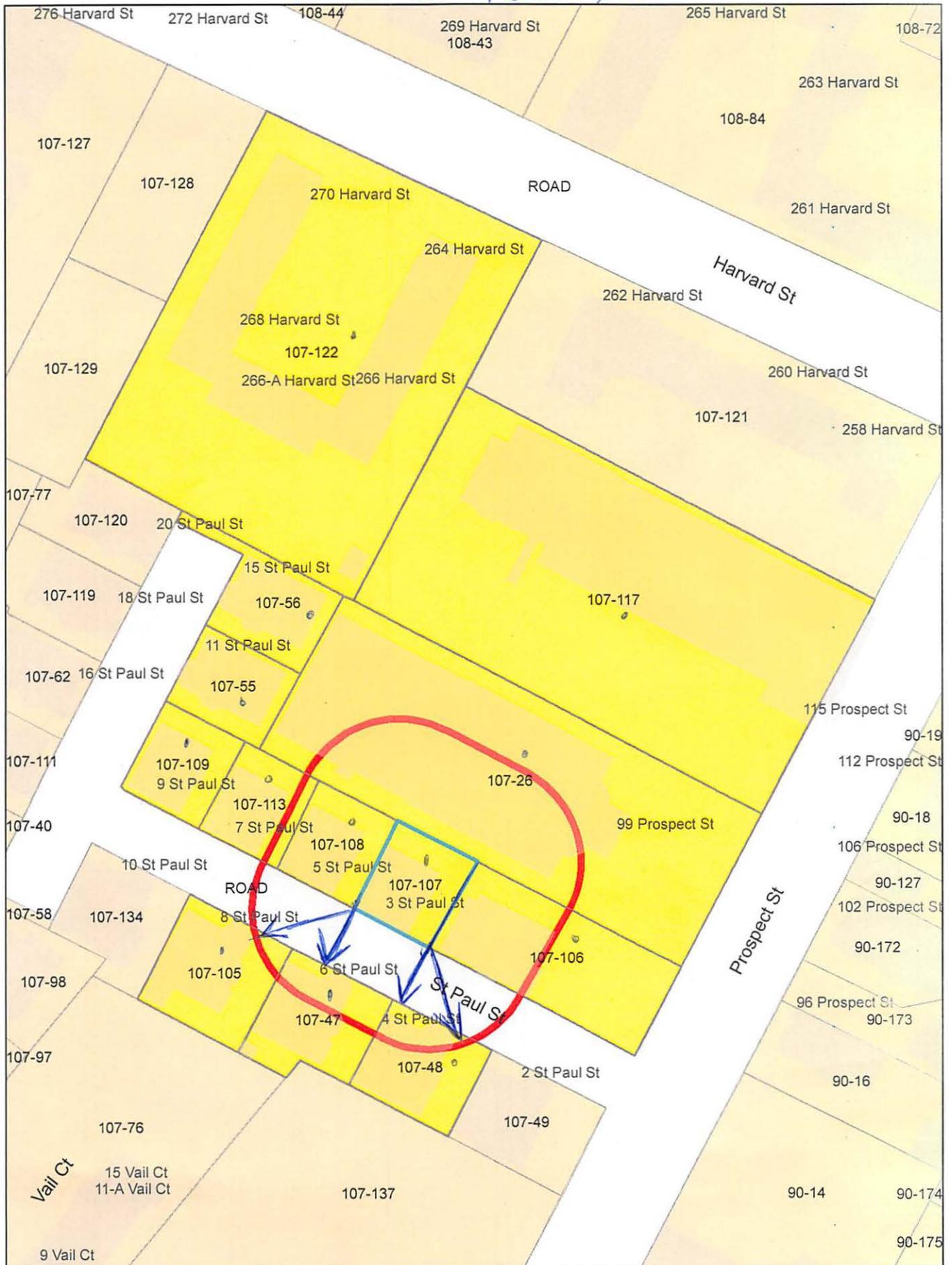


Julie Lee

4 St. Paul St

Cambridge, MA 02139

3 St. Paul St.



3 St. Paul St.

Petitioner

107-109
SHERR, ALAN & LAURA BJORKLUND
9 ST PAUL ST
CAMBRIDGE, MA 02139-2506

107-117
PROSPECT STREET REALTY CO.,LLC
36 GARDEN STREET
CAMBRIDGE, MA 02138-2411

107-107
PRESTON, CAMILLE L. MARK D. NEWHALL
3 ST PAUL ST
CAMBRIDGE, MA 02139

107-47
NUNBERG, N. ROBERT AND
ELIZABETH J. NUNBERG
6 ST PAUL ST.
CAMBRIDGE, MA 02139-2506

107-106
LEE, MICHAEL C. & HOWARD Y.G. LEE,
TRS THE SUN WAH NOMINEE TRUST
329 OLD CONN-PATH
WAYLAND, MA 01778

107-122
PROSPECT APARTMENTS, INC.
C/O WINGATE MANAGEMENT CO., INC
63 KENDRICK ST
NEEDHAM, MA 02494

107-108
HOUSMAN, JUDY
5 ST. PAUL ST
CAMBRIDGE, MA 02139

107-113
ZHANG, YAN
6 BENNETT ST.
CAMBRIDGE, MA 02138

107-26
CHRIST THE KING PRESBYTERIAN CHURCH &
BRAZILIAN PRESBYTERIAN CHURCH OF CAMBRIDGE
130 PROSPECT ST., SUITE 202
CAMBRIDGE, MA 02139-1044

107-55
HU, CHIEN CHEN
TRUSTEE OF CHIEN CHEN HU LIVING TRUST
80 OUTLOOK DR.
LEXINGTON, MA 02173

107-48
LEE, JULIE T.L. & MICHAEL C. LEE,
TRS THE JULIE T.L. LEE TRUST
4 ST. PAUL ST
CAMBRIDGE, MA 02138

107-56
HU, CHIEN CHEN,
TRUSTEE THE CHIEN CHEN HU LIVING TRUST
C/O CYNTHIA CHEN
80 OUTLOOK DR.
LEXINGTON, MA 02173

107-105
LIN, AUSTIN S.
8 ST PAUL ST., UNIT #1 & #2
CAMBRIDGE, MA 02139

107-105
THOMAS, ZACHARY M.
8 ST PAUL ST. UNIT#3
CAMBRIDGE, MA 02139