

# HARVEY STREET RESIDENCES

119-135 HARVEY STREET  
CAMBRIDGE, MA 02140

\*\* SPECIAL PERMIT SET 03-07-2011 \*\*

LIST OF DRAWINGS		
NUMBER	TITLE	DATE ISSUED
A-0	COVER SHEET	03-07-2011
L-01	PRELIMINARY LANDSCAPE PLAN	03-07-2011
L-02	PRELIMINARY GRADING PLAN	03-07-2011
VTP-1	SITE PLAN EXISTING CONDITIONS	03-07-2011
VTP-2	SITE PLAN PROPOSED CONDITIONS	3-07-2011
VTP-3	TYPICAL DETAILS	3-07-2011
AZ-1	ZONING LAYOUT	03-07-2011
AP-SP	PERSPECTIVE VIEWS	03-07-2011
A-SW	PROJECT SOLAR STUDIES	03-07-2011
AL-1	FIGURE GROUND, SITE SECTION & STREET ELEVATION	03-07-2011
AP-1	SITE PHOTOGRAPHS	03-07-2011
U-S-1	TYPICAL BUILDING SECTIONS	03-07-2011
U - 1-4	UNITS 1 TO 4 PLANS AND ELEVATIONS	03-07-2011
U - 5-6	UNITS 5 TO 6 PLANS AND ELEVATIONS	03-07-2011
U - 7-13-A	UNITS 7 TO 13 PLANS	03-07-2011
U - 7-13-B	UNITS 7 TO 13 ELEVATIONS	03-07-2011
U - 14-19-A	UNITS 14 TO 19 PLANS	03-07-2011
U - 14-19-B	UNITS 14 TO 19 ELEVATION	03-07-2011
U - 20-22	UNITS 20 TO 22 PLANS AND ELEVATIONS	03-07-2011
U - 23-25	UNITS 23 TO 25 PLANS AND ELEVATIONS	03-07-2011
U - 26-27	UNITS 26 TO 27 PLANS AND ELEVATIONS	03-07-2011
U - 28-29	UNITS 28 TO 29 PLANS AND ELEVATIONS	03-07-2011

**OWNER:**

YOUNG INVESTMENT LLC  
477 CONCORD AVENUE  
CAMBRIDGE, MA 02138  
(617) 576-9900

**ARCHITECT:**

KHALSA DESIGN INC.  
17IVALOO STREET, STE 400  
SOMERVILLE, MA 02143  
(617) 591-8682

**AND**

DAVID BARSKY, ARCHITECT  
477 CONCORD AVENUE  
CAMBRIDGE, MA 02138  
(617) 448-5872

**LANDSCAPE ARCHITECT:**

BLAIR HINES DESIGN ASSOCIATES  
318 HARVARD STREET, STE 25  
BROOKLINE, MA 02446  
(617) 730-1180

**CIVIL ENGINEER:**

VTP ASSOCIATES  
132 ADAMS STREET,  
2ND FLR STE 3  
NEWTON, MA 02458  
(617) 332-8271



PROPOSED ARCHITECTURAL RENDERING

NTS

**PROJECT NAME**  
HARVEY STREET  
RESIDENCES

**PROJECT ADDRESS**  
HARVEY STREET  
CAMBRIDGE, MA

**CLIENT**  
YOUNG INVESTMENT  
LLC

**ARCHITECT**  
KHALSA DESIGN INC.



17IVALOO STREET, SUITE 400  
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TELEPHONE 617-591-8682 FAX: 617-591-2086

**CONSULTANTS:**

DAVID BARSKY ARCHITECT  
COMMERCIAL RESIDENTIAL HOSPITALITY  
477 CONCORD AVE. CAMBRIDGE, MA 02138  
EMAIL: DBARSKYARCH@HOTMAIL.COM  
TEL: 617-448-5872  
FAX: 617-576-5901

**REGISTRATION**



Project number  
Date 03-07-2011  
Drawn by SEA  
Checked by JSK  
Scale NTS

**REVISIONS**

No.	Description	Date
1	PB/Neighbors Comments	04-26-11

COVER SHEET

**A-0**

**PROJECT NAME**  
**HARVEY STREET RESIDENCES**

**PROJECT ADDRESS**  
 135 HARVEY STREET  
 CAMBRIDGE, MA

**CLIENT**  
 YOUNG INVESTMENT LLC

**ARCHITECT**  
 KHALSA DESIGN INC.



17 VALCO STREET, SUITE 400  
 SOMERVILLE, MA 02143  
 TELEPHONE 617-581-6862 FAX: 617-581-2066

**CONSULTANTS:**

**LANDSCAPE ARCHITECT**  
 Blair Hines Design Associates  
 318 Harvard Street, Suite 25  
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 W: www.blairhinesdesignassociates.com

**CIVIL ENGINEER**  
 YVP ASSOCIATES  
 132 Adams Street, 2nd Floor  
 Newton, MA 02458  
 T: 617-332-8271



**PLANTING NOTES**

- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
- No substitution of plant species will be allowed without the written approval of the Landscape Architect. Any proposed substitutions of plant species shall be a plant of equivalent overall form, height and branching habit, flower, leaf and fruit, color and time of bloom.
- The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
- All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
- No planting shall be installed before acceptance of rough grading of topsoil.
- The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3" greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
- The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
- All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
- 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
- All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All shrub beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
- All planting to be done under the full time supervision of a certified arborist, nurseryman or licensed Landscape Architect.
- All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.

**PLANT LIST**

KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES
<b>TREES</b>					
AR	6	Acer rubrum 'Red Sunset'	Red Maple	2.5'-3' cal	B&B
AL	11	Amelanchier laevis	Shadblow	7'-8' ht.	B&B
BN	9	Betula nigra 'Heritage'	Heritage River Birch	2.5'-3' cal	B&B single stem
CB	8	Carpinus betulus 'Columaris'	European Hornbeam	2'-2.5' cal.	B&B
PA	2	Picea abies	Norway Spruce	7'-8' ht.	B&B
PS	21	Pinus strobus	White Pine	7'-8' ht.	B&B
PAB	5	Platanus x acerifolia 'Bloodgood'	London Plane Tree	2.5'-3' cal	B&B
PSJ	2	Prunus serrulata	Japanese Flowering Cherry	2'-2.5' cal.	B&B
SR	9	Syringa reticulata 'Ivory Silk'	Tree Lilac	2'-2.5' cal.	B&B
TP	9	Thuja plicata	Western Redcedar	7'-8' ht.	B&B
<b>SHRUBS</b>					
AP	13	Aesculus parviflora	Bottlebrush Buckeye	5 gal.	
AZK	36	Azalea Karen	Lavender Evergreen Azalea	3 gal.	
AZA	9	Azalea Abigail Adams	Pink Evergreen Azalea	3 gal.	
HM	23	Hydrangea arborescens	Hydrangea	5 gal.	
HQ	30	Hydrangea quercifolia	Oakleaf Hydrangea	7 gal.	5 STEMS 36" MIN
ICH	82	Ilex crenata 'Hetzii'	Hetz Holly	5 gal.	
IG	34	Ilex glabra 'Compacata'	Inkberry	18"-24" ht.	
RM	12	Rhododendron 'Roseum Superbum'	Roseum Rhody	2.5'-3' ht.	B&B
SJ	6	Spiraea japonica 'Little Princess'	Pink Dwarf Spiraea	2 gal.	
SM	13	Syringa meyeri 'Miss Kim'	Miss Kim Lilac	36" ht.	
SV	8	Syringa vulgaris - Wedgewood Blue Blue	Common Lilac	4.5' ht.	B&B
SV	4	Syringa vulgaris - Albert Holden	Violet Common Lilac	4.5' ht.	B&B
SV	10	Syringa vulgaris - Hugo Koster	Lavender Common Lilac	4.5' ht.	B&B
VD	7	Viburnum dentatum	Arrowwood Viburnum	3-4' ht.	
VM	18	Viburnum 'Mariesii'	Doublefile Viburnum	3-4' ht.	

**GRASSES**

CL	-	Chasmanthium latifolium	Wild Oats (3')	2 gal.	Pots
HMa	232	Hakonechloa macra 'Aureola'	Hakone Grass	1 gal.	Pots 12" apart
MS	20	Miscanthus sinensis 'Gracillimus'	Maidengrass (5')	2 gal.	Pots, 3' spread
MSM	16	Miscanthus sinensis 'Morning Light'	Maidengrass (7')	2 gal.	Pots, 3' spread
PV	66	Panicum virgatum 'shenandoh'	Red Switch Grass	2 gal.	Pots
PVC	70	Panicum virgatum 'Cloud Nine'	Blue Switch Grass	2 gal.	Pots
Pa	118	Pennisetum alopecuroides 'Hameln'	Dwarf Fountaingrass (4')	2 gal.	Pots

**PERENNIALS**

EP	6	Echinacea purpurea	'Kim's Knee High' Low Purple Coneflower	2 gal.	Pots
GM	-	Geranium macrorrhizum 'Bevan's Variety'	Bevan's Variety Geranium	2 gal.	Pots
HH	20	Hemerocallis 'Happy Return'	Happy Return Daylily	2 gal.	Pots
HF	-	Hosta 'Francee'	Francee Hosta	2 gal.	Pots
NW	56	Nepeta 'Blue Wonder'	Blue Wonder Catmint	2 gal.	Pots, max. 24" ht.
VM	955	Vinca minor	Vinca	4" pots	min. 4x vines per pot

NOTES: See specification for lawn seed mix.

**REGISTRATION**



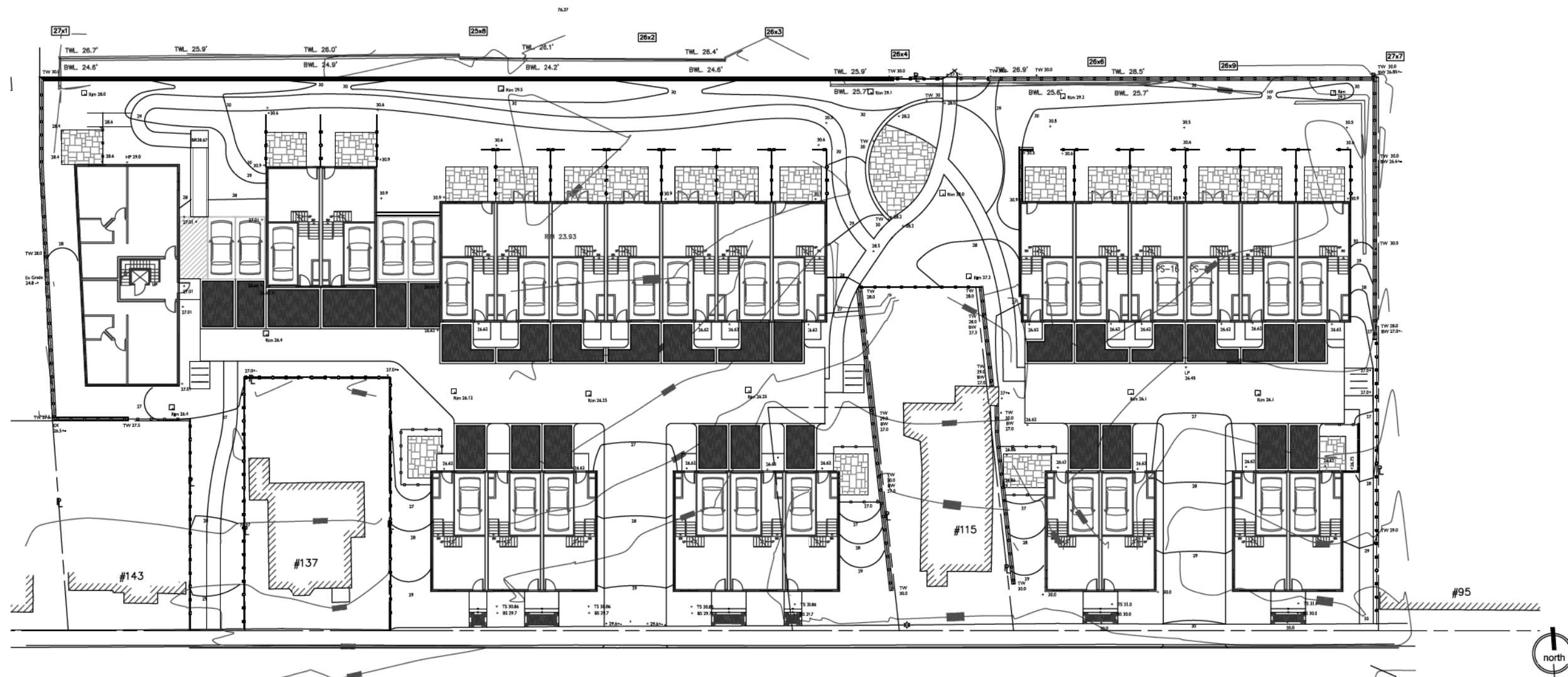
Project number  
 Date 04-20-2011  
 Drawn by NA  
 Checked by BH  
 Scale 1/16"=1'-0"

**REVISIONS**

No.	Description	Date

**L-01**

**LANDSCAPE PLAN**  
 HARVEY ST RESIDENCES



**GRADING NOTES**

1. Proposed Contour interval is 1'-0"
2. Proposed grades Indicate Intent. Contractor shall verify elevations and make adjustments as required to meet field conditions and to provide positive drainage on all surfaces
3. Grade evenly between all spot grades as noted and between all contours as shown. All surfaces must have positive pitch to drain.
4. Contractor shall provide dust control for all excavation and construction operations by watering. No other method will be approved
5. Contractor is responsible for all repair of all damage due to his operations inside and outside of the limit of work line. Extend limit of work line as necessary to make all necessary utility connections.

**PROJECT NAME**  
**HARVEY STREET RESIDENCES**

**PROJECT ADDRESS**  
 135 HARVEY STREET  
 CAMBRIDGE, MA

**CLIENT**  
**YOUNG INVESTMENT LLC**

**ARCHITECT**  
**KHALSA DESIGN INC.**

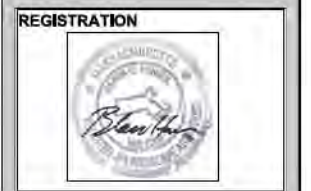


17 IVALOO STREET, SUITE 400  
 SOMERVILLE, MA 02143  
 TELEPHONE 617-591-8882 FAX: 617-591-2088

**CONSULTANTS:**

**LANDSCAPE ARCHITECT**  
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**CIVIL ENGINEER**  
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 132 Adams Street, 2nd Floor  
 Newton, MA 02458  
 T: 617-332-8271



Project number	
Date	04-20-2011
Drawn by	NA
Checked by	BH
Scale	1/16"=1'-0"

**REVISIONS**

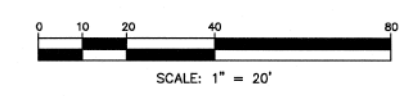
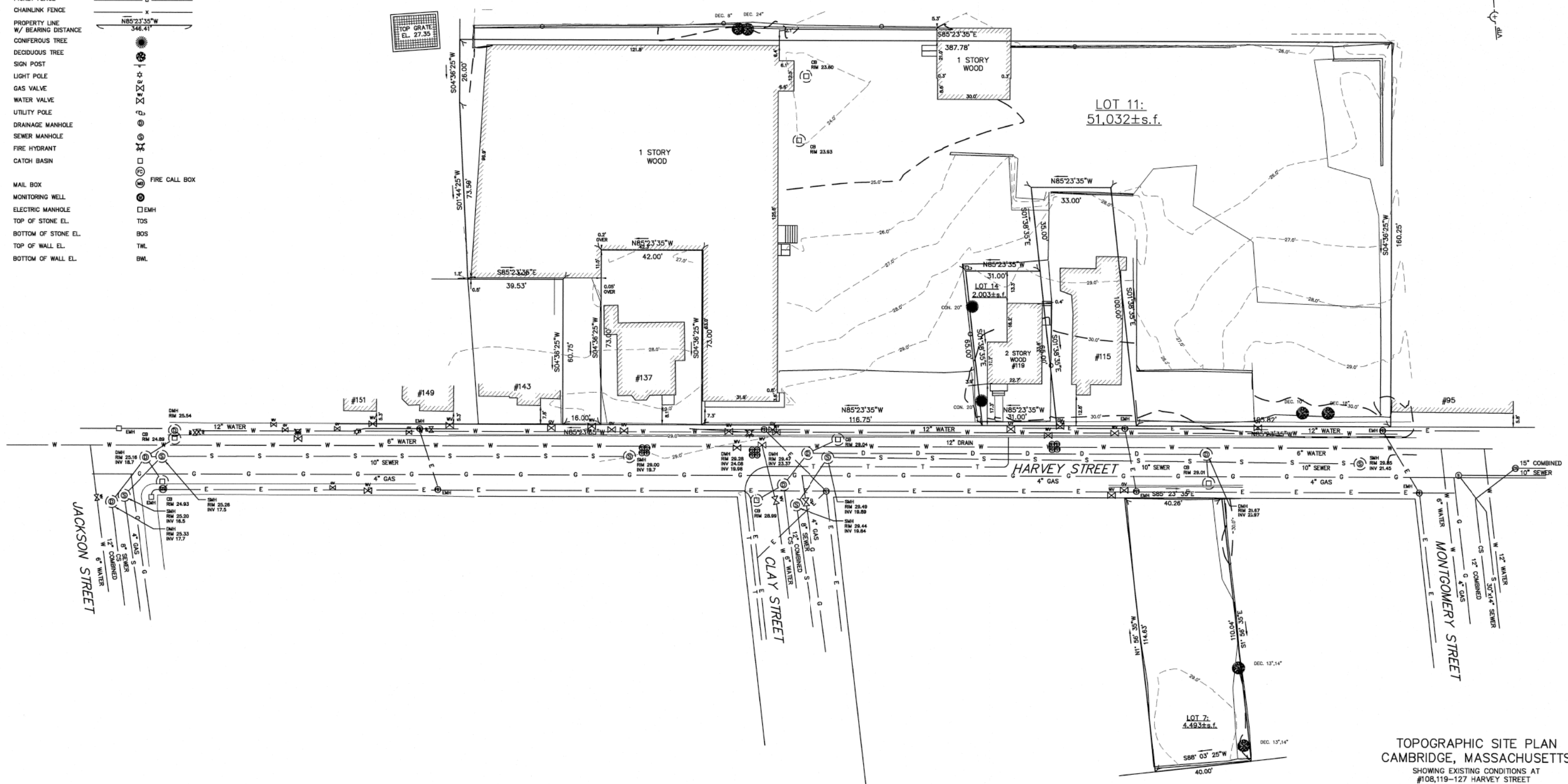
No.	Description	Date

**L-02**

**GRADING PLAN**  
 HARVEY ST RESIDENCES

**LEGEND**

- STORM SEWER ——— D ———
- COMBINATION SEWER ——— CS ———
- SANITARY SEWER ——— S ———
- WATER MAIN ——— W ———
- OVERHEAD ELECTRIC ——— OE ———
- UNDER GROUND ELECTRIC ——— UE ———
- GAS MAIN ——— G ———
- CONTOUR ——— 21 ———
- BUILDING ——— [Hatched Area] ———
- PICKET FENCE ——— [Dashed Line] ———
- CHAINLINK FENCE ——— [Dashed Line] ———
- PROPERTY LINE W/ BEARING DISTANCE ——— [Line with Bearing] ———
- CONIFEROUS TREE ——— [Tree Symbol] ———
- DECIDUOUS TREE ——— [Tree Symbol] ———
- SIGN POST ——— [Post Symbol] ———
- LIGHT POLE ——— [Pole Symbol] ———
- GAS VALVE ——— [Valve Symbol] ———
- WATER VALVE ——— [Valve Symbol] ———
- UTILITY POLE ——— [Pole Symbol] ———
- DRAINAGE MANHOLE ——— [Manhole Symbol] ———
- SEWER MANHOLE ——— [Manhole Symbol] ———
- FIRE HYDRANT ——— [Hydrant Symbol] ———
- CATCH BASIN ——— [Basin Symbol] ———
- MAIL BOX ——— [Box Symbol] ———
- MONITORING WELL ——— [Well Symbol] ———
- ELECTRIC MANHOLE ——— [Manhole Symbol] ———
- TOP OF STONE EL. ——— [Symbol] ———
- BOTTOM OF STONE EL. ——— [Symbol] ———
- TOP OF WALL EL. ——— [Symbol] ———
- BOTTOM OF WALL EL. ——— [Symbol] ———



TOPOGRAPHIC SITE PLAN  
 CAMBRIDGE, MASSACHUSETTS  
 SHOWING EXISTING CONDITIONS AT  
 #108,119-127 HARVEY STREET  
 SCALE: 1in.=20ft. DATE: NOVEMBER 24, 2010  
 PROJECT: 10200

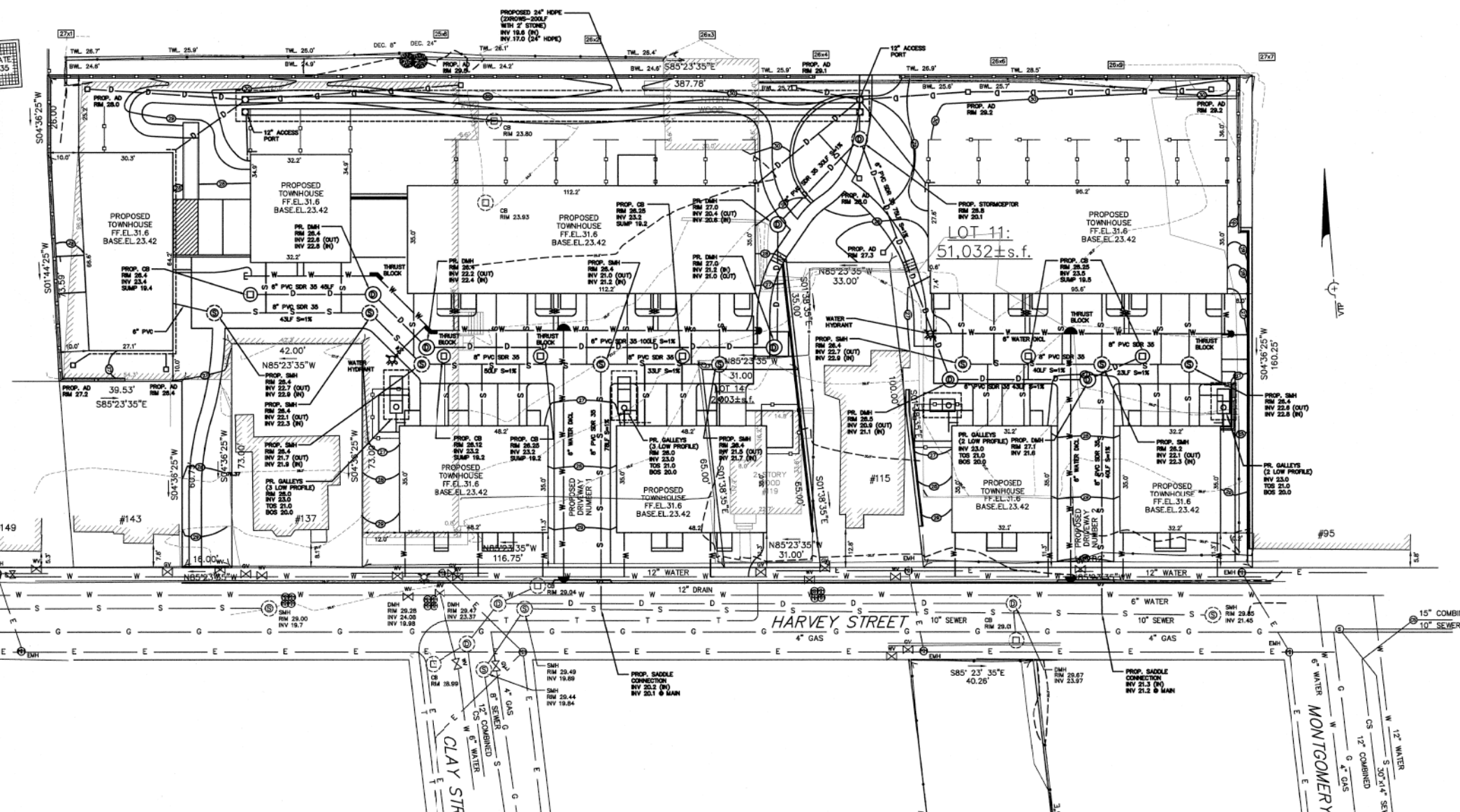


**VTP**  
 ASSOCIATES  
 INC.

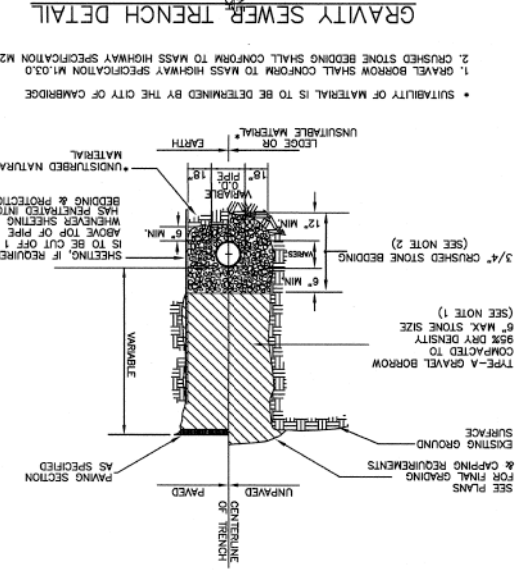
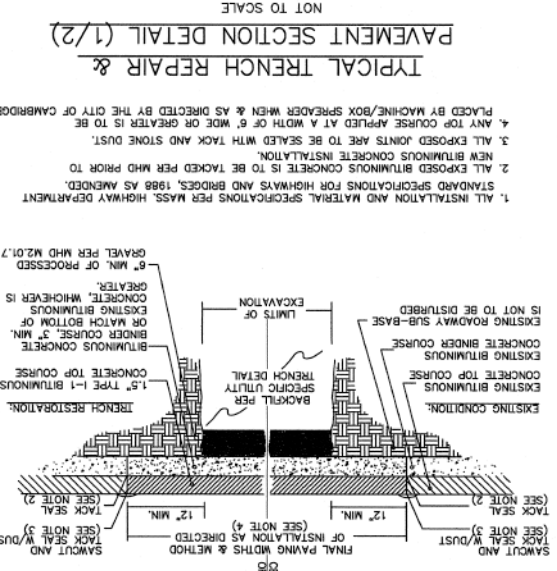
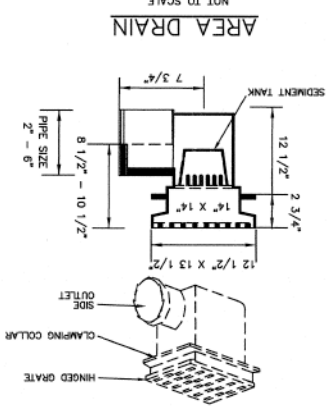
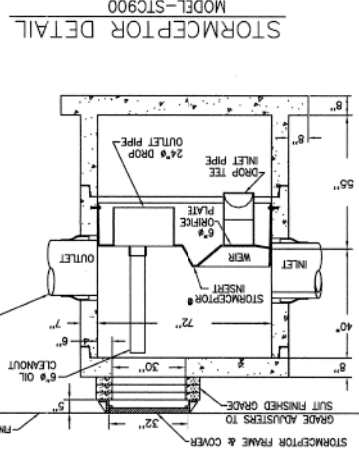
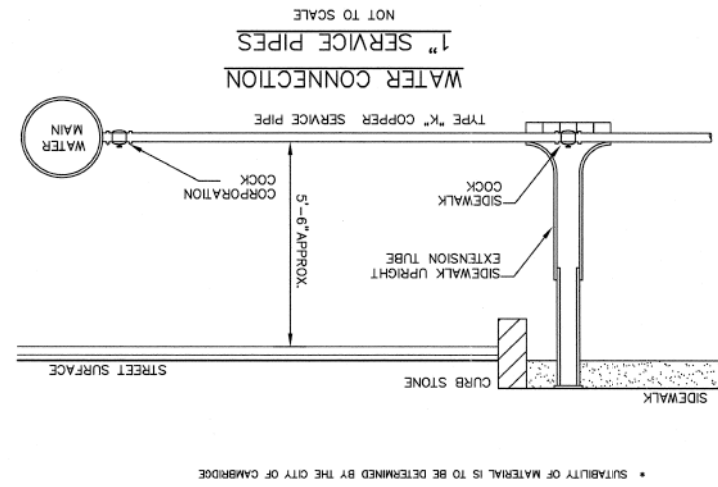
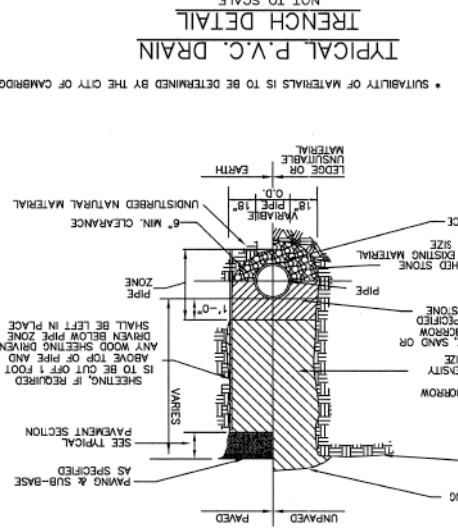
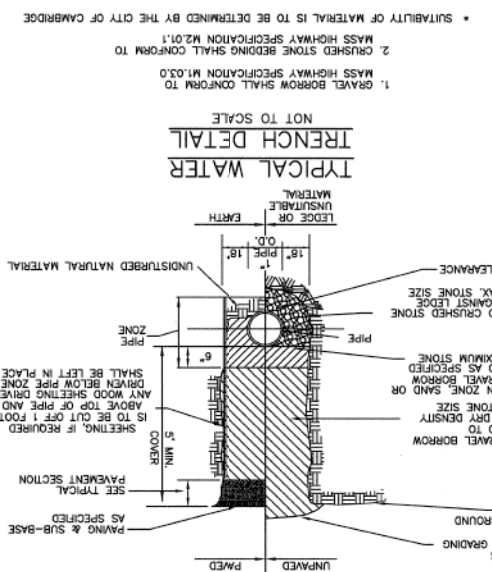
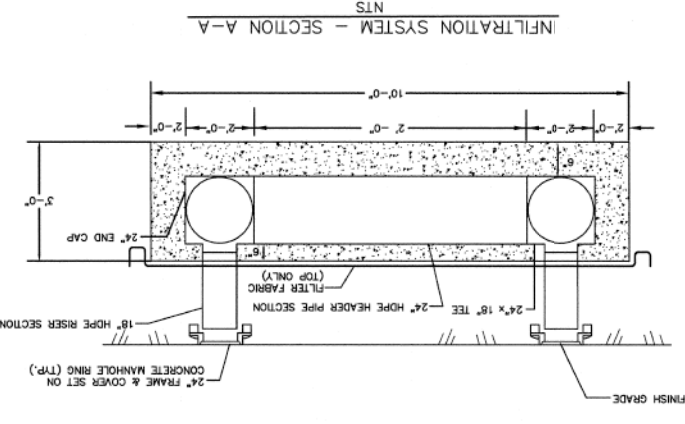
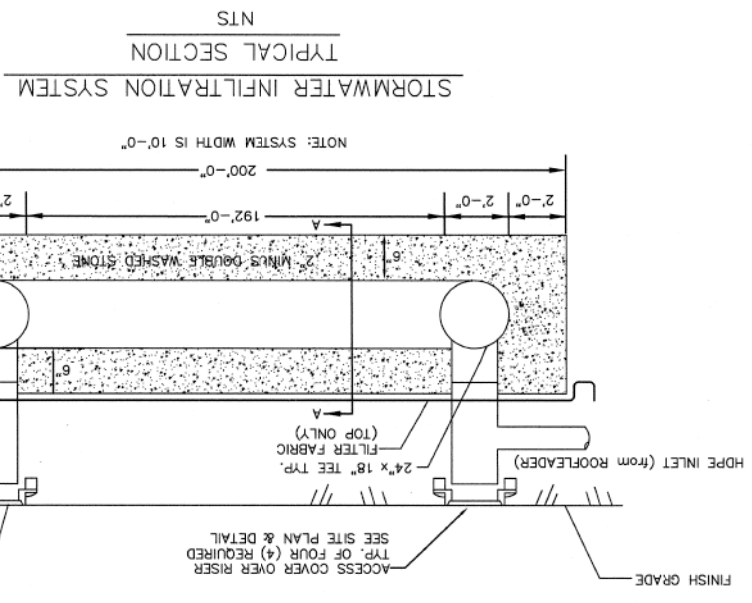
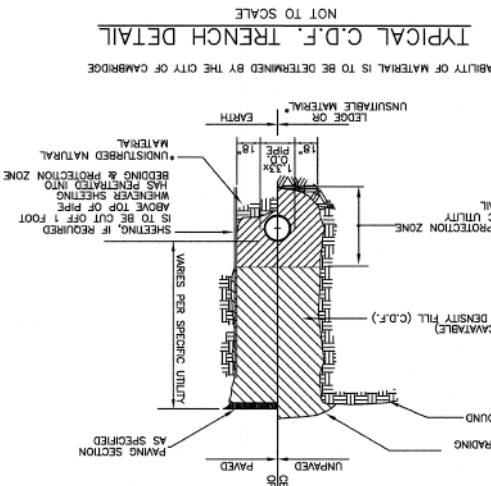
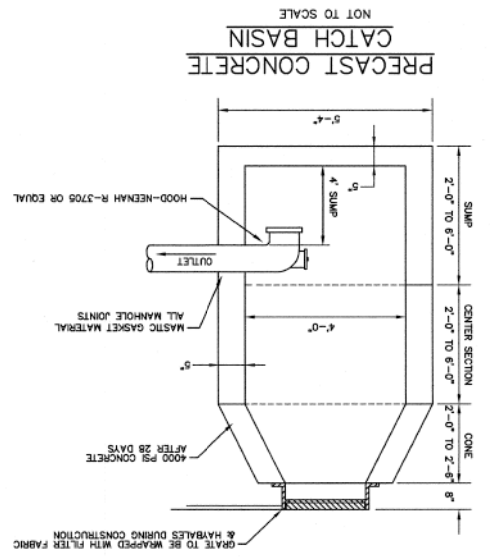
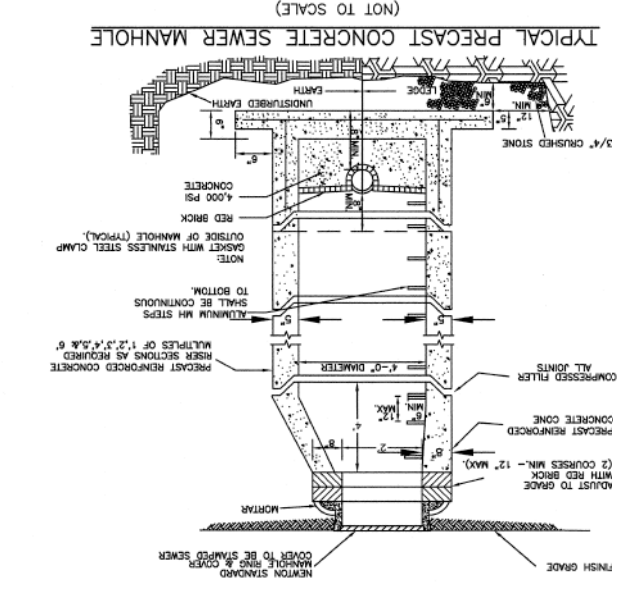
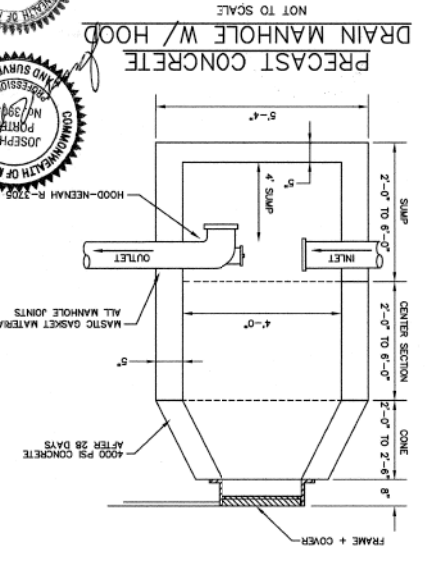
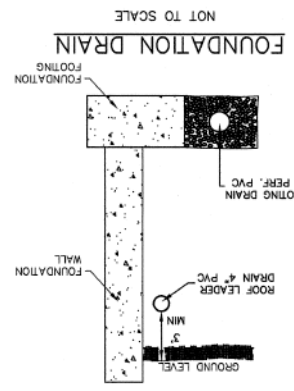
LAND SURVEYORS - CIVIL ENGINEERS.  
 #132 ADAMS STREET 2ND FLOOR SUITE 3  
 NEWTON, MA 02458  
 (617) 332-8271

**LEGEND**

- STORM SEWER ——— D ———
- COMBINATION SEWER ——— CS ———
- SANITARY SEWER ——— S ———
- WATER MAIN ——— W ———
- OVERHEAD ELECTRIC ——— OE ———
- UNDER GROUND ELECTRIC ——— UE ———
- GAS MAIN ——— G ———
- CONTOUR ——— 21 ———
- BUILDING ——— [Hatched Pattern] ———
- PICKET FENCE ——— [Dashed Line] ———
- CHAINLINK FENCE ——— [Cross-hatched Line] ———
- PROPERTY LINE W/ BEARING DISTANCE ——— N85°23'35"W 346.41' ———
- CONIFEROUS TREE ——— [Tree Symbol] ———
- DECIDUOUS TREE ——— [Tree Symbol] ———
- SIGN POST ——— [Post Symbol] ———
- LIGHT POLE ——— [Pole Symbol] ———
- GAS VALVE ——— [Valve Symbol] ———
- WATER VALVE ——— [Valve Symbol] ———
- UTILITY POLE ——— [Pole Symbol] ———
- DRAINAGE MANHOLE ——— [Manhole Symbol] ———
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- ELECTRIC MANHOLE ——— [Manhole Symbol] ———
- TOP OF STONE EL. ——— [Symbol] ———
- BOTTOM OF STONE EL. ——— [Symbol] ———
- TOP OF WALL EL. ——— [Symbol] ———
- BOTTOM OF WALL EL. ——— [Symbol] ———
- FIRE CALL BOX ——— [Box Symbol] ———
- EMH ——— [Manhole Symbol] ———
- TOS ——— [Symbol] ———
- BOS ——— [Symbol] ———
- TWL ——— [Symbol] ———
- BWL ——— [Symbol] ———



**VTP ASSOCIATES**  
 PROJECT: 10200  
 SHOWING DETAILS AT #108.119-127 HARVEY STREET  
 CAMBRIDGE, MASSACHUSETTS  
 DATE: APRIL 20, 2011  
 SCALE: 1/4" = 2'-0"  
 LAND SURVEYORS - CIVIL ENGINEERS  
 #132 ADAMS STREET 2ND FLOOR SUITE 3  
 NEWTON, MA 02458  
 (617) 332-8271



- NOTE:
1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
  2. THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE OIL CLEANOUT PIPE.
  3. ALTERNATE MODELS OF EQUIVALENT CAPACITY BY DOWNSTREAM DEFENDER AND HYDROLOGISTS ARE CONSIDERED EQUAL.

1. ALL INSTALLATION AND MATERIAL SPECIFICATIONS PER MASS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 AS AMENDED.
2. ALL EXPOSED BITUMINOUS CONCRETE IS TO BE TACKED PER MHD PRIOR TO NEW BITUMINOUS CONCRETE INSTALLATION.
  3. ALL EXPOSED JOINTS ARE TO BE SEALED WITH TACK AND STONE DUST.
  4. ANY TOP COURSE APPLIED AT A WIDTH OF 6" WIDE OR GREATER IS TO BE PLACED BY MACHINE/BOX SPREADER WHEN & AS DIRECTED BY THE CITY OF CAMBRIDGE.

- \* SUITABILITY OF MATERIALS IS TO BE DETERMINED BY THE CITY OF CAMBRIDGE.
1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M.03.0.
  2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M.01.1.

- \* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF CAMBRIDGE.
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**PROJECT NAME**  
**HARVEY STREET RESIDENCES**

**PROJECT ADDRESS**  
 135 HARVEY STREET  
 CAMBRIDGE, MA

**CLIENT**  
**YOUNG INVESTMENT LLC**

**ARCHITECT**  
**KHALSA DESIGN INC.**

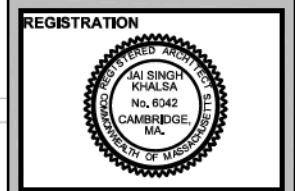


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 VYP ASSOCIATES  
 132 Adams Street, 2nd Floor  
 Newton, MA 02458  
 T: 617-332-8271



**REGISTRATION**

Project number 09064  
 Date 03-07-2011  
 Drawn by MG  
 Checked by JSK  
 Scale 1/8"=1'-0"

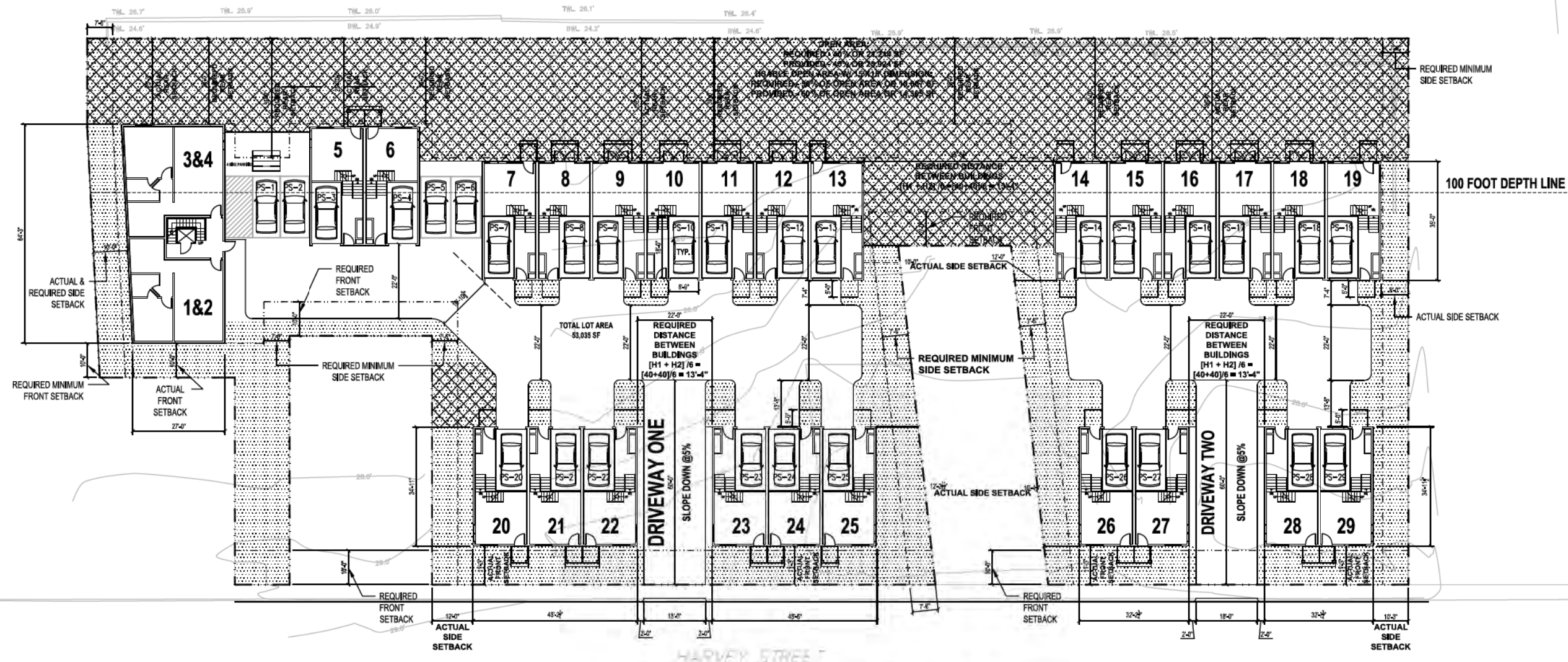
**REVISIONS**

No.	Description	Date
1	PB/ Nighbors Comments	04-26-11

**GROUND FLOOR PLAN & ZONING COMPLIANCE**

**AZ-1**

09064 BOLTON ST RESIDENCES



**ZONING REQUIREMENTS FOR 135 HARVEY ST PROJECT**

SD-2 OVERLAY DISTRICT WITH RB BASE ZONING	REQUIRED	ALLOWED	PROVIDED	COMPLIANCE
SD-2 FAR	0.65	34472.75		
BONUS	30%	10341.825		
<b>TOTAL RESIDENTIAL</b>		<b>44814.575</b>	<b>44,751</b>	
TOTAL LOT SIZE	5,000	53,035.004		
MIN. LOT AREA FOR EACH D.U. IN SF	1800			
NUMBER OF D.U. ALLOWED RES-B W/ INCLUSIONARY AND BONUS		38.30		
MIN. LOT WIDTH IN FT	NONE			
BUILDING HEIGHT	40 FT	40 FT	39'-11"	
MINIMUM YARD IN FT				
FRONT	15 FEET		10 FEET AVERAGED	
SIDE	7.5 FEET SUM 20 FEET		7.5 FEET SUM 20 FEET	
REAR	25 FEET (C)		VARIES SP	
MAXIMUM HEIGHT IN FEET	30 FEET CORNICE AT 40 FEET		30 FEET CORNICE AT 40 FEET	
MIN. RATIO OF USABLE OPEN SPACE TO LOT AREA	40%	21,214.00	35,130.00	45%
PARKING				
CARS	1 PER D.U.	29	29	
BIKES	0.5 PER D.U. (N/A FOR TH)	2	4	
DISTANCE BETWEEN BUILDINGS	$(H1 + H2) / 6$	$(H1 + H2) / 6 = 13'-4"$	VARIES BUT COMPLIES	

**SITE PLAN**



**Locus Map**