

# CITY OF CAMBRIDGE MASSACHUSETTS BOARD OF ZONING APPEAL 831 MASSACHUSETTS AVENUE CAMBRIDGE, MA 02139 617 349-6100

# **BZA APPLICATION FORM**

Plan No:

BZA-017128-2019

**GENERAL INFORMATION** 

The undersi	gned hereby petition	ns the Boa	rd of Zoning Apբ	oeal for the fe	ollowing:
Special Pern	nit :		Variance :		Appeal :
PETITIONER	: 1160 Mas:	Ave Inc	: (d/b/a Kung	Fu Tea)	- C/O Megan M. Kemp, Esq.
ETITIONER	'S ADDRESS :	48 Gro	ve Street, S	uite 304 :	Somerville, MA 02144
OCATION (	OF PROPERTY:	1160 Ma	ssachusetts	Ave Cambr	idge, MA 02138
YPE OF OC	CUPANCY:			ZON	NING DISTRICT: Residence C-2B Zone
EASON FO	R PETITION:				
_,,,,,,,,,,,		e in Use	/ Occupancy		
ESCRIPTIC	N OF PETITIONER	'S PROPOS	SAL:		
nd Olive uilding	) into a fast is located in	order foo a reside	od establish ntial zone,	ment (Kund the variou	sting retail (alcohol) shop (Salt g Fu Tea, bubble tea). As the us uses in the building, all require s businesses in the Harvard Square
ECTIONS C	F ZONING ORDINA	ANCE CITE	D:		
rticle 4	.000	Section	4.35.0 (Fast	t Order Fo	ood Establishment).
rticle 1	1.000	Section	11.30 (Fast	Order Foo	od Establishment).
			Original Signati	ure(s) :	(Pentioner(s) / Owner)  Megan M. Kemp, Esq. // Adam Dash & Associates  (Print Name)
* i			Ad	ldress :	48 Grove Street, Suite 304 Somerville, MA 02144
			Te	l. No. :	617-625-7373
			E-I	Mail Address	; kemp@adamdashlaw.com
Date:	May 28, 2019 9	10/19			

# BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We 1154-1166 MASS. AVE. LLC
(OWNER)
Address: c/o Oriental Furniture; 68 Moulton Street, 3rd Floor, Cambridge, MA 02138
State that I/We own the property located at 3-5 Arrow Street a/k/a 1160 Mass Ave,
which is the subject of this zoning application.
The record title of this property is in the name of 1154-166 MASS. AVE. LLC
*Pursuant to a deed of duly recorded in the date 12/9/2011 , Middlesex South
County Registry of Deeds at Book 58050 , Page 199 ; or
Middlesex Registry District of Land Court, Certificate No
Book Page
SIGNATURE BY LAND OWNER OR AGENT*
*Written evidence of Agent's standing to represent petitioner may be requested.
Commonwealth of Massachusetts, County of
The above-name <u>Peter Givertzman</u> personally appeared before me, this 300 of <u>May</u> , 2019, and made oath that the above statement is true.
Samir Mahat . MARATAN
• If ownership is not shown in recorded deed, e.g. if by court of the recorded deed, e.g. if by
• If ownership is not shown in recorded deed, e.g. if by court of the deed, or inheritance, please include documentation.

## **BZA APPLICATION FORM**

# SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:
  - A literal enforcement of the Ordinance would be a substantial hardship to the petitioner because this property contains mostly non-conforming retail oriented businesses, including other food and fast order food establishments, all of which are prohibited by the Residence C-2B zoning classification. The adjacent streets and businesses on both Mass Ave and Arrow Street are a commercial/retail corridor which is incompatible with the residential uses that would otherwise be allowed. As a result, any use compatible current neighborhood necessitates a variance from the Ordinance
- B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The hardship is owing to the pre-existing non-comforming building uses and setbacks that predate zoning and are not practical for the allowed residential uses.

# C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

- 1) Substantial detriment to the public good for the following reasons:
  - Desirable relief may be granted without substantial detriment to the public good as the Variance requested is for a use that is in keeping with the current non-conforming commercial uses in the building. Additionally, the proposed use for a bubble tea establishment fits with some of the neighboring other food retail uses in the building and is compatible with the overall retail corridor.
- Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

  Granting this relief will not derogate from the intent or purpose of the Ordinance as is will maintain the current non-conforming commercial nature of the building and the surrounding area. The proposed use will fit with the requirements for fast order food establishments. It is geared towards pedestrian traffic rather than vehicular and will be complimentary to its neighboring businesses.
- \* If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.

# **BZA APPLICATION FORM**

# **DIMENSIONAL INFORMATION**

Adam Dash & Associates PRESENT USE/OCCUPANCY: retail/alcohol retail APPLICANT: ZONE: Residence C-2B Zone 1160 Massachusetts Ave Cambridge, MA 02138 LOCATION: REQUESTED USE/OCCUPANCY: fast order food PHONE: REQUESTED **ORDINANCE EXISTING** REQUIREMENTS **CONDITIONS CONDITIONS** 5122 8474 8474 (max.) TOTAL GROSS FLOOR AREA: 2927 2927 n/a (min.) LOT AREA: 2.9 1.75 2.9 (max.) RATIO OF GROSS FLOOR AREA TO LOT AREA: n/a n/a n/a (min.) LOT AREA FOR EACH DWELLING UNIT: 51 ft 51 ft 55 ft (min.) WIDTH SIZE OF LOT: 81.75 ft 81.75 ft n/a DEPTH 10 ft 0 0 (min.) SETBACKS IN FEET: FRONT 0 20 ft O (min.) REAR 0 0 h+1/5 (min.) LEFT SIDE 0 0 h+1/5 (min.) RIGHT SIDE 33 ft +/-33 ft +/-45 ft (max.) HEIGHT SIZE OF BLDG .: 32 ft 32 ft n/a LENGTH 78 ft n/a 78 ft WIDTH >30% >30% 30% RATIO OF USABLE OPEN SPACE (min.) TO LOT AREA: 0 0 4.8 (max.) NO. OF DWELLING UNITS: 0 0 0 (min./max) NO. OF PARKING SPACES: 0 0 0 (min.) NO. OF LOADING AREAS: 0 0 (min.) DISTANCE TO NEAREST BLDG.

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

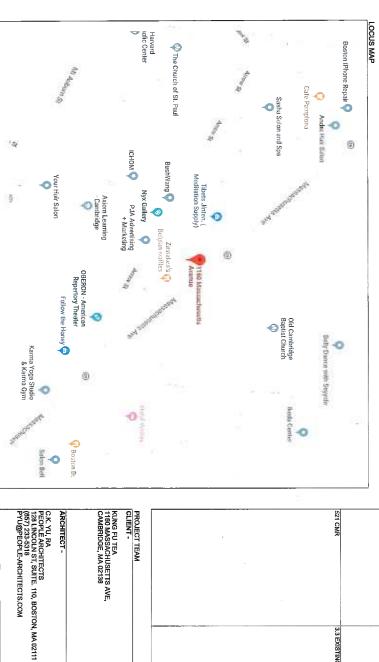
No exterior/dimensional changes, only a change to the use in one space in the building, approx 826 sq. ft.

ON SAME LOT:

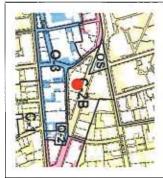
<sup>1.</sup> SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).

TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5')
DIVIDED BY LOT AREA.

<sup>3.</sup> OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.







APPLICABLE COLE PLYLLW
IBC 2015 CH.3 - USE AND OCCUPANCY FLOOR LEVEL
CLASSIFICATION FIRST

IBC 2015 CH.8 - INTERIOR FINISHES

803.11 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY

OCCUPANCY GROUP

INTERIOR EXIT STAIRWAYS AND FOR EXIT ACCESS STAIRWAYS AND RAMPS

ROOMS AND ENCLOSED SPACES

REMARKS

GROUP B WITH OCCUPANT LOAD < 50 PER 303.1.1

BUILDING WITH SPRINKLER SYSTEM, CLASS A: FSI
0-25, SCI 0-450, CLASS B: FSI 36-75, SDI 0-450.

CLASS C: FSI 76-200, SDI 0-450.

PROPOSED
GROUP B: RESTAURANT

803 AUTOMATIC SPRINKLER SYSTEMS

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	10.31	USE	ZONING DISTRICT OVERLAY	ZONING DISTRICT	WORKAREA	PROJECTAREA	TOTAL BUILDING AREA	BUILDING OWNER	MAPAOT	PROJECT ADDRESS	PROJECT INFORMATION BUILDING ADDRESS
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	(4,43) PETAL USINESS AND CONSUMER SERVICE ESTABLISHMENTS: FAST ORDER FOOD ESTABLISHMENTS: FAST ORDER FOOD ESTABLISHMENT STATE ORDER FOOD STATE BOARD OF ZONING APPEAL WITH RESPECT TO PARTICULAR ISE, MAY BE AUTHORIZED BY THE BOARD OF ZONING APPEAL WITH RESPECT TO PARTICULAR ISE.	PROPOSED									

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LIST OF DRAWINGS
CI: COVER PAGE
A.0.1: GENERAL NOTES AND ABBREVIATIONS
A.0.2: MAAB NOTES AND TYPICAL DETAILS
A-0.3: TYPICAL DETAILS
EX-1.0: EXISTING PLAN
A-1.0: PROPOSED PLAN
A-1.1: NEW CONSTRUCTION PLAN
A-1.2: FINISH FLOOR PLAN
A-1.3: FEFECTED CELLING PLAN
A-1.4: REFIECTED CELLING PLAN
A-1.4: REFIECTED CELLING PLAN
A-1.5: EQUIPMENT SCHEDULE

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PROJECT TITLE				03/24/2019	03/18/2019	03/10/2019	03/05/2019	02/11/2019	02/09/2019	01/28/2019	12/28/2018	3000	REVIEWED BY: CKY
h				PERMIT SET PROGRESS	PERMIT SET PROGRESS	PROGRESS DRAWING 6	PROGRESS DRAWING 5	PROGRESS DRAWING 4	PROGRESS D WANTED 1	PROGRESS DRAWI 49 ?	PROGRESS DRAWL 1	DESCRIPTIONS	r: CKY

DRAWN BY: I'N

PERMIT SET - PROGRESS 03/24/2019



COVER PAGE

PROJECT ADDRESS

1160 MASSACHUSETS AVE,
CAMBRIDGE, MA

KUNG FU TEA

KUNG FU TEA HARVARD SQUARE

### GENERAL REQUIREMENTS & NOTES

1. GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS.

. GENERAL CONTRACTOR IS REQUIRED TO VERIFY EXISTING CONDITIONS AND DIMENSIONS BEFORE ECINNING OF WORK, GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFINING THE ARCHITECT AND WINER OF ANY DISCREPANCY OR INCONSISTENCIES PRIOR TO PROCEEDING WITH THE WORK

3. IT IS NOT THE INTENT THESE DRAWINGS AND SPECIFICATIONS TO ASSIGN RESPONSIBILITY FOR VARIOUS ASPECT OF THE WORK TO SPECIFIC SUBCONTRACTOR OR SUB-SUBCONTRACTOR. THE GENERAL CONTRACTOR HAS PRIME RESPONSIBILITY AND SHALL BE RESPONSIBLE OF THE COORDINATION OF ALL WORK BY ALL TRADES, INCLUDING THOSE PROVIDED AND DIRECTED BY THE OWNER, AND VERIET THAT ALL CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL MATERIALS BY ALL TRADES.

GENERAL CONTRACTOR AND ALL TRADES SHALL COMPLY WITH THE LATEST EDITIONS OF APPLICABLE MASSACHUSETTS BUILDING CODES, REGULATIONS AND STANDARDS.

s, general contractor shall provide fire extinguisher(s) and knox box as required by Massachusetts state building code and local jurisdiction:

6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING BLOCKING AND REINFORCEMENT ABOVE FINISHED CEILING FOR ALL SURFACE MOUNTED EQUIPMENT, FIXTURES AND FURNISHINGS AS REQUIRED.

7.GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING CONDITIONS AND NEW WORK DURING CONSTRUCTION.

B. WORK SHALL NOT BE COVERED BEFORE INSPECTIONS AND APPROVALS. WORK THAT NEEDS TO BE UNCOVERED SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER. I. ALL WORK SHALL BE EXECUTED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS, BY RECHANICS SKILLED IN THE WORK AND FAMILIAR WITH THE MATERIALS TO BE INSTALLED.

11. ALL NEW WORK SHALL BE PLUMB AND LEVEL.

12. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUB-CONTRACTOR TO UNDERTAKE WHATEVER MEASURES, METHODS OF PROCEDURES AS NECESSARY, REQUIRED OR OTHERWISE APPROPRIATE TO SAFEGUARD THE HEALTH AND SAFETY OF ALL WORKERS AND MEMBERS OF THE PUBLIC WITH RESPECT TO IDENTIFICATION AND DISCOVERY FO PREVIOUSLY UNKNOWN HAZARDOUS MAYERIALS DURING THE WORK OF THE PROJECT.

13. GENERAL CONTRACTOR AND SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING SHOP DRAWNINGS FOR FIRE ALARM SYSTEM AND SUBMITTED TO AUTHORITIES HAVING JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO SYSTEM INSTALLATION.

14. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO BIDDING THE WORK AND SHALL REPORT TO THE ARCHITECT MAY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE PROJECT.

15, ALL CONSTRUCTION DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY OF ARCHITECTS PROFESSIONAL SERVICE, AND WHAT IS CALLED FOR BY EITHER WITH BE BINDING AS IF CALLED FOR BY BOTH. WHERE NOTES AND SPECIFICATIONS ARE IN CONFLICT WITH THE ARCHITECTURAL AND ENGINEERING DRAWINGS, THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

16. THE PLANS AND SPECIFICATIONS ARE INTENDED TO DEFINE THE SCOPE OF THE WORK REQUIRED BUT DO NOT LIMIT THE WORK REQUIRED TO PRODUCE A COMPLETE AND WORKING SYSTEM. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INCLIDE ALLITEMS NOT SHOWN BUT REQUIRED TO PRODUCE A RESPONSIBILITY OF THE CONTINUE.

COMPLETE AND WORKING SYSTEM.

17. ALL DIAGRAMS, FIXTURES AND FURNISHINGS ARE SHOWN FOR INFORMATION ONLY AND ARE INTENDED TO DEPICT APPROXIMATE LOCATIONS AND ARRANGEMENTS. GENERAL CONTRACTOR TO COORDINATE WITH OWNERWARCHITECT FOR INNAL LOCATION AND SIZE.

18. NOTIFY ARCHITECT/ENGINEER OF CONDITIONS WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET.

WRITTEN DIMENSIONS AND NOTES ON DRAWINGS ARE TYPICAL FOR SIMILAR CONDITIONS

20. ALL REPAIR AND PATCHING REQUIRED FOR THE SATISFACTORY COMPLETION OF THE PROJECT SHALL BE PERFORMED IN WORKMANLIKE MANNER TO MATCH EXISTING FINISHES.

21. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXTENT AND COST OF FLOOR LEVELING REQUIRE FOR THE PROJECT. COST SHALL BE INCLUDED AT TIME OF BIDDING. ALL FLOORS

22. THE GENERAL CONTRACTOR SHALL OBTAIN ARCHITECTIENGINEER'S APPROVAL FOR ALL SHOP DRAWINGS, PRODUCT SAMPLES, MATERIAL CHANGES AND SUBSTITUTIONS. THE GENERAL CONTRACTOR SHALL SUBMITTED TO THE ARCHITECT IN WRITING WITH MATERIAL SAMPLE, CUT SHEET, SHOP DRAWINGS AND PRODUCT INFORMATION/DATA.

23. ALL IN WALL PLUMBING, ELECTRICAL AND HVAC COMPONENTS THRU STUD WALL SHALL BE PROTECTED WITH METAL PLATES.

24. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD TIME ITEMS AND OF APPROXIMATE DELIVERY DATES.

25, IN ALL BUILDINGS WHERE STRUCTURAL STEEL HAS BEEN COVERED WITH SPRAYED FIREPROOFING MATERIAL, THE CONTRACTOR IS TO PATCH AND REPAIR SAID MATERIAL WHERE IT HAS BEEN DAMAGED OR REMOVED DURING THE COURSE OF THE WORK, ANY AREAS OF FIREPROOFING WHICH ARE OBSERVED TO BE DAMAGED OR MISSING UPON COMMENCEMENT OF THIS PROJECT ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FRIOR TO BEDINNING WORK IN THE AREA WHOULED.

25. WHENEVER WORK IS REQUIRED WITHIN ADJACENT OCCUPIED TENANT SPACES, OR TENANT SPACES ON THE FLOOR BELOWIABOVE, THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE MANAGEMENT OFFICE AND TENANT(S) INVOICE IN ORDER TO SCHEDULE THE WORK. ALL SUCH WORK IS TO BE PERFORMED DURING NON-BUSINESS HOUR AND THE CONTRACTOR SHALL BE RESPONSIBLE FROM FORTECTION AND MOVING OF ALL PURNTURE AND EQUIPMENT AS MAY BE RECURRED. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL BE RECURRED. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL BE STORE THE PREMISES TO ITS ORIGINAL CONDITION PRIOR TO THE COMMENCEMENT OF WORK.

27. WHENEVER WORK TAKES PLACE WITHIN OCCUPIED TENANT AREAS, THE CONTRACTOR IS REQUIRED TO PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS AND EQUIPMENT, AND PROVIDE TEMPORARY BARRIERS TO ISOLATE THE CONSTRUCTION AREA, EXCEPT AS MAY BE REQUIRED FOR INCIDENTAL ACCESS BEYOND THE WORK AREA.

29. ELEVATORS, BUILDING LOBBIES AND PUBLIC CORRIDORS USED FOR DELIVERY AND ACCESS TO THE CONSTRUCTION SITE SHALL NOT BE USED TO TEMPORARILY, STORE CONSTRUCTION MATERIAL, EQUIPMENT AND DEBRIS, ANY DAMAGE THAT OCCURS IN THESE AREAS AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED TO ITS ORGINAL CONDITIONS BY THE GENERAL CONTRACTOR.

ANY DEMOLITION NECESSARY FOR THE CONSTRUCTION BUT NOT NECESSARILY INDICATED ON THE DRAWINGS SHALL BE INCLUDED AS PART OF THE SCOPE OF WORK.

2. IT IS NOT THE INTENTION OF THESE DRAWINGS TO FULLY OUTLINE ALL REQUIRED DEMOLITION. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE BETWEEN THE EXISTING AND PROPOSED PLANS TO DETERMINE THE COMPLETE EXTENT OF DEMOLITION.

UNLESS NOTED OTHERWISE, KEYED CONDITIONS IN THE PLANS ARE TYPICAL; HENCE NOT ALL RELEVANT LOCATIONS ARE KEYED.

4. REMOVE ALL OBSOLETE MATERIALS AS NECESSARY AND APPROPRIATE, AND LEGALLY DISCARD IN A SAFE AND ACCEPTABLE MANNER.

5. ALL DEMOLITION DEBRIS ARE TO BE REMOVED FROM SITE, AREAS WHERE DEMOLITION OCCURRED SHALL BE LEFT IN A CLEAN AND SAFE CONDITION FOR NEW WORK.

. GENERAL CONTRACTOR SHALL NOTIFIY AND CONFER WITH THE ARCHITECT/ENGINEER OF ALL INFORESEEN CONDITION AND FOR CLARIFICATIONS.

7. UPON COMPLETION OF DEMOLITION, GENERAL CONTRACTOR SHALL CONFIRM ALL DIMENSIONS INDICATED ON THE BRAWINGS AND REPORT TO THE ARCHITECT ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE PROJECT.

B. PROTECT EXISTING FINISHES, DOORS, WINDOWS, HARDWARE, LIGHT FIXTURES TO BE REMAINED IN THE PROJECT DURING DEMOLITION.

9. DEMOLITION AND OTHER WORK WHICH CREATES DISTURBING NOISE AND ODOR MUST BE SCHEDULED WITH BUILDING MANAGEMENT AND PERFORM WITH WRITTEN APPROVAL BY BUILDING MANAGEMENT.

10. THE GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR ARE RESPONSIBLE FOR CONSULTING WITH SULDING MANAGEMENT WHEN REMAINING CONDUTS AND CABLES THAT ARE IN USE TO AVOID SERVICE INTERRUPTION TO ALL AREA OUTSIDE OF PROJECT AREA. THE GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR ARE RESPONSIBLE FOR REPAIR DUE TO DISRUPTION OF ANY SERVICES TO

## GENERAL LIFE SAFETY NOTES

I, PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED WITHIN 30 FEET OF COMMERCIAL COOKING EQUIPMENT, THE TOP OF FIRE EXTINGUISHERS SHALL BE INSTALLED NOT MORE THAN 5-07 ABOVE FLOOR F WEIGHT LESS THAN 40 LBS AND NOT MORE THAN 3-07 ABOVE FLOOR IF WEIGHT MORE THAN 40 LBS.

2. CLASS K-RATED PORTABLE EXTINGUISHERS SHALL BE PROVIDED FOR THE PROTECTION OF COOKING 3. THE INTENT OF THIS DOCUMENT IS TO ILLUSTRATE GENERAL FIRE ALARM SYSTEM LOCATION, NATURE AND EXTENT OF THE WORK PROPOSED, DETAILED SHOP DRAWINGS SHALL SE THE RESPONSIBILITY OF THE GC OR FIRE ALARM CONTRACTOR FOR REVIEW AND APPROVAL OF AHJ PRIOR TO COMMENCEMENT OF WORK.

4. A FIRE ALARM SYSTEM SHALL ANNUNCIATE AT THE FIRE ALARM CONTROL UNIT AND SHALL INITIATE OCCUPANT NOTIFICATION UPON ACTIVATION. ACTIVATE SHALL BE BY AUTOMATIC FIRE DETECTORS, AUTOMATIC SPRIKULER SYSTEM WATERFLOW DEVICES, MANUAL FIRE ALARM BOXES AND AUTOMATIC FIRE-EXTINGUISHING SYSTEMS.

5. THE AUDIBLE ALARM MOTIFICATION APPLIANCES SHALL PROVIDED A SOUND PRESSURE LEVEL OF 15 DEDIBLIS (1890) ABOVE THE AVERAGE AMBIENT SOUND LEVEL OR 6 18A ABOVE THE MAXIMUM SOUND LEVEL HAVING OUDBATION OF NOT LESS THAN 80 SECONDS, WHICHEVER IS GREATER, IN EVERY OCCUPIABLE SPACE WITHIN THE BUILDING, THE MAXIMUM SOUND PRESSURE LEVEL FOR AUDIBLE ALARM MOTIFICATION APPLIANCES SHALL BE 110 84A THE MINIMUM HEARING DISTANCE FROM THE AUDIBLE APPLIANCES, WHERE THE AVERAGE AMBIENT NOISE IS GREATER THAN 95 dBA, VISIBLE ALARM NOTIFICATION APPLIANCES SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 72 AND AUDIBLE ALARM NOTIFICATION APPLIANCES SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 72 AND AUDIBLE ALARM NOTIFICATION APPLIANCES SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 72 AND AUDIBLE ALARM NOTIFICATION APPLIANCES SHALL NOT BE REQUIRED.

6. EMERGENCY VOICE/ALARM COMMUNICATION SYSTEMS DESIGNED AND INSTALLED IN ACCORDANCE WITH NPPA 72. A MANUAL OVERRIDE FOR EMERGENCY VOICE COMMUNICATION SHALL BE PROVIDED ON SELECTIVE AND ALL-CALL BASIS FOR ALL PAGING ZONES. THE EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM SHALL HAVE THE CAPABILITY TO BROADCAST LIVE VOICE MESSAGES BY PAGING ZONES ON A SELECTIVE AND ALL-CALL BASIS.

7. EMERGENCY VOICE/ALARM COMMUNICATIONS SYSTEMS SHALL BE PROVIDED WITH EMERGENCY POWER FOR A DURATION OF NOT LESS THAN 24 HOURS AS REQUIRED BY NFPA 72.

8 PROVIDE VISIBLE ALARM SHALL IN PUBLIC USE AERAS AND COMMON USE AREAS.

9. OPERATION OF A MANUAL PULL STATION SHALL ACTIVATE THE FOLLOWING SEQUENCE OF FIRE ALARM OPERATION: A) ACTIVATE THE FIRE ALARM HORN AND STROBES THROUGHOUT AND INITIATE PRERECORDED MESSAGE. B) ACTIVATE THE FIRE COMMAND STATION AND ACTIVATE REMOTE ANNUNCIATOR. D) NOTIFY FIRE DEPARTMENT VIA CENTRAL STATION. P) SECTIVATE FIRE SIGNAL AT FIRE COMMAND STATION F) DISPAYOR THE DEPARTMENT VIA CENTRAL FIRE COMMAND STATION AND ATT THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL MICONANICAL SUPPLY AND MAKE UP AIR FAN. H) SHUT DOWN ALL OTHER REMOTE ANNUNCIATOR. G) SHUT DOWN ALL MICONANICAL SUPPLY AND MAKE UP AIR FAN. H) SHUT DOWN ALL OTHER REMOTE ANNUNCIATOR. G) SHUT DOWN ALL DOWN STATION FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL DOWN STATION FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL DOWN STATION FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL DOWN STATION FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL DOWN STATION FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL DOWN STATION FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL DOWN STATION FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL DOWN STATION FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL DOWN STATION FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL DOWN STATION FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL DOWN STATION FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL DOWN STATION FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL DOWN STATION. G) SHUT DOWN ALL SHORT FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL DOWN STATION. G) SHUT DOWN ALL SHORT FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL SHORT FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL SHORT FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL SHORT FOR THE REMOTE ANNUNCIATOR. G) SHUT DOWN ALL SHORT FOR THE REMOTE ANNUNCIATOR. G) SHUT FOR THE REMOTE FOR THE FOR THE

10. KITCHEN EXHAUST FIRE SUPPRESSION SYSTEM CONTROL SEQUENCE SHALL BE AS FOLLOWED: A) FIRE SUPPRESSION SYSTEM ACTIVATE. B) CONTINUE OPERATION OF EXHAUST FAN. C) SHUT DOWN MAKE UP AIR FAN. D) SHUT OFF GAS VALVE. E) ACTIVATE BUILDING FIRE ALARM SYSTEM. F) SHUT DOWN ALL ELECTRICAL EQUIPMENT UNDER KITCHEN EXHAUST HOOD.

11, PANIC HARDWARE SHALL BE LISTED IN ACCORDANCE WITH UL 305

1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SAMPLES AND SUBMITTALS AS REQUIRED BY THE

2. ANY SUBSTITUTION, MODIFICATION AND DEVIATION OF THESE DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT AND THE CLIENT IN WRITING.

SUBMITTAL SHALL BE MADE PRIOR TO ORDERING THE MATERIAL AND ALLOW 7 DAYS FOR REVIEW BY THE ARCHITECT AND ENGINEER.

## WOOD AND PLASTICS NOTES

1. ALL LUMBER USED TO SUPPORT LOADS IN A BUILDING OR STRUCTURE IS REQUIRED TO BE PROPERLY IDENTIFIED BY A LUMBER GRADING OR INSPECTION AGENCY.

2. FIRE BETARDANT TREATED WOOD SHALL BE TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723 WITH THE FOLLOWING LABEL A) THE DENTIFICATION MARK OF AN APPROVED AGENCY. B) IDENTIFICATION OF THE FOLLOWING ASSAURCE OF THE THE FOLLOWING OF THE FIRE-FERTARDANT TREATMENT. D) THE SPECIES OF THE FOLLOWING ASSAURCE OF THE SPECIES OF THE FOLLOWING ASTAURCE OF THE SPECIES OF THE SPEC

3. FOAM PLASTIC INSULATION AND FOAM PLASTIC CORES OF MANUFACTURED ASSEMBLIES SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 75 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 450 WHERE TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH ASTM 394 OR LU 723. EXCEPT FOR COLD STORAGE BUILDINGS, ICE PLANTS, FOOD PLANTS, FOOD PCCESSING ROOMS AND SMILLAR AREAS, FOAM PLATIC INSULATION WHERE TESTED IN A THICKNESS OF 4'S SHALL BE PERMITTED IN A THICKNESS UP TO 10' WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTIO 903.31.1. THE APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED IN BOTH THE ROOM AND THAT PART OF THE BUILDING IN WHICH THE ROOM IS IDCATED.

4. FOAM PLASTIC INSTALLED IN A MAXIMUM THICKNESS OF 10° IN COOLER AND FREEZER WALLS SHALL MEET THE FOLLOWING: A) HAVING FSI LESS THAN OR REQUAL TO 25 AND SDI LESS THAN OR EQUAL TO 450 WHERE TESTED IN A MINIMUM 4" THICKNESS. B) HAVING FLASH IDINITION AND SELF IGNITION TEMPERATURES OF NOT LESS THAN 800F AND 800F RESPECTIVELY, C) HAVING A COVERING OF NOT LESS THAN 0.027 ALMINIMUM OR CORROSION-RESISTANT STEEL HAVING A ROSE METAL THICKNESS NOT LESS THAN 0.0360" AT ANY FOINT. D) BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH THE APPLICABLE CODE AND STANDARDS.

1. INSTALL TILE IN AREAS INDICATED ON FINISH FLOOR PLAN.

2. SUBFLOOR PREPARATION SHALL BE COMPLETED IN ACCORDANCE WITH ANSI STANDARDS PRIOR TO TILE INSTALLATION.

3. SET AND GROUT TILE WHEN AMBIENT TEMPERATURES IS AT LEAST 50 AND RISING, ALL JOINTS AND CORNERS MUST BE ALIGNED.

4. SUBSTRATE PREPARATION SHALL INCLUDE REMOVAL OF PROTRUSIONS, BUMPS AND RIDGES BY GRINDING OR CHIPPING, REPAIR, FILL AND LEVEL CRACKS, HOLES, DEPRESSIONS AND ROUGH OR CHIPPED ARES IN SUBSTRATE USING PATCHING MATERIAL RECOMMENDED BY SETTING MATERIALS MANUFACTURER. SLAB TO PAYE LIGHT BROOM FINISH WHEN TILE IS INSTALLED BY THIN-SET METHOD.

5. ENSURE THAT THE SUBSTRATE IS WITHIN THE FOLLOWING YOLERANCES: A) HORIZONTAL SURFACES FLOORS) - MAXIMUM VARIATION IN SUBSTRATE SHALL NOT EXCEED 14 IN 10' FROM REQUIRED PLANE, DEPENDING ON SUBSTRATE. B) VERTICAL SURFACES (WALLS)- MAXIMUM VARIATION IN SUBSTRATE SHALL NOT EXCEED 14' IN 10' FROM REQUIRED PLANE, DEPENDING ON SUBSTRATE.

7. FIELD MOCK UP SHALL BE REQUIRED FOR EACH TILE INSTALLATION, MOCK UP SHALL BE A MINIMUM OF

8. MIX GROUT AND MORTAR IN STRICT ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS.

9. INSTALL ALUMINUM TILE EDGE PROTECTION FOR ALL FLOORING TRANSITIONS.

2. PROVIDE METAL EDGE AND CORNER BEADS AT ENDS, EDGES AND CORNERS

3. PROVIDE FASTENERS IN ACCORDANCE WITH ASTM C-1002-01 UNLESS OTHERWISE NOTED.

5. PROVIDE FINAL FINISH THAT IS SMOOTH, WITHOUT DIVOTS, BUMPS, BOWS OR ANY OTHER SURFACE DEFECTS, READY TO RECEIVE PAINT.

## GLASS AND GLAZING NOTES

1. EACH PANE OF GLASS SHALL BEAR THE MANUFACTURER'S MARK DESIGNATING THE TYPE AND THICKNESS OF THE GLASS OR GLAZING MATERIAL.

2. SAFETY GLAZING SHALL BE PROVIDED IN ALL OF THE FOLLOWING LOCATIONS: A) FIXED AND OPERABLE PANELS OF SWINKING, SLIDING AND BIPOLD DOORS. B) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE HEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN 27 OF EITHER VERTICAL EDGE OF THE GLAZING, IS WITHIN 27 OF EITHER VERTICAL EDGE OF THE GLAZING, IS WITHIN 27 OF EITHER VERTICAL EDGE OF THE GLAZING IS LESS THAN BO "ABOVE THE WALKING SURFACE. C) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT IS GREATER THAN 39 AS DOVE THE FLOOR FROM THE FLOOR FROM THE BOTTOM EDGE OF THE GLAZING, AND SADOVE THE HAD FROM THE FLOOR FROM THE BOTTOM WITHIN 36" OF WALKING SURFACE MEASURED HORIZONTALLY IN A STRAIGHT LINE OF THE PLANE OF THE GLAZING, AND GLAZING IN GLAZING AND SAND SAND FROM THE STANDARD SAND THAT INDIVIDUAL SHED OR THE GLAZING LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. F) GLAZING AND CALCENT TO THE BOTTOM STARWAY LANDING. H) FIRE DEPARTMENT ACCESS PANELS.

3, SAFETY GLAZING SHALL MEET THE STANDARDS OF ANSI Z97.1-14.

4 WINDOWS, DOORS AND SKYLIGHTS SHALL MEET THE STANDARDS OF AAMAWDMA/CSA 101/I.S.2/A440-11

1. ALL UPHOLSTERED FURNITURE AND BEDDING PRODUCTS SHALL MEET CAL TB 133 TEST STANDARDS IN BUILDING.

3. ALL GLASS SHALL BE TEMPERED IN ACCORDANCE WITH ASTM C 1048-04 STANDARDS

4. GLASS THICKNESS SHOWN IN THE DRAWINGS ARE FOR DETAILING PURPOSES ONLY, FINAL THICKNESS SHALL BE DETERMINED BY GLASS MANUFACTURER TO MEET APPLICABLE BUILDING CODE AND SAFETY STANDARDS AND REQUIREMENT OF LOCAL AUTHORITY HAVING JURISDICTION.

5, THE LEVEL OF GYPSUM DRYWALL FINISH SHALL CONFORM TO LEVEL 4 DF ASTM C840 AND GA-214 OF GYPSUM ASSOCIATION UNLESS OTHERWISE NOTED ON THE DRAWINGS.

6. FLOORING FINISHES IN CLOSETS SHALL BE THE SAME AS THE SPACE IN WHICH THE CLOSET OPENS TO UNLESS OTHERWISE NOTED ON THE DRAWINGS.

7. CEILING AND WALL SURFACES ADJACENT TO OR ABOVE ANY FOOD PREPARATION AREA, INCLUDING KITCHEN, DISHWASHING AND SERVING AREAS, SHALL BE SMOOTH AND EASILY CLEANABLE.

B. LAY IN CEILING TILE MUST BE NON-POROUS AND NON-FISSURED PANELS ONLY. 9. FLODRING IN FOOD PREPARATION, FOOD STORAGE, UTENSIL WASHING AND JANITORIAL AREAS SHALL MEET HEALTH DEPARTMENT REQUIREMENTS AND SHALL HAVE COVED BASE.

10, ALL SEALANT INSTALLED ADJACENT TO FOOD PREPARATION, FOOD STORAGE, UTENSIL WASHING AND JANITORIAL AREAS SHALL BE MOLD AND MILDEW RESISTANT AND APPROVED BY THE NATIONAL SANITATION FOUNDATION (MSF).

11. GENERAL CONTRACTOR SHALL SUBMIT SAMPLES OF EACH FINISH SHOWN IN THE FINISH SCHEDULE OR AS REQUIRED TO COMPLETE THE WORK.

12. ALL NEW AND EXISTING FLOOR, CEILING AND WALL SHALL BE PROPERLY CLEANED, REPAIRED AND PREPARED FOR FINISHING, PAINTING AND/OR RECEIVING NEW FINISHES PER FINISH PLAN IN FULL COMPLIANCE WITH MANUFACTUREN'S SPECIFICATIONS.

13. WHENEVER STONE, MARBLE, LIMESTONE AND HARD SURFACES FLOCKING IS SPECIFIED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING/APPLYING SEALANT AS SPECIFIED BY MANUFACTURER.

14. PROVIDE BLOCKING AND FRAMING FOR ALL WALL MOUNTED FINSIH HARDWARE AND EQUIPMENT NCLUDING DOOR STOPS. 15. SET FLOOR TRACKS IN ACCURATE LOCATION AND SECURELY ANCHOR IN ACCORDANCE WITH ASTM STANDARDS. ERECT STUDS ON 16° O.C. AND SECURE THE TRACK. INSTALL HEAD TRACK IN ACCORDANCE TO DETAILS. INSTALL BLOCKING, BRACING AND ANCHOR STRIPS AS REQUIRED.

16. FIBERGLASS REINFORCED PANEL (RFP) SHALL HAVE A CLASS A FLAME SPREAD CLASSIFICATION

17. ALL MATERIAL TO BE INSTALLED IN KITCHEN, RESTROOM AND ANY OTHER MOISTURE-BORNE AREA SHALL BE MOISTURE RESISTANT, AND SHALL NOT RUST OR CORRODE. 18. INSTALLATION OF ALL FINISH MATERIAL ON FINISH SCHEDULE SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURE AND STANDARDS.

19 ALL WALL PANELS AND OTHER FINISHES SHALL BE CLEANED UPON COMPLETION OF WORK

20, ALL FINISHED WORK SHALL BE FREE OF DEFECTS. THE OWNER RESERVES THE RIGHT TO REJECT ANY MATERIALS AND WORKMANSHIP WHICH ARE NOT CONSIDERED TO BE AT THE HIGHEST ACCEPTABLE INDUSTRIAL STANDARDS OF THE TRADES.

21, PROVIDE PAINT FINISHES FOR BUILDING AND OTHER SURFACES AS SCHEDULE ON THE DRAWINGS OR AS SPECIFIED. NO PAINT FINISH IS REQUIRED ON ITEMS HAVING COMPLETE FACTORY FINISH. COLOR SAMPLE SHALL BE PROVIDED FOR ALL FACTORY FINISH PRODUCTS. REMOVE ELECTRICAL OUTLET AND SWITCH PLATES, MECHANICAL DIFFUSERS, GRILLES, CONTREHENDA, REGISTERS, SURFACE HARDWARE, FITTINGS, AN FASTENINGS PRIOR TO COMMENCEMENT PAINTING WORK.

23, PAINTING CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR IF ANY SURFACE TO BE PAINTED OR STAINED IS FOUND TO BE UNSUITABLE TO PRODUCE PROPER FINISH.

24. PROVIDE ALL NEWLY PAINTED SURFACES WITH ONE COAT PRIMER AND TWO COATS FINAL COLOR COATS TO ACHIEVE UNIFORM FINISH.

25. DELIVER ALL PAINT TO JOBSITE IN UNOPENED CONTAINERS BEARING THE MANUFACTURER'S LABEL WITH PAINT TYPE, SHEEN AND COLOR. ALL PAINT SHALL BE SHERWIN WILLIAMS AND APPROVED EQUAL. 26, PAINTING CONTRACTOR SHALL, FOLLOW MANUFACTURER'S INSTRUCTIONS FOR PROPER APPLICATION OF THE PAINT.

# DOORS, FRAMES & HARDWARE NOTES

INSTALL DOORS FRAMES AND ACCESSOREIS IN ACCORDANCE WITH THE FINAL SHOP DRAWINGS, MANUFACTURER SPECIFICATIONS, AND AS HEREIN SPECIFIED.

2. INSTALL DOOR IN ACCORDANCE WITH MANAUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS

3. PROVIDE ANCHORAGE DEVICES WHERE REQUIRED FOR SECURING FRAMES IN-PLACE.

4. PRIOR TO INSTALLATION, ALL FRAMES MUST BE CHECKED AND CORRECTED FOR SIZE, SWING, SQUARENESS, ALIGHNMENT, TWIST AND PLUMBNESS.

7. METAL DOOR AND FRAME SHALL BE FACTORY PRIMED AND PREPARED FOR DOOR HARDWARES AND SILENCERS.

9. FLUSH HOLLOW METAL DOORS SHALL BE 16 GA, FULLY SEAMLESS, VERTICALLY STIFFENED DOORS WITH FULL INSULATED CORE, REINFORCED AND PREPARED FOR HARDWARE. 10. PROVIDE DOORS TO SIZE AND TYPES INDICATED ON DRAWINGS, FULLED WELDED, SEAMLESS CONSTRUCTION WITH NO VISIBLE SEAMS OR JOINTS ON FACES OR VERTICAL EDGES.

11, SEE DOOR SCHEDULE FOR ALL DOOR SIZES AND THICKNESS.

13. KEYING TO BE COORDINATED WITH TENANT AND BUILDING OWNERS LOCKSMITH

# LIST OF ABBREVIATIONS

ACBL
ACOUS
ACT
AD
ADA
ADBL
ADDL
ADDL
ADDL
ADJ
ADJC
AFF
AGGR
AH
AL
ALT
ANOD
APPROX
ARCH
ASCH
ASCH

- Gas - Gavigo - Galvanized - Grab Bar - General Contractor - Glass Fiber Reinforced Cr - Glass Fiber Reinforced G - Glass Maconry Unit - Glass Mach Mortor Unit - Glass Mach Mortor Unit - Ground - Grade - Anchor Boll
- Anchor Boll
- Ark Conditioning
- Ark Conditioning
- Accounties (ADA Complii
- Accounties Coning Tile
- Accounties Ceiling Tile
- Additional (ADA Complii
- Additional (ADA Complii
- Additional Ceiling
- Additional Ceiling
- Additional Ceiling
- Approximately
- Approxim

+ Board - Belweer - Building - Blocking - Beam - By Other - Bottom - Brass - Bronze

KOP KPL

L LAB LAM LAW LB LBL LHR LIN R LNT L LONG LT LT G LT LT G LT R LNT LL LT G LT G LT LT G LT

N NAT NIC NO NOM NTS

- Power & Signal
- Parallel
- Parallel
- Parallel
- Parallel
- Parallel
- Procast
- Perforated
- Permeter
- Perpendicular
- Plaste
- Plaste Laminate
- Plaste
- Plumbing
- Plywood
- Pressad Metal
- Pneumatic
- Panel
- Panel
- Polishad
- Polishad

- Knocked Dow - Kitchen - Knockout - Knockout Pan - Kickplate

CAB
CB
CEM
CEMT
CER
CG
CHAN
CHBD
CHFR
CHR Cabinel
Cesing Bed
Cenent
Cenent
Cement
Cement
Cerent
Cement
Cerent
Cement
Ceme

Double

- Demolition

- Department

- Department

- Dinking Fount

- Diameter

- Dinsenser

- Dispenser

- Division

- Damproofing

- Down

-

DBL
DEMO
DEPT
DF
DIM
DISP
DIV
DMPF
DN
DO
DO
DR
DS
DSP
DST
DTL
DWG
DWR

- East - Each - Expansion I - Exterior Inst - Expansion J - Elevation

ELAST ELEC ELEV EMER ENCL ENTR EPOM EPPOM EPPOM EPPOM EST EST EST ETR EW EW EWC EX/EX EXC EX/EX EXT EXT

- Face to Face
- Fire Alarm
- Fire Charm
- Finat Bar
- Flace County
- Finate
- Finate
- Finate
- Fire Department Connex
- Foundation
- Fire Extinguisher Cabint
- Fire Extinguisher Cabint
- Fire Extinguisher Cabint
- Fire Extinguisher Cabint
- Fire Cabint
- Fire Hose Cabint
- Full Height Fundin
- Finath
- Finat

QT QTY QUAL

 Radius or (Stair) Risers
 Radiator
 Rubbor
 Reflected Ceiling Plan
 Roof Drain R RAD RBR RCP RD

REC REF REFR REG REINF REQD REQD REGOMTS RESSIL RF RF RF RF RF RF RF RF RF RM RO RM RM RO RW RW RWL

- Quarry Tile - Quantity - Quality

S SAFB SCHE SCR SCRN SDT SECT SE

- Steeve
- Sheet Metal
- Spray Particle Ps
- Specifications
- Square
- Stainless Steel
- Solid Surface
- Service Sink
- Street
- Station - Stagger - Sound Tra

STAG STAG STC STC STC STC STR STR SUSP SYMM SVF SYMM SVF SYS SYS - Treads (Stairs)
- Top and Bottom
- Top and Groov
- To Be Determined
- Top of Beam
- Top of Concrete
- Thermoset Decora

T TAB
TAG
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TEMP
TEMP
TERR
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TYP - The number of the control of the c

UIL UNEX UNFIN UON UPS UR UV

Vapor Retarder
 Vinyl Wall Covering

KUNG FU TEA HARVARD SQUARE

CLIENT KUNG FU TEA

PROJECT ADDRESS 1160 MASSACHUSETS AVE, CAMBRIDGE, MA

TITLE

A-0.1

GENERAL NOTES AND



PEOPLE ARCHITECTS

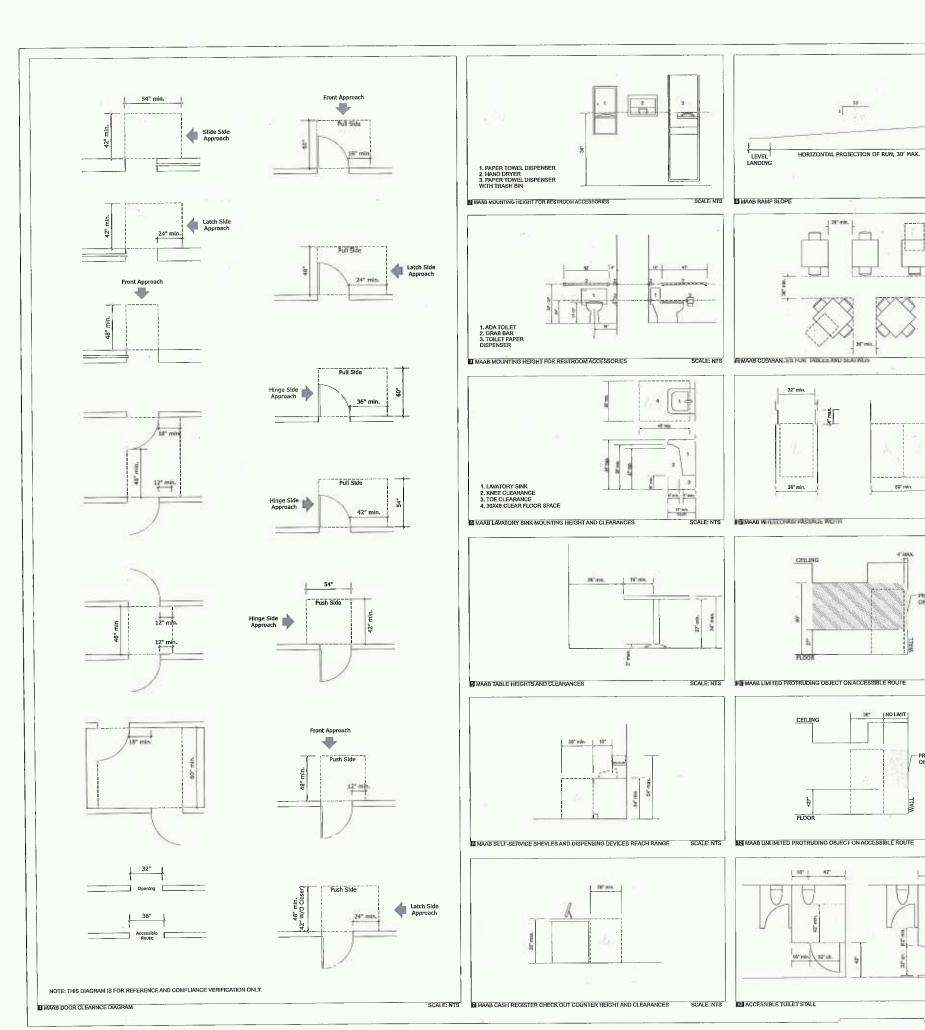
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DRAWN BY: MN REVIEWED BY: CKY

DATE DESCRIPTIONS 12/28/2018 PROGRESS DRAWING 1 01/28/2019 OGRESS DRAWING 2 GRESS DRAWING 3 RESS DRAWING 4 03/24/2019

ABBREVIATIONS DRAWING NO



521 CMR (MAAB) NOTES

LEVEL.

SCALE: NTS

SUREST NO.

SCALE: NTS

SCREENING.

SCALE: NTS

SUMLE: NYS

1. THE GENERAL CONTRACTOR SHALL ACQUAINT HIMSELF/HERSELF WITH THE MAAB AND ADA STANDARDS.

2. AN ACCESSIBLE ROUTE SHALL HAVE A MINIMUM CLEAR WIDTH OF 36 INCHES

3. OBJECTS PROJECTING FROM WALLS WITH THEIR LEADING EDGES BETWEEN 27 INCHES AND 80 INCHES ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN FOUR INCHES INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES AND SHALL NOT HAVE SHARP OR ABRUPT EDGES.

4. OBJECTS MOUNTED WITH THEIR LEADING EDGES AT OR BELOW 27 INCHES ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY DISTANCE AS LONG AS THEY DO NOT REDUCE THE ACCESSIBLE ROUTE BELOW 36 INCHES.

5, FREE STANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY HAVE A MAXIMUM OVERHANG OF 12 INCHES MEASURED BETWEEN 27 INCHES AND 80 INCHES ABOVE THE GROUND OR FINISH FLOOR.

6. AN ACCESSIBLE ROUTE WITH A RUNNING SLEP STEEPER THAN 1:20 (5%) IS A RAMP AND SHALL COMPLY 521 CMR 24.00. RAMPS. NOWHERE SHALL THE CROSS SLOPE OF AN ACCESSIBLE ROUTE EXCEED 1:50 (2%). THE MAXIMUM SLOPE SHOULD BE USED FOR ANY RAMP SHALL BE 1:12. WHERE SIDEWALKS ARE TOO NARROW TO INSTALL A STRAIGHT-LINE CURB CUT AT A SLOPE OF 1:12 (8.3%), THE SIDES OF THE CURB CUT SHALL NOT EXCEED 1:12 /8.3%). CUT SHALL NOT EXCEED 1:12 (8.3%).

7. THE MINIMUM CLEAR WIDTH OF A RAMP SHALL BE 48 INCHES MEASURED BETWEEN THE RAILINGS. RAMPS SHALL HAVE LANDINGS FOR TURNING AND RESTING. AT A MINIMUM, LANDINGS SHALL BE LOCATED AT THE BOTTOM AND TOP OF EACHH RAMP AND EACH RAMP RUN, AND WHENEYER A RAMP CHANGES DIRECTION. THE MAXIMUM LENGTH OF A RAMP RUN BETWEEN LANDINGS SHALL BOT EXCEED 30 FEET. LANDINGS SHALL BE LEVEL AND UNDBSTRUCTED BY PROJECTIONS AND DOOR SWINGS. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT. THE LANDING SHALL BE AS WIDE AS THE RAMP RUN LEADING TO IT. THE LANDING LENGTH SHALL BE A MINIMUM OF 60 INCHES CLEAR. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60 INCHES BY 60 INCHES. IF A DOORWAY IS LOCATED AT A LANDING, THEN THE LEVEL AREA IN FRONT OF THE DOORWAY SHALL ALSO COMPLY WITH MANIEUVERING CLEARANCES. HANDRAILS SHALL BE PROVIDED ITHE LEVEL AREA IN FROM 10 'FIRE DUD WITH SMALL AS SO COMPILED WITH MANEUVERING CLEARANCES. HANDRAILS SHALL BE PROVIDED ALONG BOTH SIDES OF RAMP SEGMENTS. HANDRAILS SHALL BE PROVIDED IN PAIRS, ONE AT A HEIGHT BETWEEN 34 INCHES AND 28 INCHES, AND A LOWER ONE AT A HEIGHT BETWEEN 34 INCHES AND 20 INCHES, MEASURED VERTICALLY FROM THE SURFACE OF THE RAMP TO TOP OF HANDRAIL. HANDRAIL SHALL BE CONTINUOUS WITHOUT INTERRUPTION, EXCEPT BY DOORWAYS AND OPENINGS, SO THAT A HAND CAN MOVE FROM END TO END WITHOUT INTERRUPTION. HANDRAILS SHALL EXTEND AT LEAST 12 INCHES BEYOND THE TOP AND BOTTOM OF THE RAMP AND SHALL BE PARALLEL WITH THE FLOOR OR GROUND SURFACE, EXCEPT WHERE THE EXTENSION WOULD CAUSE A SAFETY HAZARD. HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF 1-1/4 INCHES MINIMUM MAD 2 INCHES MAXIMUM. WHEN A HANDRAIL IS MOUNTED ADJACENT TO A WALL, THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE 1-1/2 INCHES. HANDRAILS MAY BE LOCATED IN A WALL RECESS IF THE RECESS IS A MAXIMUM OF 3 INCHES DEEP AND EXTENDS AT LEAST 18 INCHES BAS WALL BE CESTED AND EXTENDS AT LEAST 18 INCHES BAS THE RIALL.

8. THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOW: A) EXTERIOR HINGED DOORS - 15 LBS. B) INTERIOR HINGED DOOR - 5 LBS. C) SLIDING OR FOLDING DOORS - 5 LBS. FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION. IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE DOOR WILL TAKE AT LEAST 6 SECONDS TO CLOSE. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2" IN HEIGHT AND SHALL BE BEVELED ON BOTH SIDES WITH A SLOPE NO GREATER THAN 12. (50%). HAND OPERATED DOOR OPENING HARDWARE SHALL BE LOCATED 36 INCHES TO 48 INCHES ABOVE THE FLOOR.

9. DOORS TO ALL ACCESSIBLE SPACES SHAL LHAVE ACCESSIBLE HARDWARE MOUNTED.

10. IF SEATING FOR PEOPLE IN WHEELCHAIRS IS PROVIDED AT TABLES OR COUNTERS, KNEE SPACES AT LEAST 27 INCHES HIGH, 30 INCHES WIDE, AND 19 INCHES DEEP SHALL BE PROVIDED.

11, HEIGHT OF TABLES OR COUNTERS SHALL BE FROM 28 INCHES TO 34 INCHES ABOVE THE FINISH FLOOR OR GROUND.

12. AT COUNTERS WHERE FOOD IS CONSUMED BUT THERE IS NO SERVICE, A 60 INCHES PORTION OF THE DINING COUNTER SHALL BE ACCESSIBLE, ON AN ACCESSIBLE ROUTE.

13. AT COUNTERS EXCEED 34 INCHES IN HEIGHT, WHERE FOOD OR 13, AL COUNTEST EXCEED 34 INCHES IN FIGERTI, WHERE POOD OF DRINK IS SERVED FOR CONSUMPTION BY CUSTOMERS SEATED ON STOOLS OR STANDING AT THE COUNTER, A PORTION OF THE MAIN COUNTER SHALL BE ACCESSIBLE OR SERVICE SHALL BE AVAILABLE AT ACCESSIBLE TABLES WITHIN THE SAME AREA. THE ACCESSIBLE PORTION SHALL BE A MINIMUM OF 60 INCHES IN LENGTH.



PEOPLE ARCHITECTS

128 Lincoln St. Unit 110, Boston, MA 02111

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REVIEWED BY: CKY 07/11/2019 PROGRESS DRAWING 4 03/05/2019 PROGRESS DRAWING 5 03/10/2019 PROGRESS DRAWING 6 03/16/2019 PERMIT SET PROGRESS PERMIT SET PROGRESS 03/24/2019 PROJECT TITLE

KUNG FU TEA HARVARD SQUARE

CLIENT

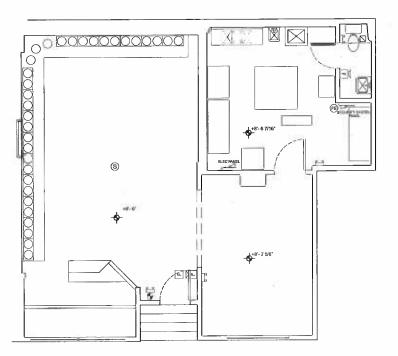
KUNG FU TEA

PROJECT ADDRESS 1160 MASSACHUSETS AVE, CAMBRIDGE, MA

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TYPICAL DETAILS

A - 0.2



LEGENDS EXISTING CONSTRUCTION EMERGENCY LIGHTING FIRE EXTINGUISHER SMOKE DETECTOR F PULL STATION F FIRE ALARM HORN/STROBE RESTROOM EXHAUST - DUCTED TO THE EXTERIOR



PEOPLE ARCHITECTS

128 Lissoph St. Unit 110, Boston, MA 02111

SET - PROGRESS 03/24/2019 PERMIT

DRAWN BY: MN

REVIEWED BY: CKY

DATE DESCRIPTIONS 12/28/2018 PROGRESS DRAWING 1 01/28/2019 PROGRESS DRAWING 2

02/09/2019 PROGRESS DRAWING 3 02/11/2019 PROGRESS DRAWING 4 03/05/2019 PROGRESS DRAWING 5

03/10/2019 03/18/2019 PERMIT SET PROGRESS

KUNG FU TEA HARVARD SQUARE

KUNG FU TEA

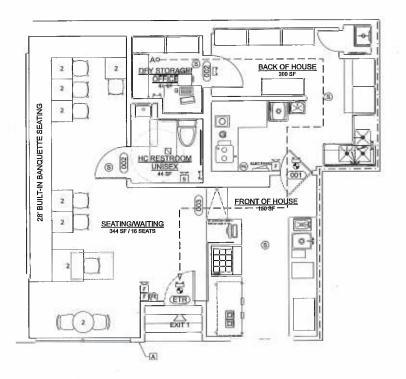
PROJECT ADDRESS

1160 MASSACHUSETS AVE, CAMBRIDGE, MA

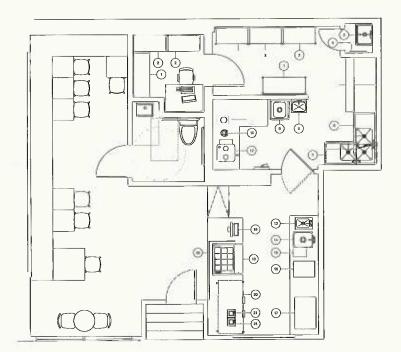
EXISTING FLOOR PLAN

EX-1.0

DESIGNATION	LOCATION	NOMINAL SIZE	MATERIALS	FINISH	FRAME	REMARKS
ETR	EXISTING	EXISTING	ETR	EXISTING	EXISTING	EXISTING DOOR TO REMAIN
001	вон/гон	36X84	ALUMNWOOD	ALUMN	PRE-DRILLED FRAME	WOOD CORE, 1", DBL ACTING HINGE, 9X VISION PANEL
002	RESTROOM	36X84	WOOD	WOOD	KD	SOLID CORE, KICK PLATE, SELF-CLOSIN PRIVACY LOCK AND LEVER
003	FOH	36X36	WOOD	WOOD	GATE POST	SERVICE COUNTER ENTRY DOOR, DBL ACTING HINGE
			l li	Ed.		
		E d		<b>#</b>		



	177	
EGENDS		
€	EXIT	
	TENANT DEMISING WALL	$\langle \cdot \rangle$
	EMERGENCY LIGHTING	DEOD! E ADOLUTEOTO
	30X48 CLEAR FLOOR SPACE	PEOPLE ARCHITECTS  128 Lincoln St. Unit 110, Boston, MA 02911
537	60" WHEELCHAIR TURNING CIRCLE	Auchtract's Siral.
$\nabla$	ENTRANCE/EXIT	
(000)	DOOR KEY	
ㅂ	EMERGENCY LIGHTING	
(FE)	FIRE EXTINGUISHER	
(8)	SMOKE DETECTOR	
F	PULL STATION	
F	FIRE ALARM HORN/STROBE	
s	FIRE ALARM STROBE	
, <b>D</b>	RESTROOM EXHAUST - DUCTED TO THE EXTERIOR	S
	EXTERIOR	S
EY NOTES		ROGRESS
A EXISTIN	G STOREFRONT TO REMAIN	Ü
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		DRAWN BY: MN REVIEWED BY: CKY
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		02/09/2019 PROGRESS DRAWING 3 02/11/2019 PROGRESS DRAWING 4
		03/05/2019 PROGRESS DRAWING 5 03/10/2019 PROGRESS DRAWING 5
		03/18/2019 PERMIT SET PROGRESS 03/24/2019 PERMIT SET PROGRESS
	AVEL DISTANCE CALCULATIONS UP B: 200' WITHOUT SPRINKLER SYSTEM	
Ao— → EXIT 1:	02,00 T/*	
		PROJECT TITLE
		KUNG FU TEA HARVARD SQUARE
GENERAL NOTES		CLIENT
1. IT'S THE ARCHITEC WELL AS THE EXISTIN MAY VARY AND IT IS	T'S INTENT TO ACCURATELY SHOW PROPOSED CONDITIONS AS G CONDITIONS FOR THE PROJECT. HOWEVER, FIELD CONDITIONS I THEREFORE THE RESPONSIBILITY OF THE CONTRACTOR TO IONS AND IMMEDIATELY REPORT ANY MAJOR DISCREPANCIES OR	PROJECT ADDRESS
VERIFY FIELD CONDIT OMISSIONS TO THE AF	TONS AND IMMEDIATELY REPORT ANY MAJOR DISCREPANCIES OR RCHITECT.	1160 MASSACHUSETS AVE, CAMBRIDGE, MA
		TITLE
		PROPOSED FLOOR PLAN



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EQUIPMENT KEY SEE EQUIPMENT SCHEDULE (BY OTHER) FOR DETAILS

48" DRY STORAGE SHELVING
36" DRY STORAGE SHELVING
MOP SINK
MOP HANGER
600 LB ICE MAKER WITH STORAGE BIN
THREE COMPARTMENT CORNER SINK
CLEANED DISH SHELVING
WALL MOLINT HAND SINK

CLEANED DISH SHELVING
WALL MOUNT HAND SINK
DUMP SINK
ELECTRIC FOOD WARMER
COMMERCIAL JUICER
TEA URN
DROP IN HAND SINK WITH SPLASHGUARDS
DROP IN HAND SINK WITH SPLASHGUARDS
BLENDER RINSER
INSULATED ICE BIN WITH COVER
ESPRESSO MACHINE
POS
32" REFRIGERATED FOOD PREP TABLE
60" UNDERCOUNTER REFRIGERATOR
COMMERCIAL BLENDER

GENERAL NOTES

1. ALL EQUIPMENT, FIXTURES AND FURNISHINGS TO BE PROVIDED BY OWNER, GC TO INSTALL.

PEOPLE ARCHITECTS

128 Lircoln St Und 110, Bonko, NA 92111

PERMIT SET - PROGRESS 03/24/2019

DRAWN BY: MN

REVIEWED BY: CKY

DATE

DESCRIPTIONS

12/28/2018

PROGRESS DRAWING 1

01/28/2019

PROGRESS DRAWING 2

02/09/2019

PROGRESS DRAWING 3

03/11/2019

PROGRESS DRAWING 3

03/10/2019

PROGRESS DRAWING 6

03/10/2019

PROGRESS DRAWING 6

03/10/2019

PROGRESS DRAWING 6

03/18/2019

PERMIT SET PROGRESS

03/24/2019

PERMIT SET PROGRESS

PROJECT TITLE

KUNG FU TEA HARVARD SQUARE

CLIENT

KUNG FU TEA

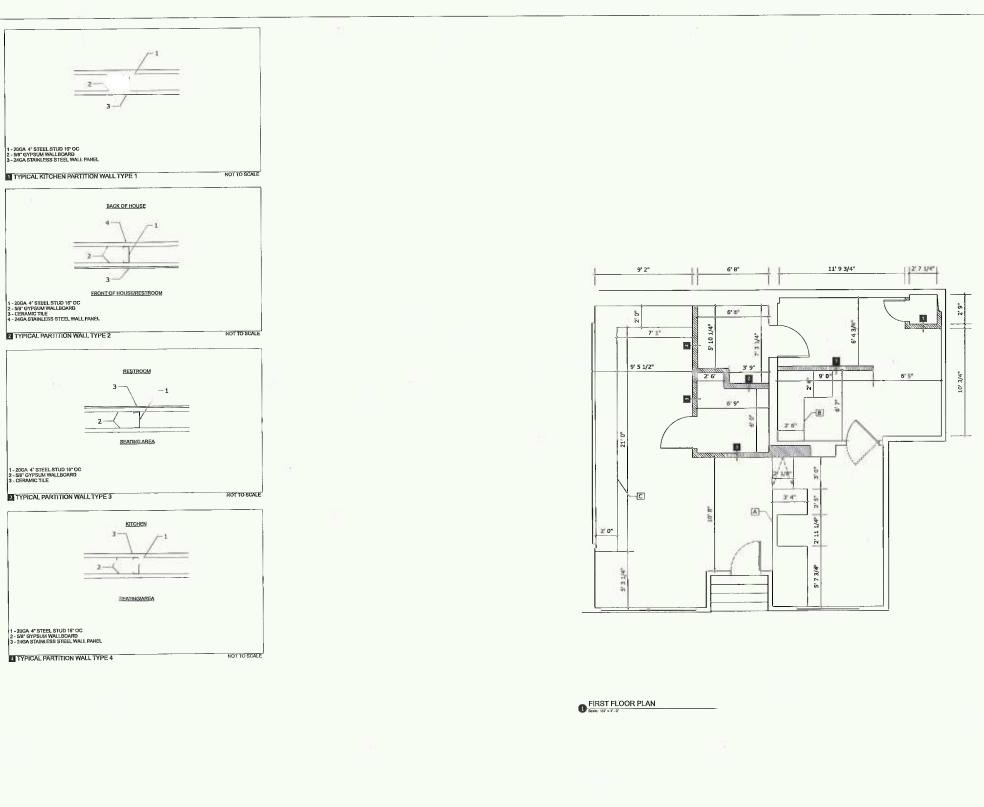
PROJECT ADDRESS

1160 MASSACHUSETS AVE,
CAMBRIDGE, MA

TITLE

EQUIPMENT PLAN

DRAWING NO.



LEGENDS EXISTING CONSTRUCTION NEW CONSTRUCTION GENERAL NOTES

## PEOPLE ARCHITECTS

128 Lincoln St. Unil 110, Boston, I.IA 03111

CUSTOM MILLWORK BY GC - FRONT OF HOUSE SERVICE COUNTER

CUSTOM MILLWORK BY GC - BACK OF HOUSE SERVICE COUNTER

CUSTOM MILLWORK BY GC - 24' BUILT IN BANQUETTE SEATING

2. PROVIDE IN-WALL BLOCKING AS REQUIRED FOR ALL WALL MOUNTED FIXTURES. EXACT LOCATIONS TO BE DETERMINED IN THE FIELD

3, MTL STD REINFORCEMENT SHALL BE INSTALLED AT 48° O.C. TO STRUCTURE ABOVE FOR ALL WALL 4. ALL DIMENSIONS ARE TO FACE OF FINISHES UNLESS OTHERWISE NOTED.

SET - PROGRESS 03/24/2019 PERMIT

DRAWN	BY:	616

02/11/2019

03/10/2019 03/18/2019

PROJECT TIFLE

KUNG FU TEA HARVARD SQUARE

CLIENT

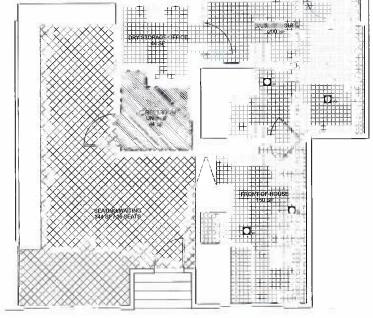
KUNG FU TEA

PROJECT ADDRESS

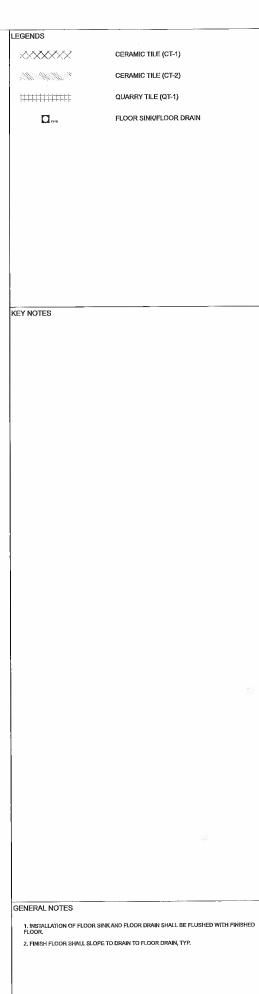
1160 MASSACHUSETS AVE, CAMBRIDGE, MA

NEW CONSTRUCTION PLAN

ISH SCHEDULE									
ROOM	LOCATION	DESIGNATION	MANUFACTURER	SPECIFICATIONS	SIZE	FINISH	COLOR	GROUT	REMARKS
	FLOOR	CT-1	TBD	CERAMIC TILE	12 X 24	TBD	TBD	-	CLASSA
	BASE	WD-1	TBD	WOOD	4"	PTD	TBD	-	CLASSA
EATING/WAITING	WALL	W-1	GWB	TBD	NA	LVL4	TBD	**	CLASSA
	CEILING	CLG-1	GWB	TBD	NA	LVL4	TBD	-	CLASSA
	FLOOR	QT-1	METROPOLITAN	TBD	6X6	UNGLAZED	PURITAN GRAY	-	CLASS A
	BASE	QB-1	METROPOLITAN	COVE BASE	6X6	UNGLAZED	PURITAN GRAY		CLASSA
RONT OF HOUSE	WALL	W-1	GWB	TBD	NA	LVL4	TBD	_	CLASSA
	CEILING	CLG-1	GWB	TBD	NA	LVL4	TBD		CLASSA
	FLOOR	QT-1	METROPOLITAN	TBD	6X6	UNGLAZED	PURITAN GRAY		CLASS A
	BASE	QB-1	METROPOLITAN	COVE BASE	6X6	UNGLAZED	PURITAN GRAY	-	CLASS A
ACK OF HOUSE	WALL	SS	SS	24GA	NA	SS	SS		CLASS A
	CEILING	ACT-1	CEILING TILE	GYPSUM CORE	12X24	VINYL FACED	WHITE		CLASS A
	FLOOR	CT-2	TBD	CERAMIC TILE	TBD	TBD	TBD	-	CLASS A
	BASE	CB-1	TBD	COVE BASE	TBD	TBD	TBD		CLASS A
RESTROOM	WALL.	W-1	GWB	TBD	NA	LVL4	TBD		CLASSA
	CEILING	CLG-1	GWB	TBD	NA	LVL4	TBD	_	CLASSA









PEOPLE ARCHITECTS 128 Lincoln St. Unil 110, Boston, MA 03191

Architect's Seal.

SET - PROGRESS 03/24/2019

PERMIT

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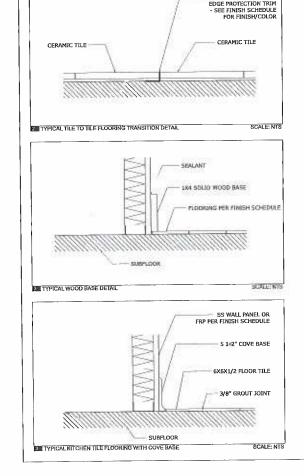
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KUNG FÜ TEA HARVARD SQUARE

KUNG FU TEA

1160 MASSACHUSETS AVE, CAMBRIDGE, MA

FINISH FLOOR PLAN



DESIGNATION	MANUFACTURER	MODEL	MOUNTING TYPE	COLOR TEMEPERATURE	DIMMABLE	REMA	RKS
L1	TBD	TBD	TBD	2700 - 3000 K	YES	-	
L2	LITHONIA	WF3LED	RECESSED	3000 K	YES	WHITE, 3" SQUARE TRIM INDOOR/OUTDOOR	
L3	CREE	E-KCV	TRACK	3000 K	YES	WHITE, LED, FROSTED LEN	6
L4	NICOR	T-5C	TRACK	4000 K	NO	2X4 OR 2X2, WHITE, LED,	-
EXT		E-XEL1GBCA	TOP/END/BACK	_		UL	EXIT
EL-W	-	E-XML2W	WALL/CEILING	_	_	UŁ	

GENERAL LIGHTING NOTES:

1. EC TO PROVIDE ALL NECESSARY ACCESSORIES AND COMPATIBLE DIMMER BY LUTRON OR APPROVED EQUAL.

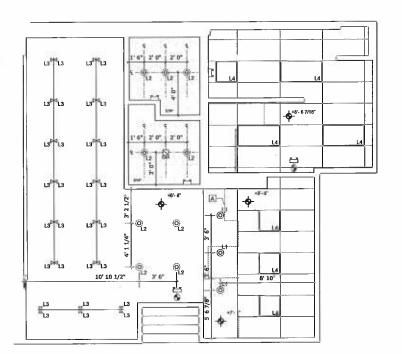
2. EC SHALL SUPPLY AND INSTALL THE LINEAR LED LIGHTING FIXTURE AND ALL ACCESSORIES, INCLUDING VOLTAGE DRIVER, DIMMABLE DRIVER, CONNECTORS, ETC.

3. LED TAPE LIGHTS SHALL BE SECURED IN ALUMINUM CHANNELS WITH FROSTED LENSES.

4. EC MUST VERIFY EXACT QUANTITY OF FIXTURES PRIOR TO ORDERING.

5. THE SPECIFIED LIGHTING FIXTURES SHALL BE THE BASIS OF THE BASE BID. ANY LIGHT FIXTURE THAT THE ELECTRICAL CONTRACTOR PROPOSED AS A VALUE ENGINEERING SUBSTITUTION SHALL BE PROPOSED AS A DEDUCT ALTERNATE OF THE PROJECT.

6. WHERE THE SPECIFIED LIGHTING FIXTURE IS NOT AVAILABLE OR NOT AVAILABLE FOR DELIVERY TO MEET THE PROJECT SCHEDULE, ELECTRICAL CONTRACTOR SHALL PROPOSED EQUAL SUBSTITUTION WITH DOCUMENTATION TO VERIFY THAT THE SPECIFIED LIGHTING FIXTURE IS UNAVAILABLE.



FIRST FLOOR PLAN

GENDS	CEILING HEIGHT	
•		
<b>&amp;</b>	EXIT  EMERGENCY LIGHTING	
	2X4 LAY IN CEILING TILE	PEOPLE ARCHITECTS
		129 Lincoln St. Und 110, Boston, MA 02111
GYP	GYPSUM BOARD CEILING	Architects Snal.
0	FIRE SPRINKLER	
· · · · · · · · · · · · · · · · · ·	CENTERLINE	
0	PENDANT LIGHTING	
0	4" ULTRA THIN WAFER LED DOWN LIGHT	
Q	WALL SCONE	
⊽	TRACK LIGHT HEAD	
_	LED STRIP LIGHTING	
	LED TROFFER	e (%)
	RESTROOM EXHAUST EX. EDWINST ONLY EX. EDWINST ONLY EXATE: ENVIRON & LUDIT COMBO	S
C	LED DRIVER	ĽÍ
		<u>C</u>
* OUTI	LINE OF COUNTER BELOW	PERMI SET - PROGRESS 03/24/2019
ENERAL NOTES		DRAWN BY: NN  REVIEWED BY: CKY  DATE  DESCRIPTIONS  12/28/2018  PROGRESS DRAWING 1  01/28/2019  PROGRESS DRAWING 2  02/10/2019  PROGRESS DRAWING 3  02/11/2019  PROGRESS DRAWING 4  03/05/2019  PROGRESS DRAWING 5  03/10/2019  PROGRESS DRAWING 6  03/18/2019  PROGRESS DRAWING 6  03/18/2019  PROGRESS DRAWING 6  03/18/2019  PROGRESS DRAWING 6  WARRING 10  PROGRESS DRAWING 6  CALLET SET PROGRESS  PROJECT TITLE  KUNG FU TEA  HARVARD SQUARE  CLIENT  KUNG FU TEA
1. EXACT LOCATION		PROJECT ADDRESS
DETERMINED IN TH	ONS OF EXIT SIGN AND EMERGENCY LIGHT LOCATION SHALL BE HE FIELD BY ELECTRICIAN AND APPROVE BY THE ARCHITECT.	1160 MASSACHUSETS AVE, CAMBRIDGE, MA

REFLECTED CEILING PLAN

A-1.4

DRAWING NO.

			DIMENSIONS			PLUMBING DATA						ELECTRICAL DATA			REMARKS
DESIGNATION Q	QTY.	EQUIPMENT	L	D	Н	Cold	Hot	Waste	Vent	Gas	BTU	Voltage	Amps	NEMA Config.	REMARKS
1	1	POS/CASH REGISTER	-		-	-	-	-	-	-	-	-	-	-	
2	1	FLOOR DISPLAY REFRIGERATOR: TURBO AIR TOM-30LW-N OR EQ	28	34 5/8	46 1/8	-	-			-	-	115/60/1	6.7	5-15P	ETL
3	1	FROZEN TREAT MIXER: VITA-MIX CORPORATION OR EQ	10	8 1/4	24		-		- 1	- 1	_	220-240/285-325	2.6	THREE-PRONG PLUG	NSF
4	2	JUICE BLENDER: HAMILTON BEACH HBH750 OR EQ	B 1/2	11 1/4	18 1/2	-	-		-			120/60	8.6	-	UL, NSF
5	1	DUMP SINK: ADVANCED TABCO SL-RS-12 OR EQ	12	23	33 3/8	1/2	1/2	ID		-	-	-	-	-	NSF
6	1	DROP IN HAND SINK WITH SPLASHGUARDS	12	16	10	1/2	1/2	2	2	- 1	_	-	-		NSF
7	1	INSULATED ICE BIN WITH COVER	-		- 1	-	-	1D	-	-		115/60/1	15	-	NSF, UL
8	1	UNDERCOUNTER REFRIGERATOR: CONTINENTAL SW32-U	32	31 9/16	31 13/16		-		- 1	-	_	115	6,3		UL, NSF
9	2	32' FOOD PREP REFRIGERATOR: CONTINENTAL SW32-12M	32	35	42 1/4		-	-	-	-	-	115	6.3	5-15P	UL, NSF
10	,2	GLASS DOOR MERCHANDISER REFRIGERATOR: BEVERAGE-AIR LV27HC-1-B OR EQ	30	32 1/4	78		-	-	-	-	_	115/60/1	3	5-15P	. UL
11	1	COMMERCIAL JUICE EXTRACTOR: WARING OR EQ	12 3/8	10 1/4	10 1/4		-	-	-	- "	-	120/60/6	'	-	UL
12	1	AIRPOT COFFEEE BREWER: BUNN CW15-APS OR EQ	23.6	9	18,5		-	_	- 1	- 1		120/240	11.4	5-15P	UL, NSF
13	1	COUNTERTOP INDUCTION RANGE: AVANTCO IC1800 OR EQ	11 3/4	14 1/4	3 1/2		-	-	-	-	-	120/60	-	5-15P	ETL
14	1	ICE MAKER WITH STORAGE BIN: SCOTSMAN N0622A-1, B322S	22 15/16	24	23	_	-	ID		-		115	18.3	-	AIR COOLED, NSF, 643 LB/DAY PRODUCTION
15	2	ELECTRIC RICE COOKER: IOWN OR EQ		-	- 1		-	-	-	-	-	120	-		NSF, ETL
16	1	STAINLESS STEEL HEAVY DUTY WALL SHELF: REGENCY OR EQ	36	18	-		-	-	-	-		-	-	-	NSF
17	1	COMMERCIAL COUNTERTOP CONVECTION OVEN: AVANTCO OR EQ	18 3/4	18	15	-	-	_		-	***	120		5-15P	ETL
18	1	STAINLESS STEEL ONE COMPARTMENT SINK WITHOUT DRAINBOARDS: REGENCY 16GA.3049/S OR EQ	23	23 1/2	43 3/4	1/2	1/2	ID		-		-		-	NSF
19	1	STAINLESS STEEL ONE COMPARTMENT FLOOR MOP SINK: REGENCY OR EQ	25	21	16	1/2	1/2	2			-		-	**	NSF
20	1	STAINLESS STEEL THREE COMPARTMENT SINK WITH R&L DRAINBOARDS: ADVANCE TABCO FC-3-1818-18RL OR EQ	90	24	43	1/2	1/2	1 1/2	-	-	-	-	-	-	NSF
21	1	STAINLESS STEEL WALL SHELF: ADVANCED TABCO WS-12-108 OR EQ	108	12	1 1/2		-	_	_	-	_	- "			NSF
22	1	TWO DOOR REACH-IN FREEZER: BEVEREGE-AIR H8F49-1 OR EQ	52	32	84		-	_	-	- 1	-	115/60/1	11.9	=	UL

1). Plumbing contractor to provide indirect drain as required.

[2]. Information provided are for coordination only, verify with owner/equipment supplier prior to installation,

[3]. See Gouliment specification for details prior to installation

PEOPLE ARCHITECTS

128 Lincoln St. Unit 110, Baston, NA 02111

PERMIT SET - PROGRESS 03/24/2019

DRAWN BY; N	DRAWN BY; MN REVIEWED BY: CKY								
REVIEWED B									
DATE	DESCRIPTIONS								
12/28/2018	PROGRESS DRAWING 1								
01/28/2019	PROGRESS DRAWING 2								
02/09/2019	PROGRESS DRAWING 3								
02/11/2019	PROGRESS DRAWING 4								
03/05/2019	PROGRESS DRAWING 5								
03/10/2019	PROGRESS DRAWING 6								
03/18/2019	PERMIT SET PROGRESS								
03/24/2019	PERMIT SET PROGRESS								
PROJECT TITLE									

KUNG FU TEA HARVARD SQUARE

CLIENT

KUNG FU TEA

1160 MASSACHUSETS AVE, CAMBRIDGE, MA

EQUIPMENT SCHEDULES