

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: _____ Appeal: X

PETITIONER: Lennart Braberg and Katherine Perls

PETITIONER'S ADDRESS: 4 Kennedy Road, Cambridge, MA

LOCATION OF PROPERTY: 16 Kennedy Road, Cambridge, MA

TYPE OF OCCUPANCY: Single-family residence ZONING DISTRICT: Residence A-1

REASON FOR PETITION:

<u> </u> Additions	<u> </u> New Structure
<u> </u> Change in Use/Occupancy	<u> </u> Parking
<u> </u> Conversion to Addi'l Dwelling Unit's	<u> </u> Sign
<u> </u> Dormer	<u> </u> Subdivision
<u> X </u> Other: <u> Appeal of building permit BLDR-070019-2018 </u>	

2018 APR 19 AM 9:00
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

DESCRIPTION OF PETITIONER'S PROPOSAL:

Petitioners appeal the issuance of Building Permit #BLDR-070019-2018 on the ground that the proposed single-family dwelling violates the minimum rear yard requirement.

SECTIONS OF ZONING ORDINANCE CITED:

Article <u> 10 </u>	Section <u> 10.21 </u>
Article <u> 5 </u>	Section <u> 5.31, Table 5-1 </u>
Article <u> </u>	Section <u> G.L.C. 40A, Section 8 </u>

Applicants for a Variance must complete Pages 1-5

Applicants for a Special Permit must complete Pages 1-4 and 6

Applicants for an Appeal to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s):


(Petitioner(s)/Owner)

*Timothy C. Twardowski, Attorney for the Petitioners
(Print Name)

Address: Lennart Braberg and Katherine Perls
 4 Kennedy Road, Cambridge, MA

Tel. No.: _____

E-Mail Address: ttwardowski@rc.com

Date: 4/4/2018

*One Boston Place, 25th Floor
Boston, MA 02108
(617)557-5965

One Boston Place
25th Floor
Boston, MA 02108-4404
Main (617) 557-5900
Fax (617) 557-5999
ttwardowski@rc.com
Direct (617) 557-5965

Also admitted in Rhode Island

April 18, 2018

Via Hand Delivery

City of Cambridge
City Clerk and Board of Zoning Appeal
Attn: Secretary of the Board of Zoning Appeal
831 Massachusetts Avenue
Cambridge, Massachusetts 02139

Re: Appeal of Building Permit #BLDR-070019-2018
Petitioners: Lennart Braberg and Katherine Perls, 4 Kennedy Road, Cambridge, MA
Property: 16 Kennedy Road, Cambridge, MA

Honorable Members of Board of Zoning Appeal:

The enclosed appeal is filed on behalf of petitioners Lennart Braberg and Katherine Perls, who reside at 4 Kennedy Road, Cambridge, Massachusetts and are direct abutters to the property located at 16 Kennedy Road, Cambridge, Massachusetts (the "Property"). This is an appeal of the decision of Commissioner of Inspectional Services approving Permit #BLDR-070019-2018 for the construction of a single-family dwelling on the Property.

Four (4) copies of the application form containing original signatures, along with associated documents, are enclosed with this appeal. Also enclosed is a check for \$100.00 payable to the City of Cambridge to satisfy the required filing fee.

Please acknowledge receipt of the application materials and filing fee by returning the enclosed extra copy of this letter and application to the undersigned after it has been date-stamped by the Office of the City Clerk.

This appeal is submitted with a full reservation of the petitioner's rights under all applicable state and local laws and regulations.

Honorable Members of the Board of Zoning Appeal
April 18, 2018
Page 2

If you have any questions or concerns regarding this matter, please do not hesitate to contact me directly.

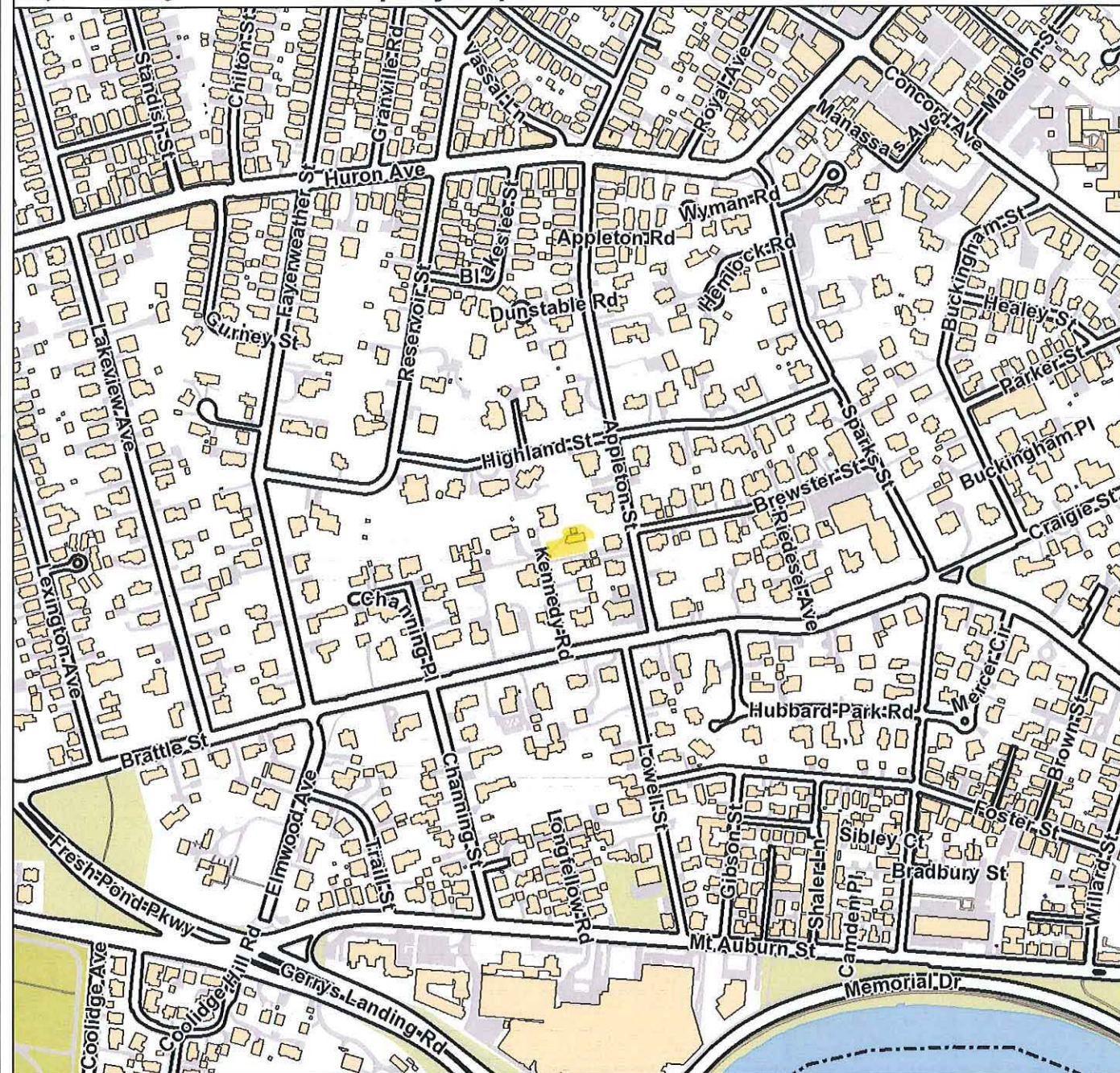
Sincerely,

A handwritten signature in blue ink, appearing to read "T. C. Twardowski", with a long horizontal flourish extending to the right.

Timothy C. Twardowski

Enclosures

cc: Lennart Braberg and Katherine Perls
Kendra L. Berardi, Esq.
Ranjit Singanayagam, Commissioner of Inspectional Services



City of Cambridge
Massachusetts

1" = 458 ft

All data is provided for graphic representation only. The City of Cambridge expressly disclaims all warranties of any type, expressed or implied, including, but not limited to, any warranty as to the accuracy of the data, merchantability, or fitness for a particular purpose.

www.cambridgema.gov/gis



- Rail
- Building Footprints
- Paved Surfaces
 - Paved Roads
 - Bridges
 - Unpaved Roads
 - Unpaved Parking
- Sidewalks
- Driveways
- Alleys
- Other Paved Surface
- Public Footpath



CITY OF CAMBRIDGE, MASSACHUSETTS
BOARD OF ZONING APPEAL

STATEMENT IN SUPPORT OF
APPEAL BY
LENNART BRABERG AND KATHERINE PERLS

RE: APPEAL OF PERMIT #BLDR-070019-2018 (16 KENNEDY ROAD)

This is an appeal of the decision of Ranjit Singanayagam, Commissioner of Inspectional Services (the "Commissioner"), approving Permit #BLDR-070019-2018 (the "Building Permit") for the construction of a single-family dwelling on the property located at 16 Kennedy Road, Cambridge, Massachusetts (the "Property"). A copy of the Building Permit is attached as **Exhibit A**. Also attached hereto are copies of the following plans and drawings that were filed with the Inspectional Services Department ("ISD"), by or on behalf of the owner of the Property, in connection with the application for the Building Permit:

- A drawing titled "Moskowitz-Farmer Residence – Proposed Site Diagram, dated February 8, 2018, by Foley Fiore Architecture, 316 Cambridge Street, Cambridge, MA 02141 (the "Site Diagram"), a copy of which is attached as **Exhibit B**; and
- Plans titled "Moskowitz-Farmer Residence at 16 Kennedy Road, Cambridge, MA 02138," dated January 12, 2018, with revisions through March 7, 2018, by Foley Fiore Architecture, 316 Cambridge Street, Cambridge, MA 02141, consisting of 17 sheets (the "Plans"), a copy of which is attached as **Exhibit C**.

The Board of Zoning Appeal (the "Board") has jurisdiction to hear this appeal under G.L. c. 40A, § 8 and Section 10.21 of the Zoning Ordinance of the City of Cambridge (the "Zoning Ordinance").

Ground for Appeal

The ground for this appeal is that the Commissioner improperly applied the dimensional standards of Section 5.31 and Table 5-1 of the Zoning Ordinance in granting the Building Permit, which authorizes the construction of a single-family dwelling that violates the minimum rear yard requirement. As shown on the "Zoning Information" table included on the Site Diagram, the minimum rear yard requirement for the Property is 35 feet. However, the Site Diagram incorrectly shows the proposed single-family dwelling has having a proposed rear yard of 52.3 feet. In fact, the southeast corner of the proposed dwelling is located just 32' 9½" from the rear lot line, and the northeasterly corner of the proposed dwelling also appears, based on a visual inspection of the Site Diagram, to be located closer than 35 feet from a rear lot line.¹ Because the proposed single-family dwelling has a rear yard of less than the minimum requirement of 35 feet, the Building Permit should not have been issued.

¹ The Site Diagram does not show a measurement from the northeast corner of the proposed dwelling to the nearest rear lot line.

The Location of Rear Lot Lines on the Property

The Site Diagram shows a purported “Rear Lot Line” measuring ten feet that does not follow any actual lot line of the Property. This purported “rear lot line” appears to be drawn based on an improper interpretation of the following definition of “rear lot line” contained in Article 2 of the Zoning Ordinance:

Lot Line, Rear. A line most distant and opposite from the front lot line; where the lot is irregular, a line perpendicular to the mean direction of the side lot lines, and at least ten (10) feet in length within the lot.

Note: In order to facilitate the discussion of the rear lot lines of the Property for the purposes of this appeal, a “marked up” copy of the Site Diagram on which certain lot lines are marked A, B, C, or D (the “Markup”) is attached hereto as **Exhibit D**.

The Site Diagram incorrectly interprets this definition of rear lot line to mean that, because the Property is irregularly shaped, the existence of actual lot lines A, B, C, and D should be ignored and an imaginary rear lot line should be drawn “perpendicular to the mean direction of the side lot lines, and at least ten feet in length within the lot.” It also improperly interprets the definition to mean that a lot can only have one rear lot line. As explained below, and as will be further demonstrated at the hearing on this appeal, these interpretations are incorrect and unreasonable.

The Commissioner’s Interpretation of “Rear Lot Line” is Not Reasonable

As a general rule, a zoning board’s interpretation of its zoning ordinance or bylaw is entitled to deference where its interpretation is a *reasonable* one. See *Wendy’s Old Fashioned Hamburgers of N.Y., Inc. v. Board of Appeal of Billerica*, 454 Mass. 374, 381 (2009) (citing *Mellendick v. Zoning Bd. of Appeals of Edgartown*, 69 Mass. App. Ct. 852, 857, 872 N.E.2d 1125 (2007)). However, a zoning board is *not* entitled to deference where a decision is “based on an ‘unreasonable, whimsical, capricious or arbitrary’ exercise of its judgment in applying land use regulation to the facts.” *Id.* at 381-82 (quoting *Roberts v. Southwestern Bell Mobile Sys., Inc.*, 429 Mass. 478, 487, 709 N.E.2d 798 (1999), quoting *MacGibbon v. Board of Appeals of Duxbury*, 356 Mass. 635, 639, 255 N.E.2d 347 (1970); *Zaltman v. Board of Appeals of Stoneham*, 357 Mass. 482, 485, 258 N.E.2d 565 (1970)).

In approving the Building Permit, the Commissioner apparently determined that lines A, B, and C as shown on the Markup are not rear lot lines. This conclusion was affirmed by Commissioner of ISD, in an email dated April 2, 2018, which quoted the Zoning Ordinance definition of rear lot line and stated: “Items marked A, B, and C are not rear lot lines.” This interpretation is not reasonable.

While the Property may be irregular, there is nothing about the shape of the lot that requires the drawing of an imaginary rear lot line. As measured from certain points on the front lot line, lines B, C, and D are all “most distant and opposite from the front lot line.” Lines A, B, C, and D are all opposite from the front lot line and located to the rear of both the existing structure and the proposed single-family dwelling. In addition, lines A, C, and D all are roughly parallel to the front lot line.

Moreover, there is nothing in the definition of rear lot line that requires that a lot have only one rear lot line. Importantly, the definition begins with the phrase “A lot line most distant and opposite;” not with the phrase “The lot line most distant and opposite.” It is not unusual for a lot to have more than one property line that is opposite from and most distant from the front lot line. The idea that in cases where the rear of a lot is defined by more than one lot line, only one of those lines can be considered the rear lot line, strains credulity. Put simply, there is no basis for lines B, C, and D to be considered anything other than rear lot lines.


That the lines marked A, B, C, and D on the Markup are, in fact, rear lot lines is further evidenced by a drawing submitted by representatives of the owner of the Property in connection with a 2016 variance/special permit application for redevelopment of the Property.² The drawing, titled “Moskowitz-Farmer Residence – Existing Site Plan,” dated January 26, 2017, by Foley-Fiore Architecture (the “2016 Setback Drawing”), showed the buildable area of the Property as a cross-hatched area labeled “Potential Footprint Within Minimal Setbacks.” A copy of the 2016 Setback Drawing is attached hereto as **Exhibit E**. In depicting the buildable area, it is evident that the 2016 Setback Drawing treated lines A, B, C, and D (as depicted on the Markup) as rear lot lines for the purpose of determining the required rear yard. In addition, it appears that representatives of the owner of the Property relied the 2016 Setback Drawing in arguing that a setback variance should be granted because “[d]ue to the shape of this site ... a hardship is created making it difficult to adhere to setback requirements.”

The fact that the Chair of the Board initialed a copy of the 2016 Setback Drawing in BZA Case No. BZA-012246-2016 suggests that this Board agreed with and relied on the 2016 Setback Drawing’s depiction of the minimum yard rear yard requirement—which treated lines A, B, C, and D (as depicted on the Markup) as rear lot lines—in granting the requested relief. In effect, this appeal simply requests that the Board reach the same conclusion that it did in 2016, namely that lines A, B, C, and D are rear lot lines.

Conclusion

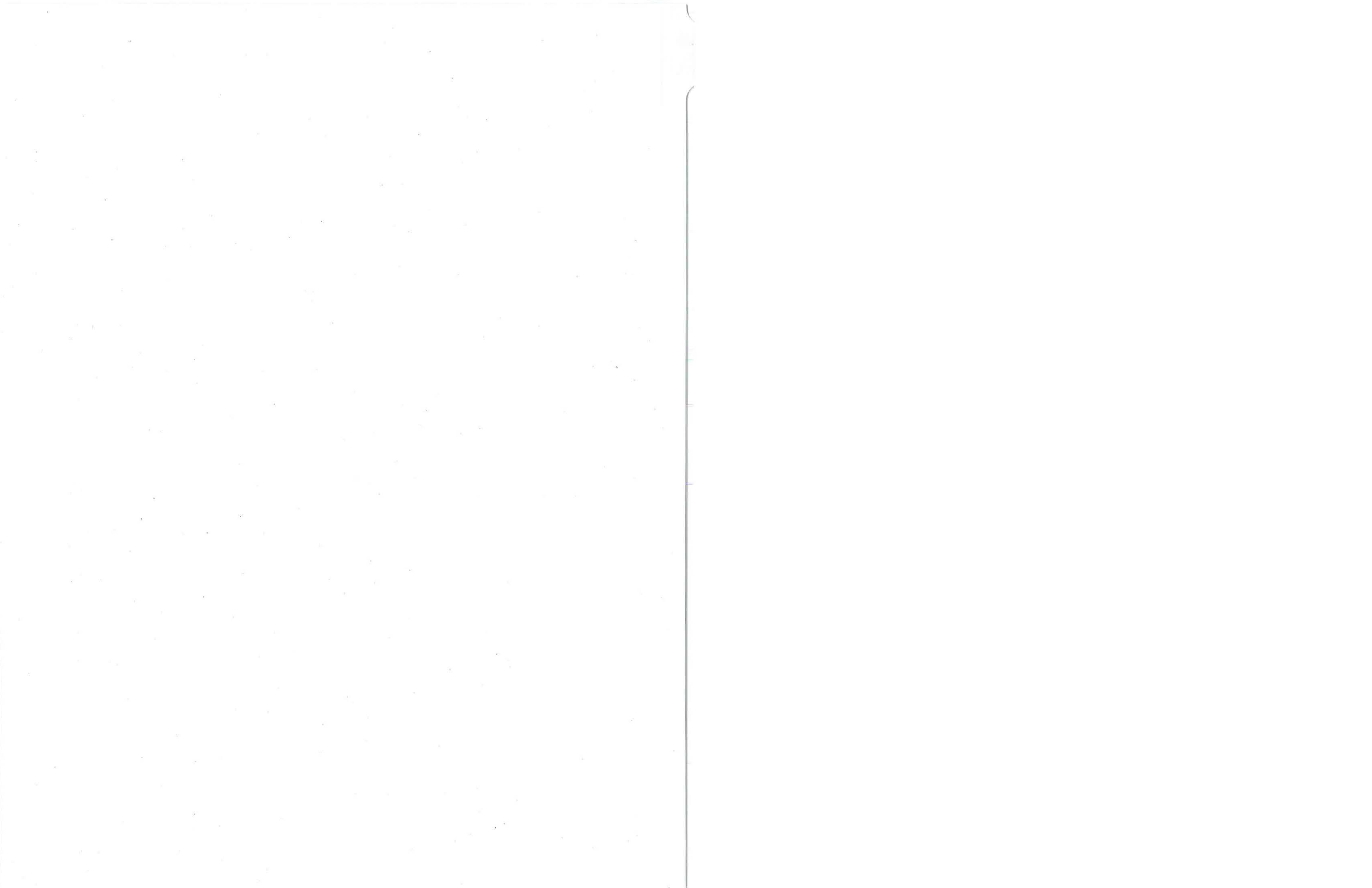
For all of the foregoing reasons, the Commissioner’s interpretation that the lines marked A, B, C, and D on the Markup are not rear lot lines is not reasonable. Under the Zoning Ordinance, lot lines A, B, C, and D are rear lot lines. Therefore, Petitioner respectfully requests that the Board reverse the Commissioner’s decision and determine the Building Permit to be invalid on the ground that the proposed single-family dwelling is located less than 35 feet from the rear lot lines in violation of Section 5.31 and Table 5-1 of the Zoning Ordinance.

Respectfully Submitted,



Timothy C. Twardowski, Robinson & Cole LLP
Attorney for Petitioners

² See BZA Case No. BZA-012246-2016.



CITY OF CAMBRIDGE

INSPECTIONAL SERVICES DEPARTMENT
831 Massachusetts Avenue Cambridge, MA 02139 Tel: 617-349-6100



Permit #: BLDR-070019-2018

Date: 03/23/2018

BUILDING PERMIT

Jacob Farmer
1 Foster Street Cambridge, MA 02138

has permission to do New
Construct new single family dwelling

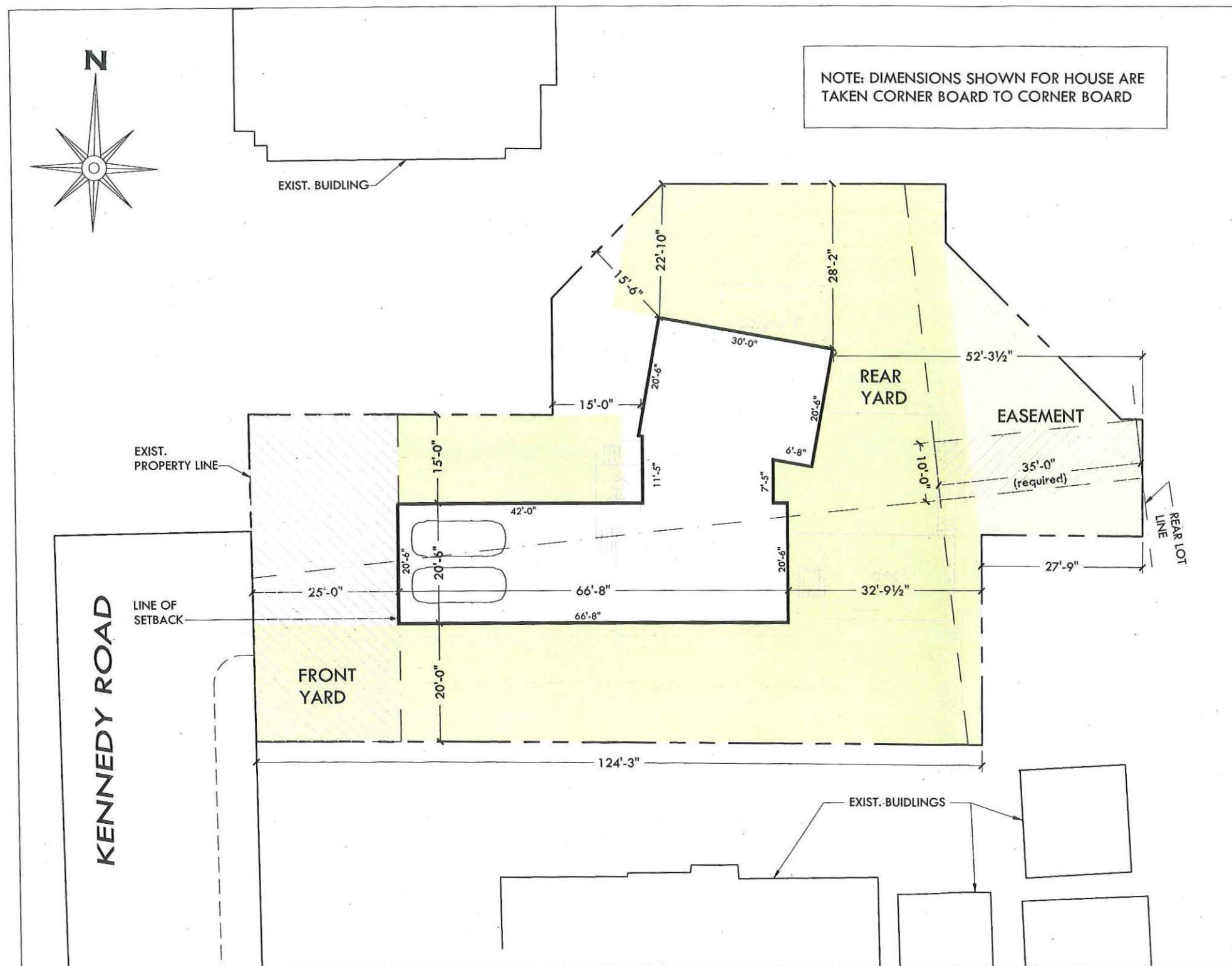
16 Kennedy Rd

provided that the person accepting this permit adhere to regulations governing the Inspectional Services Department. Approved plans must be retained on the job site and this permit kept posted until the final inspection has been made. Building shall not be occupied until a final inspection has been made and a Certificate of Use and Occupancy has been issued. Work shall not proceed until inspectors approve various stages of construction. Code violations are subject to fines.

IF THE ORIGINAL ESTIMATED COST OF JOB IS 50K OR MORE, THEN A FINAL COST AFFADAVIT IS REQUIRED PRIOR TO FINAL SIGN OFF ON

Ranjit Singanayagam, Commissioner

<div>Excavation</div> <div>Depth Soil Condition</div> <div>Date Inspector</div>	<div>Footings</div> <div>Foundation Drain</div> <div>Date Inspector</div>	<div>Rough Frame</div> <div>Date Inspector</div>	<div>HVAC Duct Work</div> <div>Date Inspector</div>	<div>Above Ceiling</div> <div>Date Inspector</div>	<div>Insulation</div> <div>Date Inspector</div>	<div>Final Inspection for Certificate of Occupancy</div> <div>Date Inspector</div>
<div>Plumbing</div> <div>Rough Final</div> <div>Date Inspector</div>	<div>Gas</div> <div>Rough Final</div> <div>Date Inspector</div>	<div>HVAC Equipment</div> <div>Date Inspector</div>	<div>Sprinkler</div> <div>Date Inspector</div>	<div>Electrical</div> <div>Rough Final</div> <div>Date Inspector</div>	<div>Sanitary</div> <div>Date Inspector</div>	<div>Cambridge Fire Dept.</div> <div>Date Inspector</div>



ZONING INFORMATION

16 Kennedy
Cambridge MA 02138

DISTRICT Residence A-1

Lot size 10,459

Max. FAR 0.50

	REQUIRED (min /max)	Proposed
Basement	NIC	NIC
First Floor (includes 1 garage space)		1955
1 Space Garage (Not included in FAR)		220
Second Floor		1985
Attic		862
TOTAL GFA (Max 5,229 sq. ft.)	5229	4802
FAR .50 max	0.50	0.46
Front Setback -Kennedy (25' min.)	25'-0"	25'-0"
Rear (35' min)	35'	52.3' (note 1)
South side (15' min. sum of 35')	20'(sum of 35)	20'
North Side (15' min. sum of 35')	15'(sum of 35)	15' - 22.4'
Building Height (35' max.)	35'	34'-8"
Open Space (min. 50%)	50%	57%
Open Space Including Easement		66%

note 1: rear lot line is determined as per article 2.0 of the Cambridge Zoning Ordinance "A line most distant and opposite from the front lot line; where the lot is irregular, a line perpendicular to the mean direction of the side lot lines, at least ten (10) feet in length within the lot."

OPEN SPACE KEY

- Area counted towards open space= 5,949 sf (57% open space)
- Area of easement= 972 sf (66% open space with easement)
- Area not counted towards open space=1363 sf

GENERAL NOTES TO CONTRACTOR

1. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE EVENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE EVENT OF CONSTRUCTION.
2. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL VISIT THE SITE, ACCOMPANIED BY THE OWNER AND ARCHITECT, AND SHALL MEET WITH THE ARCHITECT AND OWNER TO DISCUSS THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE EVENT OF CONSTRUCTION.
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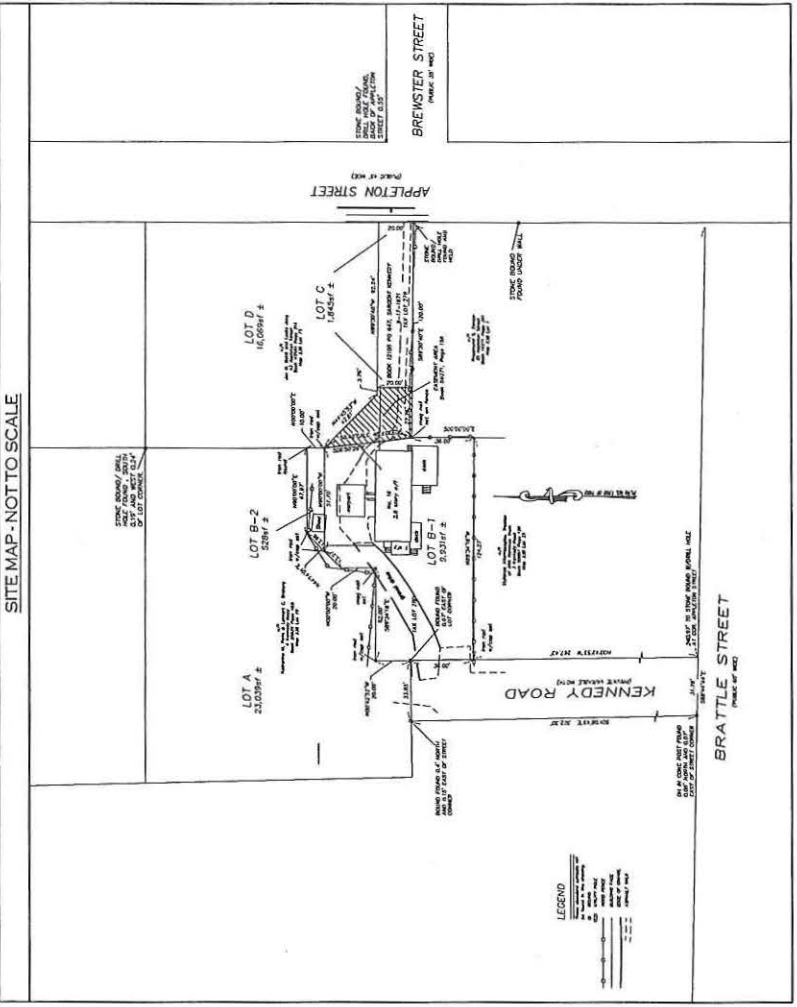
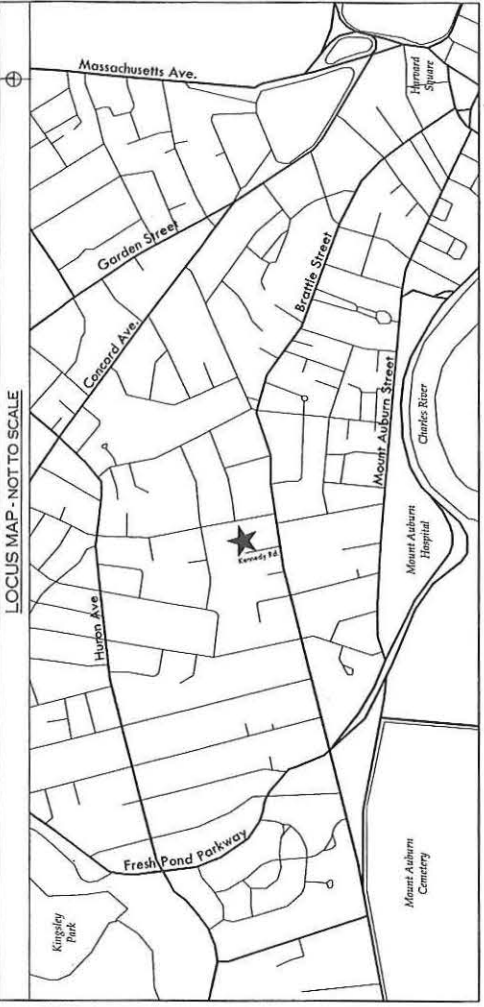
KEY TO SYMBOLS

NEW GAS IN PLACE CONCRETE
EXISTING CONCRETE
EXISTING MASONRY
EXISTING WOODWORK
EXISTING ROOFING
EXISTING FLOORING
EXISTING CEILING
EXISTING PAINT
EXISTING FINISHES
EXISTING UTILITIES
EXISTING STRUCTURES
EXISTING LANDSCAPE
EXISTING SITEWORK
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NEW GAS IN PLACE CONCRETE
EXISTING CONCRETE
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EXISTING PAINT
EXISTING FINISHES
EXISTING UTILITIES
EXISTING STRUCTURES
EXISTING LANDSCAPE
EXISTING SITEWORK

**MOSKOWITZ - FARMER
RESIDENCE**
at
16 KENNEDY ROAD
CAMBRIDGE, MA 02138

DRAWING INDEX	
A0	Title Page
C1	Existing Site Plan
A1.0	Proposed Driveway and Utility Plan
A1.1	Proposed Basement Plan
A1.2	Proposed First Floor Plan
A1.3	Proposed Second Floor Plan
A1.4	Proposed Third Floor Plan
A1.5	Proposed Roof Plan
A2.0	Exterior Elevations - North and West
A2.1	Exterior Elevations - South and East
A2.2	Building Sections
A2.3	Proposed Foundation Plan
A2.4	Proposed First Floor Framing Plan
A2.5	Proposed Second Floor Framing Plan
A2.6	Proposed Third Floor Framing Plan
A2.7	Proposed Roof Framing Plan
A2.8	General Notes, Sections, & Details



FIRE PROTECTION NOTES/SYMBOLS

1. CARBON MONOXIDE DETECTORS AND SMOKE DETECTORS PER MA STATE
 AS OF 1990: 0.0000

1. CARBON MON
SULFIDE COOL

⑩ Smoke detector

Smoke detector

Carbon Monoxide Detector

FOLEY FIORE
ARCHITECTUREFOLEY FLORE
ARCHITECTURE

THE UNIVERSITY OF CHICAGO

THE UNIVERSITY OF CHICAGO

Permit Update 03-07-18

Moskowitz-Fenner
Residence

konstruktive Feedback

16 Kennedy Road
Cambridge MA 02138

76 Kennedy Road
Cambridge, MA 02138

Date	Revised
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Date:	Revised:
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Date:	Revision:
2016-01-12	Issued for Review

2028-01-12 Issued for Permis

2018-01-12	Issued for Printing
2018-01-16	Issue for Civil En-

2018-07-16	Have to find the
2018-07-01	Have to find the

2013-07-16	Permit Update
2013-07-01	Permit Update

Version	Parent Update
2018-07-01	Parent Update
2018-07-08	Parent Update

2018-02-08
Present Update

2028-02-08	Preprint Update
2028-03-07	Preprint Update

Kendall

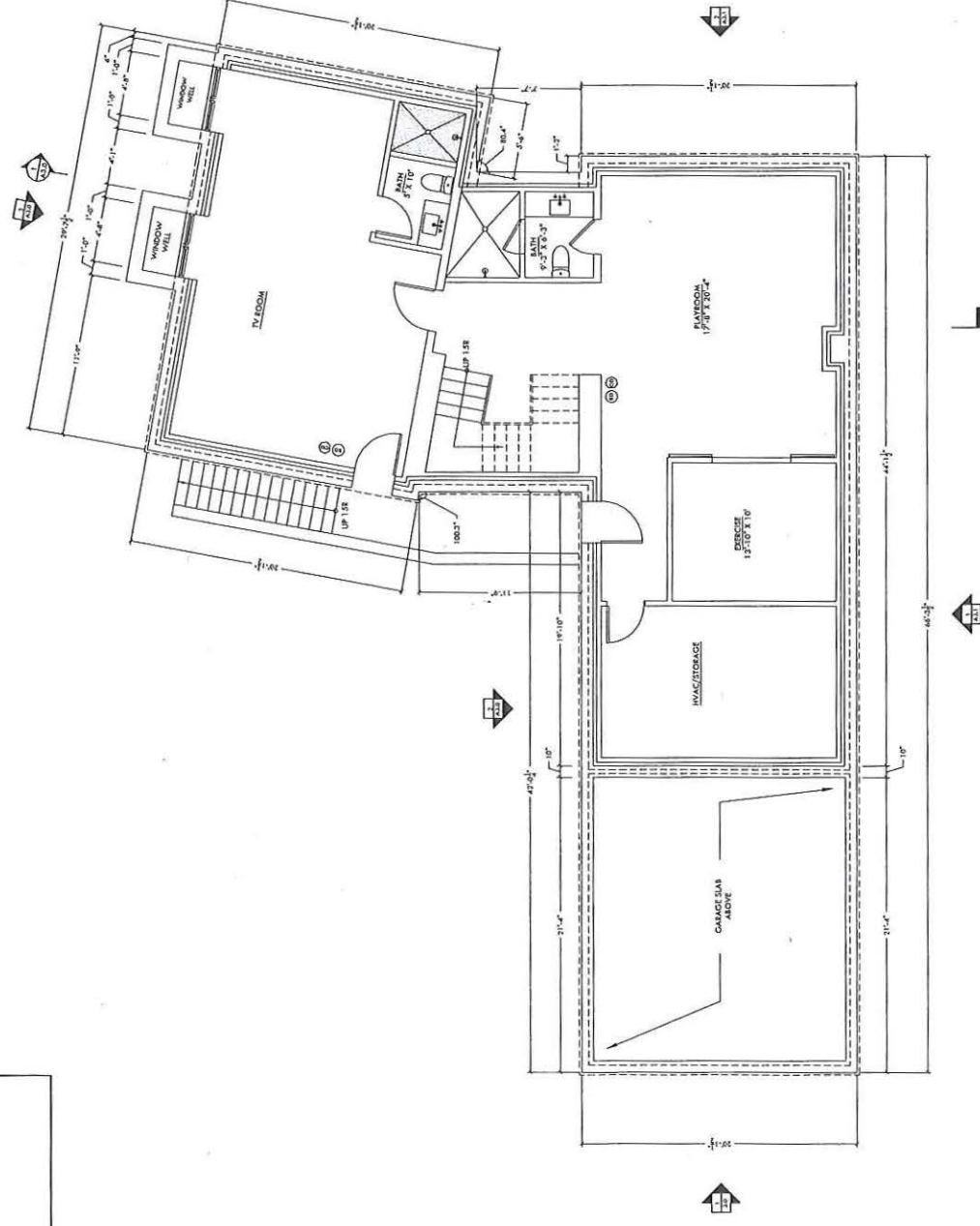
Scale

Scale: $1/\Delta t = 1/Q^2$
$$1/A^{\text{th}} = 1/Q^{\text{th}}$$
Table 1
TABLE 10

Table 1

Proposed Document

FLOOR PLAN



1 PROPOSED BASEMENT FLOOR PLAN
1/4" = 1'-0"

FIRE PROTECTION NOTES/SYMBOLS

1. DETECTORS AND ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NFPA 72, NATIONAL FIRE PROTECTION ASSOCIATION, BIRMINGHAM, AL.

2. DETECTOR SHALL BE

3. DETECTOR SHALL BE

FOLEY FIORE ARCHITECTURE

1111 1/2 AVENUE, SUITE 100
BIRMINGHAM, AL 35203
205.933.1111
www.foleyfiore.com

1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

Middleton-River
Kiddner

1111 1/2 AVENUE, SUITE 100
BIRMINGHAM, AL 35203

Owner: Middleton-River
Kiddner
1111 1/2 AVENUE, SUITE 100
BIRMINGHAM, AL 35203
205.933.1111
www.middleton-river.com

Scale: 1/4" = 1'-0"
Proposed First
Floor Plan
Sheet: A1.1

Permit Update 03-07-18

FIRE PROTECTION NOTES/SYMBOLS

1. CARBON MONOXIDE DETECTORS AND SMOKE DETECTORS PER MA STATE
MILLIS, MA, CODE1. CARBON MON.
BUILDING CODE.

(10) Smoke detector

CO
Carbon Monoxide Detector

**FOLEY FIORE
ARCHITECTURE**

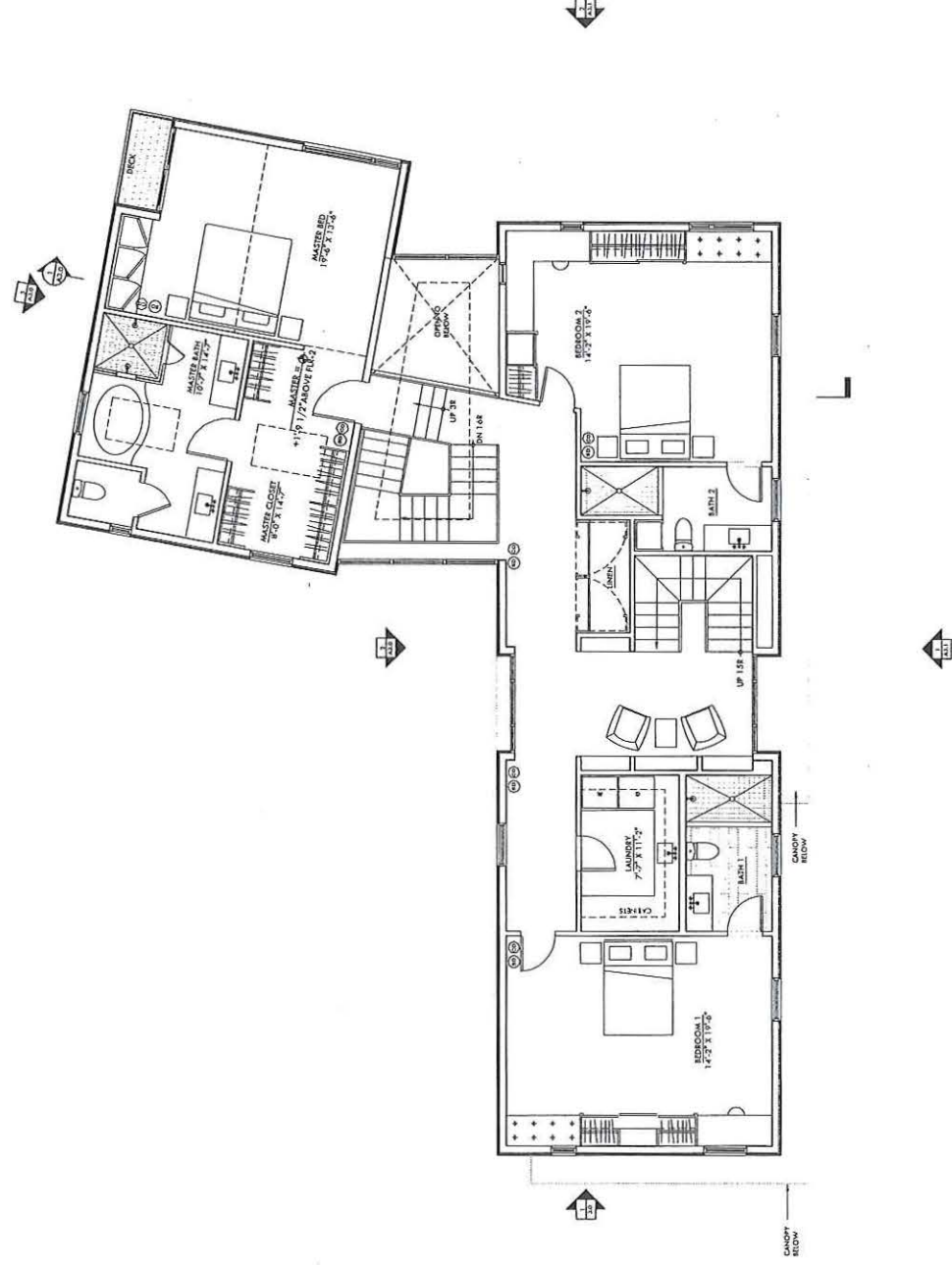
Permit Update 03-07-18

Moskowitz-Farmer

16 Kennedy Road
Cambridge, MA 02138

Date	Revisions
2016-03-12	Issued for Permit
2016-03-16	Issue to Civil Eng
2016-02-07	Permit Update
2016-02-04	Permit Update
2016-03-07	Permit Update

Scale: 1/4" = 1'-0"
Title: PROPOSED SECOND FLOOR PLAN
Sheet: A1.2



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

NOTE:
SEE A4.5 SECTION BUILD-UP KEY FOR
MATERIALS.

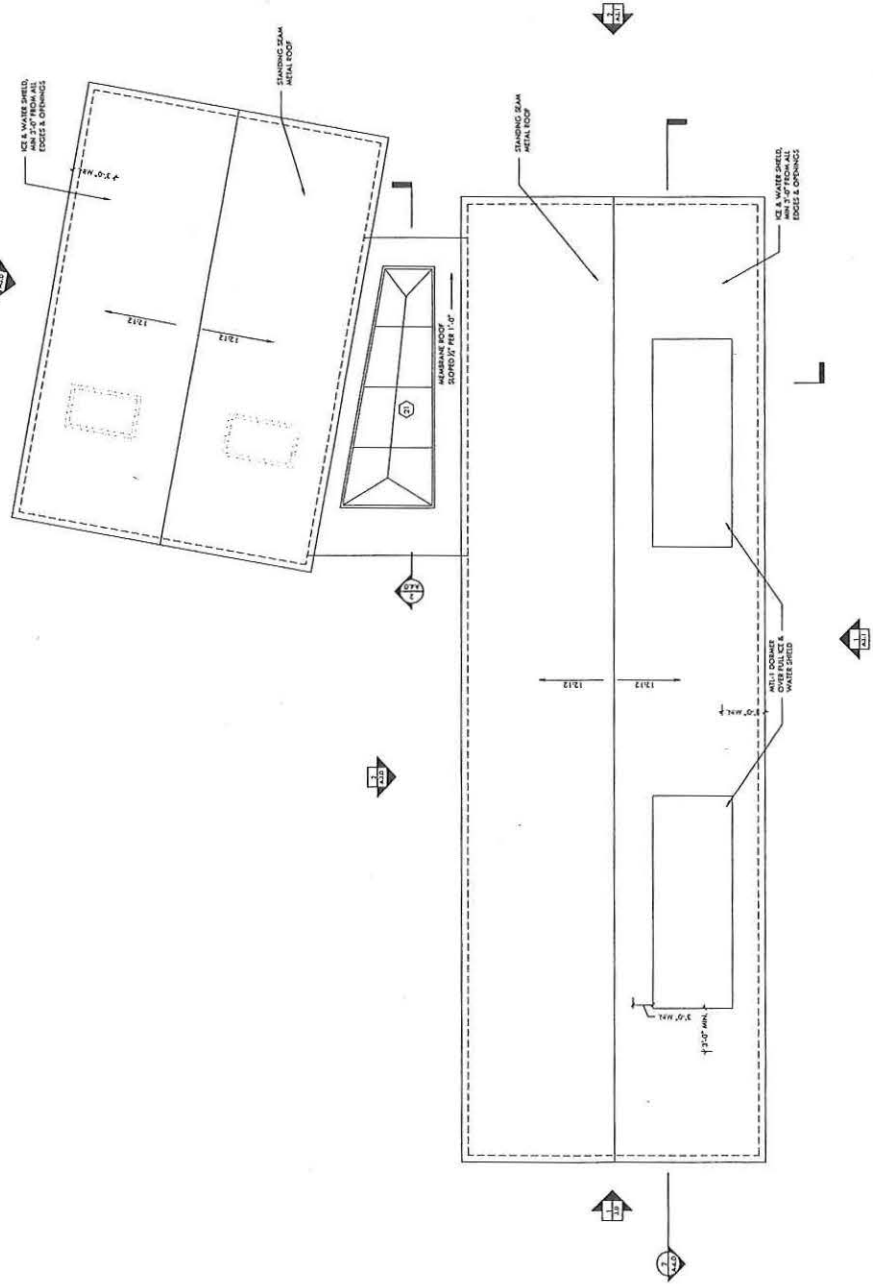
FOLEY FIORE
ARCHITECTURE
1111 KENNEDY ROAD
CAMBRIDGE, MA 02142
TEL: 617.552.1111
WWW.FOLEYFIORE.COM

Permit Update 03-07-18

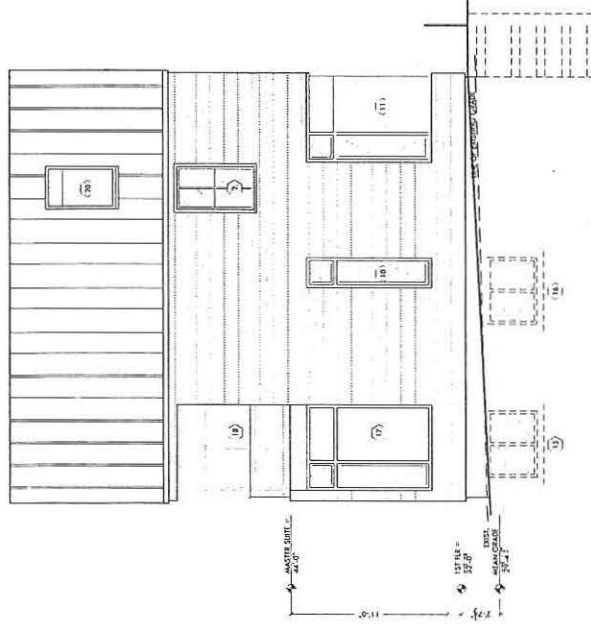
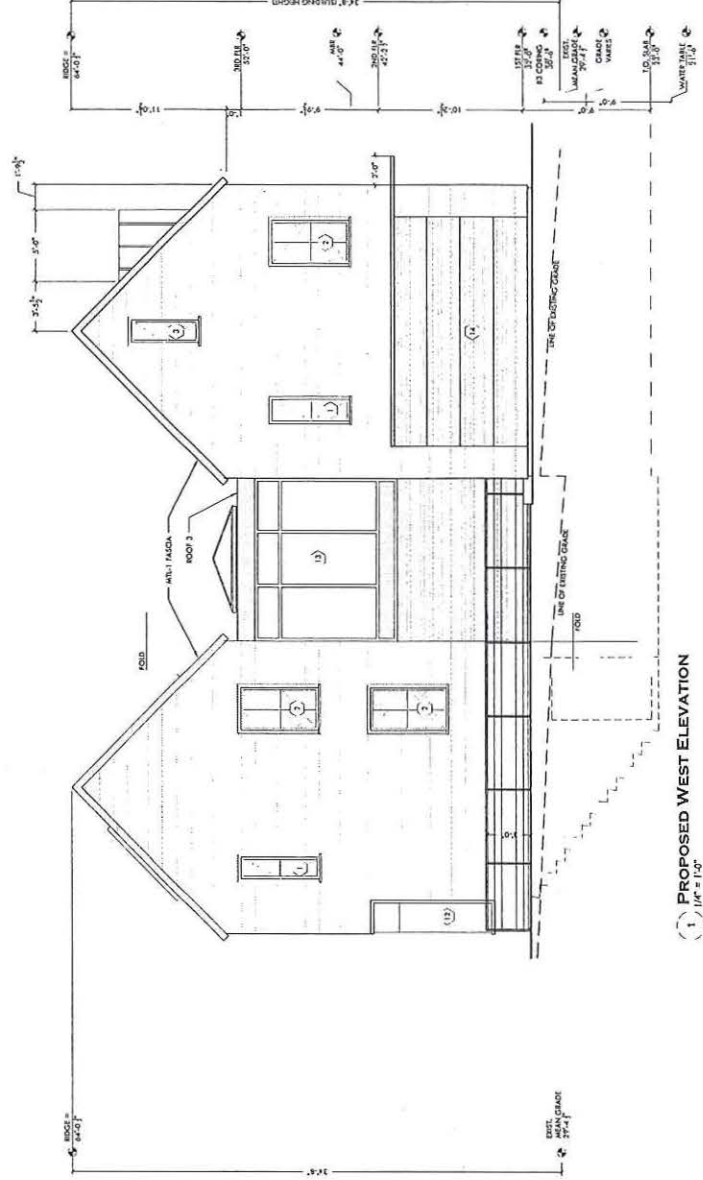
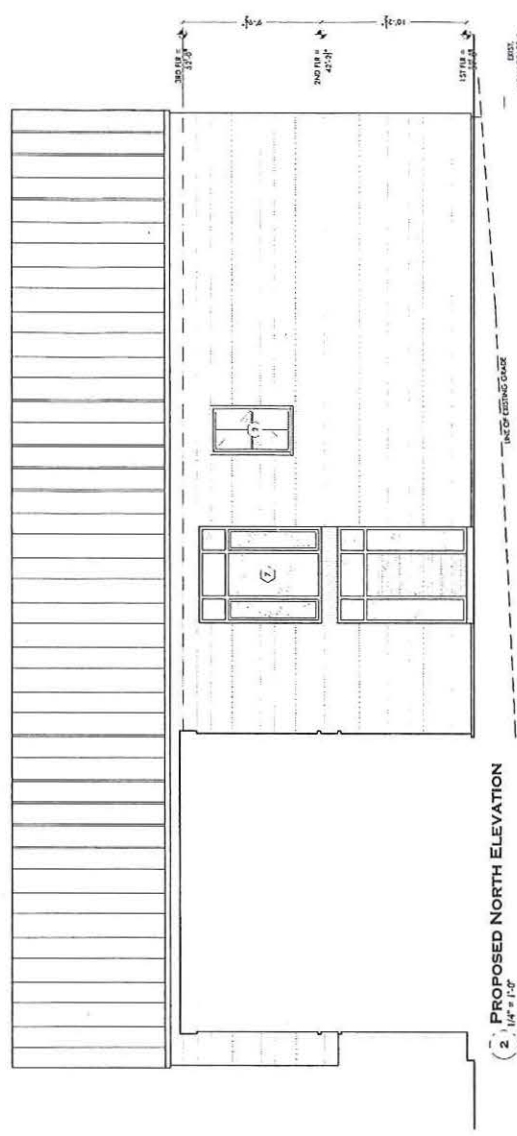
16 Kennedy Road
Cambridge, MA 02142
Residence

Revisions
2018-01-11 Initial Design
2018-01-14 Initial Construction
2018-01-15 Final Design
2018-01-16 Final Construction
2018-01-17 Permit Update

Scale:
1/4" = 1'-0"
Title:
Proposed
Roof Plan
Sheet:
A1.4

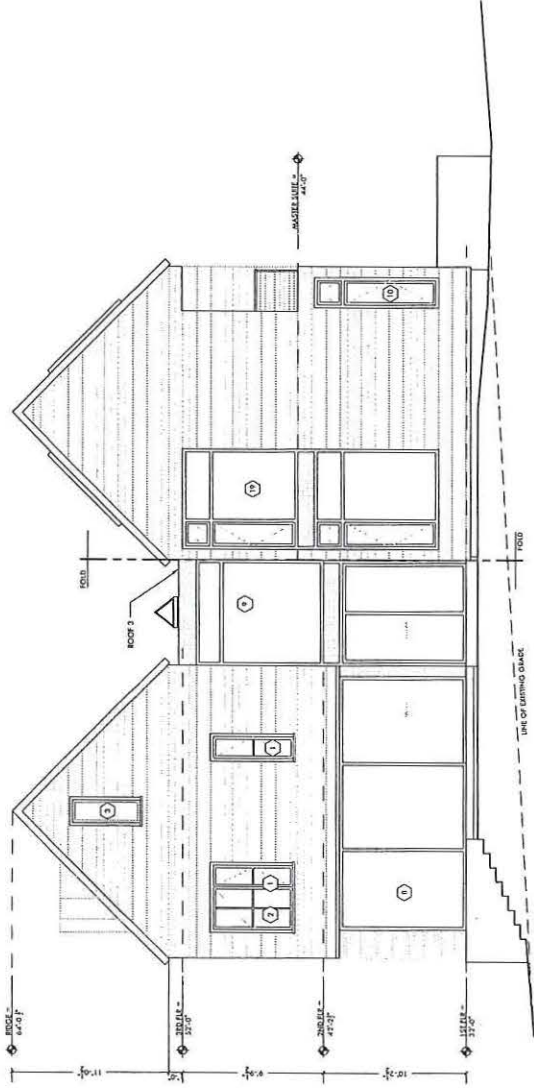


1 PROPOSED ROOF PLAN
1/4" = 1'-0"

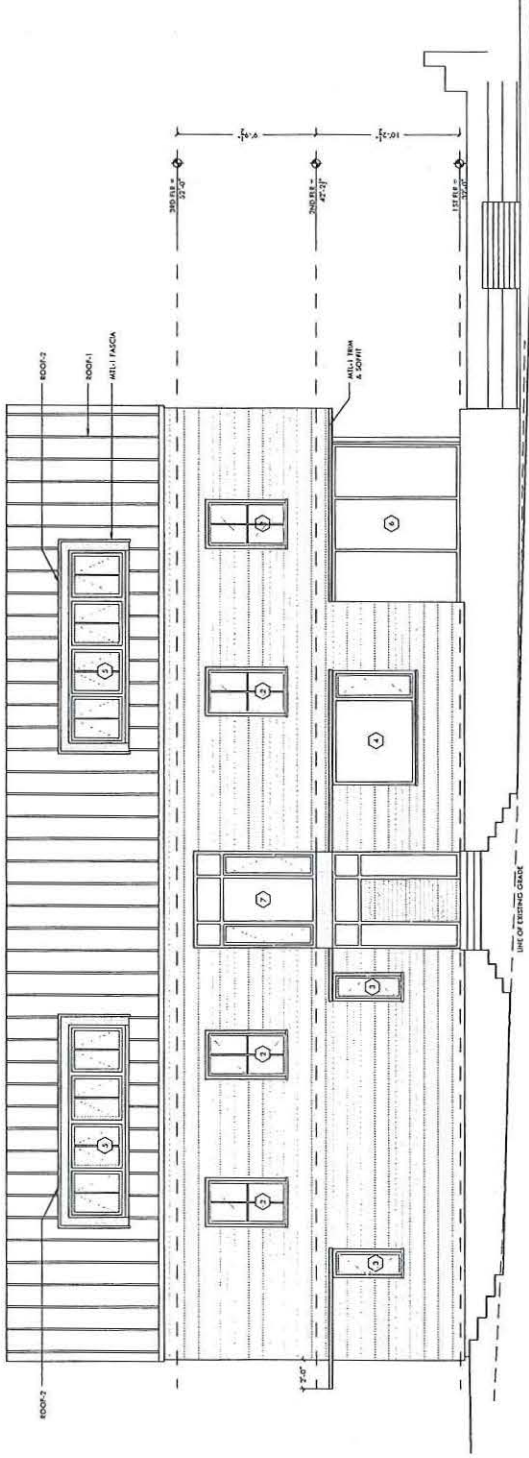


Job	Material	Quantity	Unit	Weight	Volume	Notes
1	Concrete	1.00	cubic yard	135	0.77	
2	Gravel	1.00	cubic yard	135	0.77	
3	Sand	1.00	cubic yard	135	0.77	
4	Reinforcing Steel	1.00	linear foot	135	0.77	
5	Formwork	1.00	square foot	135	0.77	
6	Brick	1.00	thousand	135	0.77	
7	Mortar	1.00	cubic yard	135	0.77	
8	Paint	1.00	gallon	135	0.77	
9	Plaster	1.00	cubic yard	135	0.77	
10	Insulation	1.00	cubic yard	135	0.77	
11	Roofing	1.00	square foot	135	0.77	
12	Windows	1.00	unit	135	0.77	
13	Doors	1.00	unit	135	0.77	
14	Lighting	1.00	unit	135	0.77	
15	Plumbing	1.00	unit	135	0.77	
16	Electrical	1.00	unit	135	0.77	
17	HVAC	1.00	unit	135	0.77	
18	Landscaping	1.00	unit	135	0.77	
19	Security	1.00	unit	135	0.77	
20	Other	1.00	unit	135	0.77	

NOTE:
SEE A4.0 SECTION BUILD-UP KEY FOR MATERIALS.



2 PROPOSED EAST ELEVATION
1/8" = 1'-0"



1 PROPOSED SOUTH ELEVATION
1/8" = 1'-0"

NOTE:
SEE A4.0 SECTION BUILD-UP KEY FOR
MATERIALS.

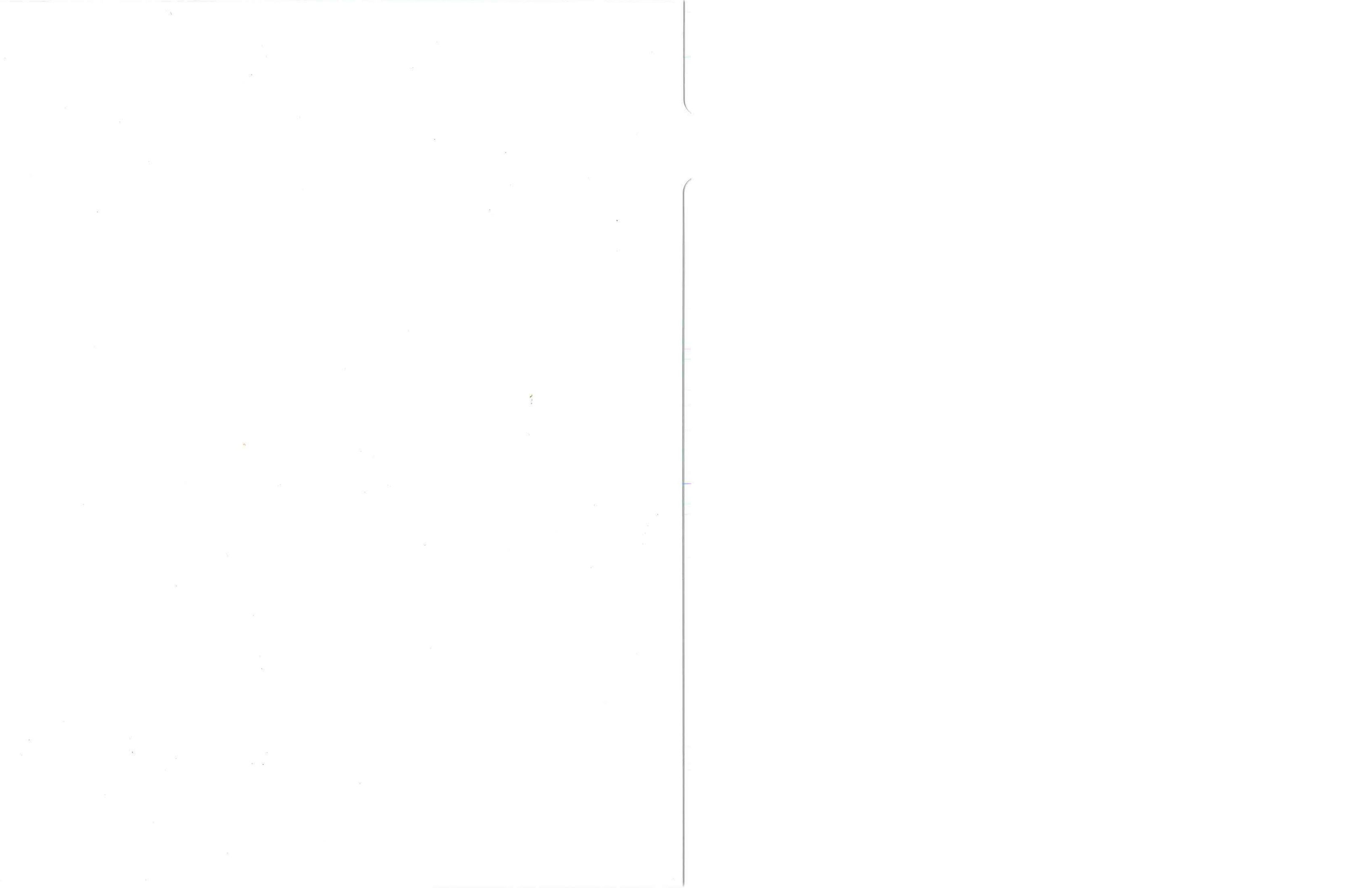
[illegible][illegible]

Permit Update 03-07-18

Series 1/4" = 1'-0"
Title PROPOSED SECTIONS
Drawn A4.0



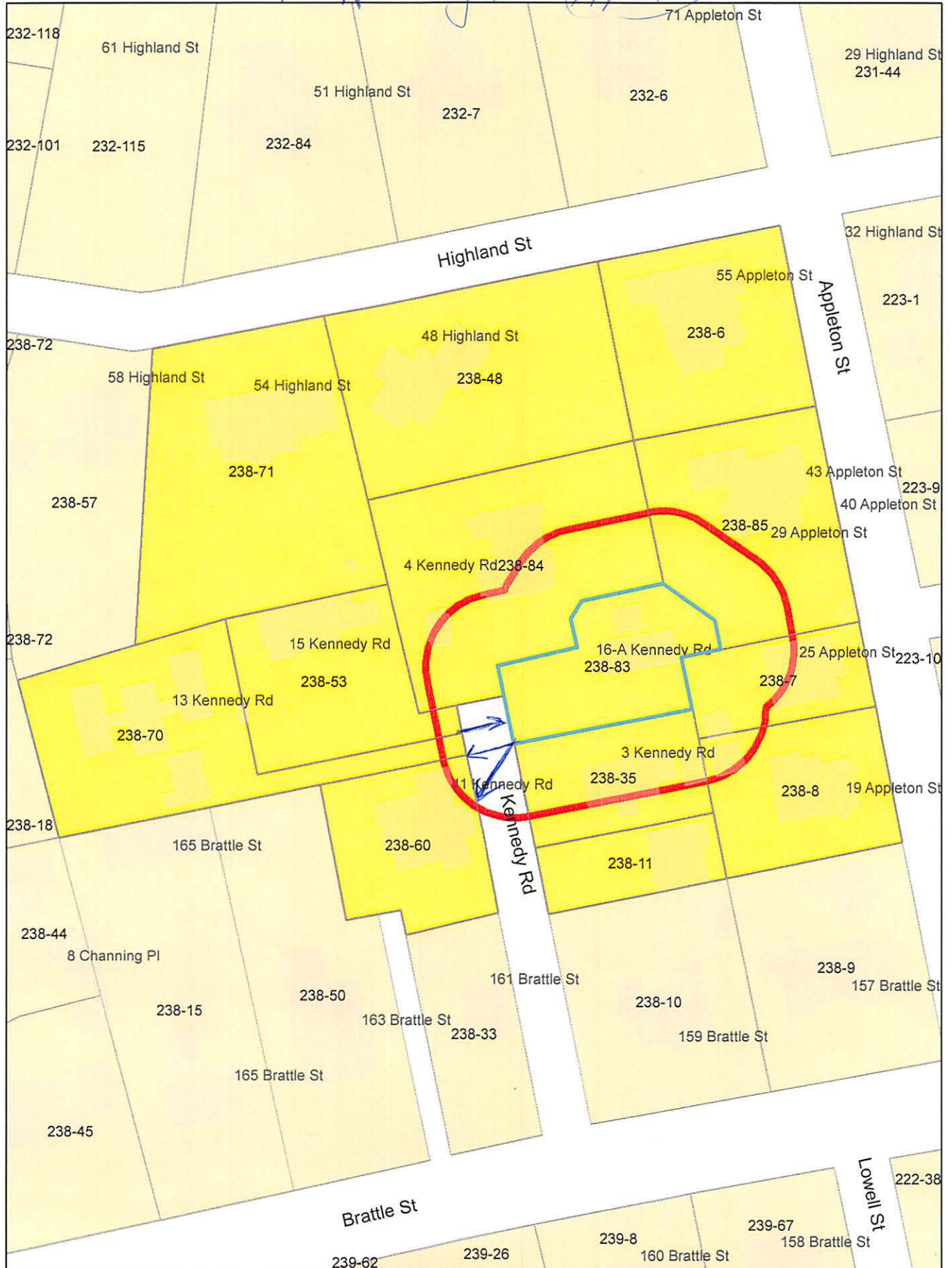
SECTION
1/4" = 1'-0"





1	Introduction
2	Chapter 1: The Basics
3	Chapter 2: Advanced Topics
4	Chapter 3: Case Studies
5	Chapter 4: Future Trends
6	Chapter 5: Conclusion
7	Appendix A: Glossary
8	Appendix B: Bibliography
9	Appendix C: Index
10	Appendix D: Additional Resources
11	Appendix E: Contact Information

16 Kennedy Rd - (Appeal)



16 Kennedy Rd.

Retention

238-6
WILKINS, ANN MARIE & DAVID B. WILKINS
55 APPLETON ST
CAMBRIDGE, MA 02138

238-7
ZANDER, ROSAMUND S.
25 APPLETON ST
CAMBRIDGE, MA 02138

ROBINSON+COLE
C/O TIMOTHY C. TWARDOWSKI, ESQ.
ONE BOSTON PLACE, 25TH FLOOR
BOSTON, MA 02108

238-11
BELL, PETER,
TR. RESIDENT KENNEDY ONE REALTY TR.
8 KENNEDY RD
CAMBRIDGE, MA 02138

238-35
ATLAMAZOGLU, STYLIANOS.
TRUSTEE OF ANA NOMINEE TRUST
3 KENNEDY RD
CAMBRIDGE, MA 02138

238-48
EDMONDS, HELEN M. & ANDREW F. PESEK
48 HIGHLAND STREET
CAMBRIDGE, MA 02138

238-53
TODD, EVA ANDENAE
15 KENNEDY RD.
CAMBRIDGE, MA 02138

238-60
JACOBSEN, VIRGINIA
11 KENNEDY RD
CAMBRIDGE, MA 02138

238-70
MANUS, DEBORAH J.,
TRUSTEE THE 13 KENNEDY RD NOMINEE TR.
163 BRATTLE ST
CAMBRIDGE, MA 02138

238-71
HORNOR, JILL ALISON
TR. JENY REALTY TRUST
54 HIGHLAND ST.
CAMBRIDGE, MA 02138

238-85
BIOTTI, JON M. & LESLIE JENG
43 APPLETON ST
CAMBRIDGE, MA 02138

238-84
PERLS, KATHERINE M. & LENNART C. BRABERG
4 KENNEDY RD
CAMBRIDGE, MA 02138

238-83
FARMER, JACOB A. & JENNA R. MOSKOWITZ
16 KENNEDY RD
CAMBRIDGE, MA 02139

238-8
SIMONS, HUGH
19 APPLETON ST
CAMBRIDGE, MA 02138