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ARCHITECTURE
STUDIO INC
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SHIRU CAFE

One Brattle STreet, Cambridge. MA 02138

Permit

DRAWING INDEX

ABBREVIATIONS

ACCBL	Accessible
ACT	Acoustical Ceiling Tile
AD	Area Drain
ADJ	Adjustable
ADJCT	Adjacent
AFF	Above Finish Floor
AGGR	Aggregate
ALUM	Aluminum
&	And
ANOD	Anodized
APPROX	Approximately
ARCH	Architectural
@	At
BD	Board
BITM	Bituminous
BLK	Black/Block
BLKG	Blocking
BM	Beam
B.O.	Bottom Of
BOT	Bottom
BSMT	Basement
BYND	Beyond
CAB	Cabinet
CB	Catch Basin
CEM	Cement
CER	Ceramic
CHNL	Channel
C.I.	Cast Iron
CIP	Cast In Place
C.J.	Control Joint
CKG	Caulking
CL	Closet
CLG	Ceiling
CLR	Clear
CMU	Concrete Masonry Unit
CNTR	Counter
C.O.	Concrete Opening
C/O	Clean Out
COL	Column
COMPR	Compressible
CONC	Concrete
CONSTR	Construction
CONT	Continuous
CORR	Corridor
CPT	Carpet
C.T.	Ceramic Tile
CTR	Center
℄	Centerline
CTSK	Countersunk
CTYD	Courtyard
CUH	Cabinet Unit Heater
CXN	Connection
DBL	Double
DEMO	Demolish or Demolition
DEPT	Department
DET	Detail
DF	Drinking Fountain
DF HP	Handicapped Drinking Fountain
DIA	Diameter
Ø	Diameter
DIM	Dimension
DIR	Direction(s)
DISP	Dispenser
DN	Down
DR	Door
DS	Downspout
DWG	Drawing
DWR	Drawer
DWV	Drain-Waste-Vent Pipe
E	Electrical
EA	Each
EBU	Emergency Backup
EJ	Expansion Joint
EL	Elevation
ELASTO	Elastomeric
ELEC	Electrical
ELEV	Elevator or Elevation
EMER	Emergency
ENCL	Enclosure

E.P.	Electric Panelboard
EPDM	Ethylene Propylene Diene M-Class
EQ	Equal
EQPT	Equipment
ETR	Existing To Remain
EWC	Electric Water Cooler
EXP	Expansion
EXTG	Existing
EXP JT	Expansion Joint
EXT	Exterior
FA	Fire Alarm
FD	Floor Drain or Fire Department
FDC	Fire Department Connection
FDN	Foundation
FE	Fire Extinguisher
FEC	Fire Extinguisher Cabinet
FF	Finish Floor
FGL	Fiberglass
FIN	Finish
FIXT	Fixture
FLR	Floor
FLUOR	Fluorescent
F/O	Face Of
FP	Fire Protection
FRT	Fire Retardant Treated
FT	Foot or Feet
FURR	Furring
FUT	Future
GA	Gauge
GALV	Galvanized
GC	General Contractor
GEN	General/Generator
GFCI	Ground Fault Circuit Interrupter (Outlet)
GFI	Ground Fault Circuit Interrupter (Outlet)
GKT	Gasket
GL	Glass
GND	Ground
GR	Grade
GWB	Gypsum Wallboard
GYP	Gypsum
H	High
HB	Hose Bib
HC	Hollow Core
HD	Heavy Duty
HDR	Header
HDWD	Hardwood
HDWR	Hardware
HGR	Hanger
HM	Hollow Metal
HOR	Horizontal
HORIZ	Horizontal
HR	Hour
HSS	Hollow Structural Steel
HT	Height
HVAC	Heating, Ventilating, and Air Conditioning
HVY	Heavy
HW	Hot Water
I/C	Insulated Ceiling
ICF	Insulated Concrete Form
ID	Inside Diameter
ILO	In Lieu Of
IN	Inch
INCL	Incline/Include
INSUL	Insulation
INT	Interior
IP	Iron Pipe
IRGWB	Impact Resistant Gypsum Wallboard
JAN	Janitor
JBOX	Junction Box
JC	Janitor's Closet
JCT	Junction
JST	Joist
JT	Joint
KIT	Kitchen

KO	Knockout
KPL	Kickplate
KWH	Kilowatt Hour
L	Length/long
LAD	Ladder
LAM	Laminated
LAT	Lateral
LAV	Lavatory
LCC	Lead Coated Copper
LH	Left Hand
LHR	Left Hand Reverse
LKR	Locker
LT	Light
M	Mechanical
MAINT	Maintenance
MATL	Material
MAX	Maximum
MECH	Mechanical
MED	Medium
MEMB	Membrane
MET	Metal
MFR	Manufacturer
MH	Manhole
MIN	Minimum
MISC	Miscellaneous
MO	Masonry Opening
MOD	Modified
MT	Men's Toilet
MTD	Mounted
MTL	Metal
MUL	Mullion
MWK	Millwork
NATL	Natural
NFA	Net Free Area
NIC	Not In Contract
NMT	Non-Mettalic
NO	Number
NOM	Nominal
NR	Noise Reduction
NRC	Noise Reduction Coefficient
NTS	Not To Scale
OC	On Center
OD	Outside Diameter
OFF	Office
OHD	Overhead Door
OPNG	Opening
OPP	Opposite
O/S	Occupancy Sensor
P	Plumbing
PAF	Powder Actuated Fastener
P/C	Precast Concrete
P CONC	Polished Concrete
PERF	Perforated
PFN	Prefinished
PKG	Parking
PL	Plate
P LAM	Plastic Laminate
PLAS	Plastic
PLBG	Plumbing
PLYWD	Plywood
PR	Pair
PRCST	Precast Concrete
PSI	Pounds per Square Inch
PT	Paper Towel
PT	Pressure Treated
PTD	Painted
PRTN	Partition
PVC	Polyvinyl Chloride
QT	Quarry Tile
QTR	Quarter
QTY	Quantity
R	Rise
RD	Roof Drain
REF	Reference/Refer To
REFR	Refrigerator
RH	Right Hand

RHR	Right Hand Reverse
REINF	Reinforced/Reinforcing
REQ'D	Required
RESIL	Resilient
RGTR	Register
RM	Room
RO	Rough Opening
RWL	Rainwater Leader
S	Slope/South/Structural
SAN	Sanitary
SC	Solid Core
SCHED	Schedule/Scheduled
SD	Smoke Detector
SECT	Section
SHR	Shower
SHT	Sheet
SHTHG	Sheathing
SIM	Similar
SPEC	Specification
SQ	Square
STC	Sound Transmission Class
STD	Standard
STG	Storage
STL	Steel
STOR	Storage
STRUCT	Structural
ST STL	Stainless Steel
SUSP	Suspended
T	Tread
T&B	Top and Bottom
T&G	Tongue and Groove
TC	Top of Curb
T/D	Tel/Data
TEL	Telephone
TERR	Terrazzo
THK	Thick
THKNS	Thickness
THR	Threshold
TO	Top Of
TOS	Top Of Steel
TP	Toilet Paper
TRD	Tread
TSTAT	Thermostat
TV	Television
TW	Top of Wall
TYP	Typical
UH	Unit Heater
UL	Underwriters' Laboratories
UNF	Unfinished
UNO	Unless Noted Otherwise
V	Volt
VB	Vapor Barrier/Vapor Retarder
VCT	Vinyl Composite Tile
VERT	Vertical
VEST	Vestibule
VIF	Verify In Field
VIT	Vitreous
VNR	Veneer
VOL	Volume
V PLAS	Veneer Plaster
VTA	Valve Train Assembly
VTR	Vent Through Roof
W	West/Wide/Width/Watt
W/	With
WC	Water Closet
WD	Wood
WH	Water Heater/White
WM	Water Meter
W/O	Without
WP	Waterproof
WSCT	Wainscot
WT	Weight
WTR	Water
WWF	Welded Wire Fabric
YD	Yard
YR	Year

SYMBOLS

- SECTION MARK (1 / A101)
- ELEVATION MARK (1 / A101)
- INTERIOR ELEVATION (2 / A201)
- WALL TYPE (2)
- DOOR TAG (101)
- WINDOW TAG (A)

OTHER SYMBOLS

- FLOOR/WALL DEMO
- EXISTING CONSTRUCTION
- NEW CONSTRUCTION

MATERIALS

- INSULATION
- DIMENSIONAL LUMBER
- BLOCKING
- CONCRETE
- GYPSUM WALL BOARD
- HARDWOOD
- PLYWOOD

LINETYPES

- OVERHEAD
- BEYOND/HIDDEN
- CENTERLINE
- DEMOLITION

CODE REVIEW

Scope of Work

Renovation of a fully sprinkled office space into a separated new use cafe-style restaurant and continued use as a bank. Work includes Interior renovations, construction of a demising wall, plumbing, electrical, finishes and fire protection. No work is being done to the thermal envelope or structure.

Applicable Codes

Building	780 CMR Massachusetts State Building Code 8th Edition
Fire Prevention	527 CMR Massachusetts Fire Prevention Regulations
Energy	2015 International Energy Conservation Code, as adopted by 780 CMR Stretch Energy Code (780 CMR Appendix AA – 2009 IECC / ASHRAE 90.1 2007 as amended)
Accessibility	Americans with Disabilities Act Standards for Accessible Design, 2010 521 CMR Massachusetts Architectural Access Board
Electrical	527 CMR 12.00 Massachusetts Electrical Code (amended version of 2014 National Electric Code)
Mechanical	International Mechanical Code, as adopted by 780 CMR
Plumbing	248 CMR: Fuel Gas and Plumbing Code
Zoning	Cambridge Zoning ordinance

Occupancy

Occupancy Classification

Group A-2 (assembly - restaurant)
Group B (office)

Fire Resistance Ratings

	Bldg Element	**Rating (hours)**
Table 601 (U.N.O.)	Int. Non-Bearing Walls	1 (demising wall between A-2 and B occupancies)

Interior Finishes

	Bldg Element	**Class (Group A-2)**	**Class (Group B)**
Table 803.9	Exit enclosures and exit passageways	B (w/ sprinklers)	B (w/ sprinklers)
	Corridors	B (w/ sprinklers)	C (w/ sprinklers)
	Rooms, enclosed spaces	C (w/ sprinklers)	C (w/ sprinklers)

Means of Egress

	Occupant Load:		
Table 1004.1.1	Cafe (restaurant)	2415 nsf @ 15 gsf/person =	161 persons
	Bank (business area	2446 gsf @ 200 gsf/person =	13 persons
	Total Occupant Load =		**174 persons (87 female/87 male)**
1005.1	**Required Egress Capacity**		
	Cafe	**161 persons**	
	Bank	**13 persons**	
1015.1/1015.1.1	**Required Number of Exits**		
	Cafe (>49 occupants)	**2 exists**	
	Bank (<29 occupants)	**1 exit**	
	Proposed Exit Capacity		
	Cafe Door 1 (34 inches / .2 inches/person) =	170 persons	
	Cafe Door 2 (34 inches / .2 inches/person) =	170 persons	
	Bank Door 1 (34 inches / .2 inches/person) =	170 persons	

Exit Access Travel Distance

Table 1016.1 250' (Group A-2 w/ sprinklers) - 102' actual
300' (Group B w/ sprinklers) - 81' actual.

Fire Protection Systems

Sprinkler System (903.2.2)
Fire Extinguishers (906.2)
Fire Alarm (907.2.2)

Energy Requirements (2015 International Energy Conservation Code, U.N.O.)

Table C405.5.2(1) **Interior Lighting Power Allowance** 0.90 w/sf for cafeteria

Accessibility Requirements

521 CMR : Massachusetts Architectural Access Board regulations: Applicable to portions of the building open to the public
ADA Standards for Accessible Design: Applicable as a place of employment

Plumbing Fixture Count for 41 female / 41 male (248 CMR: Fuel Gas and Plumbing Code, U.N.O.)

10.10 Table 1

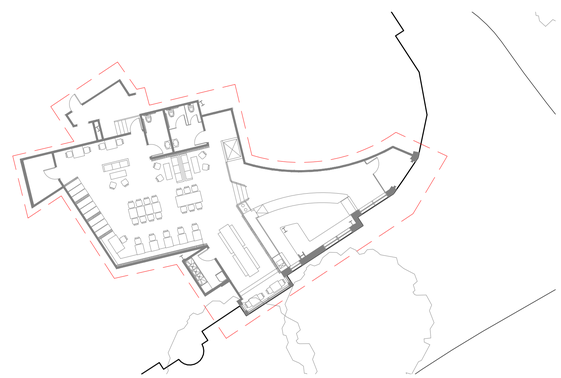
Classification	**Toilets Female**	**Toilets Male**	**Urinals Male**	**Lavatories each sex**	**Drinking fountain**	**Bath/ Shower**
Restaurant (A-2)	1 per 30	1 per 60	50%	1 per 200	N/A	Optional
Required	1.4	.7	0	0.2 each sex	0	0
Provided	2	1	0	1 each sex	0	0

Plumbing fixture count remains unchanged for bank with fewer occupants.

LOCATION MAP

One Brattle Street, Cambridge, MA 02138

BUILDING LIMIT OF WORK



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N

Project Number
1720

Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Abbreviations, Location Map, Symbols, & Materials

Date/Issued For
01.05.18

Permit

REGISTERED ARCHITECT JOSEPH GALANTE No. 9670 CAMBRIDGE MASS. COMMONWEALTH OF MASSACHUSETTS

Scale
As Noted

Drawn By
TGAS

Drawing Number
G-001

GENERAL NOTES

It is understood that in these General Notes, and all other written and graphic items that make up the Construction Documents, the SHIRU CAFE is heretofore referred to as the "owner."

DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS

1. Immediately upon review of these documents, contractor is to provide Requests For Information (RFI's) to architect for clarification. If none are received contractor accepts documents as being clear and set for construction.

2. Before preparing a proposal, each contractor shall inspect the site and verify all areas and conditions to determine the exact scope and quantities required to complete the work described in the Contract Documents Drawings & Specifications. All contractors shall be responsible to have compared the premises, existing conditions and any other conditions affecting the performance of the work with the Construction Documents and Specifications. Any conflicts, omissions or discrepancies shall be reported in writing to the project architect.

3. All new or modified construction shall be in accordance with all applicable codes, ordinances, and regulations of the most recent prevailing building code and all agencies having jurisdiction over the work, including Federal, State, and Local requirements. In the absence of governing codes, ordinances, rules and regulations, all materials, products and equipment shall be installed in strict accordance with manufacturer's instructions where no specifications exist.

4. If documents are in conflict with one another on a particular item or items, contractor shall base his proposal on the better quality and more expensive of the items or conditions, and duly note this in delivered price. ALL TRADES ARE RESPONSIBLE FOR PRICING AND COORDINATION OF ALL INFORMATION ON ALL DRAWINGS AND SPECIFICATIONS. Items or equipment specified under one trade shall be binding as if specified under all applicable trades.

5. This project does NOT require state historic preservation office (SHPO) review.

DIVISION 01 - GENERAL REQUIREMENTS

6. All drawings are intended to be printed at full scale on Arch D (24"x36") paper.

7. DO NOT SCALE DRAWINGS. Written dimensions govern. Construction element location dimensions and types, door and window locations shall be as shown on construction plans. In case of conflict, notify project architect for written clarification prior to proceeding with construction. Construction drawings by architect supersede those of consultants or other design team members.

8. ALL DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. Contractor shall notify project architect in writing, of any discrepancy in dimensions prior to proceeding with the work in that area.

9. The plus/minus (+/-) symbol indicates a dimension that can vary due to discrepancies in the existing conditions. Notify project architect of any changes to that dimension, unless otherwise noted.

10. "Align", when used, indicates that the finished adjacent surfaces must be in the same plane. Align takes precedence over dimensions.

11. Dimensions are shown from finished face of construction element, unless otherwise noted. Dimensions marked "clear" or "hold" shall be maintained and shall allow for thickness of finishes. Contractor shall not adjust dimensions without written instruction or approval from the project architect.

12. Requests for substitution will not be permitted on this project, unless otherwise noted by project architect. Approved equal substitutions will be considered only if they provide better services, have a more advantageous delivery date, or have a lower price providing a credit to the owner and will not sacrifice quality, appearances or function. Under no circumstances will the architect be required to prove that a product proposed for substitution is or is not of equal quality to the specified product.

13. The contractor shall coordinate their work with owner including, but not limited to, scheduling time, location and methods for deliveries, building facilities, and use of on-site material staging & storage areas.

14. Contractor is to provide items referred to or implied in the documents in proper quantities required to complete work within the allotted time frame.

15. The contract documents, including specific installation details shown on the drawings, establish the minimum installation requirements for the project. If details shown are more stringent than manufacturer's standard details, in the sole opinion of project architect, the details shown will govern the installation of that portion of the work. If manufacturer's standard details are more stringent than details shown, in the sole opinion of project architect, the manufacturer's details shown will govern the installation of that portion of the work. All manufacturer's requirements in excess of that required by the contract documents must be provided at no additional cost to owner.

16. All new construction materials shall be provided in accordance with reference standards and most recent prevailing building code and authorities having jurisdiction over the work. All materials and construction to be incorporated in the work shall be in strict accordance with the latest edition of the Underwriters Laboratory, (UL), American Society of Testing Materials, (ASTM) as applicable, and to conform with the standards and recommendations of the various trade institutes (ACI, AWI, AISC, gyp. assoc. etc.) where applicable. All materials incorporated into the work shall be new, and installed in a professional craftsman-like manner.

17. No known hazardous materials shall be used in the bidding or construction of this project.

18. The contractor shall provide all labor and material required for a complete and finished installation that is fully warranted/guaranteed by manufacturers. Any details or work required, but not shown or specified, are to be provided in accordance with manufacturer's recommendations and requirements at no additional cost to owner.

19. The contractor is responsible for construction means, methods, techniques, sequences and procedures, and for the coordination of the work performed by his subcontractors.

20. Contractor shall layout new construction elements for project architect to review for design intent. Do not proceed with installation of new work without this review approval. Contractor shall coordinate and verify conditions to ensure proper fit. Review for design intent does not release contractor from the responsibility to maintain critical dimensions and clearances.

21. Contractors shall coordinate placement of blocking, equipment and or steel plates with project architect for partition mounted millwork and/or partition mounted equipment.

22. The contractor shall not proceed with work for which they expect additional compensation beyond the contract amount without written authorization from the owner's contracting official. Failure to obtain such authorization shall invalidate a claim for extra compensation.

23. The General Contractor shall maintain exits, exit lighting, life safety & fire protective devices and alarms (temporary and/or permanent) to conform to local building code requirements for the entire duration of this project. Exit doors shall be readily operable at all times from the side from which egress is to be made. Legal means of egress, per the latest edition Mass Building Code, 780 CMR, and any authorities having jurisdiction over the work area, must be maintained from all areas, and adjacent buildings that remain in use during construction. All building exits shall be kept readily accessible and unobstructed at all times.
Illumination of at least 5 foot-candles measured at the floor level shall be maintained continuously in exits and their access facilities, per most recent prevailing building code. Exit signs are to remain on at all times, except for the duration of required changes.

DIVISION 02 - EXISTING CONDITIONS

24. All contractors shall protect all existing site and adjacent existing elements that are indicated to remain or as directed by owner during construction. Any damage resulting from work done under this contract shall be promptly replaced by the contractor with the same type, finish, function, quality and quantity at no additional cost to owner.

25. Work shall not interfere with the operation/function of the existing adjacent facilities. Build temporary walls, dust barriers and/or barricades as required, to totally seal off employees, the public and the occupants of the site and the adjacent building from the demolition operations and the new construction, without compromising code or life safety required points of egress. Notify project architect of all work prior to beginning operations.
Exit doors shall be readily operable at all times from the side from which egress is to be made. Doors opening into interior enclosed stair shall not be locked from either side except that doors may be locked to prevent access to the stair from the outdoors at the street level.

26. The contractor shall be responsible for adequately bracing and protecting work during construction against damage, breakage, collapse, distortion and/or misalignment in accordance with applicable codes, standards, and safe construction practices.

27. Any steel which is currently covered in fire proofing, that requires work by ANY trade, shall be re-fire proofed with coatings to meet or exceed the original. Any new steel requiring fire proofing, shall be coated with appropriate fire proofing material to meet or exceed governing code requirements.

28. Contractor shall verify and be responsible for compatibility of new products with areas of existing construction, scheduled to remain. All existing elements or items that are in conflict with the new construction installation are to be disconnected, removed, and modified as required and reinstalled to eliminate any conflict. All work must be done without interruption to ongoing activities in all surrounding areas. All mechanical and electrical work must be performed by sub-contractors licensed in the appropriate trade in the state where work is to be performed.

29. Contractor shall repair all construction which is damaged as a result of selective demolition and/or new construction. Repairs shall exactly match adjacent materials, finish, colors, and appearance unless otherwise noted.

DIVISION 08 - OPENINGS

30. Where noted to provide and install all new glazing, contractor shall provide setting blocks, spacers and shims as required. Provide heat tempered glass or laminated glass at all new interior construction elements unless otherwise noted and where required by building code. This is typical throughout the construction project.

DIVISION 09 - FINISHES

31. Exposed gypsum board shall have metal trim, as detailed on drawings. In the absence of a specific detail, architect is to be consulted prior to material being purchased and brought to the site. Provide corner beads along full length of outside corners and tape-able J beads along ends of gypsum board. Unless otherwise specifically noted, tape joints, provide three coats of spackle and sand all joints smooth to receive designated finishes. Partitions shall have a smooth finish condition ready for priming, paint and/or finish material application as specified by finish material manufacturer unless otherwise noted.

32. New gypsum board assemblies adjoining installed construction in the same plane shall be flush with no visible joints unless otherwise noted.

33. All interior finishes to have smoke and flame spread ratings shall be in accordance with most recent prevailing building code and authorities having jurisdiction over the work. Interior finishes materials shall be classified in accordance with the surface flame-spread rating obtained as prescribed in ASTM E-84 1961 "standard method of test for surface burning characteristics of building materials" and as prescribed by most recent prevailing building code. Patch walls and floors as required to maintain the integrity of the existing materials fire ratings and to provide a smooth surface for installation of new finish materials.

34. Partitions shall rest directly upon the concrete floor/deck construction and extend to the underside of existing roof or floor structure above with deflection head tracks unless noted otherwise. Partitions shall be acoustically insulated for sound isolation unless noted otherwise. Partitions are to be fitted and cut to all surrounding surfaces.

35. Where new floor finishes are to be provided, flash patch concrete slab and finish substrate if topping is broken or crumbling. Repair and clean to smooth surface before installing new floor finish, per mfr. specifications.

36. Interior floor finish carpet; where new carpeting or carpet tile is to be provided, it shall comply, meet, and/or exceed requirements of most recent prevailing building code & authorities having jurisdiction over the work.

DIVISION 26 - ELECTRICAL

37. Contractor to verify compatibility of new and existing electrical appliances, products, owner's equipment, and related items with modified electrical system.

38. Contractor is fully responsible for ensuring electrical systems operate without interruption to owners' ongoing operations.

39. All receptacles are to be installed with grounding elements on bottom of outlets.

521 CMR COMPLIANCE

40. All areas accessible to the public shall comply with the regulations of 521 CMR, the Massachusetts Architectural Access Board.

MISCELLANEOUS

41. Conduits in fire rated partitions will not exceed ¾" in diameter. Outlets in such partitions will be backed up with approved materials, per most recent prevailing building code and authorities having jurisdiction over the work.

42. Provide fire blocking meeting or exceeding most recent prevailing building code requirements at all penetrations through fire rated construction. Ducts, passing through rated construction shall be protected by rated self-closing fire and / or smoke devices or dampers per most recent prevailing building code (typical).

43. Fire blocking: concealed spaces within partitions, walls, floors, ceilings, stairs, furred pipe spaces, column enclosures, etc. shall be fire blocked per most recent prevailing building code (except where concealed space contains a fully automatic sprinkler system, with localized heads, or is constructed as a fire rated shaft enclosure) as follows:

- non-combustible material that can be shaped as accepted by ASTM E-81 4 "Through Penetration Fire Stop System."
- Non-combustible fire blocking may be masonry set in mortar, concrete 3/4" mortar or plaster on non-combustible lath, plaster board at least 3/8" thick, sheet metal of at least 0.002" thick, solid web metal structural members, 1/4" minimum fireproof cement board of equivalent materials, mineral, slag, or rockwool when compacted in confined space.

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Project Title
Shiru Cafe
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Drawing Title
General Notes

Date/Issued For
01.05.18

Permit

Scale
As Noted

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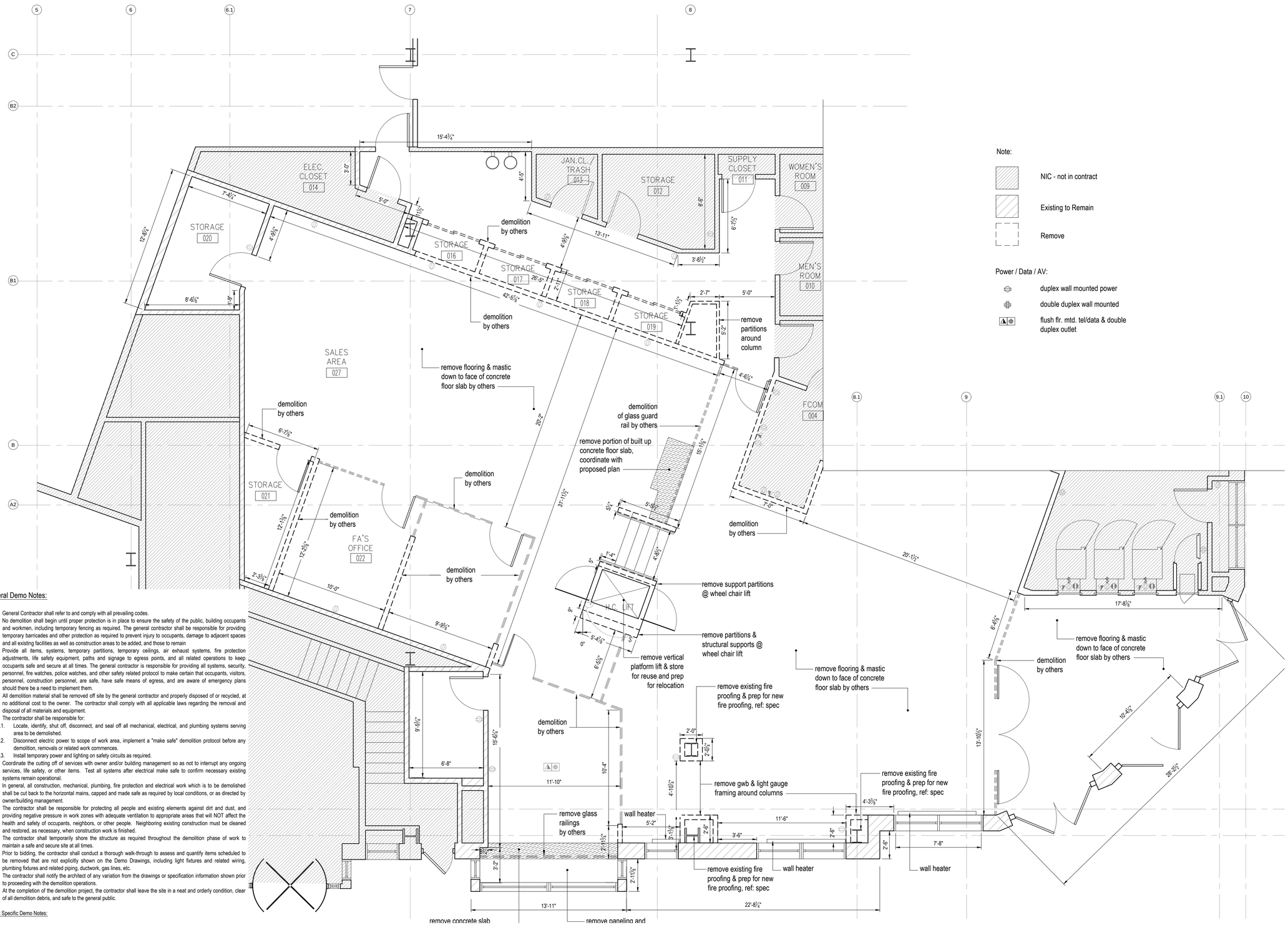
G-002



Note:

- NIC - not in contract
- Existing to Remain
- Remove

Power / Data / AV:

- duplex wall mounted power
- double duplex wall mounted
- flush flr. mtd. tel/data & double duplex outlet

General Demo Notes:

1. General Contractor shall refer to and comply with all prevailing codes.
2. No demolition shall begin until proper protection is in place to ensure the safety of the public, building occupants and workmen, including temporary fencing as required. The general contractor shall be responsible for providing temporary barricades and other protection as required to prevent injury to occupants, damage to adjacent spaces and all existing facilities as well as construction areas to be added, and those to remain
3. Provide all items, systems, temporary partitions, temporary ceilings, air exhaust systems, fire protection adjustments, life safety equipment, paths and signage to egress points, and all related operations to keep occupants safe and secure at all times. The general contractor is responsible for providing all systems, security, personnel, fire watches, police watches, and other safety related protocol to make certain that occupants, visitors, personnel, construction personnel, are safe, have safe means of egress, and are aware of emergency plans should there be a need to implement them.
4. All demolition material shall be removed off site by the general contractor and properly disposed of or recycled, at no additional cost to the owner. The contractor shall comply with all applicable laws regarding the removal and disposal of all materials and equipment.
5. The contractor shall be responsible for:
   - 5.1. Locate, identify, shut off, disconnect, and seal off all mechanical, electrical, and plumbing systems serving area to be demolished.
   - 5.2. Disconnect electric power to scope of work area, implement a "make safe" demolition protocol before any demolition, removals or related work commences.
   - 5.3. Install temporary power and lighting on safety circuits as required.
6. Coordinate the cutting off of services with owner and/or building management so as not to interrupt any ongoing services, life safety, or other items. Test all systems after electrical make safe to confirm necessary existing systems remain operational.
7. In general, all construction, mechanical, plumbing, fire protection and electrical work which is to be demolished shall be cut back to the horizontal mains, capped and made safe as required by local conditions, or as directed by owner/building management.
8. The contractor shall be responsible for protecting all people and existing elements against dirt and dust, and providing negative pressure in work zones with adequate ventilation to appropriate areas that will NOT affect the health and safety of occupants, neighbors, or other people. Neighboring existing construction must be cleaned and restored, as necessary, when construction work is finished.
9. The contractor shall temporarily shore the structure as required throughout the demolition phase of work to maintain a safe and secure site at all times.
10. Prior to bidding, the contractor shall conduct a thorough walk-through to assess and quantify items scheduled to be removed that are not explicitly shown on the Demo Drawings, including light fixtures and related wiring, plumbing fixtures and related piping, ductwork, gas lines, etc.
11. The contractor shall notify the architect of any variation from the drawings or specification information shown prior to proceeding with the demolition operations.
12. At the completion of the demolition project, the contractor shall leave the site in a neat and orderly condition, clear of all demolition debris, and safe to the general public.

Project Specific Demo Notes:

13. Coordinate removal of miscellaneous electrical items with the work of the E drawings.
14. Remove vertical platform lift and protect and store for reuse in new construction.

1 Demolition Floor Plan

Scale: 1/4" = 1'

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Project Title
Shiru Cafe
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Drawing Title
Demolition Floor Plan

Date/Issued For

Print 24x36

Scale
As Noted

Drawn By
YL

Drawing Number
AD-101

1 Demolition Reflected Ceiling Plan

Scale: 1/4" = 1'

RCP Legend:

- lighting fixture
- lighting fixture
- lighting fixture
- sprinkler head
- sound speaker
- exit sign
- fire alarm
- remove air supply diffuser
- remove air return grill
- 2x2 ACT
- remove 2x2 ACT
- remail sofit

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Project Number
1720

Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Demolition Reflected Ceiling Plan

Date/Issued For

Print 24x36

Scale
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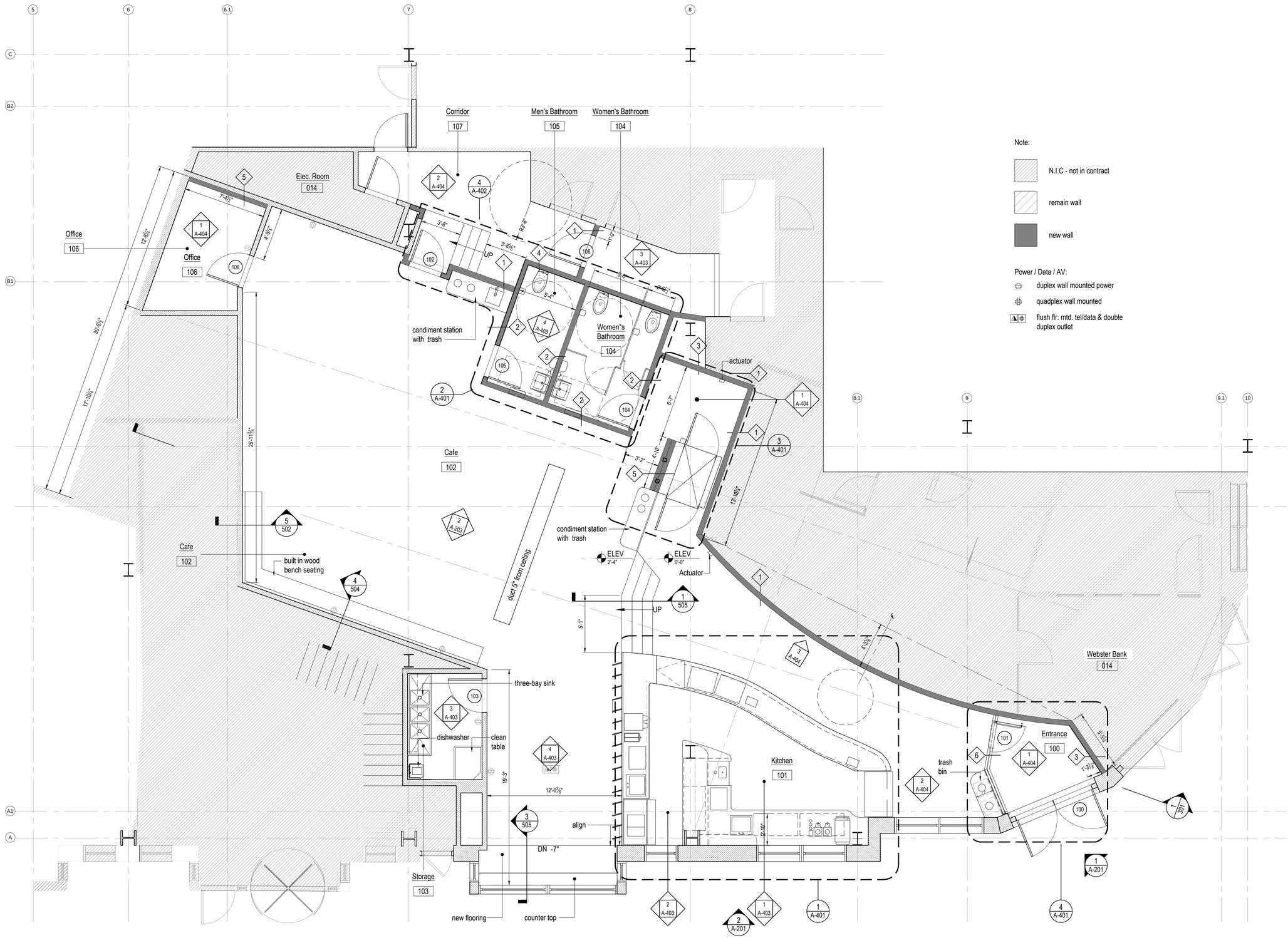
Drawing Number
AD-102



1 Proposed Floor Plan

Scale: 1/4" = 1'

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Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Proposed Floor Plan

Date/Issued For

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Drawing Number
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RCP Legend:

- linear pendant
- track head & track
- pendant
- 2 x 2 fixture
- existing recessed linear
- existing 2x2 fixture
- exit sign
- sprinkler head
- 3/4" wood slat
- 2x2 ACT

xm = maintain

xr = remove and protect for reinstallation

- supply air diffuser
- return air grill
- NIC - not in contract
- remain wall
- new wall

1 Reflected Ceiling Plan

Scale: 1/4" = 1'

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Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Proposed Reflected Ceiling Plan

Date/Issued For

Print 24x36

Scale
As Noted

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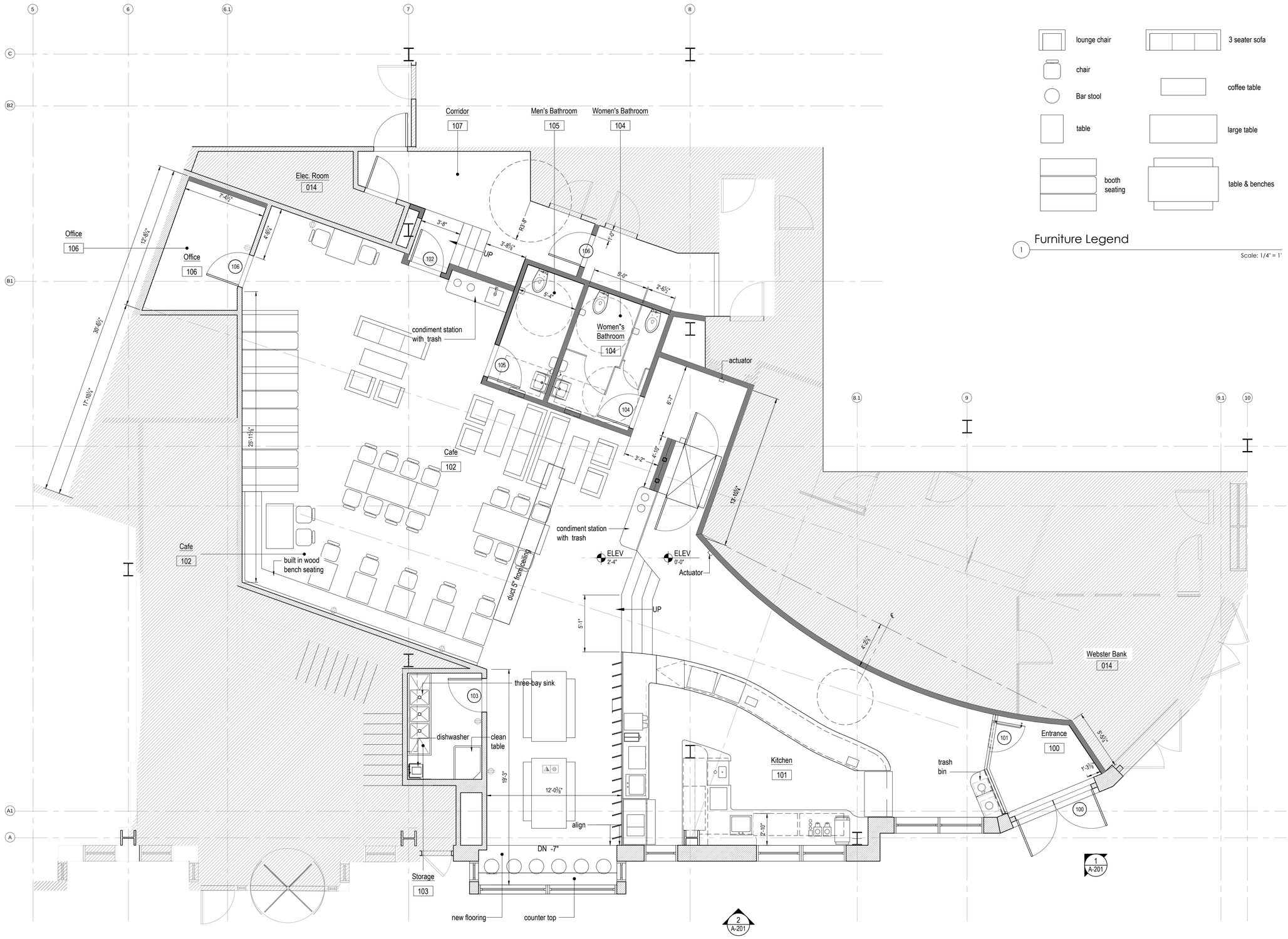
Drawing Number
A-102



1 Furniture and Equipment Plan

Scale: 1/4" = 1'

1 Furniture Legend

Scale: 1/4" = 1'

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Project Title
Shiru Cafe
One Brattle Street,
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Drawing Title
Furniture Plan

Date/Issued For

Print 24x36

Scale
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Drawing Number
A-103

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Project Title
Shiru Cafe
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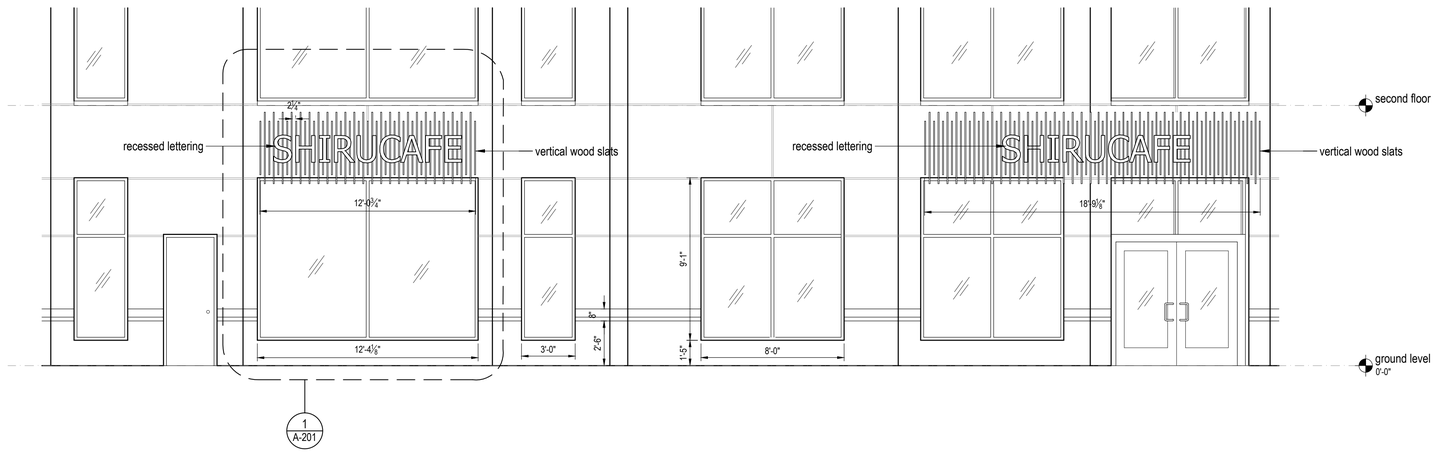

2 Partial Building Elevation - Brattle Street

Scale: 1/4" = 1'

Drawing Title
Exterior Elevations

Date/Issued For

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Scale
As Noted

Drawn By
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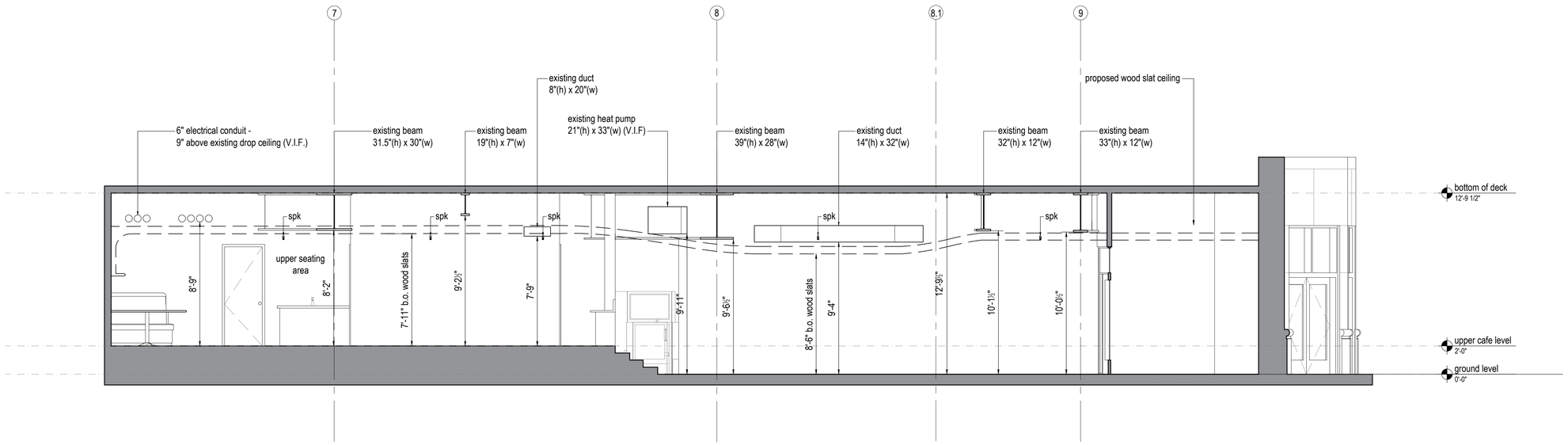
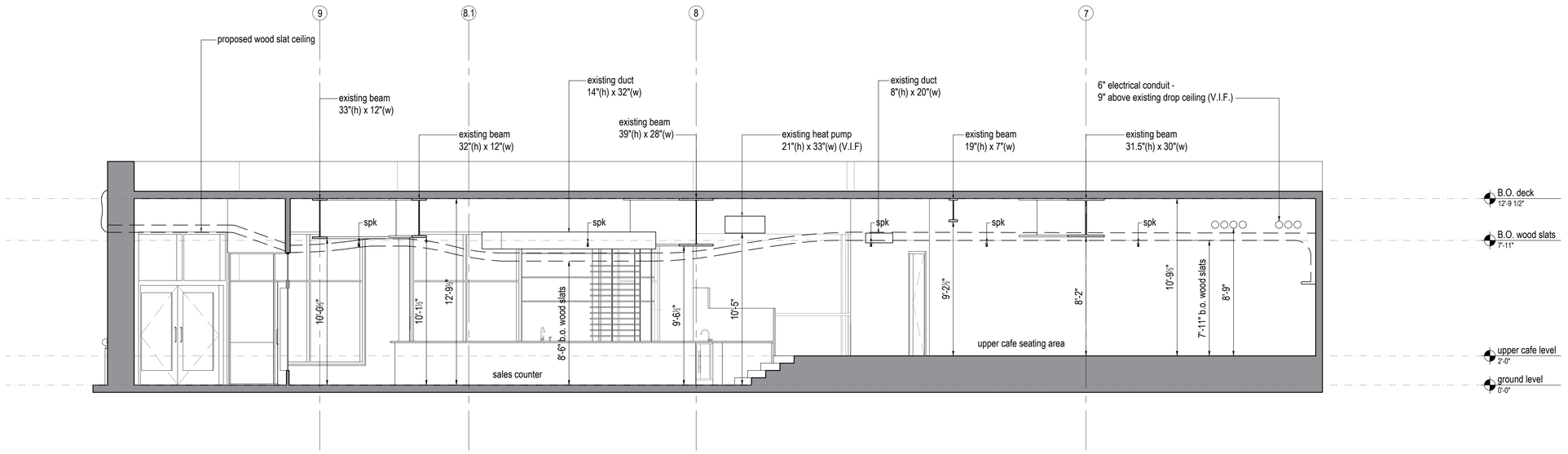
Drawing Number
A-201



1 Longitudinal Section

Scale: 1/4" = 1'



2 Longitudinal Section

Scale: 1/4" = 1'

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Project Title
Shiru Cafe

One Brattle Square

Drawing Title
Building Sections

Date/Issued For

REGISTERED ARCHITECT
JOSEPH M. GALANTE
No. 9870
CAMBRIDGE
MASS.
COMMONWEALTH OF MASSACHUSETTS

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Scale
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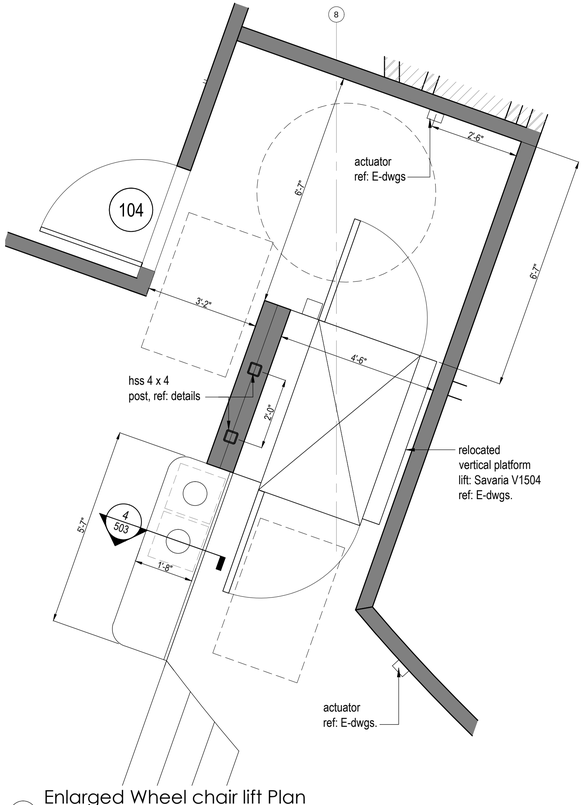
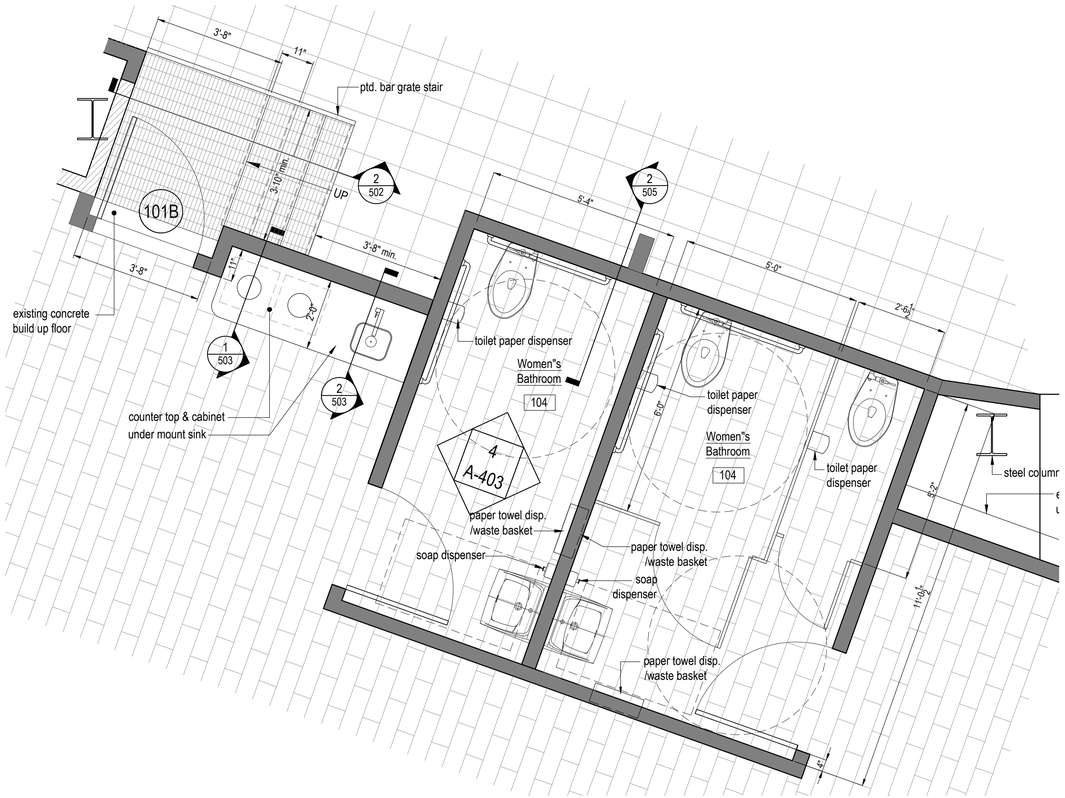
Drawing Number
A-301



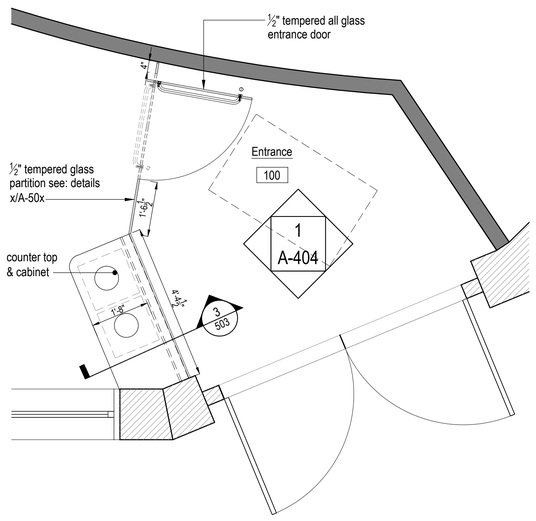
3 Enlarged Wheel chair lift Plan

Scale: 1/2" = 1'



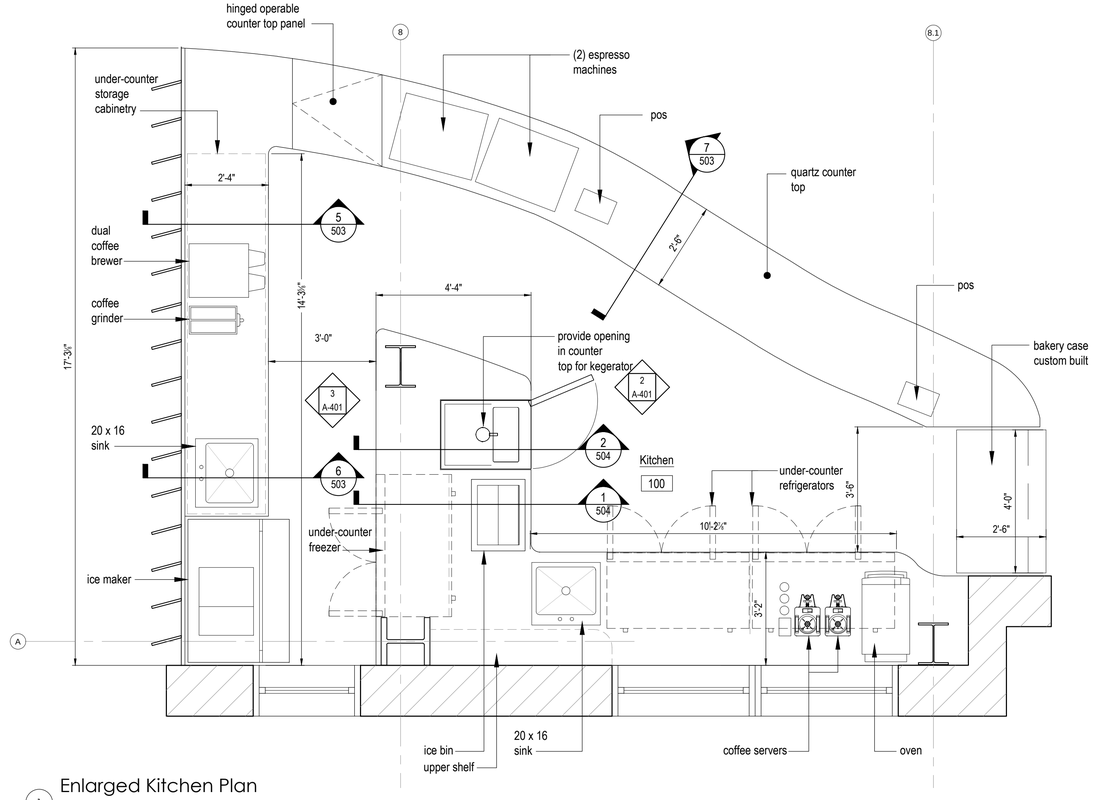
2 Enlarged Bathroom & Stair Plan

Scale: 1/2" = 1'



4 Enlarged Entrance Vestibule Plan

Scale: 1/2" = 1'



1 Enlarged Kitchen Plan

Scale: 1/2" = 1'

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Project Number
1720

Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Enlarged Plans

Date/Issued For

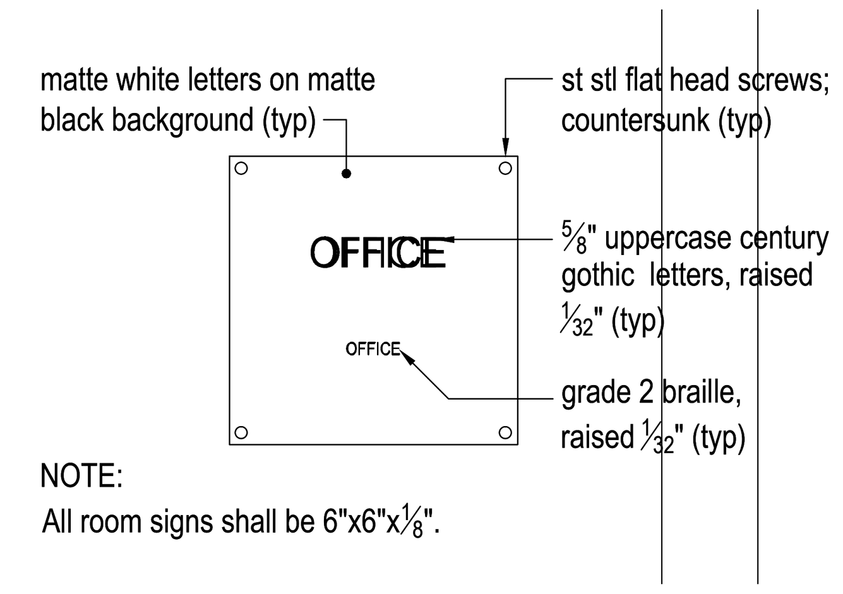
REGISTERED ARCHITECT
STEVEN GALANTE
No. 9670
CAMBRIDGE
MASS.
COMMONWEALTH OF MASSACHUSETTS

Print 24x36

Scale
As Noted

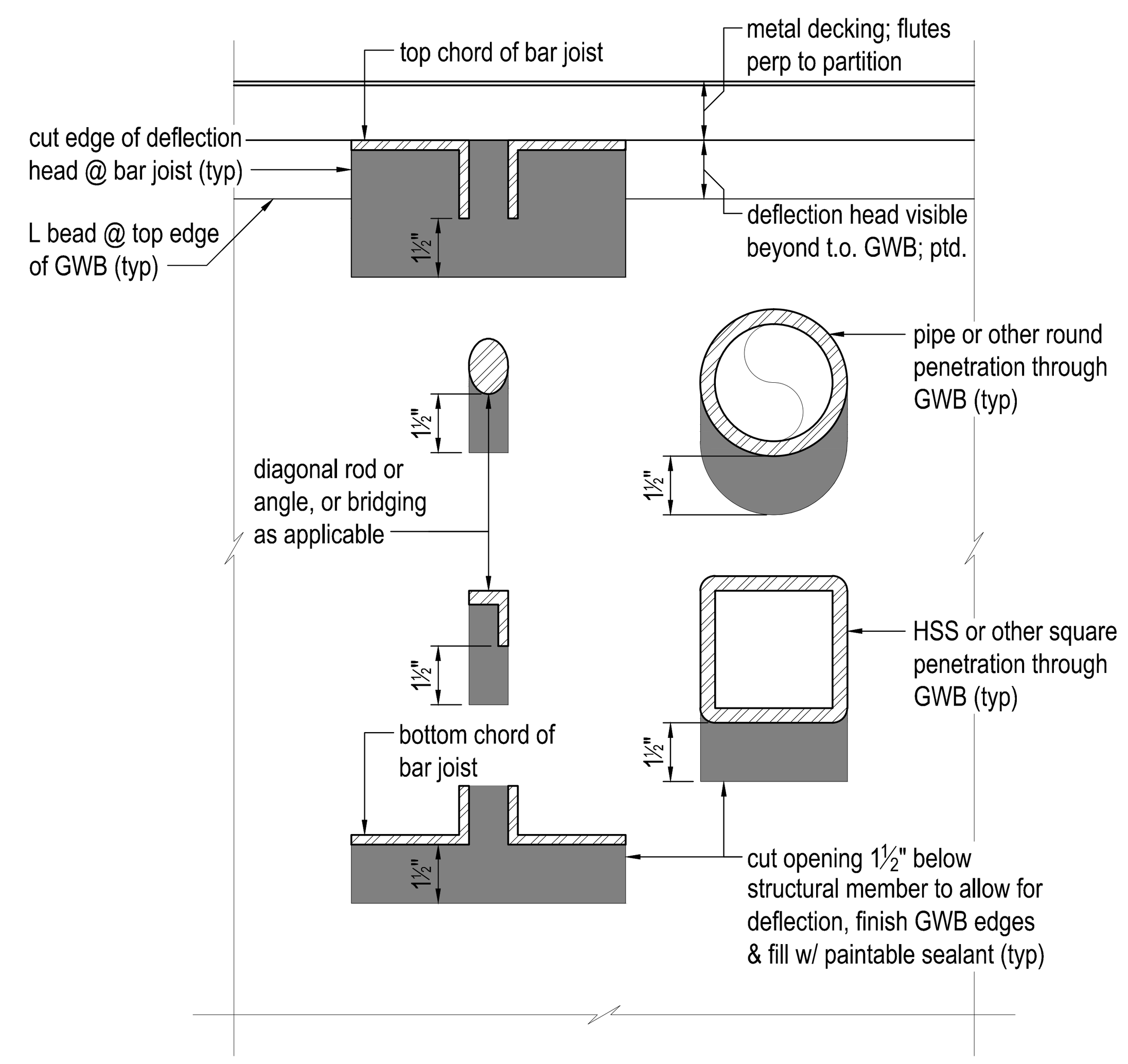
Drawn By
YL

Drawing Number
A-401

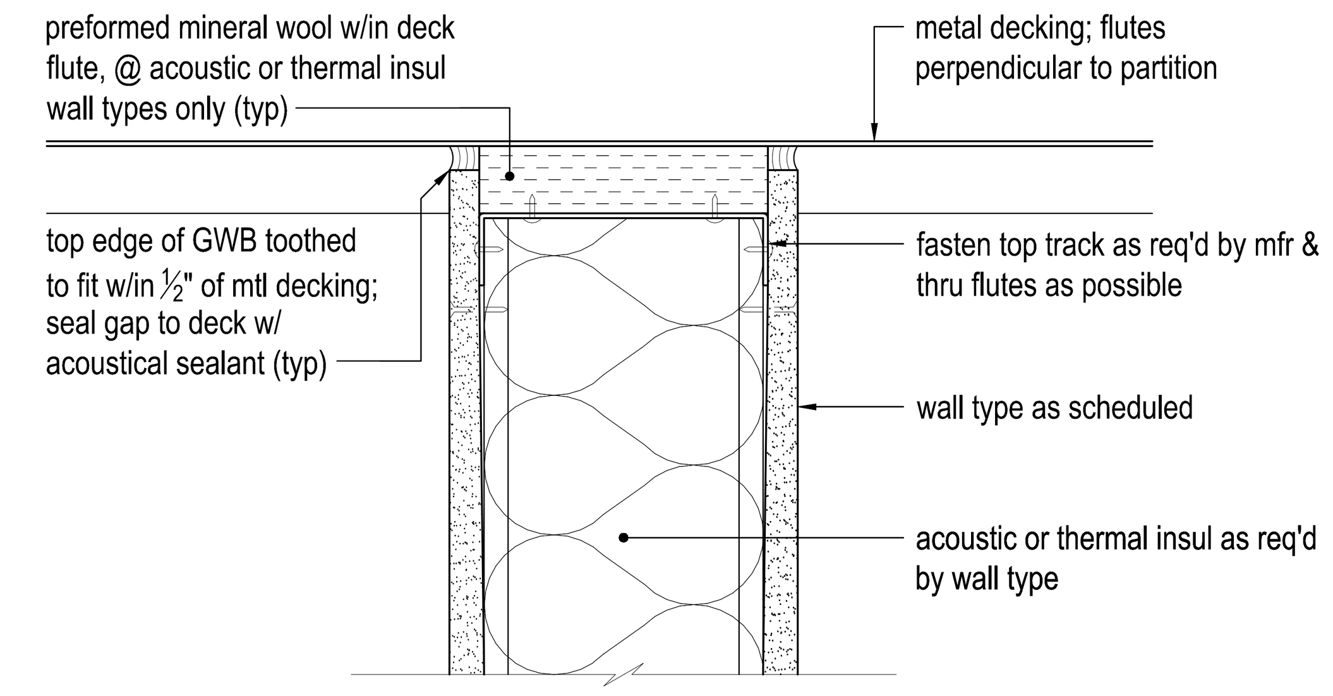


NOTE:
All room signs shall be 6"x6"x1/8".

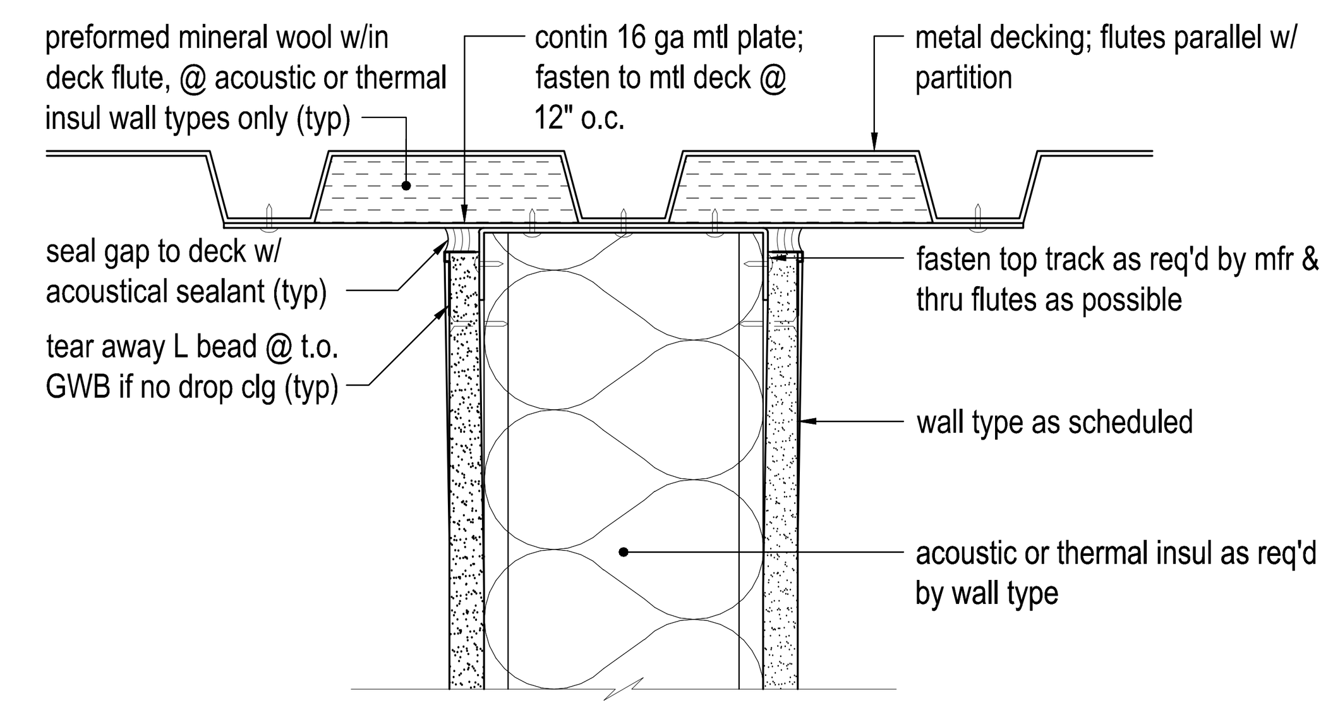
3 Typical Signage 3" = 1'-0"



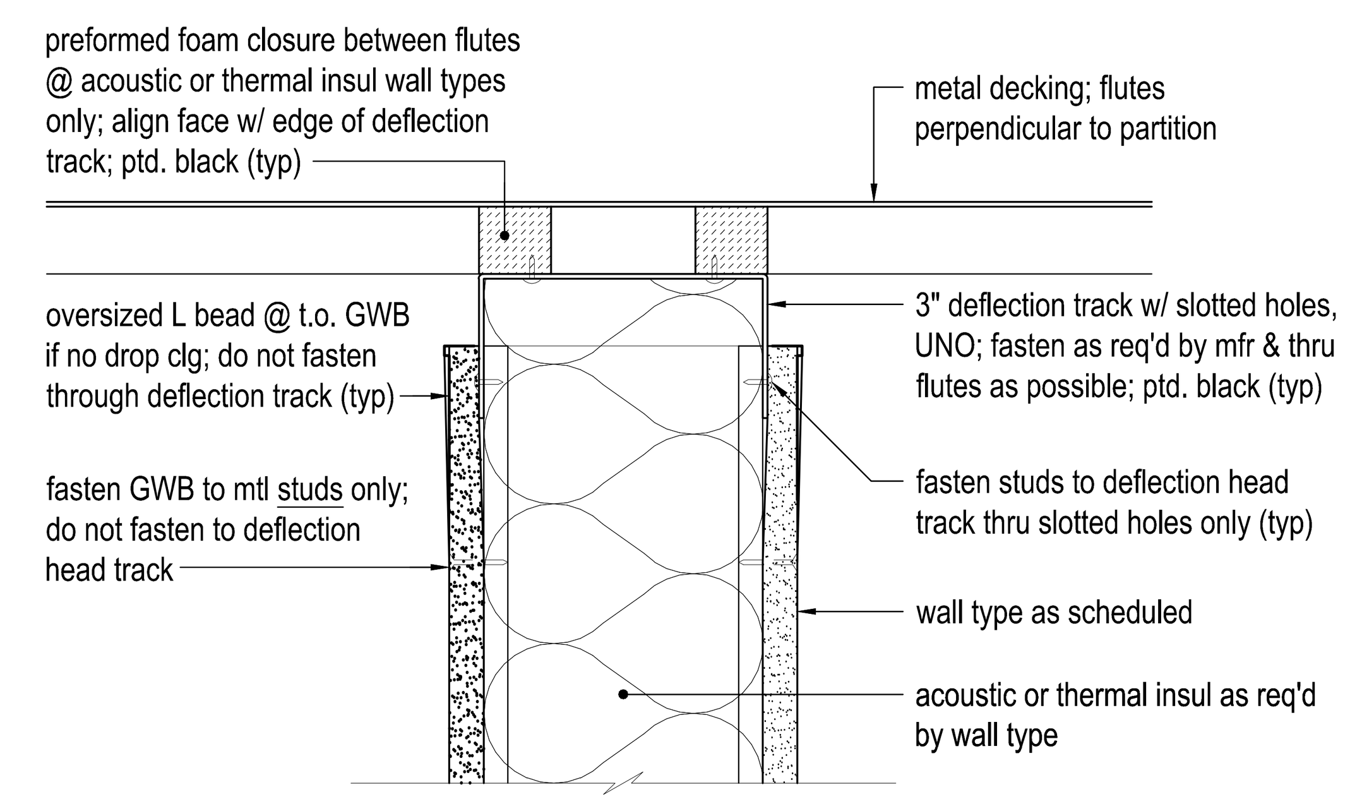
B. Typical for Penetrations thru GWB Partitions w/ Deflection Heads



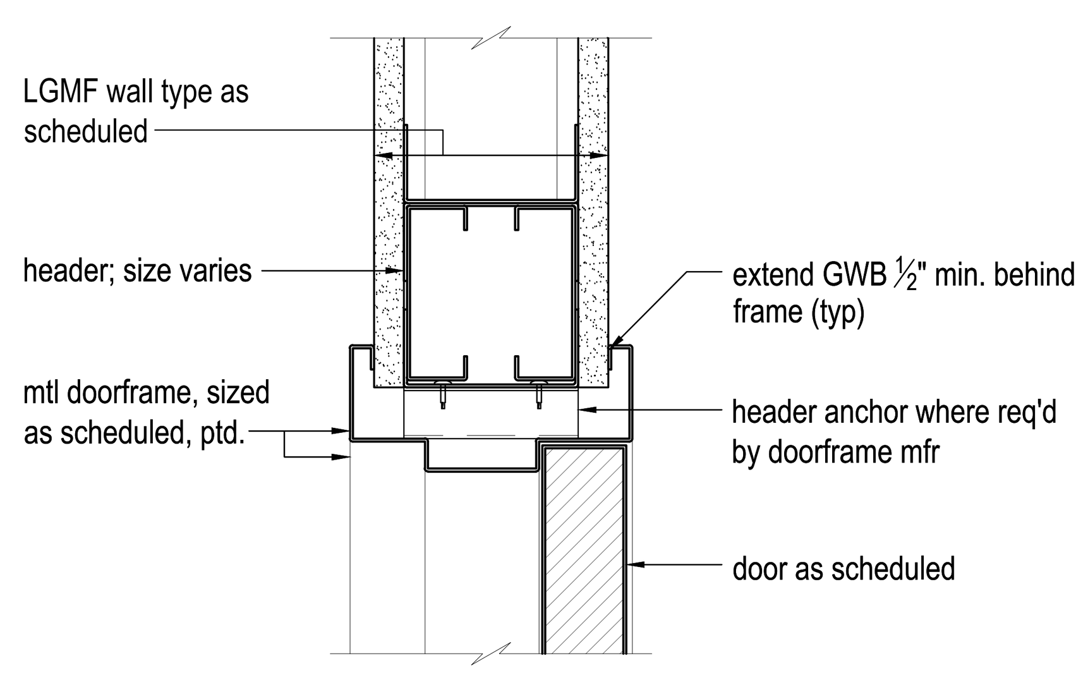
D. Standard Top Track Perpendicular to Metal Decking Flutes



C. Standard Top Track Parallel to Metal Decking Flutes

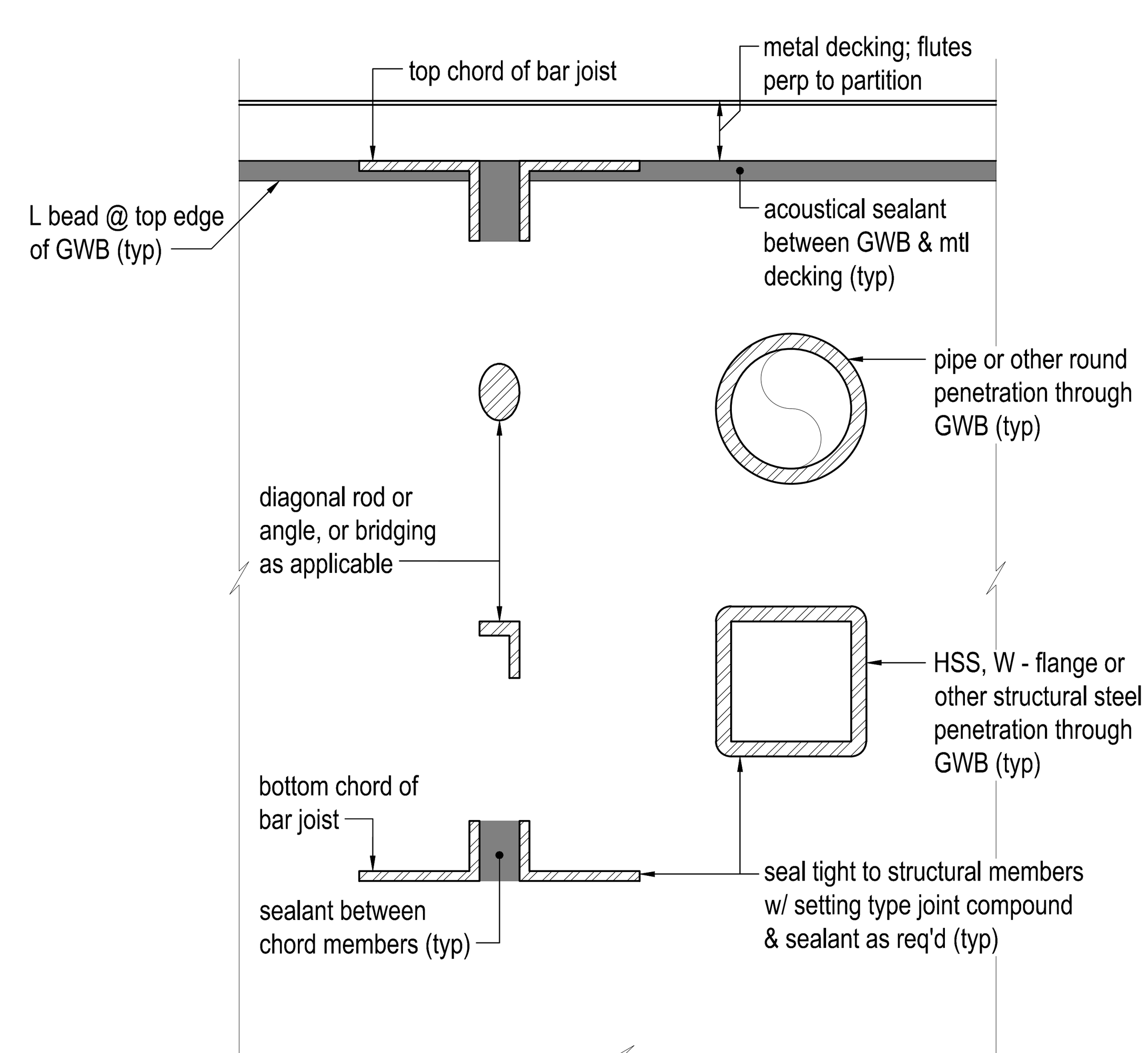


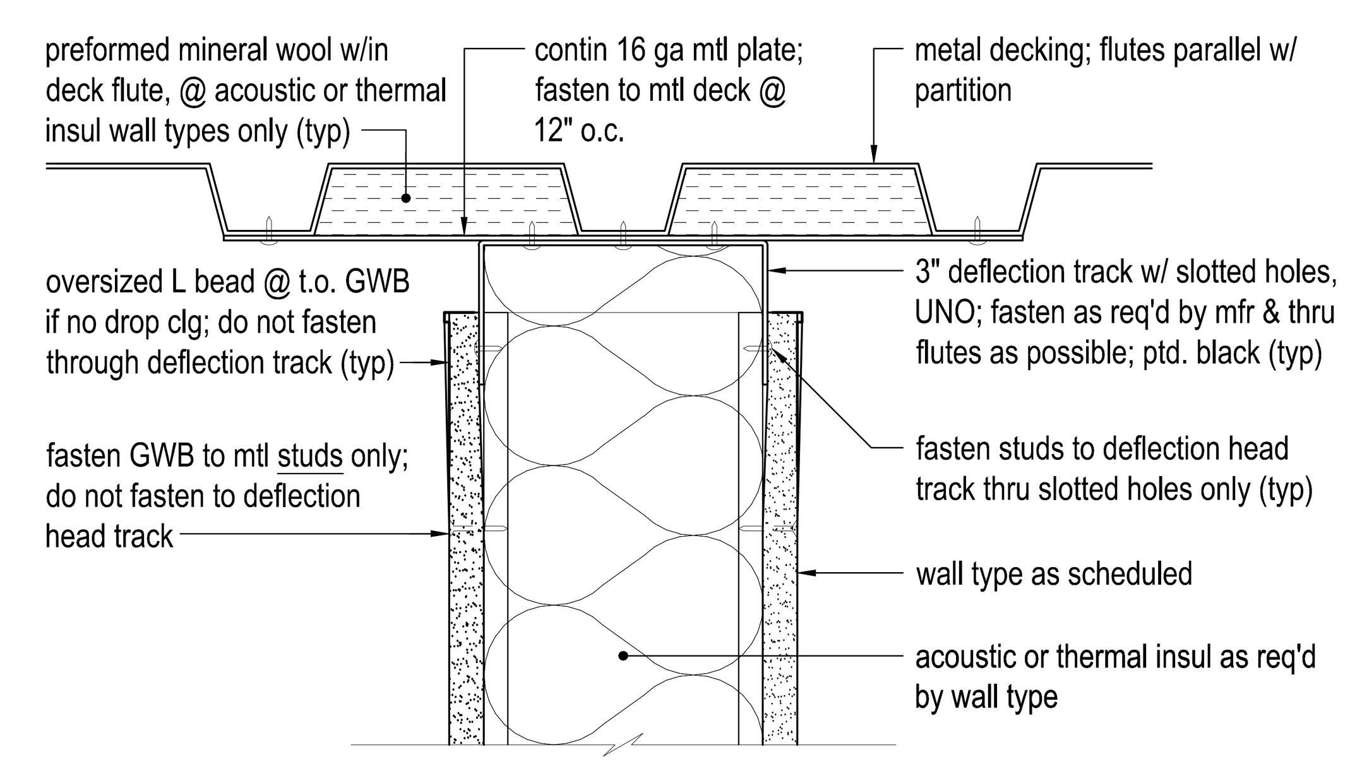
B. Deflection Head Perpendicular to Metal Decking Flutes

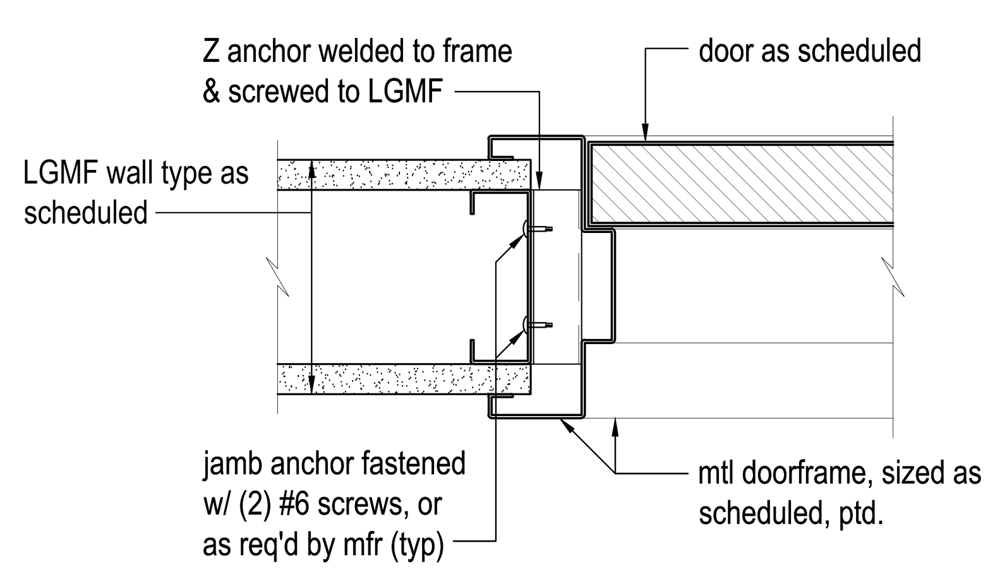


Note:
1. Boxed header size:
@ 3'-0" door: (2) 3⅝" x 20 ga.
@ 6'-0" door: (2) 6" x 20 ga.

B. Header Detail







A. Jamb Detail

Note:
1. Follow installation procedures of ANSI/SDI A250.11-2012.

4 Typical HM Door Jamb/Header Details in Non-Load Bearing Partition 3" = 1'-0"

A. Typical for Penetrations thru GWB Partitions

Note:
1. Penetrations are examples only. Actual shapes, sizes, and dimensions will vary.

2 Typical Interior Partition Penetration Details 3" = 1'-0"

A. Deflection Head Parallel to Metal Decking Flutes

Note:
1. Partitions framed up to decking shall include a deflection head unless noted otherwise.
2. Unless noted otherwise, assume similar detail for non-GWB wall types.

1 Section Details - Typical Interior Partition Head to Deck Connection 3" = 1'-0"

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Project Number
1720

Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Typical Details

Date/Issued For

Print 24x36

Scale
As Noted

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Drawing Number
A-501

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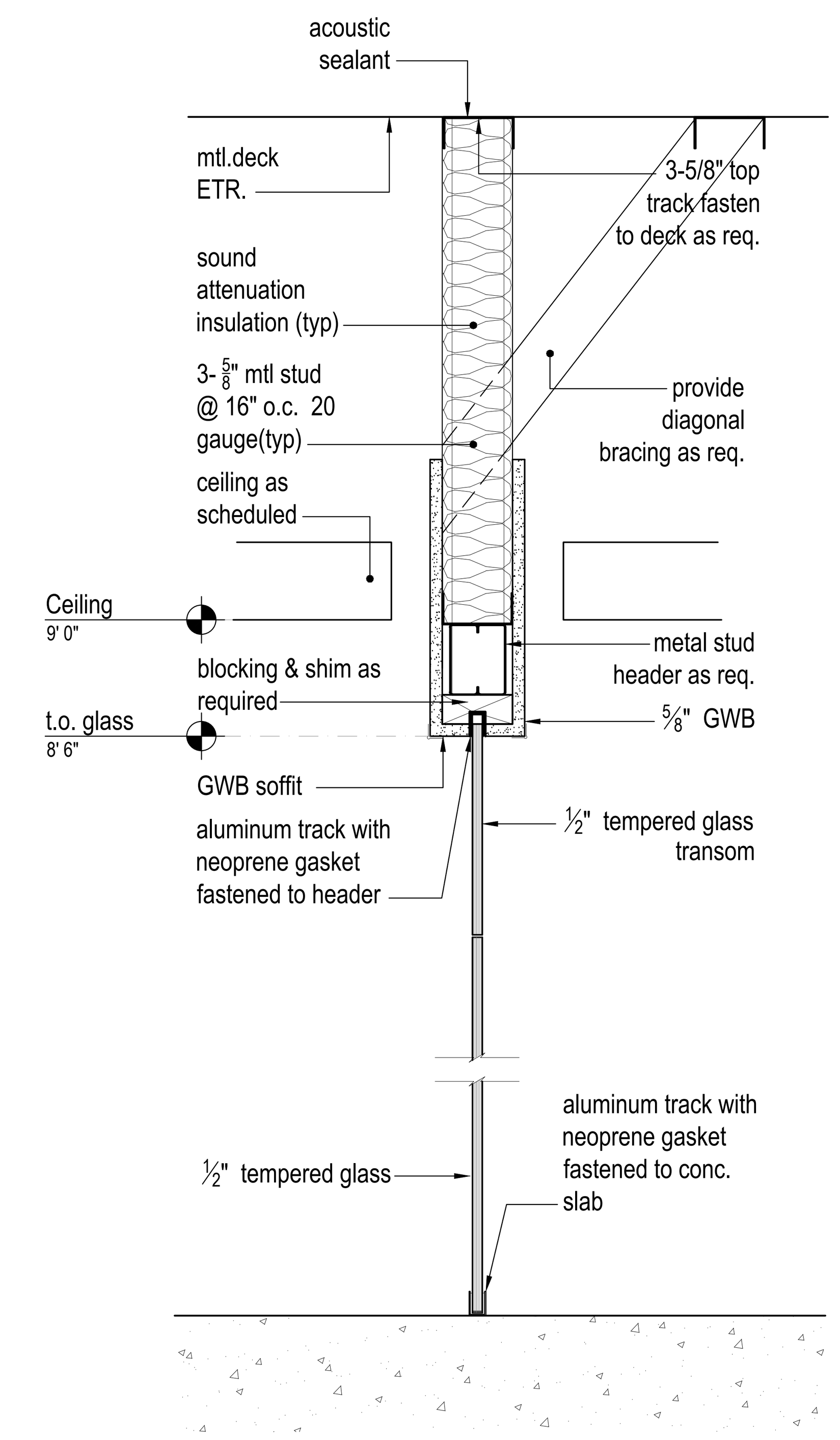
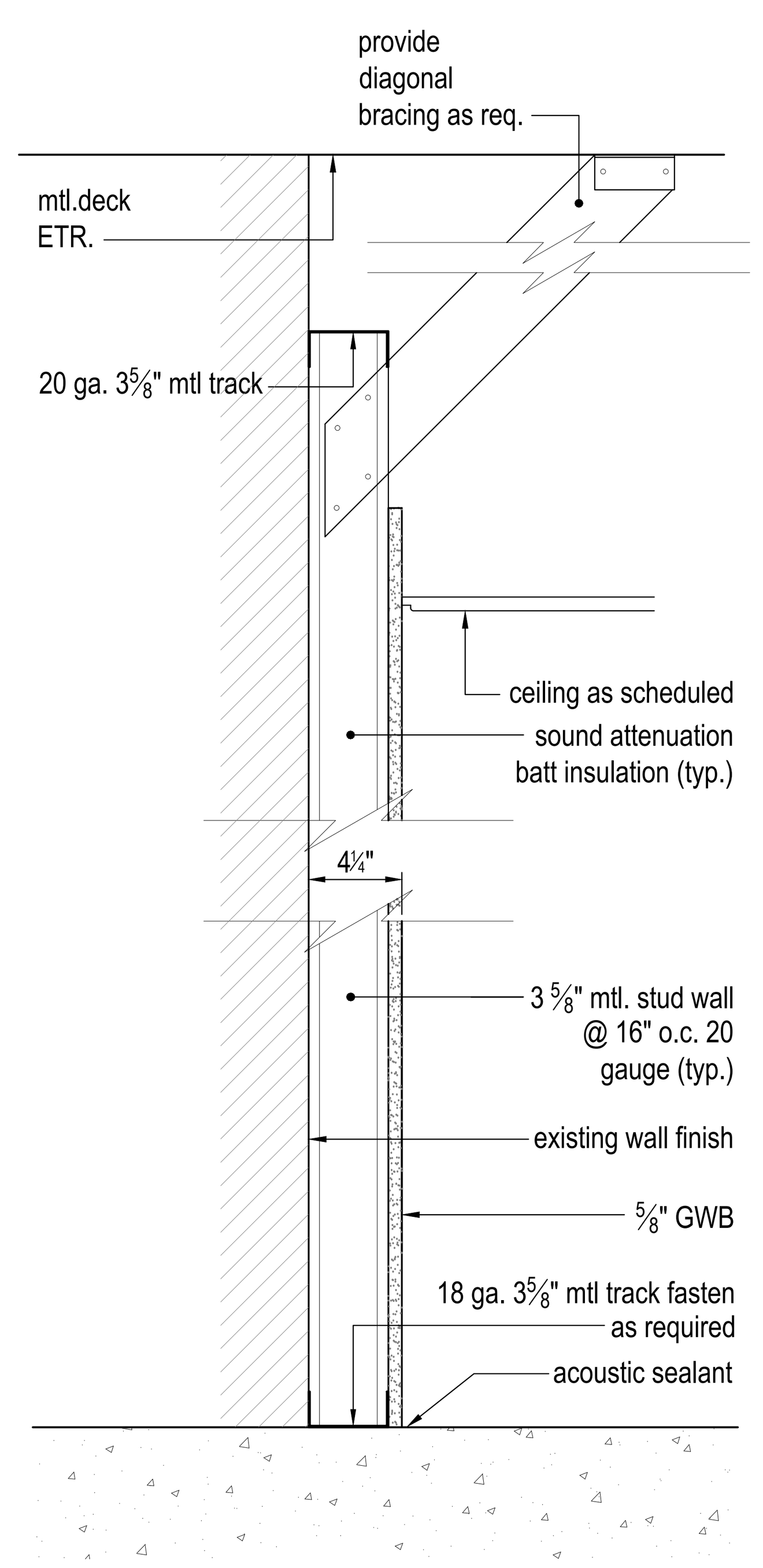
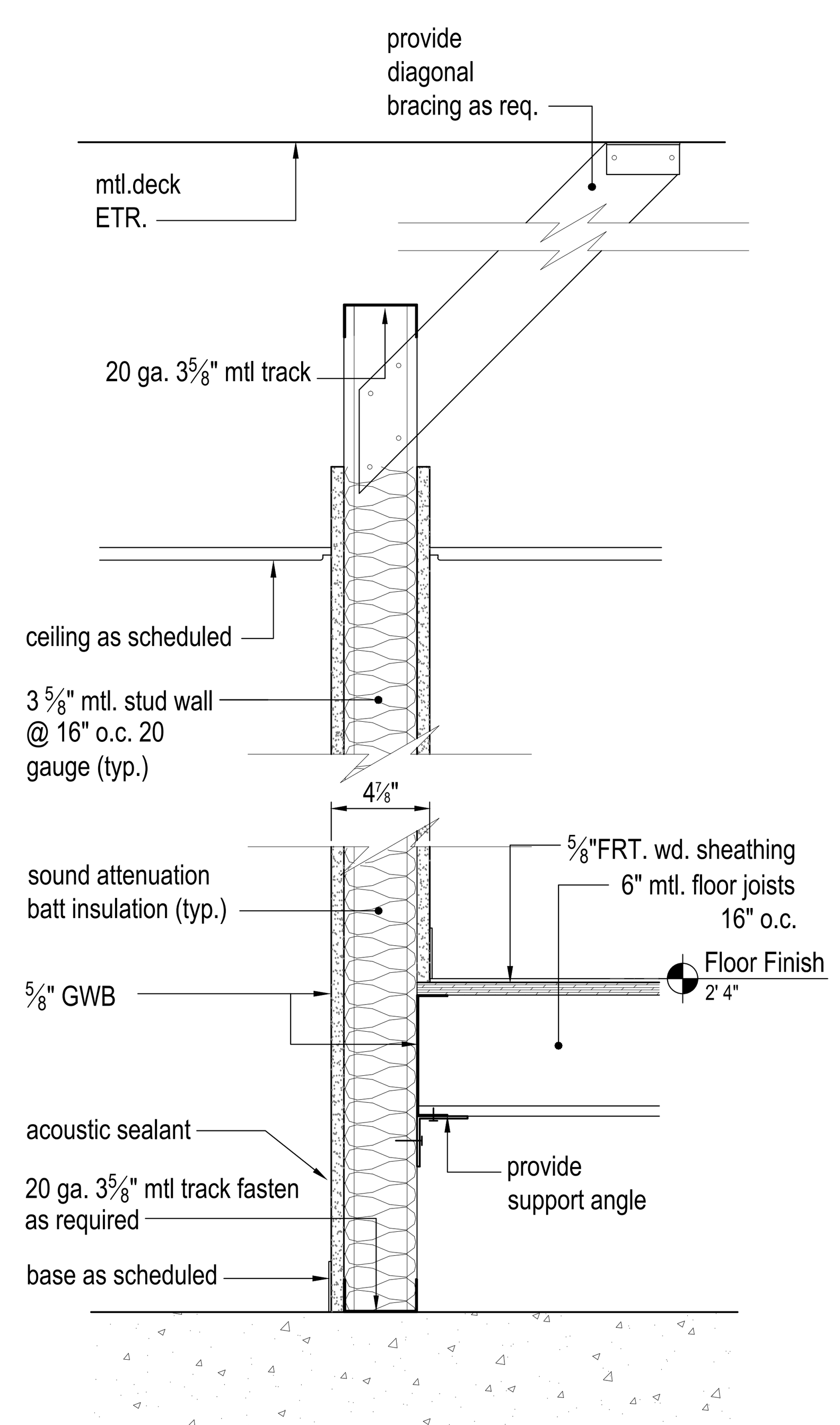


Type 6

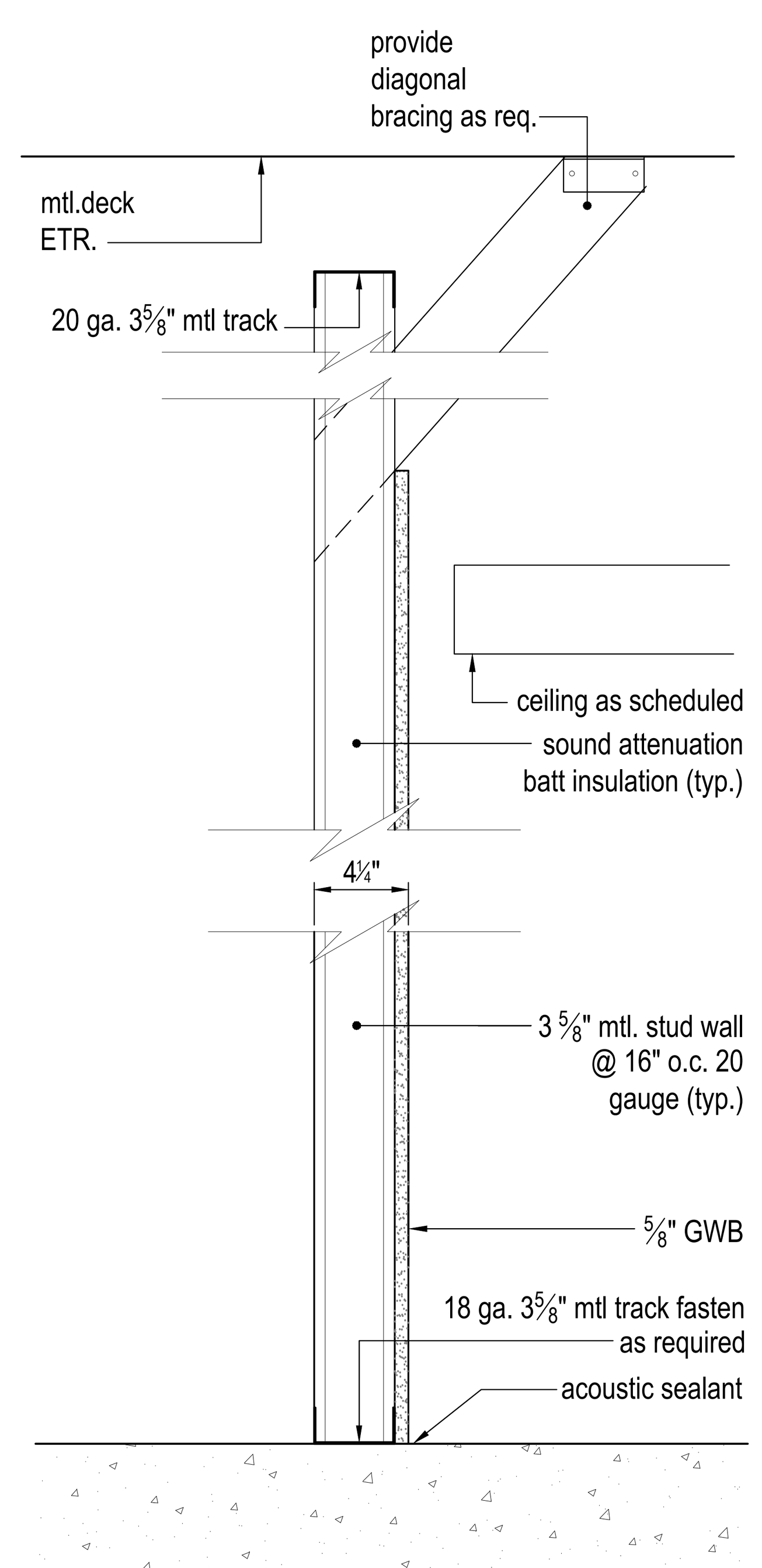


Type 5

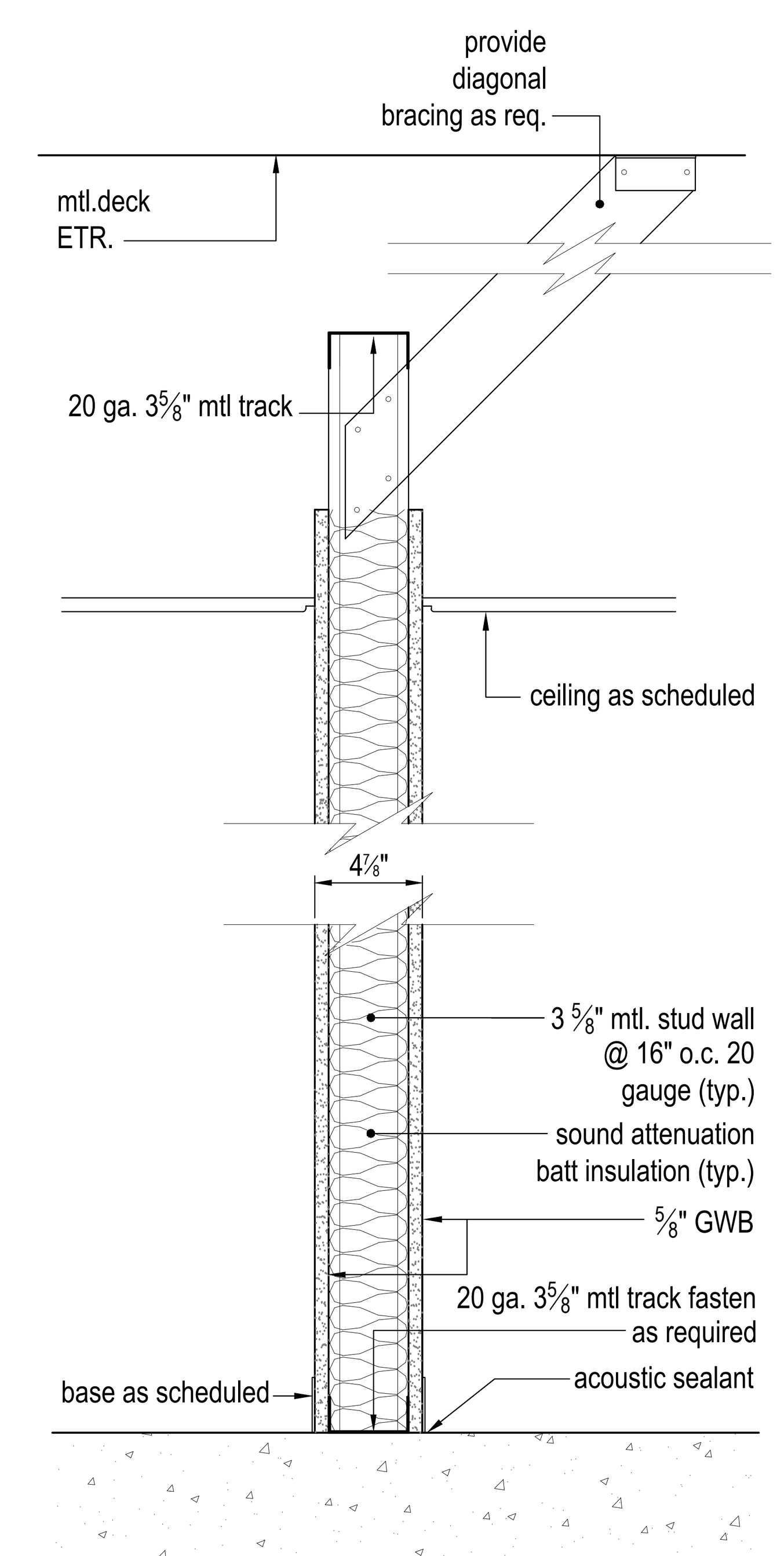


Note:
1. Provide water resistant gwb on bathroom side of wall

Type 4

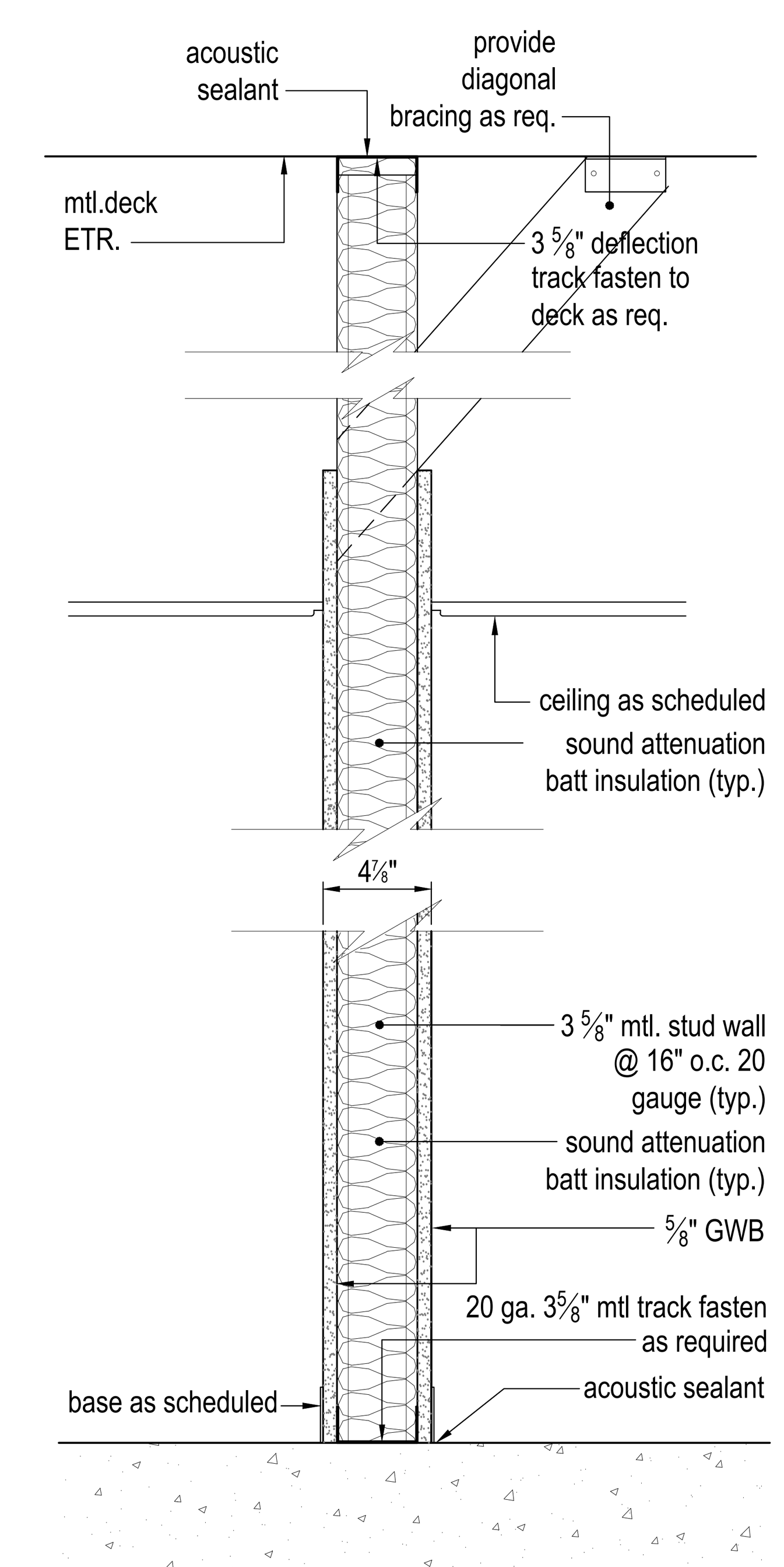


Type 3



Note:
1. Provide water resistant gwb on bathroom side of wall

Type 2



Type 1

1 Partition Types

Scale: 1-1/2" = 1'

Project Number
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Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Partition Types

Date/Issued For

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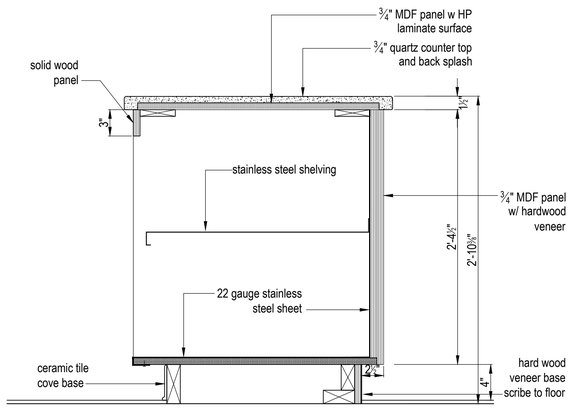
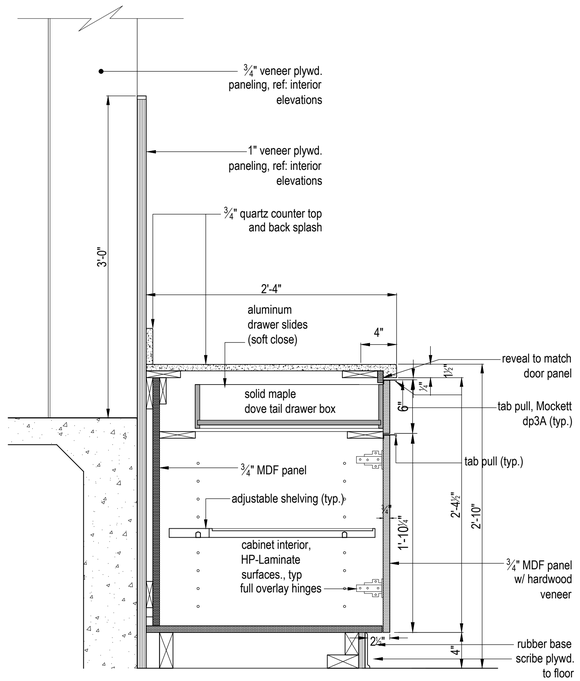


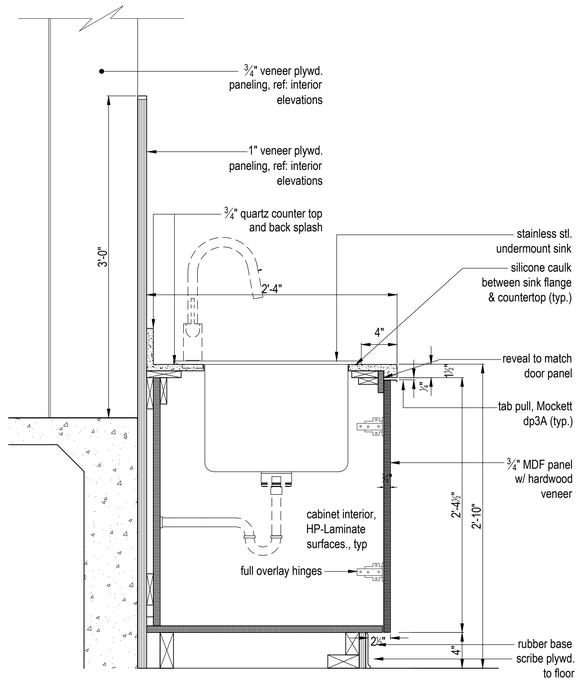
7 Cafe Front Counter Section Detail

Scale: 1-1/2" = 1'



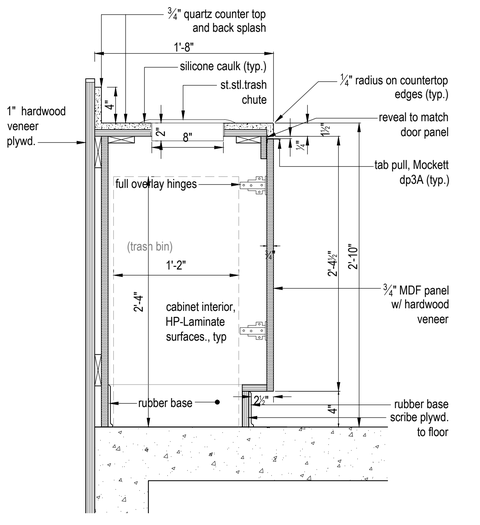
6 Kitchen Cabinet Section Detail

Scale: 1-1/2" = 1'



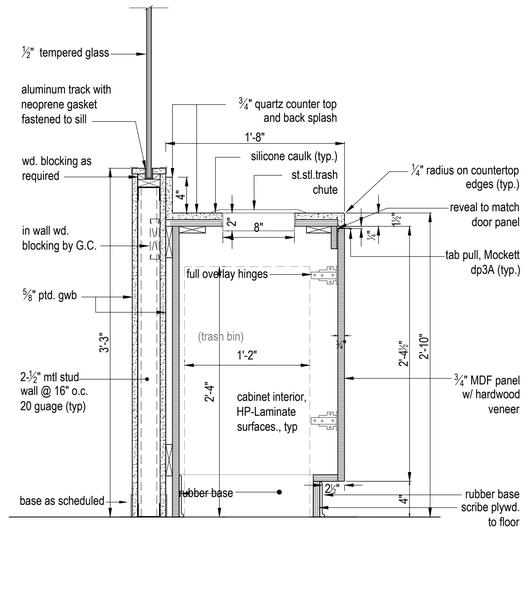
5 Kitchen Cabinet @ Sink Section Detail

Scale: 1-1/2" = 1'



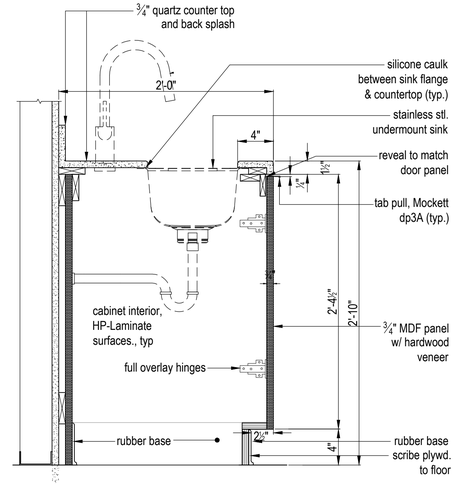
4 Cabinet & Trash Chute Section Detail

Scale: 1-1/2" = 1'



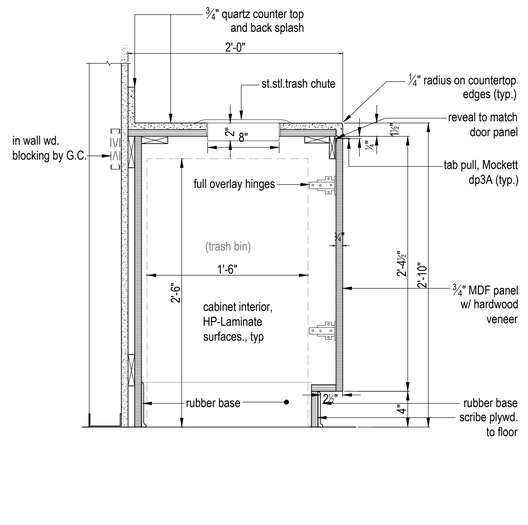
3 Cabinet & Trash Chute Section Detail

Scale: 1-1/2" = 1'



2 Cabinet @ Sink Section Detail

Scale: 1-1/2" = 1'



1 Cabinet & Trash Chute Section Detail

Scale: 1-1/2" = 1'

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Project Number
1720

Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Millwork Details 1

Date/Issued For

REGISTERED ARCHITECT JOSEPH GALANTE NO. 48170 CAMBRIDGE MASS. COMMONWEALTH OF MASSACHUSETTS

Print 24x36

Scale
As Noted

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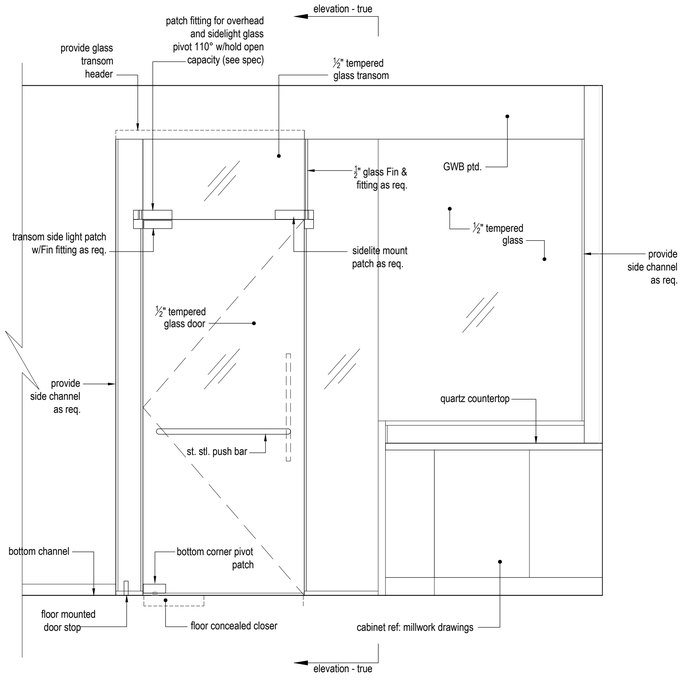
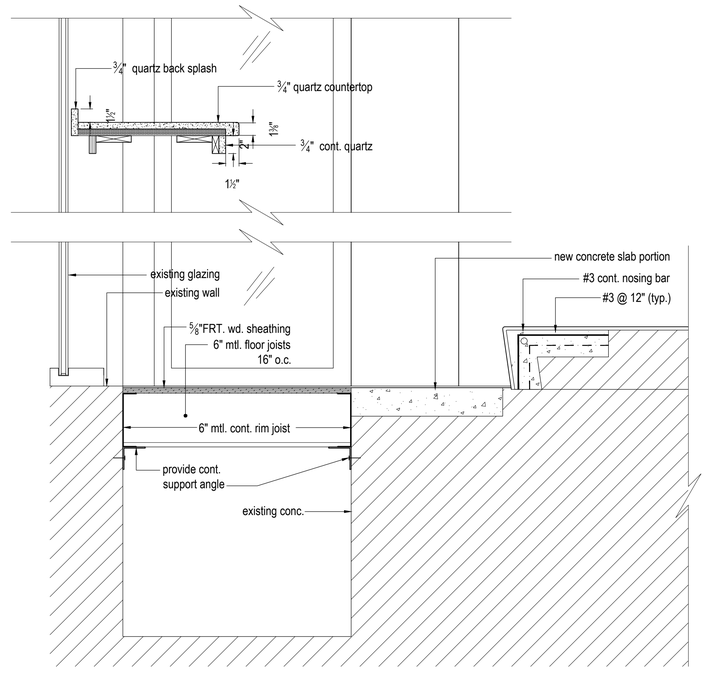
YL

Drawing Number
A-503



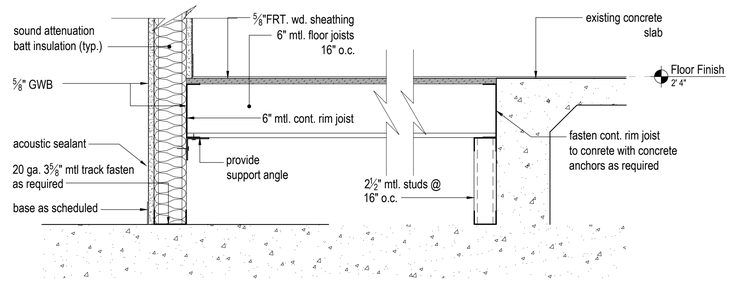
5 All Glass Entrance

Scale: 1-1/2"= 1'- 0"



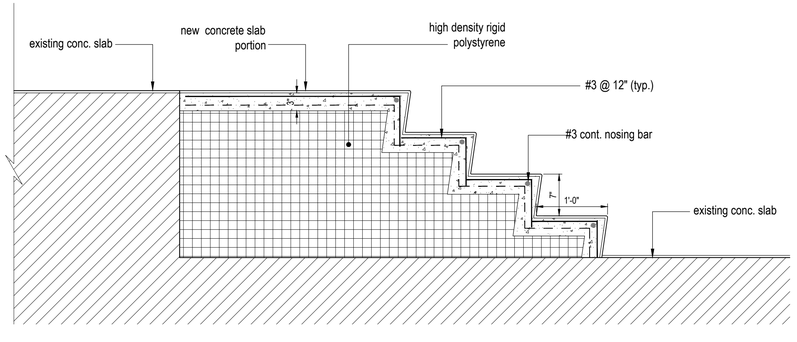
3 Floor & Countertop Section Detail

Scale: 1-1/2"= 1'- 0"



2 New Raised Floor Typical Section Detail

Scale: 1-1/2" = 1' - 0"



1 Stair Section Detail

Scale: 1" = 1'- 0"

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Project Number
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Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Miscellaneous Details

Date/Issued For

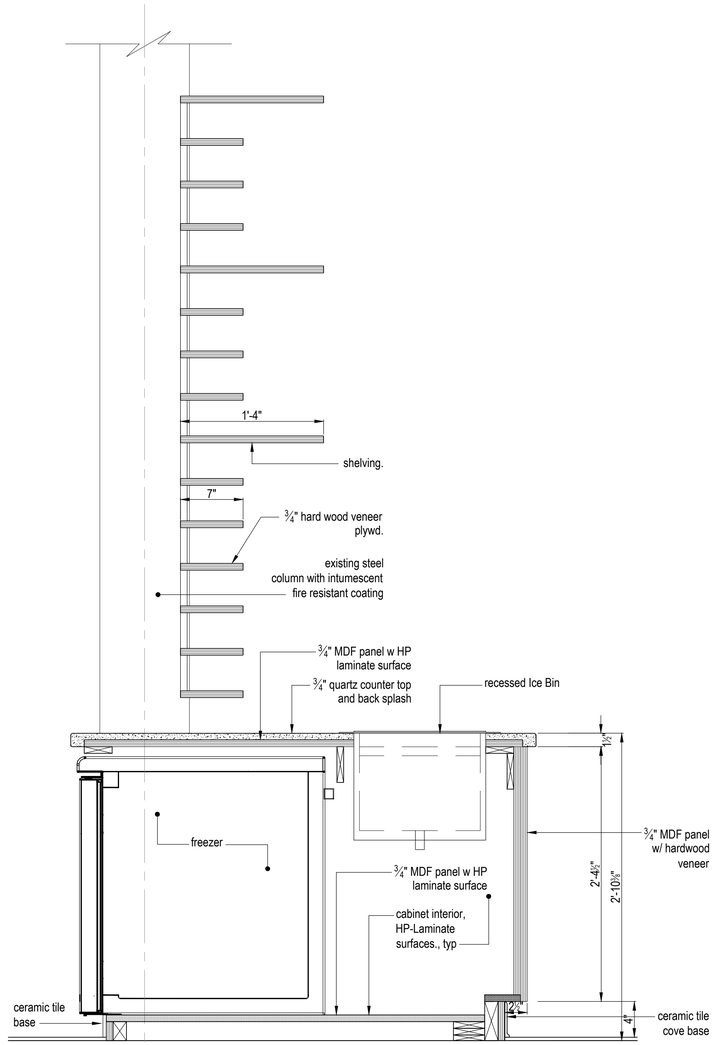
REGISTERED ARCHITECT
EDOUARD GALANTE
No. 9270
CAMBRIDGE
MASS.
COMMONWEALTH OF MASSACHUSETTS

Print 24x36

Scale
As Noted

Drawn By
YL

Drawing Number
A-505



1 Cabinet & Trash Chute Section Detail

Scale: 1-1/2" = 1'

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Project Number
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Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Millwork Details 2

Date/Issued For

REGISTERED ARCHITECT
JOSEPH P. GALANTE
No. 9870
CAMBRIDGE
MASS.
COMMONWEALTH OF MASSACHUSETTS

Print 24x36

Scale
As Noted

Drawn By
YL

Drawing Number
A-504

Door Schedule

No.	Location	Width	Height	Door Type	Finish	Frame Type	Frame Finish	Description	Hardware (see spec)	Comments
100	Entrance	6'-0"	7'-0"	N/A	N/A	N/A	N/A	Existing Double Door to Remain	X	
101	Entry Vestibule	3'-0"	7'-0"	1	Glass	Frameless	N/A	All Glass Door	001	
102	Cafe 102	3'-0"	7'-0"	2	Clear Coat Wood	1	Steel; Painted	Hollow Metal Door	002	
103	Storage 103	3'-0"	7'-0"	OH Door	Clear Coat Wood	1	Steel; Painted	Hollow Metal Door	003	
104	Bathroom 104	3'-0"	7'-0"	OH Door	Clear Coat Wood	1	Steel;Painted	Hollow Metal Door	004	
105	Bathroom 105	3'-0"	7'-0"	OH Door	Clear Coat Wood	1	Steel;Painted	Hollow Metal Door	004	
106	Office 105	3'-0"	7'-0"	2A	Clear Coat Wood	1	Steel; Painted	Hollow Metal Door	005	

Note:

1. Field verify all dimensions and swings. All colors shall be confirmed by Architect prior to ordering.
2. See Spec for door hardware

Finish Schedule

No.	Room Name	Floor	Base	Walls				Color	Ceiling	Comments
				North	West	South	East			
100	Entrance	LVT Flooring	Rubber	Painted GWB	Painted GWB	Existing Glass Door	Painted GWB	T.B.D.	Wood Slat	See Comment 1 & 2
101	Kitchen	Ceramic Tile	Rubber	Millwork	Millwork	GWB,painted	Millwork	T.B.D.	Wood Slat	See Comment 1 & 2
102	Cafe	LVT Flooring	Rubber	GWB, painted	GWB, painted	GWB, painted	GWB, painted	T.B.D.	Wood Slat	See Comment 1 & 2
103	Storage Room	Ceramic Tile	Rubber	GWB, painted	GWB, painted	GWB, painted	GWB, painted	T.B.D.	Acoustic Tile	See Comment 2
104	Women's Bathroom	LVT Flooring	Rubber	GWB, painted	GWB, painted	GWB, painted	GWB, painted	TBD	Acoustic Tile	See Comment 2
105	Men's Bathroom	LVT Flooring	Rubber	GWB, painted	GWB, painted	GWB, painted	GWB, painted	TBD	Acoustic Tile	See Comment 2
106	Office	LVT Flooring	Rubber	GWB, painted	GWB, painted	GWB, painted	GWB, painted	TBD	Acoustic Tile	See Comment 2

1) Paint metal deck, exposed duct work, electrical conduit, sprinkler piping, gas piping and other exposed elements above Wood Slat ceiling to conceal.
2) Paint Structural Steal members with fire resistant intumescent coating.

1 Finish Schedule

Scale: 1/2" = 1'

TGAS
THE GALANTE ARCHITECTURE STUDIO INC
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Project Number
1720

Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Finish Schedule &
Door Schedule

Date/Issued For

Print 24x36

Scale
As Noted

Drawn By
TGAS

Drawing Number
A-601