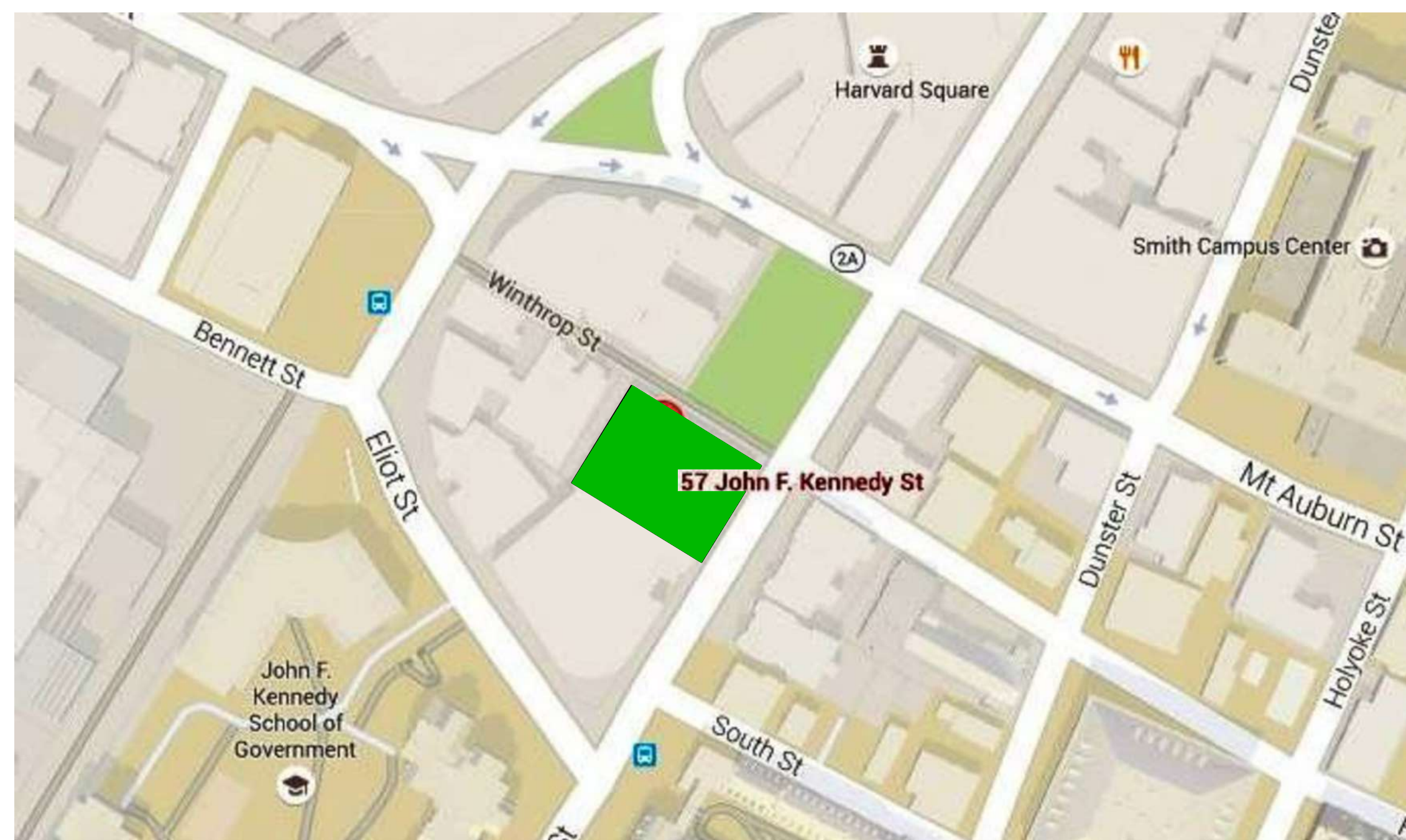


ADDITION TO 57 JOHN F. KENNEDY ST. CAMBRIDGE, MA 02138



JFK ST ELEVATION



LOCUS MAP 57 JOHN F. KENNEDY ST, CAMBRIDGE, MA



PHASE 2
THESE PHASE 2 PERMIT DRAWINGS
SHALL SERVE AS THE FINAL PHASE
FOR THE COMPLETE PROJECT.

PHASE 2 RE-PERMIT SET
12 FEBRUARY 2020

LIST OF DRAWINGS	PRICING SET 23 FEB 2016	PARTIAL PERMIT SET 8 DEC 2017	PHASE 2 PERMIT SET 21 DEC 2017	PHASE 2 CD SET 27 JUL 2018	RE-PERMIT SET 12 FEB 2020
GENERAL					
T1 COVER SHEET	X	X	X	X	X
11 EXISTING CONDITIONS PLOT PLAN	X		X	X	X
Z1.1 ZONING COMPLIANCE	X		X	X	X
G1.0 GENERAL NOTES, ABBREVIATIONS, AND KEY SYMBOLS	X		X	X	X
G1.1 CODE ANALYSIS AND LIFE SAFETY	X		X	X	X
G1.2 CODE ANALYSIS AND LIFE SAFETY	X		X	X	X
G1.3 PARTITION TYPES, FIRE RATED DETAILS	X	X	X	X	X
G1.4 FIREPROOFING DETAILS	X	X	X	X	X
CIVIL					
C-1 SITE LAYOUT, UTILITIES & DRAINAGE PLAN	X		X	X	X
C-1.1 DRAINAGE PLAN	X		X	X	X
C-2 DETAIL SHEET	X		X	X	X
ARCHITECTURAL					
A1.0 LOWER LEVEL PLAN	X	X	X	X	X
A1.1 FIRST FLOOR PLAN	X	X	X	X	X
A1.2 SECOND FLOOR PLAN	X	X	X	X	X
A1.3a INTERSTITIAL FLOOR PLAN	X		X	X	X
A1.3b THIRD FLOOR PLAN	X		X	X	X
A1.4 FOURTH FLOOR PLAN	X		X	X	X
A1.5 MEZZANINE FLOOR PLAN	X		X	X	X
A1.6 ROOF PLAN	X		X	X	X
A1.7 LOWER LEVEL RCP	X		X	X	X
A1.8 FIRST FLOOR RCP	X		X	X	X
A1.9 SECOND FLOOR RCP	X		X	X	X
A1.10 THIRD FLOOR RCP	X		X	X	X
A1.11 FOURTH FLOOR RCP	X		X	X	X
A1.12 MEZZANINE FLOOR RCP	X		X	X	X
A2.1 JFK ST ELEVATION	X		X	X	X
A2.2 WINTHROP ST ELEVATION	X		X	X	X
A2.3 WEST ELEVATION	X		X	X	X
A2.3a SOUTH ELEVATION	X		X	X	X
A2.4 BUILDING SECTION #1	X		X	X	X
A2.5 BUILDING SECTION #2	X		X	X	X
A3.1 WALL SECTIONS	X		X	X	X
A3.2 WALL SECTIONS	X		X	X	X
A3.3 WALL SECTIONS	X		X	X	X
A3.4 WALL SECTIONS	X		X	X	X
A3.5 WALL SECTIONS	X		X	X	X
A3.6 WALL SECTION	X		X	X	X
A4.1a PLAN DETAILS	X		X	X	X
A4.1b PLAN DETAILS	X		X	X	X
A4.2 SECTION DETAILS	X		X	X	X
A4.3 SECTION DETAILS	X		X	X	X
A5.1 ELEVATOR #2 PLANS & SECTIONS	X		X	X	X
A5.2 ELEVATOR #3 PLANS & SECTIONS	X		X	X	X
A5.3 STAIR DETAILS	X		X	X	X
A5.4 STAIR #2 PLANS & SECTIONS	X		X	X	X
A5.5 STAIR #3 PLANS & SECTIONS	X		X	X	X
A5.6 STAIR #5 & STAIR #6 PLANS & SECTIONS	X		X	X	X
A7.1 DOOR SCHEDULE & DETAILS	X		X	X	X
A7.2 ROOM FINISH SCHEDULE	X		X	X	X
A7.3 STOREFRONT ELEVATIONS	X		X	X	X
A7.4 STOREFRONT DETAILS	X		X	X	X
A7.5 CURTAIN WALL ELEVATIONS	X		X	X	X
A7.6 CURTAIN WALL DETAILS	X		X	X	X
STRUCTURAL					
S0.1 GENERAL NOTES	X	X	X	X	X
S0.2 MASONRY DETAILS	X		X	X	X
S1.0 FOUNDATION PLAN	X	X	X	X	X
S1.1 FIRST FLOOR FRAMING PLAN	X	X	X	X	X
S1.1a FOUNDATION AND FIRST FLOOR FRAMING PLAN DETAILS	X		X	X	X
S1.2 SECOND FLOOR FRAMING PLAN	X	X	X	X	X
S1.3 EXISTING ROOF FRAMING PLAN	X		X	X	X
S1.4 THIRD FLOOR FRAMING PLAN	X		X	X	X
S1.5 FOURTH FLOOR FRAMING PLAN	X		X	X	X
S1.6 MEZZANINE FLOOR FRAMING PLAN	X		X	X	X
S1.7 ROOF FRAMING PLAN	X	X	X	X	X
S2.1 BRACED FRAME ELEVATIONS	X	X	X	X	X
S2.2 COLUMN SCHEDULE AND BASE PLATE DETAILS	X		X	X	X
S3.1 FOUNDATION DETAILS	X		X	X	X
S3.2 FOUNDATION DETAILS	X		X	X	X
S3.3 FRAMING DETAILS	X		X	X	X
S3.4 SECTIONS	X		X	X	X
S3.5 SECTIONS	X		X	X	X
S3.6 SECTIONS	X		X	X	X
S3.7 SECTIONS	X		X	X	X
MECHANICAL					
H1.0 HVAC FLOOR PLAN	X	X	X	X	X
H1.1 HVAC FLOOR PLAN	X	X	X	X	X
H1.2 HVAC FLOOR PLAN	X	X	X	X	X
H1.3 HVAC ROOF DEMO PLAN	X	X	X	X	X
H1.4 THIRD FLOOR HVAC FLOOR PLAN	X		X	X	X
H1.4a HVAC FLOOR PLAN	X		X	X	X
H1.4b HVAC INTERSTITIAL	X		X	X	X
H1.5 HVAC FLOOR PLAN	X		X	X	X
H1.6 HVAC FLOOR PLAN	X		X	X	X
H1.7 HVAC ROOF	X		X	X	X
H2.0 HVAC NOTES	X		X	X	X
H2.1 HVAC NOTES & DETAILS	X		X	X	X
H2.2 HVAC DETAILS (1)	X		X	X	X
H2.3 HVAC DETAILS (2)	X		X	X	X
H2.4 HVAC DETAILS (3)	X		X	X	X
H2.5 HVAC SCHEDULES & RISERS	X		X	X	X
PLUMBING					
P1.0 PLUMBING FLOOR PLAN	X	X	X	X	X
P1.1 PLUMBING FLOOR PLAN	X	X	X	X	X
P1.2 PLUMBING FLOOR PLAN	X	X	X	X	X
P1.3 PLUMBING FLOOR PLAN	X		X	X	X
P1.4 PLUMBING FLOOR PLAN	X		X	X	X
P1.5 PLUMBING PLAN	X		X	X	X
P1.6 PLUMBING PLAN	X		X	X	X
P1.7 PLUMBING PLAN	X		X	X	X
P1.8 PLUMBING DEMO PLAN	X		X	X	X
P2.0 PLUMBING SCHEDULES, DETAILS & NOTES	X		X	X	X
FIRE PROTECTION					
FP1.0 FIRE PROTECTION FLOOR PLAN	X	X	X	X	X
FP1.1 FIRE PROTECTION FLOOR PLAN	X	X	X	X	X
FP1.2 FIRE PROTECTION FLOOR PLAN	X	X	X	X	X
FP1.3 FIRE PROTECTION INTERSTITIAL PLAN	X		X	X	X
FP1.4 FIRE PROTECTION FLOOR PLAN	X		X	X	X
FP1.5 FIRE PROTECTION FLOOR PLAN	X		X	X	X
FP1.6 FIRE PROTECTION FLOOR PLAN	X		X	X	X
FP2.0 FIRE PROTECTION DETAILS	X		X	X	X
ELECTRICAL AND FIRE ALARM					
E0.0 ELECTRICAL SITE PLAN	X		X	X	X
E1.0 ELECTRICAL LOWER LVL PLAN	X	X	X	X	X
E1.1 ELECTRICAL FIRST FLOOR PLAN	X	X	X	X	X
E1.2 ELECTRICAL SECOND FLOOR PLAN	X		X	X	X
E1.3 ELECTRICAL THIRD FLOOR PLAN	X	X	X	X	X
E1.4 ELECTRICAL FOURTH FLOOR PLAN	X	X	X	X	X
E1.5 ELECTRICAL MEZZANINE FLOOR PLAN	X		X	X	X
E1.6 ROOF ELECTRICAL PLAN	X		X	X	X
E2.0 ELECTRICAL DETAILS 1	X		X	X	X
E2.1 ELECTRICAL RISERS 1	X		X	X	X
FA1.0 FIRE ALARM LOWER LVL FLOOR PLAN	X		X	X	X
FA1.1 FIRE ALARM FIRST FLOOR PLAN	X		X	X	X
FA1.2 FIRE ALARM SECOND FLOOR PLAN	X		X	X	X
FA1.3 FIRE ALARM THIRD FLOOR PLAN	X		X	X	X
FA1.4 FIRE ALARM FOURTH FLOOR PLAN	X		X	X	X
FA1.5 FIRE ALARM MEZZANINE FLOOR PLAN	X		X	X	X
FA1.6 ROOF FIRE ALARM PLAN	X		X	X	X
FA2.0 FIRE ALARM NOTES & DIAGRAMS	X		X	X	X

PREPARED BY:

ARCHITECT

PETER QUINN ARCHITECTS LLC
259 ELM ST, SUITE 301
SOMERVILLE, MA 02144
PH (617) 354.3989

CIVIL ENGINEER

DESIGN CONSULTANTS INC.
120 MIDDLESEX AVENUE, SUITE 20
SOMERVILLE, MA 02145
PH (617) 776.3350
FAX (617) 776.7710

STRUCTURAL ENGINEER

SIEGAL ASSOCIATES
860 WALNUT STREET
NEWTON CENTRE, MA 02459
PH (617) 244.1612

M/E/P ENGINEER

ZADE ASSOCIATES LLC
140 BEACH STREET
BOSTON, MA 02111
PH (617) 338.4406

CONSULTANT ARCHITECT

RUHL WALKER ARCHITECTS
60 K STREET
BOSTON, MA 02127
PH (617) 268.5479

PETER QUINN ARCHITECTS

ARCHITECTURE PLANNING COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989 FAX 617-868-0280

SEAL

CONSULTANT

PROJECT

ADDITION TO 57 JFK ST

57 JFK STREET
CAMBRIDGE, MA

PREPARED FOR

CRIMSON GALERIA, LP

166 BEACON ST
BROOKLINE, MA 02446

DRAWING TITLE

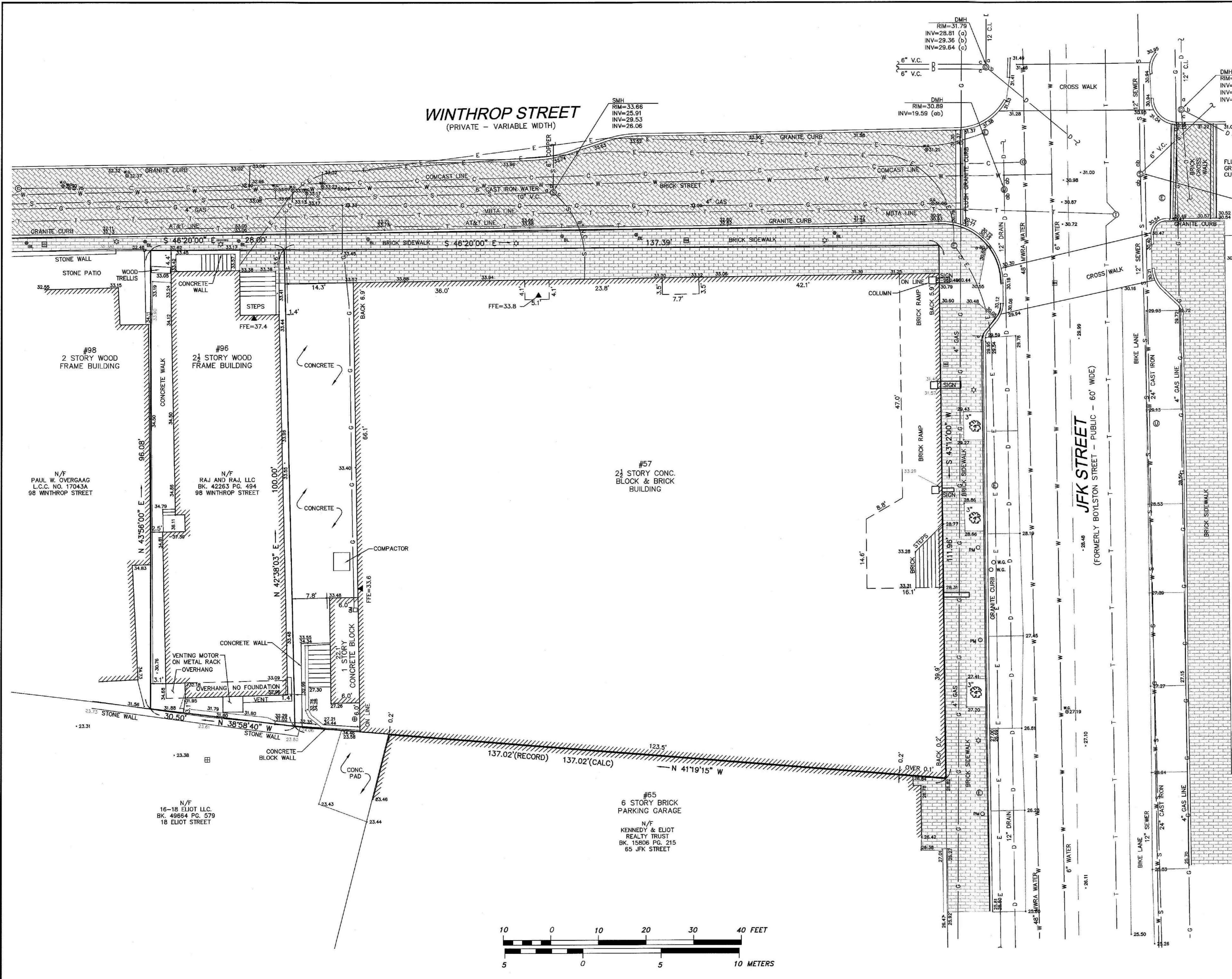
COVER SHEET

SCALE AS NOTED

REVISION / ISSUE	DATE
PHASE 2 RE-PERMIT	12 FEB 2020
PHASE 2 CD SET	27 JUL 2018
PHASE 2 PERMIT	21 DEC 2017
REV PARTIAL PERMIT	8 DEC 2017
PARTIAL PERMIT	8 SEPT 2016
PRICING SET	23 FEB 2016
DRAWN BY WFD/JE	REVIEWED BY PQ

SHEET

T1



- LEGEND**
- ☐ HAND HOLE
 - ☉ LIGHT POLE
 - ☊ GUY POLE
 - ☋ HYDRANT
 - ☌ WATER SHUT OFF
 - ☍ WATER GATE
 - ☎ DRAIN MANHOLE (DMH)
 - ☏ SEWER MANHOLE (SMH)
 - ☐ ELECTRIC MANHOLE
 - ☑ CABLE MANHOLE
 - ☒ UNKNOWN MANHOLE
 - ☓ TELEPHONE MANHOLE
 - ☔ GAS GATE
 - ☕ GAS METER
 - ☖ DECIDUOUS TREE
 - ☗ BOLLARD
 - ☘ SIGN
 - ☙ SEWER LINE
 - ☚ GAS LINE
 - ☛ WATER LINE
 - ☜ TELEPHONE LINE
 - ☝ ELECTRIC LINE
 - ☞ CABLE TV LINE
 - ☟ DRAIN LINE
 - ☠ TERMINUS UNKNOWN
 - ☡ BITUMINOUS
 - ☢ CONC.
 - ☣ REINFORCED CONCRETE LINE
 - ☤ CAST IRON LINE
 - ☥ VITRIFIED CLAY LINE
 - ☦ INVERT
 - ☧ WATER LEVEL
 - ☨ BOTTOM CENTER
 - ☩ NO LINES VISIBLE
 - ☪ FINISHED FLOOR ELEVATION
 - ☫ SPOT GRADE

LOCUS TITLE INFORMATION

57 JFK STREET
 OWNER: CRIMSON GALERIA LIMITED PARTNERSHIP C/O RAJ DHANDA
 DEED REFERENCE: BK. 28804 PG. 484
 PLAN REFERENCE: PL. 1121 OF 1972
 ASSESSORS: PARCEL ID MAP 162, LOT 54

96 WINTHROP STREET
 OWNER: RAJ & RAJ LLC, C/O HOLLAND & KNIGHT LLP
 DEED REFERENCE: BK. 42263 PG. 494
 PLAN REFERENCE: PL. 1121 OF 1972
 ASSESSORS: PARCEL ID MAP 162, LOT 19

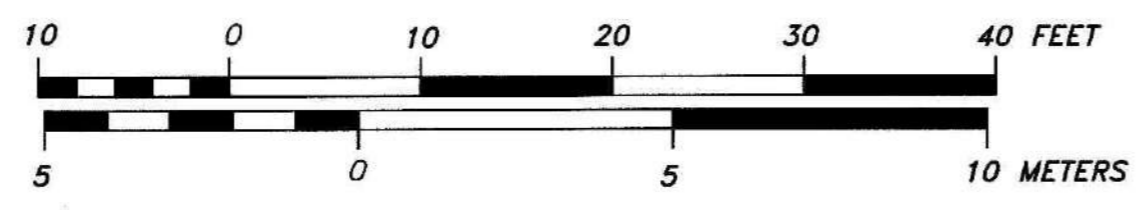
NOTES
 LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY. PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED, CALL DIGSAFE BEFORE EXCAVATION.

ELEVATIONS DEPICTED HEREON ARE ON CITY OF CAMBRIDGE SEWER DATUM.
 ABUTTERS INFORMATION WAS TAKEN FROM CITY OF CAMBRIDGE, MA ASSESSOR'S RECORDS ON SEPTEMBER 11, 2013

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS FOR DESIGN PURPOSES, AND IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN SEPTEMBER 4 & 6, 2013, BY DESIGN CONSULTANTS, INC.



P.L.S. *Everett J. Chandler*
 EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783
 DATE: 11/14/13



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P:\2013 Projects\2013-104 57 JFK Street Cambridge\Drawings\SURVEYING\13-xxx 57 JFK-EX.dwg

Design Consultants, Inc. Consulting Engineers and Surveyors 120 MIDDLESEX AVENUE SOMERVILLE, MA 02145 617-776-3350 68 PLEASANT STREET NEWBURYPORT, MA 01950 978-358-7173	SCALE: HORIZ: 1" = 10' VERT: _____	<table border="1"> <tr><th>NO.</th><th>DATE</th><th>BY</th><th>REVISIONS</th></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	BY	REVISIONS									FIELD: LG CALCS: AR CHECKED: EJC APPROVED: EJC	EXISTING CONDITIONS 57 JFK STREET & 96 WINTHROP STREET	PLAN OF LAND IN CAMBRIDGE, MASSACHUSETTS SURVEYED FOR CRIMSON GALERIA LP	PROJECT NO. 2013-104 DATE: SEPT. 11, 2013 SHEET NO. 1 OF 1
	NO.	DATE	BY	REVISIONS														

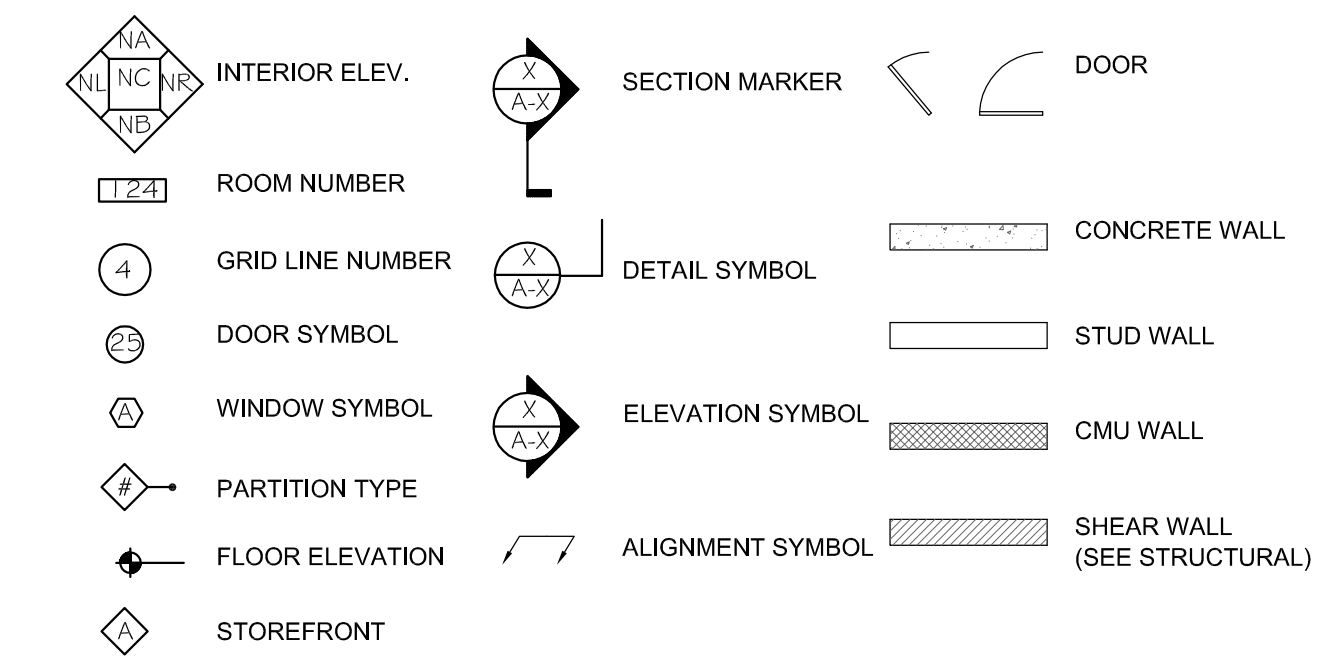
GENERAL NOTES

- ALL WORK PERFORMED, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE AND THE LATEST REQUIREMENTS OF THE FEDERAL BUILDING CODES, ALL LOCAL AND STATE HANDICAP AND FEDERAL ADA REGULATIONS, ANY FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND GENERAL CONDITIONS PER AIA DOCUMENT #A201 AND OWNER/CONTRACTOR AGREEMENT/DOCUMENT #A101 (OR APPLICABLE AGREEMENT).
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE OWNER AND THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THAT ALL EXISTING CONDITIONS AGREE WITH INFORMATION SHOWN ON THE DRAWINGS. ANY CONFLICTS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF ANY WORK. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON HIS BEHALF FOR ANY ADDITIONAL EXPENSES WHICH ARE INCURRED DUE TO NEGLECT OR WHICH COULD HAVE BEEN REASONABLY FORESEEN BY PRIOR INSPECTION OF EXISTING CONDITIONS.
- PRIOR TO COMMENCING WORK, ORDERING OF MATERIALS AND SHOP FABRICATION OF ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS INDICATED ON THE DRAWINGS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
- DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS. FOR CONDITIONS NOT ILLUSTRATED, NOTIFY ARCHITECT FOR CLARIFICATION AND/OR SIMILAR DETAIL.
- WORK WHICH IS OBVIOUSLY REQUIRED TO PROVIDE A COMPLETE AND FINISHED PRODUCT WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE CONTRACT DOCUMENTS, SHALL BE PERFORMED BY THE CONTRACTOR AND BE INCLUDED IN THE BID. CONTRACTOR TO INSPECT AT TIME OF DELIVERY ALL FIXTURES PROVIDED BY OWNER TO INSURE PROPER QUANTITY, THAT ITEMS ARE DEFECT FREE, AND MATCH INVOICE. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMMING, ETC. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNER'S VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPEC. HEREIN. ANY DAMAGED ITEMS OR DISCREPANCIES BETWEEN MATERIAL SPECIFIED AND MATERIALS SHIPPED, SHALL BE REPORTED TO THE ARCHITECT PROMPTLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS, MATERIALS AND FINISHES WITHIN THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED, SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIALS AT THE CONTRACTOR'S OWN COST AND EXPENSE.
- THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK THAT MAY BE INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL MATCH ADJACENT SYSTEMS, MATERIALS AND FINISHES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL EMPLOY ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED BY DULY LICENSED PROFESSIONALS AND AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE, (PLUMBING, ELECTRICAL, ETC), WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGN OFFS.
- THESE DRAWINGS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTOR, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUBCONTRACTORS OF SERVICES IN CEILINGS AND OF ANY REQUIRED BEAM PENETRATIONS WITH ENGINEERS AS NECESSARY.
- CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL MOUNTED FIXTURES, FINISHES AND EQUIPMENT, AND FOR ALL HANGING FIXTURES, BLINDS, ETC.
- CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND/OR RECOMMENDATIONS.
- CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP THE ADJOINING PREMISES, INCLUDING STREETS AND OTHER AREAS ASSIGNED TO, OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS OR THEIR WORK.
- CONTRACTOR SHALL ASSIST WITH DELIVERY AND STORAGE OF OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES PRIOR TO INSTALLATION, AND SAMPLES OF ALL MATERIAL AND COLOR/ FINISHES FOR ARCHITECT'S APPROVAL. CONTRACTOR SHALL PROVIDE TIMELY AND COMPLETE DATA ON ANY DEVIATION/ SUBSTITUTION FROM CONTRACT DOCUMENTS
- CONTRACTOR TO VERIFY ALL FIXTURE COUNTS, AS APPLICABLE TO THEIR CONTRACT, WITH OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLOSEOUT, PRIOR TO FINAL PAYMENT, INCORPORATING ALL STANDARD GUARANTEES AND WARRANTIES AND ORIGINALS OF ALL APPLICABLE CERTIFICATES OF TESTING, INSPECTION, TEMPORARY FINAL CERTIFICATE OF OCCUPANCY, COORDINATE WITH OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL CLEANING OF THE ENTIRE FACILITY PRIOR TO OWNER TAKEOVER DATE. ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING MUST BE WIPED CLEAN AND FREE OF DUST: WALLS, EXPOSED STRUCTURAL MEMBERS, STAIRS AND RAILINGS, CABINETRY, ALL FLOORS MUST BE MOPPED CLEAN.
- CONTRACTOR TO PROVIDE 3 COPIES OF AS-BUILT INFORMATION, OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTEES AND WARRANTIES.

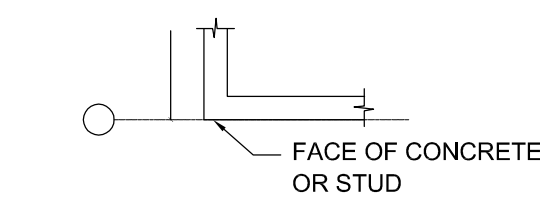
ABBREVIATIONS

A.B.	ANCHOR BOLT	F.E.	FIRE EXTINGUISHER	P	PANTRY
A/C	AIR CONDITIONING	F.O.C.	FACE OF CONCRETE	PEN	PENETRATION
ABV	ABOVE	F.O.F.	FACE OF FINISH	PERIM	PERIMETER
ACOUS	ACOUSTICAL	F.O.M.	FACE OF MASONRY	PKG	PARKING
ADD	ADDENDUM(S)	F.O.S.	FACE OF STUD	PL	PLATE, PROPERTY LINE
ADD'L	ADDITIONAL	F.O.T.	FACE OF TREAD	PLAS	PLASTER, PLASTIC
ADH	ADHERE(ED), ADHESIVE	FAST	FASTEN(ER)	PLF	POUNDS PER LINEAR FOOT
ADJ	ADJUST(ABLE), ADJACENT	FLOOR	FLOOR DRAIN	PLYWD	PLYWOOD
AFF	ABOVE FINISH FLOOR	FIN	FINISH(ED)	PNL	PANEL
ALT	ALTERNATE(S)	F.F.	FINISHED FLOOR	PM	PRESSED METAL
ALUM	ALUMINUM	FLASH	FLASHING	PRCST	PRECAST
AL.TH.	ALUMINUM THRESHOLD	FLR	FLOOR	PREFAB	PREFABRICATED
ANOD	ANODIZED	FLUOR	FLUORESCENT	P5F	POUNDS PER SQUARE FOOT
APPROX	APPROXIMATE	FFRF	FIREPROOF	P5I	POUNDS PER SQUARE INCH
ARCHT	ARCHITECT	FR	FIRE RETARDANT	P.T.	PRESSURE TREATED
ASPH	ASPHALT(IC)	FRM(G)	FRAME(D), FRAMING	PTN	PARTITION
B.O.	BOTTOM OF	FT	FOOT, FEET	PVMT	PAVEMENT
BD	BOARD	FTG	FOOTING	QUART	QUARRY TILE
BIT	BITUMINOUS	FUR	FURRED, FURRING	QTY	QUANTITY
BLDG	BUILDING	G	GAS	R	RISER(S)
BLK	BLOCK	G.C.	GENERAL CONTRACTOR(OR)	RA	RETURN AIR
BLKG	BLOCKING	GI	GALVANIZED IRON	RAD	RADIUS
BLW	BELOW	GA	GAUGE	RBT	RABBET(ED)
BM	BEAM, BENCHMARK	GALV	GALVANIZED	RCP	REINFORCED CONCRETE PIPE
BOT	BOTTOM	GB	GRAB BAR(S)	RD	ROOF DRAIN
BR	BEDROOM	GL	GLASS, GLAZING	REF	REFER(ERENCE)
BRG	BEARING	GRD	GRADE	REFL	REFLECTED
BRK	BRICK	GSKT	GASKET	REFR	REFRIGERATOR
BRKT	BRACKET	GVL	GRAVEL	REG	REGISTER
BRZ	BRONZE	GWB	GYPSON WALLBOARD	REINF	REINFORCED
B5MT	BASEMENT	GYP	GYPSON	REQ	REQUIRED
BTN	BATTEN	H	HIGH, HEIGHT	RESIL	RESILIENT
BTWN	BETWEEN	HB	HOSE BIB	REV	REVISED, REVISION
BUR	BUILT-UP ROOFING	HC	HOLLOW CORE	RFG	ROOFING
BVL	BEVEL(ED)	HD	HEAVY DUTY	RH	RIGHT HAND
CB	CATCH BASIN, CASING BEAD	HDCP	HANDICAPPED	RL	RAILING
CI	CAST IRON	HDR	HEADER	RM	ROOM
CAB	CABINET	HDRL	HANDRAIL	R.O.	ROUGH OPENING
CEM	CEMENT(ITIOUS)	HDWD	HARDWOOD	RWL	RAIN WATER LEADER
CER	CERAMIC	HDWR	HARDWARE	SC	SOLID CORE
CHNL	CHANNEL	HM	HOLLOW METAL	SCHED	SCHEDULE
CL	CLOSET, CENTER LINE, COLUMN LINE	HP	HEAT PUMP	SF	SQUARE FEET
CLG	CEILING	HR	HOUR	SFGL	SAFETY GLASS
CLR	CLEAR	HVAC	HEATING, VENTILATING & AIR CONDITIONING	SHWR	SHOWER
CMU	CONCRETE MASONRY UNIT(S)	HW	HOT WATER	SHT	SHEET(S)
CNTR	COUNTER	HWH	HOT WATER HEATER	SHTG	SHEATHING
CO	CLEAN-OUT	HYD	HYDRANT	SIM	SIMILAR
COL	COLUMN	ID	INSIDE DIAMETER	SLNT	SEALANT
COMP	COMPRESS(ED), (ION)	IN	INCH(ES)	SPEC	SPECIFICATION(S)
CONC	CONCRETE	INCL	INCLUDE(D), INCLUDING	S.P.	STAND PIPE
CON5T	CONSTRUCT(ION)	INSUL	INSULATE(D), INSULATING	SQ	SQUARE
CONT	CONTINUOUS	INT	INTERIOR	SECT	SECTION
CONTR	CONTRACT(OR)	INTERM	INTERMEDIATE	S5TL	STAINLESS STEEL
COOR	COORDINATE	INVERT	INVERT	STD	STANDARD
CORR	CORRIDOR, CORRUGATED	ISO	ISOMETRIC	STL	STEEL
CPR	COPPER	JST	JOIST(S)	STOR	STORAGE
CPT	CARPET(ED)	JT	JOINT(S)	STRUCT	STRUCTURAL
CRS	COURSE(S)	KIT	KITCHEN	SUSP	SUSPENDED
C5MT	CASEMENT	L	LONG, LENGTH	SW	SWITCH
CTSK	COUNTERSINK	LAM	LAMINATE(D)	SYM	SYMMETRICAL
CTR	CENTER	LAV	LAVATORY	T	TREAD
CW	COLD WATER	LBL	LABEL	TC	TRASH COMPACTOR
D	DEEP, DEPTH, DRYER	LF	LINEAR FOOT	T&G	TONGUE & GROOVE
DBL	DOUBLE	LH	LEFT HAND	TB	TOWEL BAR
DEMO	DEMOLISH, DEMOLITION	LL	LIVE LOAD	TBD	TO BE DETERMINED
DEP	DEPRESSED, DEPRESSION	LR	LIVING ROOM	T.O.	TOP OF
DF	DOUG. FIR, DRINKING FOUNTAIN	LT	LIGHT	T.O.C.	TOP OF CURB
DH	DIAMETER	LTL	LINTEL	T.O.CONC.	TOP OF CONCRETE
DIA	DIAGONAL(LY)	LVR	LOUVER	T.O.P.	TOP OF PLATE
DIAG	DIMENSION(S)	M.O.	MASONRY OPENING	T.O.S.	TOP OF STEEL
DIM	DISPOSAL, DISPENSER	MAS	MASONRY	TEL	TELEPHONE
DISP	DEAD LOAD	MAX	MAXIMUM	TEMP	TEMPERED, TEMPORARY
DL	DOWN	MBR	MEMBER	TERM	TERMINATE, TERMINATION
DN	DAMPER	M.C.	MEDICINE CABINET	TH	TOWNHOUSE
DMPFR	DOOR	MECH	MECHANICAL(LY)	THK	THICK
DR	DRAIN	MED	MEDIUM, MEDICINE	TPD	TOILET PAPER DISPENSER
DRN	DETAIL(S)	MEMB	MEMBRANE	THRES	THRESHOLD
DTL	DUMPSTER	MFR	MANUFACTURER	TRNSF	TRANSFORMER
DUMP	DISHWASHER	MH	MANHOLE	TP	TYPICAL
DW	DRAWING(S)	MIN	MINIMUM	U.O.N.	UNLESS OTHERWISE NOTED
DWG	DRAWER	MIRR	MIRROR	VB	VAPOR BARRIER, VINYL BASE
DWR	EXPANSION BOLT	MLD	MOLDING	VCT	VINYL COMPOSITION TILE
E.B.	EACH	MLWK	MILLWORK	VERT	VERTICAL
EA	ELEVATION (HEIGHT)	MR	MOISTURE RESISTANT	VEST	VESTIBULE
ELEV	ELECTRICAL	M.TH.	MARBLE THRESHOLD	V.I.F.	VERIFY IN FIELD
ELEC	ELECTRICAL PANEL	MTL	METAL	VNR	VENEER
EL.PAN.	ELIMINATE	MUL	MULLION	VP	VENT PIPE
ELIM	ELEVATOR	N	NORTH	W	WIDTH, WATER, WASHER
ELV	EMERGENCY	N.I.C.	NOT IN CONTRACT	WJ	WITH
EMER	ENCLOSE, ENCLOSURE	N.T.S.	NOT TO SCALE	WO	WALL OVEN
ENCL	EDGE OF	NOM	NOMINAL	W/O	WITHOUT
E.O.	EQUAL	NON-COMB	NON-COMBUSTIBLE	WC	WATER CLOSET
EQ	EQUIPMENT	O.C.	ON CENTER	WD	WOOD
EQUIP	EXHAUST	OD	OUTSIDE DIMENSION	WDO	WINDOW
EXH	EXISTING	O.F.O.S.	OUTSIDE FACE OF STUDS	WT	WOOD THRESHOLD
EXIST	EXTERIOR	OH	OVERHEAD	WH	WATER HEATER
EXT	FAHRENHEIT	OPNG	OPENING	WP	WATERPROOF
F	FURNISHED BY OTHERS	OPP	OPPOSITE	WWM	WELD WIRE MESH

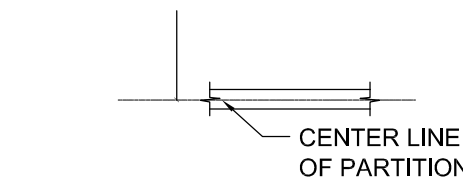
KEY SYMBOLS



TYPICAL EXTERIOR DIMENSIONS



TYPICAL INTERIOR DIMENSIONS

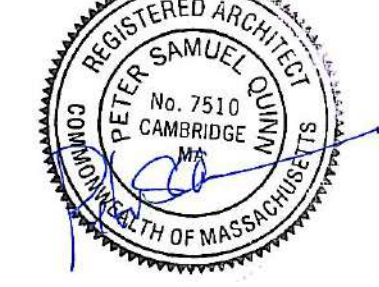


PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989 FAX 617-868-0280

SEAL



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PROJECT

**ADDITION TO
57 JFK ST**

57 JFK STREET
CAMBRIDGE, MA

PREPARED FOR

CRIMSON GALERIA, LP

166 BEACON ST
BROOKLINE, MA 02446

DRAWING TITLE

**GEN. NOTES
ABBREVIATIONS
KEY SYMBOLS**

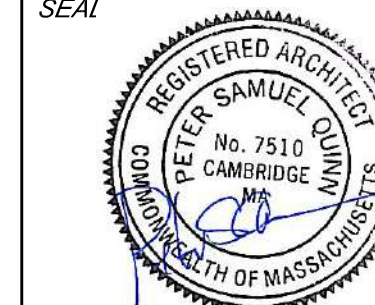
SCALE AS NOTED

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DRAWN BY KVS	REVIEWED BY PQ

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G1.0

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CODE ANALYSIS
AND LIFE SAFETY

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SHEET

G1.1

BUILDING CODE REVIEW

MASSACHUSETTS STATE BUILDING CODE - (IBC 2009 WITH 8TH EDITION MA AMENDMENTS)

TOTAL GROSS FLOOR AREA: 52,199 GSF

USE GROUPS - B, A-2, M - SEPARATED AT 4TH FLOOR

ENERGY CODES

SEE BELOW

TABLE 503:

NO.	FLOOR	USE GROUP	TYPE OF CONSTN	AREA S.F.	STORIES/HEIGHT	PROVIDED G.S.F.	STORIES/HEIGHT	REMARKS
0	BASEMENT	M S	RETAIL, INC COMMON AND STOR VAULT	37,500 / 28,500	3/75**	11,920 / 800	1/12'-0" / 1/12'-0"	* AREA INCREASE PER 780 CMR 606.3 DUE TO AUTOMATIC SPRINKLER SYSTEM PER NFPA 13.
1	FIRST	M A2	RETAIL, INC COMMON AREA	37,500 / 28,500	3/75**	4,815 / 6,299	1/12'-0" / 1/12'-0"	** HEIGHT & STORY INCREASE PER 780 CMR 504.2 DUE TO AUTOMATIC SPRINKLER SYSTEM PER NFPA 13
2	SECOND	A2 M	ASSEMBLY (RESTAURANT) COMMON AREA, ACCESSORY	28,500 / 37,500	3/75**	9,513 / 1,700	1/15'-0" / 1/12'-0"	*** HIGH POINT OF MAIN ROOF ABOVE GRADE PLANE
3	THIRD	B	BUSINESS (OFFICES)	57,000	4/75**	6,138 / 2,100	1/10'-0"	*** ACCESSORY USE - USE GROUP R-2 PER 780 CMR 303.1 EXC 2
4	FOURTH	B	BUSINESS (OFFICES)	57,000	4/75**	6,138 / 2,100	1/10'-0"	
			TOTAL	52,199	4/57**			

FIRE RESISTANCE OF BUILDING ELEMENTS:

BUILDING ELEMENT	TYPE OF CONSTRUCTION		FIRE RATING FILE U# (SEE PARTITION TYPES)
	REQUIRED	PROVIDED	
1. PRIMARY STRUCTURAL FRAME (TABLE 601) (AS NOTED BELOW)	0HR	0HR, 1HR, 2HR	
2. BEARING WALLS - (BASED ON CONSTRUCTION TYPE) EXTERIOR - (TABLE 601)	2HR	2HR	
	0HR	0HR	(SEE 7.8.9.10)
3. EXTERIOR WALLS - (BASED ON SEPARATION DISTANCE) EXTERIOR - (704.10, 705.5, TABLE 602)	10' or less	1 HR (BOTH SIDES)	1 HR (BOTH SIDES)
	>10' < 30'	1 HR (FROM INSIDE)	N/A
	>30'	0 HR	0 HR (SEE 10)
4. INTERIOR NON-BEARING WALLS AND PARTITIONS - (TABLE 601)	0HR	0HR	N/A
		0HR	(SEE 6.7.8.9)
5. FLOOR CONSTRUCTION PER TABLE 601:	0HR	0HR	
6. FLOOR CONSTRUCTION FOR USE SEPARATION @ 4TH FLOOR INCLUDE SUPPORTING MEMBERS	1HR	1HR	U570
7. ROOF CONSTRUCTION AND SECONDARY MEMBERS (TABLE 601)	0HR	0HR	
8. SHAFT ENCLOSURES MSBC SEC 708.4	4 OR MORE STORIES	2HR	U415 (ELEVATORS, SHAFTS), U419 (STAIRS)
	LESS THAN 4 STORIES	1HR	N/A
	@ 2HR SHAFT	90 MIN	90 MIN
	@ 1 HR SHAFT	60 MIN	60 MIN
9. CORRIDORS: (MSBC 709.3, EXI: TABLE 1018.1) EXCEPT AS RECD ELSEWHERE	0HR	0HR	
DOORS: (TABLE 715.4): AT 1 HR CORRIDORS: 20 MIN FR SMOKE/DRIFT BARRIER RECD.	20 MIN	20 MIN	
10. OPENINGS IN EXTERIOR WALL MSBC TABLE 705.6 (unprotected, sprinklered)	SEPARATION DISTANCE:		
	5'-10"	25%	-25%
	10'-15"	45%	-45%
	15'-20"	75%	N/A
	>20"	NO LIMIT	N/A

EGRESS CALCULATIONS:

OCCUPANT LOAD: TABLE 1004.1.1:

#	FLOOR	USE GROUP	FLOOR AREA IN SQ. FT.	OCCUPANT PER OCCUPANT	FLOOR
0	RETAIL	M	7,930 / 30 GROSS	264	
	STORAGE AND UTILITY	M	2,000 / 300 GROSS	7	
	VAULT	S	800 / 300 NET	3	
	TOTAL			274	
1	RETAIL	M	1974 / 30 GROSS	66	
	RESTAURANT DINING	A2	@ / 15 NET	186	
	KITCHEN / RESTROOMS	A2	@ / 200 GROSS	20	
	TOTAL			372	
2	RESTAURANT SEATING	A2	@ / 15 NET	208	
	KITCHEN / STOR / OFF ETC	A2	@ / 200 GROSS	26	
	FITNESS CLUB	A2	@ / 50 GROSS	71	
	TOTAL			305	
3	OFFICES-ADDITION	B	8,690 / 100 GROSS	87	
4	OFFICES-ADDITION	B	6,175 / 100 GROSS	62	
	MEZZANINE	B	2,100 / 100 GROSS	21	
	TOTAL			1020	

STAIR WIDTH
1004.4: OCCUPANT LOAD = GREATEST LOAD PER FLOOR
1005.1: WIDTH IN INCHES STAIRS 0.3/PERSON AT ADDITION
1005.1, EX.3: WIDTH IN INCHES STAIRS 0.2/PERSON AT EXIST
1009.1: MIN STAIR WIDTH 44"
EX.1: MIN STAIR WIDTH 36" FOR OCCUPANT LOAD < 50
* FOR LOADS AT EXITS, SEE ANALYSIS BELOW

#	STAIR	EGRESS CAPACITY	WIDTH PROVIDED
1	STAIR #1-FROM 2ND FLR	0.2 X 123 = 25"	44"
2	STAIR #2-FROM 2ND FLR	0.2 X 123 = 31"	54"
2	STAIR #3-FROM 2ND FLR	0.2 X 127 = 13.0"	44"
3	STAIR #4	0.3 X 83 = 25"	44"
4	STAIR #5	0.3 X 182 = 5"	44"

OTHER EGRESS COMPONENTS
1005.1: WIDTH IN INCHES DOORS 0.20 / PERSON @ ADDITION
1005.1, EX.3: WIDTH IN INCHES DOORS 0.15 / PERSON @ EXIST
*FOR LOADS AT EXITS, SEE ANALYSIS BELOW

#	DOOR	EGRESS CAPACITY	WIDTH PROVIDED
1	EXIT DOOR FROM LARGEST OCC LOAD (2ND FLR)	0.15 X 123 = 19"	36"
2	EXIT DOORS AT GRADE, FIRST FLOOR LOADS:	0.15 X 81 = 12.5"	42" @ STR 1/ 72" @ MAIN ENTRANCE
3	CONVERGING FLOORS (BASEMENT AND 2ND) AT STAIR 1 EXIT DOOR AT GRADE:	BASEMENT: 94 2ND FLR: 123 94+123 = 217 0.15 X 217 = 33"	42"

CORRIDOR WIDTH:
1018.2: AREAS SERVING OCC > 50
EX.2: AREAS SERVING OCC < 50

LOADS AT EXITS:

BASEMENT EXITS:
SHAKE SHACK HAS ONE EXIT TO FIRST FLOOR, LOAD ON THIS FLOOR = 45, SPLIT BETWEEN STAIR 1 AND 2.
MAHARAJA EXIT STAIRS: STAIR 1 AND 2
RT-7 EXITS STAIRS: STAIR 1 AND 3
LOAD ON STAIRS 1 AND 2 IS 1272/134+45+245 SPLIT BET STAIR 1 AND 2. LOAD ON EACH STAIR (1 AND 2) IS 123.

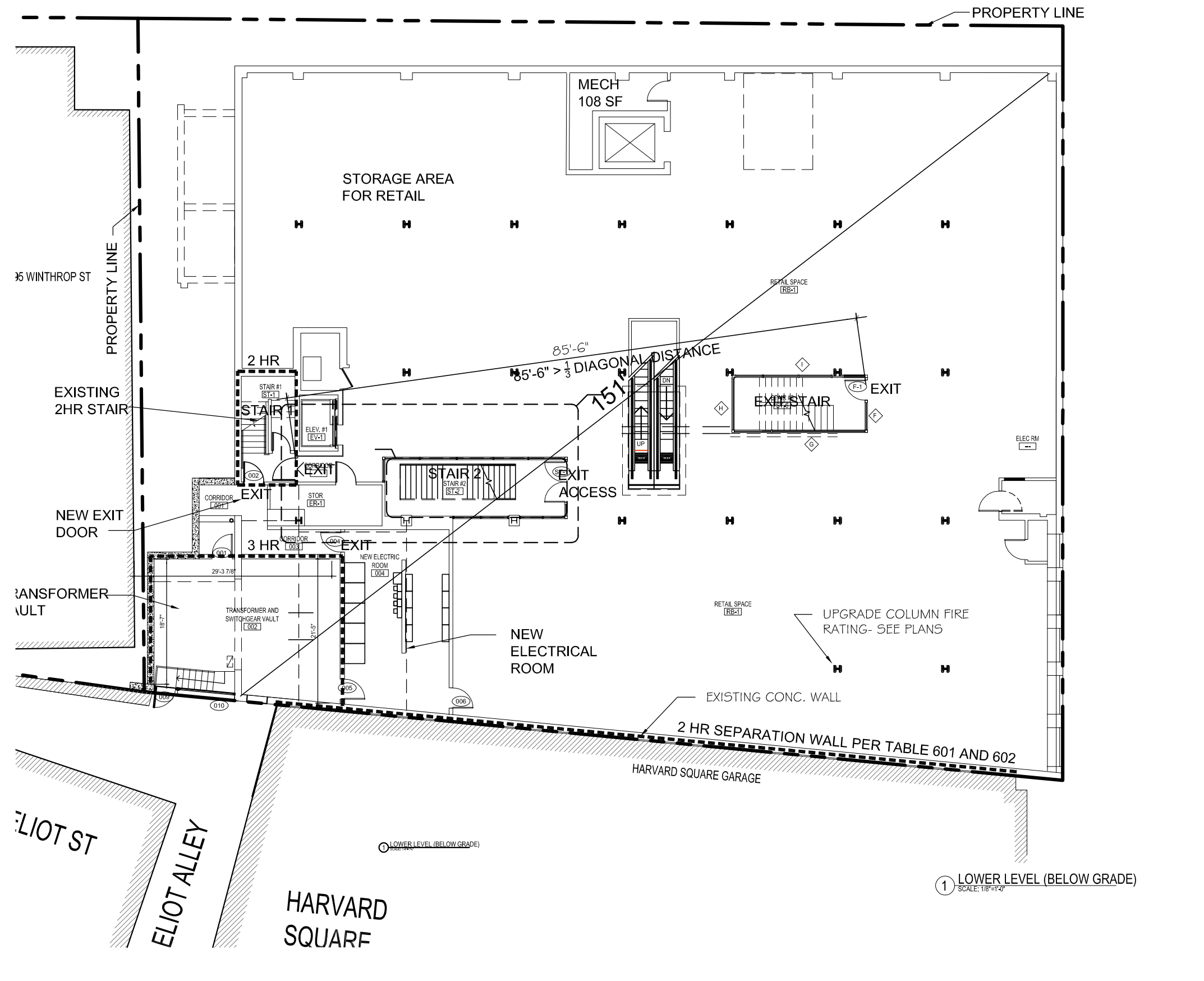
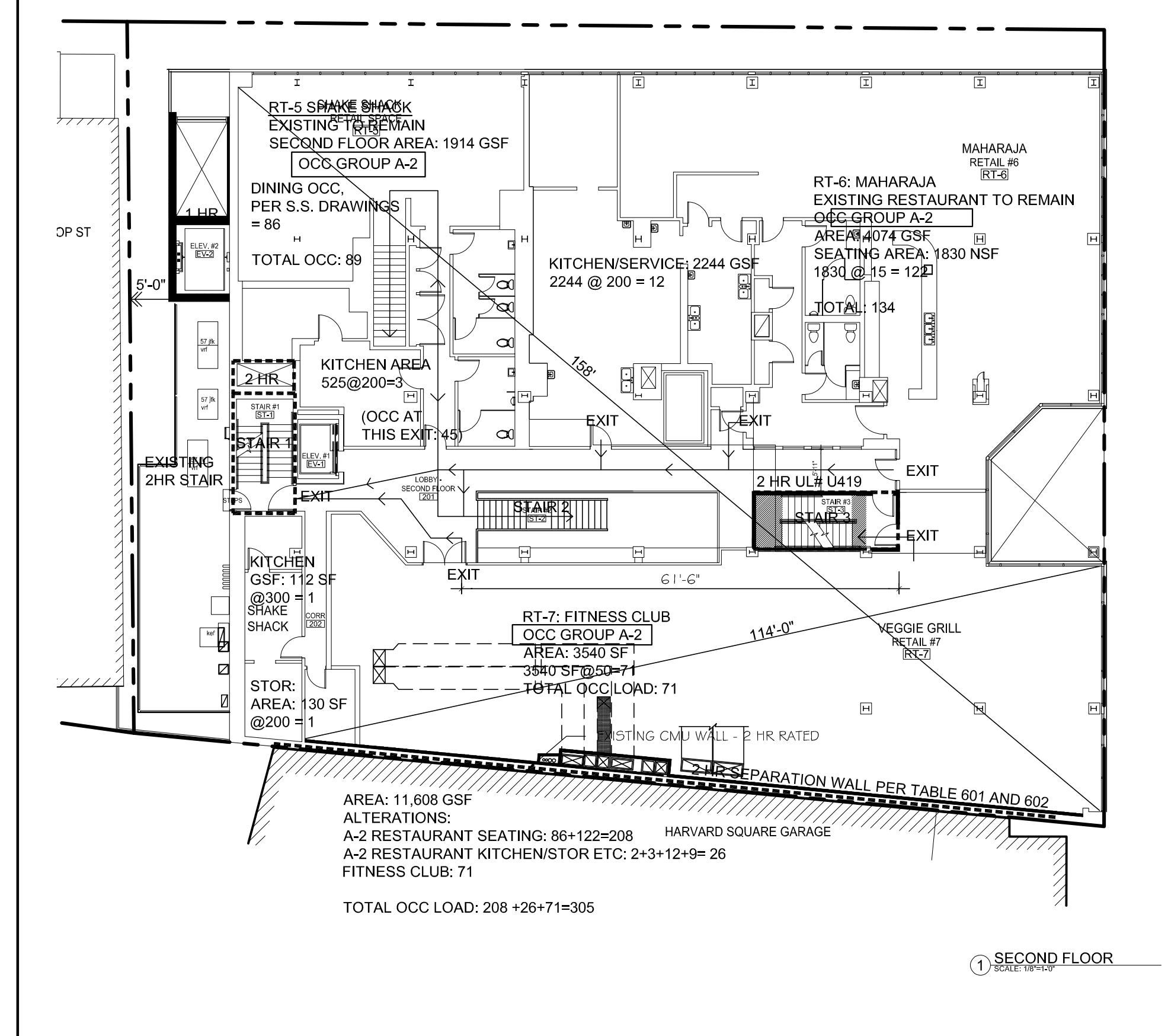
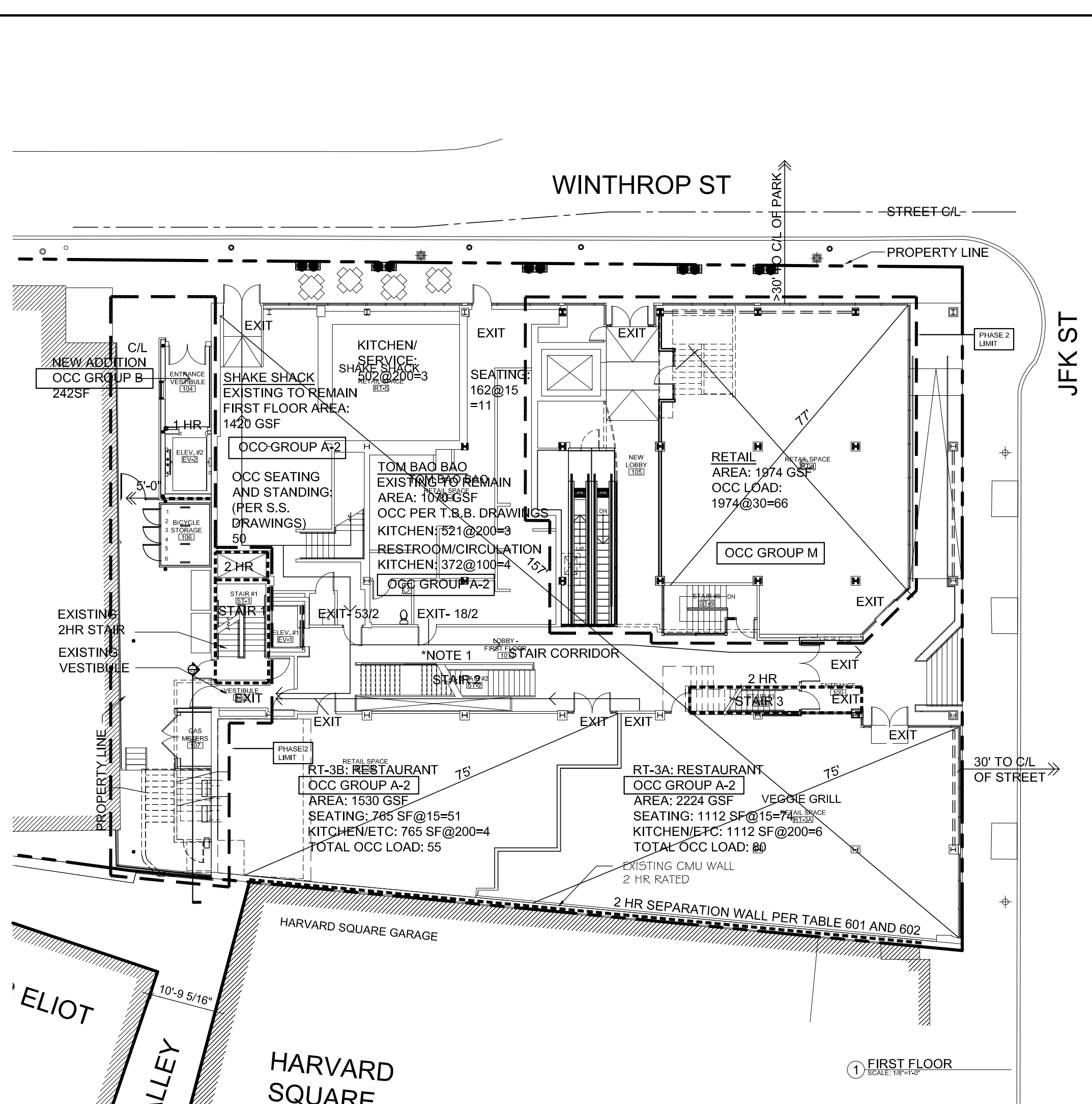
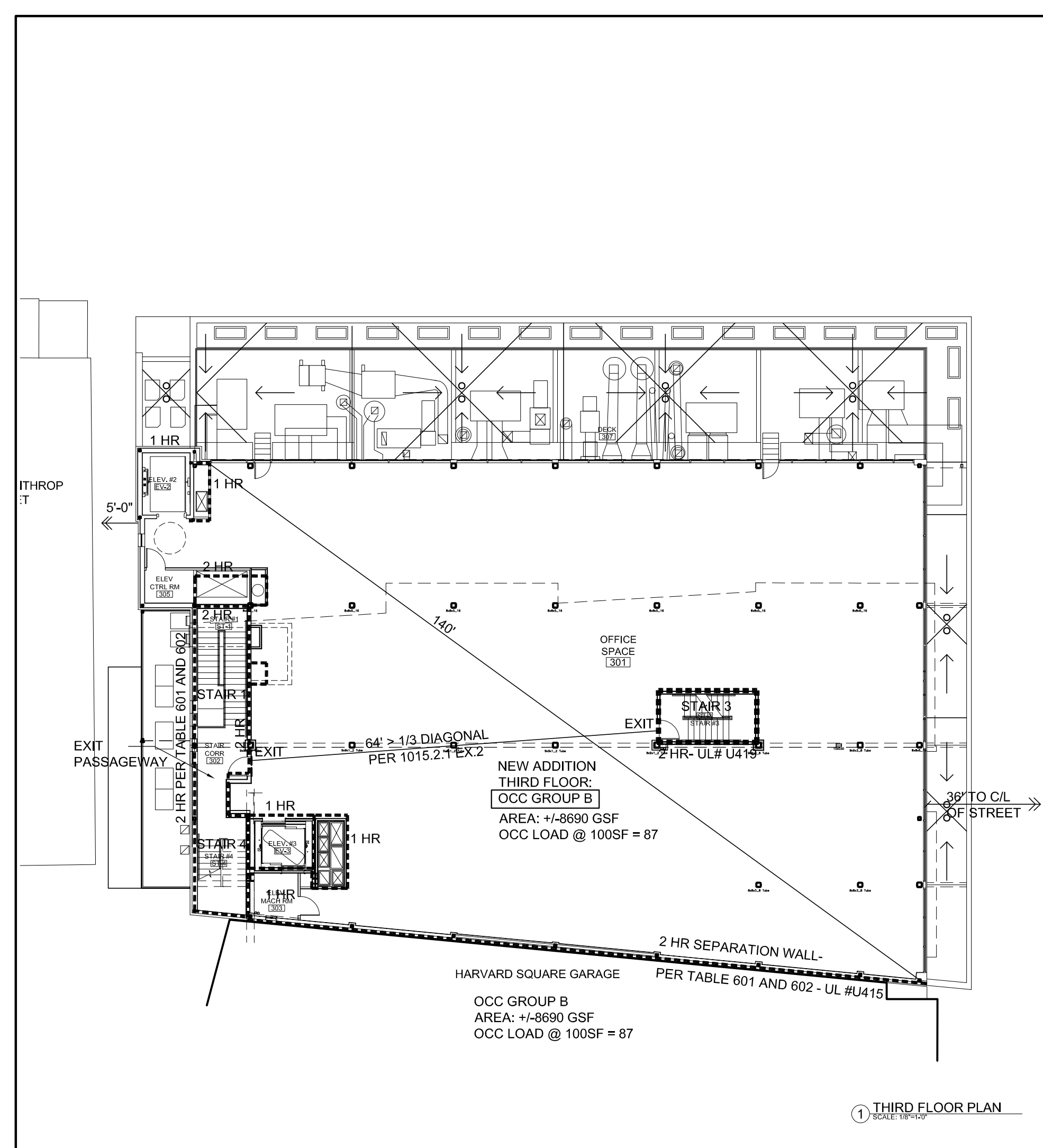
FIRST FLOOR EXITS:
FIRST FLOOR STAPLES HAS ITS OWN EXTERIOR EXITS.
FIRST FLOOR SHAKE SHACK HAS AN EXTERIOR EXIT. SO LOAD FOR SHAKE SHACK BUILDING EXITS IS 532+27.
RT-3A AND RT-3B HAVE TWO EXITS.
SO EXIT LOAD IS 27+80+55 = 162 DIVIDED BET TWO EXITS = 81 EACH EXIT.

SECOND FLOOR EXITS:
SHAKE SHACK HAS ONE EXIT TO FIRST FLOOR, LOAD ON THIS FLOOR = 45, SPLIT BETWEEN STAIR 1 AND 2.
MAHARAJA EXIT STAIRS: STAIR 1 AND 2
RT-7 EXITS STAIRS: STAIR 1 AND 3
LOAD ON STAIRS 1 AND 2 IS 1272/134+45+245 SPLIT BET STAIR 1 AND 2. LOAD ON EACH STAIR (1 AND 2) IS 123.

EXITS	REQUIRED	PROVIDED
EXIT SEPARATION DISTANCE (SECTION 1015.2.1, EXC 2):	MINIMUM 1/2 OF DIAGONAL DIMENSION	> 1/2 DIAGONAL DIMENSION
EXIT ACCESS TRAVEL DISTANCE (SECTION 1016.1, TABLE 1016.1):	250' MAX	< 250'
REQUIRED EXITS FROM EACH FLOOR LEVEL (SECTION 1021, TABLE 1021.1):	2	2+

PER STRETCH ENERGY CODE RENOVATIONS AND ADDITION WILL COMPLY WITH 780 CMR 13.00 WHICH REQUIRES COMPLIANCE W/ IECC SECTIONS C502 AND C503

PRESCRIPTIVE COMPLIANCE METHOD USED FOR BOTH: FROM IECC 2015 TABLE C402.1.3
-WALLS ABOVE GRADE: R-13 + R-7.5d
-ROOFS: R-38 or R-30 C.I.
-FLOORS: R-30



KEY

1 HR FIRE RATED	[Solid line]
2 HR FIRE RATED	[Dashed line]

SEAL



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BROOKLINE, MA 02446

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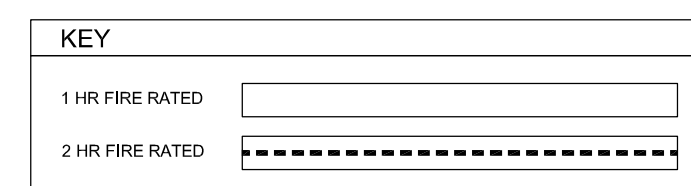
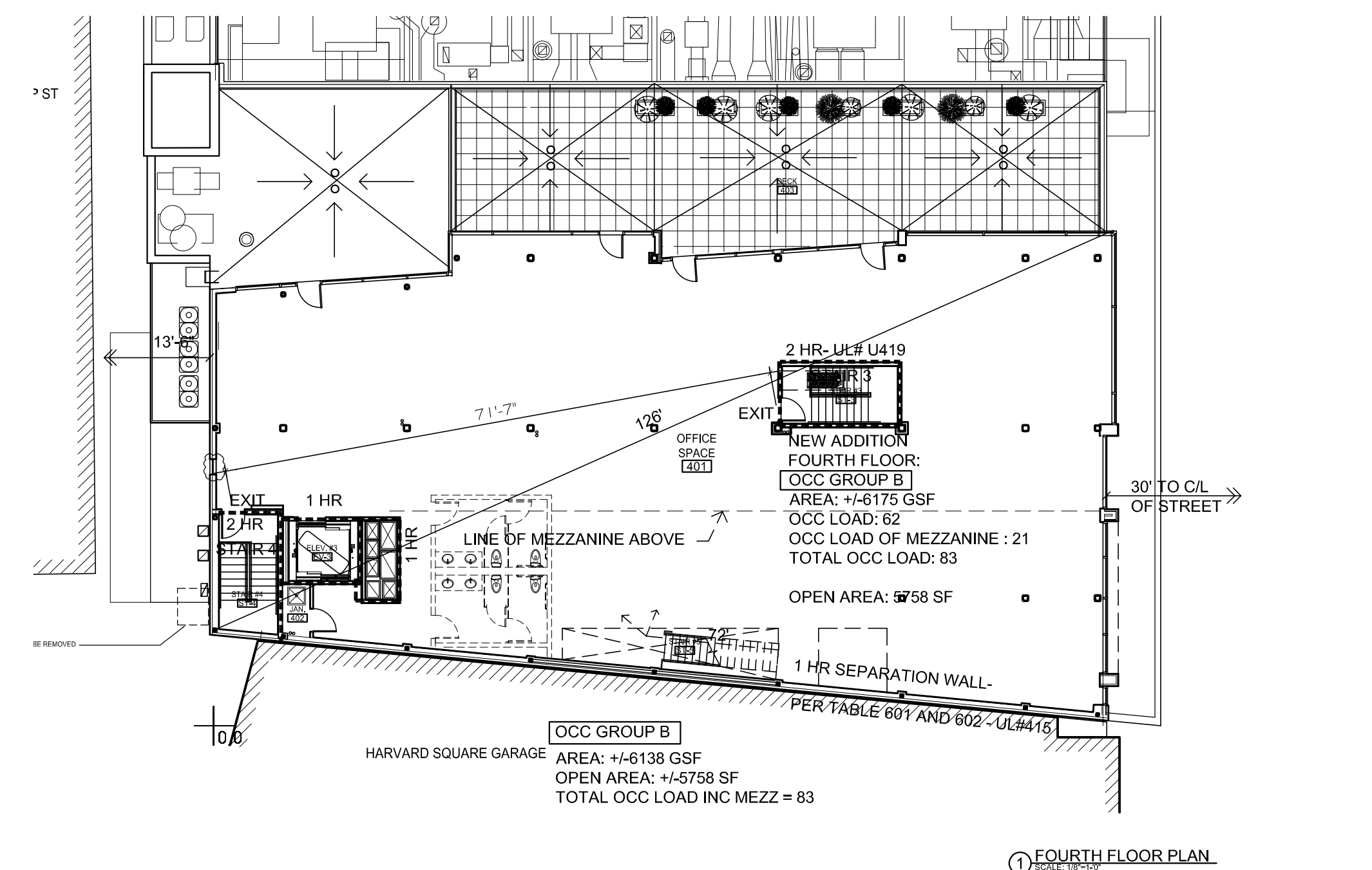
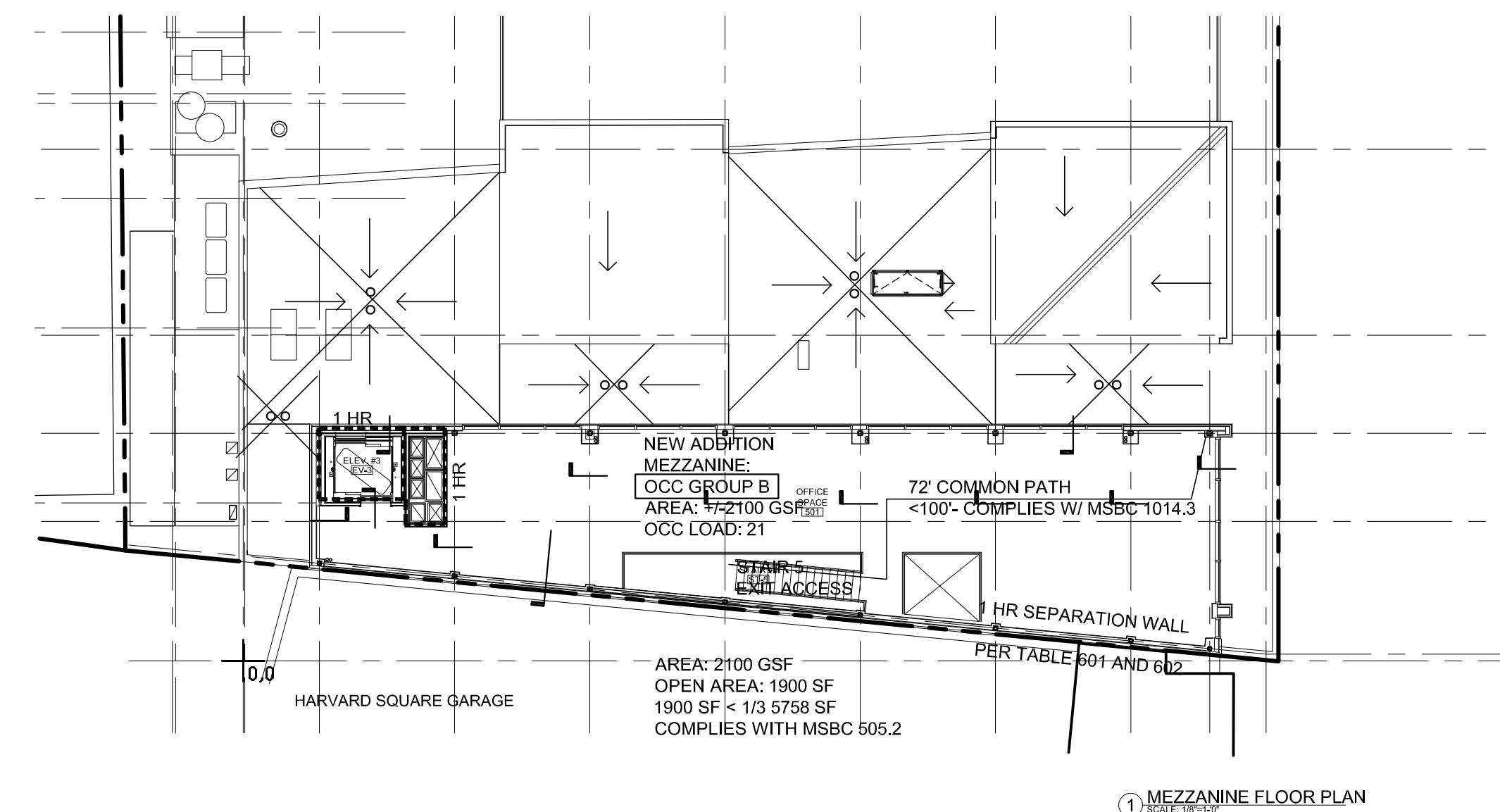
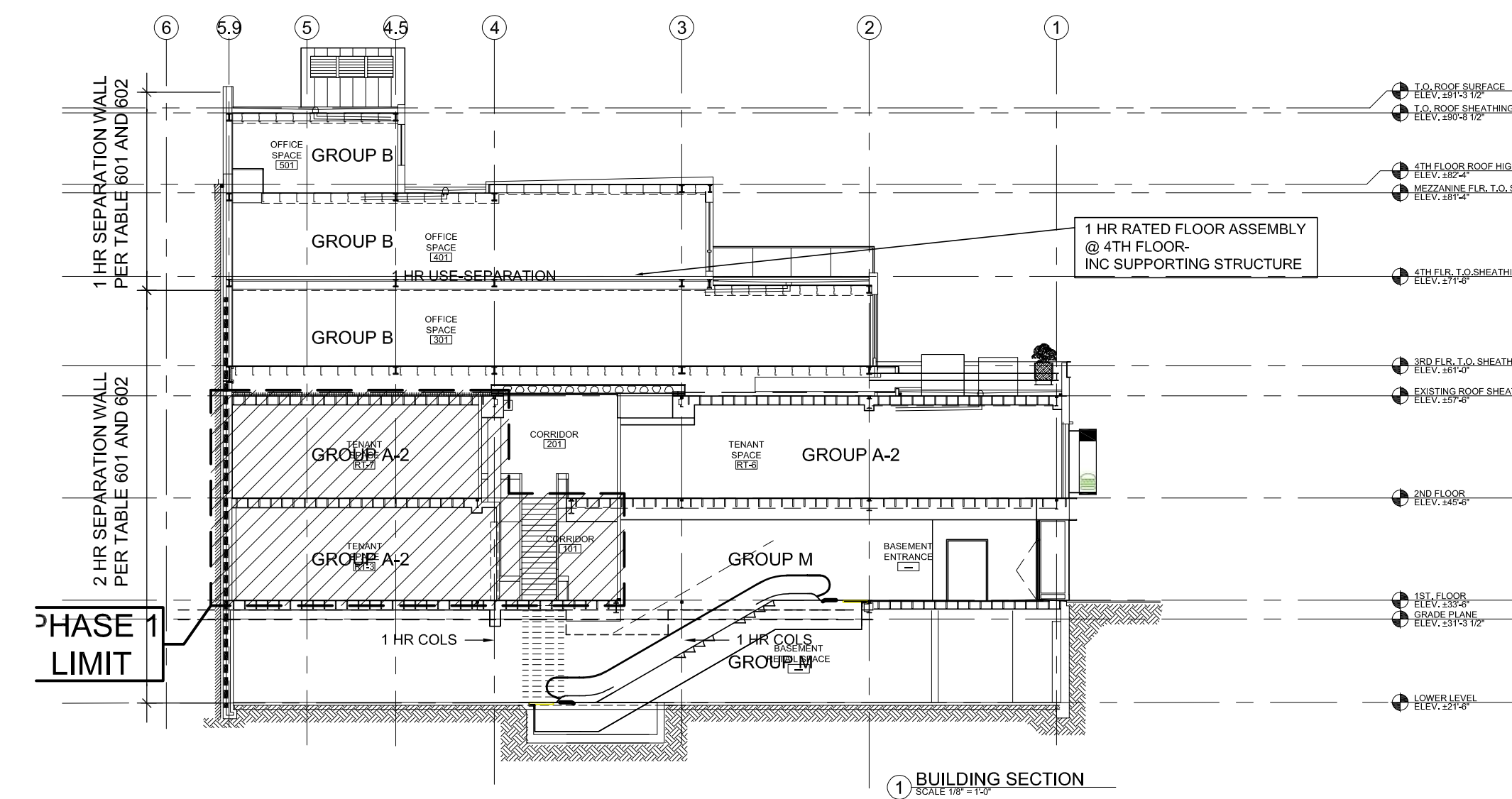
CODE
ANALYSIS
AND LIFE
SAFETY

SCALE AS NOTED

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DRAWN BY LD	REVIEWED BY PQ

SHEET

G1.2





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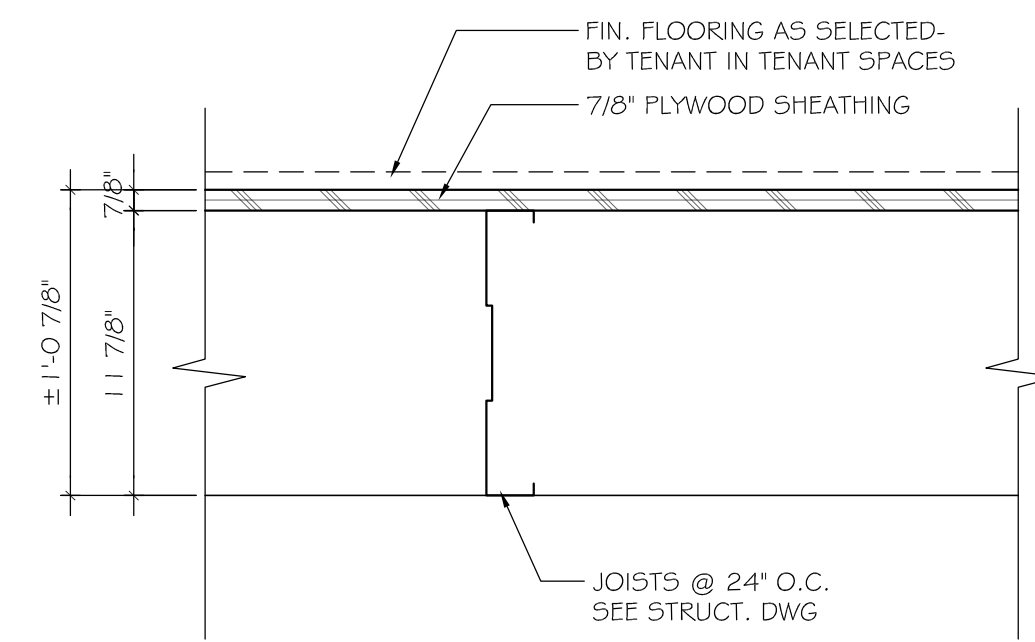
**PARTITION
TYPES,
FIRE RATED
DETAILS**

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DRAWN BY KVS/LDJ/E	REVIEWED BY PQ

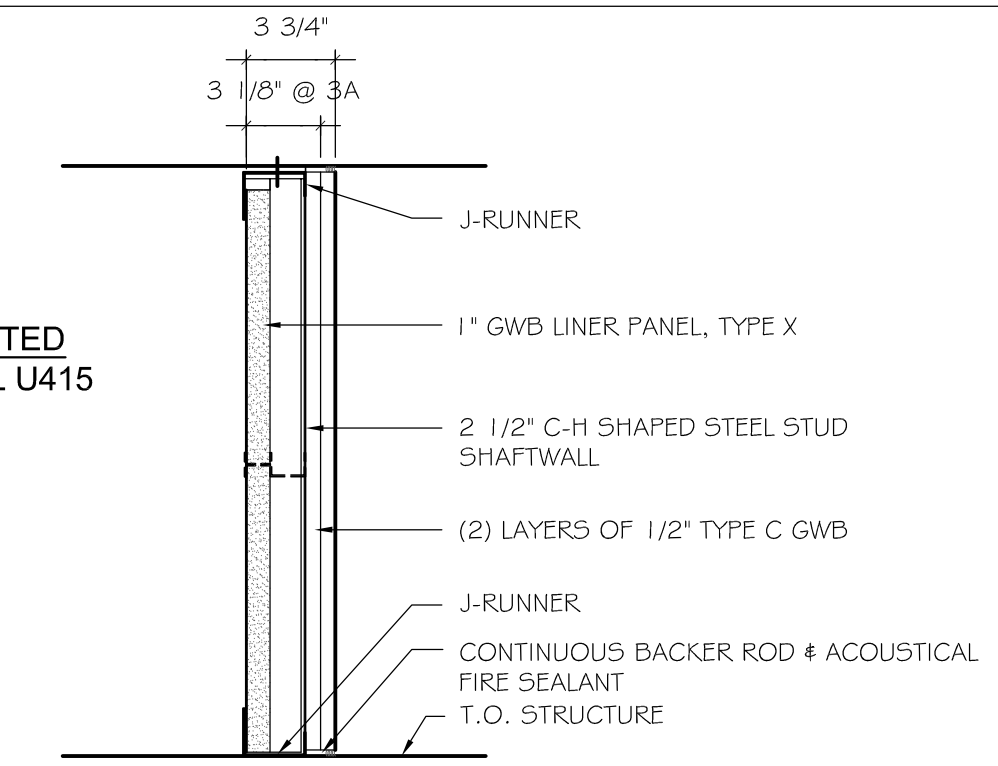
SHEET

G1.3



7 FLOOR/CEILING ASSEMBLY TYPE 1
SCALE 1 1/2" = 1'-0"

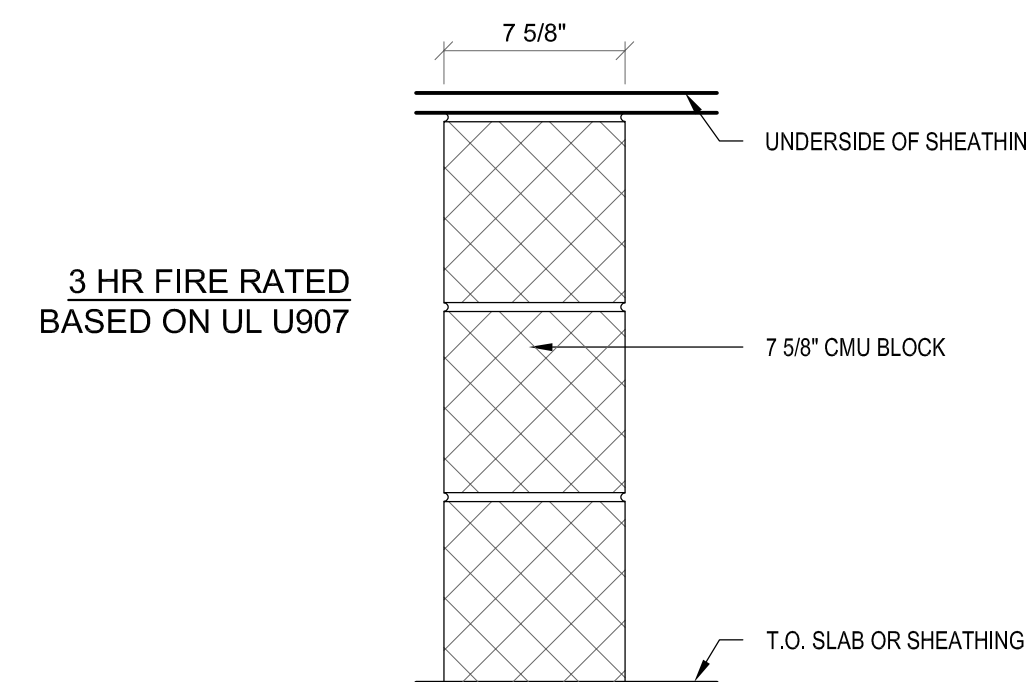
2 HR FIRE RATED
BASED ON UL U415
SYSTEM B



3 PARTITION TYPE 3 (SHAFT WALL)

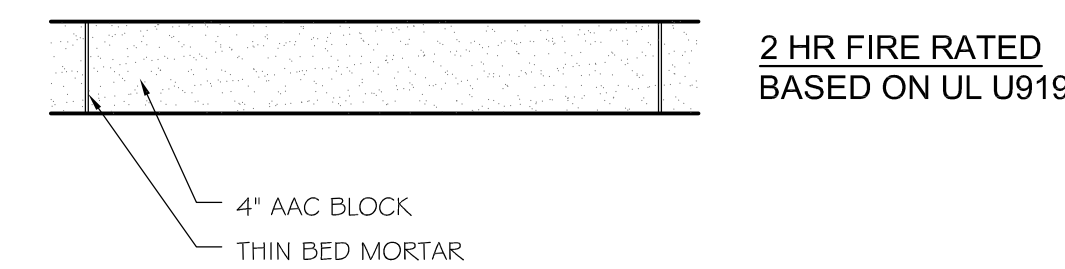
SCALE 1-1/2" = 1'-0"

3A ONE-HOUR RATED: (1) LAYER OF 5/8" GWB, TYPE X



3 HR FIRE RATED
BASED ON UL U907

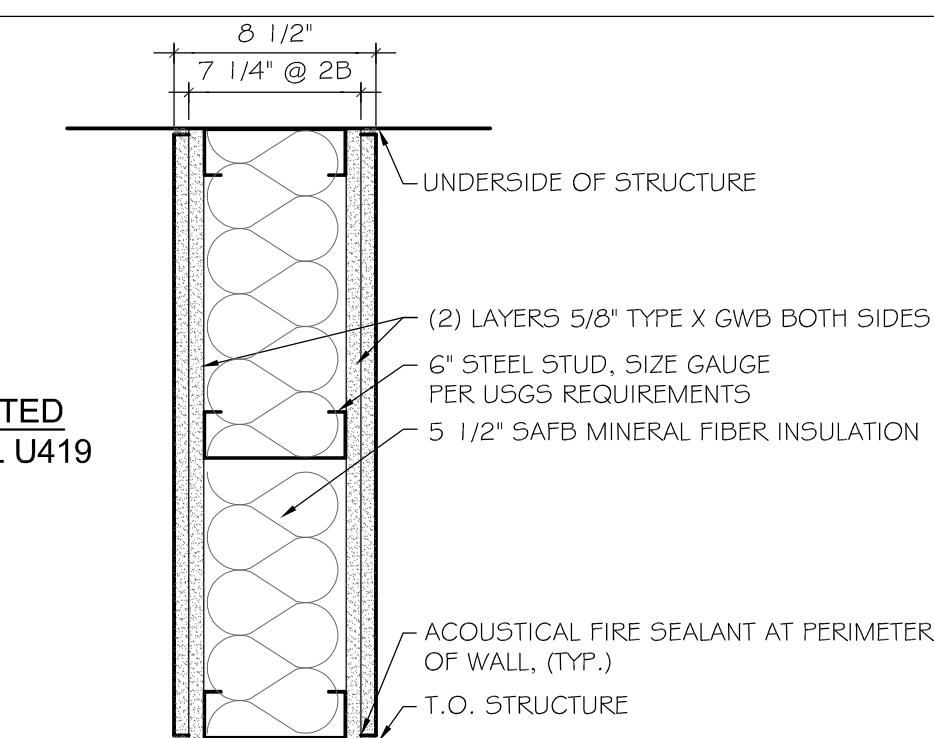
10 3 HR RATED CMU WALL
SCALE 1 1/2" = 1'-0"



2 HR FIRE RATED
BASED ON UL U919

6 WALLTYPE 6- EXTERIOR- AAC WALL
SCALE 1-1/2" = 1'-0"

2 HR FIRE RATED
BASED ON UL U419



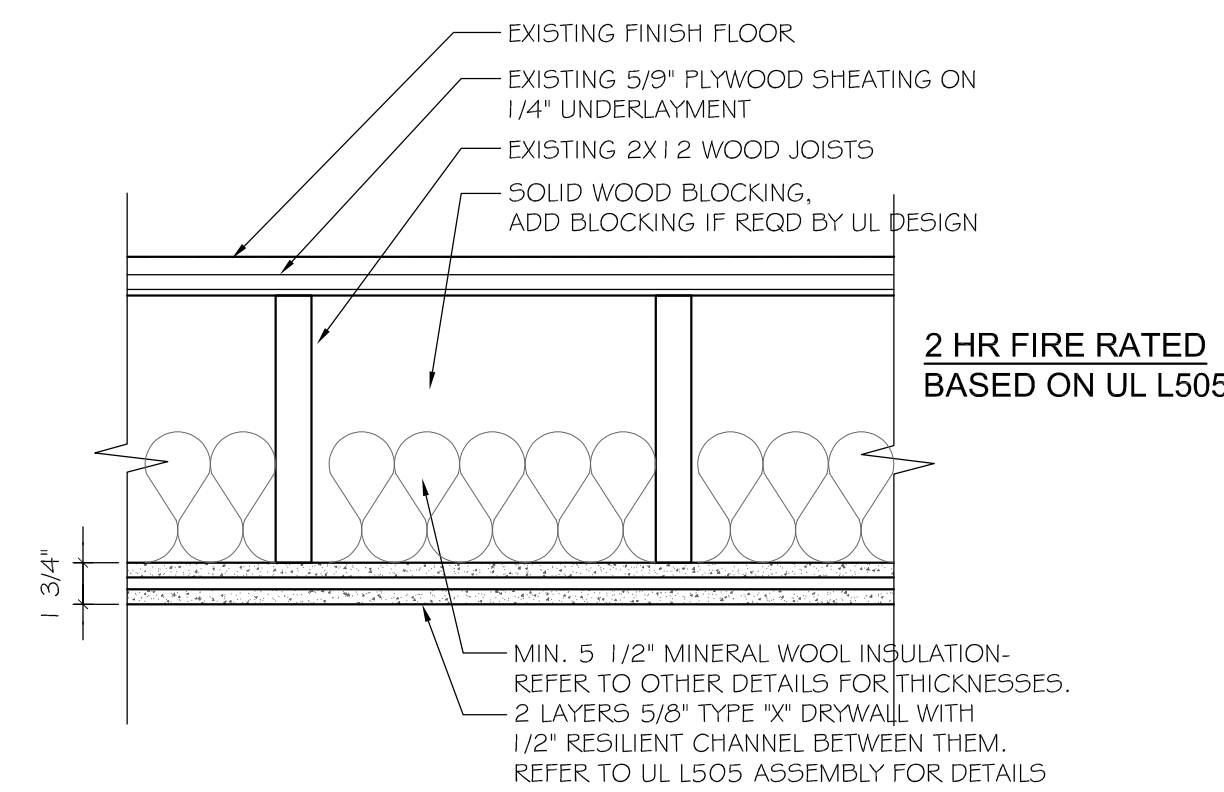
2 PARTITION TYPE 2

SCALE 1-1/2" = 1'-0"

2A AS 2, BUT NON-RATED, USE NON-RATED GWB

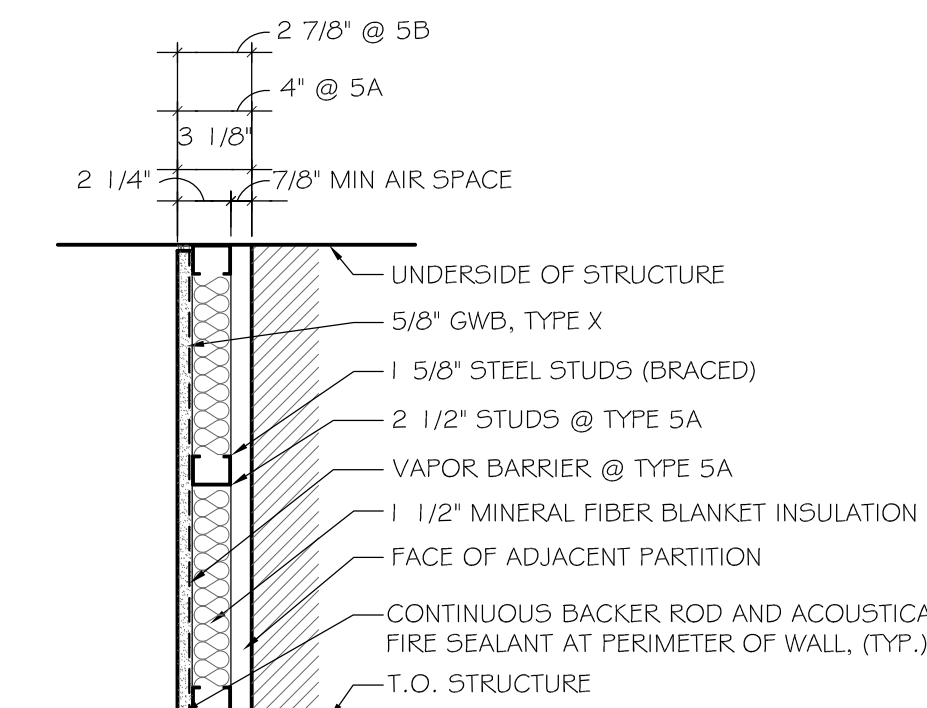
2C AS 2, BUT W/ 2 1/2" STEEL STUD

2B ONE-HOUR RATED (1) LAYER OF 5/8" TYPE X GWB EACH SIDE



2 HR FIRE RATED
BASED ON UL L505

9 FLOOR/CEILING ASSEMBLY TYPE 3
SCALE 1 1/2" = 1'-0"



5 PARTITION TYPE 5 (FURRED OUT WALL)

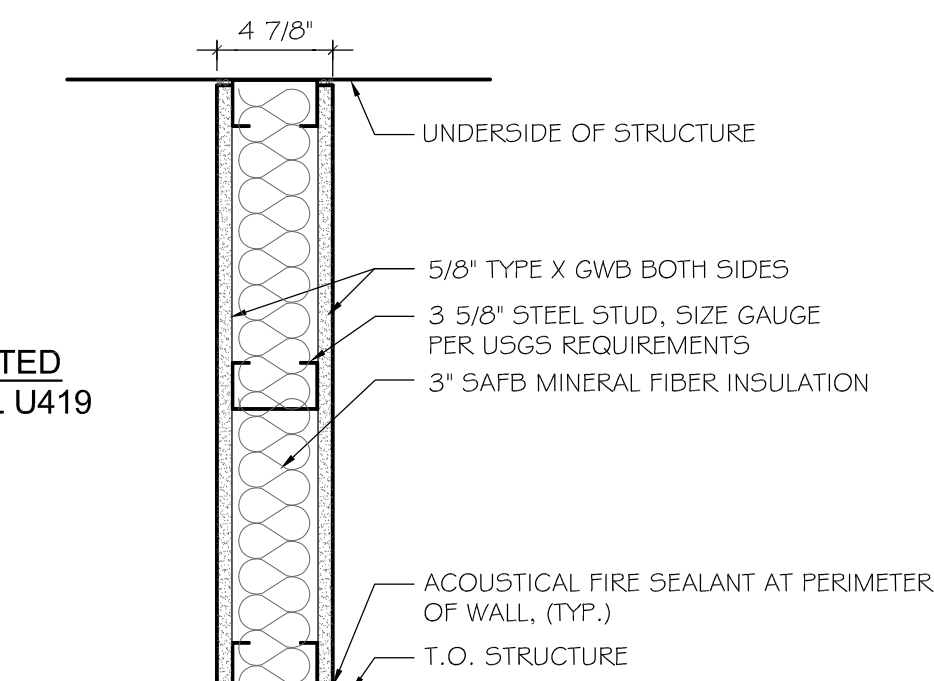
SCALE 1-1/2" = 1'-0"

5A AS 5, EXCEPT 2 1/2" STUDS, 3" MINERAL WOOL INSULATION, VAPOR BARRIER

5C AS 5, EXCEPT 5 1/2" STUDS, 5 1/2" MINERAL WOOL, VAPOR BARRIER, 5/8" GWB

5B AS 5, EXCEPT 1 5/8" STUDS, 1 1/2" MIN. WOOL, VAPOR BARRIER, 5/8" GWB TYPE X

1 HR FIRE RATED
BASED ON UL U419

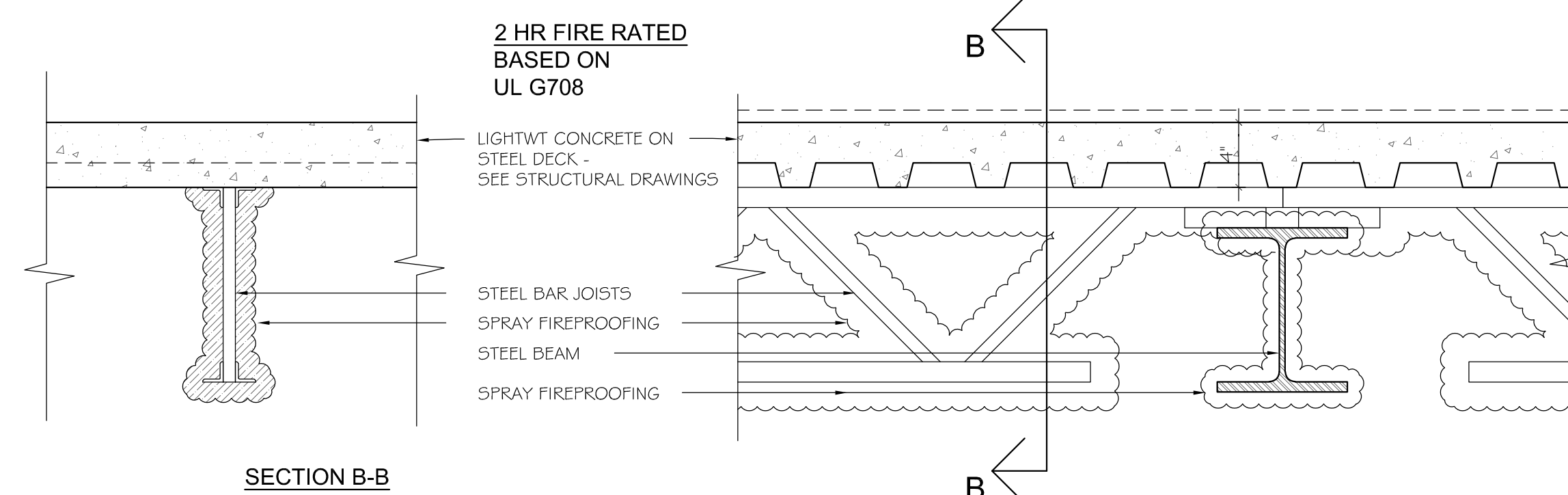


1 PARTITION TYPE 1

SCALE 1-1/2" = 1'-0"

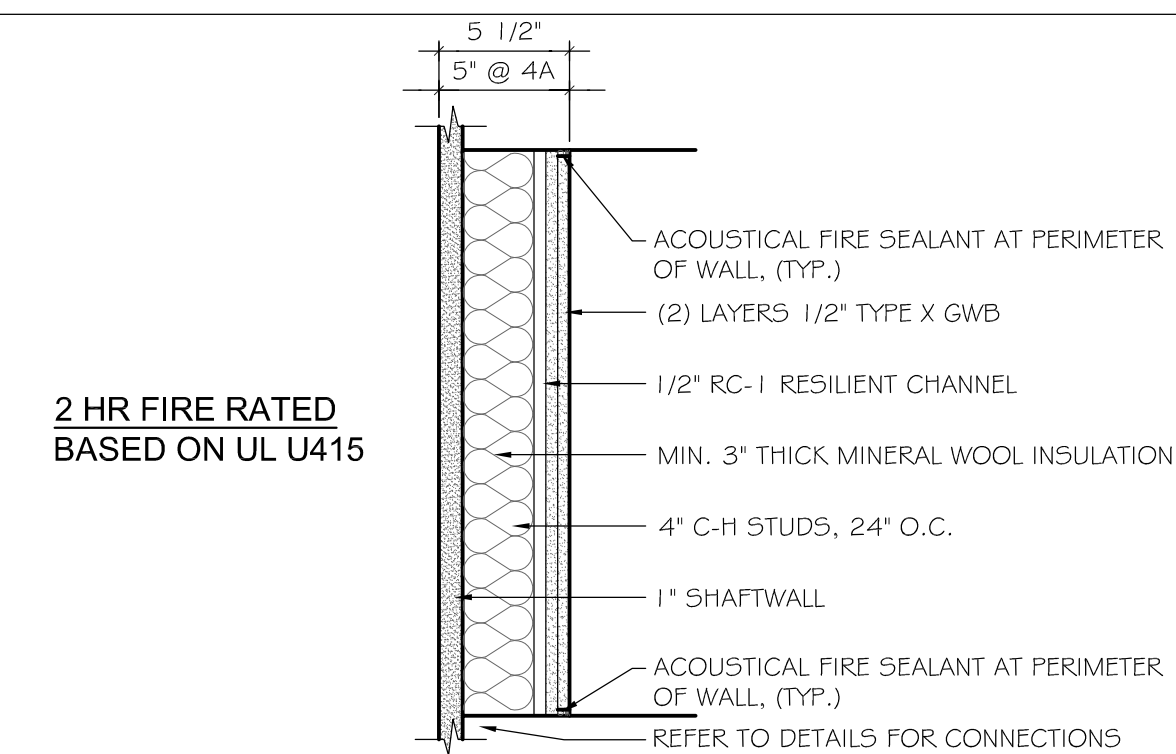
1A AS 1, BUT NON-RATED, USE NON-RATED GWB

1B 2-HR RATED, REPLACE WITH TWO LAYERS OF 5/8" TYPE X GWB ON BOTH SIDES



SECTION B-B

8 FLOOR/CEILING ASSEMBLY TYPE 2- 1HR RATED
SCALE 1-1/2" = 1'-0"



2 HR FIRE RATED
BASED ON UL U415

4 PARTITION TYPE 4

SCALE 1-1/2" = 1'-0"

4A AS 4, EXCEPT NO RESILIENT CHANNEL

PARTITION NOTES

- 1) ALL ASSEMBLIES SHALL BE CONSTRUCTED PER DESIGNATED UL TESTED ASSEMBLY.
- 2) AT ALL FIRE RATED PARTITION ASSEMBLIES GYPSUM BOARD SHALL BE 5/8" TYPE-X.
- 3) FOR ALL SOUND PARTITIONS USE ACOUSTICAL SEALANT AT TOP AND BOTTOM.
- 4) USE RATED SEALANT AT RATED PARTITIONS. USE RATED ACOUSTICAL SEALANT AT RATED ACOUSTICAL PARTITIONS
- 5) AT ALL TILED WALLS USE 5/8" CEMENT BOARD ("DUROCK" OR APPROVED EQUAL) IN LIEU OF 5/8" FIRE CODE GYPSUM WALL BOARD, MAINTAINING REQUIRED FIRE RATING.
- 6) PROVIDE SOLID BLOCKING AS REQUIRED TO SUPPORT CABINETS AND TOILET ACCESSORIES- INCLUDING BLOCKING FOR FUTURE FIXTURES.
- 7) AT BATHROOMS USE MOISTURE RESISTANT GYPSUM BOARD.
- 8) GWB LAYERS TO BE LAPPED AND JOINTED AS REQUIRED, TYPICAL LAP IS ONE STUD WIDTH. REFER TO THE SPECIFIED UL DESIGN FOR THE REQUIREMENTS OF EACH RATED CONSTRUCTION TYPE.