

CAS FOUNDATION RMD

110 Fawcett Street, Cambridge, MA 02138

OWNER:
CAS Foundation, LLC

ARCHITECT:
Elton + Hampton Architects
103 Terrace Street
Roxbury, MA 02120
(617) 708-1071

CIVIL ENGINEER:
Joyce Consulting Group, Inc.
100 Wyman Road
Braintree, MA 02184
(781) 817-6120

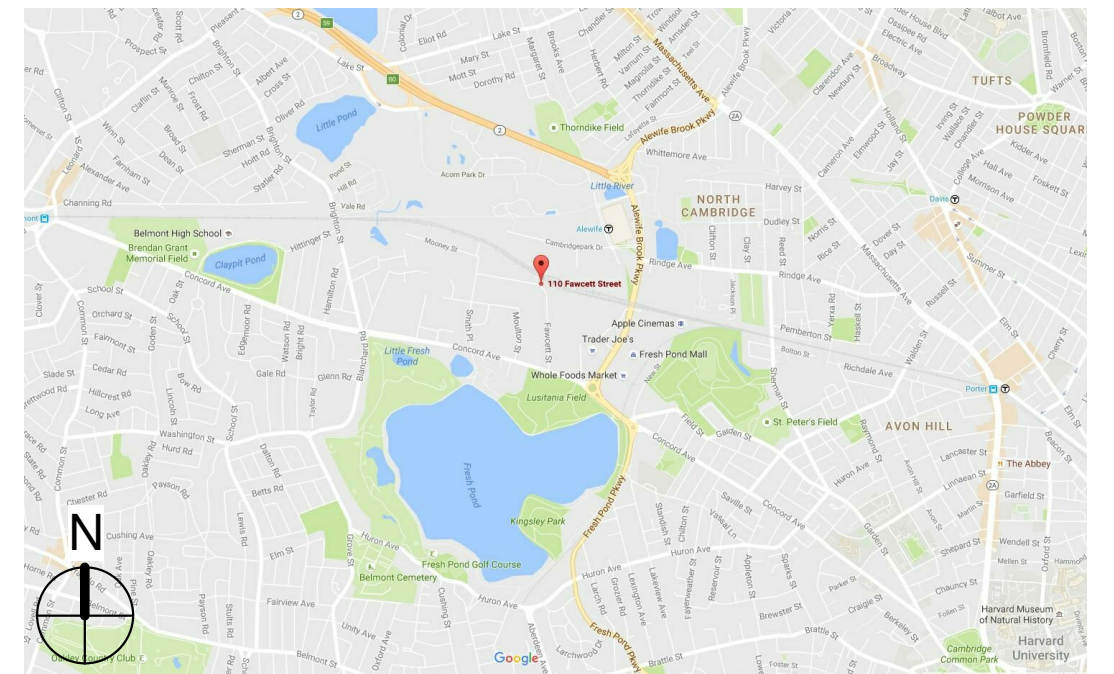


TRAFFIC CONSULTANT:
Howard Stein Hudson
11 Beacon Street
Suite 1010
Boston, MA 02108
(617) 482-7080

SECURITY:
Lan-Tel Communications, Inc.
1400 Providence Highway
Suite 3100
Norwood, MA 02062
(857) 939-8181

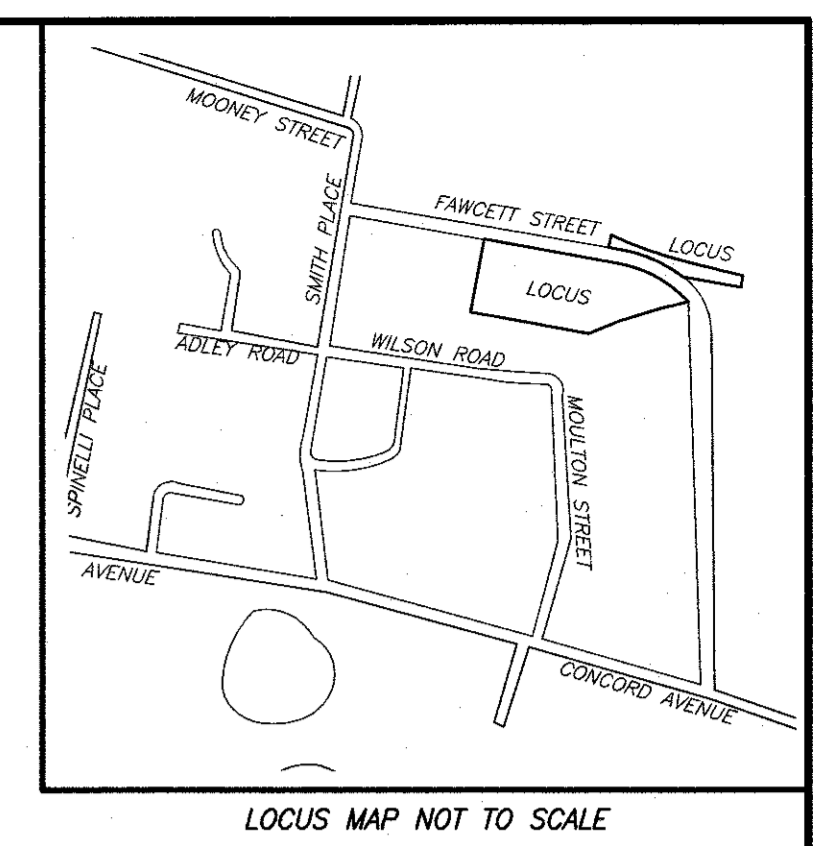
DRAWING LIST

- Cover Page
- Plan of Land - Feldman Survey
- A-00 Context Map
- A-01 Context Distance Map
- A-02 Proximity to Schools Map
- A-03 Proximity to Daycare Facilities
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- C-2 Site Layout & Grading Plan
- C-3 Site Utility Plan
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- A-06 Building Elevations
- A-07 Site Photographs
- A-08 Exterior Rendering
- SP-1 Site Security Plan
- SP-2 Security Layout Floor Plan



October 24th, 2016

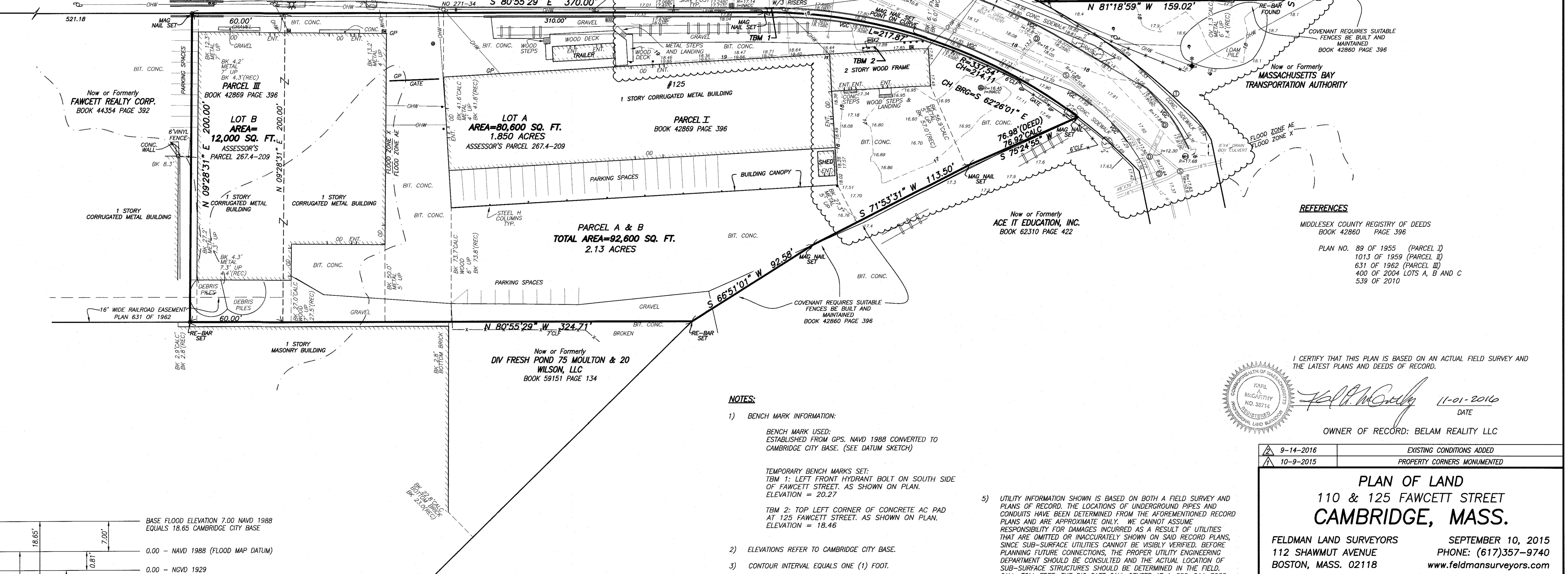
- LEGEND**
- ⊙ TELEPHONE MANHOLE
 - ⊙ DRAIN MANHOLE
 - ⊙ HYDRANT
 - ⊙ CATCH BASIN
 - ⊙ BOLLARD
 - ⊙ SIGN
 - ⊙ OBSERVATION WELL
 - ⊙ GUY WIRE
 - ⊙ GUY POLE
 - ⊙ UTILITY POLE
 - ⊙ UTILITY POLE W/ LIGHT
 - ⊙ AIR CONDITIONING UNIT
 - ⊙ ELECTRIC METER
 - REC RECORD
 - CALC CALCULATED
 - VGC VERTICAL GRANITE CURB
 - BIT BITUMINOUS
 - CONC CONCRETE
 - FND FOUNDATION
 - GP GATE POST
 - TOH TOP OF HOOD
 - BC BOTTOM OF CURB
 - TC TOP OF CURB
 - ⊙ SEWER MANHOLE
 - ⊙ MANHOLE
 - ⊙ WATER SHUT OFF/WATER GATE
 - ⊙ ROUND CATCH BASIN
 - INACC INACCESSIBLE
 - SQ. FT. SQUARE FEET
 - CH= CHORD
 - CH BRG= CHORD BEARING
 - R= RADIUS
 - L= LENGTH
 - OAD AREA DRAIN
 - N.T.S. NOT TO SCALE
 - N/F NOW OR FORMERLY
 - BK BACK
 - OV OVER
 - OD OVERHEAD DOOR
 - UP MEASUREMENT FROM GROUND LEVEL TO POINT LOCATED ON BUILDING CORNER
 - TYP TYPICAL
 - FND FOUNDATION
 - ⊙ DECIDUOUS TREE
 - X- CHAIN LINK FENCE
 - OHV OVERHEAD WIRES
 - REMANANT OF RAILROAD TRACK



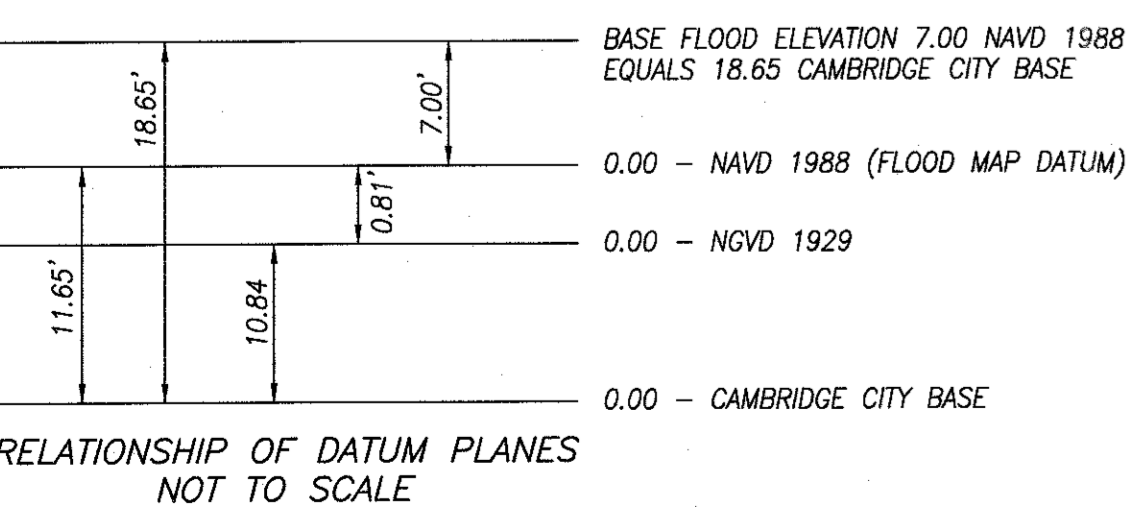
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	225.30'	1204.22'	10°43'10"	N 72°00'24" W	1224.97'
C2	184.49'	387.54'	127°16'33"	N 67°17'12" W	1182.75'

SMITH PLACE

FAWCETT (PUBLIC ~ 50' WIDE) STREET
1951 LAYOUT



- REFERENCES**
- MIDDLESEX COUNTY REGISTRY OF DEEDS
BOOK 42860 PAGE 396
 - PLAN NO. 89 OF 1955 (PARCEL I)
 - 1013 OF 1959 (PARCEL II)
 - 631 OF 1962 (PARCEL III)
 - 400 OF 2004 LOTS A, B AND C
 - 539 OF 2010



- NOTES:**
- 1) BENCH MARK INFORMATION:
BENCH MARK USED: ESTABLISHED FROM GPS. NAVD 1988 CONVERTED TO CAMBRIDGE CITY BASE. (SEE DATUM SKETCH)
TEMPORARY BENCH MARKS SET:
TBM 1: LEFT FRONT HYDRANT BOLT ON SOUTH SIDE OF FAWCETT STREET. AS SHOWN ON PLAN. ELEVATION = 20.27
TBM 2: TOP LEFT CORNER OF CONCRETE AC PAD AT 125 FAWCETT STREET. AS SHOWN ON PLAN. ELEVATION = 18.46
 - 2) ELEVATIONS REFER TO CAMBRIDGE CITY BASE.
 - 3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
 - 4) BY GRAPHIC PLOTTING ONLY, A PORTION OF THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "AE" SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY 1% ANNUAL CHANCE FLOOD, AND ALSO LIES WITHIN A ZONE "X" (UNSHADED) AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0419C, CITY OF CAMBRIDGE COMMUNITY NUMBER 250186, PANEL NUMBER 0419E, HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.
 - 5) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUB-SURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
 - 6) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

[Signature] 11-01-2016
DATE

OWNER OF RECORD: BELAM REALTY LLC

9-14-2016	EXISTING CONDITIONS ADDED
10-9-2015	PROPERTY CORNERS MONUMENTED

PLAN OF LAND
110 & 125 FAWCETT STREET
CAMBRIDGE, MASS.

FELDMAN LAND SURVEYORS SEPTEMBER 10, 2015
112 SHAWMUT AVENUE PHONE: (617)357-9740
BOSTON, MASS. 02118 www.feldmansurveyors.com

FELDMAN
LAND SURVEYORS

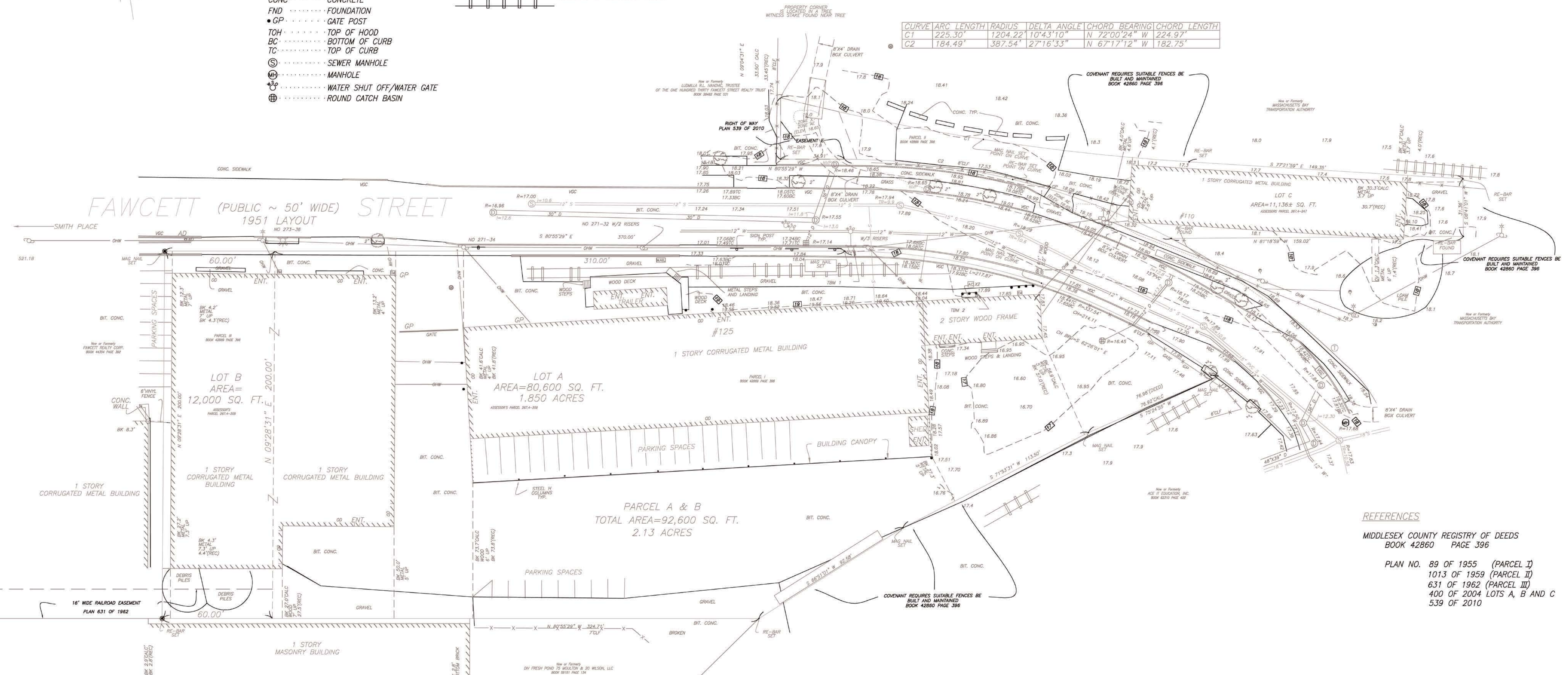
SCALE: 1"=30'

RESEARCH MJB	FIELD CHIEF FS	PROJ MGR SMD	APPROVED	SHEET NO. 1 OF 1
CALC MJB/TMT	CADD TMT/EC	FIELD CHECKED	CRD FILE 15307	JOB NO. 15307

FILENAME: S:\PROJECTS\15300s\15307\DWG\15307.dwg

- LEGEND**
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 - ⊙ DRAIN MANHOLE
 - ⊕ HYDRANT
 - ⊕ CATCH BASIN
 - BOLLARD
 - SIGN
 - OBSERVATION WELL
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 - REMNANT OF RAILROAD TRACK

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REFERENCES

MIDDLESEX COUNTY REGISTRY OF DEEDS
BOOK 42860 PAGE 396

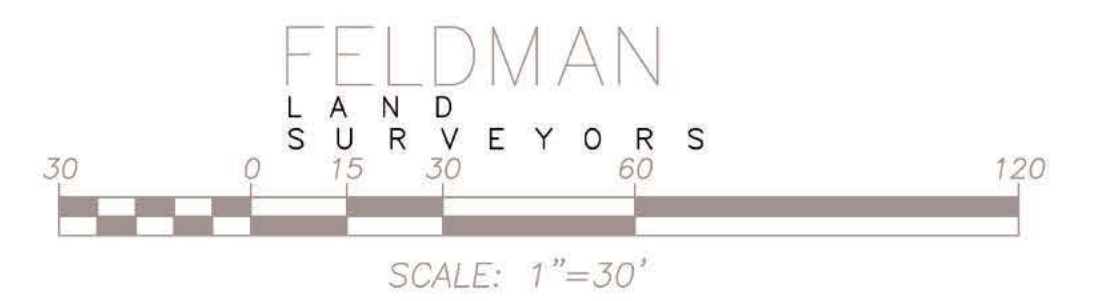
PLAN NO. 89 OF 1955 (PARCEL I)
1013 OF 1959 (PARCEL II)
631 OF 1962 (PARCEL III)
400 OF 2004 LOTS A, B AND C
539 OF 2010

OWNER OF RECORD: BELAM REALTY LLC
PROGRESS PRINT 9-14-16

PARTIAL EXISTING CONDITIONS
110 & 125 FAWCETT STREET
CAMBRIDGE, MASS.

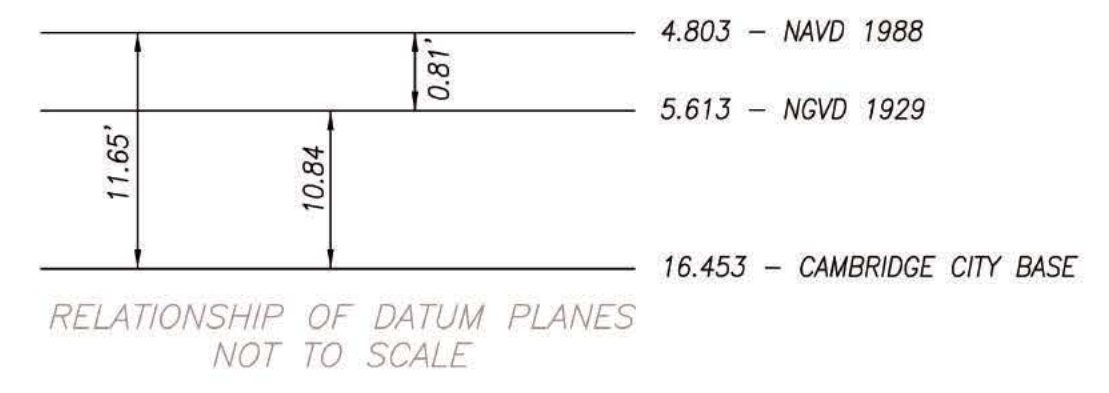
FELDMAN LAND SURVEYORS
112 SHAWMUT AVENUE
BOSTON, MASS. 02118

SEPTEMBER 14, 2016
PHONE: (617)357-9740
www.feldmansurveyors.com



RESEARCH MJB	FIELD CHIEF FS	PROJ MGR SMD	APPROVED	SHEET NO. 1 OF 1
CALC MJB/TMT	CADD TMT/EC	FIELD CHECKED	CRD FILE 15307	JOB NO. 15307

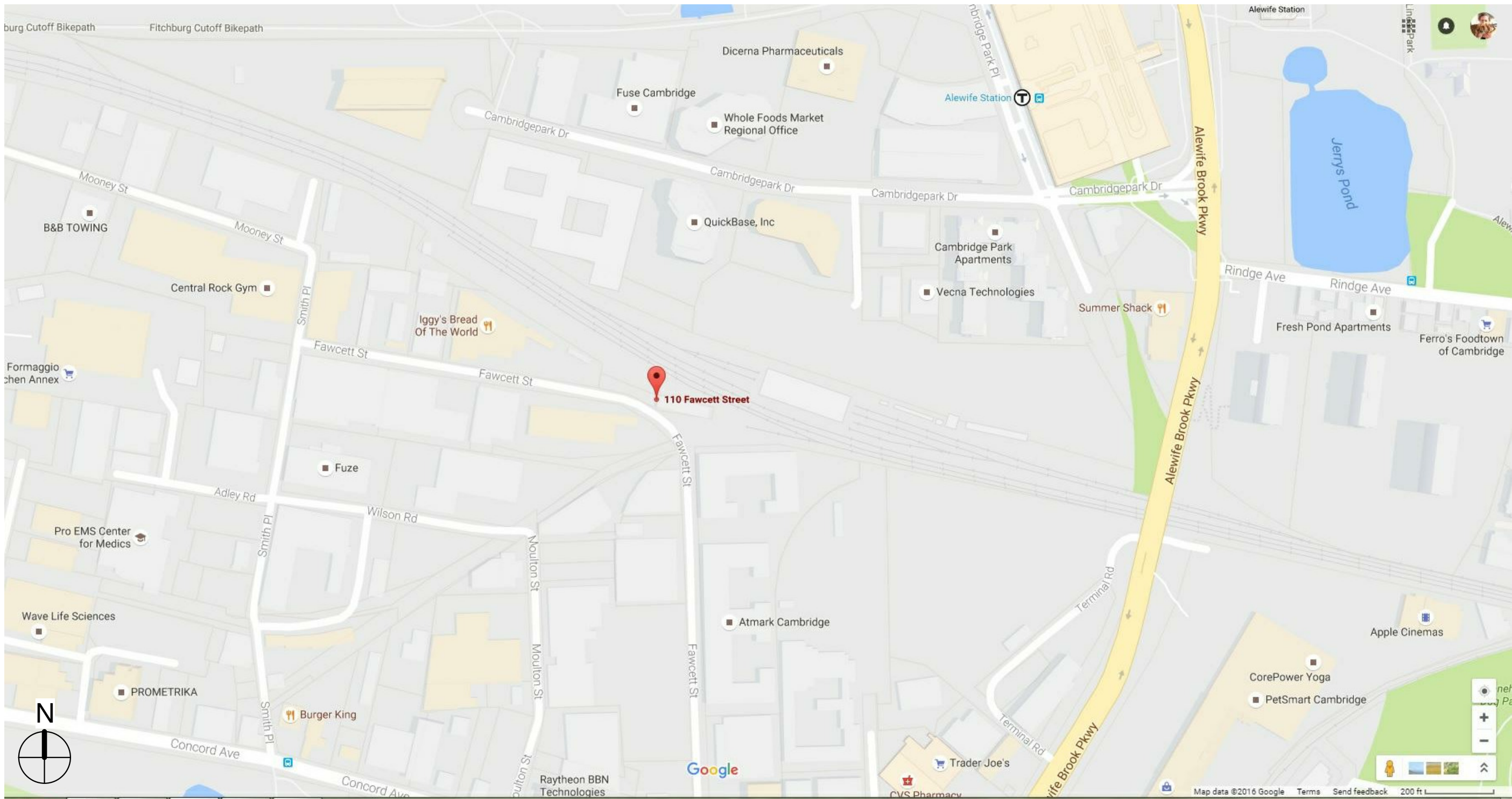
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I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

DATE _____

LOCUS MAP NOT TO SCALE



ELTON HAMPTON ARCHITECTS
 103 Terrace Street
 Boston, MA 02120
 617-708-1071

OWNER:
 Revolutionary Growers, LLC
 1 Oak Hill Road
 Fitchburg, MA 01420

No.	Description	Date

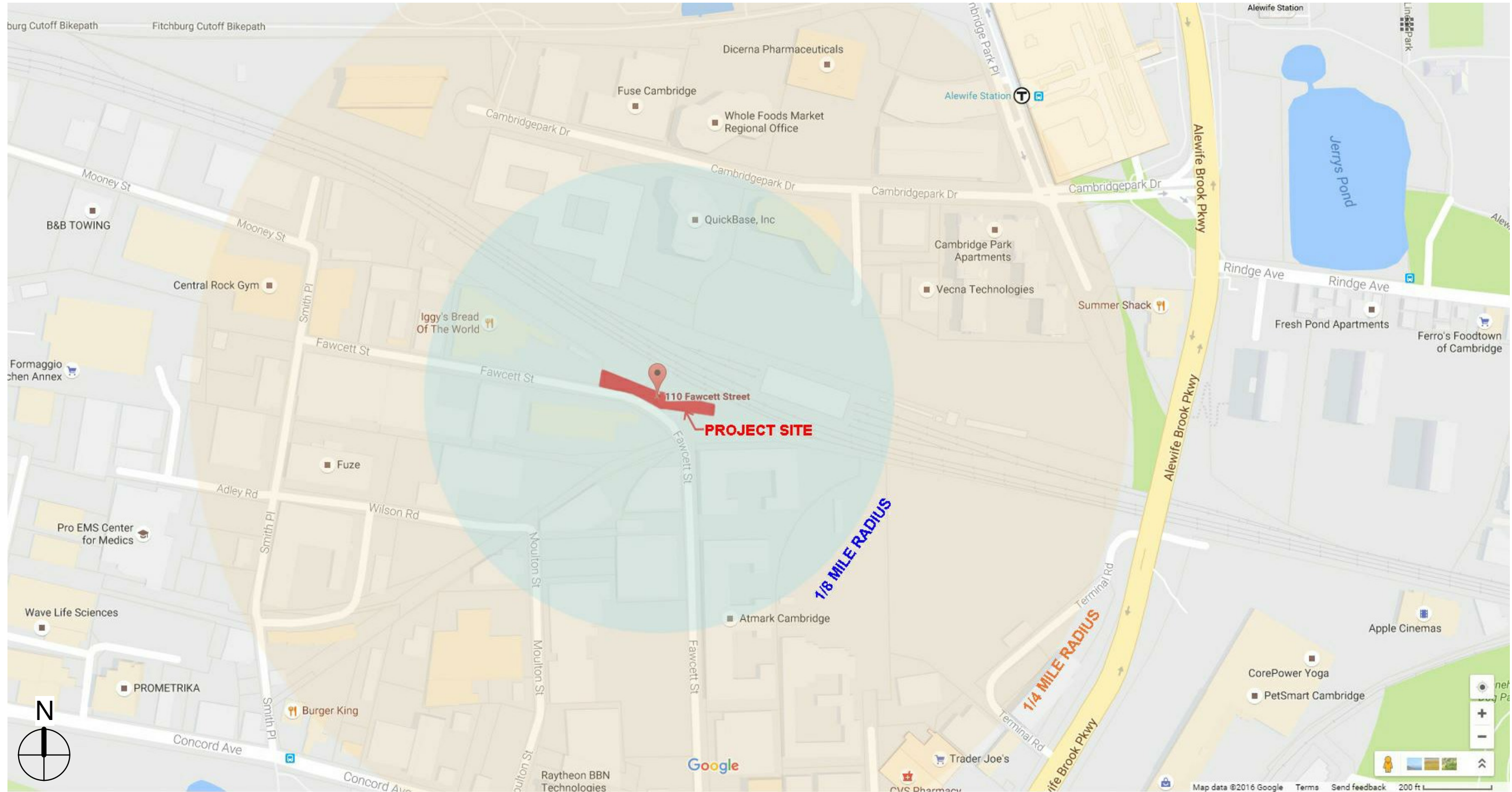
PROJECT
CAS Cambridge
 110 Fawcett Street
 Context Map

Date	10.24.16
Project number	CAS
Drawn by	Melissa D. Worth
Checked by	Bruce Hampton

A-00

ELTON HAMPTON ARCHITECTS
103 Terrace Street
Boston, MA 02120
617-708-1071

OWNER:
Revolutionary Growers, LLC
1 Oak Hill Road
Fitchburg, MA 01420

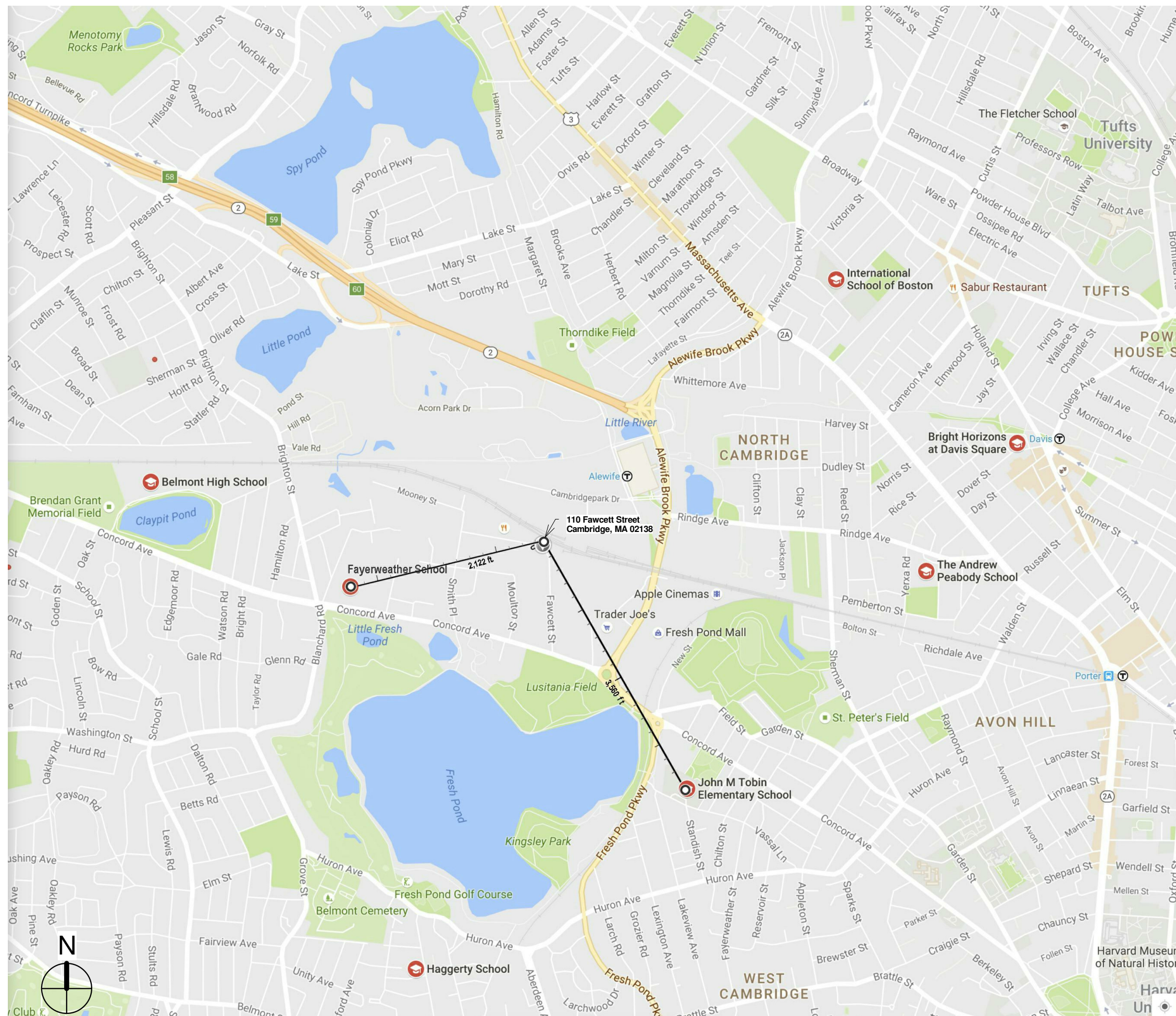


No.	Description	Date

PROJECT
CAS Cambridge
110 Fawcett Street
Context Distance Map

Date	10.24.16
Project number	CAS
Drawn by	Melissa D. Worth
Checked by	Bruce Hampton

A-01



ELTON HAMPTON ARCHITECTS
103 Terrace Street
Boston, MA 02120
617-708-1071

OWNER:
Revolutionary Growers, LLC
1 Oak Hill Road
Fitchburg, MA 01420

No.	Description	Date

PROJECT
CAS Cambridge
110 Fawcett Street
Proximity to Schools

Date	10.24.16
Project number	CAS
Drawn by	Bruce Hampton
Checked by	Bruce Hampton

A-02



ELTON HAMPTON ARCHITECTS
 103 Terrace Street
 Boston, MA 02120
 617-708-1071

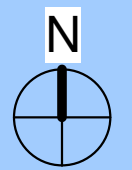
OWNER:
 Revolutionary Growers, LLC
 1 Oak Hill Road
 Fitchburg, MA 01420

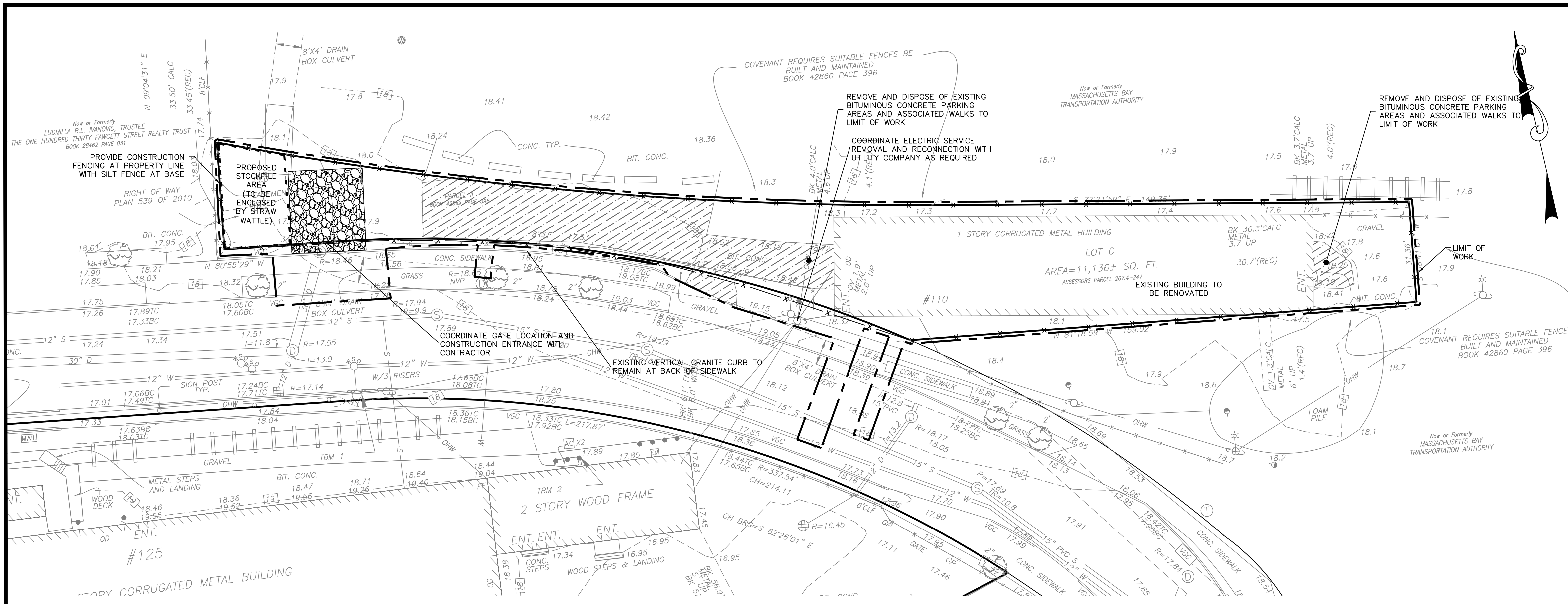
No.	Description	Date

PROJECT
CAS Cambridge
 110 Fawcett Street
 Proximity to Daycare Facilities

Date	10.24.16
Project number	CAS
Drawn by	Bruce Hampton
Checked by	Bruce Hampton

A-03





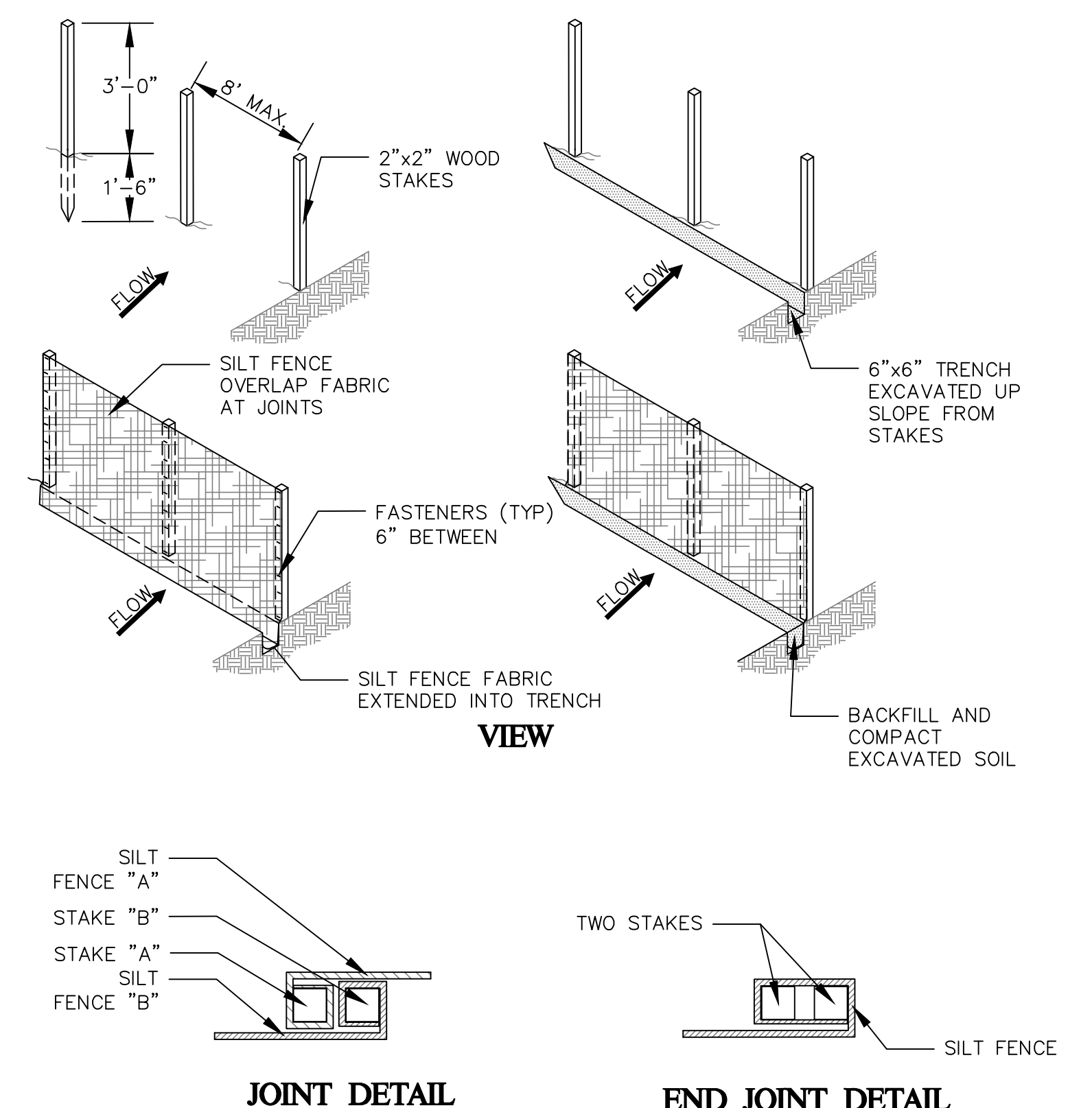
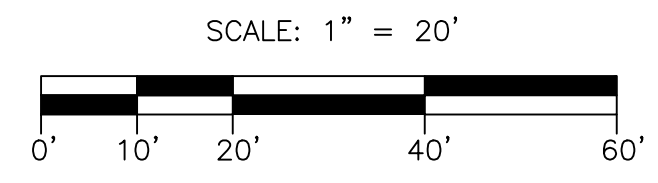
SITE PLAN
1"=20'

GENERAL NOTES

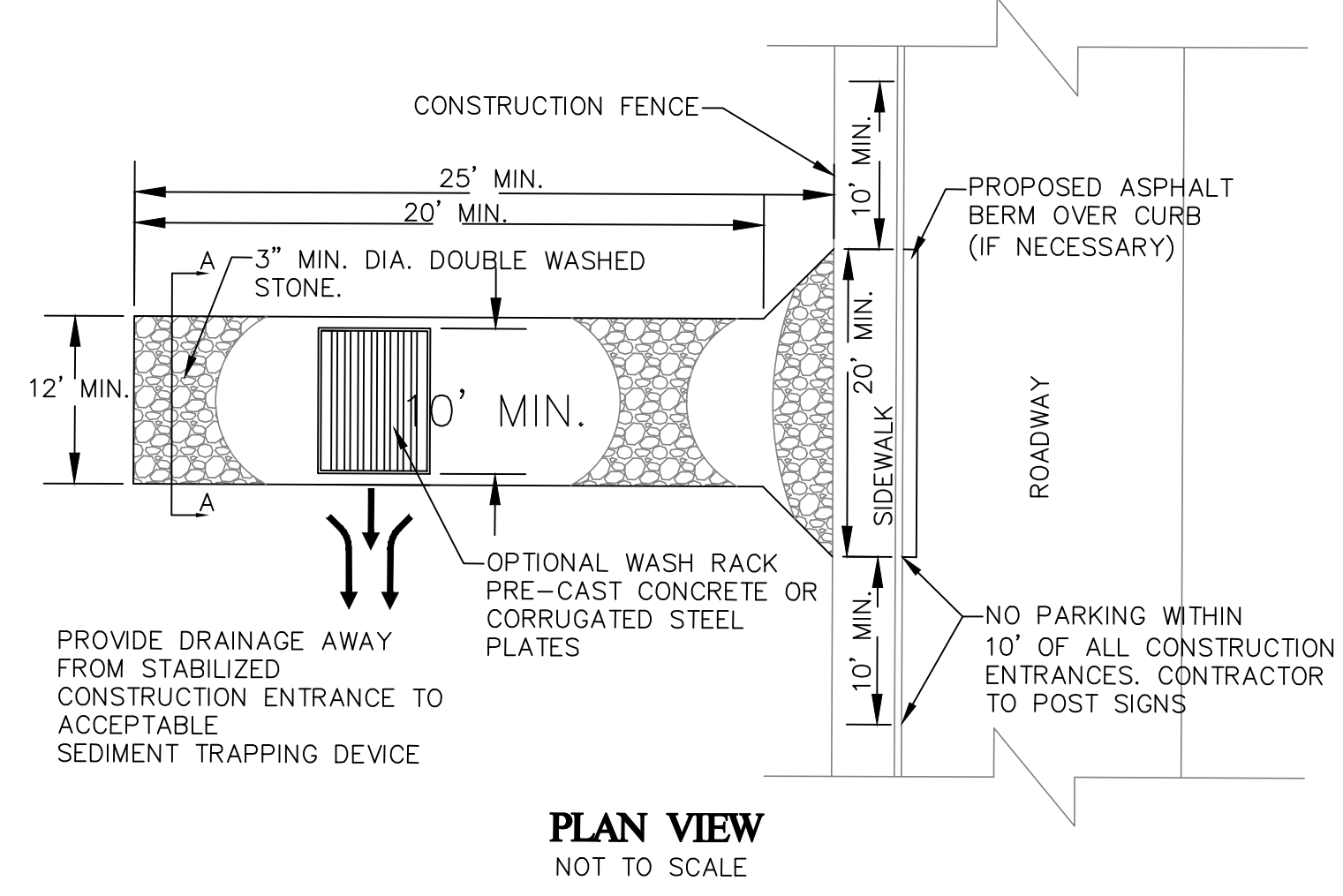
- VERTICAL DATUM IS CAMBRIDGE CITY BASE.
- SITE FEATURES AND UTILITIES SHOWN ON THIS PLAN ARE BASED ON A PLAN CREATED BY FELDMAN LAND SURVEYORS TITLED "PARTIAL EXISTING CONDITIONS 110 & 125 FAWCETT STREET CAMBRIDGE, MA" WITH A SCALE OF 1"=30' AND A DATE OF 09-14-16.
- LOCATION OF SUBSURFACE UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT DIG SAFE AT 1-888-DIGSAFE AT LEAST 72 HOURS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- FEMA FLOOD ELEV. =18.65 (CITY OF CAMBRIDGE DATUM)(NAVOD88 ELEV. 7)

EROSION AND SEDIMENT CONTROL NOTES

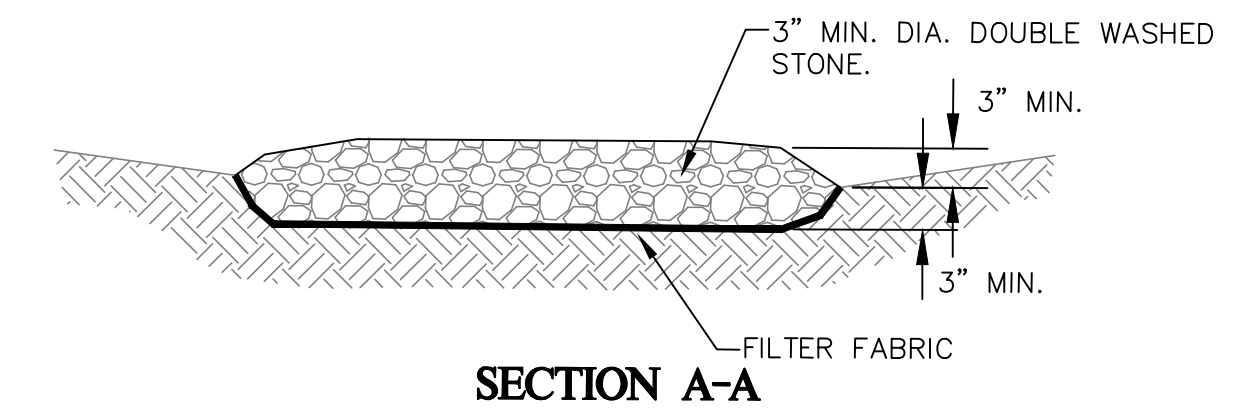
- PRIOR TO ANY LAND DISTURBANCE ACTIVITIES COMMENCING ON THE SITE, THE DEVELOPER SHALL PHYSICALLY MARK LIMITS OF NO LAND DISTURBANCE ON THE SITE WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE, SO THAT WORKERS CAN SEE THE AREAS TO BE PROTECTED. THE PHYSICAL MARKERS SHALL REMAIN IN PLACE UNTIL A CERTIFICATE OF COMPLETION HAS BEEN ISSUED.
- APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
- MINIMIZE TOTAL AREA OF DISTURBANCE AND PROTECT NATURAL FEATURES AND SOIL.
- THE CONTRACTOR SHALL SEQUENCE ALL ACTIVITIES TO MINIMIZE SIMULTANEOUS AREAS OF DISTURBANCE. MASS CLEARINGS AND GRADING OF THE ENTIRE SITE SHALL BE AVOIDED.
- MINIMIZE SOIL EROSION AND CONTROL SEDIMENTATION DURING CONSTRUCTION.
- DIVERT UNCONTAMINATED WATER AROUND DISTURBED AREAS.
- INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES OR THE 2008 EPA'S CONSTRUCTION GENERAL PERMIT.
- PROTECT AND MANAGE ON AND OFF-SITE MATERIAL STORAGE AREAS (OVERBURDEN AND STOCKPILES OF DIRT, BORROW AREAS, OR OTHER AREAS USED SOLELY BY THE PERMITTED PROJECT ARE CONSIDERED A PART OF THE PROJECT).
- COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS INCLUDING WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS, AND AIR QUALITY REQUIREMENTS, INCLUDING DUST CONTROL.
- SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE EROSION CONTROL DEVICE. SEDIMENT SHALL BE REMOVED FROM SILT FENCE PRIOR TO REACHING THE LOAD-BEARING CAPACITY OF THE SILT FENCE WHICH MAY BE LOWER THAN 1/4 TO 1/2 THE HEIGHT.
- SEDIMENT FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS SHALL BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT.
- BMPs TO BE USED FOR INFILTRATION AFTER CONSTRUCTION SHALL NOT BE USED AS BMPs DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE BOARD. MANY INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND THUS MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS.
- SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2:1. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
- FOR ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS AND AREAS WITHIN 50 FEET OF A BUILDING UNDER CONSTRUCTION, A PERIMETER SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED AND MAINTAINED TO CONTAIN SOIL.
- A TRACKING PAD OR OTHER APPROVED STABILIZATION METHOD SHALL BE CONSTRUCTED AT ALL ENTRANCE/EXIST POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE.
- PERMANENT SEEDING SHALL BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. DURING THE PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, APPROPRIATE TEMPORARY STABILIZATION SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
- TEMPORARY SEDIMENT TRAPPING DEVICES MUST NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
- PROPERLY MANAGE ON-SITE CONSTRUCTION AND WASTE MATERIALS.
- PREVENT OFF-SITE VEHICLE TRACKING OF SEDIMENTS.
- DUST SHALL BE CONTROLLED AT THE SITE.
- ALL PREVIOUSLY DISTURBED LAND SHALL BE STABILIZED BY APPROVED METHODS AFTER 14 DAYS IF LEFT UNDISTURBED. THIS INCLUDES STOCKPILES, CONSTRUCTION ENTRANCES, GRADED AREAS AND OTHER CONSTRUCTION ACTIVITY RELATED CLEARING.
- IF WORK IS HALTED OVER WINTER MONTHS THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING THE AREA THROUGH GROUNDCOVER PRACTICES.



SILT FENCE DETAIL
NOT TO SCALE



CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



SECTION A-A

INSPECTION SCHEDULE SHALL COMPLY WITH THE 2008 EPA CONSTRUCTION GENERAL PERMIT MAINTENANCE SHALL OCCUR WHEN NECESSARY. SILT FENCE SHALL BE REPLACE EVERY 6 MONTHS AND STACKS SHALL BE INSPECTED TO ENSURE STRUCTURAL INTEGRITY. SILT FENCE SHALL BE INSPECTED WEEKLY AND ALL MAINTENANCE ISSUES SHALL BE CORRECT AT THAT TIME.



JCG JOYCE CONSULTING GROUP
CIVIL ENGINEERS
100 WYMAN ROAD
BRAINTREE, MA 02184
781-817-6120
hello@joycecg.com

LEGEND

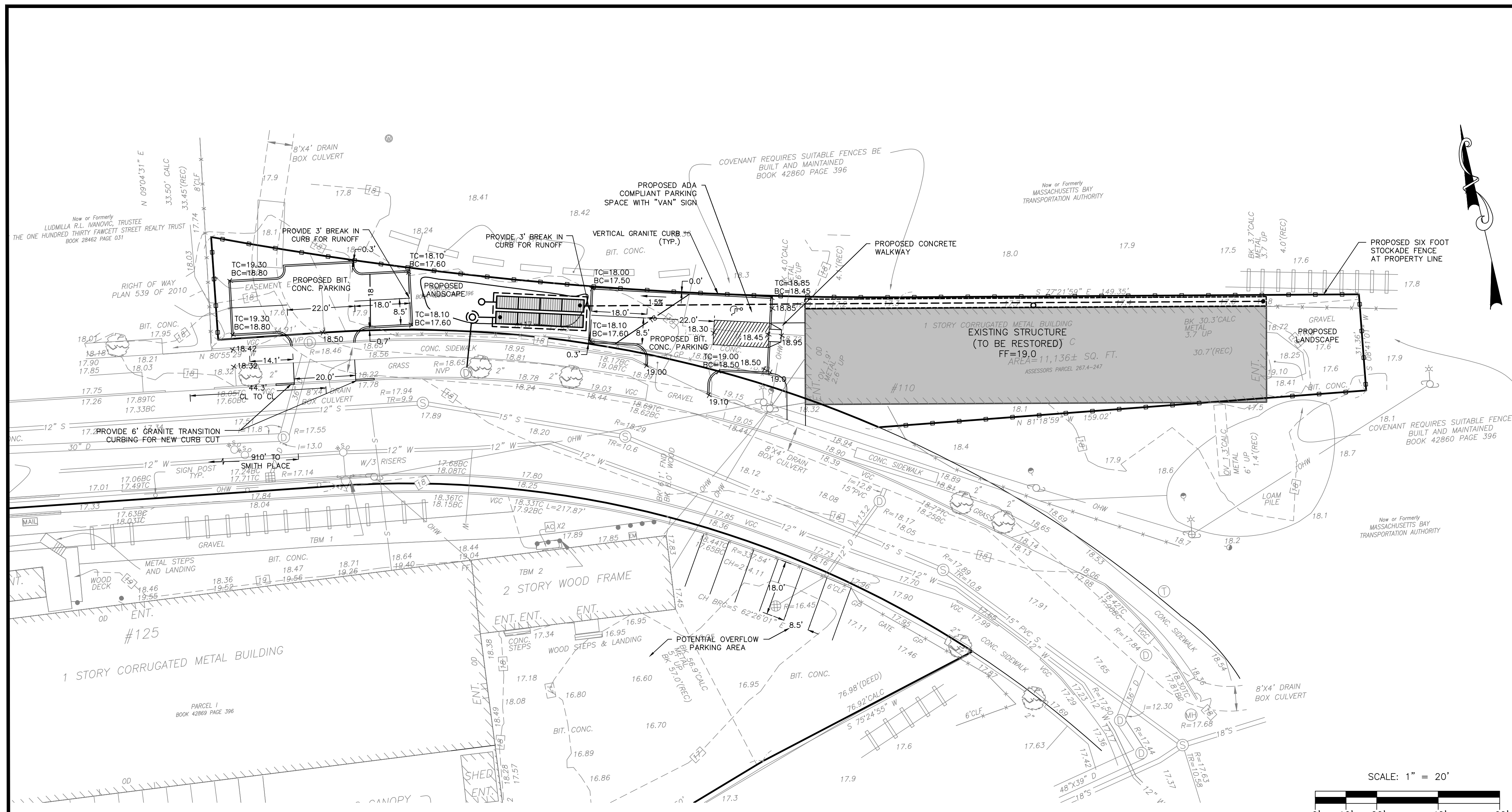
---	AERIAL FIBER OPTIC	WV	WATER VALVE
-W-	EX. WATER	HY	HYDRANT
-S-	EX. SEWER	SMH	SEWER MANHOLE
-D-	EX. DRAIN	TMH	TELEPHONE MANHOLE
-E-	EX. ELECT.	CB	EX. CATCH BASIN
-T-	EX. TEL.	UP	UTILITY POLE
-G-	EX. GAS	VGC	VERTICAL GRANITE CURB
LP	LIGHT POLE	FGC	FLUSH GRANITE CURB
DMH	DRAIN MANHOLE	CRW	CONCRETE RETAINING WALL
EMH	ELECTRIC MANHOLE		
VGC	VERTICAL GRANITE CURB		
FGC	FLUSH GRANITE CURB		
CRW	CONCRETE RETAINING WALL		

SCALE	1"=20'	JOB NO.	JCG 16-029
DATE	10-21-16	TAX MAP NO.	N/A
REVISIONS			
NO.	REVISION	BY	

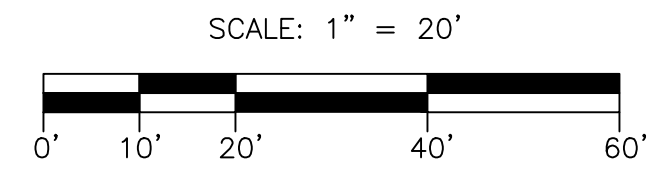
SITE TITLE:
SITE DEMOLITION PLAN
110 FAWCETT STREET
CAMBRIDGE, MA

PREPARED FOR:
ELTON + HAMPTON ARCHITECTS
103 TERRACE STREET
ROXBURY, MA 02120

C-1
SHEET 1 OF 4



SITE PLAN
1"=20'



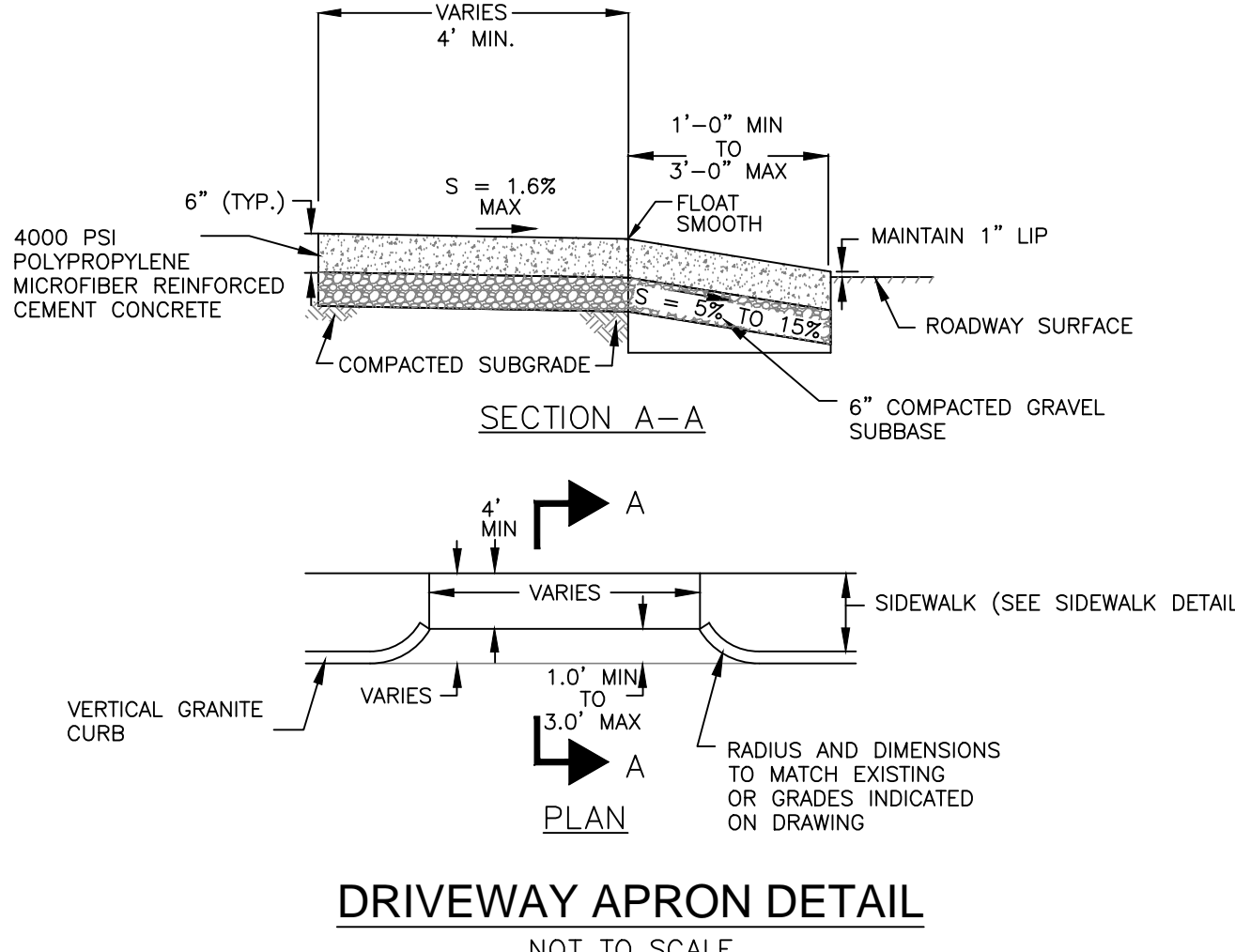
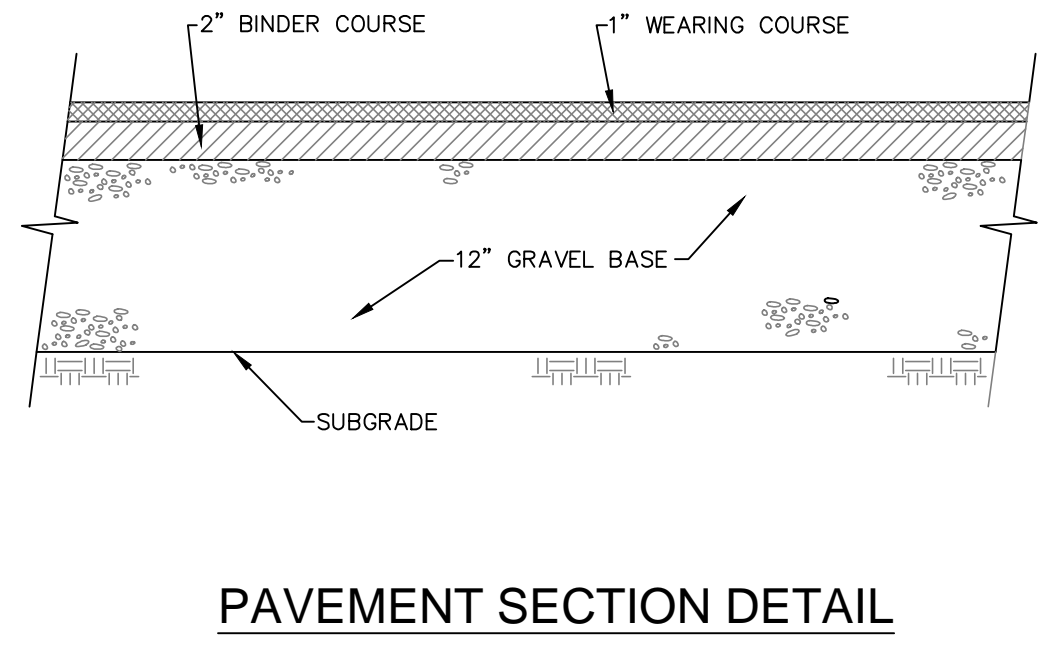
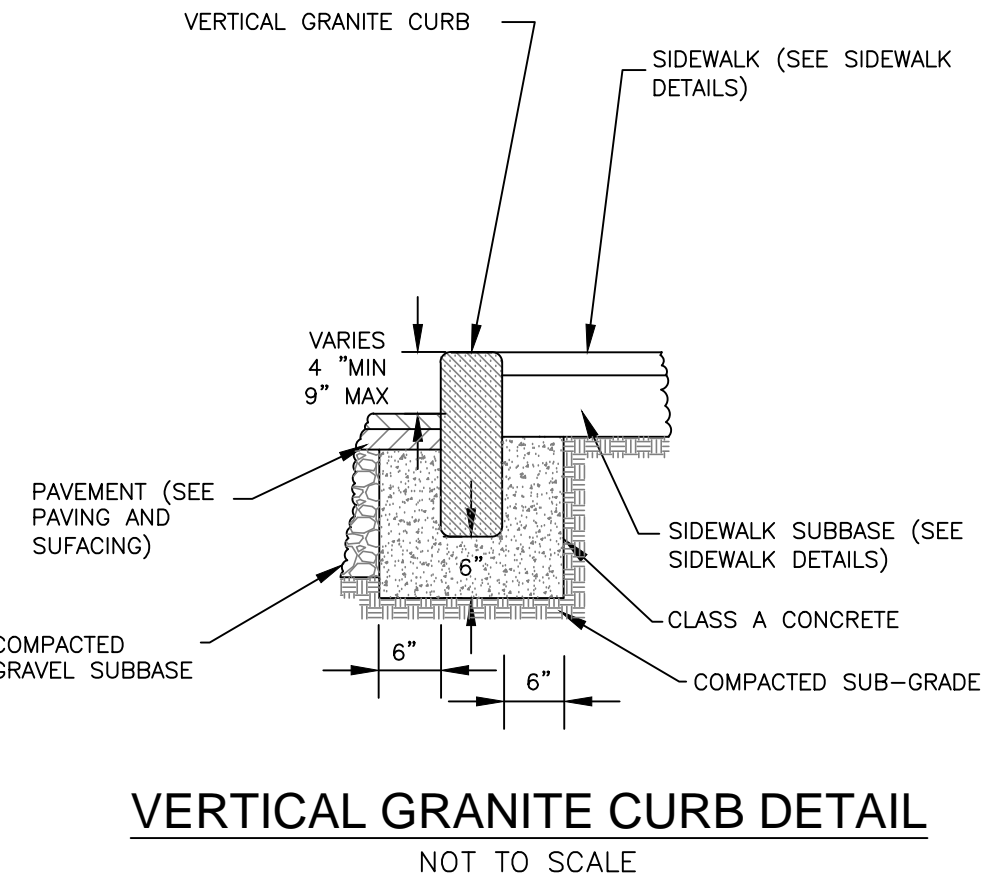
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- 4) FEMA FLOOD ELEV. =18.65 (CITY OF CAMBRIDGE DATUM)(NAVD88 ELEV. 7)

GENERAL GRADING NOTES

1. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF ONE-EIGHTH INCH (1/8") PER FOOT.
2. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING.
3. UNDERGROUND UTILITIES SHOWN AS APPROXIMATE ONLY.
4. PROVIDE POSITIVE DRAINAGE AWAY FROM FACE OF BUILDINGS AT ALL LOCATIONS.
5. ALL PROPOSED TOP OF CURB ELEVATIONS ARE SIX INCHES (6") ABOVE BOTTOM OF CURB ELEVATIONS UNLESS SHOWN OTHERWISE.
6. THE GENERAL CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING EARTHWORK.
7. ALL POINTS OF CONSTRUCTION EGRESS AND/OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT/ENGINEER PRIOR TO STARTING WORK.
9. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE GENERAL CONTRACTOR AND SHARED WITH THE ARCHITECT AND ENGINEER AS REQUIRED.
10. SURPLUS MATERIALS SHALL NOT BE REMOVED FROM THE SITE UNLESS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
11. ANY AREAS OUTSIDE OF THE LIMIT-OF-WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
12. FURNISH AND INSTALL 3" OF SCREENED LOAM AND HYDROSEED IN ALL DISTURBED AREAS.

- LEGEND**
- DMH PROPOSED DRAIN MANHOLE
 - CB PROPOSED STORMCEPTOR INLET
 - SMH PROPOSED SEWER MANHOLE
 - WG PROPOSED GATE VALVE
 - CO PROPOSED CLEANOUT
 - IP PROPOSED INSPECTION PORT
 - W PROPOSED WATER LINE
 - D PROPOSED DRAIN LINE
 - S PROPOSED SEWER LINE
 - E PROPOSED ELECTRIC LINE
 - G PROPOSED GAS LINE
 - 90.0 X PROPOSED SPOT GRADE
 - 85 EXISTING CONTOUR
 - 85 PROPOSED CONTOUR
 - VF VERIFY IN FIELD
 - IP INSPECTION PORT
 - LP LIGHT POLE
 - LB LIGHT BOLLARD
 - /// LINE TO BE ABANDONED
 - RCP REINFORCED CONCRETE PIPE
 - PVC POLYVINYL CHLORIDE PIPE
 - DI CLASS 52 CEMENT LINED DUCTILE IRON
 - LF LINEAR FEET
 - INV. INVERT
 - TYP. TYPICAL
 - CONC. CONCRETE
 - BIT. CONC. BITUMINOUS CONCRETE
 - RD ROOF DRAIN
 - SS SANITARY SEWER



JCG JOYCE CONSULTING GROUP
CIVIL ENGINEERS

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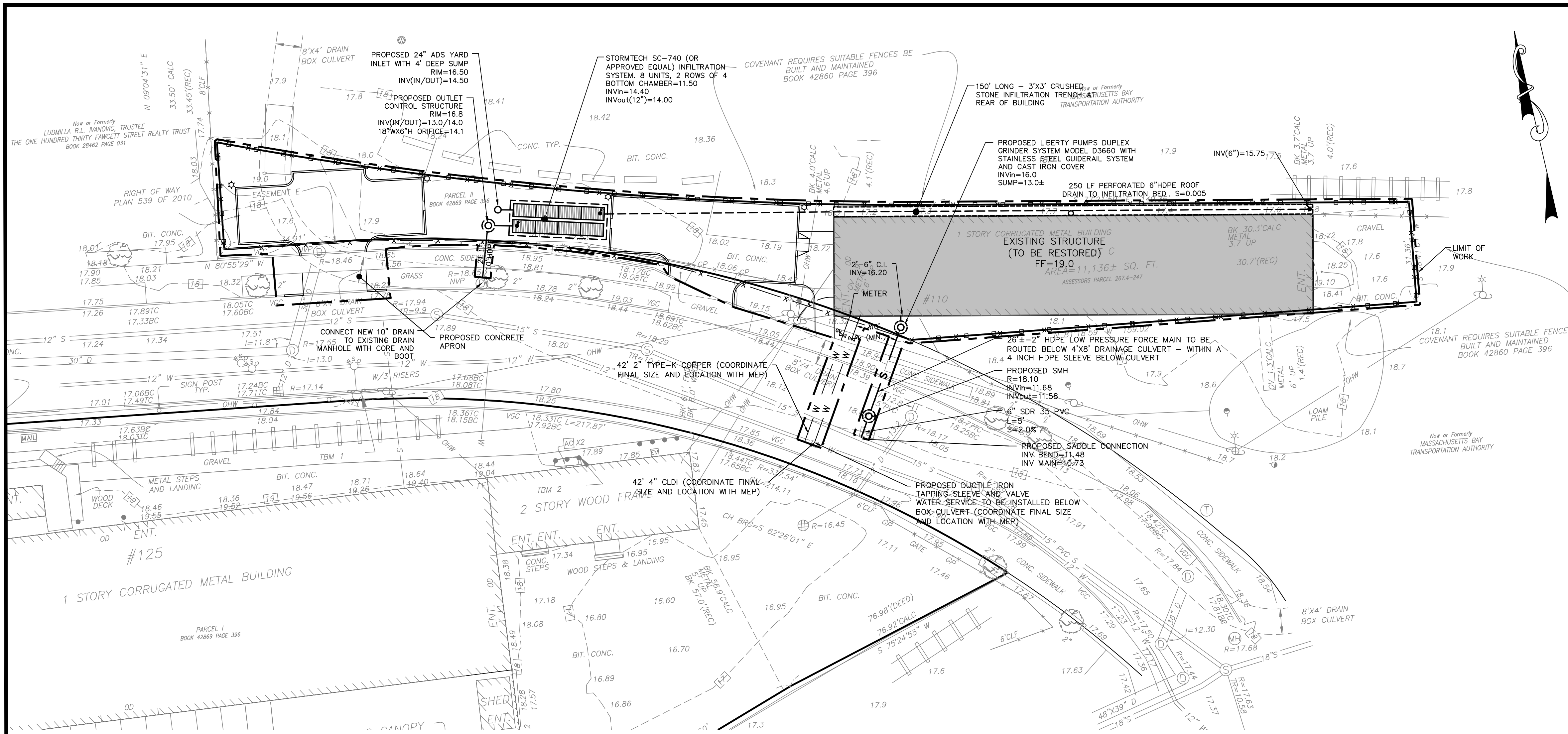
- LEGEND**
- W EX. WATER
 - S EX. SEWER
 - D EX. DRAIN
 - E EX. ELECT
 - G EX. GAS
 - LP LIGHT POLE
 - DMH DRAIN MANHOLE
 - EMH ELECTRIC MANHOLE
 - VGC VERTICAL GRANITE CURB
 - FGC FLUSH GRANITE CURB
 - CRTW CONCRETE RETAINING WALL
 - WV WATER VALVE
 - HYDRANT
 - SMH SEWER MANHOLE
 - TMH TELEPHONE MANHOLE
 - CB CATCH BASIN
 - HH EX. HANDHOLE
 - UP UTILITY POLE
 - GV GAS VALVE

SCALE	1"=20'	JOB NO.	JCG 16-029
DATE	10-21-16	TAX MAP NO.	N/A
REVISIONS			
NO.	REVISION	BY	

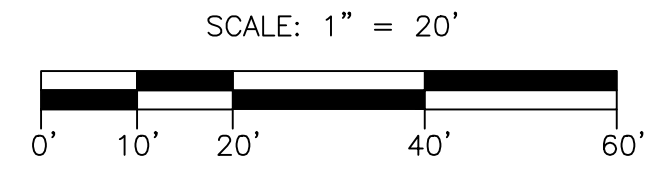
PLAN TITLE: **SITE LAYOUT & GRADING PLAN**
110 FAWCETT STREET
CAMBRIDGE, MA

PREPARED FOR: **ELTON + HAMPTON ARCHITECTS**
103 TERRACE STREET
ROXBURY, MA 02120

C-2
SHEET 2 OF 4



SITE PLAN
1"=20'



GENERAL NOTES

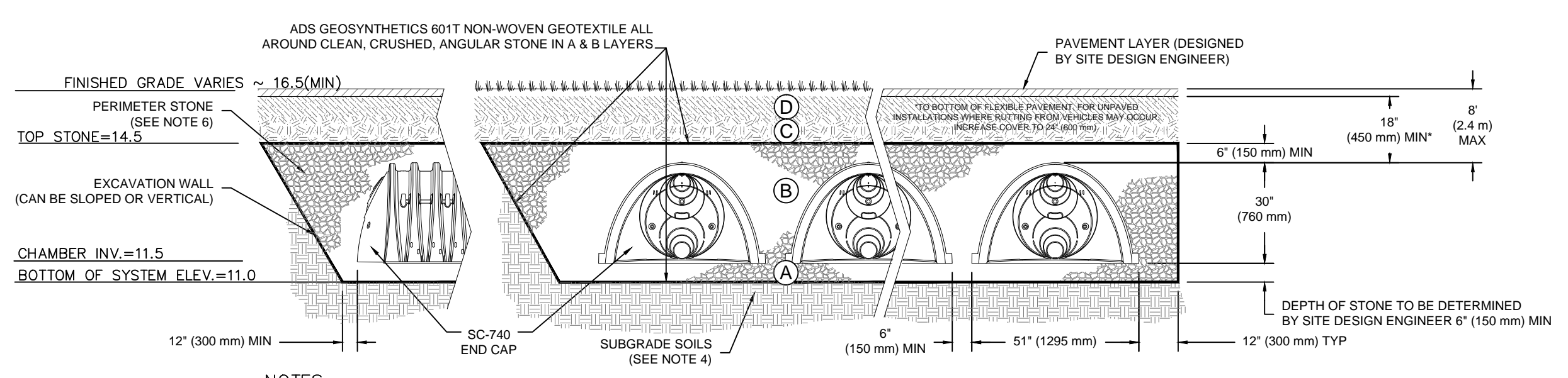
- 1) VERTICAL DATUM IS CAMBRIDGE CITY BASE.
- 2) SITE FEATURES AND UTILITIES SHOWN ON THIS PLAN ARE BASED ON A PLAN CREATED BY FELDMAN LAND SURVEYORS TITLED "PARTIAL EXISTING CONDITIONS 110 & 125 FAWCETT STREET CAMBRIDGE, MA" WITH A SCALE OF 1"=30' AND A DATE OF 09-14-16.
- 3) LOCATION OF SUBSURFACE UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT DIG SAFE AT 1-888-DIGSAFE AT LEAST 72 HOURS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 4) FEMA FLOOD ELEV. = 18.65 (CITY OF CAMBRIDGE DATUM)(NAV08B ELEV. 7)

SITE UTILITY NOTES

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT'S "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES" AND ALL SUPPLEMENTS, AND SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF CAMBRIDGE.
2. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY THE PROPOSED WORK AND SHALL CONTACT DIG-SAFE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CONDITION AND THE FUNCTIONALITY OF ALL UTILITIES THAT ARE AFFECTED BY THE WORK AND SHALL REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION.
3. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS AND AS IDENTIFIED BY ALL LOCAL, STATE, AND/OR FEDERAL APPROVAL DOCUMENTS ASSOCIATED WITH THE PROJECT.
4. ALL PIPING SHALL BE LAID ON UNIFORM, CONTINUOUS GRADE OVER COMPACTED OR UNDISTURBED SUBBASE.
5. ALL STRUCTURES AND THEIR APPURTENANCES WITHIN OR ADJACENT TO VEHICLE TRAVEL WAYS SHALL BE CAPABLE OF WITHSTANDING H=20 WHEEL LOADS.
6. THE SITE CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR FOR FURNISHING AND INSTALLING REQUIRED SITE ELECTRICAL ITEMS SUCH AS PULL BOXES, HAND HOLES, CONDUITS, DUCTBANKS, LIGHT POLE BASES, CONCRETE PADS, ETC. AND SHALL COORDINATE LOCATION OF AND PROVIDE EXCAVATION AND BACKFILL FOR THESE ITEMS AS REQUIRED FOR A COMPLETE AND FUNCTIONAL SYSTEM.
7. THE SITE CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL SERVICES RELATED TO INSTALLATION OF GAS PIPING IN ACCORDANCE WITH THE GAS COMPANY'S REQUIREMENTS. FINAL LOCATION OF ANY NEW GAS SERVICES SHALL BE COORDINATED WITH THE BUILDING PLUMBING ENGINEER AND THE GAS COMPANY.
8. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES (GAS, TELECOMMUNICATIONS, ELECTRIC) SHALL BE AS REQUIRED BY THE CONTROLLING COMPANY. FINAL LOCATIONS AND DESIGN LOADS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO INSTALLATION.

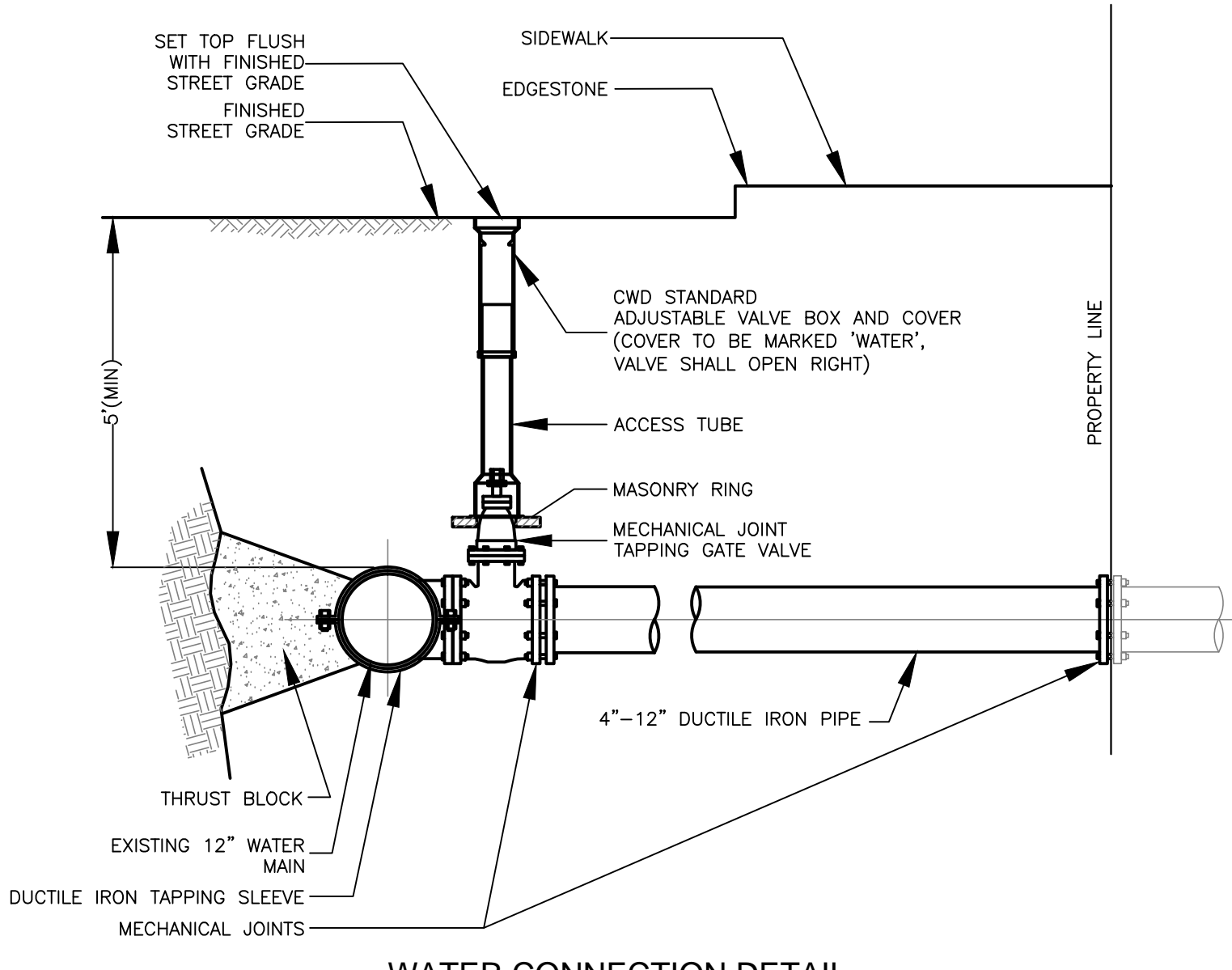
WATER SYSTEM NOTES

1. ALL ABANDONED WATER LINES (EX. TEMPORARY, DOMESTIC, FIRE, IRRIGATION, NON-ACTIVE, ETC) MUST BE CUT AND CAPPED AT THE MAIN WITH RESTRAINED JOINTS OR CLIPPED AND THEN INSPECTED BY THE WATER DEPARTMENT. TRENCH AND SURFACE CONDITION MUST BE INSPECTED BY THE CITY OF CAMBRIDGE DEPARTMENT OF PUBLIC WORKS AND CITY OF CAMBRIDGE WATER DEPARTMENT (CWD).
2. ALL MATERIALS FOR WATER WORK SHALL MEET AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS AS APPLICABLE. ALL OTHER MATERIALS MUST MEET SPECIFICATIONS OF THE DPW AND CWD.
3. DUCTILE IRON PIPE IS TO BE CLASS S2 OR GREATER WITH 1" CEMENT LINING. COPPER TUBING SHALL BE TYPE K ONLY.
4. MULTIPLE TAPS MUST BE A MINIMUM OF THREE (3) FEET APART AND THREE (3) FEET FROM ANY JOINT OR BELL ON THE MAIN BEING TAPPED.
5. WHEN WORK IS COMPLETED, AS-BUILT DRAWING MUST BE SUBMITTED TO THE CWD (PREFERABLE IN ELECTRONIC FORMAT) WITHIN 60 DAYS IN TRIPLICATE PRIOR TO WATER TURN-ON.
6. THE CWD MUST BE NOTIFIED WITHIN 24 HOURS BEFORE WATER WORK IS TO START.
7. ALL SHUT-OFFS/TURN-ONS TO BE PERFORMED BY CWD PERSONNEL. TO ARRANGE FOR THIS SERVICE CALL (617) 349-4763.
8. ALL WATER WORK MUST BE INSPECTED PRIOR TO TRENCH BACKFILL. PLEASE CALL TO MAKE ARRANGEMENTS 24 HOURS IN ADVANCE FOR INSPECTIONS.
9. ALL COMPANIES PERFORMING WATER CONSTRUCTION MUST BE BONDED WITH THE DPW.
10. AFTER THE CWD PERMIT IS APPROVED A STREET OPENING PERMIT MUST BE OBTAINED FROM DPW.
11. IF SERVICE IS TO BE USED FOR CONSTRUCTION PURPOSES, BACK FLOW DEVICES MAY BE REQUIRED. FOR MORE INFORMATION ON BACKFLOW PREVENTION PLEASE CONTACT THE CWD CROSS CONNECTION DEPARTMENT.
12. THE CAMBRIDGE FIRE DEPARTMENT (CFD) APPROVAL IS REQUIRED FOR FIRE LINE INSTALLATION. A BACKFLOW DEVICE PERMIT MUST BE OBTAINED FROM THE ENGINEERING DIVISION BY CALLING (617) 349-4782.
13. A 72 HOUR NOTICE IS REQUIRED BY THE CWD TO MARK OUT THE WATER UTILITIES BEFORE CONSTRUCTION CAN BEGIN.
14. ALL NEW WATER MAINS MUST BE PRESSURE TESTED AND CHLORINATED BEFORE ACTIVATION IN THE DISTRIBUTION SYSTEM. A 24-HOUR NOTICE IS REQUIRED BY THE CWD FOR PRESSURE TEST AND SAMPLING AFTER CHLORINATION. ANY QUESTIONS, CONTACT THE CWD LABORATORY SUPERVISOR TO ARRANGE SAMPLE COLLECTION.



- NOTES:**
1. SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
 4. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 5. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 6. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

UNDERGROUND INFILTRATION DETAIL
NOT TO SCALE



WATER CONNECTION DETAIL
NOT TO SCALE

LEGEND

— W —	EX. WATER	WV	WATER VALVE
— S —	EX. SEWER	HY	HYDRANT
— D —	EX. DRAIN	SMH	SEWER MANHOLE
— E —	EX. ELECT	TWH	TELEPHONE MANHOLE
— T —	EX. TEL	CB	EX. CATCH BASIN
— G —	EX. GAS	DMH	DRAIN MANHOLE
LP	LIGHT POLE	HH	EX. HANDHOLE
EMH	ELECTRIC MANHOLE	UP	UTILITY POLE
VGC	VERTICAL GRANITE CURB	FGC	FLUSH GRANITE CURB
FC	FLUSH GRANITE CURB	CRW	CONCRETE RETAINING WALL

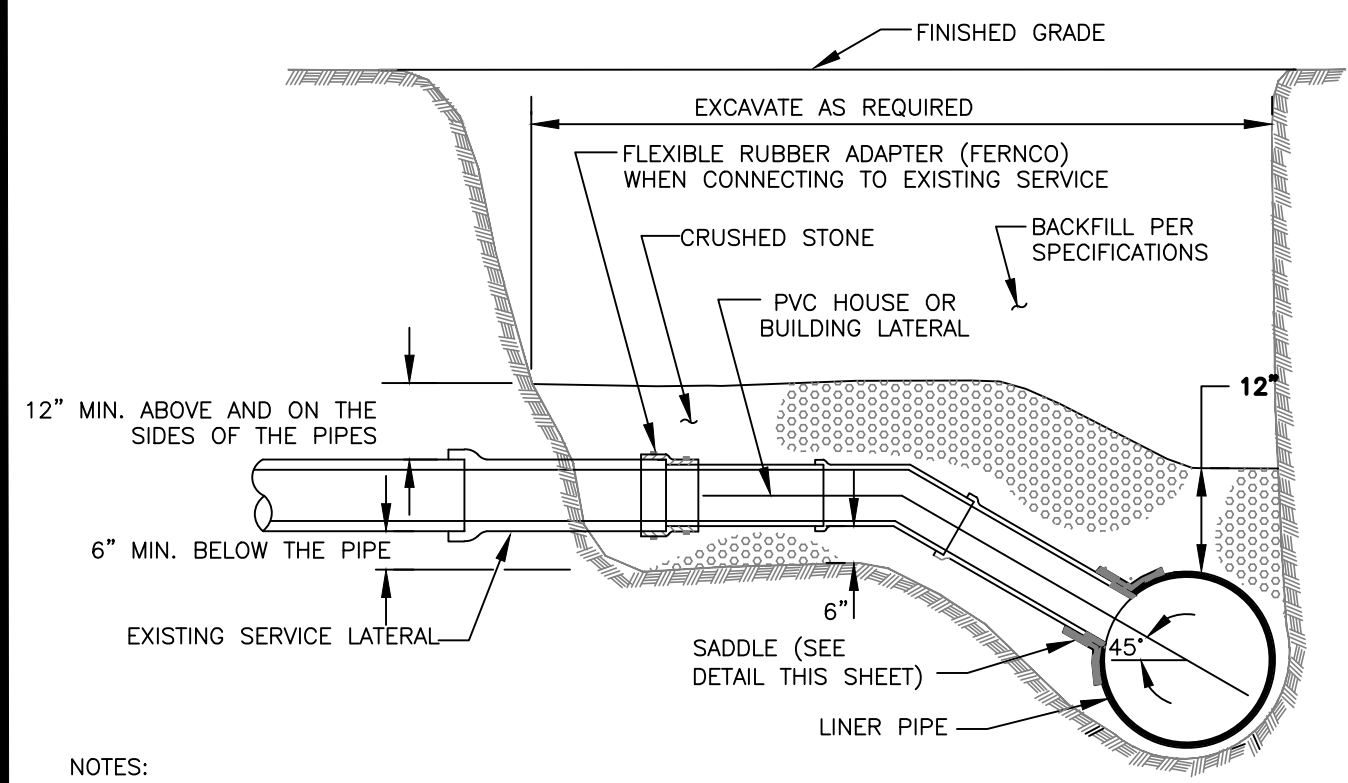
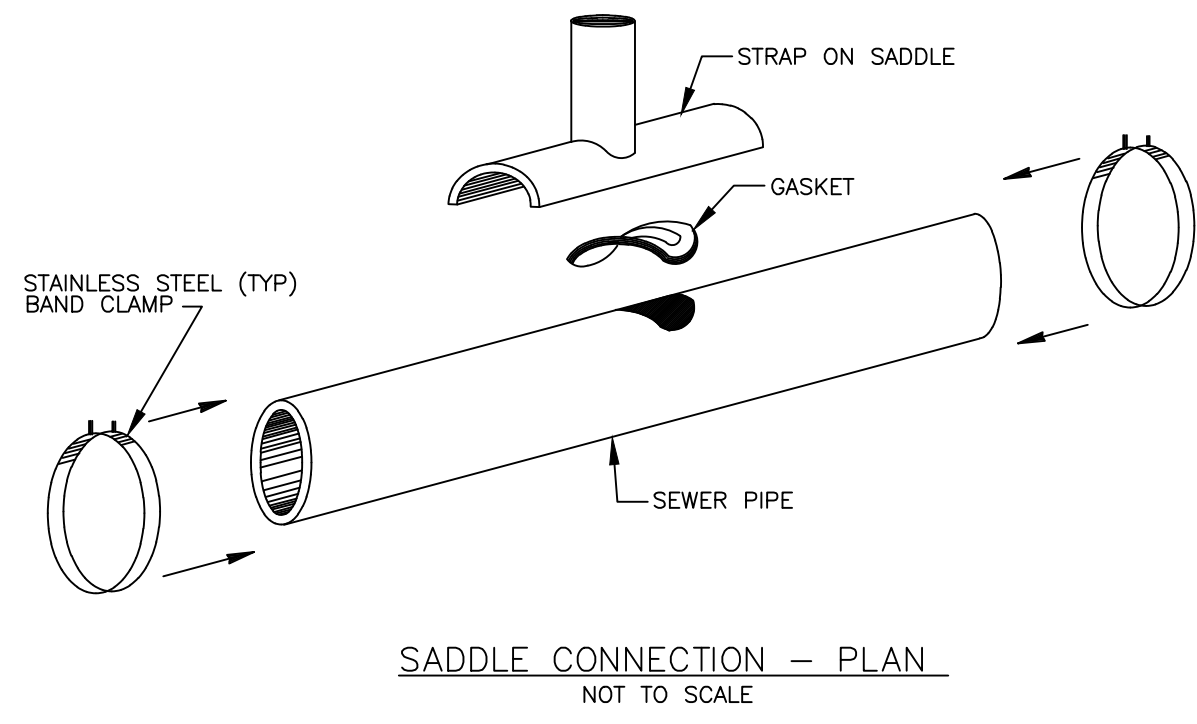
SCALE	1"=20'	JOB NO.	JCG 16-029
DATE	10-21-16	TAX MAP NO.	N/A
REVISIONS			
NO.	REVISION	BY	

PLAN TITLE:
SITE UTILITY PLAN
110 FAWCETT STREET
CAMBRIDGE, MA

PREPARED FOR:
ELTON + HAMPTON ARCHITECTS
103 TERRACE STREET
ROXBURY, MA 02120

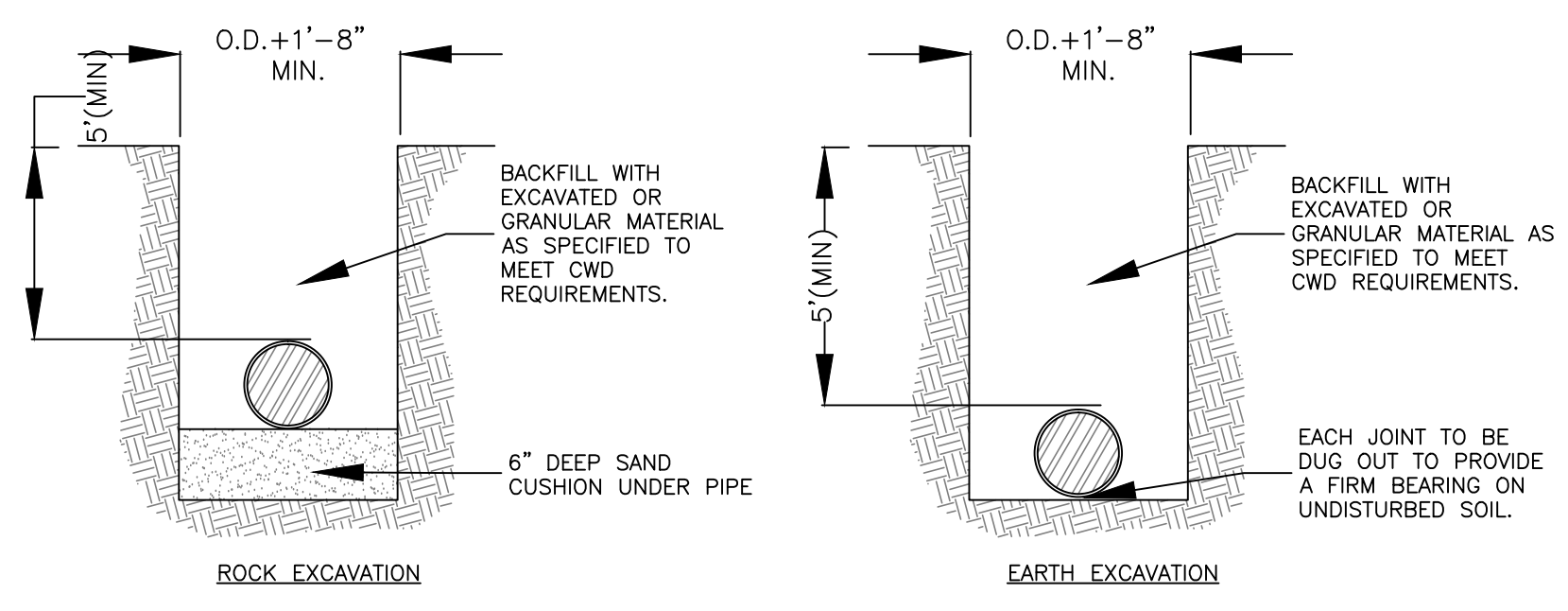
C-3
SHEET 3 OF 4



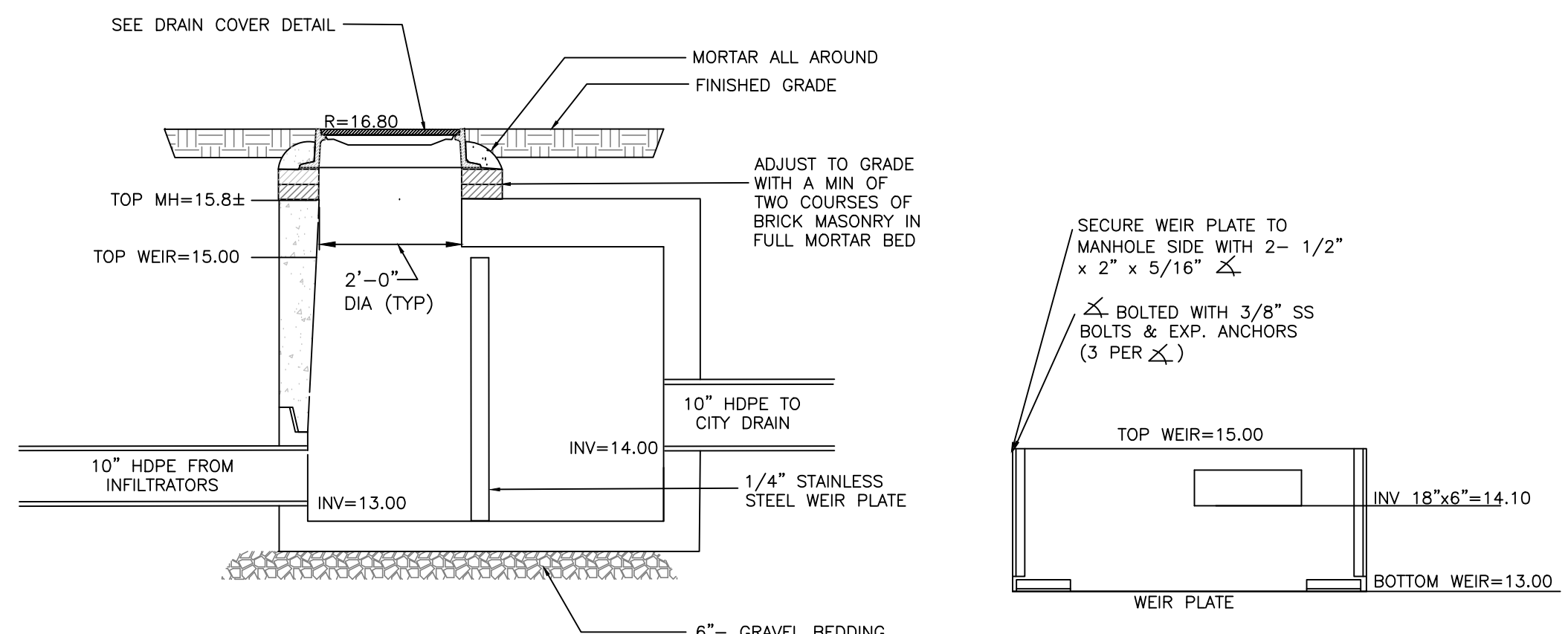


NOTES:
1. REPLACE EXISTING SERVICE LINE TO EXTENT SHOWN ON PLAN/PROFILES AND AS SPECIFIED.

SADDLE CONNECTION - SECTION
NOT TO SCALE
SEWER CONNECTION DETAIL
NOT TO SCALE

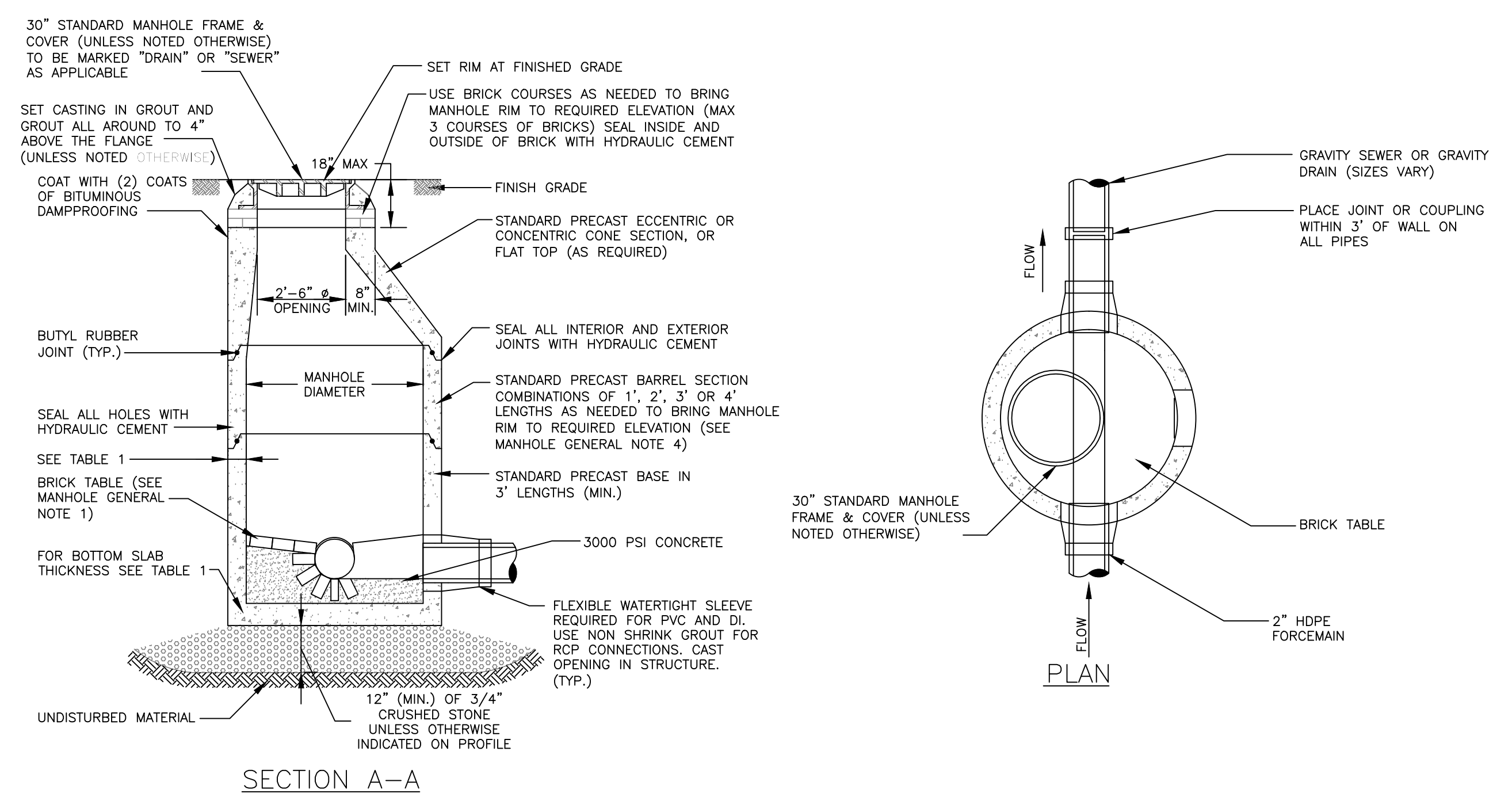


WATER LINE TRENCH DETAIL
NOT TO SCALE

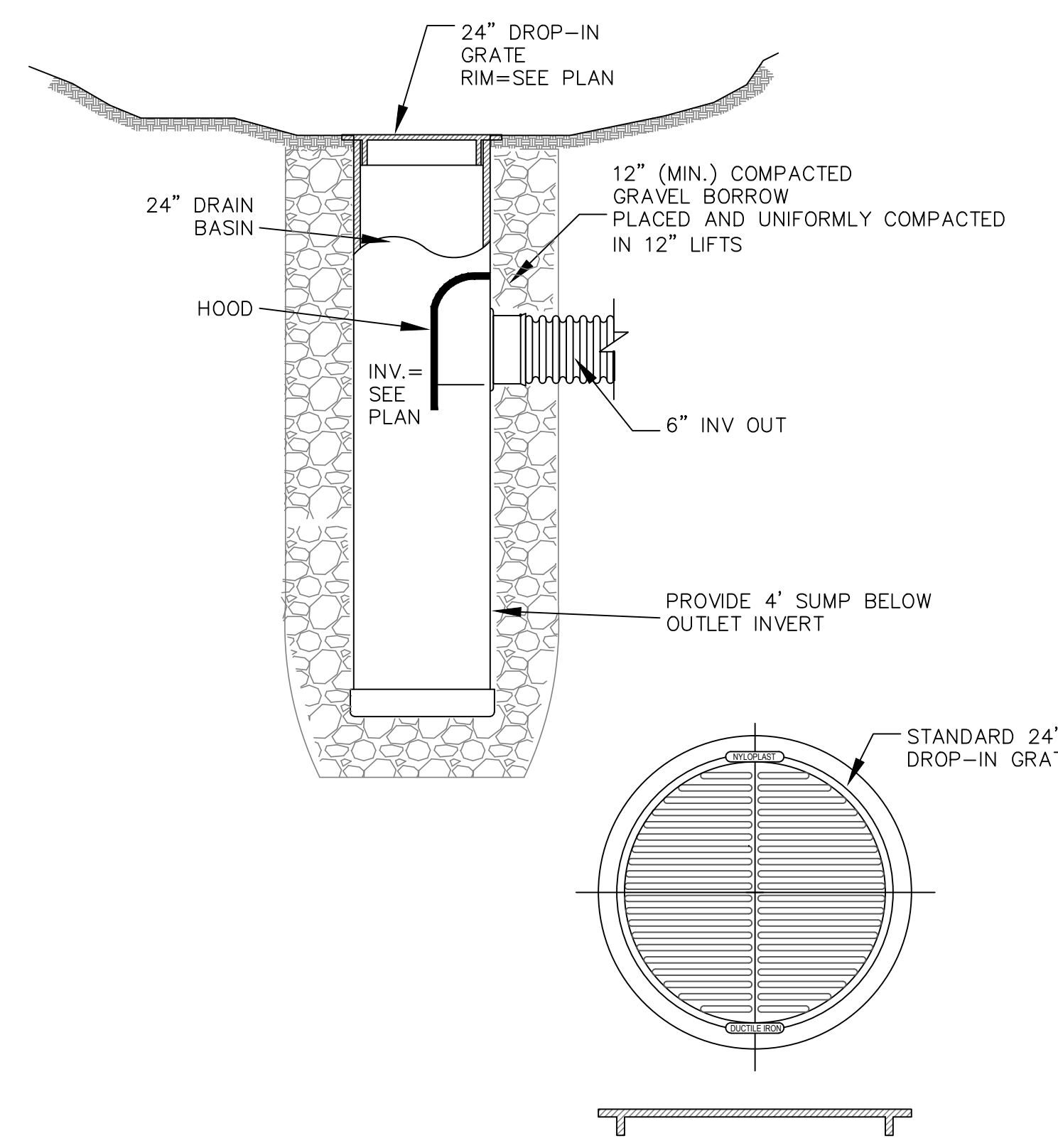


NOTES:
1. PROVIDE RESILIENT CONNECTOR WHERE PIPE ENTERS MANHOLE.
2. DESIGN LIVE LOAD HS20-44.

OUTLET CONTROL STRUCTURE DETAIL
NOT TO SCALE

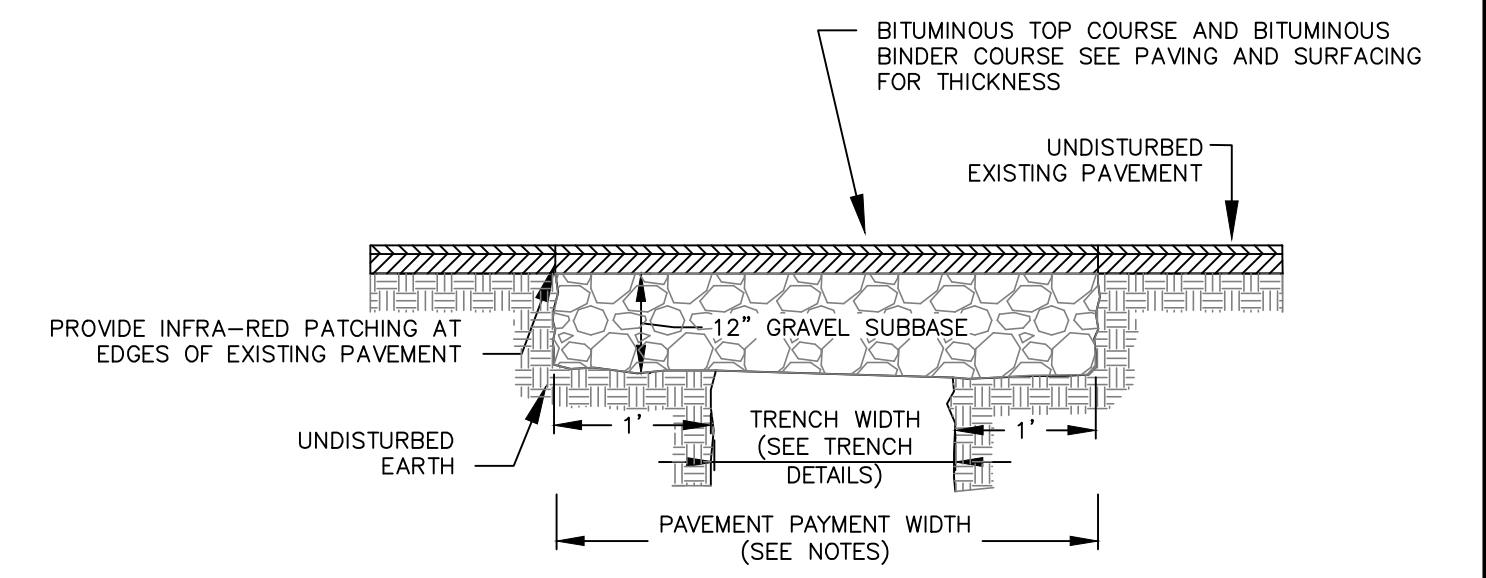


SEWER MANHOLE DETAIL
NOT TO SCALE



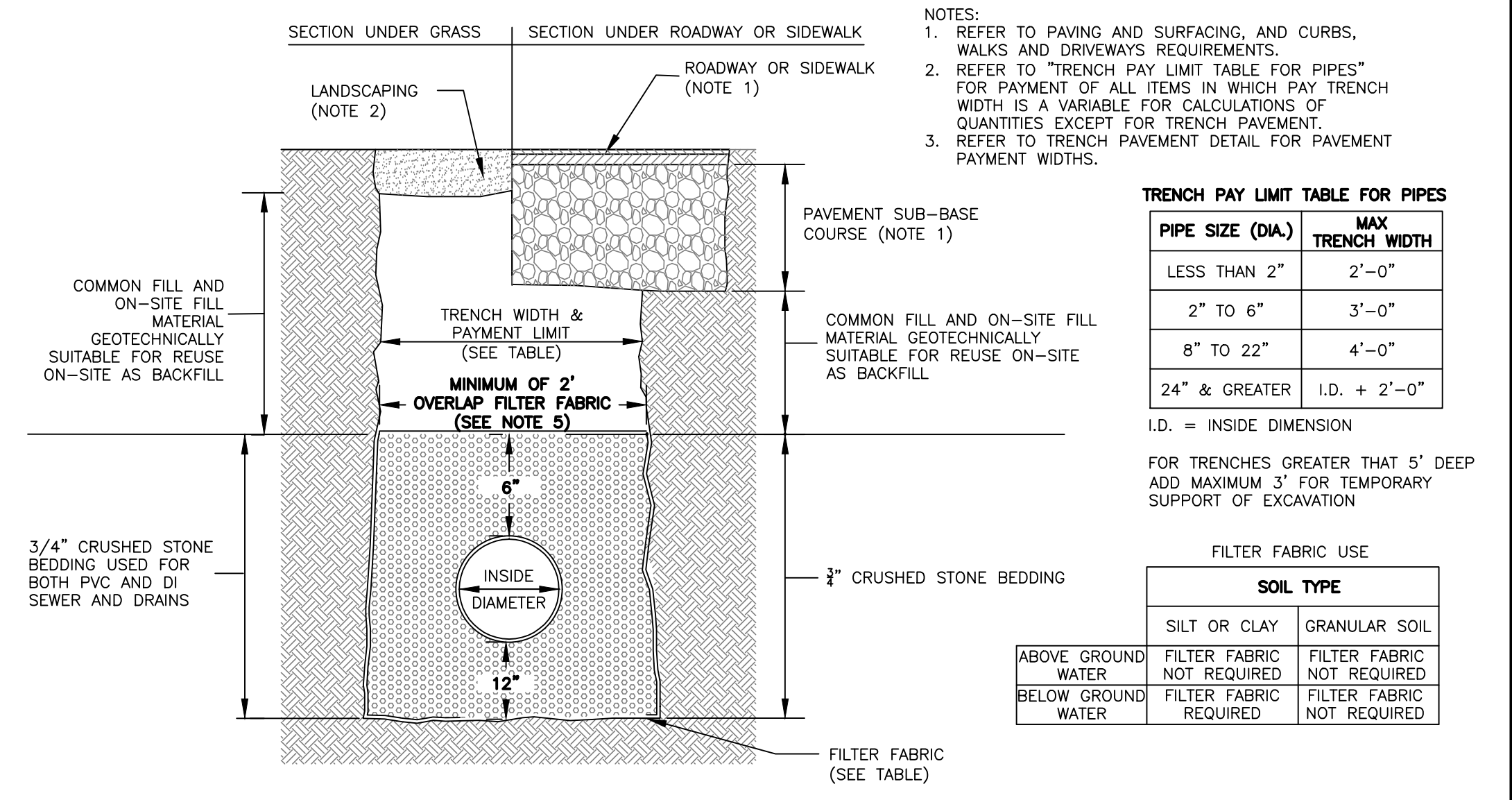
NOTE:
DRAIN BASIN SHALL BE NYLOPLAST MODEL 2824 AG OR APPROVED EQUAL

AREA DRAIN
NOT TO SCALE



NOTES:
1. PERMANENT TRENCH PAVEMENT PAYMENT WIDTH SHALL BE THE TRENCH PAY LIMIT PLUS 2 FEET
2. TEMPORARY TRENCH PAVEMENT PAYMENT WIDTH SHALL BE EQUAL TO THE TRENCH PAYMENT LIMIT
3. REMOVE AND DISPOSE ALL TEMPORARY PAVEMENT AS REQUIRED. RESTORE AND COMPACT SUBBASE AS REQUIRED PRIOR TO PERMANENT TRENCH PAVEMENT.

TRENCH RESTORATION DETAIL
NOT TO SCALE



PIPE SIZE (DIA.)	MAX TRENCH WIDTH
LESS THAN 2"	2'-0"
2" TO 6"	3'-0"
8" TO 22"	4'-0"
24" & GREATER	I.D. + 2'-0"

I.D. = INSIDE DIMENSION
FOR TRENCHES GREATER THAN 5' DEEP ADD MAXIMUM 3' FOR TEMPORARY SUPPORT OF EXCAVATION

	FILTER FABRIC USE	
	SILT OR CLAY	GRANULAR SOIL
ABOVE GROUND WATER	FILTER FABRIC NOT REQUIRED	FILTER FABRIC NOT REQUIRED
BELOW GROUND WATER	FILTER FABRIC REQUIRED	FILTER FABRIC NOT REQUIRED

SEWER AND STORM DRAIN TRENCH DETAIL
NOT TO SCALE

LEGEND

— W —	EX. WATER	W	WATER VALVE
— S —	EX. SEWER	⊗	HYDRANT
— D —	EX. DRAIN	⊗	SEWER MANHOLE
— E —	EX. ELECT	⊗	TELEPHONE MANHOLE
— T —	EX. TEL	⊗	EX. CATCH BASIN
— G —	EX. GAS	⊗	EX. HANDHOLE
LP	LIGHT POLE	⊗	UTILITY POLE
DMH	DRAIN MANHOLE	⊗	GAS VALVE
EMH	ELECTRIC MANHOLE	⊗	CONCRETE RETAINING WALL
VGC	VERTICAL GRANITE CURB		
FGC	FLUSH GRANITE CURB		
CRTW	CONCRETE RETAINING WALL		

SCALE	1"=20'	JOB NO.	JCG 16-029
DATE	10-21-16	TAX MAP NO.	N/A
REVISIONS			
NO.	REVISION	BY	

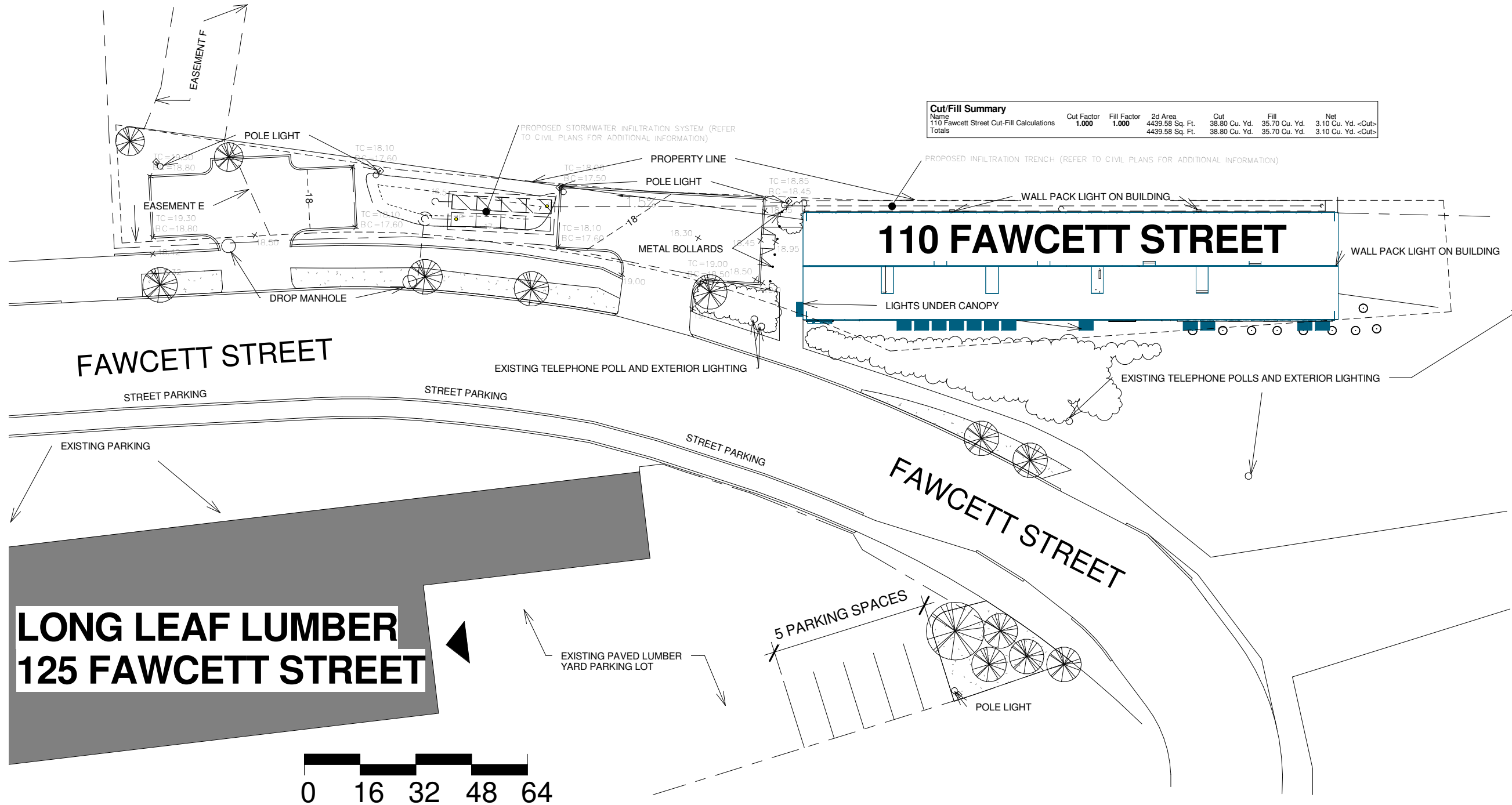
PLAN TITLE:	DETAIL SHEET I 110 FAWCETT STREET CAMBRIDGE, MA
PREPARED FOR:	ELTON + HAMPTON ARCHITECTS 103 TERRACE STREET ROXBURY, MA 02120



JCG JOYCE CONSULTING GROUP
CIVIL ENGINEERS
100 WYMAN ROAD
BRAINTREE, MA 02184
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OWNER:

Revolutionary Growers, LLC
1 Oak Hill Road
Fitchburg, MA 01420



Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
110 Fawcett Street Cut-Fill Calculations	1.000	1.000	4439.58 Sq. Ft.	38.80 Cu. Yd.	35.70 Cu. Yd.	3.10 Cu. Yd. <-Cut>
Totals			4439.58 Sq. Ft.	38.80 Cu. Yd.	35.70 Cu. Yd.	3.10 Cu. Yd. <-Cut>

No.	Description	Date

1 Site Plan
1/32" = 1'-0"

PROJECT
CAS Cambridge
110 Fawcett Street
Site Plan

Date	11.08.16
Project number	CAS
Drawn by	Author
Checked by	Checker

A-04

No.	Description	Date



Dwarf Fountain Grass



Juniperus Procumbens 'Nana'



Nepeta 'Catmint'



Ajuga Reptans 'Bronze Beauty'



Lamium Maculatum 'Anne Greenway'



Vinca Minor 'Alba'



Crab Apple



Honey Locust



Amur Maple



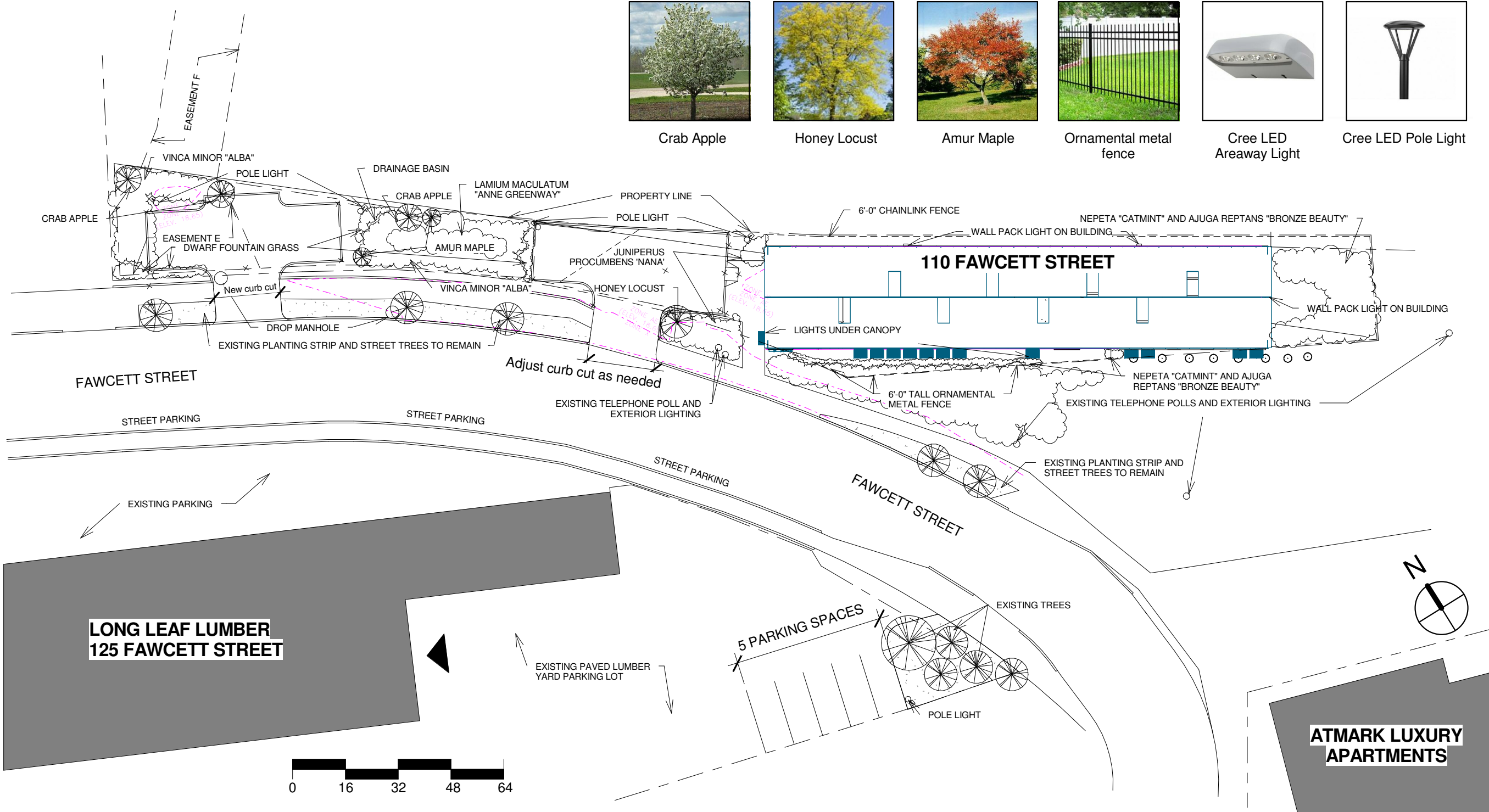
Ornamental metal fence



Cree LED Areaway Light



Cree LED Pole Light

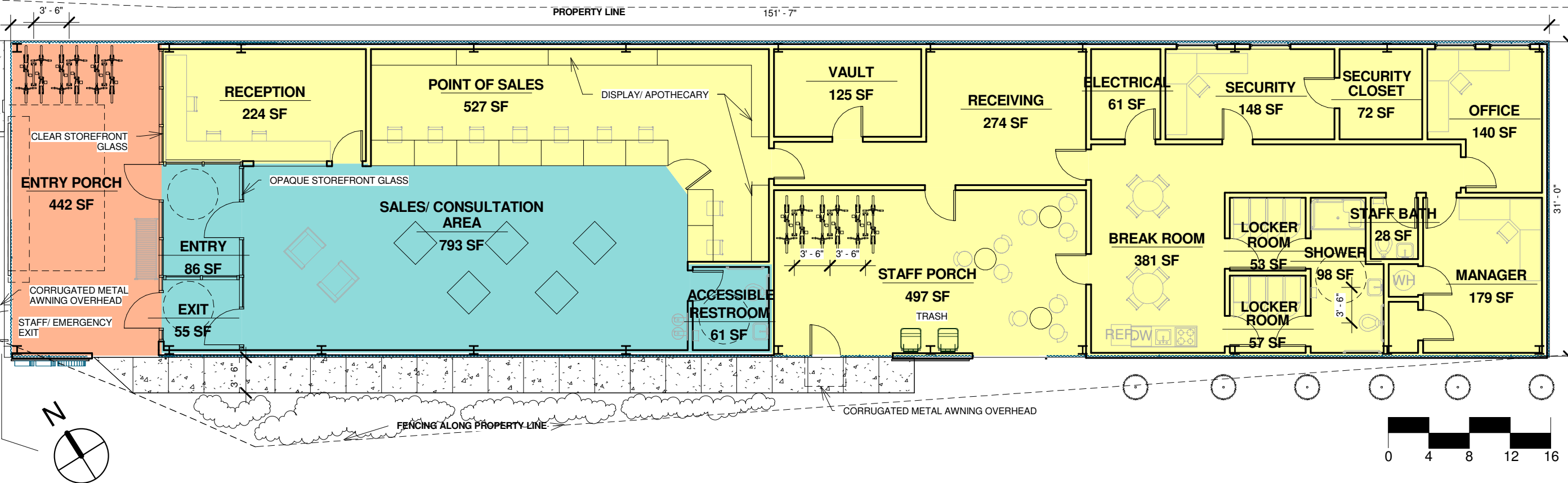


① Landscape Plan Half Scale
1/32" = 1'-0"

ELTON HAMPTON ARCHITECTS
103 Terrace Street
Boston, MA 02120
617-708-1071

OWNER:
Revolutionary Growers, LLC
1 Oak Hill Road
Fitchburg, MA 01420

No.	Description	Date



1 Proposed Floor Plan
3/32" = 1'-0"

Floor Plan Legend

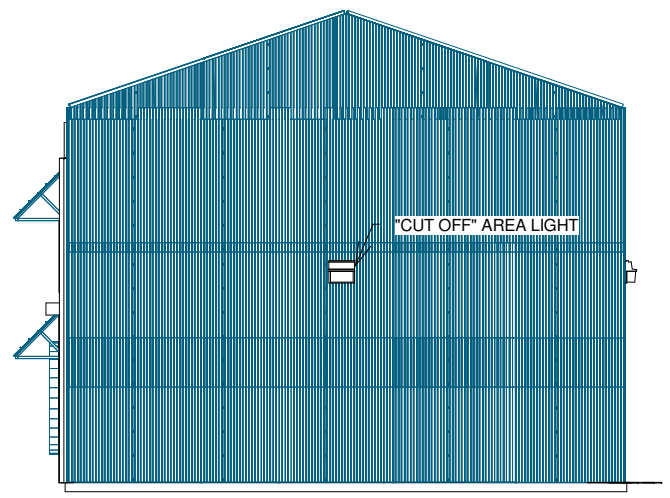
- Patient Area
- Public Area
- Staff Area

PROJECT
CAS Cambridge
110 Fawcett Street
Proposed Floor Plan

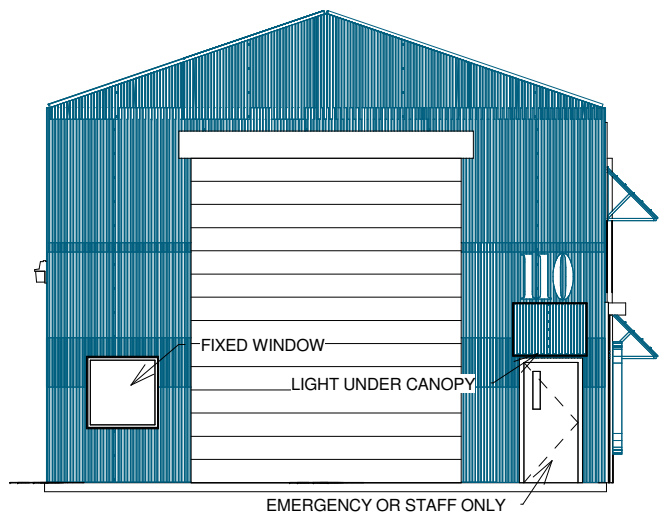
Date	10.24.16
Project number	CAS
Drawn by	Melissa D. Worth
Checked by	Bruce Hampton

A-05

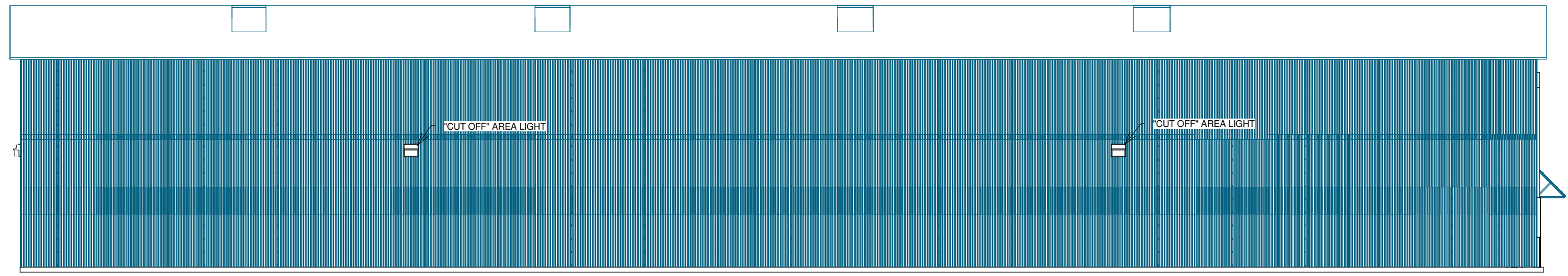
No.	Description	Date



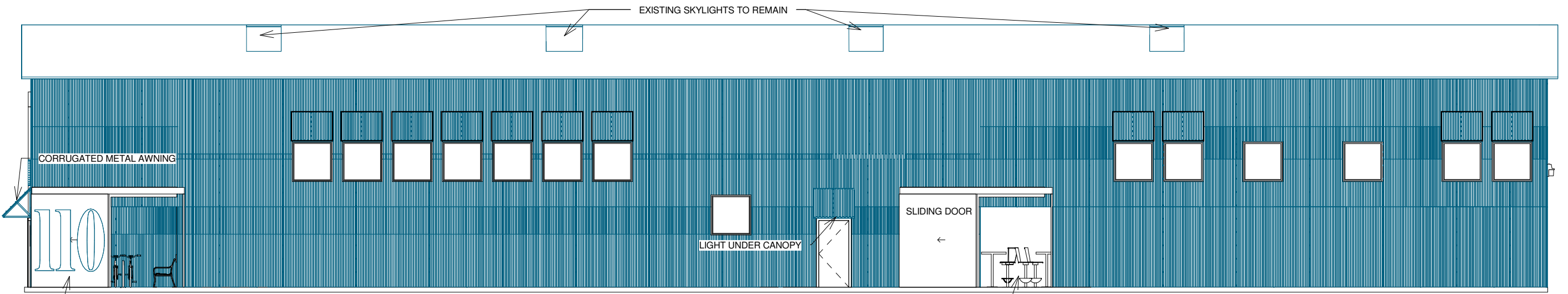
1 East Elevation
 3/32" = 1'-0"



4 West Elevation
 3/32" = 1'-0"



2 North Elevation
 3/32" = 1'-0"



3 South Elevation
 3/32" = 1'-0"

Date	10.24.16
Project number	CAS
Drawn by	Melissa D. Worth
Checked by	Bruce Hampton



View from South



South Facade



Existing Building from South East

ELTON HAMPTON ARCHITECTS
103 Terrace Street
Boston, MA 02120
617-708-1071

OWNER:
Revolutionary Growers, LLC
1 Oak Hill Road
Fitchburg, MA 01420

No.	Description	Date

PROJECT
CAS Cambridge
110 Fawcett Street
Existing Site Photographs

Date	10.24.16
Project number	CAS
Drawn by	Melissa D. Worth
Checked by	Bruce Hampton

A-07

OWNER:

Revolutionary Growers, LLC
 1 Oak Hill Road
 Fitchburg, MA 01420



Proposed RMD Doors Open for Business

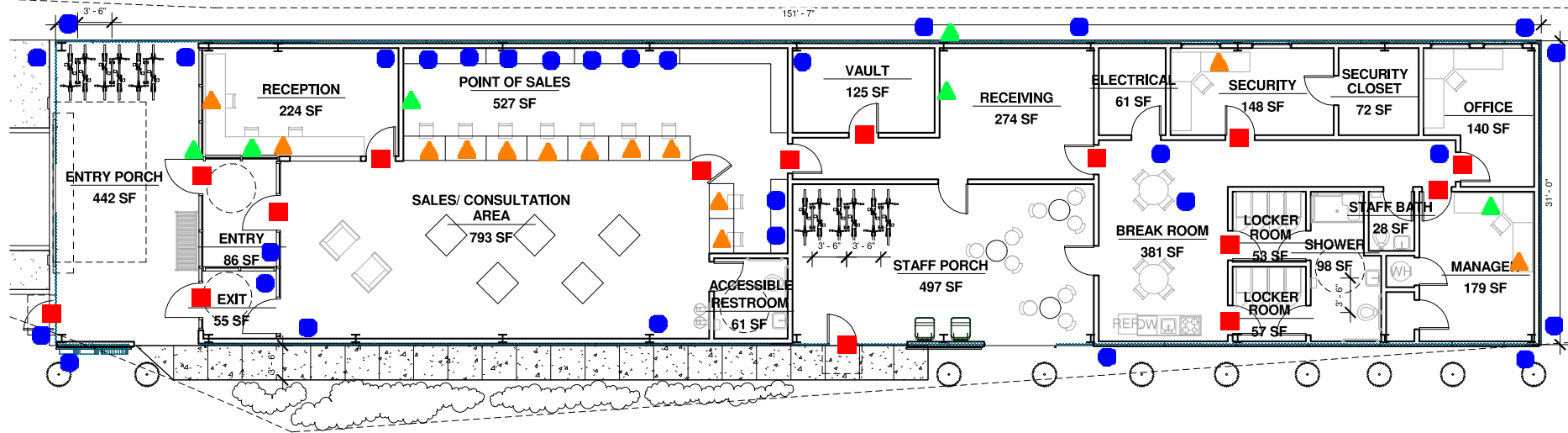
No.	Description	Date

PROJECT
CAS Cambridge
 110 Fawcett Street
 Exterior Rendering

Date 10.24.16
 Project number CAS
 Drawn by Melissa D. Worth
 Checked by Bruce Hampton

A-08

No.	Description	Date



① Proposed Security Floor Plan
3/32" = 1'-0"

● Camera	30.00
■ Card Reader	15.00
▲ Intercom	6.00
▲ Panic Button	13.00

