

MEETING NOTES

DATE: 1/15/20

PROJECT: Development at 57 JFK St.

Page | 1

IN ATTENDANCE: Susan Barroso, Laquita Sanders, Alex Monteiro De Pina, Jonathan Wong, Richard Lawlor, (Eversource); R. Dhanda, J. Hass, (Owner); M. Rimmel (Nauset); Muzi Zade (Zade); M. Banville, (Siegel), A. Heidebrecht, L. Deevy (PQA)

AGENDA: Electrical Service- SC Station Vault- review of revised layouts with Eversource.

Meeting at 57 JFK St., 1/15/20, to review the revised SC Station Vault layout. This meeting was a follow-up to the meeting November 26, during which Eversource rejected the design that had been developed with them for over a year. The layout presented at this latest meeting, 1/15/20, was the revised layout, which extended the SC Station into the Basement of 57 JFK. This layout is to serve 57 JFK only.

Eversource verbally approved the schematic design with the following comments:

1. The exterior roll-up door to have a minimum opening size 8'-0" wide x 8'-9" high, (because the Switchgear is installed standing upright).
2. Stairs next to the roll-up door to be removable.
3. Transformer and Switchgear could be installed with a forklift. Transformer may be able to be installed without support from steel above- Eversource to review installation with their install group and advise design team.
4. 4" curb required at doorways to contain equipment fluid.
5. Transformer and Switchgear to be on 4" high pads that extend 4" beyond the equipment. Structural column next to Switchgear to be kept clear of the pad.
6. Two means of cooling Vault reviewed- air conditioning vs. ventilation. Owner expressed preference for ventilation. Design team to look at placing vent on roof of Vault in Alley. Eversource said heating unit would still be required for winter.
7. A ground bar will run around room and over doors.

8. Vault to have two wall outlets: one NON-GFCI and one GFCI.
9. Eversource prefer no sprinklers but will allow sprinklers if required by building code. Sprinklers shall be double, interlocked, pre-action sprinkler system. Wet-pipe sprinklers and dry-action sprinklers are not allowed.
10. Eversource confirmed in email, 1/17, that 3HR rated enclosure required- no exceptions given if vault is sprinklered.
11. Eversource to forward to specs of Indoor Vaults and sizes of Switchgear and Transformers to PQA/ Zade. *(received 1/16)*.

Eversource asked if the Owner had considered powering the Eliot St building from a combined Vault in 57 JFK:

12. Various ways of doing a combined vault were discussed. It was concluded that the best way would be two separate transformers and one combined 5-bay Switchgear. (The alternative approach- one combined transformer- would require two step-down transformers, which is more costly and space consuming).
13. The design team will work up a layout of a two-building Vault for Owner review. *(forwarded to Owner and Nauset 1/17 with additional drawings and comments sent to Nauset 1/20 for order of magnitude cost increase estimate)*.
14. PQA to inform Eversource which way we are moving forward once decision made on substation design.
15. Design team to wrap-up Phase 2 Re-Permit drawings once decision made on substation design. CD drawings of Vault to be developed after that.

cc. Team

Nauset Construction Corp.
Construction Management Plan – 57 JFK Eversource Transformer Vault Phase
February 25, 2020

Reference enclosed Site Logistics Plan dated 2/25/20.

To serve the proposed three-story addition at 57 JFK (permit application #67164), Eversource is requiring the installation of an underground electric vault to house a new transformer. Due to site constraints, Nauset has applied for a separate building permit to construct the new vault prior to the start of the 57 JFK building renovation/addition. An early completion of the underground vault will provide required access and egress to patrons during the construction of the 57 JFK addition.

Upon issuance of the building permit, Nauset will mobilize the site and install chain link fencing at the alley between 57 JFK and 96 Winthrop Street to permit pedestrian egress from the 57 JFK building onto Winthrop Street. The fencing will be installed to maintain a 4'0" path of egress for use of patrons in the event of an emergency. The balance of the alley will be utilized for construction lay down of materials, tools and "light" equipment.

The alley located between 16-18 Eliot and the Harvard Square Parking Garage (20 Eliot Street) will be Nauset's primary location to stage "heavy" equipment for the excavation, underpinning operation and concrete formwork required to construct the underground vault. A temporary gate will be installed roughly 15' from the alley entrance (off Eliot Street). Construction vehicles will be directed to access and egress from Eliot Street. A separate 6' temporary fence will be installed separating the existing retaining wall from the "work zone". Temporary toilets will be located within the work zone. Due to the anticipated amount of materials and equipment that will be required within the work zone, pedestrian and vehicle access will not be permitted within the work zone during this phase of work.

Throughout this phase of work, Nauset does not anticipate impacting (renting) the public streets or sidewalks along JFK, Winthrop or Eliot Street. Sidewalks will remain open to pedestrians. Police details will be engaged, as necessary, to assist with traffic flow during periods of heavy/active work.

The construction of the Eversource Vault is anticipated to commence on or about mid-April and anticipated to be complete by mid-June.

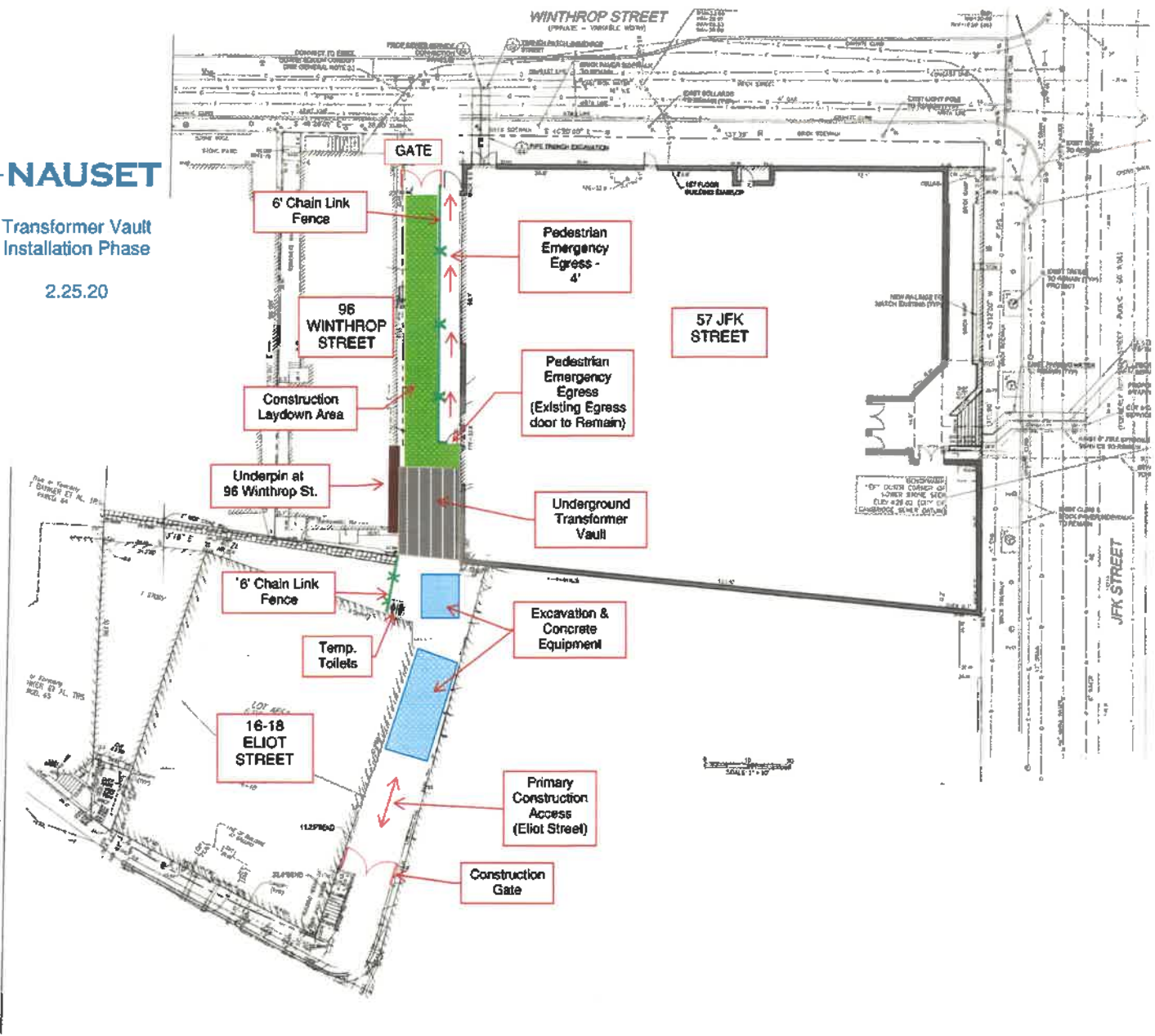
Emergency Contacts/Phone Numbers:

Bob Calvano, Superintendent	617.459.9795
Scott Southwick, General Superintendent	339.237.8775
Mike Rimmel, Sr. Project Manager	781.707.8285
Rob Johnstone, Project Executive	339.225.8507
Nauset Construction – Main Office	781.453.2220



Transformer Vault Installation Phase

2.25.20



11-2014-01-01 11-2014-01-01 11-2014-01-01 11-2014-01-01 11-2014-01-01

ID	Task Name	Duration	Start	Finish	Predecessors	Qtr 1, 2020	Qtr 2, 2020	Qtr 3, 2020	Qtr 4, 2020
1	Transformer Vault	102 days	Mon 2/24/20	Tue 7/14/20		Jan	Apr	Jul	Oct
2	Permitting	21 days	Mon 2/24/20	Mon 3/23/20		Feb	Mar	Apr	May
3	Permit Submission	1 day	Mon 2/24/20	Mon 2/24/20		Feb	Mar	Apr	May
4	Permit Review	20 days	Tue 2/25/20	Mon 3/23/20	3	Feb	Mar	Apr	May
5	Issuance of Bldg. Permit	0 days	Mon 3/23/20	Mon 3/23/20	4	Mar	Apr	May	Jun
6	Procure Trades	10 days	Tue 3/24/20	Mon 4/6/20		Mar	Apr	May	Jun
7	Procure Trades	10 days	Tue 3/24/20	Mon 4/6/20	5	Mar	Apr	May	Jun
8	Elec. Vault Construction	71 days	Tue 4/7/20	Tue 7/14/20		Apr	Jun	Aug	Oct
9	Mobilize Site	2 days	Tue 4/7/20	Wed 4/8/20	7	Apr	May	Jun	Jul
10	Site Fencing/Safety	2 days	Tue 4/7/20	Wed 4/8/20	9SS	Apr	May	Jun	Jul
11	Demo Stair & Gas Meter Shed	5 days	Thu 4/9/20	Wed 4/15/20	9,10	Apr	May	Jun	Jul
12	Cut Pad 5'	3 days	Thu 4/16/20	Mon 4/20/20	11	Apr	May	Jun	Jul
13	Underpin	20 days	Tue 4/21/20	Mon 5/18/20	12	Apr	Jun	Aug	Oct
14	Excavate Footings	2 days	Tue 5/19/20	Wed 5/20/20	13	May	Jun	Jul	Aug
15	Compact Fill	2 days	Thu 5/21/20	Fri 5/22/20	14	May	Jun	Jul	Aug
16	FRP Footings	4 days	Mon 5/25/20	Thu 5/28/20	15	May	Jun	Jul	Aug
17	FRP Conc. Walls	10 days	Fri 5/29/20	Thu 6/11/20	16	May	Jul	Aug	Oct
18	FRP Conc. Slab	5 days	Fri 6/12/20	Thu 6/18/20	17	Jun	Jul	Aug	Oct
19	Back Fill / Grade	3 days	Fri 6/19/20	Tue 6/23/20	18	Jun	Jul	Aug	Oct
20	Vault Complete	0 days	Tue 6/23/20	Tue 6/23/20	19	Jun	Jul	Aug	Oct
21	Cut Wall	3 days	Wed 6/24/20	Fri 6/26/20	20	Jun	Jul	Aug	Oct
22	Structural Steel	5 days	Mon 6/29/20	Fri 7/3/20	21	Jun	Jul	Aug	Oct
23	Vault Walls	5 days	Mon 7/6/20	Fri 7/10/20	22	Jul	Aug	Oct	Nov
24	Install Doors & Hdwe	2 days	Mon 7/13/20	Tue 7/14/20	23	Jul	Aug	Oct	Nov

Transformer Vault

Project: 57 JFK Vault
Date: Tue 2/25/20

Task	Inactive Summary	Inactive Task	External Tasks
Split		Manual Task	External Milestone
Milestone		Duration-only	Deadline
Summary		Manual Summary Rollup	Critical
Project Summary		Manual Summary	Critical Split
Inactive Task		Start-only	Progress
Inactive Milestone		Finish-only	Manual Progress

SEAL

CONSULTANT

PROJECT

**ADDITION TO
57 JFK ST**

57 JFK STREET
CAMBRIDGE, MA

PREPARED FOR

CRIMSON GALERIA, LP

166 BEACON ST
BROOKLINE, MA 02446

DRAWING TITLE

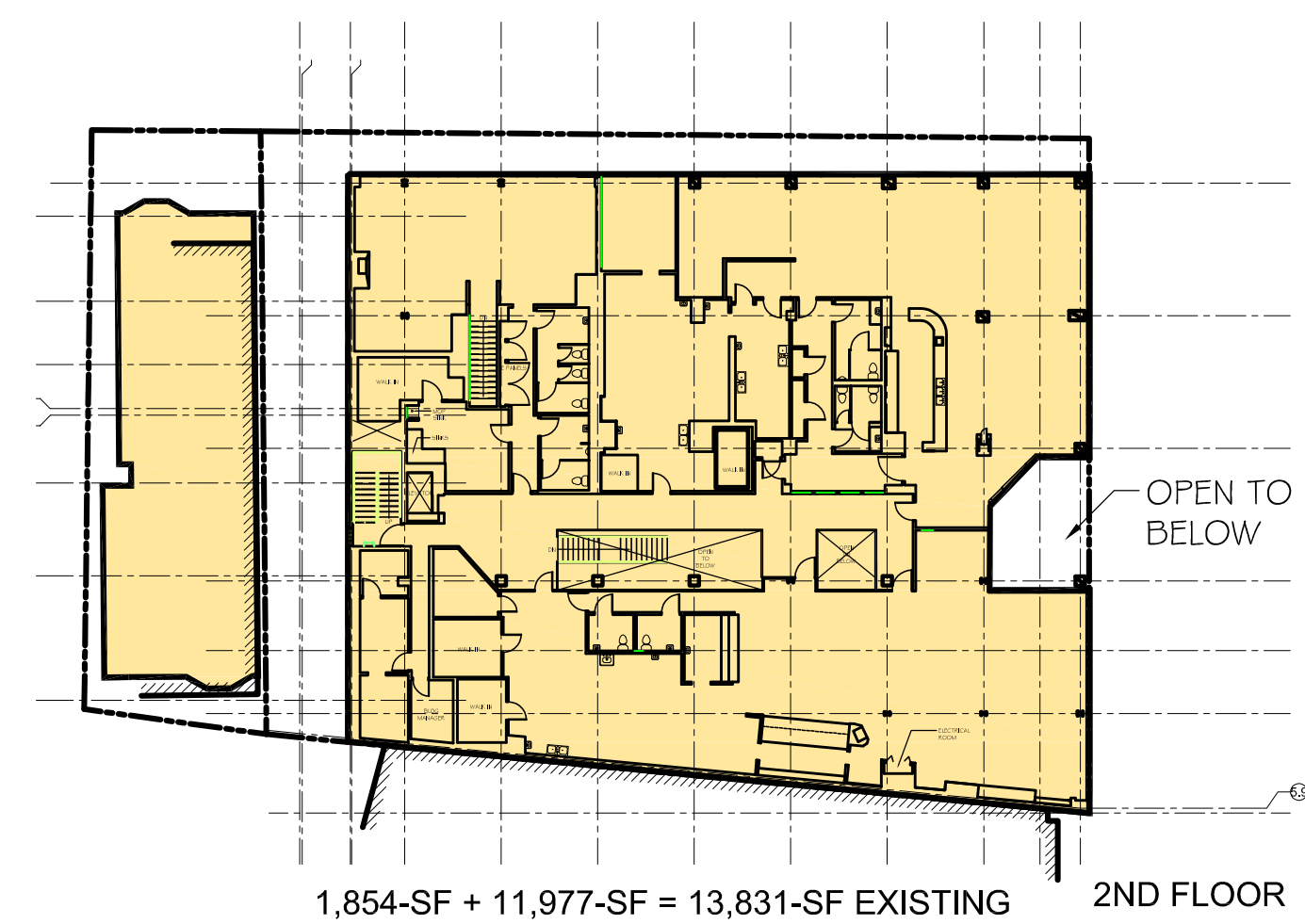
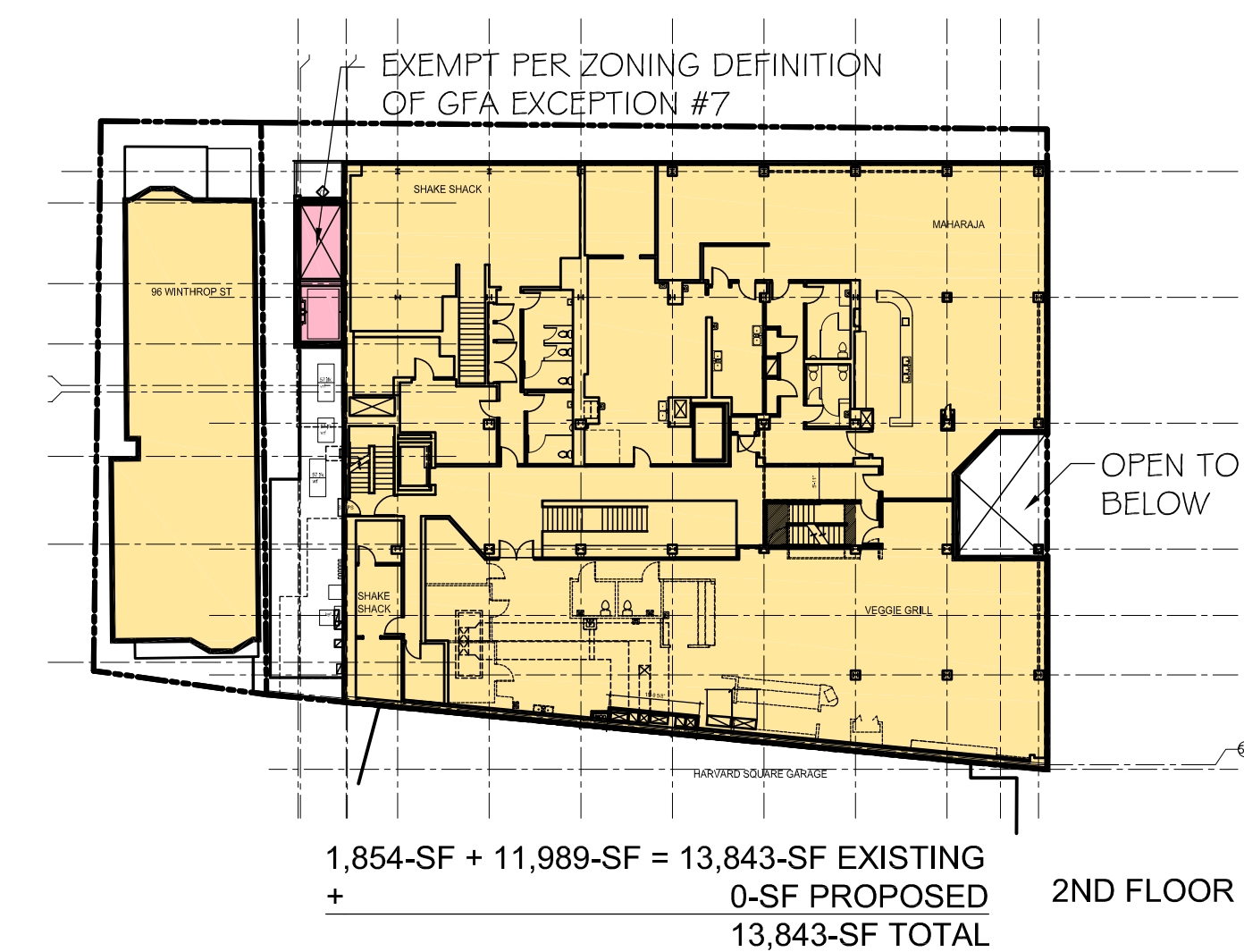
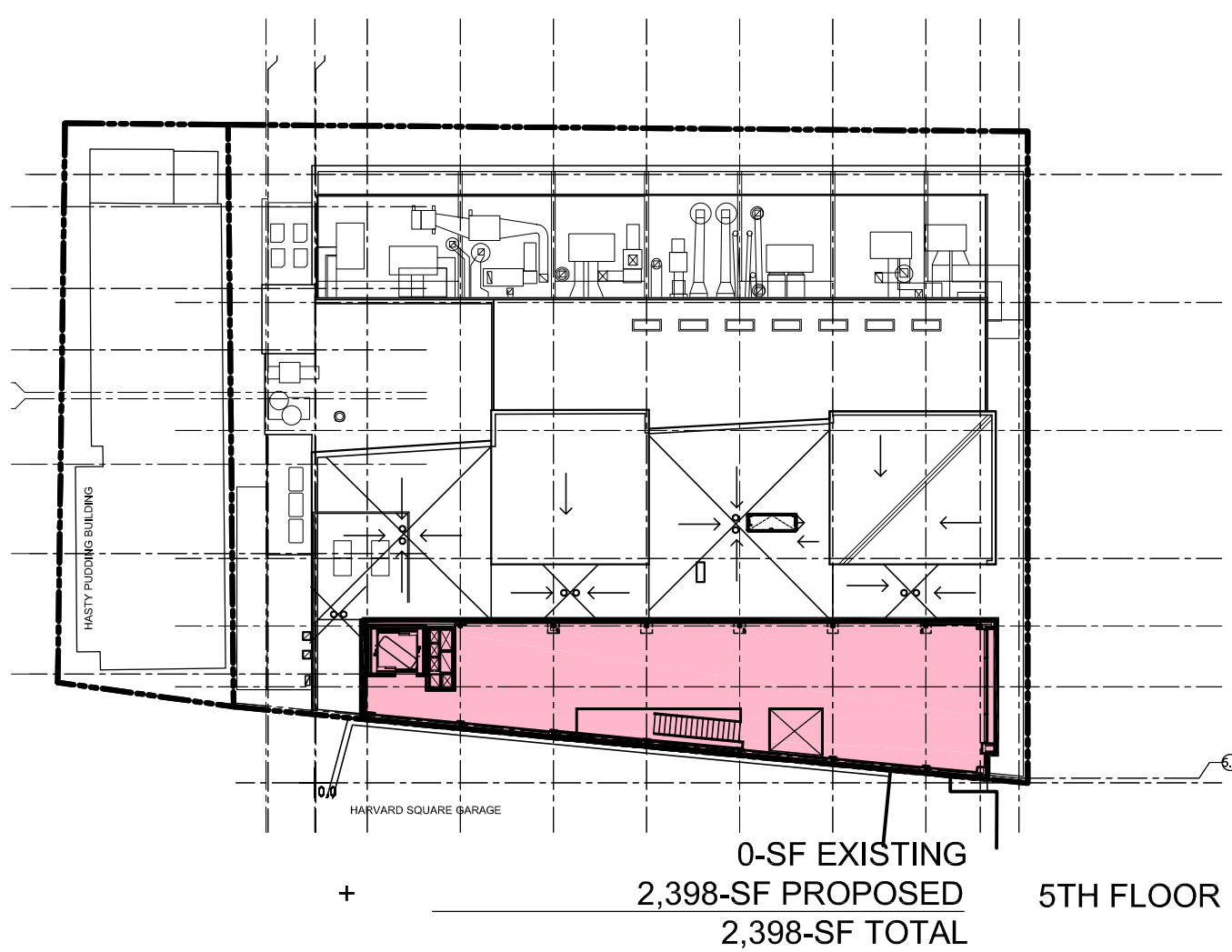
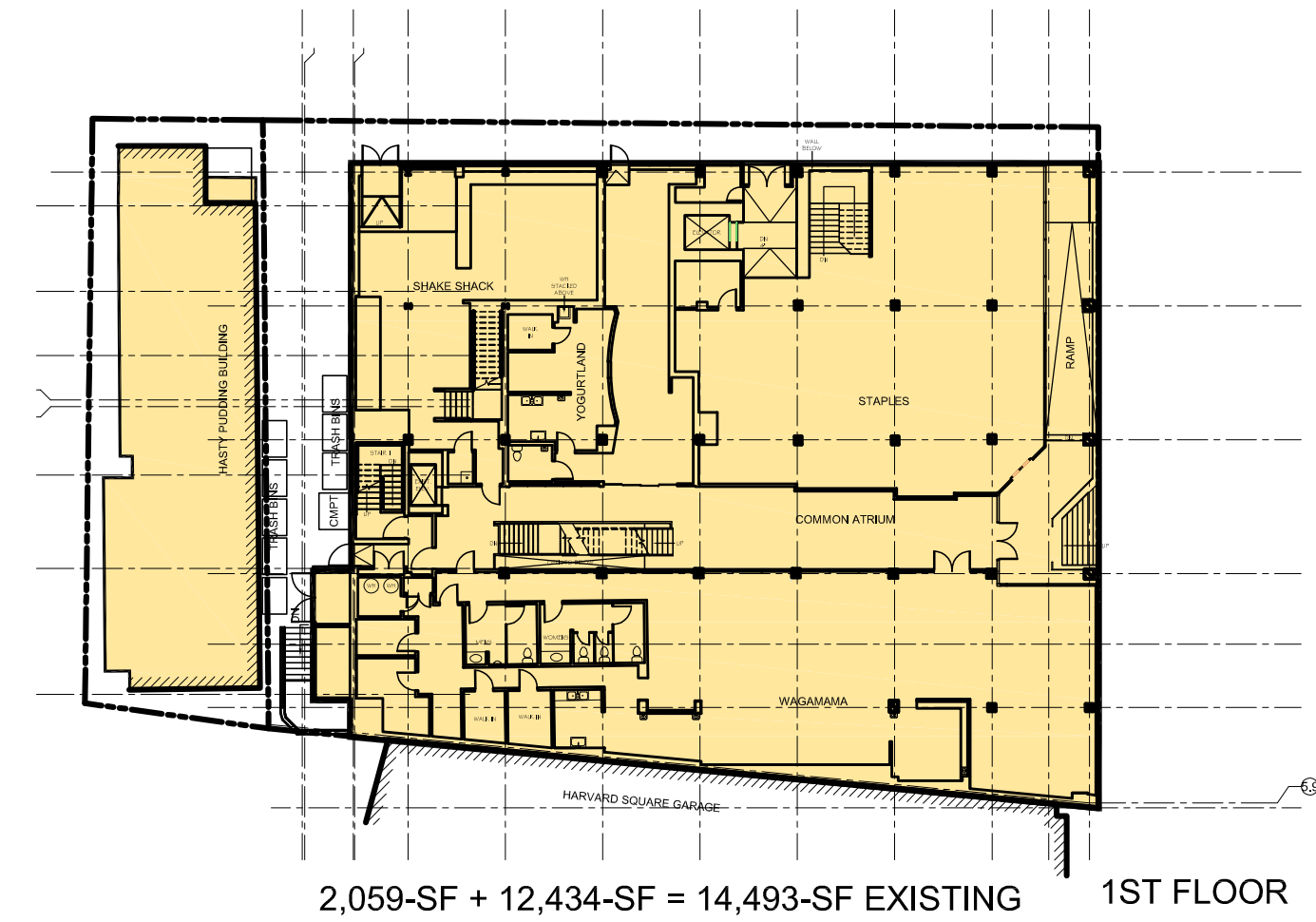
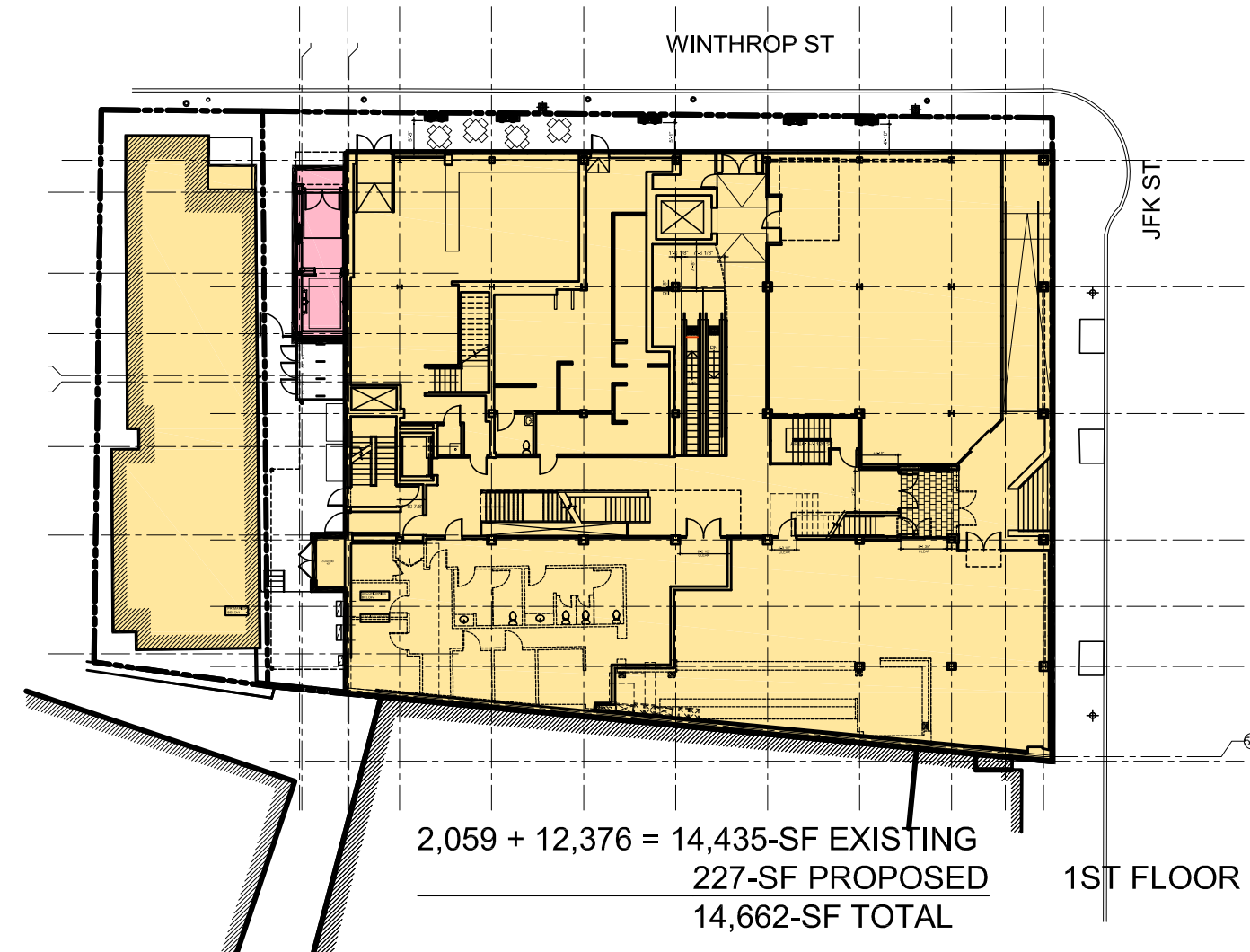
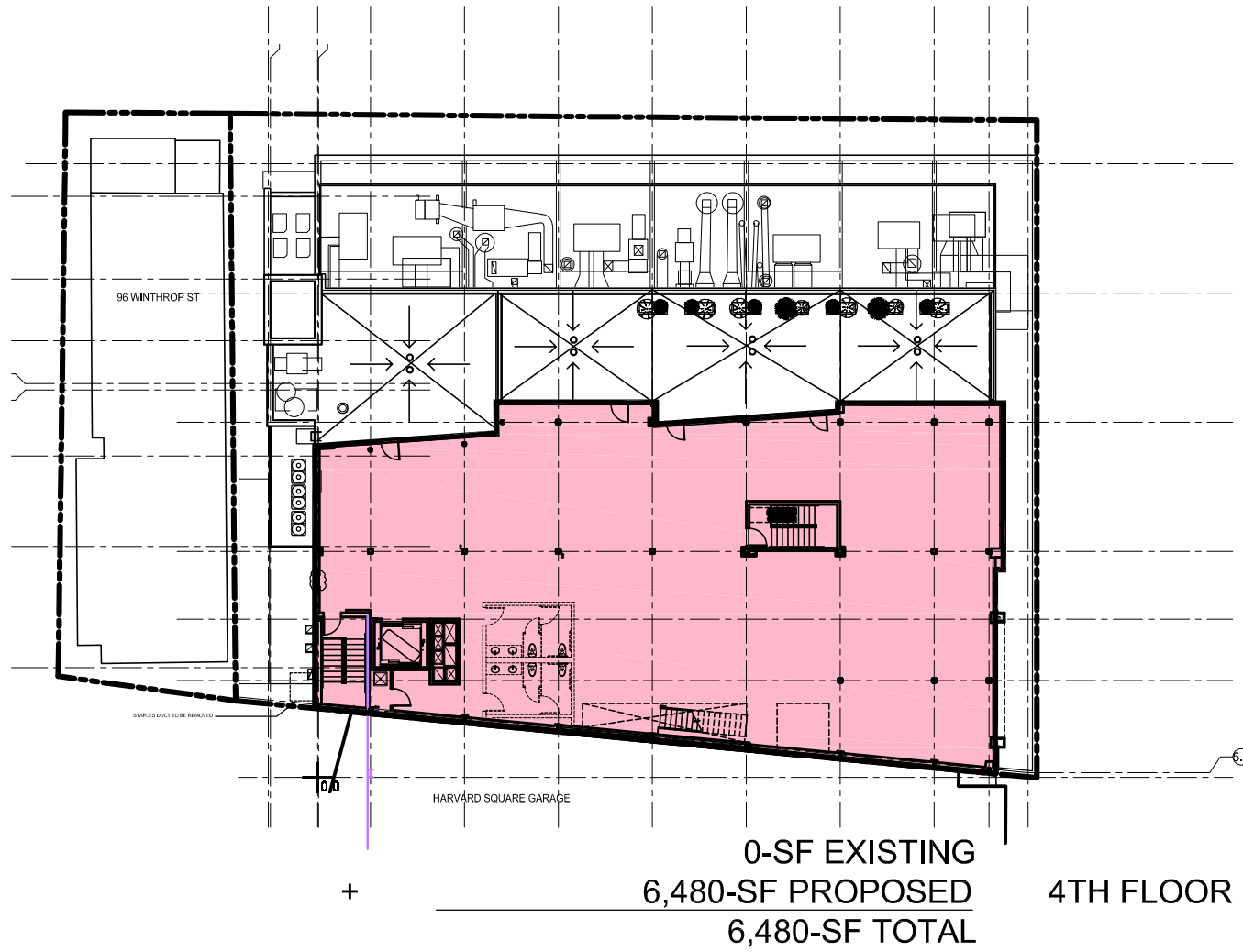
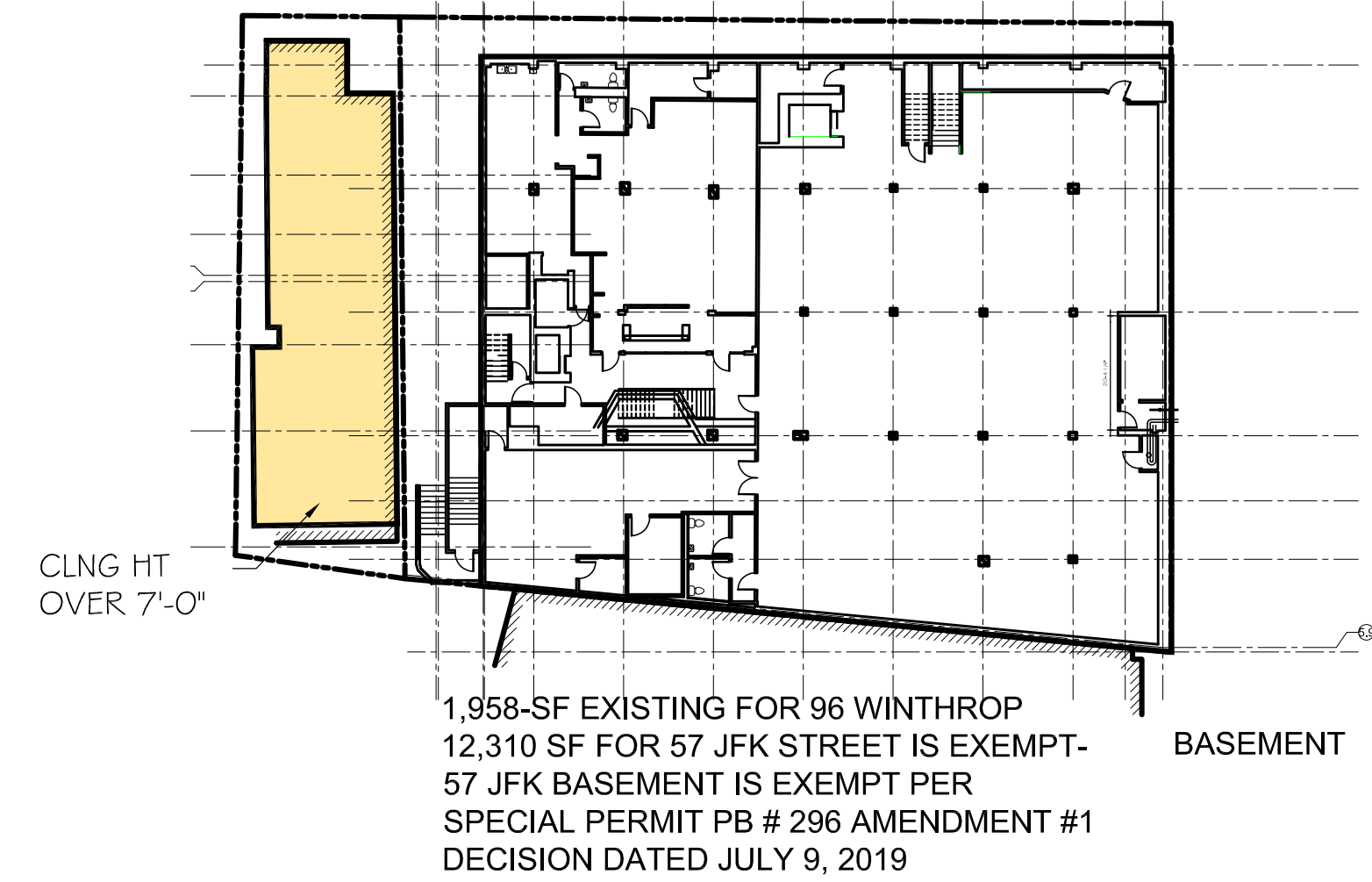
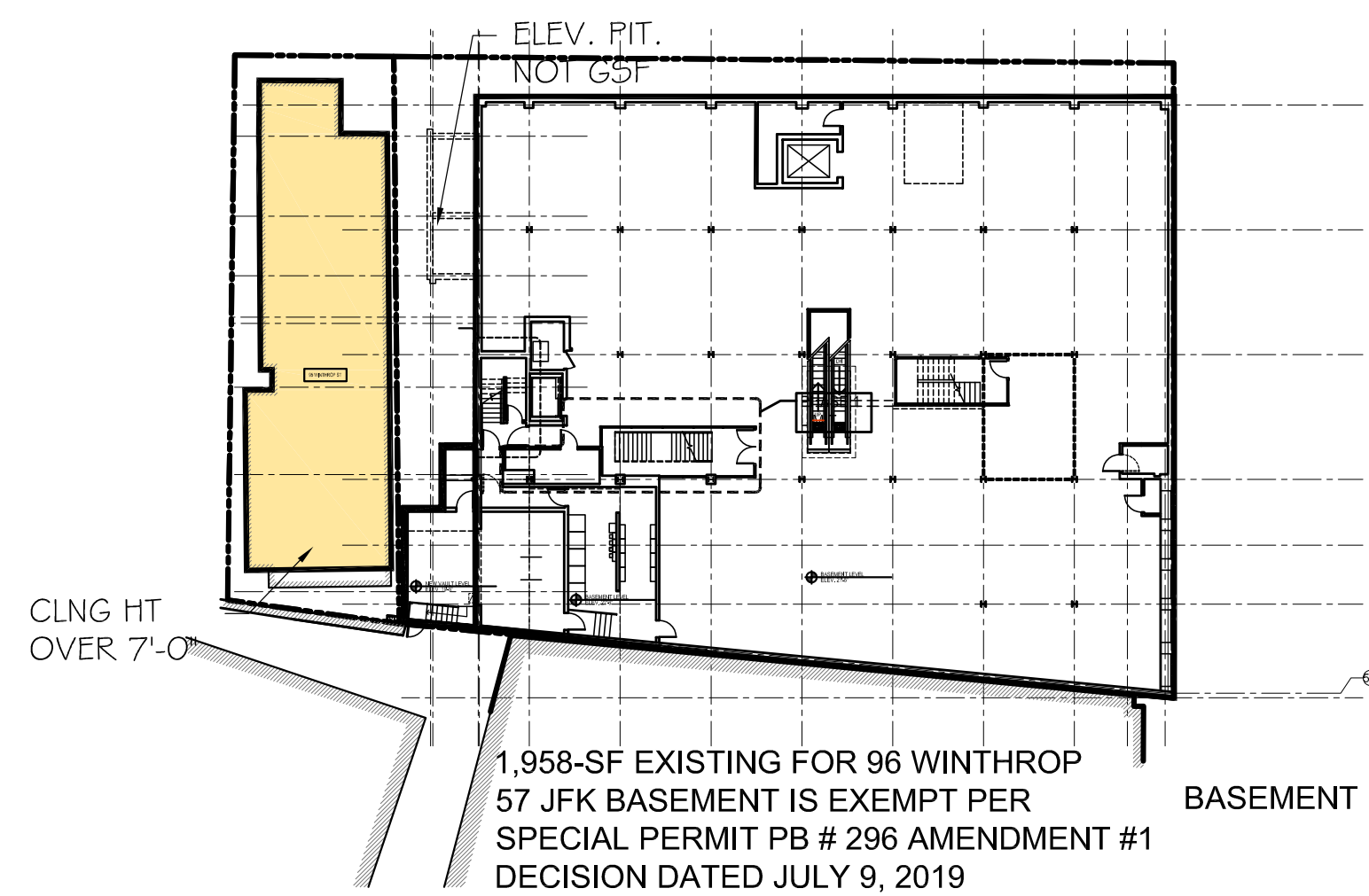
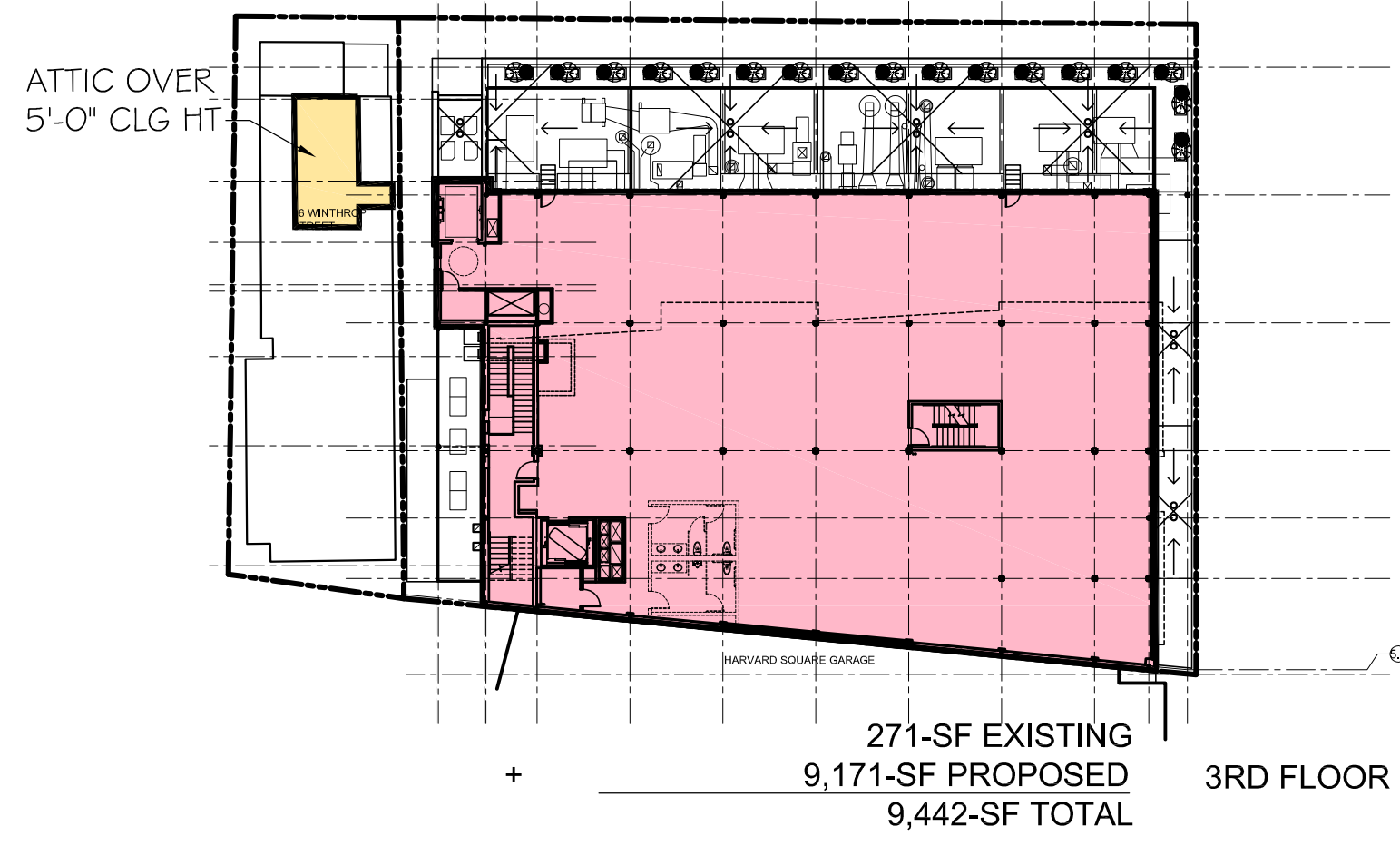
**ZONING COMPLIANCE
INCORPORATING
PHASE 1 AND 2**

SCALE AS NOTED

REVISION / ISSUE	DATE
PHASE 2 RE-PERMIT	12 FEB 2020
PHASE 2 CD SET	27 JUL 2018
PHASE 2 PERMIT	21 DEC 2017
REV PARTIAL PERMIT	8 DEC 2017
PARTIAL PERMIT	8 SEPT 2016
PRICING SET	23 FEB 2016
DRAWN BY MYIKVS	REVIEWED BY PQ

SHEET

Z1.1



EXISTING COMMERCIAL GSF = 30,507-SF
PROPOSED COMM GSF = 18,276-SF
PROPOSED RES GSF = 0-SF
TOTAL PROPOSED GFA = 48,783-GSF

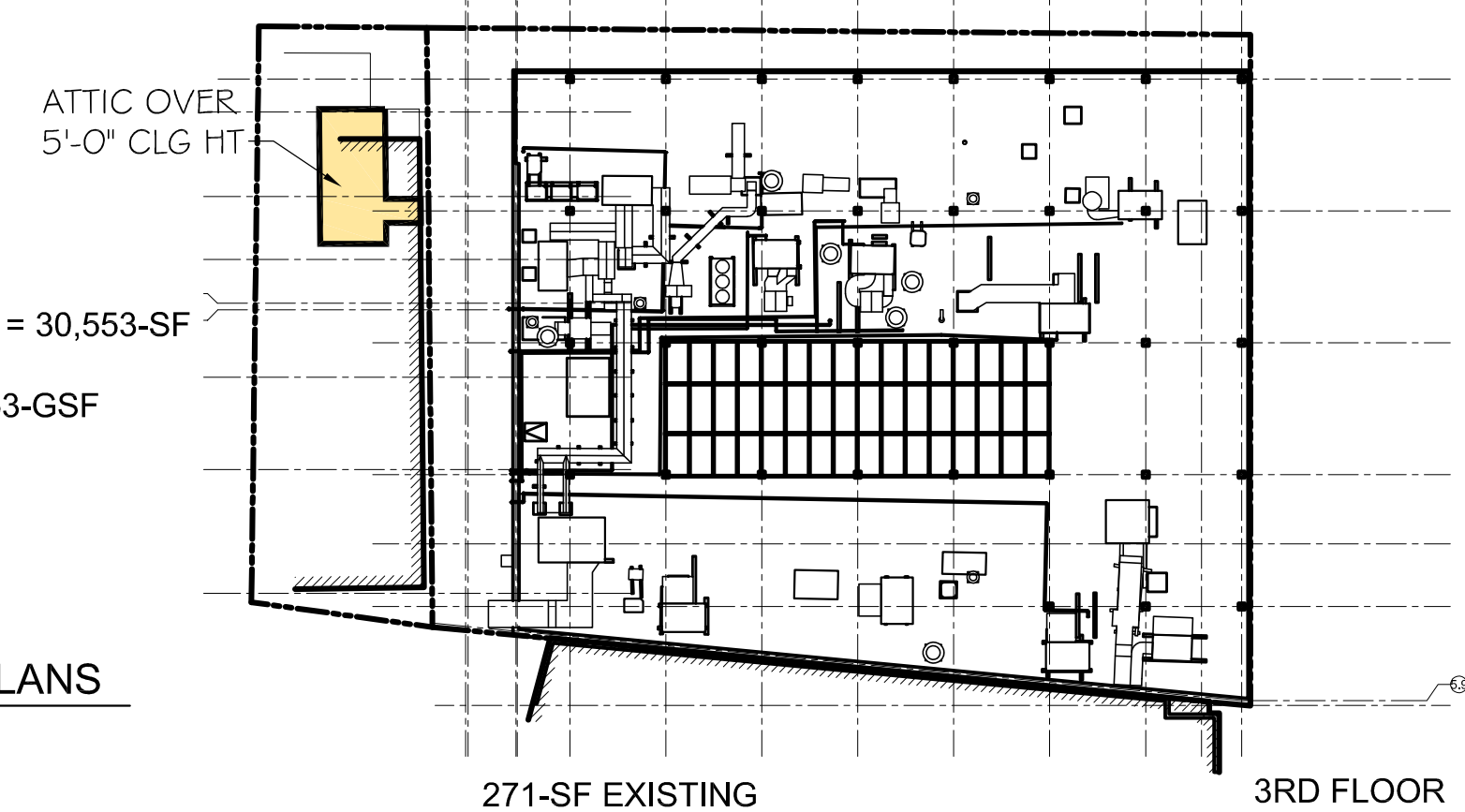
EXISTING GSF
PROPOSED GSF

EXISTING & PROPOSED GFA
SCALE 1"=30'

EXISTING COMMERCIAL GSF = 30,553-SF
EXISTING RES GSF = 0-SF
TOTAL EXISTING GFA = 30,553-GSF

EXISTING GSF
PROPOSED GSF

EXISTING FLOOR PLANS
SCALE 1"=30'



LEGEND

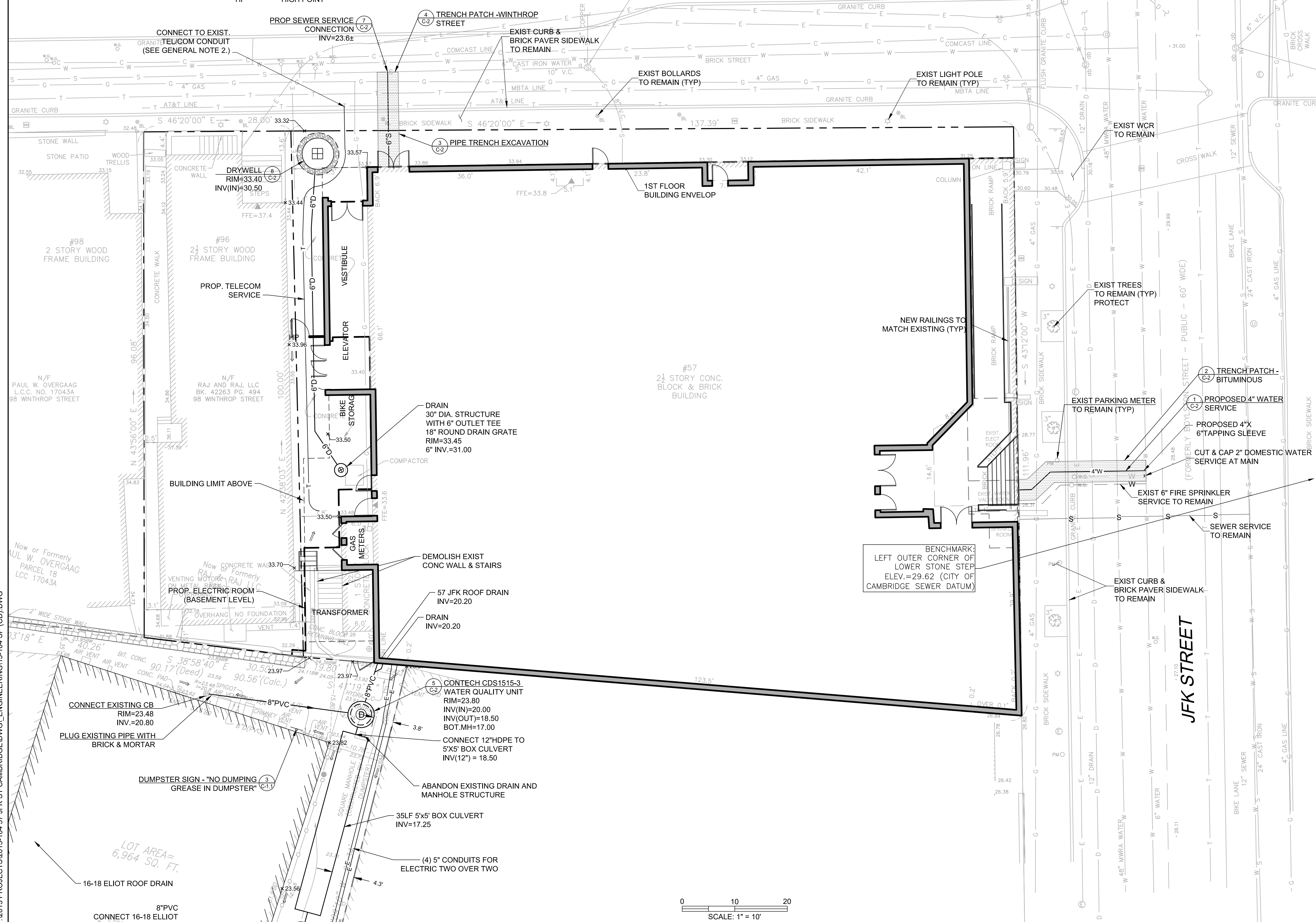
- ⊛ HAND HOLE
- ⊛ LIGHT POLE
- ⊛ GUY POLE
- ⊛ HYDRANT
- ⊛ WATER SHUT OFF
- ⊛ WATER GATE
- ⊛ DRAIN MANHOLE (DMH)
- ⊛ DOWNSPOUT
- ⊛ SEWER MANHOLE (SMH)
- ⊛ ELECTRIC MANHOLE
- ⊛ CABLE MANHOLE
- ⊛ UNKNOWN MANHOLE
- ⊛ TELEPHONE MANHOLE
- ⊛ GAS GATE
- ⊛ GAS METER
- ⊛ DECIDUOUS TREE
- ⊛ BOLLARD
- ⊛ SIGN

LEGEND

- S — SEWER LINE
- G — GAS LINE
- W — WATER LINE
- T — TELEPHONE LINE
- E — ELECTRIC LINE
- C — CABLE TV LINE
- D — DRAIN LINE
- — TERMINUS UNKNOWN
- BIT. — BITUMINOUS
- CONC. — CONCRETE
- RCP — REINFORCED CONCRETE LINE
- CI — CAST IRON LINE
- VCL — VITRIFIED CLAY LINE
- I — INVERT
- WL — WATER LEVEL
- (BC) — BOTTOM CENTER
- NPV — NO LINES VISIBLE
- FFE — FINISHED FLOOR ELEVATION
- + 22.67 — SPOT GRADE
- — RUNOFF DIRECTION
- HP — HIGH POINT

BENCHMARK:
SQUARE CUT SET ON
GRANITE WINDOW STILL
ELEV.=3482 (CITY OF
CAMBRIDGE SEWER DATUM)

WINTHROP STREET
(PRIVATE - VARIABLE WIDTH)



GENERAL NOTES:

1. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET R.O.W. OR ON ABUTTING LOTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE LOCATION OF EACH PROPOSED UTILITY CONNECTION.
3. THE CITY OF CAMBRIDGE WATER AND ELECTRIC UTILITIES ARE PART OF DIG-SAFE, HOWEVER CAMBRIDGE SEWERS ARE NOT. THE CONTRACTOR SHALL CONTACT THE CITY OF CAMBRIDGE FOR THE MARKING OF CAMBRIDGE MUNICIPAL UTILITIES, AND SHALL ALSO CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
4. THE CONTRACTOR SHALL SUPPLY ALL PIPING, STRUCTURES, MATERIALS, AND APPURTENANCES, NECESSARY TO PERFORM ALL WET AND/OR DRY TAPS AS PART OF THIS CONTRACT.
5. NEW WATER SERVICES SHALL BE LEFT SHUT OFF AT THE MAIN ON THE STREET UNTIL ACTIVATED BY THE CITY OF CAMBRIDGE.
6. A DYE TEST SHALL BE PERFORMED BY A CITY OF CAMBRIDGE INSPECTOR PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.
7. THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER, WATER, AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL REMAIN THAT OF THE OWNER.
8. THE CITY OF CAMBRIDGE RESERVES THE RIGHT TO INSPECT ALL PRIVATE FACILITIES DISCHARGING TO MUNICIPAL FACILITIES.
9. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
10. ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO STANDARDS OF THE CITY OF CAMBRIDGE, DEPARTMENT OF PUBLIC WORKS AND ANY OTHER AGENCY OR BODY WITH AUTHORITY IN THIS AREA.
11. ALL EXISTING UTILITY SERVICE CONNECTIONS, SEWER DISPOSAL FACILITIES, AND WELLS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF EACH CONNECTION. THE WATER, DRAIN, AND SEWER SERVICES SHALL BE CAPPED AND CUT AT THE MAIN IN THE STREET BY THE CONTRACTOR. ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY COMPANY.
12. ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE APPROXIMATE AND THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. (SEE MECHANICAL ENGINEER PLANS)
13. ELEVATIONS DEPICTED HEREON ARE ON CITY OF CAMBRIDGE SEWER DATUM.

PIPE MATERIALS:

SEWER & DRAIN SERVICE: 6 & 8 INCH PVC ASTM D3034-SDR 35 - SEE PLAN, SLOPE=0.020 FT/FT (MINIMUM)

WATER SERVICE: 4" CLASS 56 DUCTILE IRON CEMENT LINED PIPE

THRUST BLOCKS:

CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH. USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE. SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

SEWER CLEANOUTS & INTERNAL SEWER SERVICES:

THE OWNER SHALL FURNISH AND INSTALL ALL SEWER CLEANOUTS. EXACT LOCATION OF ALL SEWER CLEANOUTS AND INTERNAL SEWER SERVICES TO BE CONFIRMED/ COORDINATED BY MECHANICAL ENGINEER AND ARCHITECT.

PRECAST STRUCTURES:

DESIGN FOR H-20 LOADING

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989 FAX 617-868-0280

SEAL



CONSULTANT



PROJECT

ADDITION TO
57 JFK ST

57 JFK STREET
CAMBRIDGE, MA

PREPARED FOR

CRIMSON GALERIA, LP

166 BEACON ST
BROOKLINE, MA 02446

DRAWING TITLE

**SITE LAYOUT,
UTILITIES &
DRAINAGE
PLAN**

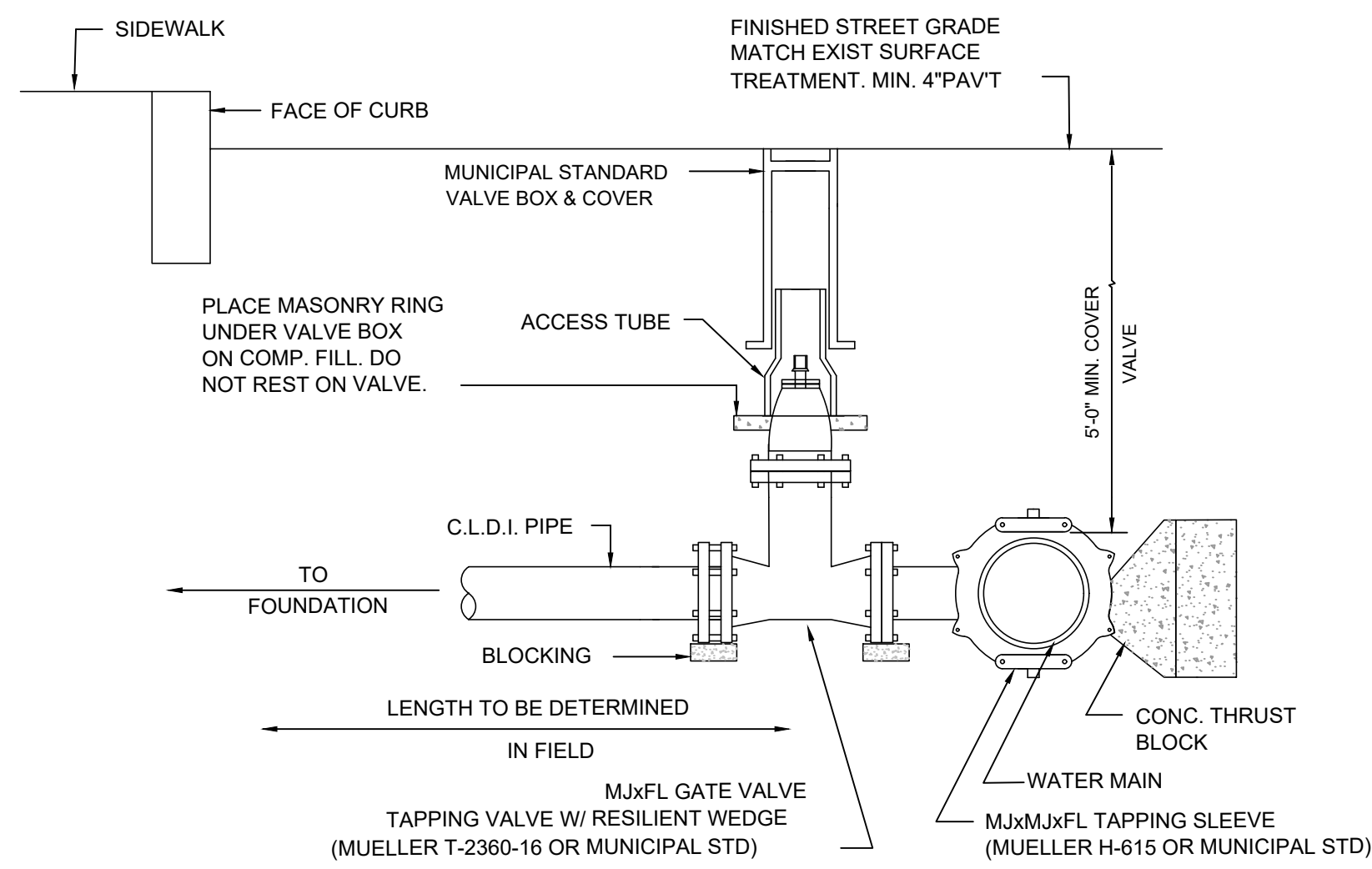
SCALE AS NOTED

REVISION / ISSUE	DATE
PHASE 2 RE-PERMIT	12 FEB 2020
PHASE 2 CD SET	27 JUL 2018
PHASE 2 PERMIT	21 DEC 2017
REV PARTIAL PERMIT	8 DEC 2017
PARTIAL PERMIT	8 SEPT 2016
PRICING SET	23 FEB 2016
DRAWN BY GS	REVIEWED BY SBS

SHEET

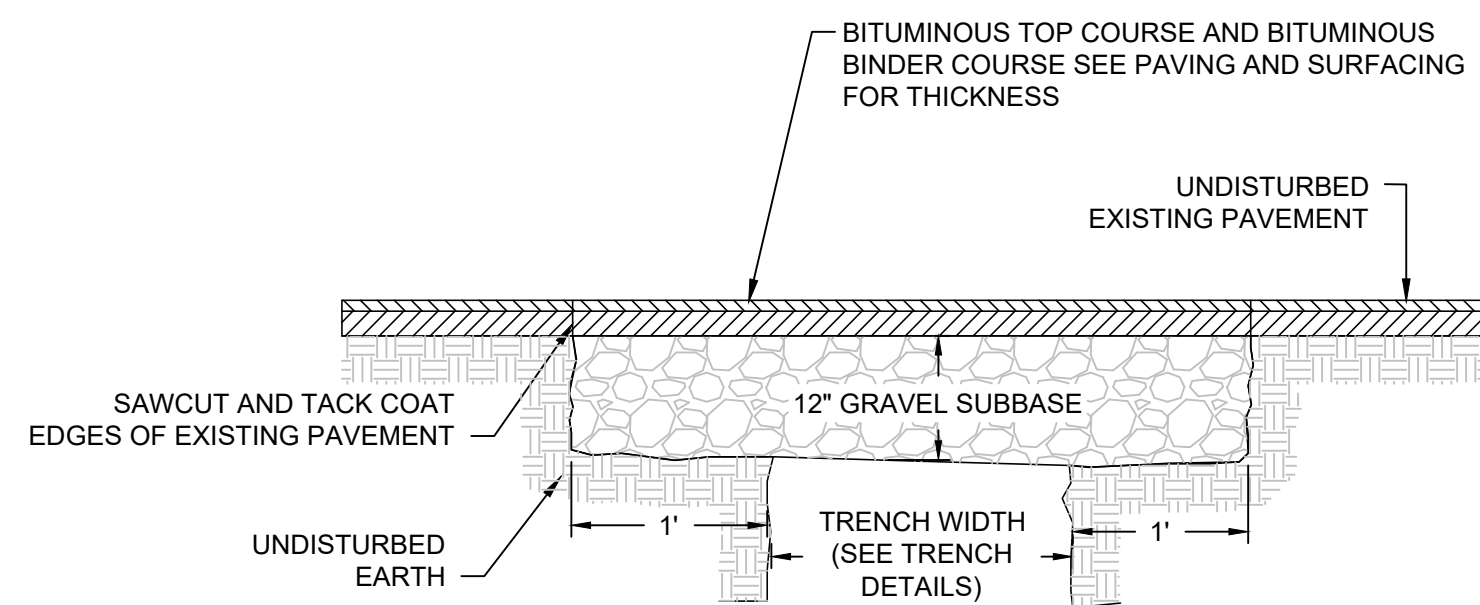
C-1

P:\2013 PROJECTS\2013-104 57 JFK ST CAMBRIDGE\DWG\ENGINEERING\13-104 SP (CD).DWG



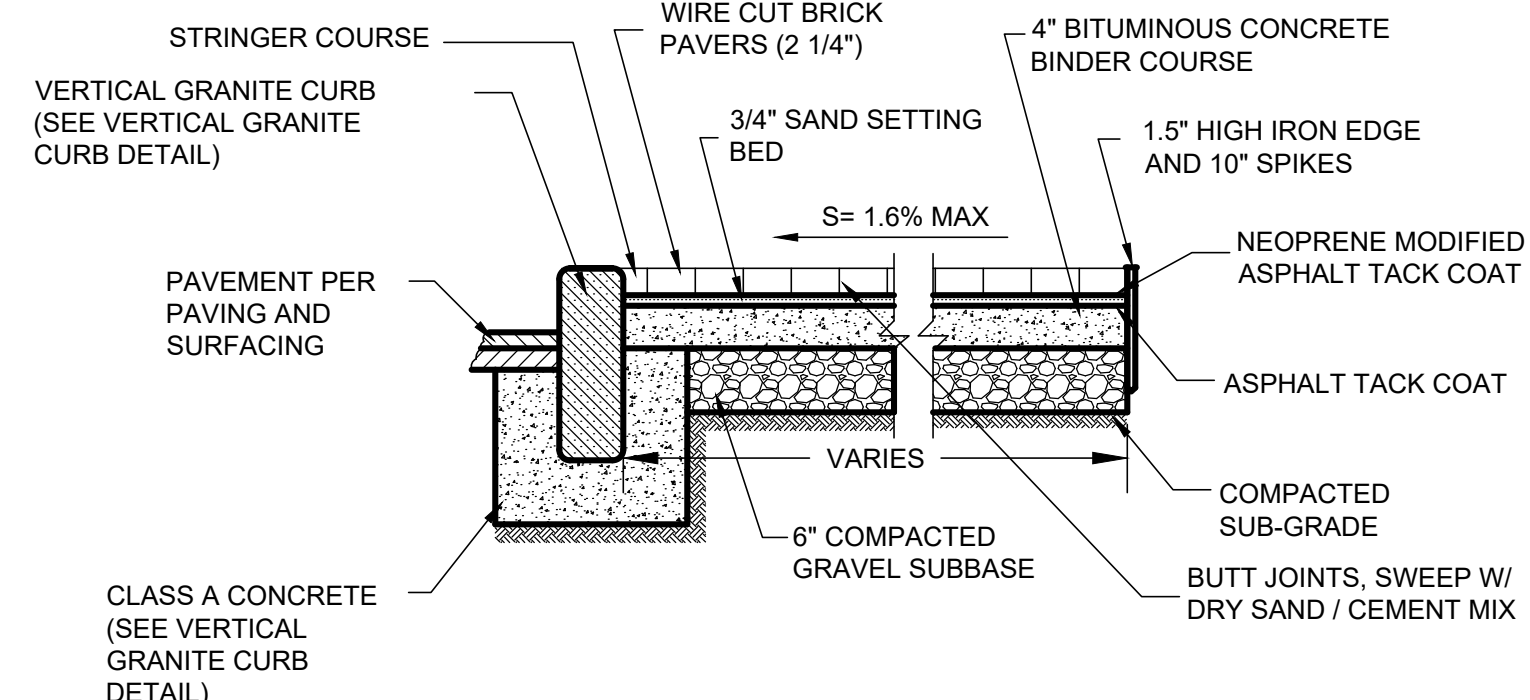
- NOTE: 1. ALL WATER DISTRIBUTION VALVES, FITTINGS, AND PIPING SHALL COMPLY WITH ALL MUNICIPAL STANDARDS.
2. DETAIL UTILIZED FOR 4, 6, OR 8 INCH SERVICE PIPE.

1 WATER SERVICE CONNECTION - WET TAP
NOT TO SCALE



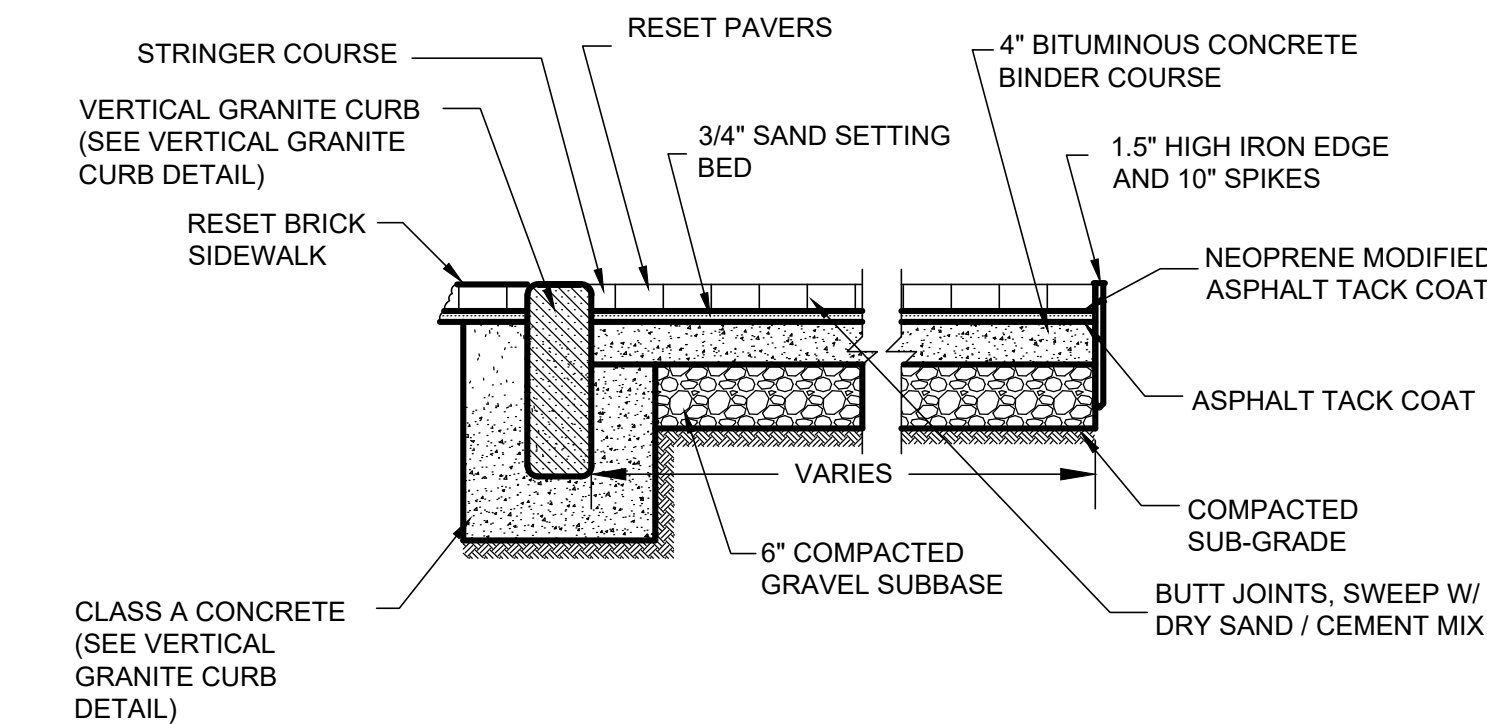
- NOTES:
1. REMOVE AND DISPOSE ALL TEMPORARY PAVEMENT AS REQUIRED.
2. RESTORE AND COMPACT SUBBASE AS REQUIRED PRIOR TO PERMANENT TRENCH PAVEMENT.

2 TRENCH PATCH - BITUMINOUS
NOT TO SCALE



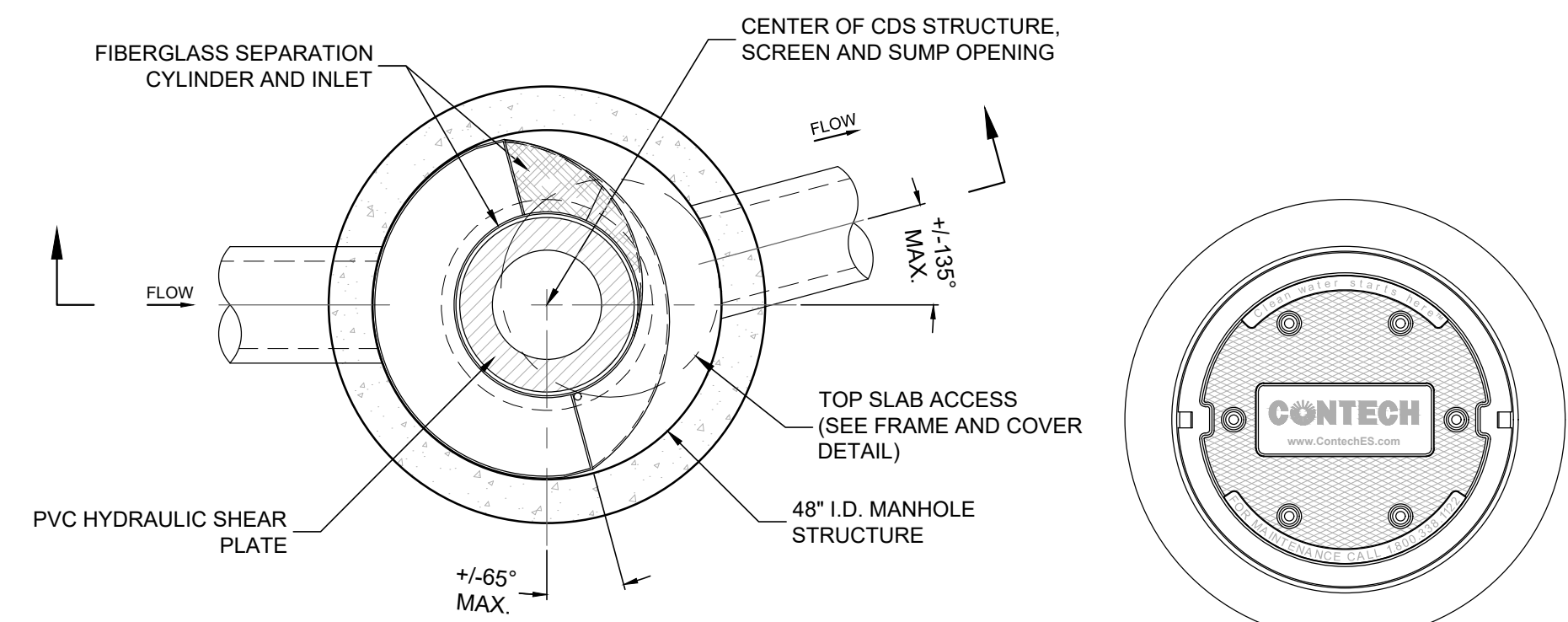
- NOTES:
1. SIDEWALKS SHALL MATCH WIDTH AND SLOPE OF EXISTING SIDEWALKS UNLESS OTHERWISE NOTED.
2. BITUMINOUS CONCRETE BINDER COURSE SHALL BE 6\"/>

3 TRENCH PATCH - BRICK
NOT TO SCALE



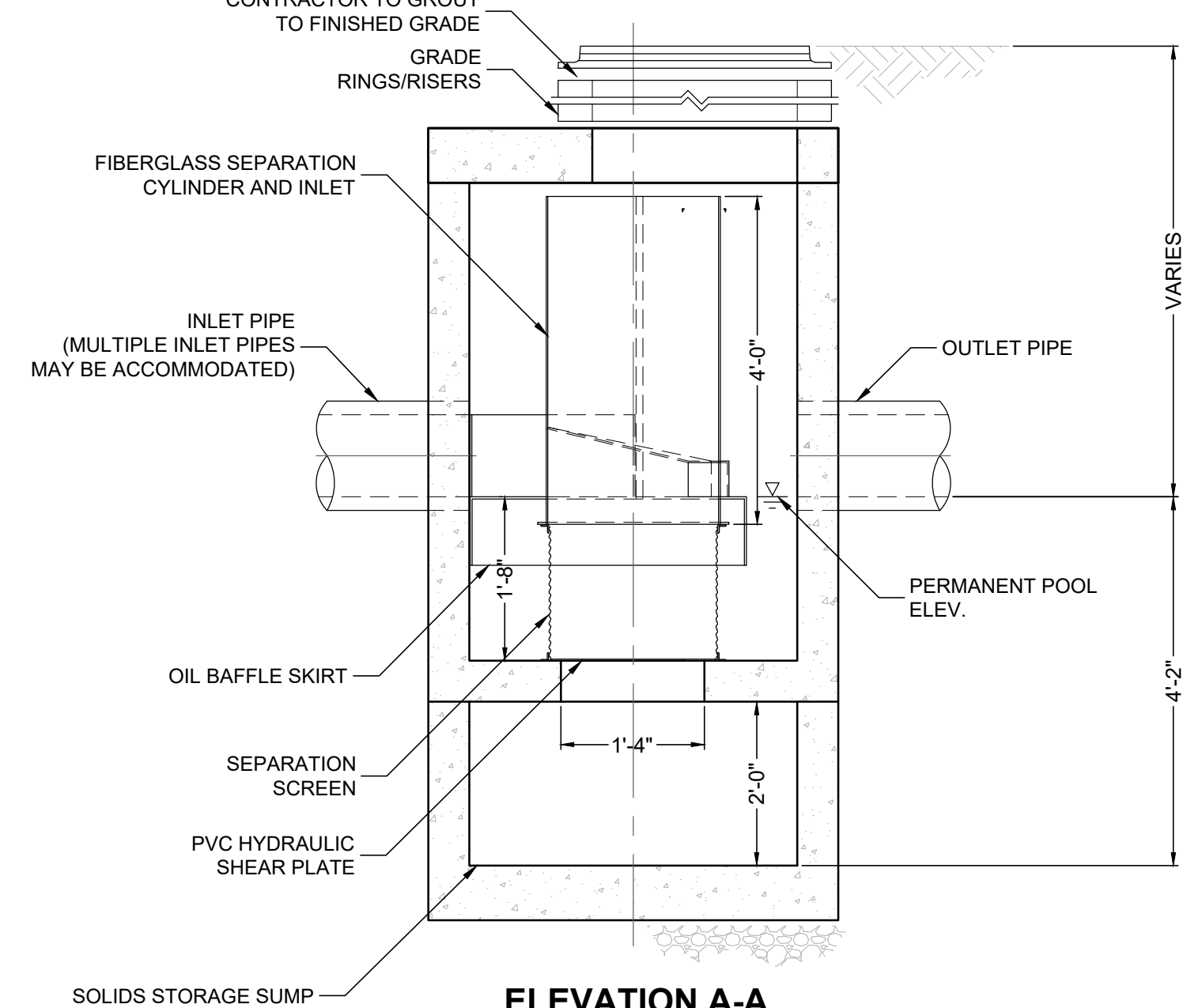
- NOTES:
1. SIDEWALKS SHALL MATCH WIDTH AND SLOPE OF EXISTING SIDEWALKS UNLESS OTHERWISE NOTED.
2. BITUMINOUS CONCRETE BINDER COURSE SHALL BE 8\"/>

4 TRENCH PATCH - WINTHROP STREET
NOT TO SCALE



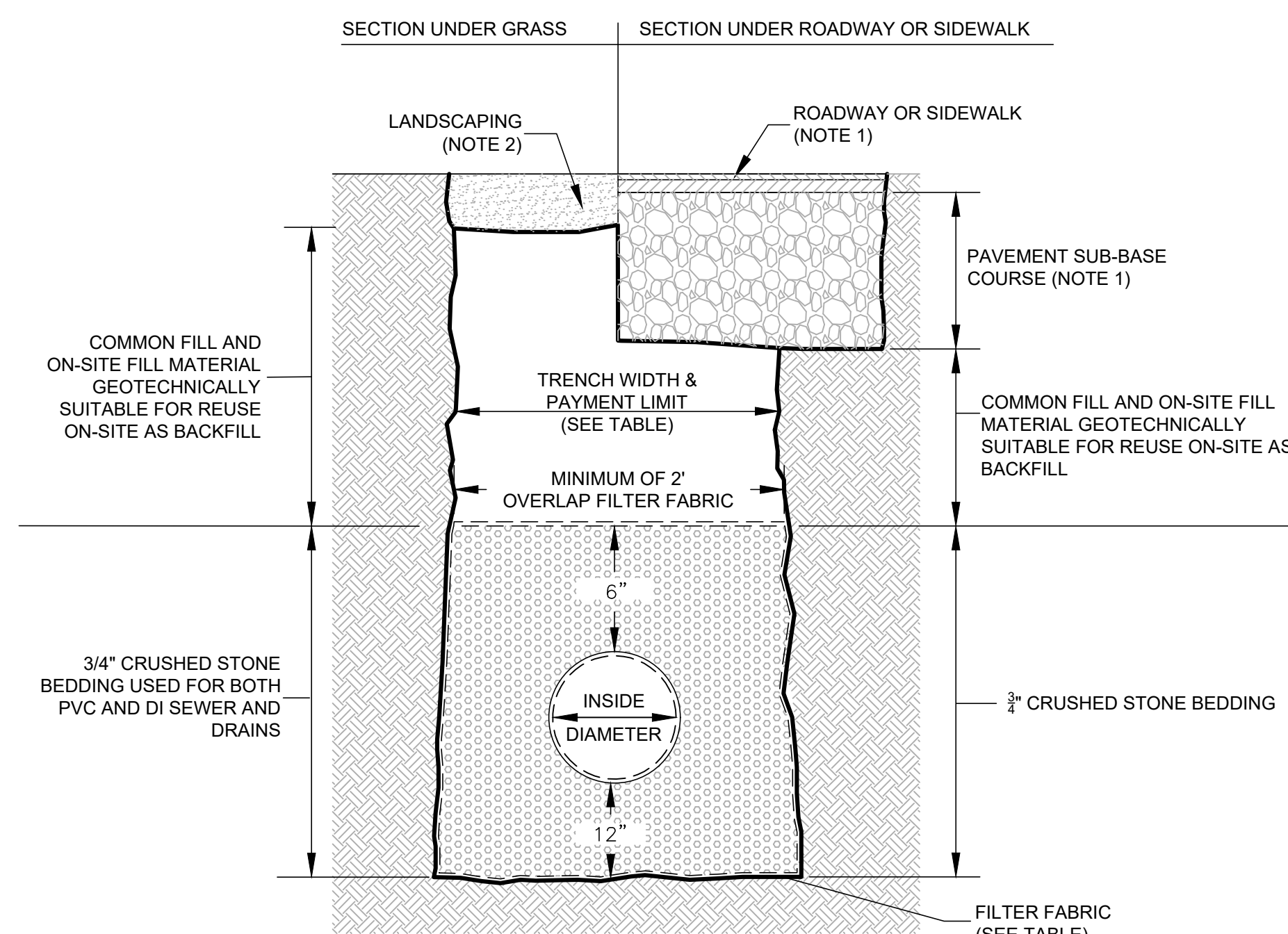
PLAN VIEW B-B
N.T.S.

FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



ELEVATION A-A
N.T.S.

5 CONTECH CDS1515-3 - WATER QUALITY UNIT
NOT TO SCALE



6 PIPE TRENCH EXCAVATION
NOT TO SCALE

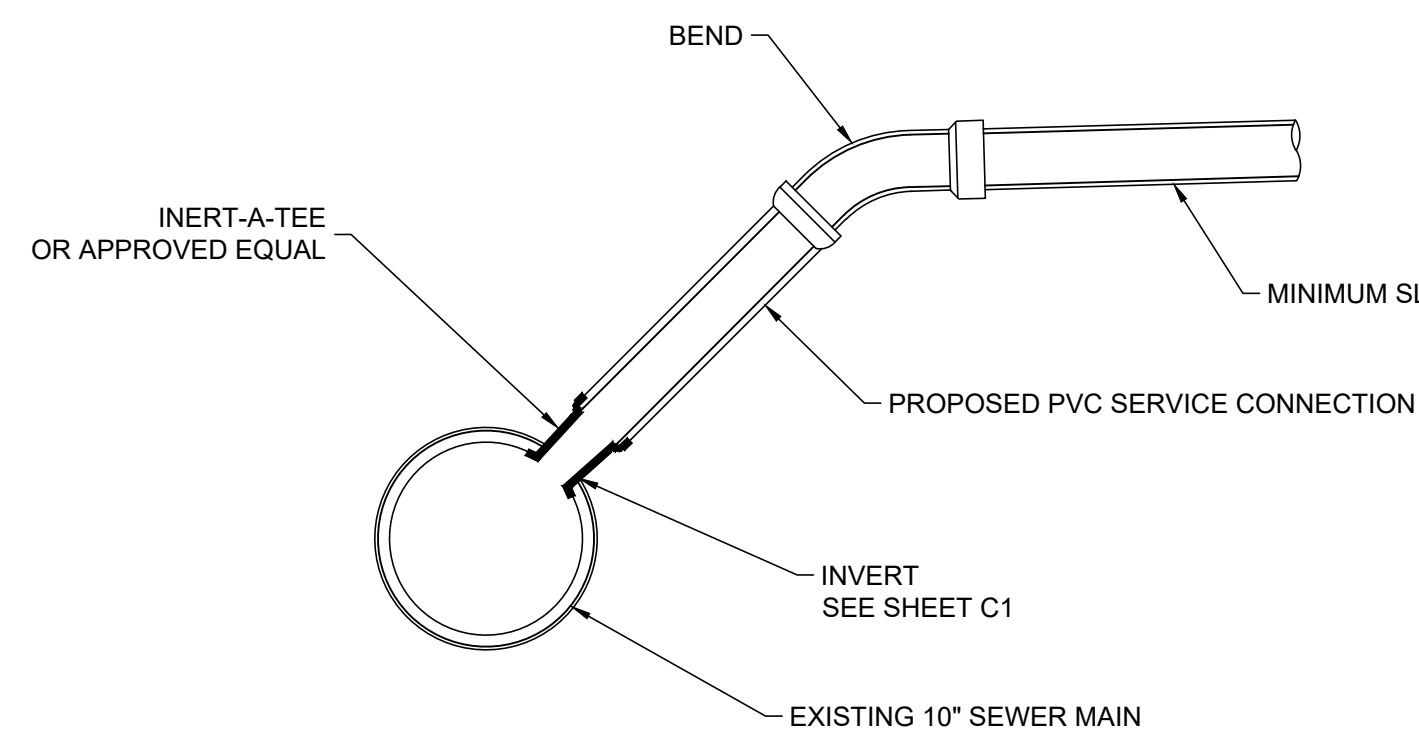
- NOTES:
1. REFER TO PAVING AND SURFACING, AND CURBS, WALKS AND DRIVEWAYS REQUIREMENTS.
2. REFER TO LANDSCAPING REQUIREMENTS.
3. REFER TO \"TRENCH PAY LIMIT TABLE FOR PIPES\" FOR PAYMENT OF ALL ITEMS IN WHICH PAY TRENCH WIDTH IS A VARIABLE FOR CALCULATIONS OF QUANTITIES EXCEPT FOR TRENCH PAVEMENT.
4. REFER TO TRENCH PAVEMENT DETAIL FOR PAVEMENT PAYMENT WIDTHS.

PIPE SIZE (DIA.)	MAX TRENCH WIDTH
LESS THAN 2"	2'-0"
2" TO 6"	3'-0"
8" TO 22"	4'-0"
24" & GREATER	I.D. + 2'-0"

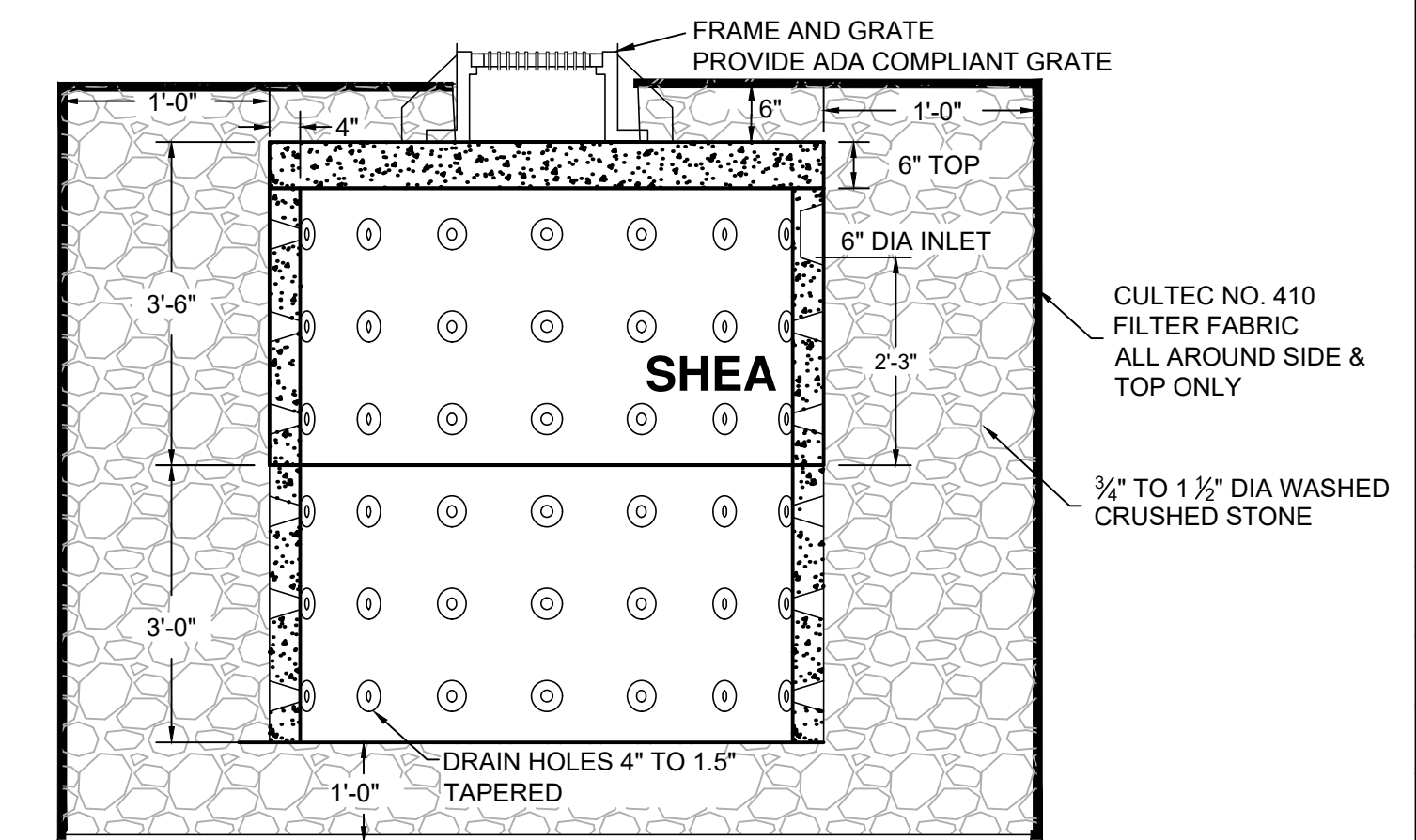
I.D. = INSIDE DIMENSION
FOR TRENCHES GREATER THAT 5' DEEP ADD MAXIMUM 3' FOR TEMPORARY SUPPORT OF EXCAVATION

FILTER FABRIC USE

	SOIL TYPE	
	SILT OR CLAY	GRANULAR SOIL
ABOVE GROUND WATER	FILTER FABRIC NOT REQUIRED	FILTER FABRIC NOT REQUIRED
BELOW GROUND WATER	FILTER FABRIC REQUIRED	FILTER FABRIC NOT REQUIRED



7 SEWER SERVICE CONNECTION - INSERTA-TEE
NOT TO SCALE



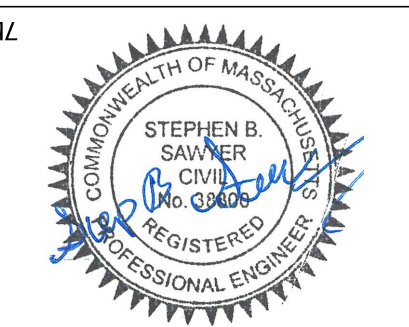
- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. AVAILABLE IN H-20 LOADING.
3. CAPACITY INCREASES IN INCREMENTS OF 500 GALLONS FOR EACH 3' SECTION ADDED.
4. FILTER FABRIC IS CULTEC NO. 410 OR AN EQUAL.

8 DRY WELL CYLINDRICAL - 500 GALLON (STACKABLE)
NOT TO SCALE

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989 FAX 617-868-0280



CONSULTANT



PROJECT

ADDITION TO
57 JFK ST

57 JFK STREET
CAMBRIDGE, MA

PREPARED FOR

CRIMSON GALERIA, LP

166 BEACON ST
BROOKLINE, MA 02446

DRAWING TITLE

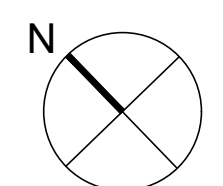
DETAIL SHEET

SCALE AS NOTED

REVISION / ISSUE	DATE
PHASE 2 RE-PERMIT	12 FEB 2020
PHASE 2 CD SET	27 JUL 2018
PHASE 2 PERMIT	21 DEC 2017
REV PARTIAL PERMIT	8 DEC 2017
PARTIAL PERMIT	8 SEPT 2016
PRICING SET	23 FEB 2016
DRAWN BY GS	REVIEWED BY SBS

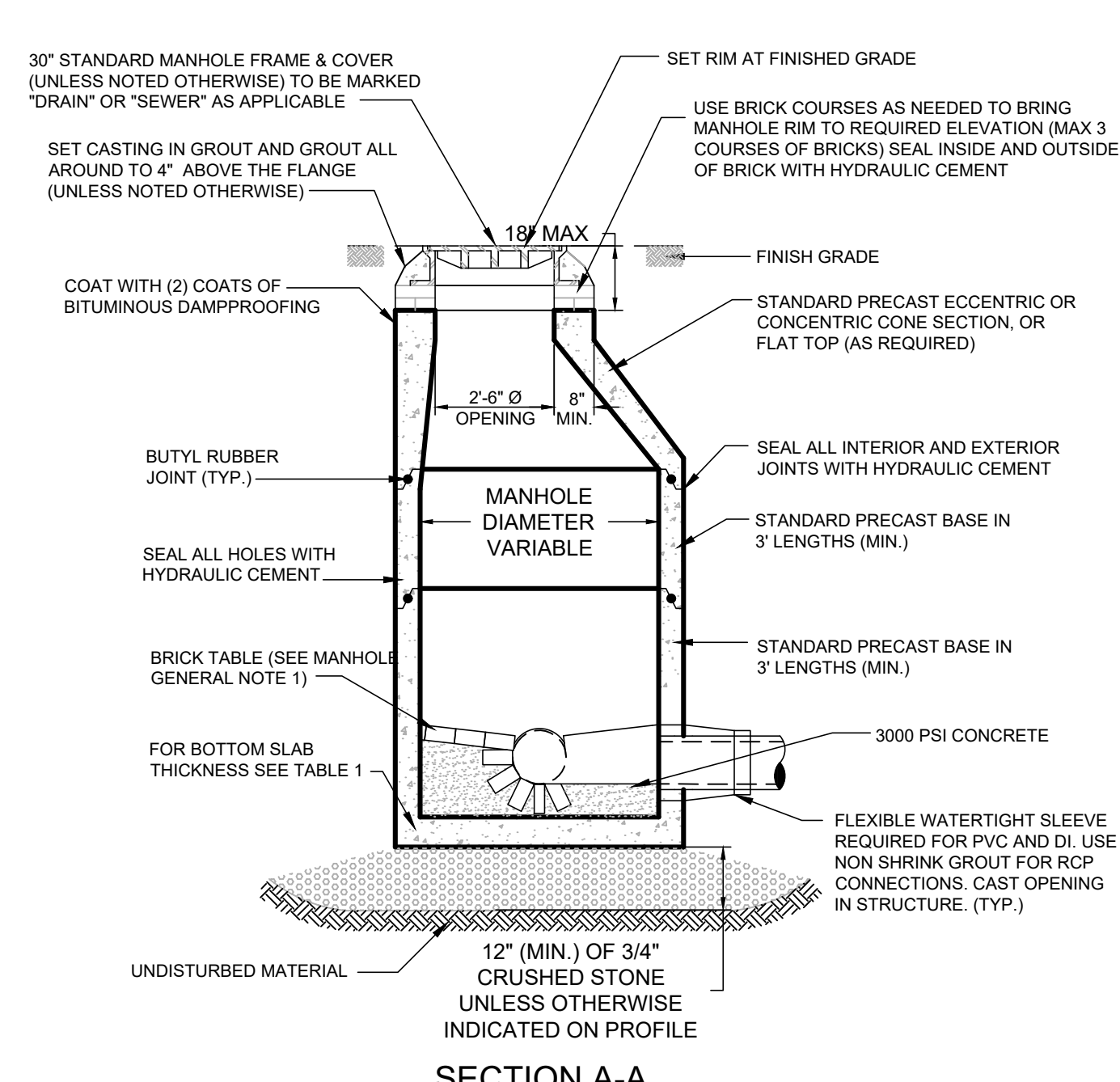
SHEET

C-2

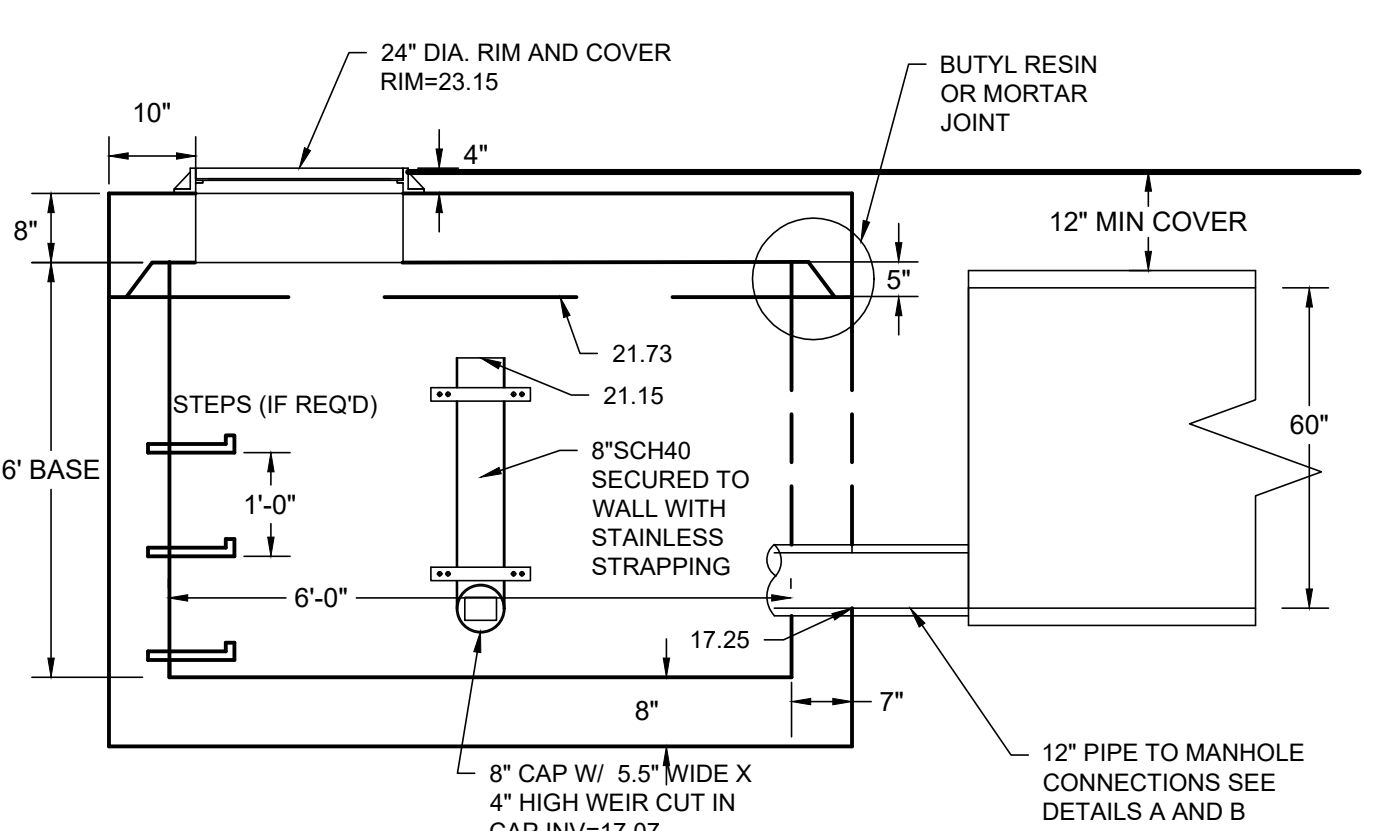


LEGEND

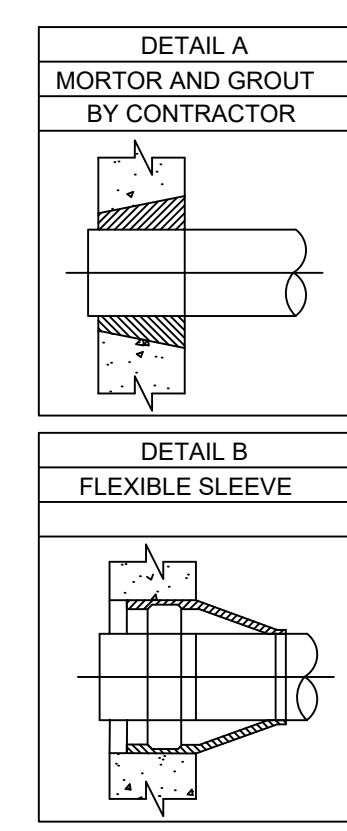
□	HAND HOLE	— S —	SEWER LINE
☆	LIGHT POLE	— G —	GAS LINE
⊙	GUY POLE	— W —	WATER LINE
⊕	HYDRANT	— T —	TELEPHONE LINE
⊖	WATER SHUT OFF	— E —	ELECTRIC LINE
⊗	WATER GATE	— C —	CABLE TV LINE
○	DRAIN LINE	— D —	DRAIN LINE
⊙	DRAIN MANHOLE (DMH)	— ? —	TERMINUS UNKNOWN
⊙	SEWER MANHOLE (SMH)	— BIT —	BITUMINOUS
⊙	ELECTRIC MANHOLE	— CONC —	CONCRETE
⊙	CABLE MANHOLE	— RCP —	REINFORCED CONCRETE LINE
⊙	UNKNOWN MANHOLE	— CI —	CAST IRON LINE
⊙	TELEPHONE MANHOLE	— VC —	VITRIFIED CLAY LINE
⊙	GAS GATE	— I —	INVERT
⊙	GAS METER	— WL —	WATER LEVEL
⊙	DECIDUOUS TREE	— (BC) —	BOTTOM CENTER
⊙	BOLLARD	— NPV —	NO LINES VISIBLE
⊙	SIGN	— FFE —	FINISHED FLOOR ELEVATION
		— + 22.67 —	SPOT GRADE
		— HP —	RUNOFF DIRECTION
			HIGH POINT



1 PRECAST CONCRETE MANHOLE
NOT TO SCALE



2 PRECAST OUTLET CONTROL STRUCTURE
NOT TO SCALE



NO DUMPING GREASE IN DUMPSTER

3 DUMPSTER SIGN
NOT TO SCALE

- NOTES:
- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 - REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.18 SQ. IN./LINEAL FT. AND 0.18 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 - H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 - BUTYL RESIN JOINT CONFORMS TO LATEST ASTM C443 SPEC.
 - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C478 SPEC.

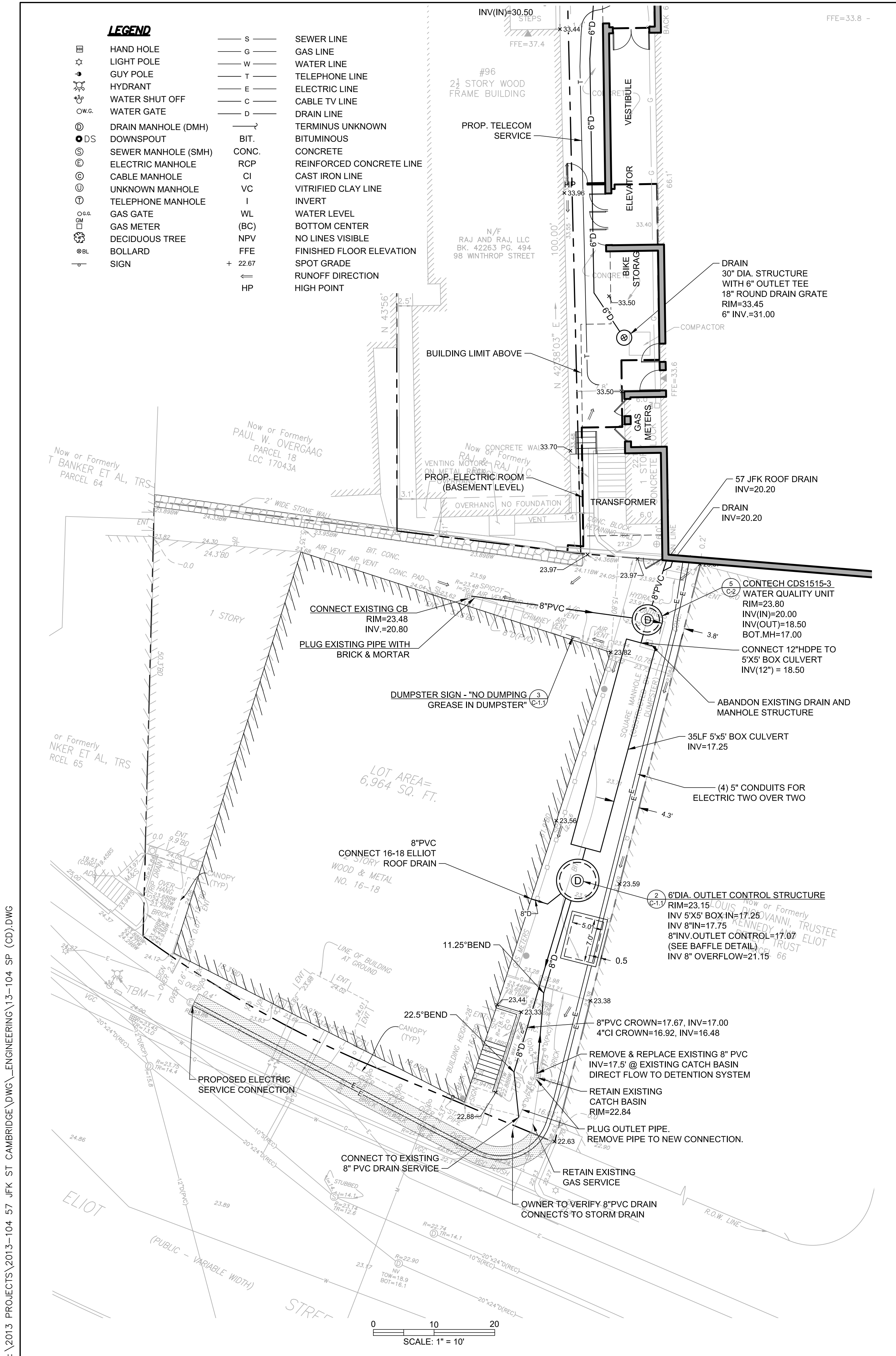
- GENERAL NOTES:**
- THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET R.O.W. OR ON ABUTTING LOTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE LOCATION OF EACH PROPOSED UTILITY CONNECTION.
 - THE CITY OF CAMBRIDGE WATER AND ELECTRIC UTILITIES ARE PART OF DIG-SAFE, HOWEVER CAMBRIDGE SEWERS ARE NOT. THE CONTRACTOR SHALL CONTACT THE CITY OF CAMBRIDGE FOR THE MARKING OF CAMBRIDGE MUNICIPAL UTILITIES, AND SHALL ALSO CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
 - THE CONTRACTOR SHALL SUPPLY ALL PIPING, STRUCTURES, MATERIALS, AND APPURTENANCES, NECESSARY TO PERFORM ALL WET AND/OR DRY TAPS AS PART OF THIS CONTRACT.
 - NEW WATER SERVICES MUST BE LEFT SHUT OFF AT THE MAIN ON THE STREET UNTIL ACTIVATED BY THE CITY OF CAMBRIDGE.
 - A DYE TEST SHALL BE PERFORMED BY A CITY OF CAMBRIDGE INSPECTOR PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.
 - THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER, WATER, AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL REMAIN THAT OF THE OWNER.
 - THE CITY OF CAMBRIDGE RESERVES THE RIGHT TO INSPECT ALL PRIVATE FACILITIES DISCHARGING TO MUNICIPAL FACILITIES.
 - DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
 - ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO STANDARDS OF THE CITY OF CAMBRIDGE, DEPARTMENT OF PUBLIC WORKS AND ANY OTHER AGENCY OR BODY WITH AUTHORITY IN THIS AREA.
 - ALL EXISTING UTILITY SERVICE CONNECTIONS, SEWER DISPOSAL FACILITIES, AND WELLS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF EACH CONNECTION. THE WATER, DRAIN, AND SEWER SERVICES SHALL BE CAPPED AND CUT AT THE MAIN IN THE STREET BY THE CONTRACTOR. ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY COMPANY.
 - ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE APPROXIMATE AND THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. (SEE MECHANICAL ENGINEER PLANS)
 - ELEVATIONS DEPICTED HEREON ARE ON CITY OF CAMBRIDGE SEWER DATUM.

PIPE MATERIALS:
SEWER & DRAIN SERVICE: 6 & 8 INCH PVC ASTM D3034-SDR 35 - SEE PLAN, SLOPE=0.020 FT/FT (MINIMUM)
WATER SERVICE: 4" CLASS 56 DUCTILE IRON CEMENT LINED PIPE

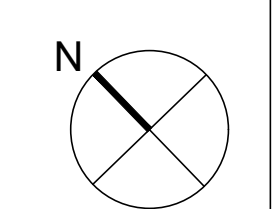
THRUST BLOCKS:
CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH. USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE. SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

SEWER CLEANOUTS & INTERNAL SEWER SERVICES:
THE OWNER SHALL FURNISH AND INSTALL ALL SEWER CLEANOUTS. EXACT LOCATION OF ALL SEWER CLEANOUTS AND INTERNAL SEWER SERVICES TO BE CONFIRMED/ COORDINATED BY MECHANICAL ENGINEER AND ARCHITECT.

PRECAST STRUCTURES:
DESIGN FOR H-20 LOADING



SCALE: 1" = 10'



PETER QUINN ARCHITECTS
ARCHITECTURE PLANNING COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989 FAX 617-868-0280



DCi
Design Consultants Inc.
Somerville - South Shore
www.dci-ma.com

PROJECT
ADDITION TO
57 JFK ST
CAMBRIDGE, MA

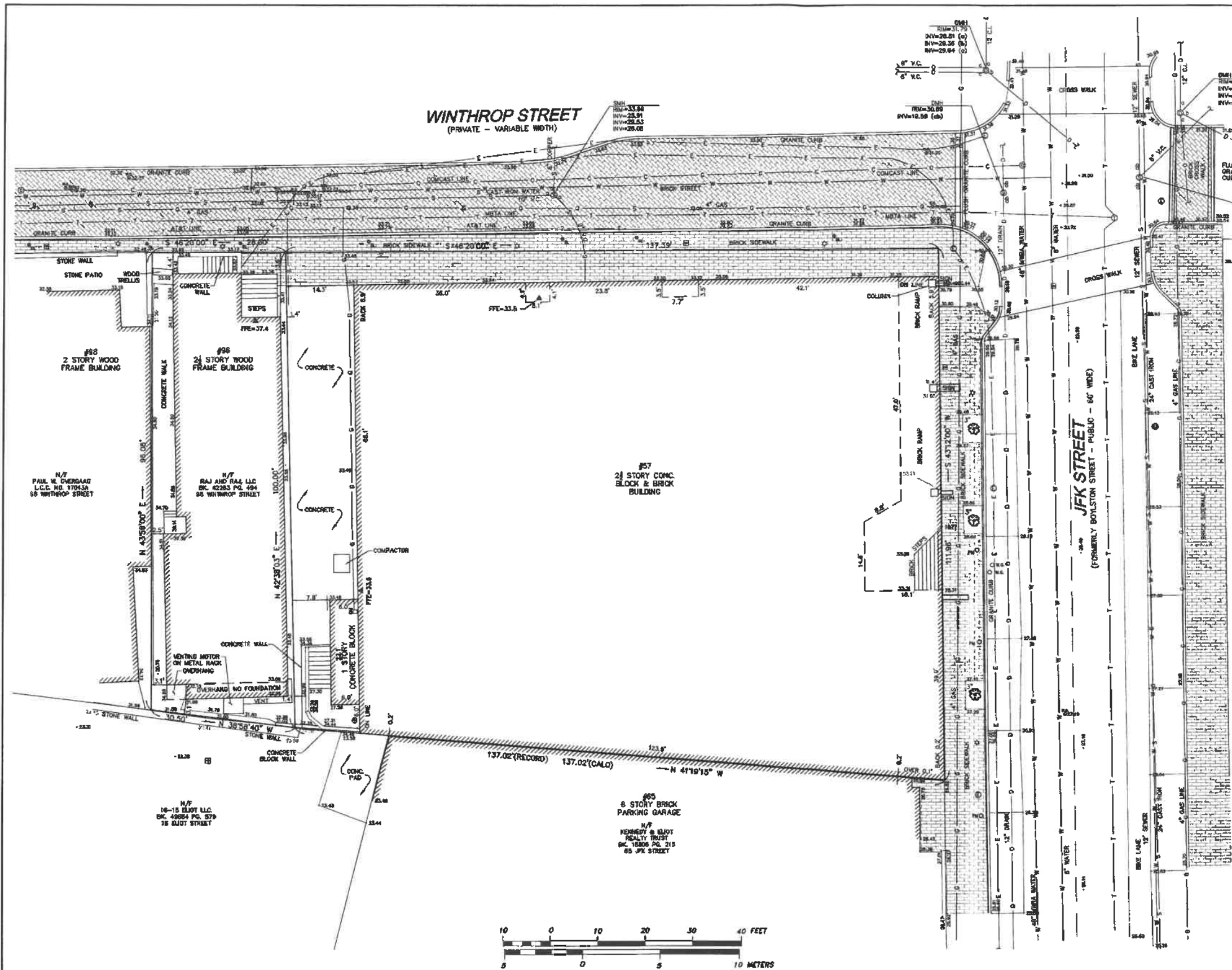
PREPARED FOR
CRIMSON GALERIA, LP
166 BEACON ST
BROOKLINE, MA 02446

DRAWING TITLE
DRAINAGE PLAN

SCALE AS NOTED

REVISION / ISSUE	DATE
PHASE 2 RE-PERMIT	12 FEB 2020
PHASE 2 CD SET	27 JUL 2018
PHASE 2 PERMIT	21 DEC 2017
REV PARTIAL PERMIT	8 DEC 2017
PARTIAL PERMIT	8 SEPT 2016
PRICING SET	23 FEB 2016
DRAWN BY GS	REVIEWED BY SBS

SHEET
C-1.1



LEGEND

- ⊠ HAND HOLE
- ⊙ LIGHT POLE
- ⊙ GUY POLE
- ⊙ HYDRANT
- ⊙ WATER SHUT OFF
- ⊙ WATER GATE
- ⊙ DRAIN MANHOLE (DMH)
- ⊙ SEWER MANHOLE (SMH)
- ⊙ ELECTRIC MANHOLE
- ⊙ CABLE MANHOLE
- ⊙ UNKNOWN MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ GAS GATE
- ⊙ GAS METER
- ⊙ DECIDUOUS TREE
- ⊙ BOLLARD
- ⊙ SIGN
- S — SEWER LINE
- G — GAS LINE
- W — WATER LINE
- T — TELEPHONE LINE
- E — ELECTRIC LINE
- C — CABLE TV LINE
- D — DRAIN LINE
- ? — TERMINUS UNKNOWN
- BIT. BITUMINOUS
- CONC. CONCRETE
- ROP REINFORCED CONCRETE LINE
- CI CAST IRON LINE
- VC VITRIFIED CLAY LINE
- I INVERT
- WL WATER LEVEL
- (BC) BOTTOM CENTER
- NPV NO LINES VISIBLE
- FFE FINISHED FLOOR ELEVATION
- + 22.67 SPOT GRADE

LOCUS TITLE INFORMATION

57 JFK STREET
 OWNER: CRIMSON GALERIA LIMITED PARTNERSHIP C/O RAJ DHANOA
 DEED REFERENCE: BK. 28804 PG. 484
 PLAN REFERENCE: PL. 1121 OF 1972
 ASSESSORS: PARCEL ID MAP 182, LOT 54

96 WINTHROP STREET
 OWNER: RAJ & RAJ LLC, C/O HOLLAND & KNIGHT LLP
 DEED REFERENCE: BK. 42263 PG. 494
 PLAN REFERENCE: PL. 1121 OF 1972
 ASSESSORS: PARCEL ID MAP 182, LOT 19

NOTES

LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED, CALL DIGSAFE BEFORE EXCAVATION.

ELEVATIONS DEPICTED HEREON ARE ON CITY OF CAMBRIDGE SEWER DATUM.

ABUTTERS INFORMATION WAS TAKEN FROM CITY OF CAMBRIDGE, MA ASSESSOR'S RECORDS ON SEPTEMBER 11, 2013.

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS FOR DESIGN PURPOSES, AND IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN SEPTEMBER 4 & 6, 2013, BY DESIGN CONSULTANTS, INC.



P.L.S. *Everett J. Chandler*
 EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783
 DATE 11/14/13

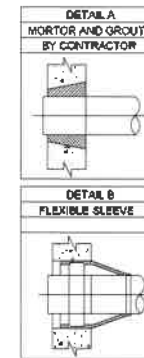
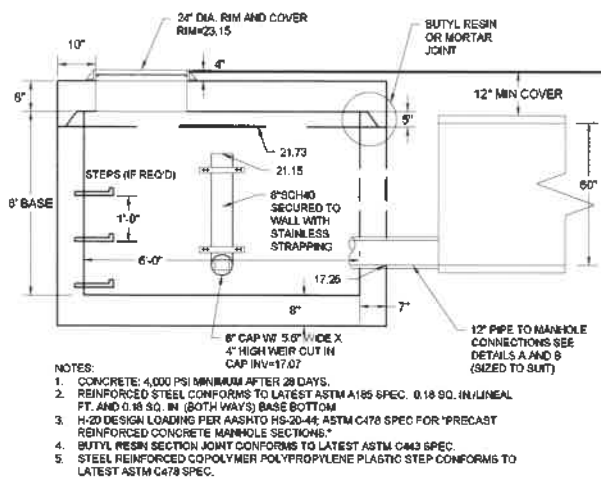
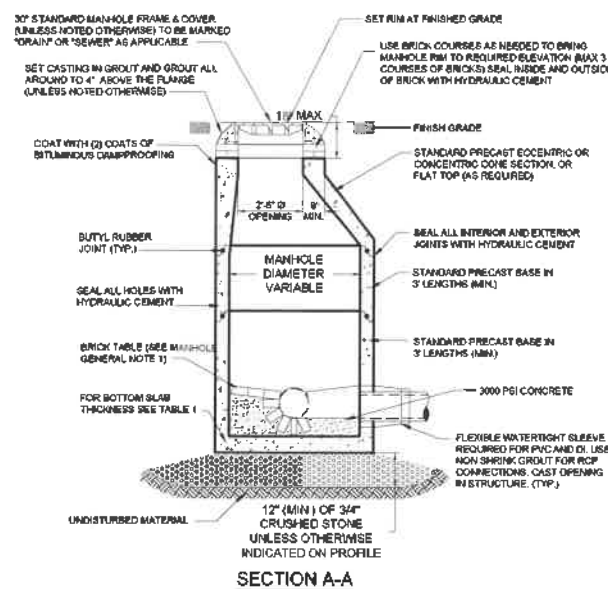
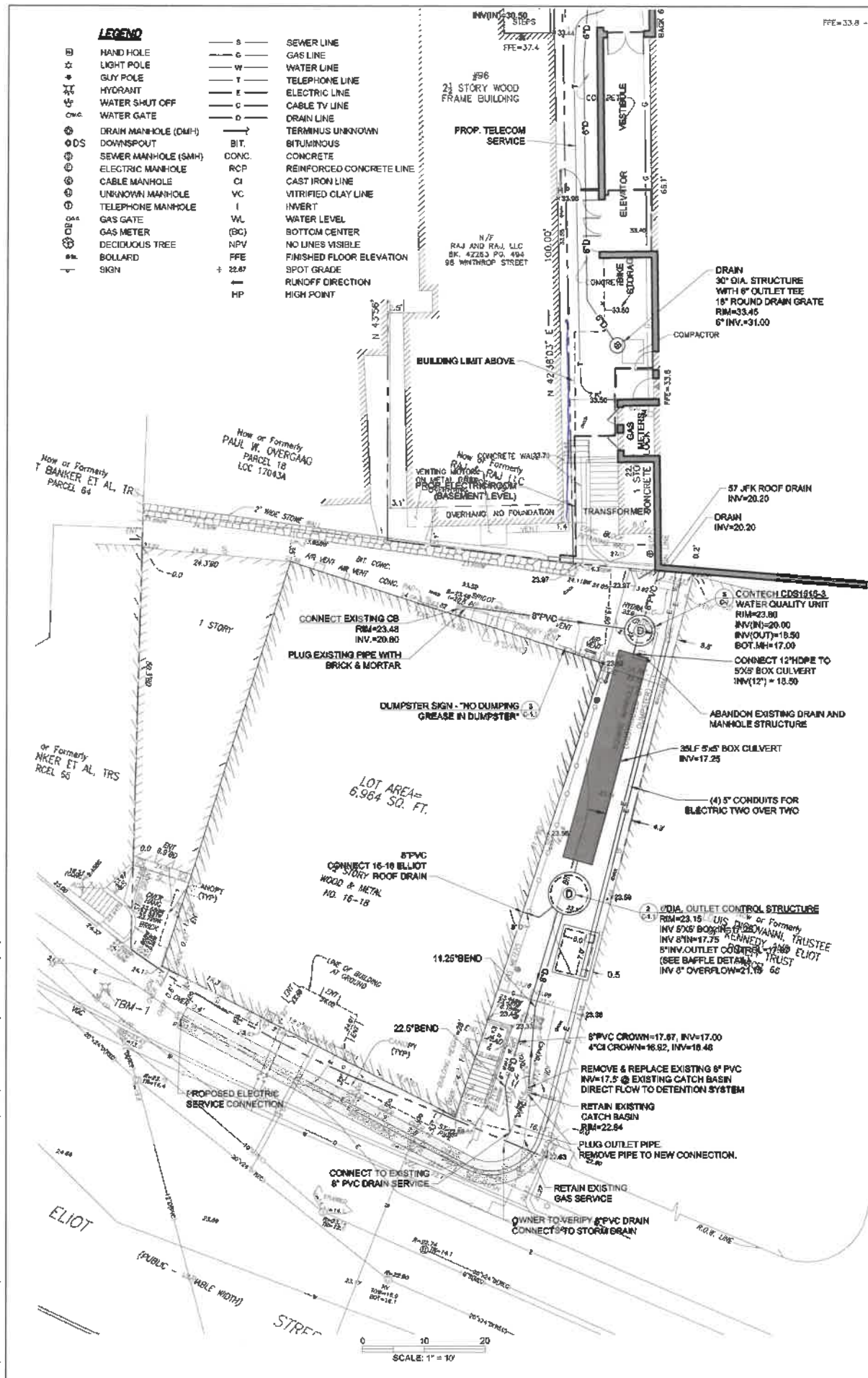


Copyright 2013 Design Consultants, Inc.

P:\2013 Projects\2013-104 57 JFK Street Cambridge\Draw\SURVEY\13-004 57 JFK-DX.dwg

Design Consultants, Inc. Consulting Engineers and Surveyors 120 MIDDLEBURY AVENUE SOMERVILLE, MA 02145 617-776-8350 88 PLEASANT STREET NEWBURYPORT, MA 01950 978-368-7173	SCALE: HORIZ: 1" = 10' VERT:	NO. DATE BY REVISIONS	FIELD: LS CALCS: AR CHECKED: EJC APPROVED: EJC	EXISTING CONDITIONS 57 JFK STREET & 96 WINTHROP STREET	PLAN OF LAND IN CAMBRIDGE, MASSACHUSETTS SURVEYED FOR CRIMSON GALERIA LP	PROJECT NO. 2013-104 DATE: SEPT. 11, 2013 SHEET NO. 1 OF 1
	NO. DATE BY REVISIONS					

P:\2013 PROJECTS\2013-104 57 JFK ST CAMBRIDGE\DWG_ENGINEERING\1-104 SP (CD).DWG



NO DUMPING GREASE IN DUMPSTER

3 DUMPSTER SIGN
NOT TO SCALE

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3898 FAX 617-968-0280



CONSULTANT



PROJECT

ADDITION TO
57 JFK ST

57 JFK STREET
CAMBRIDGE, MA

PREPARED FOR

CRIMSON GALERIA, LP

166 BEACON ST
BROOKLINE, MA 02446

DRAWING TITLE

DRAINAGE PLAN

SCALE AS NOTED

REVISION / ISSUE	DATE
PHASE 2 RE-PERMIT	12 FEB 2020
PHASE 2 CD SET	27 JUL 2018
PHASE 2 PERMIT	21 DEC 2017
REV PARTIAL PERMIT	8 DEC 2017
PARTIAL PERMIT	8 SEPT 2016
PRICING SET	23 FEB 2016
DRAWN BY GS	REVIEWED BY SBS

SHEET

C-1.1

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
250 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3889 FAX 617-688-0280



CONSULTANT

PROJECT

ADDITION TO 57 JFK ST

57 JFK STREET
CAMBRIDGE, MA

PREPARED FOR

CRIMSON GALERIA, LP

166 BEACON ST
BROOKLINE, MA 02446

DRAWING TITLE

LOWER LEVEL PLAN

SCALE AS NOTED

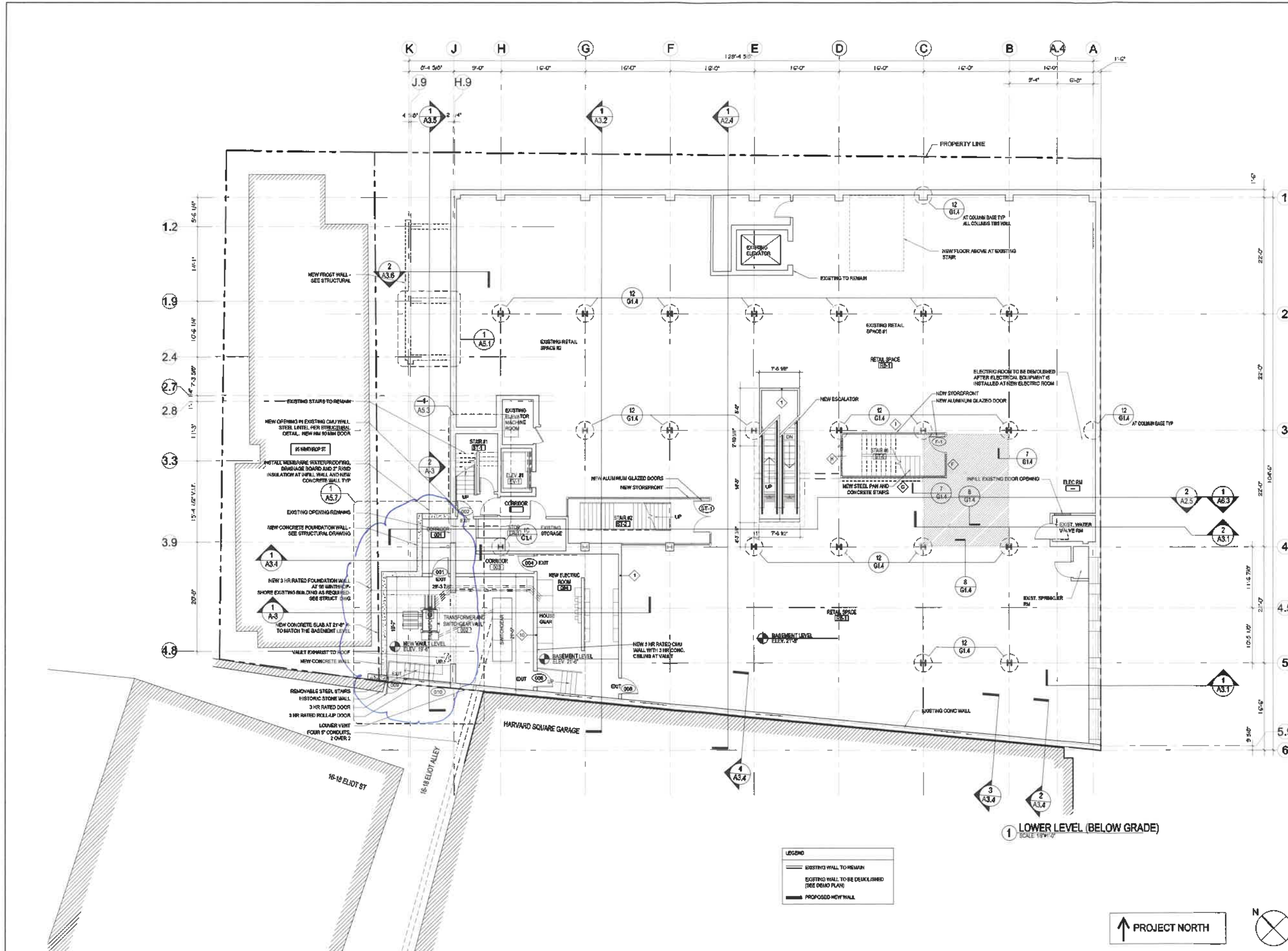
REVISION / ISSUE	DATE
PHASE 2 RE-PERMIT	12 FEB 2020
PHASE 2 CD SET	27 JUL 2018
PHASE 2 PERMIT	21 DEC 2017
REV PARTIAL PERMIT	8 DEC 2017
PARTIAL PERMIT	8 SEPT 2016
PRICING SET	23 FEB 2016

DRAWN BY
LDASHWE

REVIEWED BY
PQ

SHEET

A1.0



Z:\DCAD\WGSURK-57-4888\cm\DCAD\cm\CURRENT\Drawings\A1.0 Lower Level.dwg, 2/12/2020 9:25:20 PM

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3988 FAX 617-888-0280



CONSULTANT

PROJECT
**ADDITION TO
57 JFK ST**

57 JFK STREET
CAMBRIDGE, MA

PREPARED FOR

CRIMSON GALERIA, LP

166 BEACON ST
BROOKLINE, MA 02446

DRAWING TITLE
**SECTION
THROUGH
ELEVATOR #2
LOBBY**

SCALE AS NOTED

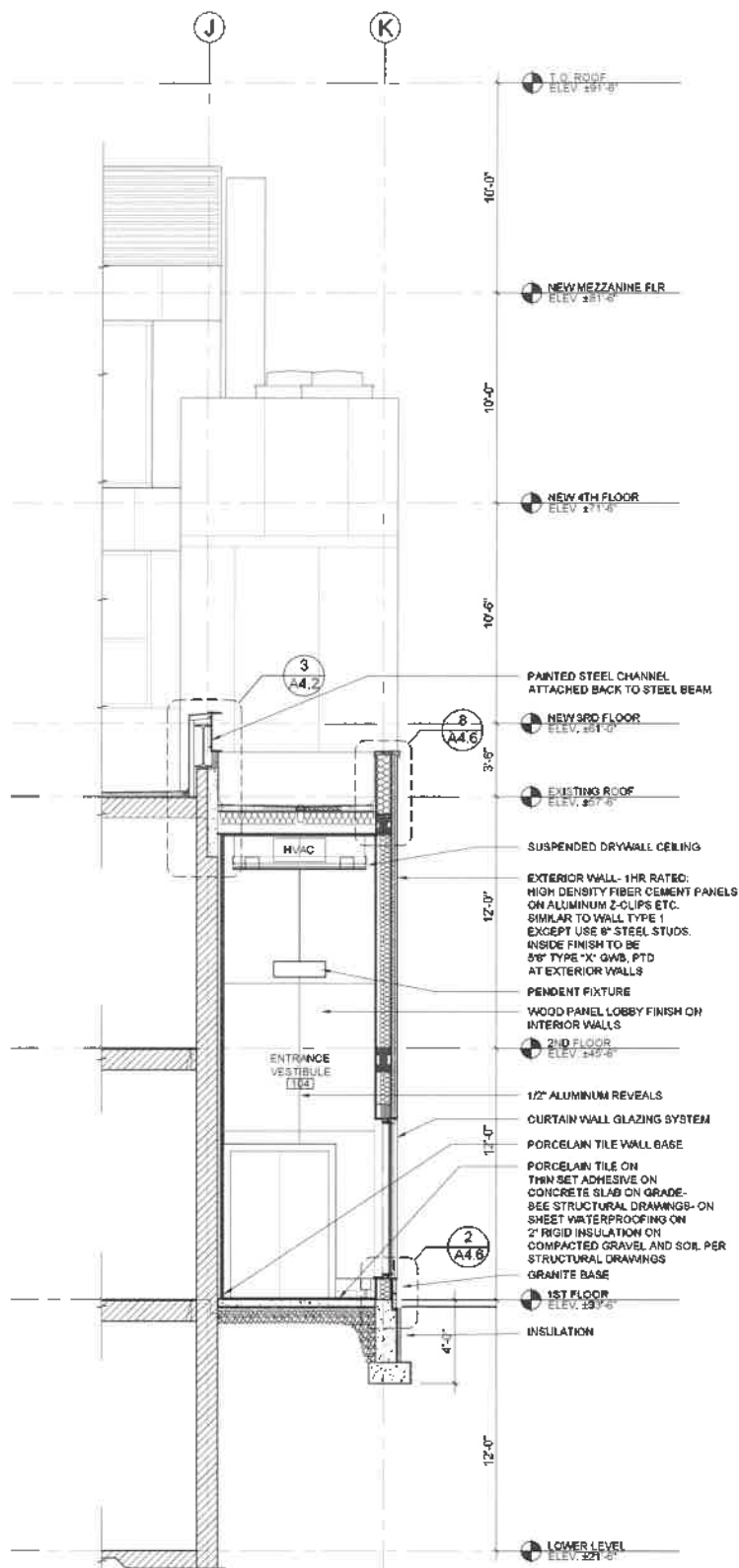
REVISION / ISSUE	DATE
PHASE 2 RE-PERMIT	12 FEB 2020
PHASE 2 CD SET	27 JUL 2018
PHASE 2 PERMIT	21 DEC 2017
REV PARTIAL PERMIT	8 DEC 2017
PARTIAL PERMIT	8 SEPT 2016
PRICING SET	23 FEB 2016

DRAWN BY
WFDASH/DJUE

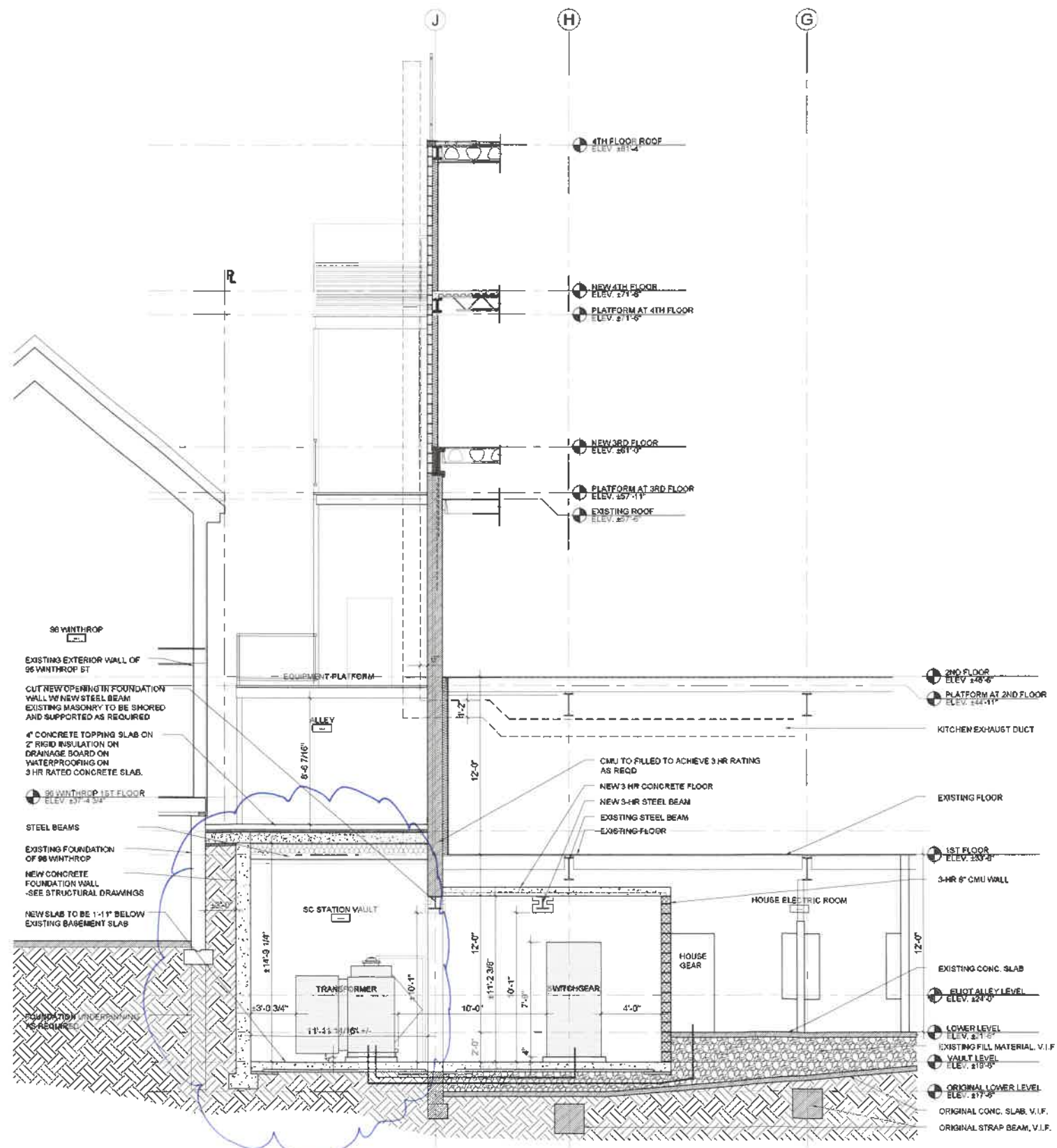
REVIEWED BY

SHEET

A3.6



2 SECTION THROUGH OFFICE LOBBY
SCALE 1/4" = 1'-0"



1 CROSS SECTION THROUGH SUBSTATION
SCALE 1/4" = 1'-0"

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
299 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989 FAX 617-568-0280

SEAL

CONSULTANT

PROJECT

ADDITION TO
57 JFK ST

57 JFK STREET
CAMBRIDGE, MA

PREPARED FOR

CRIMSON GALERIA, LP

1299 BEACON ST
BROOKLINE, MA 02446

DRAWING TITLE

LOWER LEVEL
PLAN-
ENLARGED PLAN

SCALE AS NOTED

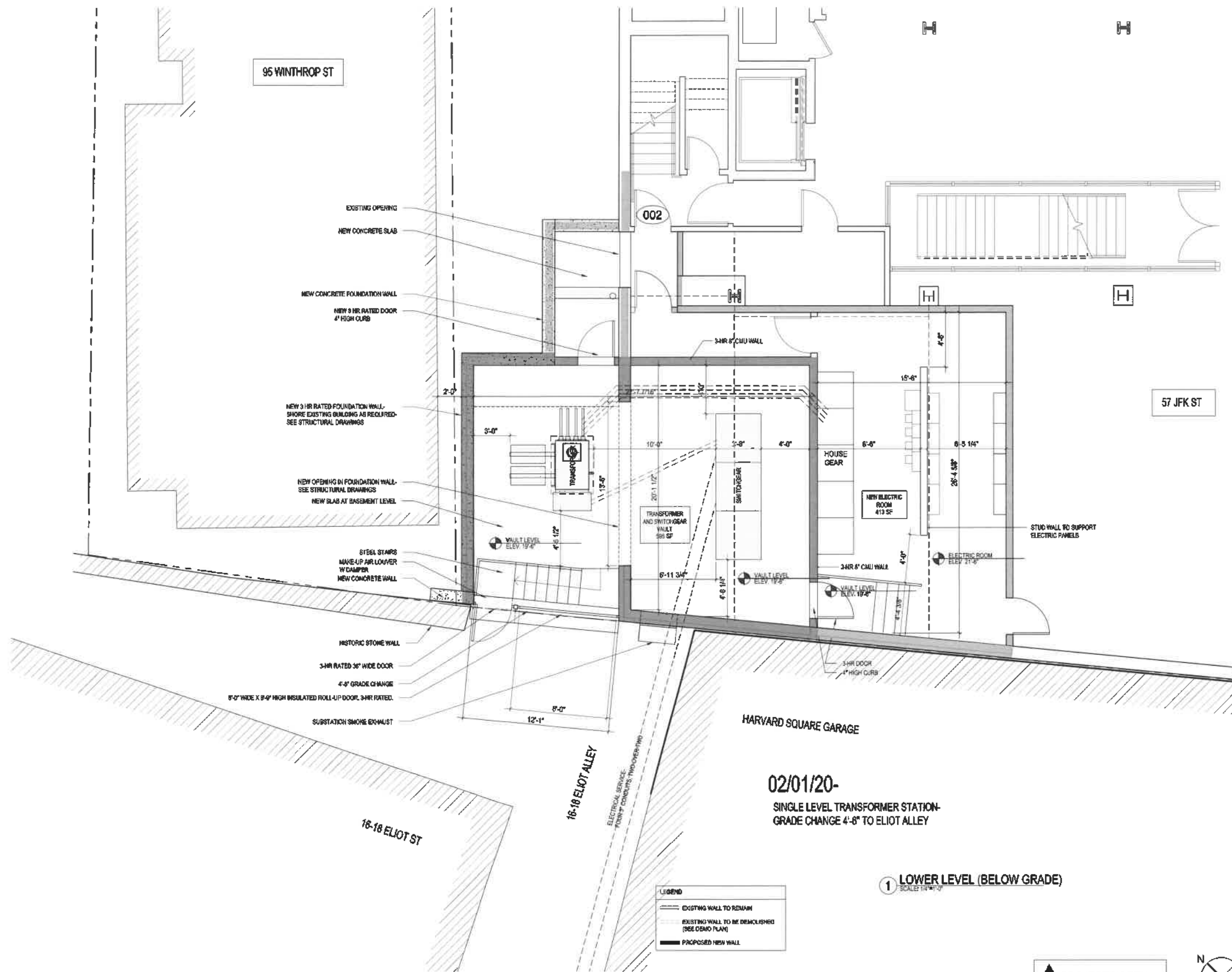
REVISION / ISSUE	DATE
REVISION 7	31 JAN 2020
REVISION 6	3 JAN 2020
REVISION 5	11 NOV 2019
REVISION 4	16 MAR 2019

DRAWN BY
LDASH

REVIEWED BY

SHEET

A6.4



02/01/20-

SINGLE LEVEL TRANSFORMER STATION-
GRADE CHANGE 4'-6" TO ELIOT ALLEY

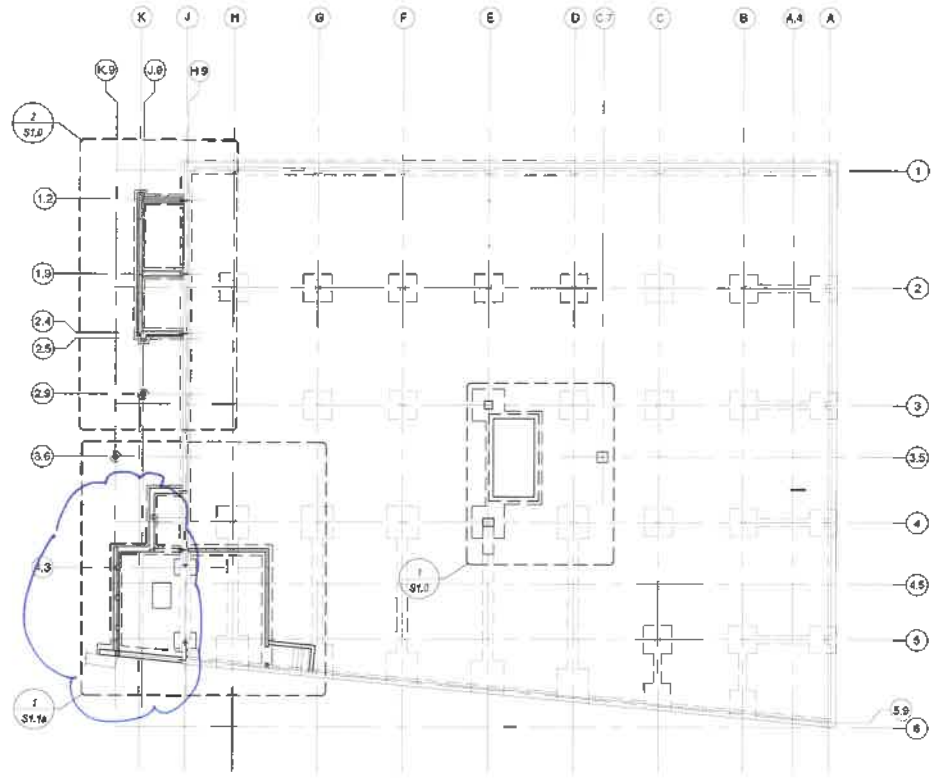
1 LOWER LEVEL (BELOW GRADE)
SCALE: 1/4" = 1'-0"

LEGEND

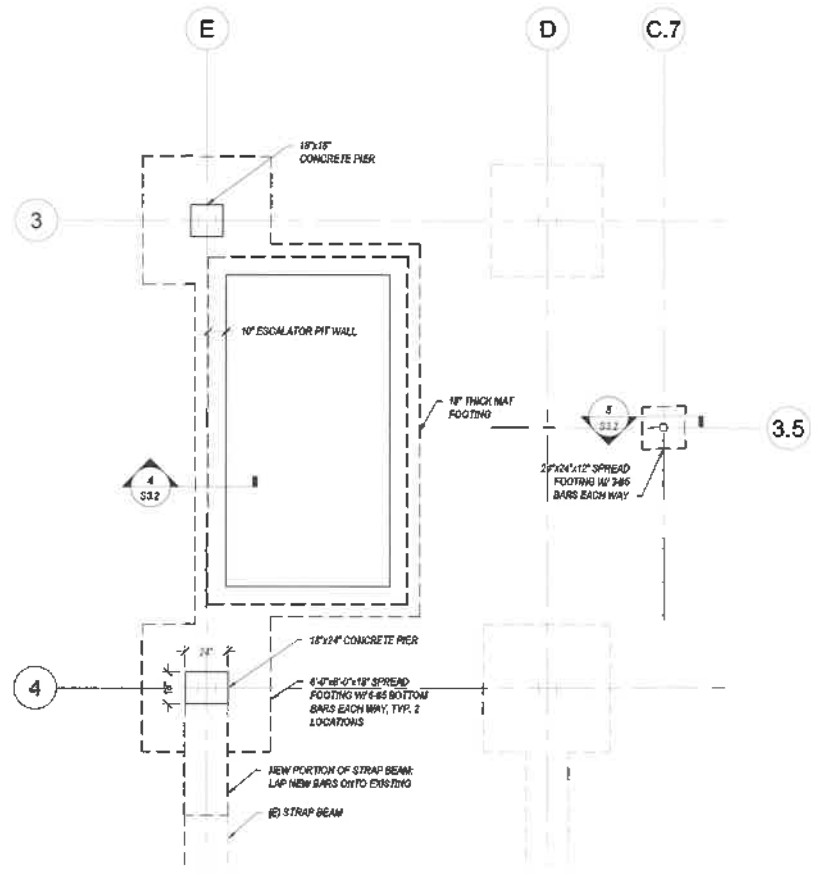
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED (SEE OSMO PLAN)
	PROPOSED NEW WALL

↑ PROJECT NORTH

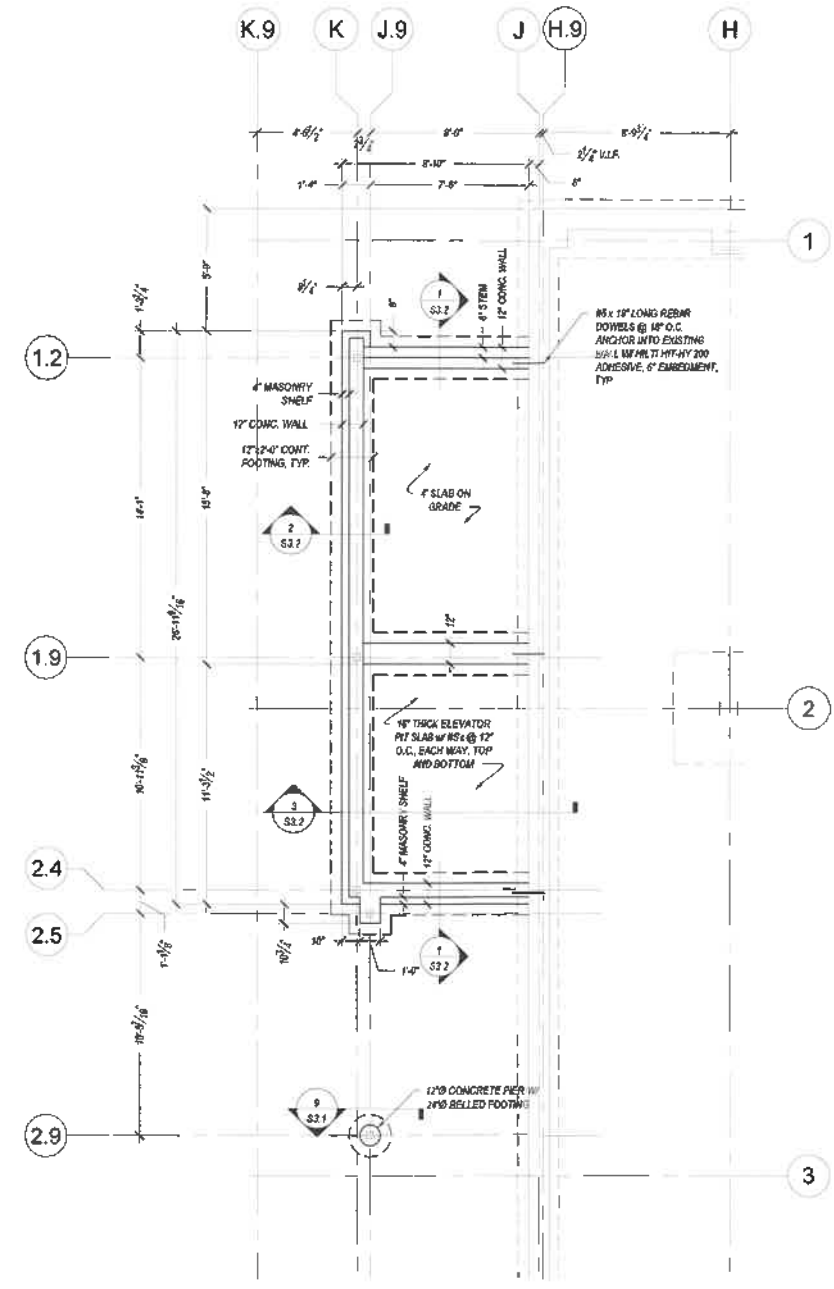




FOUNDATION LOCUS PLAN
Scale: 1/16"=1'-0"



FOUNDATION PLAN AT ESCALATOR PIT
Scale: 1/4"=1'-0"



FOUNDATION PLAN AT LOBBY
Scale: 1/4"=1'-0"
NOTE: 4" SLAB ON GRADE DENOTES 4" SLAB ON GRADE WITH 6#5 W/1.4 W/1.4 W/MF.

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3889 FAX 617-856-0260



CONSULTANT
SIEGEL ASSOCIATES
STRUCTURAL ENGINEERS
850 Walnut Street
Newton Center, MA 02459
617.284.1632 Int
617.244.1732 Fax
www.siegelassociates.com

PROJECT
**ADDITION TO
57 JFK ST**
57 JFK STREET
CAMBRIDGE, MA

PREPARED FOR
CRIMSON GALERIA, LP
166 BEACON ST
BROOKLINE, MA 02446

DRAWING TITLE
**FOUNDATION
PLAN**

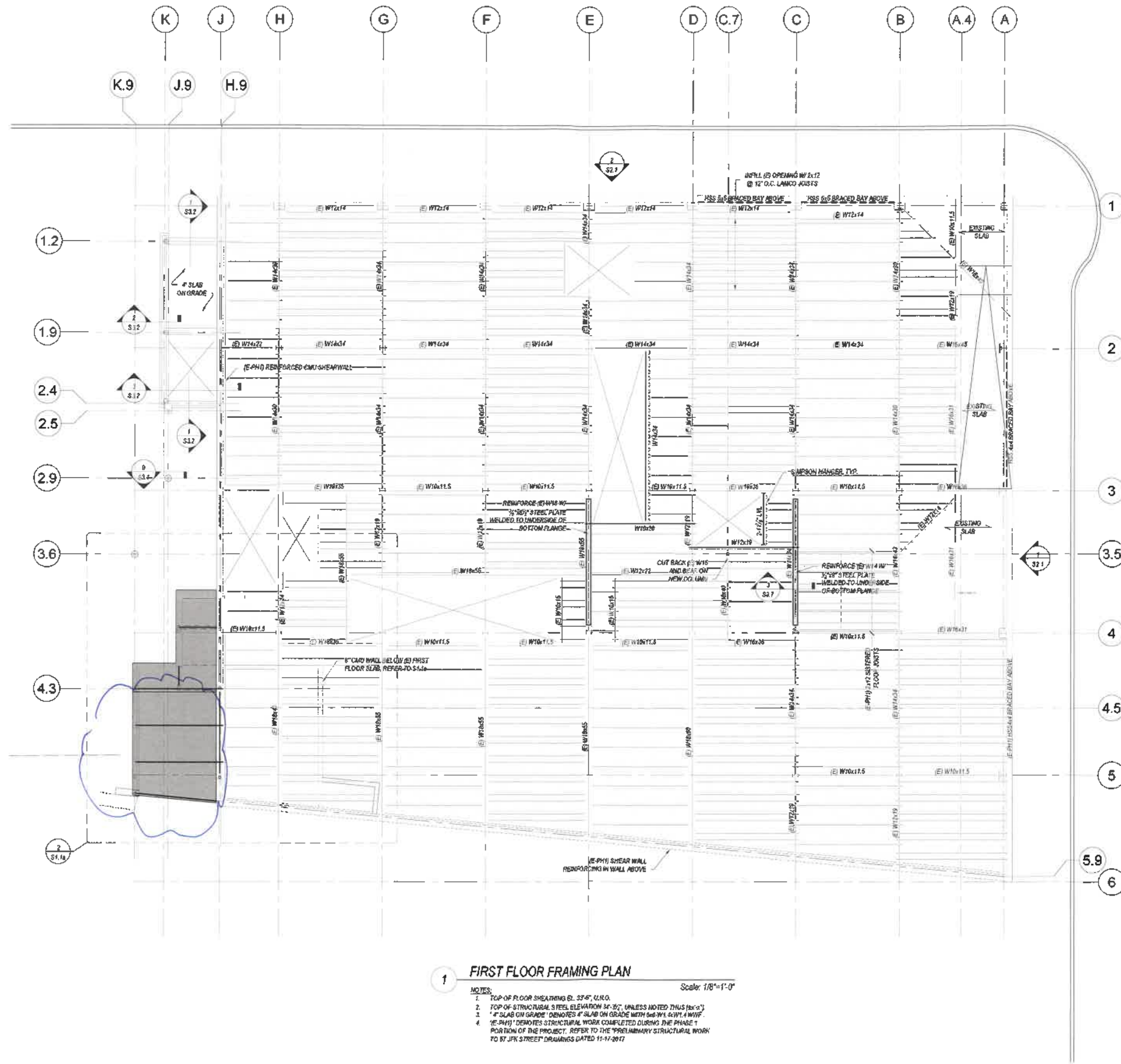
SCALE AS NOTED

REVISION / ISSUE	DATE
PHASE 2 RE-PERMIT	12 FEB 2020
PHASE 2 CD SET	27 JUL 2018
PHASE 2 PERMIT	21 DEC 2017
REV PARTIAL PERMIT	8 DEC 2017
PARTIAL PERMIT	8 SEPT 2016
PRICING SET	23 FEB 2016

DRAWN BY: AJO
REVIEWED BY:

SHEET
S1.0





PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
268 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989 FAX 617-858-0280



CONSULTANT
SIEGEL ASSOCIATES
STRUCTURAL ENGINEERS
860 Walnut Street
Newton, MA 02459
617-244-1612 tel
617-244-1732 fax
www.siegelassociates.com

PROJECT
**ADDITION TO
57 JFK ST**
57 JFK STREET
CAMBRIDGE, MA

PREPARED FOR
CRIMSON GALERIA, LP

166 BEACON ST
BROOKLINE, MA 02446

DRAWING TITLE
**FOUNDATION
AND FIRST
FLOOR
FRAMING PLAN
DETAILS**

SCALE AS NOTED

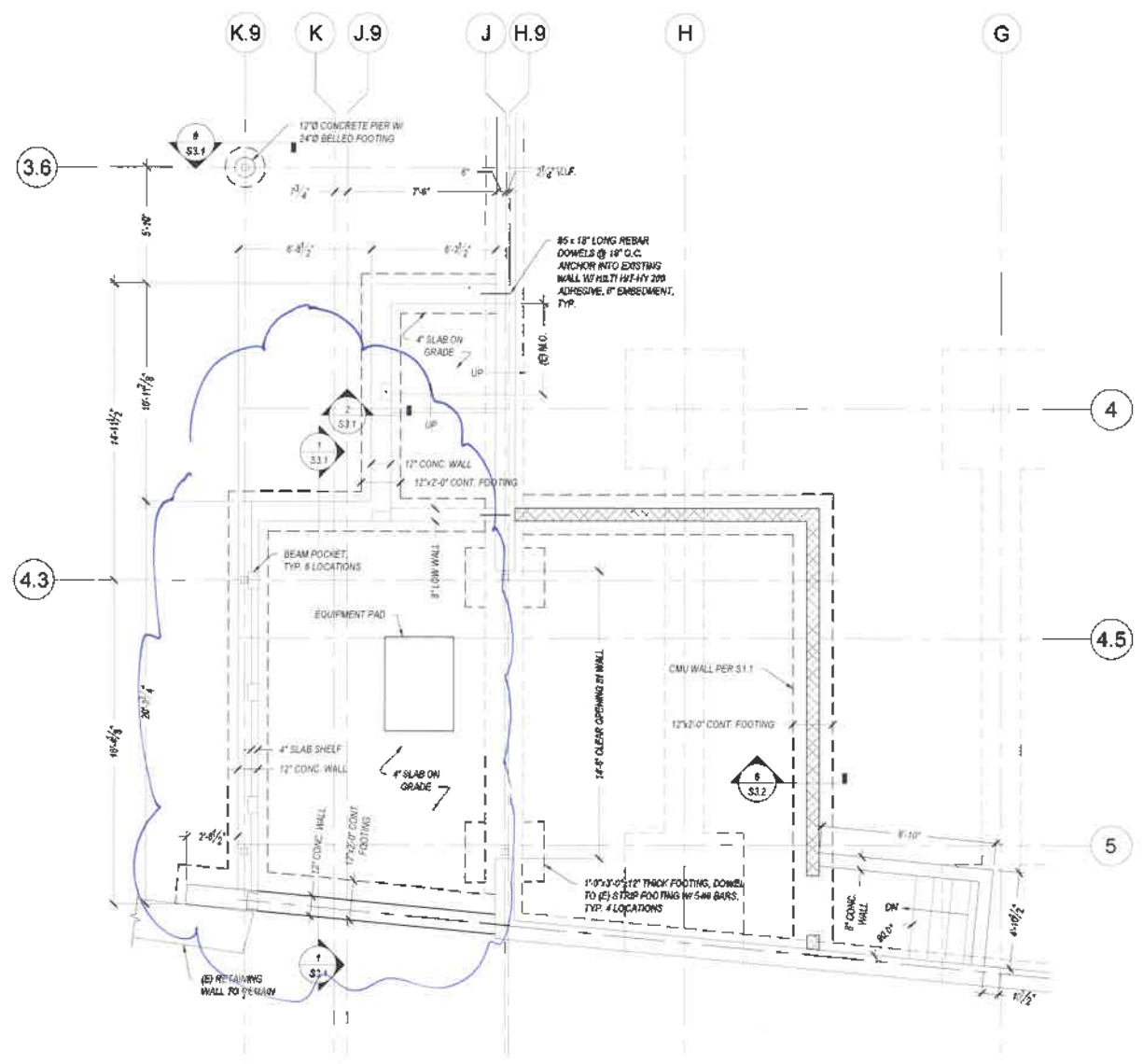
REVISION / ISSUE	DATE
PHASE 2 RE-PERMIT	12 FEB 2020
PHASE 2 CD SET	27 JUL 2018
PHASE 2 PERMIT	21 DEC 2017
REV PARTIAL PERMIT	8 DEC 2017
PARTIAL PERMIT	9 SEPT 2016
PRICING SET	23 FEB 2016

DRAWN BY
AJO

REVIEWED BY

SHEET

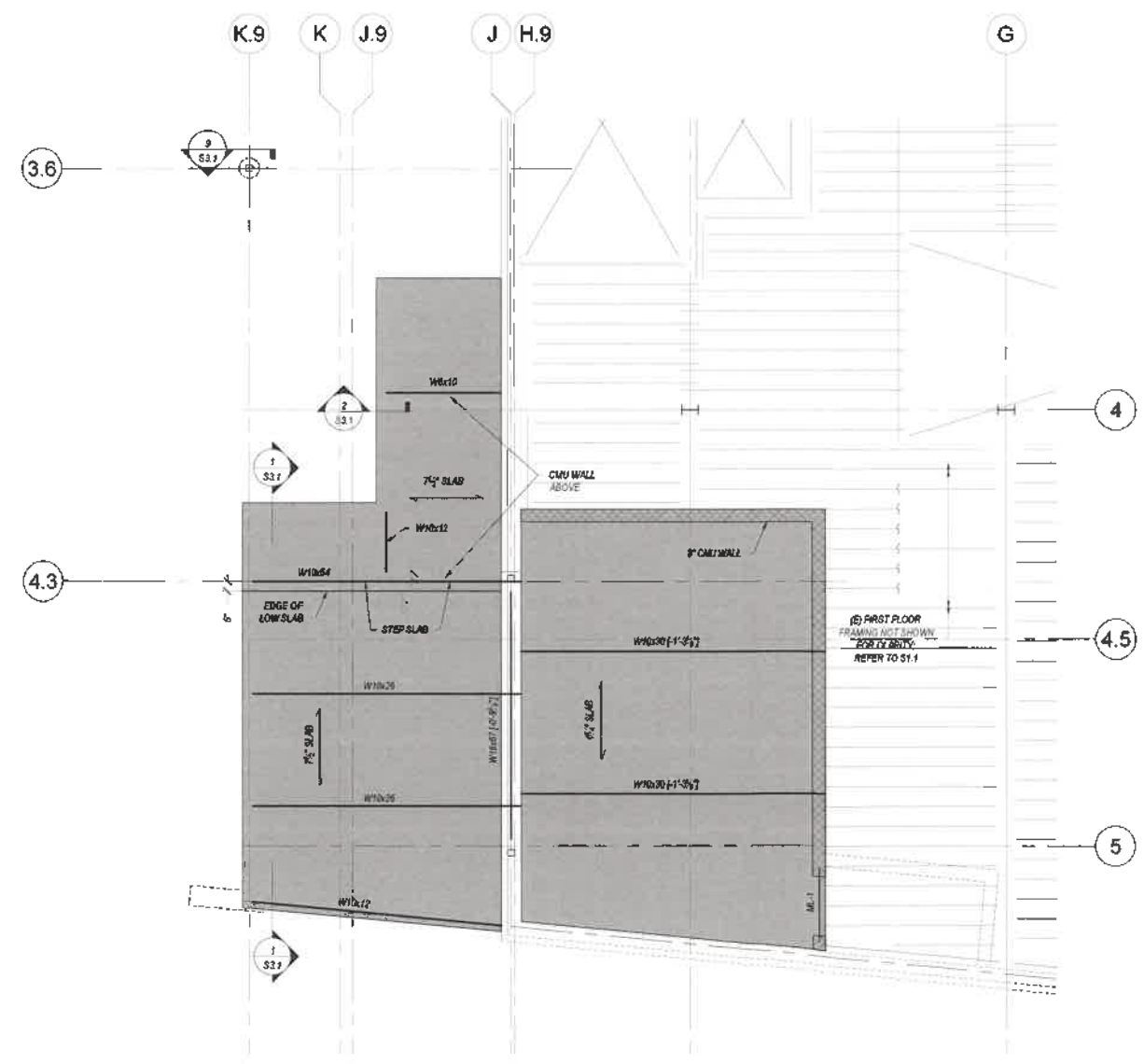
S1.1a



1 FOUNDATION PLAN AT ELECTRICAL ROOM

Scale: 1/4"=1'-0"

- NOTES:
1. "4\"/>



2 FIRST FLOOR FRAMING PLAN AT TRANSFORMER PLATFORM

Scale: 1/4"=1'-0"

- NOTES:
1. TOP OF FLOOR SHEATHING EL. 33'-4", U.N.O.
2. --- INDICATES METAL DECK SPAN DIRECTION
3. "8 1/2\"/>

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
250 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989 FAX 617-868-0280

SEAL



CONSULTANT

SIEGEL ASSOCIATES
STRUCTURAL ENGINEERS
850 Walnut Street
Newton Centre, MA 02459
617.244.1612 PH
617.244.1782 FAX
www.siegelassociates.com

PROJECT

**ADDITION TO
57 JFK ST**

57 JFK STREET
CAMBRIDGE, MA

PREPARED FOR

CRIMSON GALERIA, LP

166 BEACON ST
BROOKLINE, MA 02446

DRAWING TITLE

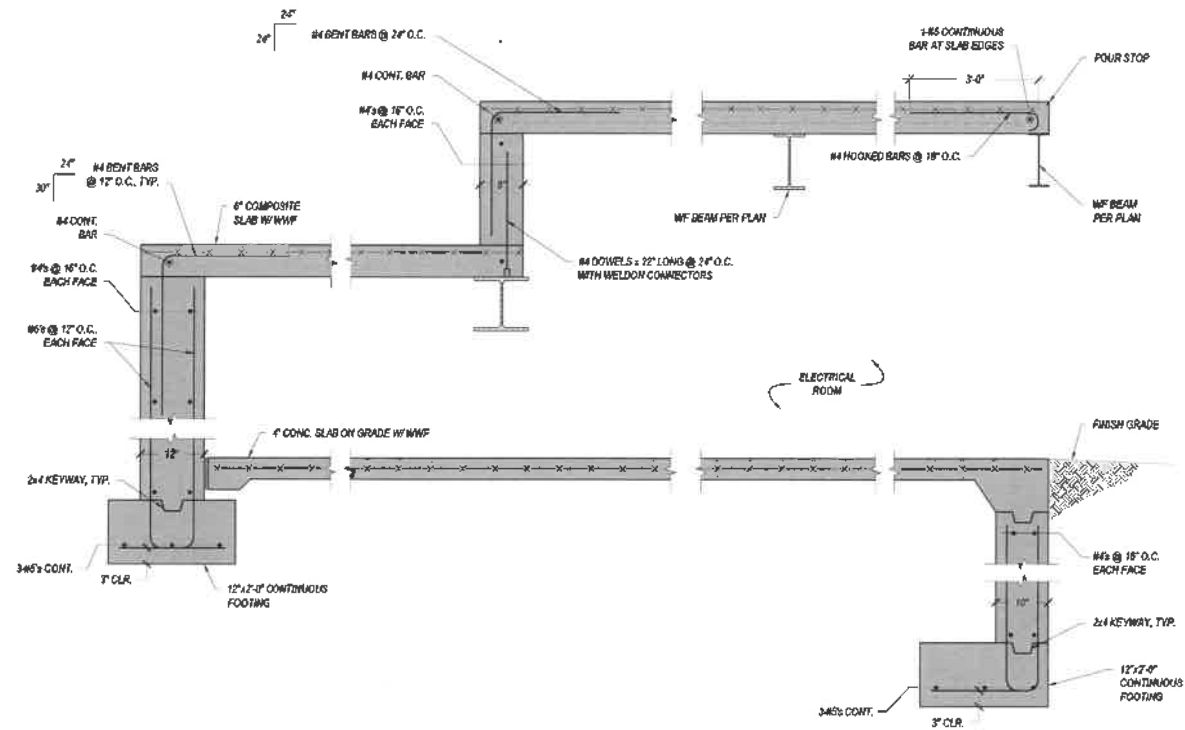
**FOUNDATION
DETAILS**

SCALE AS NOTED

REVISION / ISSUE	DATE
PHASE 2 RE-PERMIT	12 FEB 2020
PHASE 2 CD SET	27 JUL 2018
PHASE 2 PERMIT	21 DEC 2017
REV PARTIAL PERMIT	8 DEC 2017
PARTIAL PERMIT	8 SEPT 2016
PRICING SET	23 FEB 2016
DRAWN BY AJC	REVIEWED BY

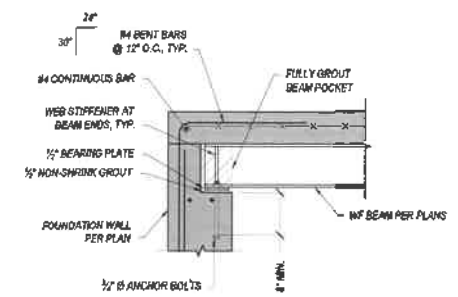
SHEET

S3.1



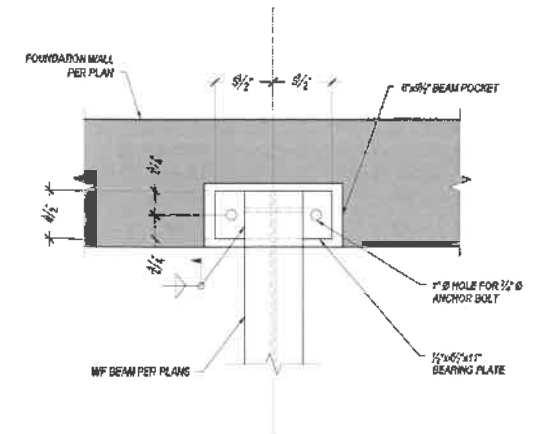
1 FOUNDATION SECTION

Scale: 3/4" = 1'-0"



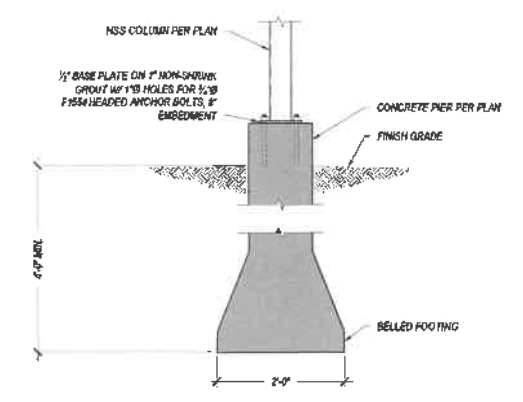
2 BEAM POCKET SECTION

Scale: 3/4" = 1'-0"



8 BEAM POCKET DETAIL

Scale: 1 1/2" = 1'-0"



9 ISOLATED PIER ON BELLED FOOTING DETAIL

Scale: 3/4" = 1'-0"