



**SPECIAL PERMIT SUBMISSION
SEPTEMBER 6 2016**

**605 CONCORD AVENUE (PHASE II)
CAMBRIDGE, MA**

**DEVELOPMENT:
ACORN HOLDINGS, LLC**

**ARCHITECTURE:
PIATT ASSOCIATES, INC.**

**LEGAL:
ADAMS & RAFFERTY**

**LEGAL:
HOPE LEGAL LAW OFFICE**

**ENVIRONMENTAL:
GEOINSIGHT**

**TRAFFIC:
VANASSE HANGEN BRUSTLIN**

**LAND SURVEY:
PFS LAND SURVEYING, INC.**

**CIVIL:
EBI CONSULTING**

**LANDSCAPE:
HAN DESIGN STUDIO**

EXISTING CONDITIONS

- EC-1 VICINITY MAP
- EC-2 ADJACENT LAND USE MAP
- EC-3 AERIAL PHOTOGRAPH
- EC-4 BIRD'S EYE PHOTOGRAPH
- EC-5 EXISTING CONDITIONS PHOTOGRAPHS
- EC-6 EXISTING CONDITIONS PHOTOGRAPHS
- EC-7 EXISTING SITE SURVEY

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- Z-3 GROSS FLOOR AREA DIAGRAMS
- Z-4 GROSS FLOOR AREA DIAGRAMS
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- C-3 GRADING, DRAINAGE, EROSION & SEDIMENT CONTROL PLAN
- C-4 UTILITY PLAN

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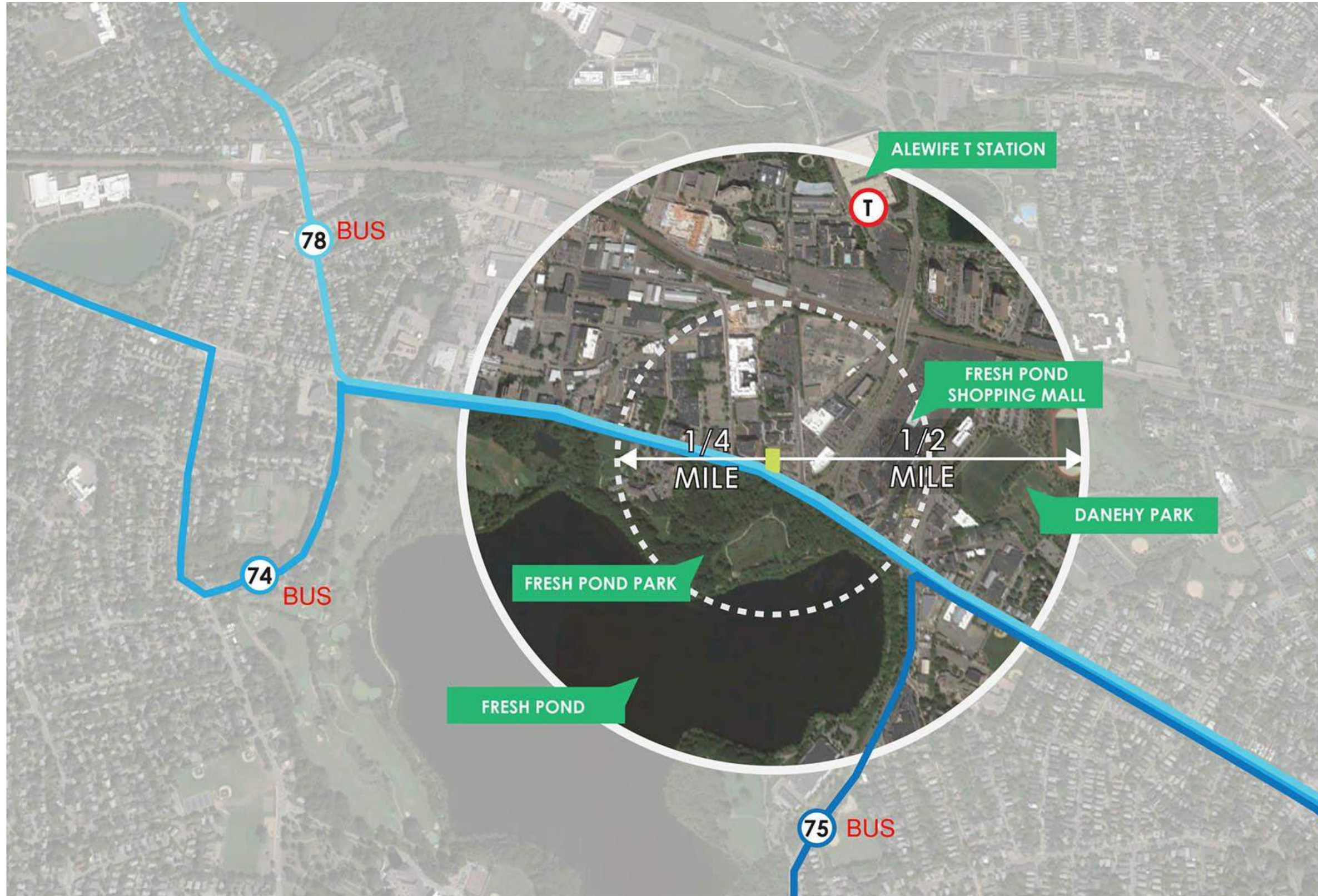
- L-1 RENDERED LANDSCAPE PLAN
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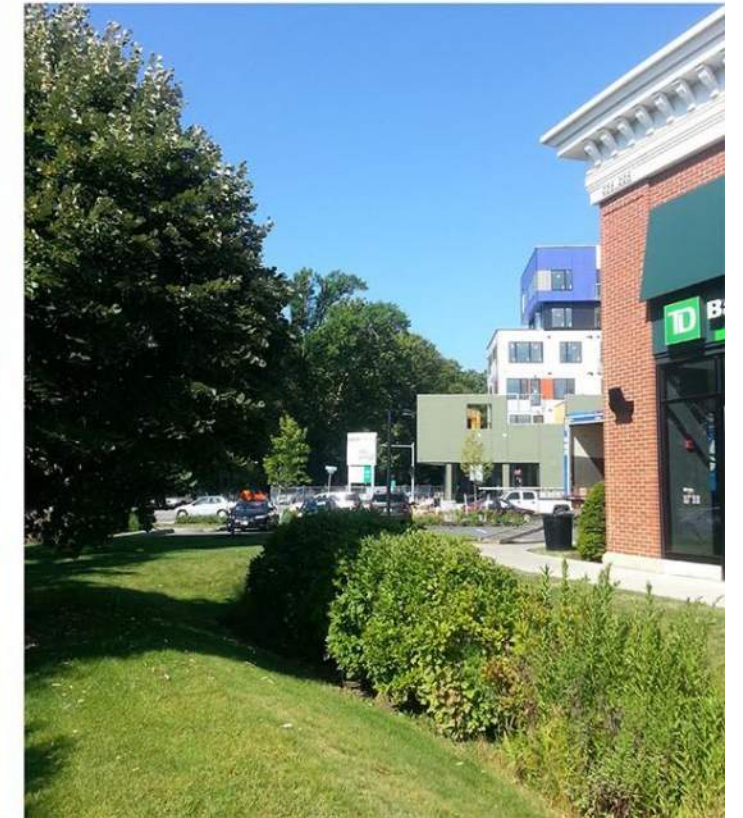
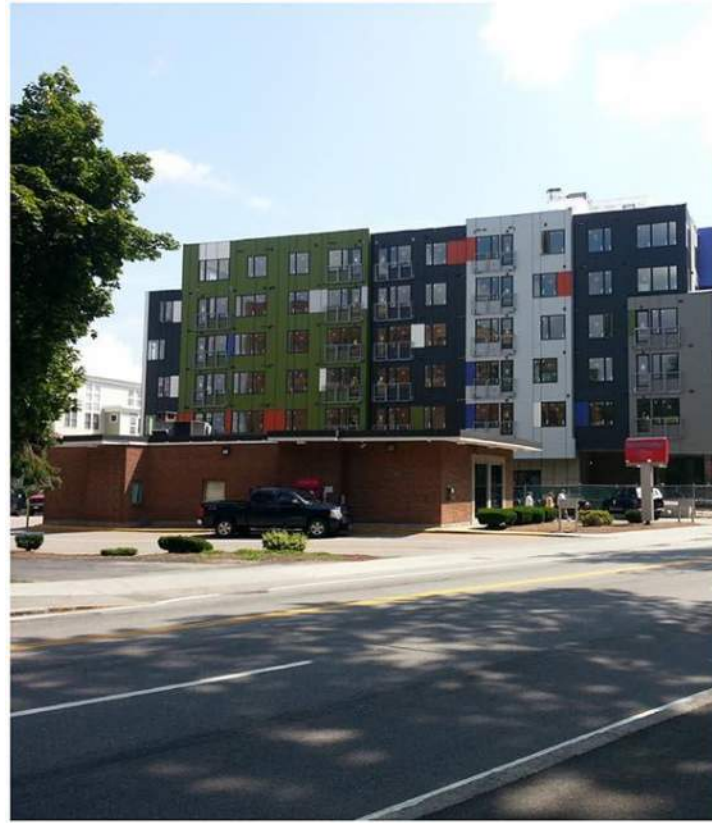
- A-1 GARAGE FLOOR PLAN
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- A-3 GROUND FLOOR PLAN CONCORD 605
- A-3A GROUND FLOOR PLAN CONCORD 605 COLOR
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- A-6 4TH FLOOR PLAN - UNIT TYPES
- A-7 5TH FLOOR PLAN - UNIT TYPES
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- A-28 SHADOW STUDIES - PERSPECTIVES



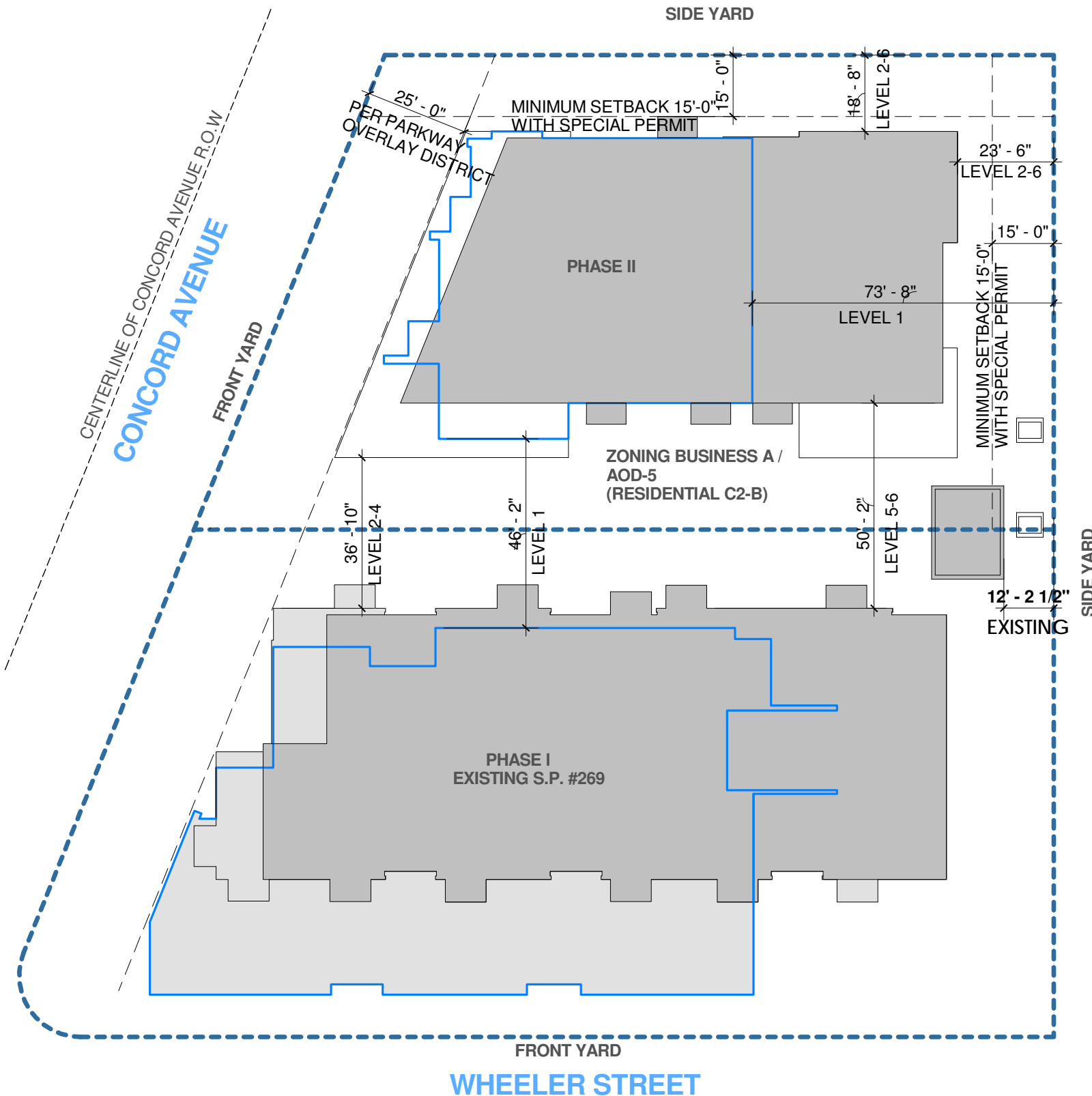










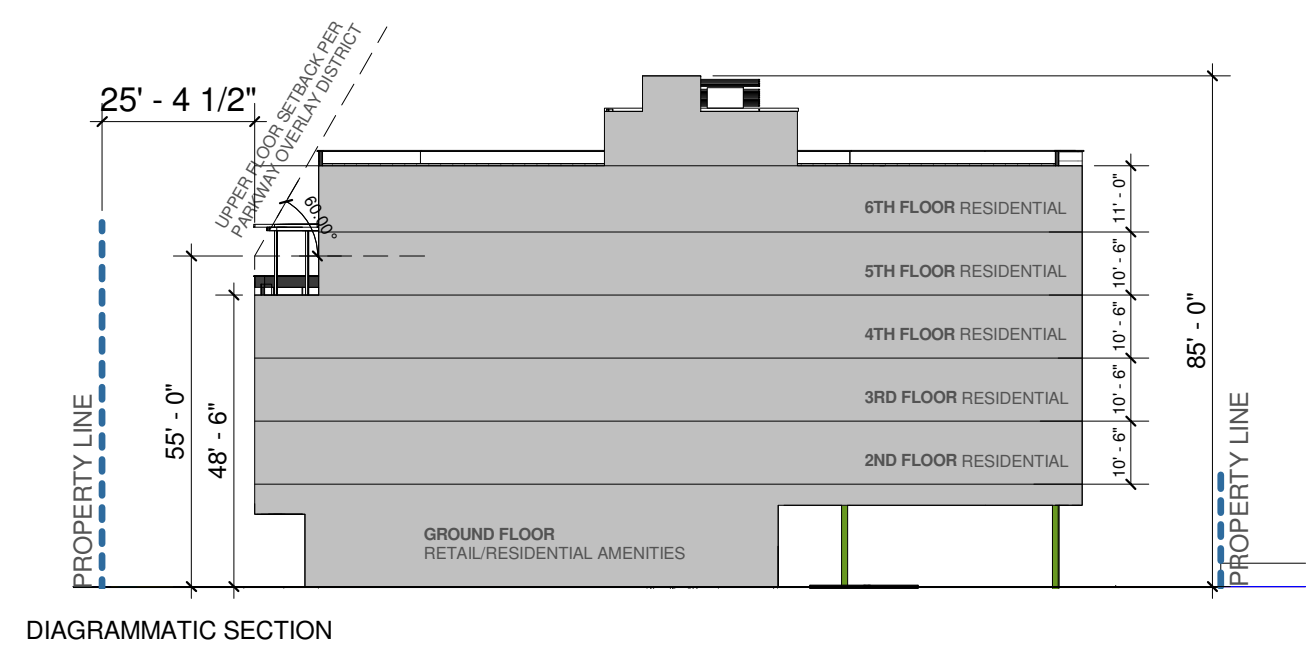


- ZONING:**
- BUSINESS - A
(RESIDENTIAL USES IN BUSINESS "A" DISTRICT TO FOLLOW RESIDENCE C-2B GUIDELINES FOR DIMENSIONS)
 - ALEWIFE OVERLAY DISTRICT (AOD-5)
 - SHOPPING CENTER DISTRICT
 - PARKWAY OVERLAY DISTRICT

HEIGHT: ALLOWED 85'-0" (by special Permit) PROPOSED 85'-0" (To top of Elevator Headhouse)

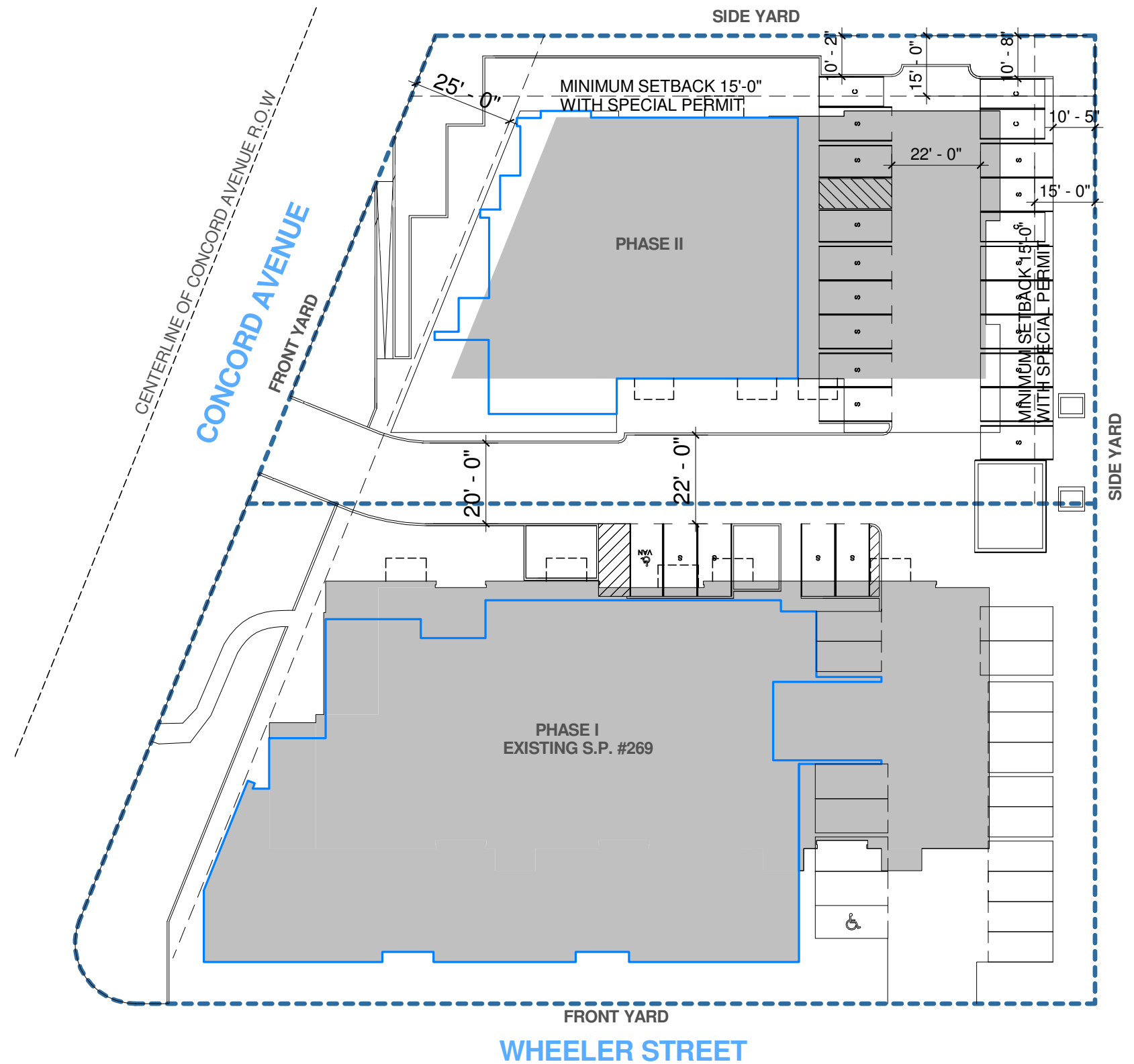
GROSS FLOOR AREA
Refer to Attached Dimensional Form for Building Areas

UNIT COUNT: PHASE I 603 CONCORD 61
PHASE II 605 CONCORD 49
TOTAL: 110



605 CONCORD AVE. CAMBRIDGE
SPECIAL PERMIT APPLICATION
SEPTEMBER 6 2016



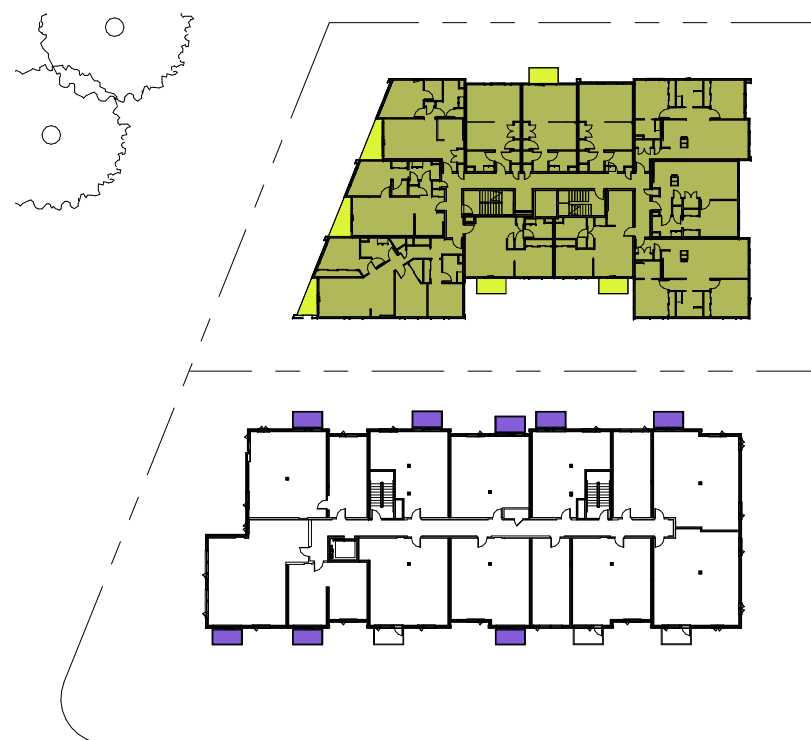




1ST FLOOR



2ND FLOOR



3RD FLOOR



4TH FLOOR

KEY

- PHASE II RESIDENTIAL
- PHASE I RESIDENTIAL ADDED DURING PHASE II
- BALCONIES, TERRACES, DECK PHASE II
- BALCONIES PHASE I ADDED DURING PHASE II
- RETAIL PH II / RETAIL DEDICATED PARKING

FLOOR	GFA PH I (sq ft)	GFA PH II ADDED TO PH I (sq ft)	GFA PH II (sq ft)	
GARAGE	20,605			
1ST FLOOR	10,558	RES.LOBBY/OFFICE 811	GFA	7,557
2ND FLOOR	11,181	BALCONIES** 288	GFA	9,638
3RD FLOOR	11,216	BALCONIES** 460	BALCONIES	358
4TH FLOOR	11,216	BALCONIES** 288	GFA	9,638
5TH FLOOR	10,419	BALCONIES** 288	BALCONIES	300
6TH FLOOR	9,599	BALCONIES** 230	GFA	7,890
ROOF			BALCONY + TERRACES	949
			GFA	7,890
			BALCONIES	58
			GFA	290
			DECK	750
			GFA PH II ADDED TO PH I	2,365
TOTAL GFA	64,189	2,365		57,679

** - 57.5 sq ft PER BALCONY

RETAIL

PHASE I sq ft: ***	6,574
PHASE II sq ft:***	4,128
TOTAL RETAIL PH I + PH II	10,702

*** - INCLUDES PARKING AREA DEDICATED TO RETAIL

RESIDENTIAL

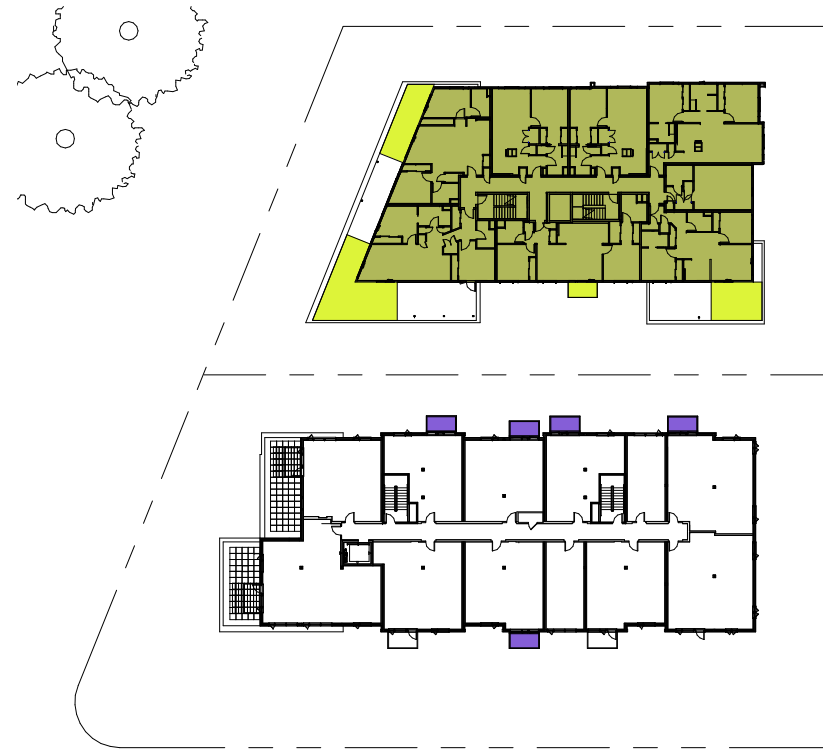
PHASE I sq ft:	57,615
PHASE II sq ft:	53,551
TOTAL RESIDENTIAL PH I + PH II	111,166

LOT SIZE

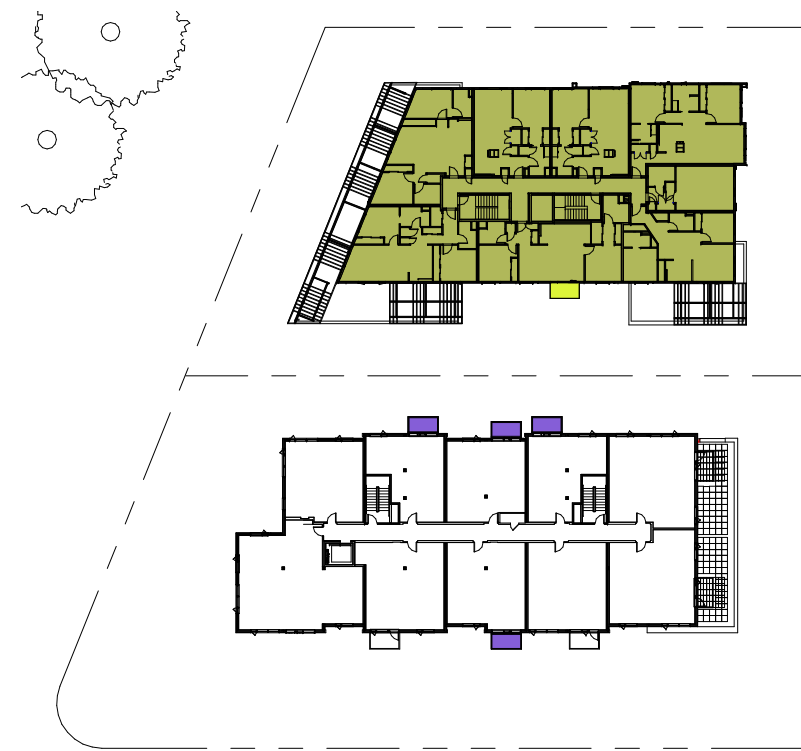
PHASE I (CONCORD 603) sq ft:	29,034
PHASE II (CONCORD 605) sq ft:	21,666
TOTAL	50,700

KEY

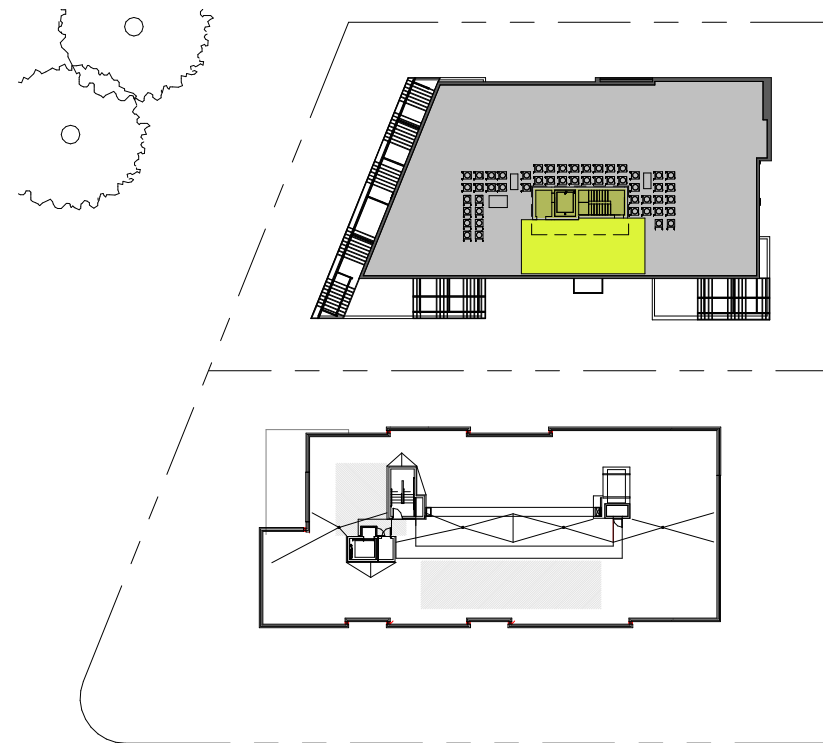
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- PHASE I RESIDENTIAL ADDED DURING PHASE II
- BALCONIES, TERRACES, DECK PHASE II
- BALCONIES PHASE I ADDED DURING PHASE II
- RETAIL PH II / RETAIL DEDICATED PARKING



5TH FLOOR



6TH FLOOR



ROOF PLAN



GROUND LEVEL - OPEN SPACE

KEY

- OPEN SPACE, GREEN AREA
- OPEN SPACE, PUBLIC BENEFICIAL
- PRIVATE OPEN SPACE 6220 sq ft

OPEN SPACE PHASE I + PHASE II				
AREA AT GRADE	OPEN SPACE GREEN AREA	OPEN SPACE PUBLIC BENEFICIAL	TOTAL OPEN SPACE	% OF LOT AREA (REQ. ≥ 15%)
PHASE II SITE				
A	1,588	-		
B ≤ 25% (A+B)	-	1041 (39%)		
C	-	2,859		
D	2,448	-		
PHASE II SITE	4,036	3,900	7,936	36%
PHASE I SITE				
E	2,521	-		
F ≤ 25% (F+E)	-	703(21%)		
G	-	3,649		
H	2,320	-		
PHASE I SITE	4,841	4,352	9,193	31%
TOTAL OPEN SPACE PHASE I+II	8,877 sq ft	8,252 sq ft	17,130sq ft	33%

PARKWAY OVERLAY DISTRICT FRONTAGE SETBACK NON-GREEN AREA OPEN SPACE	
A	1,588
B	1,041
E	2,521
F	703
TOTAL	5,853 sq ft
B + F	1,744
1,744 / 5853 = 29% >25% ALLOWED NOT IN COMPLIANCE	

PRIVATE OPEN SPACE	
POS 1	1,588
POS 2	2,521
TOTAL	4,109 sq ft

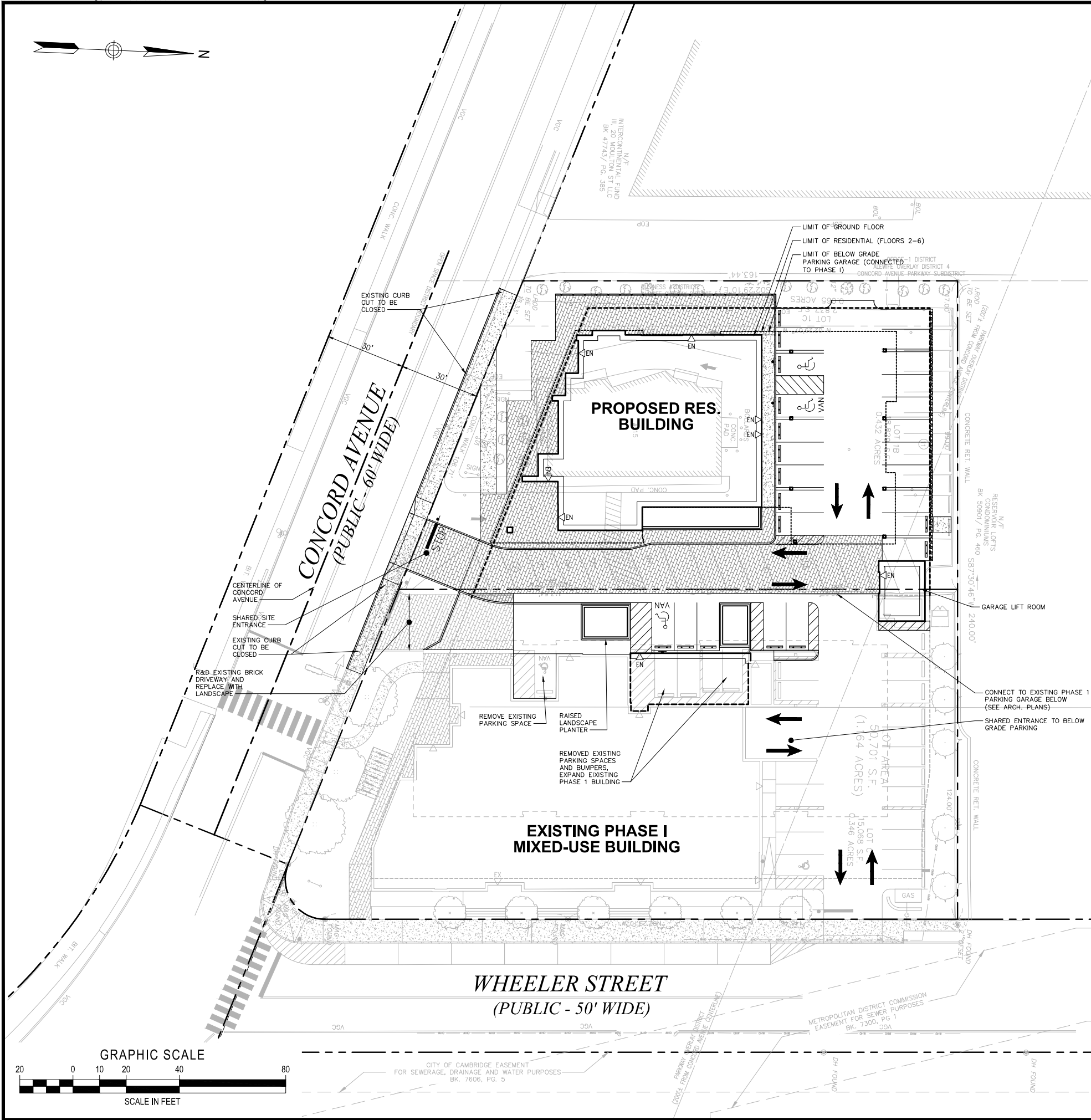
PRIVATE OPEN SPACE PH I + PH II COMBINED

$$\text{TOTAL } \frac{\text{RESIDENTIAL GFA}}{\text{GFA}} = \frac{110,311}{121,013} = 0.91$$

LOT AREA RELEVANT TO PRIVATE OPEN SPACE

$$50,700 \text{ sf} \times 0.91 = 46,137$$

$$46,137 \times 0.15 = 6,920 \text{ sf}$$



NOTES

1. THE EXISTING CONDITIONS, PROPERTY LINES AND TOPOGRAPHY SHOWN FOR 605 CONCORD AVENUE, THE PROPERTIES TO THE NORTH AND WEST, AND WITHIN THE CONCORD AVENUE RIGHT-OF-WAY ARE BASED ON THE ACTUAL FIELD SURVEY PREPARED BY PFS LAND SURVEYING, INC. DATED AUGUST 10, 2011. THE CONCORD/WHEELER PHASE 1 DEVELOPMENT WAS RECENTLY CONSTRUCTED. AS SUCH, THE PHASE 1 DEVELOPMENT IS DEPICTED AS THE EXISTING CONDITION FOR THE ADJACENT PARCEL, BASED ON THE BUILDING PERMIT DESIGN PLANS AS MODIFIED DURING CONSTRUCTION, PREPARED BY EBI CONSULTING.
2. REFER TO SHEET C-4 FOR ADDITIONAL DETAIL AND NOTES APPLICABLE TO THE 605 CONCORD AVENUE PROPERTY.

PREPARED FOR:
Acorn Holdings LLC
One Gateway Center
300 Washington Street
Suite 805
Newton, MA 02458

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DRAWING SCALES NOTED ARE FOR 22" x 34" SIZE PRINTED MEDIA ONLY. ALL OTHER PRINTED SIZES ARE DEEMED "NOT TO SCALE".

SUBMITTALS

NO.	DATE	DESCRIPTION	BY

DATE: August 18, 2016
PROJECT NUMBER: 1616000013

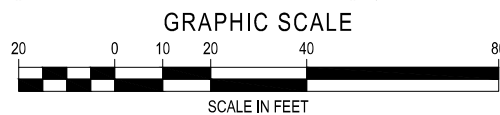
PROJECT TITLE:
**Concord Ave. / Wheeler St.
Ph. 2 Mixed-Use Development**
605 Concord Avenue
Cambridge, Massachusetts 02139
Middlesex County

ISSUED FOR:
Stormwater Control Permit
(Not Approved for Construction)

SHEET TITLE:
Overall Site Plan

SCALE:
1" = 20'
DESIGNED BY:
JVC
CHECKED BY:
KPS

SHEET NO:
C-1



City of Cambridge
Stormwater Control Permit Number: _____

PG. 385

NOTES

1. ARCHITECTURAL & STRUCTURAL COMPONENTS INCLUDING PARKING GARAGE ROOFDECK DESIGN, STAIRS, PLANTERS, ETC. ARE TO BE DESIGNED BY PROJECT ARCHITECT AND/OR STRUCTURAL ENGINEER.
2. SURFACE PAVING TYPES AND PLANTING AREAS TO BE COORDINATED WITH LANDSCAPE ARCHITECT.
3. REFER TO ZONING PLAN PREPARED BY OTHERS FOR ALL ZONING DIMENSIONAL REQUIREMENTS AND SETBACKS.
4. PROPOSED SIDEWALK SHALL MAINTAIN A MINIMUM 36" WIDTH AT OBSTRUCTIONS IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
5. PERMANENT AND/OR TEMPORARY CONSTRUCTION EASEMENTS SHALL BE OBTAINED FROM PRIVATE PROPERTY OWNERS PRIOR TO ANY WORK TO BE PERFORMED ON ADJACENT PROPERTIES.

Parking Summary Chart

Description	Required*	Provided* (Surface)	Provided (Garage)	Provided (Total)
TOTAL SPACES:	-	20	48	68
STANDARD SPACES (SIZE: 8.5'x18')	-	14	18	32
COMPACT SPACES (SIZE: 7.5'x16')	-	4	27	31
ACCESSIBLE SPACES (INCLUDING VAN):	3	2	1	3
BICYCLE SPACES:	57	8	54	62

Parking Requirements

RESIDENTIAL:	49 DWELLING UNITS x 1 SPACE / D.U. =	49 SPACES
RESTAURANT:	MIN - 110 SEATS x 1 SPACE / 15 SEATS =	8 SPACES
	MAX - 110 SEATS x 1 SPACE / 5 SEATS =	22 SPACES
ACCESSIBLE (ADA):	FOR 51 TO 75 TOTAL SPACES =	3 SPACES
BICYCLE (LOCAL):	49 DWELLING UNITS x 1.05 SPACES/D.U. =	52 SPACES
	49 DWELLING UNITS x 0.1 GUEST SPACES/D.U. =	5 SPACES

*REQUIRED AND PROVIDED PARKING DOES NOT INCLUDE MODIFICATIONS TO PHASE I BUILDING AND PARKING

Sign Chart

Sign	M.U.T.C.D. Code	Height	Width
	R1-1	30"	30"
	R7-8	18"	12"
	R7-8a	6"	12"

1400 Hancock Street, 4th Floor
Quincy, MA 02169
Tel: 617.481.5985
www.ebiconsulting.com

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Acorn Holdings LLC
One Gateway Center
300 Washington Street
Suite 805
Newton, MA 02458

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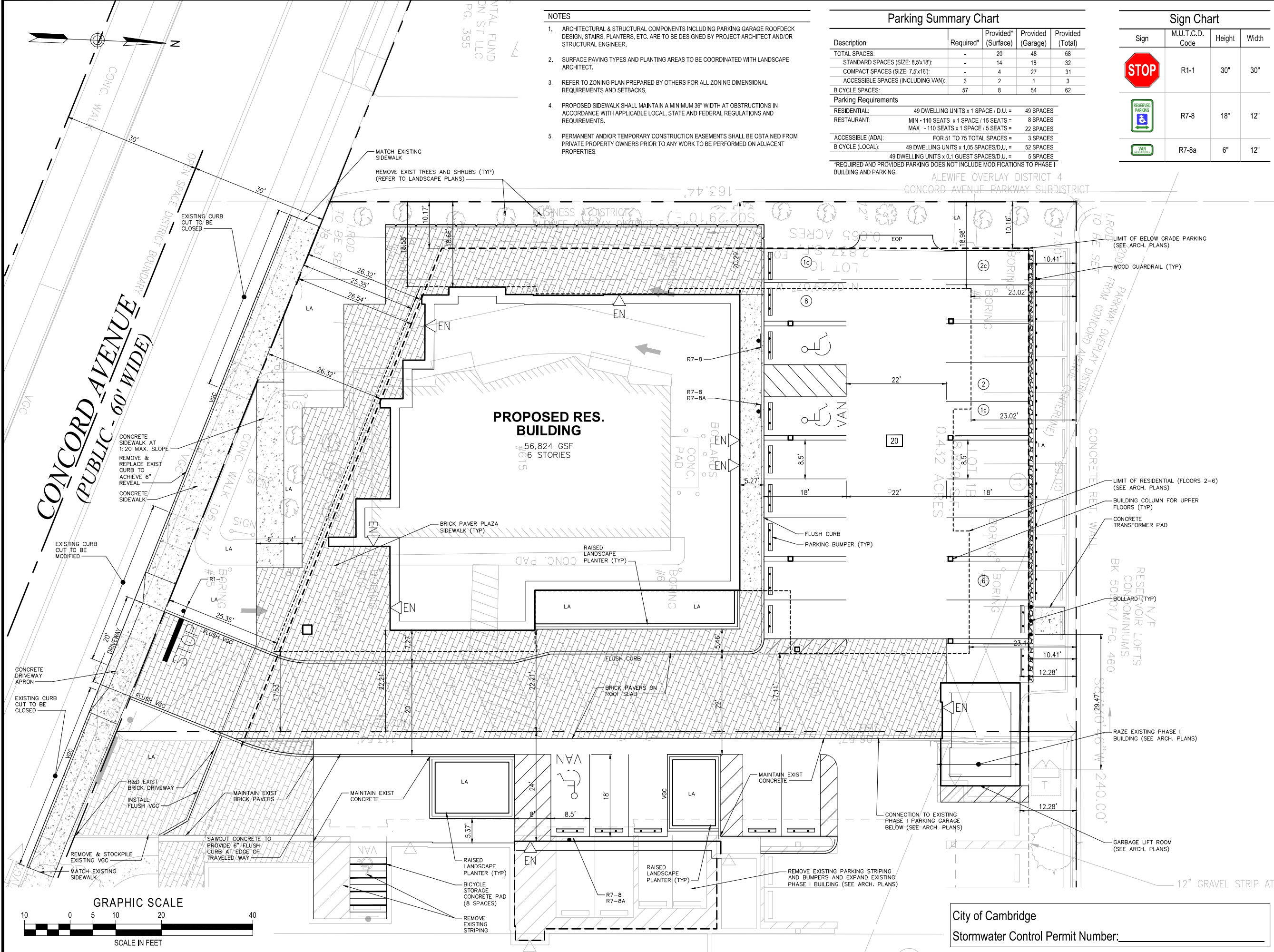
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Ph. 2 Mixed-Use Development**
605 Concord Avenue
Cambridge, Massachusetts 02139
Middlesex County

ISSUED FOR:
Stormwater Control Permit
(Not Approved for Construction)

SHEET TITLE:
Layout & Materials Plan

SCALE: 1" = 10'
DESIGNED BY: JVC
CHECKED BY: KPS
SHEET NO: **C-2**



City of Cambridge
Stormwater Control Permit Number: _____

LEGEND

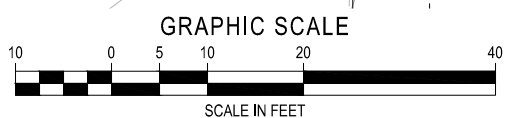
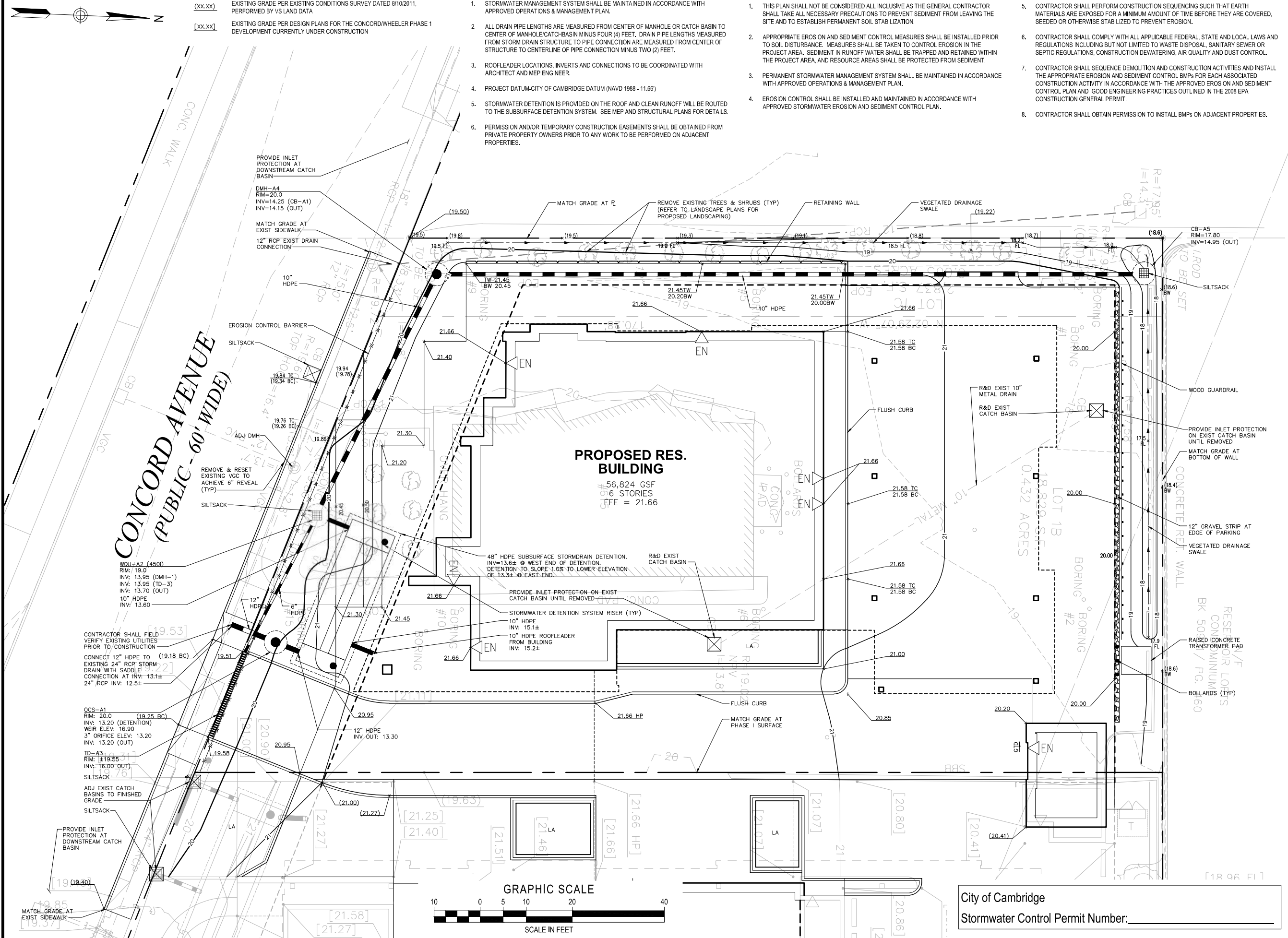
- (xx.xx) EXISTING GRADE PER EXISTING CONDITIONS SURVEY DATED 8/10/2011, PERFORMED BY VS LAND DATA
- [xx.xx] EXISTING GRADE PER DESIGN PLANS FOR THE CONCORD/WHEELER PHASE 1 DEVELOPMENT CURRENTLY UNDER CONSTRUCTION

GRADING & DRAINAGE NOTES

1. STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH APPROVED OPERATIONS & MANAGEMENT PLAN.
2. ALL DRAIN PIPE LENGTHS ARE MEASURED FROM CENTER OF MANHOLE OR CATCH BASIN TO CENTER OF MANHOLE/CATCHBASIN MINUS FOUR (4) FEET. DRAIN PIPE LENGTHS MEASURED FROM STORM DRAIN STRUCTURE TO PIPE CONNECTION ARE MEASURED FROM CENTER OF STRUCTURE TO CENTERLINE OF PIPE CONNECTION MINUS TWO (2) FEET.
3. ROOFLEADER LOCATIONS, INVERTS AND CONNECTIONS TO BE COORDINATED WITH ARCHITECT AND MEP ENGINEER.
4. PROJECT DATUM-CITY OF CAMBRIDGE DATUM (NAVD 1988 - 11.66')
5. STORMWATER DETENTION IS PROVIDED ON THE ROOF AND CLEAN RUNOFF WILL BE ROUTED TO THE SUBSURFACE DETENTION SYSTEM. SEE MEP AND STRUCTURAL PLANS FOR DETAILS.
6. PERMISSION AND/OR TEMPORARY CONSTRUCTION EASEMENTS SHALL BE OBTAINED FROM PRIVATE PROPERTY OWNERS PRIOR TO ANY WORK TO BE PERFORMED ON ADJACENT PROPERTIES.

EROSION & SEDIMENT CONTROL NOTES

1. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE AND TO ESTABLISH PERMANENT SOIL STABILIZATION.
2. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. MEASURES SHALL BE TAKEN TO CONTROL EROSION IN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA, AND RESOURCE AREAS SHALL BE PROTECTED FROM SEDIMENT.
3. PERMANENT STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH APPROVED OPERATIONS & MANAGEMENT PLAN.
4. EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH APPROVED STORMWATER EROSION AND SEDIMENT CONTROL PLAN.
5. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM AMOUNT OF TIME BEFORE THEY ARE COVERED, SEEDED OR OTHERWISE STABILIZED TO PREVENT EROSION.
6. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS INCLUDING BUT NOT LIMITED TO WASTE DISPOSAL, SANITARY SEWER OR SEPTIC REGULATIONS, CONSTRUCTION DEWATERING, AIR QUALITY AND DUST CONTROL.
7. CONTRACTOR SHALL SEQUENCE DEMOLITION AND CONSTRUCTION ACTIVITIES AND INSTALL THE APPROPRIATE EROSION AND SEDIMENT CONTROL BMPs FOR EACH ASSOCIATED CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND GOOD ENGINEERING PRACTICES OUTLINED IN THE 2008 EPA CONSTRUCTION GENERAL PERMIT.
8. CONTRACTOR SHALL OBTAIN PERMISSION TO INSTALL BMPs ON ADJACENT PROPERTIES.



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Stormwater Control Permit Number:

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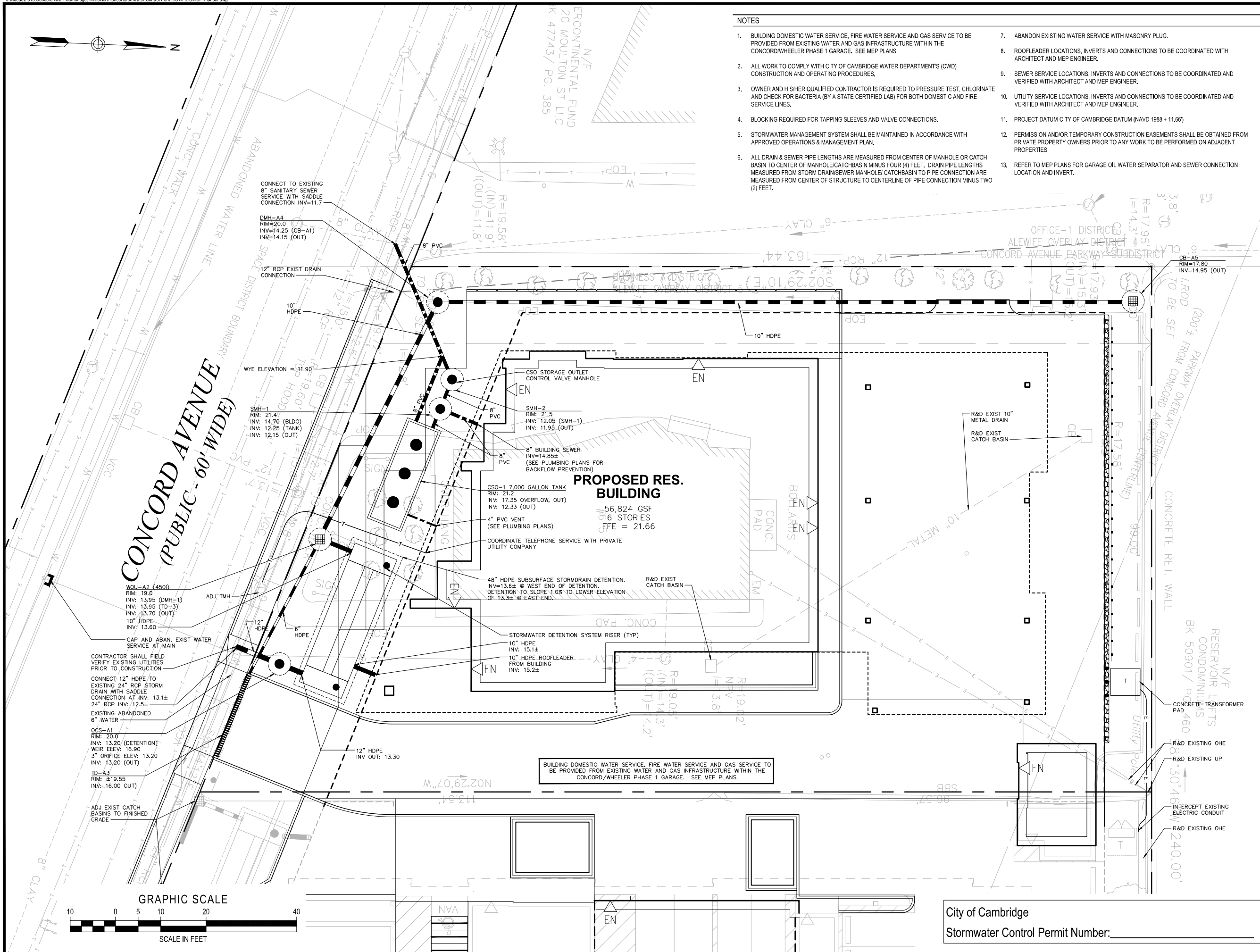
SHEET TITLE:
**Grading, Drainage,
Erosion & Sediment
Control Plan**

SCALE: 1" = 10'
DESIGNED BY: JVC
CHECKED BY: KPS

SHEET NO:
C-3

NOTES

- BUILDING DOMESTIC WATER SERVICE, FIRE WATER SERVICE AND GAS SERVICE TO BE PROVIDED FROM EXISTING WATER AND GAS INFRASTRUCTURE WITHIN THE CONCORD/WHEELER PHASE 1 GARAGE. SEE MEP PLANS.
- ALL WORK TO COMPLY WITH CITY OF CAMBRIDGE WATER DEPARTMENT'S (CWD) CONSTRUCTION AND OPERATING PROCEDURES.
- OWNER AND HIS/HER QUALIFIED CONTRACTOR IS REQUIRED TO PRESSURE TEST, CHLORINATE AND CHECK FOR BACTERIA (BY A STATE CERTIFIED LAB) FOR BOTH DOMESTIC AND FIRE SERVICE LINES.
- BLOCKING REQUIRED FOR TAPPING SLEEVES AND VALVE CONNECTIONS.
- STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH APPROVED OPERATIONS & MANAGEMENT PLAN.
- ALL DRAIN & SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF MANHOLE OR CATCH BASIN TO CENTER OF MANHOLE/CATCHBASIN MINUS FOUR (4) FEET. DRAIN PIPE LENGTHS MEASURED FROM STORM DRAIN/SEWER MANHOLE/ CATCHBASIN TO PIPE CONNECTION ARE MEASURED FROM CENTER OF STRUCTURE TO CENTERLINE OF PIPE CONNECTION MINUS TWO (2) FEET.
- ABANDON EXISTING WATER SERVICE WITH MASONRY PLUG.
- ROOFLEADER LOCATIONS, INVERTS AND CONNECTIONS TO BE COORDINATED WITH ARCHITECT AND MEP ENGINEER.
- SEWER SERVICE LOCATIONS, INVERTS AND CONNECTIONS TO BE COORDINATED AND VERIFIED WITH ARCHITECT AND MEP ENGINEER.
- UTILITY SERVICE LOCATIONS, INVERTS AND CONNECTIONS TO BE COORDINATED AND VERIFIED WITH ARCHITECT AND MEP ENGINEER.
- PROJECT DATUM-CITY OF CAMBRIDGE DATUM (NAVD 1988 + 11.86')
- PERMISSION AND/OR TEMPORARY CONSTRUCTION EASEMENTS SHALL BE OBTAINED FROM PRIVATE PROPERTY OWNERS PRIOR TO ANY WORK TO BE PERFORMED ON ADJACENT PROPERTIES.
- REFER TO MEP PLANS FOR GARAGE OIL WATER SEPARATOR AND SEWER CONNECTION LOCATION AND INVERT.

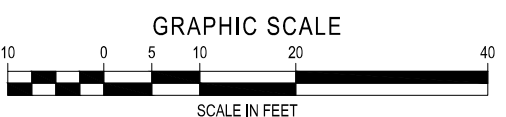


CONCORD AVENUE
(PUBLIC - 60' WIDE)

ERCONTINENTAL FUND
20 MOULTON ST LLC
K 47743 / PG. 385

PROPOSED RES. BUILDING
56,824 GSF
6 STORIES
FFE = 21.66

BUILDING DOMESTIC WATER SERVICE, FIRE WATER SERVICE AND GAS SERVICE TO BE PROVIDED FROM EXISTING WATER AND GAS INFRASTRUCTURE WITHIN THE CONCORD/WHEELER PHASE 1 GARAGE. SEE MEP PLANS.



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Stormwater Control Permit Number: _____

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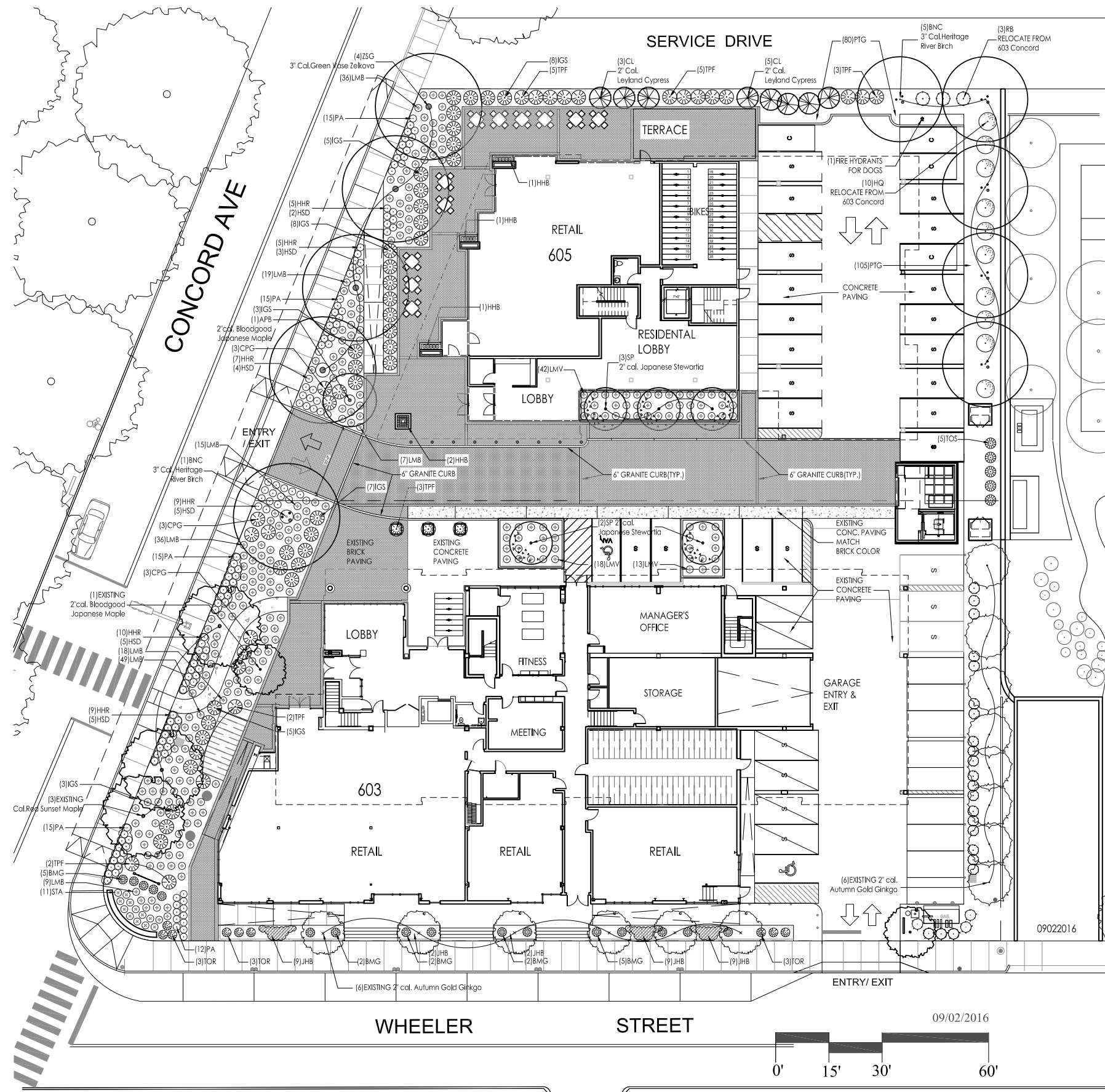
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Utility Plan

SCALE: 1" = 10'
DESIGNED BY: JVC
CHECKED BY: KPS
SHEET NO: **C-4**





GENERAL NOTES:
 1. ENSURE PROPER DRAINAGE OF ALL PLANTING BEDS/PITS
 2. ALL TREES SHALL BE OF SPECIMEN QUALITY.
 3. ALL SUBGRADES TO RECEIVE LANDSCAPE SOIL SHALL BE CROSS-RIPPED TO A DEPTH OF 12" TO AVOID COMPACTION

603 & 605 CONCORD WHEELER - PLANT LIST

QTY	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	10 yr MATURITY	SPREAD	NOTES
TREES							
1	APB	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	2' Cal.	15 - 20H	12 - 15'	Summer dark green - yellow to red in Autumn
6	BNC	Betula nigra 'Cully'	Heritage River Birch	12-14" H	25 - 35H	20 - 50'	Multi Stems Clump Silvery White Bark, light green leaves turn yellow in fall
8	CL	x Cupressocyparis leylandii	Leyland Cypress	2' Cal.	60 - 70H	6 - 12'	very dense blue green screen tree
5	SP	Stewartia pseudocamellia	Japanese Stewartia	2' Cal.	16 - 20H	10 - 12'	Specimen tree w exfoliates bark, dark green leaves w/ white yellow c flower
4	ZSG	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	3' Cal.	30 - 60H	25 - 35'	Upright Vase shape, dark green leaves turn bronzy red in fall
SHRUBS							
16	BMG	Buxus microphylla 'Green Velvet'	Green Velvet Boxwood	18-24" H	24-30" H	24-30"	Evergreen, Globe shape, small forest green foliage
9	CPG	Chamaecyparis pisifera 'Gold Mop'	Gold Mop Falsecypress	18-24" H	4 - 5H	3 - 4'	Evergreen, Theodora golden yellow leaves, turn lime green in fall
39	IGS	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	2.5 - 3' H	3' - 4H	3' - 4'	Evergreen, Light green in Spring turn dark green through out winter
5	TOS	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5 - 6' H	8' - 12H	3' - 4'	Evergreen, Columnar shape, Native to New England area
7	TPF	Thuja plicata 'Forever gold'	Forever Gold Western Arborvitae	4-5' H	10 - 12H	3 - 4'	Evergreen golden yellow foliage
9	TOR	Thuja occidentalis 'Rheingold'	Rheingold Arborvitae	18-24" H	3' - 4H	3 - 4'	Evergreen, Mounded globe, orange copper green foliage
PERENNIALS							
45	HHR	Hemerocallis 'Happy Return'	Happy Return Daylily	1 gal.	18-24" H		Lemony yellow flowers in July - September
24	HSD	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1 gal.	18-24" H		Yellow flowers in July - September
62	PA	Perovskia atriplicifolia	Russian Sage	1 gal.	18-24" H		Purple flowers in June - August
11	STA	Sedum telipium 'Autumn Fire'	Autumn Fire Sedum	1 gal.	24 - 30H		Rose - red flower in late summer to fall
GROUNDCOVER / VINE							
77	HHR	Hedera helix 'Batika'	Hardy English Ivy	Flat - (50)			Evergreen, Dark green leaves, Clinging Vine
31	JHB	Juniperus horiz 'Blue Rug'	Blue Rug creeping Juniper	1 gal.			24" on center Evergreen, Blue green foliage, Drought tolerant
182	LMB	Lilippe muscat 'Big Blue'	Big Blue Lily Turf-green mounded	1 gal.			Semi evergreen, clumps of grassy foliage, violet blue flowers in July
73	LWV	Lilippe muscat 'Variegata'	Variegated Lily Turf	1 gal.			Semi evergreen, clumps of yellow green w white edge, lavender flowers in July
15F	PTG	Pachysandra terminalis 'Green Carpet'	Green Carpet Japanese Spurge	Flat - (50)			Evergreen, grassy green leaves dense grouping growth

603 CONCORD WHEELER - PLANT LIST (EXISTING)

QTY	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	MATURITY	NOTES	REMARK
TREES							
1	APB	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	2' Cal.	15 H	15 Spread, Summer dark green - yellow to red in Autumn	Remain in existing location
4	ARR	Acer rubrum 'Red Sunset'	Red Sunset Maple	2.5' Cal.	45 H	30' Spread, Summer dark green - yellow to red in Autumn	Remain in existing location
6	GB	Ginkgo biloba 'Autumn Gold' - Male	Autumn Gold Ginkgo - Male	2' Cal.	50-60" H	25-30' Spread, Round Crown shape, bright yellow foliage	Remain in existing location
8	PS	Pinus Strobus	Eastern White Pine	2' Cal.	70-90" H	5 needles to a bundles, Soft Green, fast grow	Remain in existing location
SHRUBS							
12	AEG	Azalea exbury gibraltar	Exbury Azalea		2-4H	Blue flowers in July-August	Relocate to new location
15	CSB	Cornus stolonifera 'Baley'	Red Twigged Dogwood		4-8" H	Brownish red twigs dark green foliage, porcelain blue fruits	Remain in existing location
15	HQ	Hydrangea quercifolia	Ooleaf Hydrangea		4-6H	White Fragrant Flowers in June	Relocate to new location
22	RB	Rhododendron 'Boule de Neige'	Boule de Neige Rhododendron		3-5' H	White flowers, pale pink buds	Relocate to new location
7	TOS	Thuja occidentalis 'Smaragd'	Emerald green Arborvitae		10-15' H	3-4' spread, Emerald green all year	Remain in existing location
Ground Covers							
33	EF	Eunonymus fortunei emerald Gaiety	Winter Creeper		9-12" H		Removed
47	FOE	Festuca ovina 'Elijah Blue'	Blue Festuca		10-12" H	Dusty Blue/Green	Removed
XXX	SSJ	Sedum 'Spurium' John Creech'	Stoncrop 'John Creech'		6"-8" H		Removed

605 CONCORD AVE. CAMBRIDGE
 SPECIAL PERMIT APPLICATION
 SEPTEMBER 6 2016



603 & 605 CONCORD AVE PLANTS LIST

TREES



Bloodgood Japanese Maple



Heritage River Birch



Leyland Cypress



Japanese Stewartia



Green Vase Japanese Zelkova

SHRUBS



Green Velvet Boxwood



Gold Map Falsecypress



Snowrock Inkberry Holly



Emerald Green Arborvitae



Forever Goldy Western Arborvitae



Rheingold Arborvitae

PERENNIALS / GROUNDCOVERS / VINE



Happy Return Daylily



Stella D'Oro Daylily



Russian Sage



Autumn Fire Sedum



Hardy English Ivy



Blue Rug creeping Juniper



Big Blue Lily Turf-green mounded



Variegated Lily Turf



Green Carpet Japanese Spurge



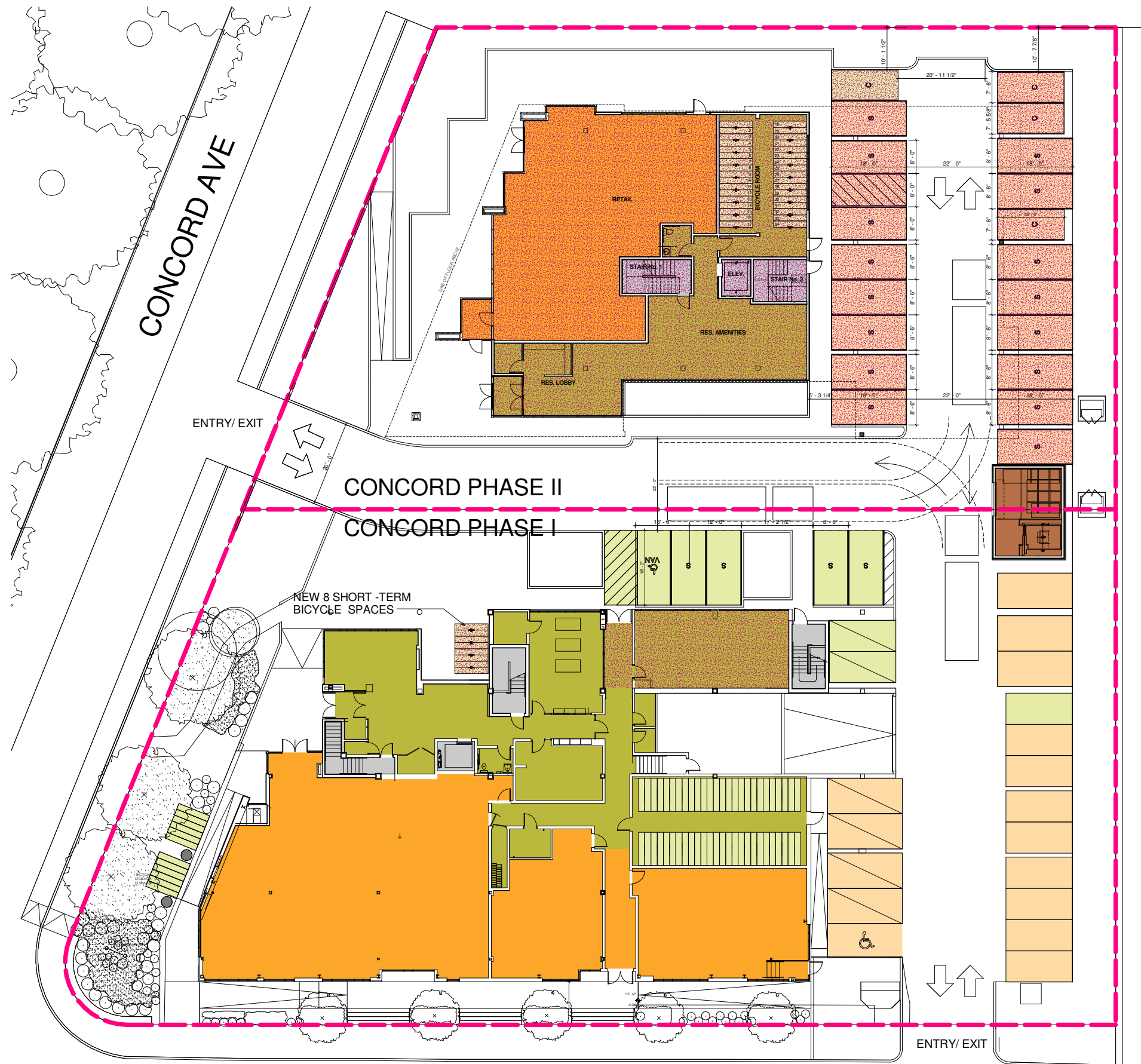
PHASE II
TOTAL BIKE SPACES:
 LONG-TERM: 14 REGULAR + 6 TANDEM

TOTAL CAR SPACES:
 30 COMPACT + 18 STANDARD

PHASE I (EXISTING)
 13 BIKE SPACES
 53 CAR SPACES

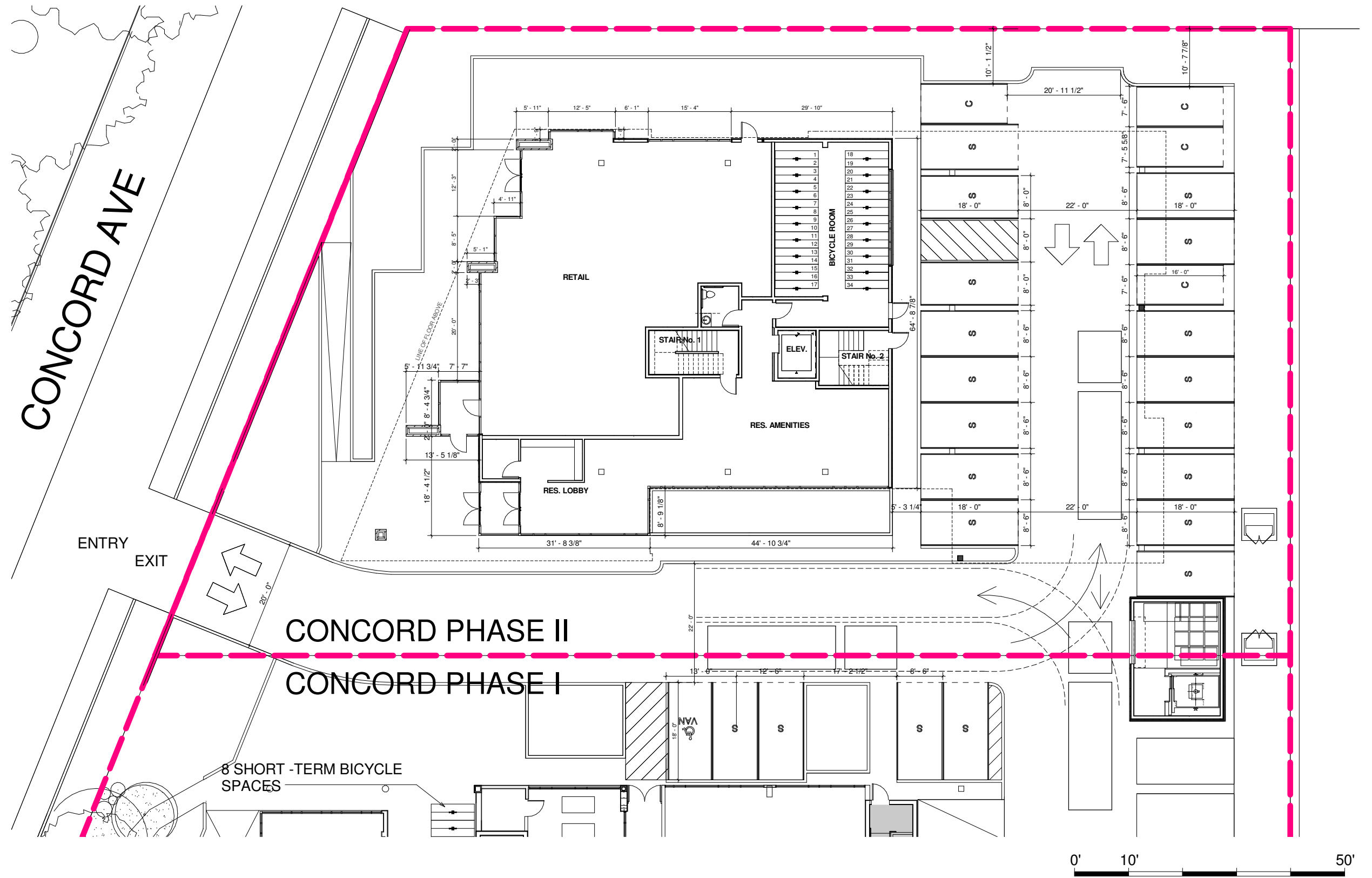
- KEY**
- PH I RETAIL
 - PH II RETAIL
 - PH I - COMM. PARKING SPACES
 - PH II - COMM PARKING SPACES
 - PH I - RESIDENTIAL
 - PH II - RESIDENTIAL
 - PH I - RES. PARKING SPACES
 - PH II - RES PARKING SPACES
 - PH I - STAIRS / ELEVATOR
 - PH II - STAIRS / ELEVATOR
 - PH I - SERVICE
 - PH II - SERVICE

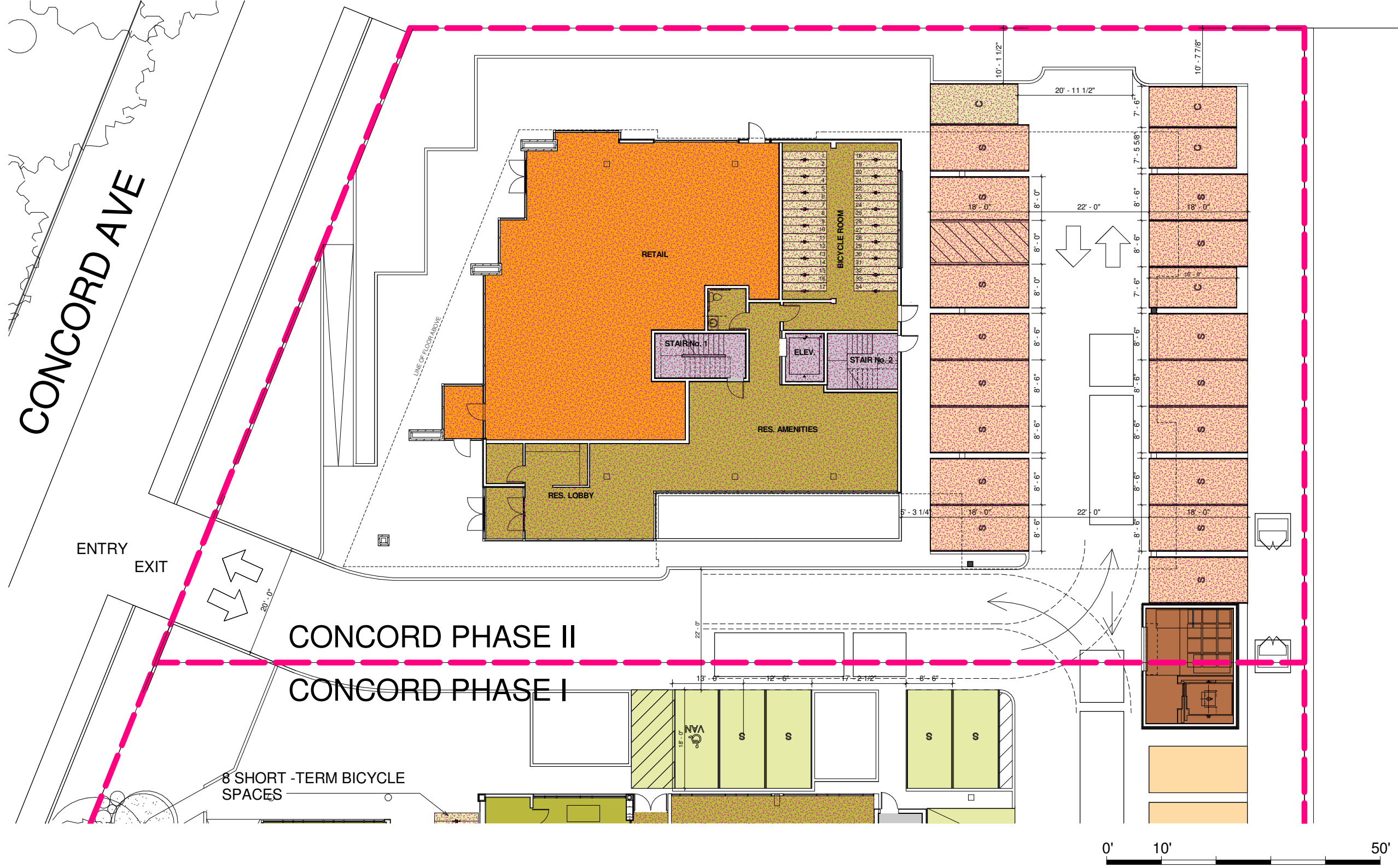


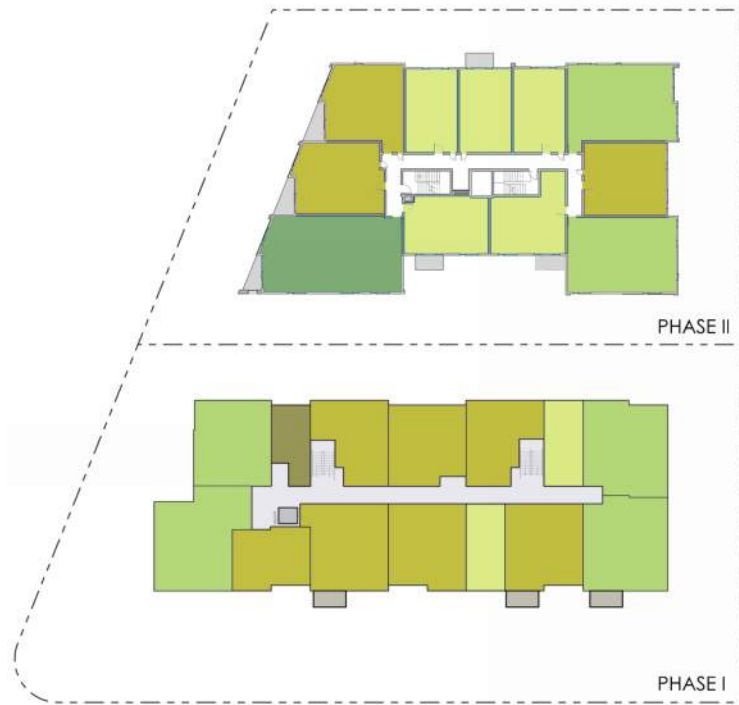


- PHASE II**
TOTAL BIKE SPACES:
 SHORT-TERM: 8
 LONG-TERM: 34
- TOTAL CAR SPACES:**
1 RESIDENTIAL (COMPACT)
19 RETAIL (16 STANDARD+3 COMPACT)
- PHASE I (EXISTING)**
8 RESIDENTIAL (5 STANDARD+3COMPACT)
16 RETAIL (8 STANDARD+8 COMPACT)
- TOTAL BIKE SPACES:**
 SHORT-TERM: 12
 LONG-TERM: 52
- KEY**
- PH I RETAIL
 - PH II RETAIL
 - PH I - COMM. PARKING SPACES
 - PH II - COMM PARKING SPACES
 - PH I - RESIDENTIAL
 - PH II - RESIDENTIAL
 - PH I - RES. PARKING SPACES
 - PH II - RES PARKING SPACES
 - PH I - STAIRS / ELEVATOR
 - PH II - STAIRS / ELEVATOR
 - PH I - SERVICE
 - PH II - SERVICE









- STUDIO
- 1 BEDROOM APT
- 2 BEDROOM APT
- 3 BEDROOM APT
- TERRACE, BALCONY

UNIT TYPE	FLOOR				
	2nd	3rd	4th	5th	6th
STUDIO					
SA 552 sf	3	3	3		
SB 458 sf				1	1
1 BEDROOM					
1A 775 sf	1	1	1		
1B 782 sf	1	1	1		
1C 760 sf	1	1	1		
1D 765 sf				1	1
1E 781 sf				1	1
1F 609 sf	1	1	1		
1G 629 sf	1	1	1		
2 BEDROOM					
2A 1053 sf	1	1	1		
2B 1032 sf	1	1	1		
2C 961 sf				1	1
2D 1018 sf				1	1
2E 1064 sf				1	1
2F 890 sf				1	1
2G 1052 sf				1	1
3 BEDROOM					
3A 1309 sf	1	1	1		
TOTAL	49 UNITS				
	11 - STUDIOS				
	19 - 1 BEDROOM UNITS				
	16 - 2 BEDROOM UNITS				
	3 - 3 BEDROOM UNITS				

