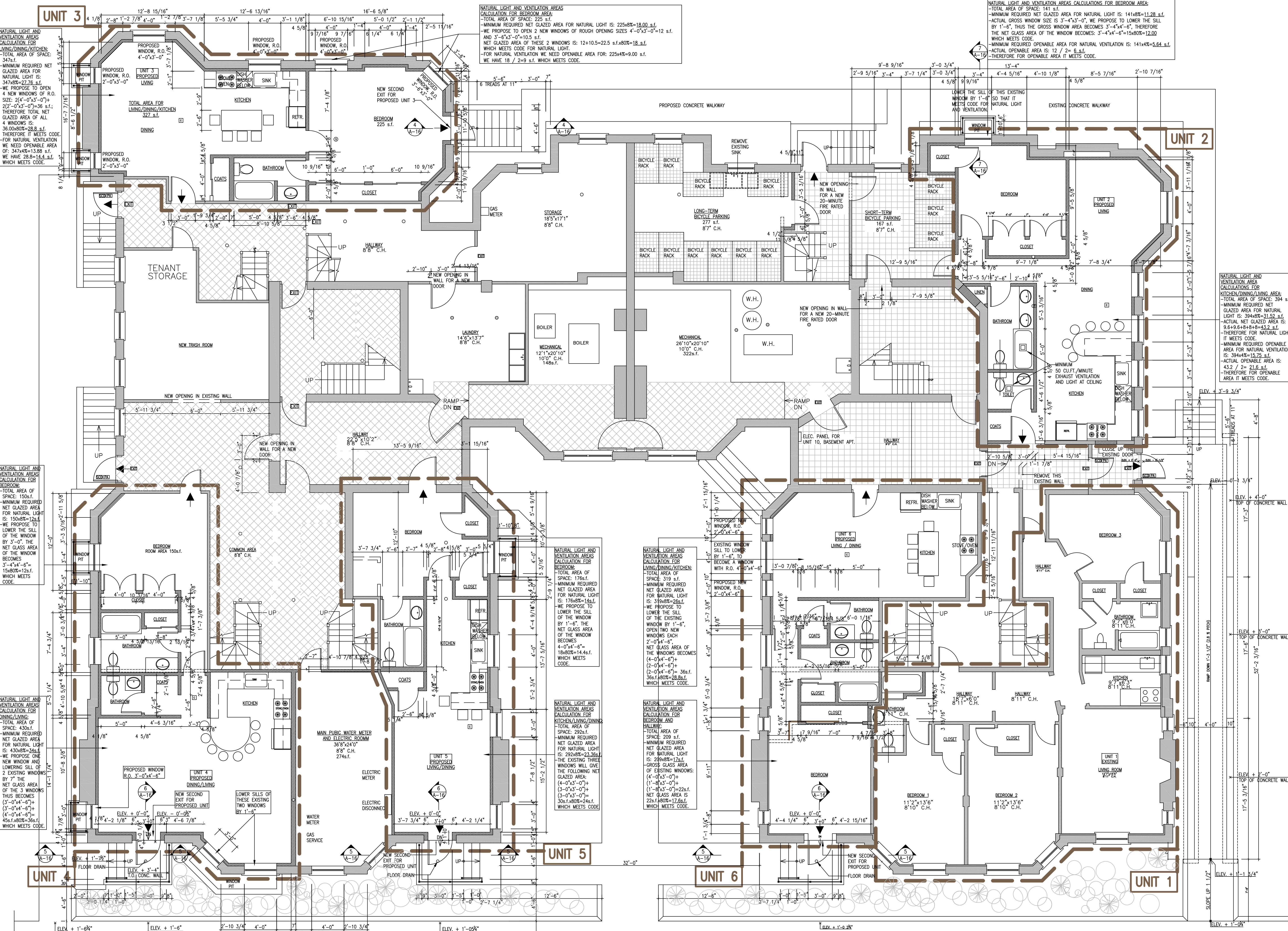


NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: BASEMENT GENERAL FLOOR PLAN EXISTING CONDITION		
DRAWN: K.M.	DATE: 04/17/18	
CHECKED: K.M.	SCALE: 3/16" = 1'-0"	
DRAWING NO.:		

A-1

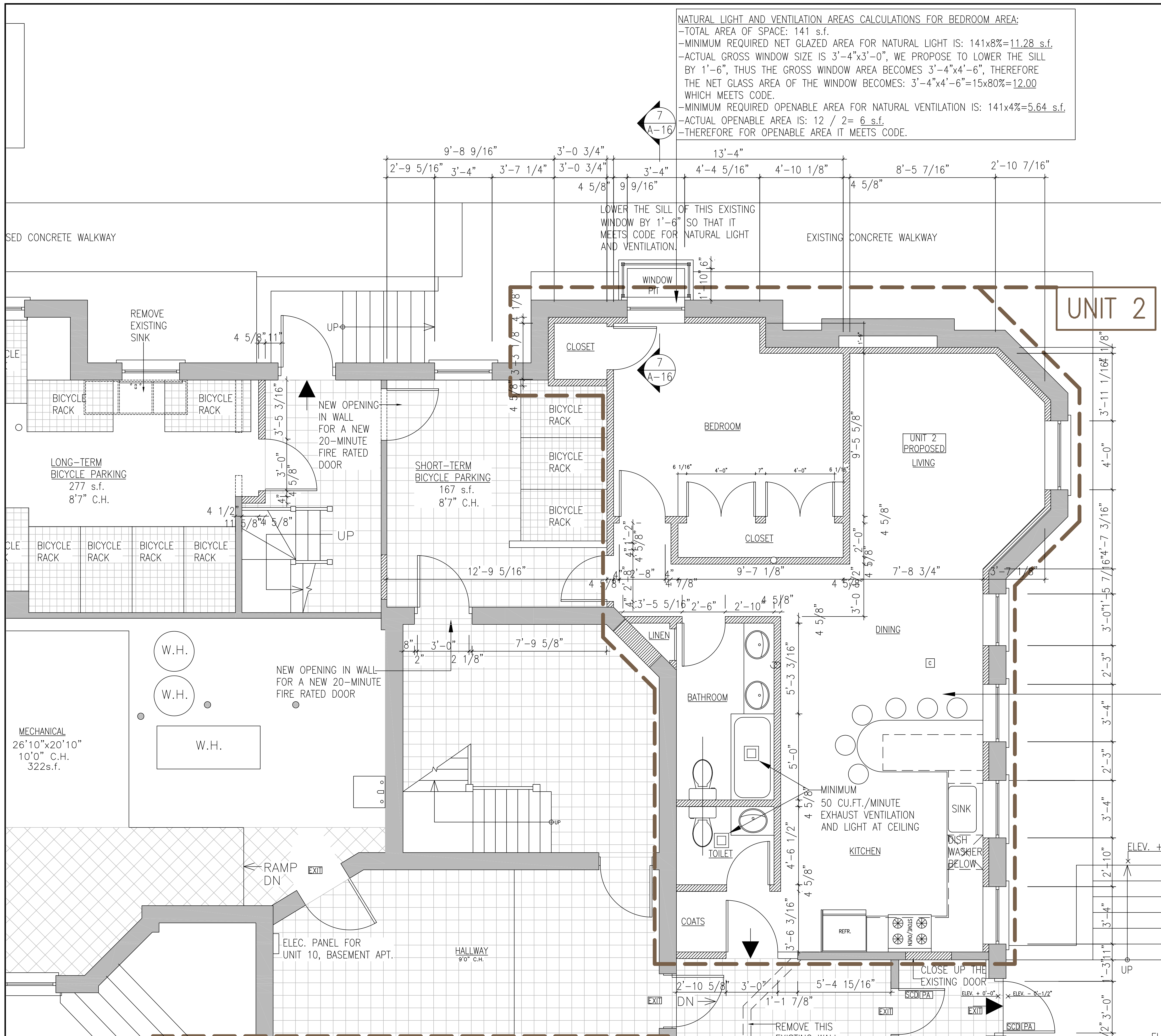


- LEGEND :**
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
 - EXISTING WALLS AND PARTITIONS TO REMAIN
 - NEW PARTITIONS
 - EXIT ACCESS
 - ACCESS ROUTE TO BICYCLE PARKING SPACES
 - BICYCLE PARKING SPACES
 - EXIT
 - WALL MOUNTED LIGHTED EXIT SIGN
 - CARBONE MONOXIDE DETECTOR, HARD WIRED INTER-CONNECTED
 - SELF CLOSING DOOR
 - DOOR WITH PANIC DEVICE

- GENERAL NOTES :**
1. THE CONTRACTOR SHALL SURVEY THE EXISTING FRAMING AND VERIFY ALL DIMENSIONS IN THE FIELD. NOTIFY THE OWNER/ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN DIMENSIONS AND ANY FIELD CONDITIONS UNCOVERED DURING CONSTRUCTION THAT IS NOT CONSISTENT WITH THE PLANS OR THAT IS STRUCTURALLY INADEQUATE PRIOR TO PROCEEDING WITH WORK.
 2. THE ARCHITECT HAS NOT BEEN ENGAGED FOR CONSTRUCTION SUPERVISION OF ANY KIND, AND ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION NON CONFORMING WITH THESE PLANS, NOR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
 3. ALL CONSTRUCTION WORK SHALL COMPLY WITH THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE, THE LOCAL ZONING BUILDING CODE, THE LOCAL ZONING ORDINANCE OF THE CITY OF CAMBRIDGE AND MASSACHUSETTS GENERAL LAWS.

NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: BASEMENT GENERAL FLOOR PLAN, PROPOSED		
DRAWN: K.M.	DATE: 04/17/18	
CHECKED: K.M.	SCALE: 3/16" = 1'-0"	
DRAWING NO.:		

SIDWALK
LINNAEAN STREET



NATURAL LIGHT AND VENTILATION AREAS CALCULATIONS FOR BEDROOM AREA:
 -TOTAL AREA OF SPACE: 141 s.f.
 -MINIMUM REQUIRED NET GLAZED AREA FOR NATURAL LIGHT IS: $141 \times 8\% = 11.28$ s.f.
 -ACTUAL GROSS WINDOW SIZE IS 3'-4" x 3'-0", WE PROPOSE TO LOWER THE SILL BY 1'-6", THUS THE GROSS WINDOW AREA BECOMES 3'-4" x 4'-6", THEREFORE THE NET GLASS AREA OF THE WINDOW BECOMES: $3'-4" \times 4'-6" = 15 \times 80\% = 12.00$ WHICH MEETS CODE.
 -MINIMUM REQUIRED OPENABLE AREA FOR NATURAL VENTILATION IS: $141 \times 4\% = 5.64$ s.f.
 -ACTUAL OPENABLE AREA IS: $12 / 2 = 6$ s.f.
 -THEREFORE FOR OPENABLE AREA IT MEETS CODE.

NATURAL LIGHT AND VENTILATION AREA CALCULATIONS FOR KITCHEN/DINING/LIVING AREA:
 -TOTAL AREA OF SPACE: 394 s.f.
 -MINIMUM REQUIRED NET GLAZED AREA FOR NATURAL LIGHT IS: $394 \times 8\% = 31.52$ s.f.
 -ACTUAL NET GLAZED AREA IS: $9.6 + 9.6 + 8 + 8 + 8 = 43.2$ s.f.
 -THEREFORE FOR NATURAL LIGHT IT MEETS CODE.
 -MINIMUM REQUIRED OPENABLE AREA FOR NATURAL VENTILATION IS: $394 \times 4\% = 15.75$ s.f.
 -ACTUAL OPENABLE AREA IS: $43.2 / 2 = 21.6$ s.f.
 -THEREFORE FOR OPENABLE AREA IT MEETS CODE.

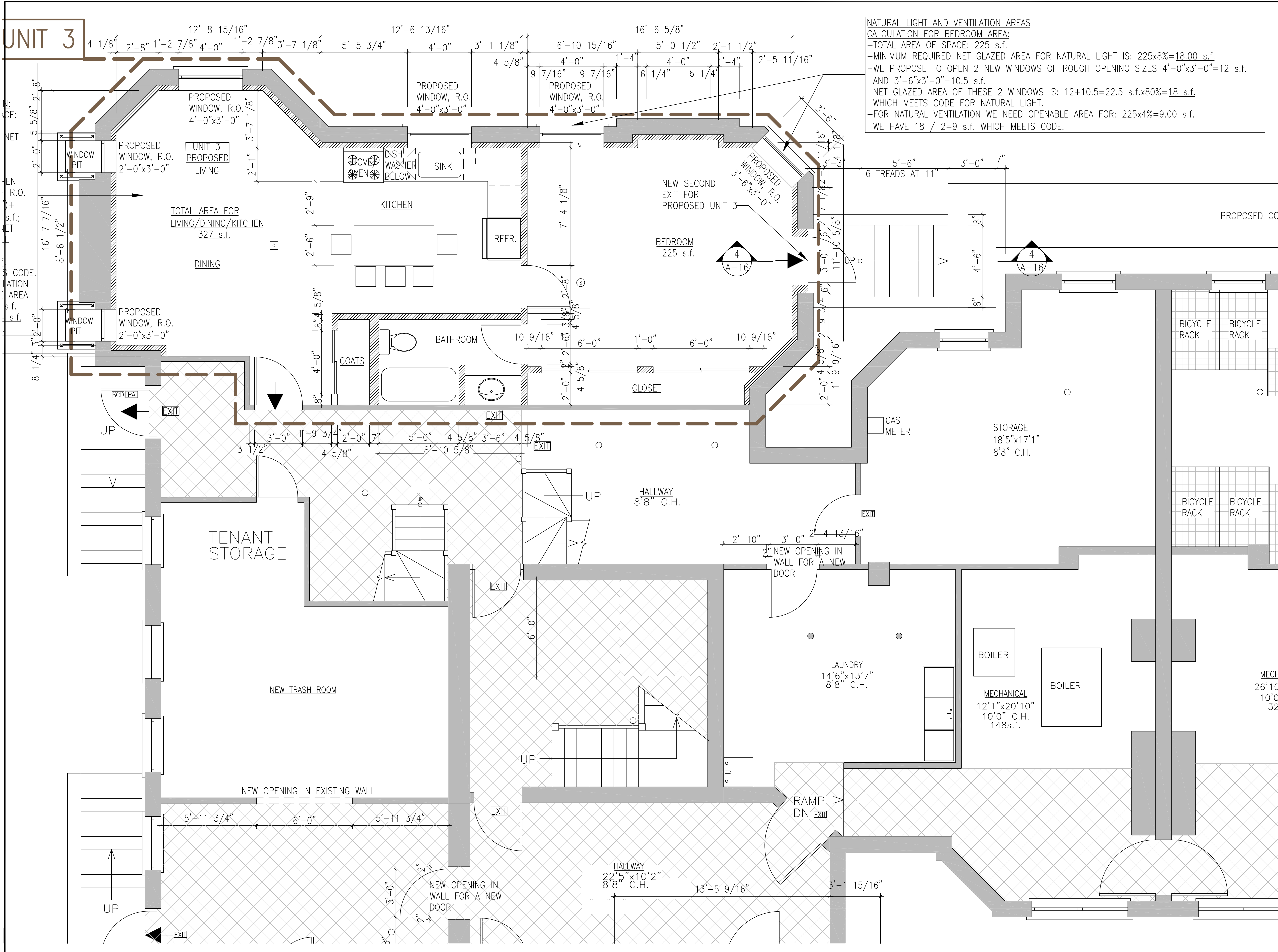
ANALYSIS OF 780 CMR MASS. STATE BUILDING CODE 8th EDITION:
 IN THIS PROJECT WE ARE IN R-2 RESIDENTIAL OCCUPANCY AND THE ENTIRE SPACE SHALL BE PROTECTED WITH FIRE SPRINKLERS.
 - THIS CODE STIPULATES THAT THE "INTERNATIONAL EXISTING BUILDING CODE" (IEBC) APPLIES TO EXISTING BUILDINGS, WHICH IS THE CASE OF THIS PROJECT. TO DETERMINE HOW TO APPLY THIS CODE WE HAVE TO FOLLOW CHAPTER 4 "CLASSIFICATION OF WORK", WHEREBY THE PRESENT PROJECT IS CLASSIFIED AS "ALTERATION LEVEL 2", BECAUSE THE ALTERATION INVOLVES THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.
 LEVEL 2 ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 6 AND 7.
 CHAPTER 6
 -SECTION 603 FIRE PROTECTION:
 603.1 GENERAL: AS REQUESTED, BY THIS PARAGRAPH THE EXISTING FIRE PROTECTION LEVEL SHALL BE MAINTAINED.
 -SECTION 604 MEANS OF EGRESS:
 AS REQUESTED, THE LEVEL OF PROTECTION SHALL BE MAINTAINED FOR THE MEANS OF EGRESS.
 -SECTION 605 ACCESSIBILITY:
 ACCORDING TO THE AMENDMENT OF THE INTERNATIONAL BUILDING CODE, IN MASSACHUSETTS THE 521 CMR APPLIES, ACCORDING TO HIS CODE ONLY THE COMMON AND PUBLIC SPACES HAVE TO BE ACCESSIBLE, THEREFORE TO ACCESS THE MAIN ENTRY OF THE BUILDING AND THE PUBLIC AND COMMON AREAS THEREOFF AN EXTERNAL SLOPED WALKWAY HAVING A SLOPE OF LESS THAN 5%, THEREFORE NOT CONSIDERED AS A RAMP, AND THEREFORE NOT NEEDING A HANDRAIL, SHALL BE PROVIDED.
 -SECTION 607 ENERGY CONSERVATION:
 607.1 MINIMUM REQUIREMENTS: THE ALTERATIONS SHALL COMPLY WITH THE "STRETCH" ENERGY CODE, AS SHOWN SEPARATELY IN THE "STRETCH" ENERGY CODE ANALYSIS.
 CHAPTER 7
 -SECTION 703 BUILDING ELEMENTS AND MATERIALS:
 703.2.1 EXISTING VERTICAL OPENINGS:
 11 GROUP R-2 OCCUPANCY: IN THIS OCCUPANCY, EXISTING VERTICAL OPENINGS (STAIRS) SHALL NOT NEED A FIRE RATED ENCLOSURE, BECAUSE THE ENTIRE FLOOR IS FIRE SPRINKLED.
 -SECTION 704 FIRE PROTECTION:
 704.2.2 GROUPS:
 THIS PROJECT COMPLIES WITH THIS PARAGRAPH SINCE THE ENTIRE FLOOR SHALL BE FIRE SPRINKLED AS IT IS ALREADY EXISTING ON THE OTHER FLOORS.
 704.4 FIRE ALARM AND DETECTION:
 704.4.1.6 GROUP R-2:
 A FIRE ALARM SYSTEM SHALL BE INSTALLED IN APARTMENTS AS REQUIRED BY THE INTERNATIONAL FIRE CODE FOR EXISTING GROUP R-2 OCCUPANCIES.
 -SECTION 705 MEANS OF EGRESS:
 THIS PROJECT DOES NOT HAVE TO COMPLY WITH THE REQUIREMENTS OF THIS SECTION BECAUSE THE WHOLE FLOOR BEING ALTERED COMPLIES WITH NFPA 101 (SEE PARAGRAPH 705.2 GENERAL, EXCEPTION 1).
 -SECTION 706 ACCESSIBILITY:
 SEE SECTION 605 ABOVE FOR THE PROVISION OF ACCESSIBILITY FOR THIS PROJECT.

ANALYSIS OF ENERGY "STRETCH" CODE BASED ON APPENDIX AA OF 780 CMR 8th EDITION
 THIS CODE STIPULATES THAT FOR RESIDENTIAL ADDITIONS WE CAN CHOOSE THE PRESCRIPTIVE OPTION AS DESCRIBED IN PARAGRAPH 401.3 WHEREBY COMPLIANCE WITH THE FOLLOWING SHALL BE DEMONSTRATED:
 -COMPLIANCE WITH IECC 2009 CHAPTER 4.
 -COMPLIANCE WITH THE ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST.
 -FENESTRATION U-FACTOR REQUIREMENTS AS LISTED IN ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL DOORS, WINDOWS AND SKYLIGHTS-VERSION 5.
 ALL ABOVE REQUESTED R-FACTORS AND U-FACTORS SHALL BE IMPLEMENTED AS FOLLOWS:
 -FOR FLOORS: R-30 "OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM".
 -FOR WALLS: R-20 INSULATION IN EXISTING 3-3/4" WALLS WHICH SHALL BE THICKENED WITH 2x6 STUDS FOR ATTIC WALLS AND SECOND FLOOR PORCH WALLS.
 -FOR ROOFS: R-38 INSULATION IN EXISTING RAFTER DEPTH OF 6-3/4", SPRAY-IN-PLACE POLYURETHANE INSULATION AT THE RATE OF 6.8 R PER INCH TO OBTAIN 39-R.
 -FOR WINDOWS: U-FACTOR SMALLER OR EQUAL TO 0.30.
 -FOR DOORS: U-FACTOR SMALLER OR EQUAL TO 0.21.
 AND THE CHECKLIST SHALL BE FILLED OUT BY THE CONTRACTOR, THERE IS NO NEED FOR THE CHECKLIST TO BE APPROVED BY A "HERS" RATER SINCE THE STRETCH CODE IS NOT "EMERGY STAR".

NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: PROPOSED PARTIAL BASEMENT FLOOR PLAN TO SHOW RESIDENTIAL UNIT 2		
DRAWN: K.M.	DATE: 04/17/18	
CHECKED: K.M.	SCALE: 3/8" = 1'-0"	
DRAWING NO.:		

UNIT 3

NATURAL LIGHT AND VENTILATION AREAS
CALCULATION FOR BEDROOM AREA:
 -TOTAL AREA OF SPACE: 225 s.f.
 -MINIMUM REQUIRED NET GLAZED AREA FOR NATURAL LIGHT IS: $225 \times 8\% = 18.00$ s.f.
 -WE PROPOSE TO OPEN 2 NEW WINDOWS OF ROUGH OPENING SIZES $4'-0" \times 3'-0" = 12$ s.f.
 AND $3'-6" \times 3'-0" = 10.5$ s.f.
 NET GLAZED AREA OF THESE 2 WINDOWS IS: $12 + 10.5 = 22.5$ s.f. $\times 80\% = 18$ s.f.
 WHICH MEETS CODE FOR NATURAL LIGHT.
 -FOR NATURAL VENTILATION WE NEED OPENABLE AREA FOR: $225 \times 4\% = 9.00$ s.f.
 WE HAVE $18 / 2 = 9$ s.f. WHICH MEETS CODE.



- LEGEND :**
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
 - EXISTING WALLS AND PARTITIONS TO REMAIN
 - NEW PARTITIONS
 - EXIT ACCESS
 - ACCESS ROUTE TO BICYCLE PARKING SPACES
 - BICYCLE PARKING SPACES
 - EXIT
 - WALL MOUNTED LIGHTED EXIT SIGN
 - CARBONE MONOXIDE DETECTOR, HARD WIRED INTER-CONNECTED
 - SELF CLOSING DOOR
 - DOOR WITH PANIC DEVICE

- GENERAL NOTES :**
- THE CONTRACTOR SHALL SURVEY THE EXISTING FRAMING AND VERIFY ALL DIMENSIONS IN THE FIELD. NOTIFY THE OWNER/ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN DIMENSIONS AND ANY FIELD CONDITIONS UNCOVERED DURING CONSTRUCTION THAT IS NOT CONSISTENT WITH THE PLANS OR THAT IS STRUCTURALLY INADEQUATE PRIOR TO PROCEEDING WITH WORK.
 - THE ARCHITECT HAS NOT BEEN ENGAGED FOR CONSTRUCTION SUPERVISION OF ANY KIND, AND ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION NON CONFORMING WITH THESE PLANS, NOR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
 - ALL CONSTRUCTION WORK SHALL COMPLY WITH THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE, THE LOCAL ZONING BUILDING CODE, THE LOCAL ZONING ORDINANCE OF THE CITY OF CAMBRIDGE AND MASSACHUSETTS GENERAL LAWS.

NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: PROPOSED PARTIAL BASEMENT FLOOR PLAN TO SHOW RESIDENTIAL UNIT 3		
DRAWN:	K.M.	DATE: 04/17/18
CHECKED:	K.M.	SCALE: 3/8" = 1'-0"
DRAWING NO.:		

IS: $150 \times 8\% = 12\text{s.f.}$
 -WE PROPOSE TO LOWER THE SILL OF THE WINDOW BY 3'-0". THE NET GLASS AREA OF THE WINDOW BECOMES $3'-4" \times 4'-6" = 15 \times 80\% = 12\text{s.f.}$ WHICH MEETS CODE.

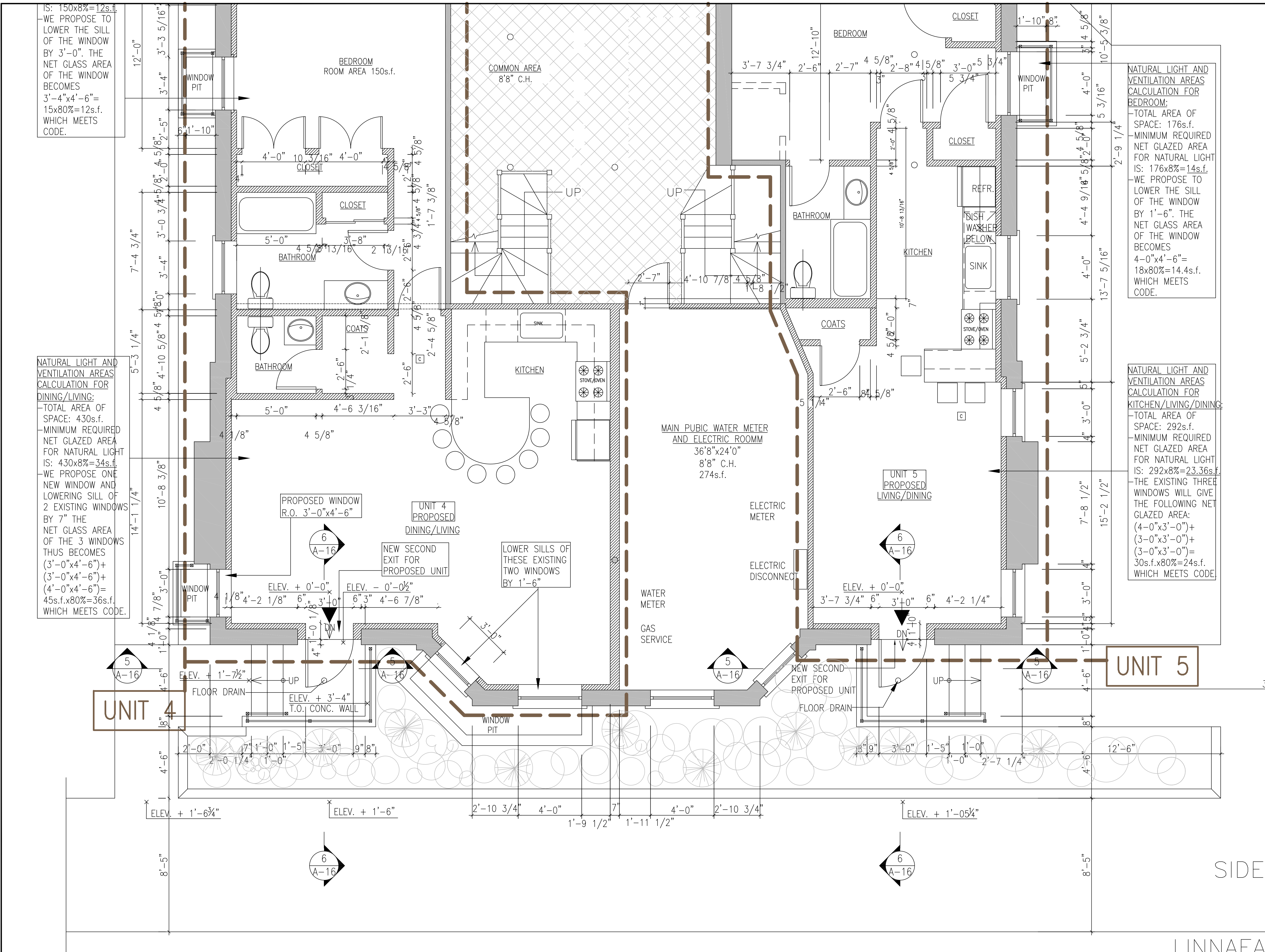
NATURAL LIGHT AND VENTILATION AREAS CALCULATION FOR DINING/LIVING:
 -TOTAL AREA OF SPACE: 430s.f.
 -MINIMUM REQUIRED NET GLAZED AREA FOR NATURAL LIGHT IS: $430 \times 8\% = 34\text{s.f.}$
 -WE PROPOSE ONE NEW WINDOW AND LOWERING SILL OF 2 EXISTING WINDOWS BY 7" THE NET GLASS AREA OF THE 3 WINDOWS THUS BECOMES $(3'-0" \times 4'-6") + (3'-0" \times 4'-6") + (4'-0" \times 4'-6") = 45\text{s.f.} \times 80\% = 36\text{s.f.}$ WHICH MEETS CODE.

NATURAL LIGHT AND VENTILATION AREAS CALCULATION FOR BEDROOM:
 -TOTAL AREA OF SPACE: 176s.f.
 -MINIMUM REQUIRED NET GLAZED AREA FOR NATURAL LIGHT IS: $176 \times 8\% = 14\text{s.f.}$
 -WE PROPOSE TO LOWER THE SILL OF THE WINDOW BY 1'-6". THE NET GLASS AREA OF THE WINDOW BECOMES $4'-0" \times 4'-6" = 18 \times 80\% = 14.4\text{s.f.}$ WHICH MEETS CODE.

NATURAL LIGHT AND VENTILATION AREAS CALCULATION FOR KITCHEN/LIVING/DINING:
 -TOTAL AREA OF SPACE: 292s.f.
 -MINIMUM REQUIRED NET GLAZED AREA FOR NATURAL LIGHT IS: $292 \times 8\% = 23.36\text{s.f.}$
 -THE EXISTING THREE WINDOWS WILL GIVE THE FOLLOWING NET GLAZED AREA:
 $(4'-0" \times 3'-0") + (3'-0" \times 3'-0") + (3'-0" \times 3'-0") = 30\text{s.f.} \times 80\% = 24\text{s.f.}$ WHICH MEETS CODE.

- LEGEND :**
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
 - EXISTING WALLS AND PARTITIONS TO REMAIN
 - NEW PARTITIONS
 - EXIT ACCESS
 - ACCESS ROUTE TO BICYCLE PARKING SPACES
 - BICYCLE PARKING SPACES
 - EXIT
 - WALL MOUNTED LIGHTED EXIT SIGN
 - CARBON MONOXIDE DETECTOR, HARD WIRED INTER-CONNECTED
 - SELF CLOSING DOOR
 - DOOR WITH PANIC DEVICE

- GENERAL NOTES :**
1. THE CONTRACTOR SHALL SURVEY THE EXISTING FRAMING AND VERIFY ALL DIMENSIONS IN THE FIELD, NOTIFY THE OWNER/ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN DIMENSIONS AND ANY FIELD CONDITIONS UNCOVERED DURING CONSTRUCTION THAT IS NOT CONSISTENT WITH THE PLANS OR THAT IS STRUCTURALLY INADEQUATE PRIOR TO PROCEEDING WITH WORK.
 2. THE ARCHITECT HAS NOT BEEN ENGAGED FOR CONSTRUCTION SUPERVISION OF ANY KIND, AND ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION NON CONFORMING WITH THESE PLANS, NOR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
 3. ALL CONSTRUCTION WORK SHALL COMPLY WITH THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE, THE LOCAL ZONING BUILDING CODE, THE LOCAL ZONING ORDINANCE OF THE CITY OF CAMBRIDGE AND MASSACHUSETTS GENERAL LAWS.



NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSED TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: PROPOSED PARTIAL BASEMENT FLOOR PLAN TO SHOW RESIDENTIAL UNITS 4 & 5		
DRAWN: K.M.	DATE: 04/17/18	
CHECKED: K.M.	SCALE: 3/8" = 1'-0"	
DRAWING NO.: A-5		

NATURAL LIGHT AND VENTILATION AREAS CALCULATION FOR LIVING/DINING/KITCHEN:
 -TOTAL AREA OF SPACE: 319 s.f.
 -MINIMUM REQUIRED NET GLAZED AREA FOR NATURAL LIGHT IS: $319 \times 8\% = 26 \text{ s.f.}$
 -WE PROPOSE TO LOWER THE SILL OF THE EXISTING WINDOW BY 1'-6", OPEN TWO NEW WINDOWS EACH 2'-0"x4'-6", NET GLASS AREA OF THE WINDOWS BECOMES $(4'-0" \times 4'-6") + (2'-0" \times 4'-6") + (2'-0" \times 4'-6") = 36 \text{ s.f.}$
 $36 \text{ s.f.} \times 80\% = 28.8 \text{ s.f.}$ WHICH MEETS CODE.

NATURAL LIGHT AND VENTILATION AREAS CALCULATION FOR BEDROOM AND HALLWAY:
 -TOTAL AREA OF SPACE: 209 s.f.
 -MINIMUM REQUIRED NET GLAZED AREA FOR NATURAL LIGHT IS: $209 \times 8\% = 17 \text{ s.f.}$
 -GROSS GLASS AREA OF EXISTING WINDOWS: $(4'-0" \times 3'-0") + (1'-8" \times 3'-0") + (1'-8" \times 3'-0") = 22 \text{ s.f.}$
 NET GLASS AREA IS $22 \text{ s.f.} \times 80\% = 17.6 \text{ s.f.}$ WHICH MEETS CODE.

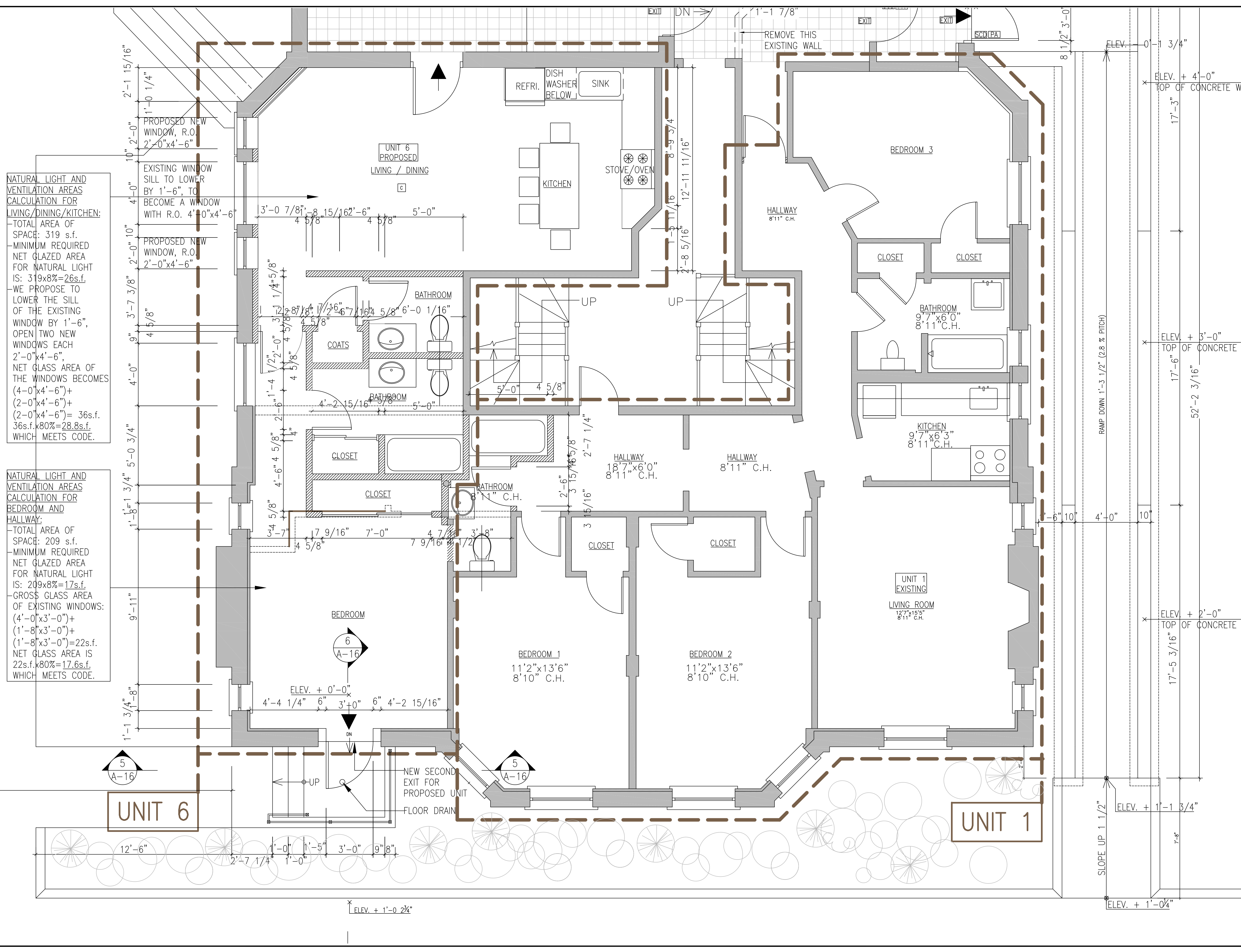
- LEGEND :**
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
 - EXISTING WALLS AND PARTITIONS TO REMAIN
 - NEW PARTITIONS
 - EXIT ACCESS
 - ACCESS ROUTE TO BICYCLE PARKING SPACES
 - BICYCLE PARKING SPACES
 - EXIT
 - WALL MOUNTED LIGHTED EXIT SIGN
 - CARBONE MONOXIDE DETECTOR, HARD WIRED INTER-CONNECTED
 - SELF CLOSING DOOR
 - DOOR WITH PANIC DEVICE

- GENERAL NOTES :**
- THE CONTRACTOR SHALL SURVEY THE EXISTING FRAMING AND VERIFY ALL DIMENSIONS IN THE FIELD, NOTIFY THE OWNER/ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN DIMENSIONS AND ANY FIELD CONDITIONS UNCOVERED DURING CONSTRUCTION THAT IS NOT CONSISTENT WITH THE PLANS OR THAT IS STRUCTURALLY INADEQUATE PRIOR TO PROCEEDING WITH WORK.
 - THE ARCHITECT HAS NOT BEEN ENGAGED FOR CONSTRUCTION SUPERVISION OF ANY KIND, AND ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION NON CONFORMING WITH THESE PLANS, NOR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
 - ALL CONSTRUCTION WORK SHALL COMPLY WITH THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE, THE LOCAL ZONING BUILDING CODE, THE LOCAL ZONING ORDINANCE OF THE CITY OF CAMBRIDGE AND MASSACHUSETTS GENERAL LAWS.

ANALYSIS OF 780 CMR MASS. STATE BUILDING CODE 8th EDITION:
 IN THIS PROJECT WE ARE IN R-2 RESIDENTIAL OCCUPANCY, AND THE ENTIRE SPACE SHALL BE PROTECTED WITH FIRE SPRINKLERS.
 - THIS CODE STIPULATES THAT THE "INTERNATIONAL EXISTING BUILDING CODE" (IEBC) APPLIES TO EXISTING BUILDINGS, WHICH IS THE CASE OF THIS PROJECT. TO DETERMINE HOW TO APPLY THIS CODE WE HAVE TO FOLLOW CHAPTER 4 "CLASSIFICATION OF WORK", WHEREBY THE PRESENT PROJECT IS CLASSIFIED AS "ALTERATION LEVEL 2", BECAUSE THE ALTERATION INVOLVES THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.

LEVEL 2 ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 6 AND 7
CHAPTER 6
 -SECTION 603 FIRE PROTECTION:
 603.1 GENERAL: AS REQUESTED, BY THIS PARAGRAPH THE EXISTING FIRE PROTECTION LEVEL SHALL BE MAINTAINED.
 -SECTION 604 MEANS OF EGRESS:
 AS REQUESTED, THE LEVEL OF PROTECTION SHALL BE MAINTAINED FOR THE MEAN OF EGRESS.
 -SECTION 605 ACCESSIBILITY:
 ACCORDING TO THE AMENDMENT OF THE INTERNATIONAL BUILDING CODE, IN MASSACHUSETTS THE 521 CMR APPLIES, ACCORDING TO HIS CODE ONLY THE

NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: PROPOSED PARTIAL BASEMENT FLOOR PLAN TO SHOW RESIDENTIAL UNIT 6, EXISTING RESIDENTIAL UNIT 1 AND PROPOSED ACCESSIBLE RAMP		
DRAWN:	K.M.	DATE: 04/17/18
CHECKED:	K.M.	SCALE: 3/8" = 1'-0"
DRAWING NO.:		





1 LINNAEAN STREET ELEVATION, EXISTING CONDITION
 A-7 SCALE: 3/16" = 1'-0"

NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: EXISTING LINNAEAN STREET ELEVATION		
DRAWN: K.M.	DATE: 04/17/18	
CHECKED: K.M.	SCALE: 3/16" = 1'-0"	
		DRAWING NO.:
		A-7



1 LINNAEAN STREET ELEVATION, PROPOSED CONDITION
 A-B SCALE: 3/16" = 1'-0"

NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: PROPOSED LINNAEAN STREET ELEVATION		
DRAWN: K.M.	DATE: 04/17/18	
CHECKED: K.M.	SCALE: 3/16" = 1'-0"	
DRAWING NO.:		
A-8		



1 MASS AVENUE ELEVATION, EXISTING CONDITION
 A-9 SCALE: 3/16" = 1'-0"

NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: EXISTING MASS. AVE. ELEVATION		
DRAWN: K.M.	DATE: 04/17/18	
CHECKED: K.M.	SCALE: 3/16" = 1'-0"	
		DRAWING NO.:
		A-9



1 MASS AVENUE ELEVATION, PROPOSED CONDITION
 A-10 SCALE: 3/16" = 1'-0"

NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: PROPOSED MASS AVE. ELEVATION		
DRAWN: K.M.	DATE: 04/17/18	
CHECKED: K.M.	SCALE: 3/16" = 1'-0"	
		DRAWING NO.:
		A-10



1 LINNAEAN STREET REAR ELEVATION, EXISTING CONDITION
 A-11 SCALE: 3/16" = 1'-0"

NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: LINNAEAN STREET REAR ELEVATION, EXISTING CONDITION		
DRAWN: K.M.	DATE: 04/17/18	
CHECKED: K.M.	SCALE: 3/16" = 1'-0"	
		DRAWING NO.:
		A-11



1 LINNAEAN STREET REAR ELEVATION, PROPOSED CONDITION
 A-12 SCALE: 3/16" = 1'-0"

NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: LINNAEAN STREET REAR ELEVATION, PROPOSED CONDITION		
DRAWN: K.M.	DATE: 04/17/18	
CHECKED: K.M.	SCALE: 3/16" = 1'-0"	
DRAWING NO.:		
A-12		

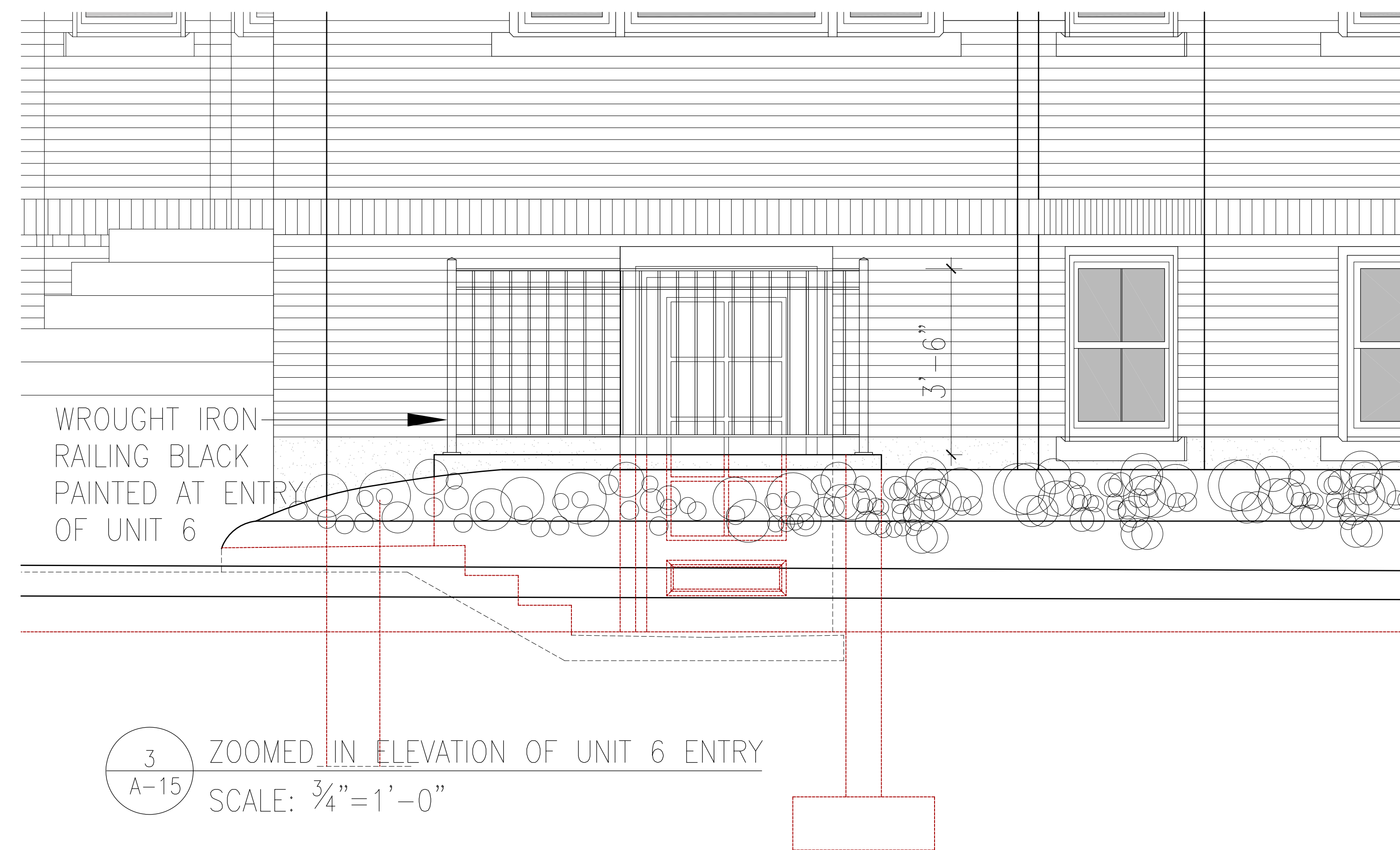
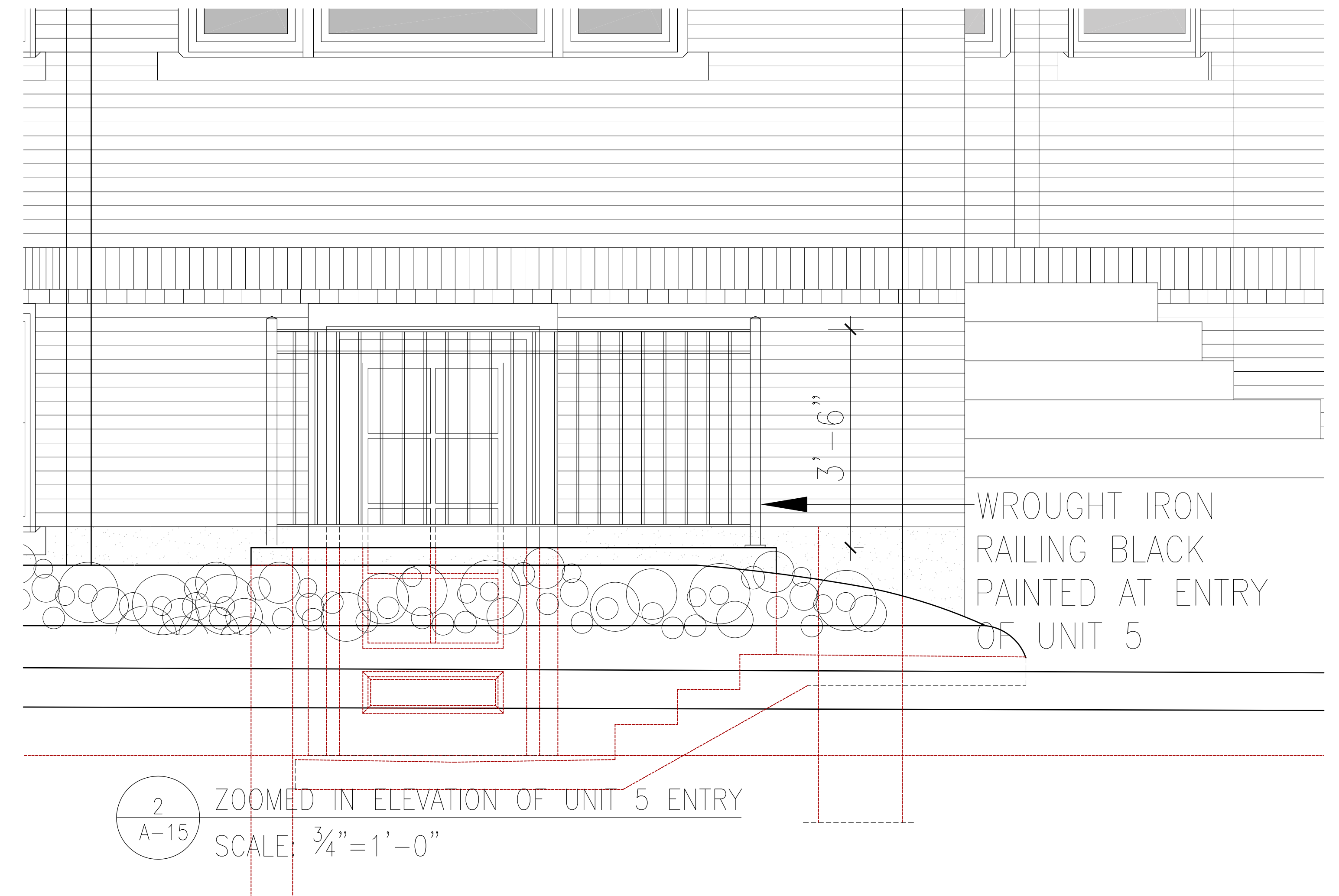
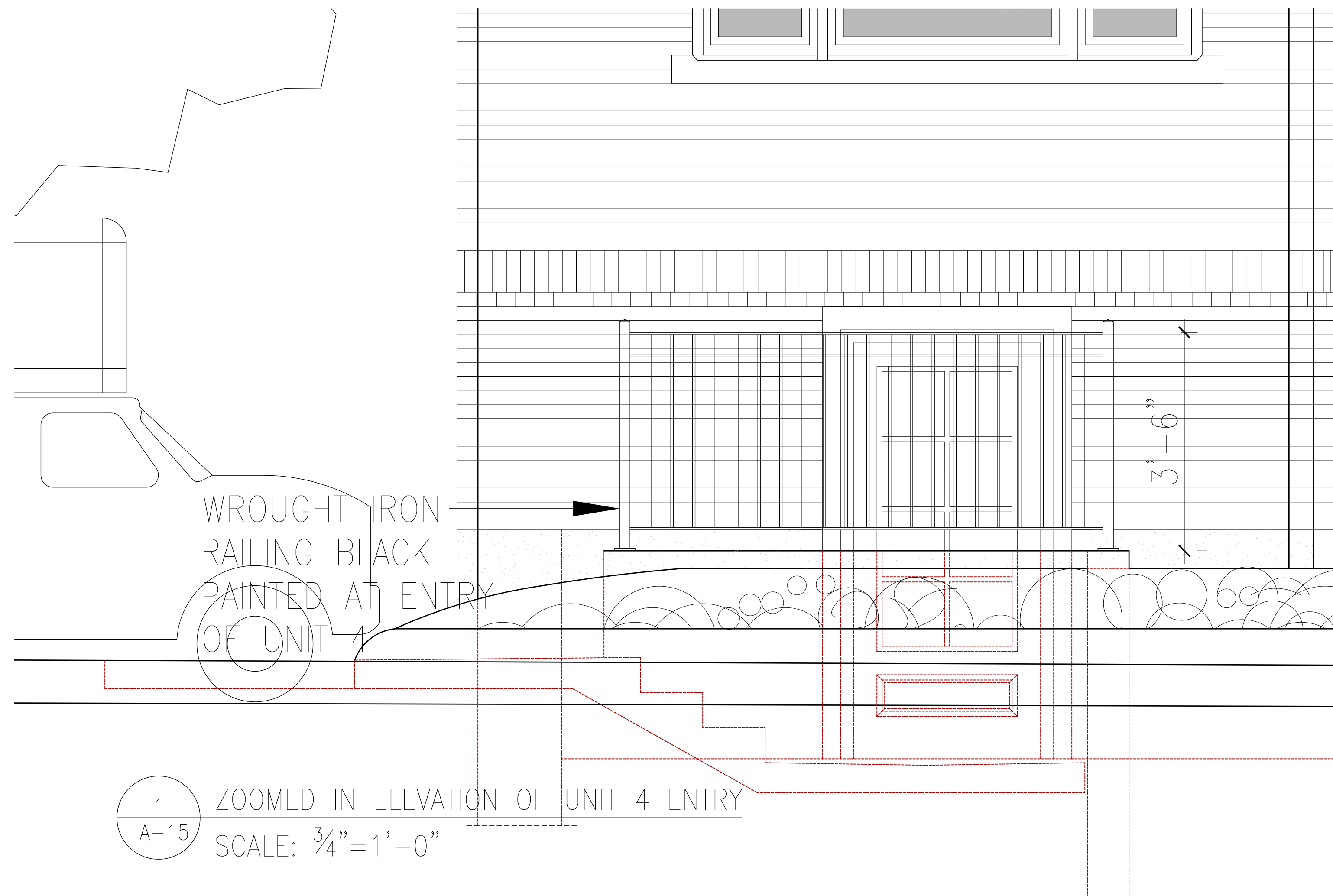


NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: MASS. AVE. REAR ELEVATION EXISTING CONDITION		
DRAWN:	K.M.	DATE: 04/17/18
CHECKED:	K.M.	SCALE: 3/16" = 1'-0"
		DRAWING NO.:
		A-13

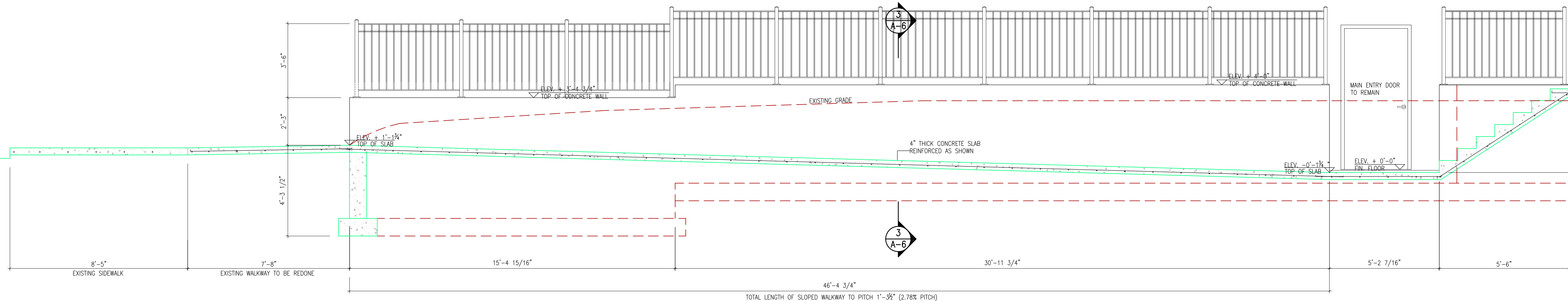


1 MASS. AVE REAR ELEVATION, PROPOSED CONDITION
 A-14 SCALE: 3/16" = 1'-0"

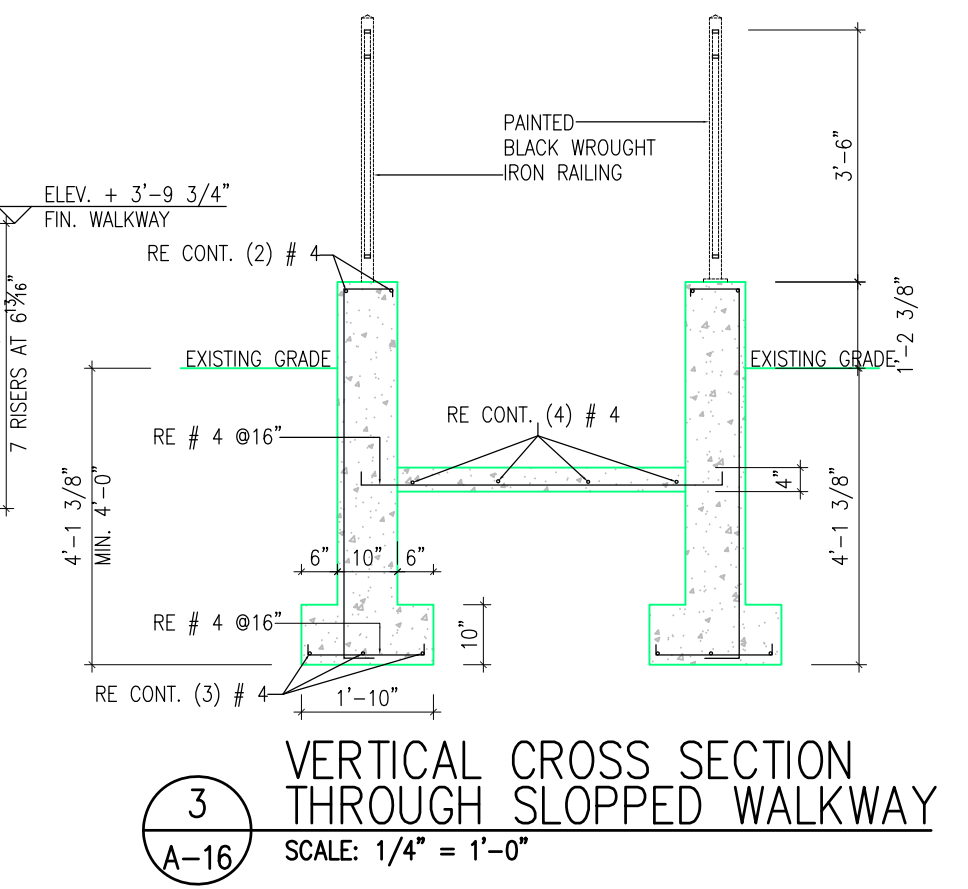
NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: MASS. AVENUE REAR ELEVATION, PROPOSED CONDITION		
DRAWN: K.M.	DATE: 04/17/18	
CHECKED: K.M.	SCALE: 3/16" = 1'-0"	
		DRAWING NO.:
		A-14



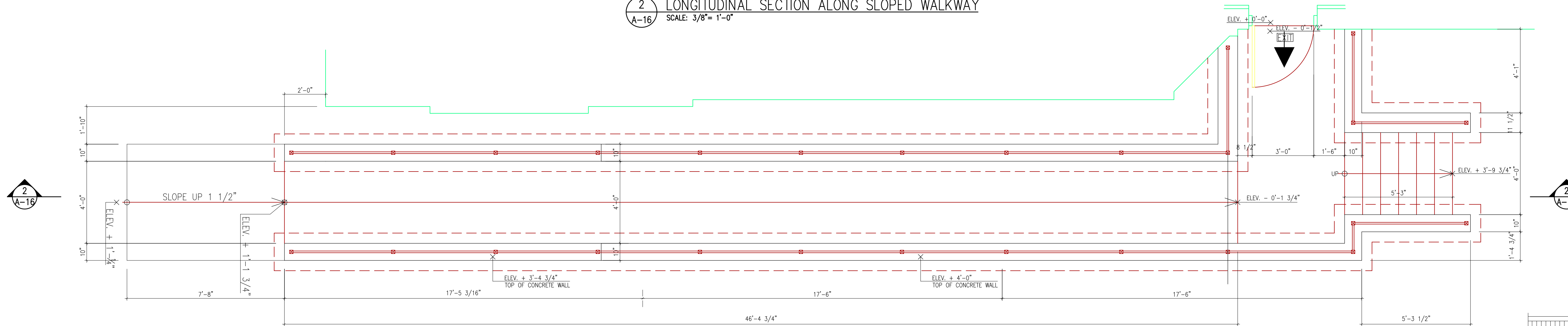
NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: ZOOMED IN ELEVATIONS OF ENTRIES FOR UNITS 4, 5 & 6		
DRAWN: K.M.	DATE: 01/15/18	
CHECKED: K.M.	SCALE: 3/4" = 1'-0"	
		DRAWING NO.:
		A-15



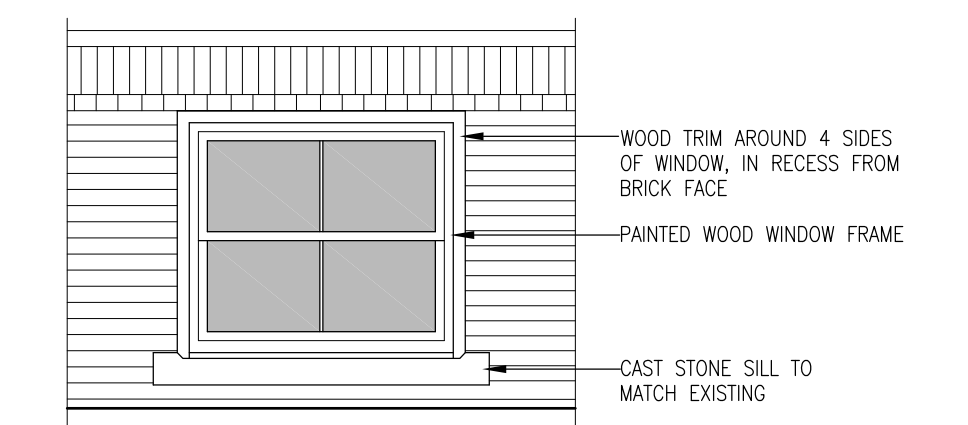
2 LONGITUDINAL SECTION ALONG SLOPED WALKWAY
SCALE: 3/8" = 1'-0"



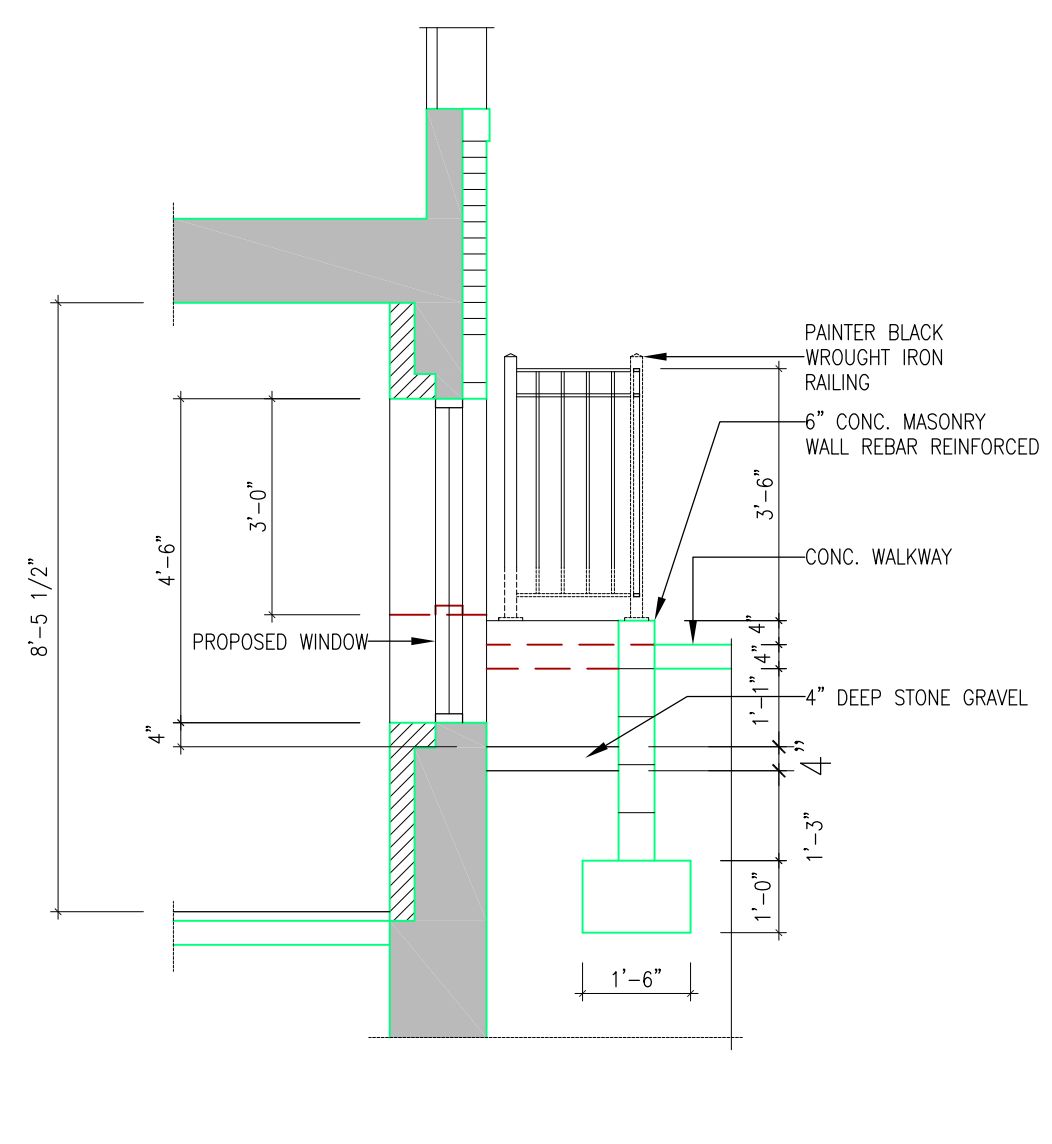
3 VERTICAL CROSS SECTION THROUGH SLOPED WALKWAY
SCALE: 1/4" = 1'-0"



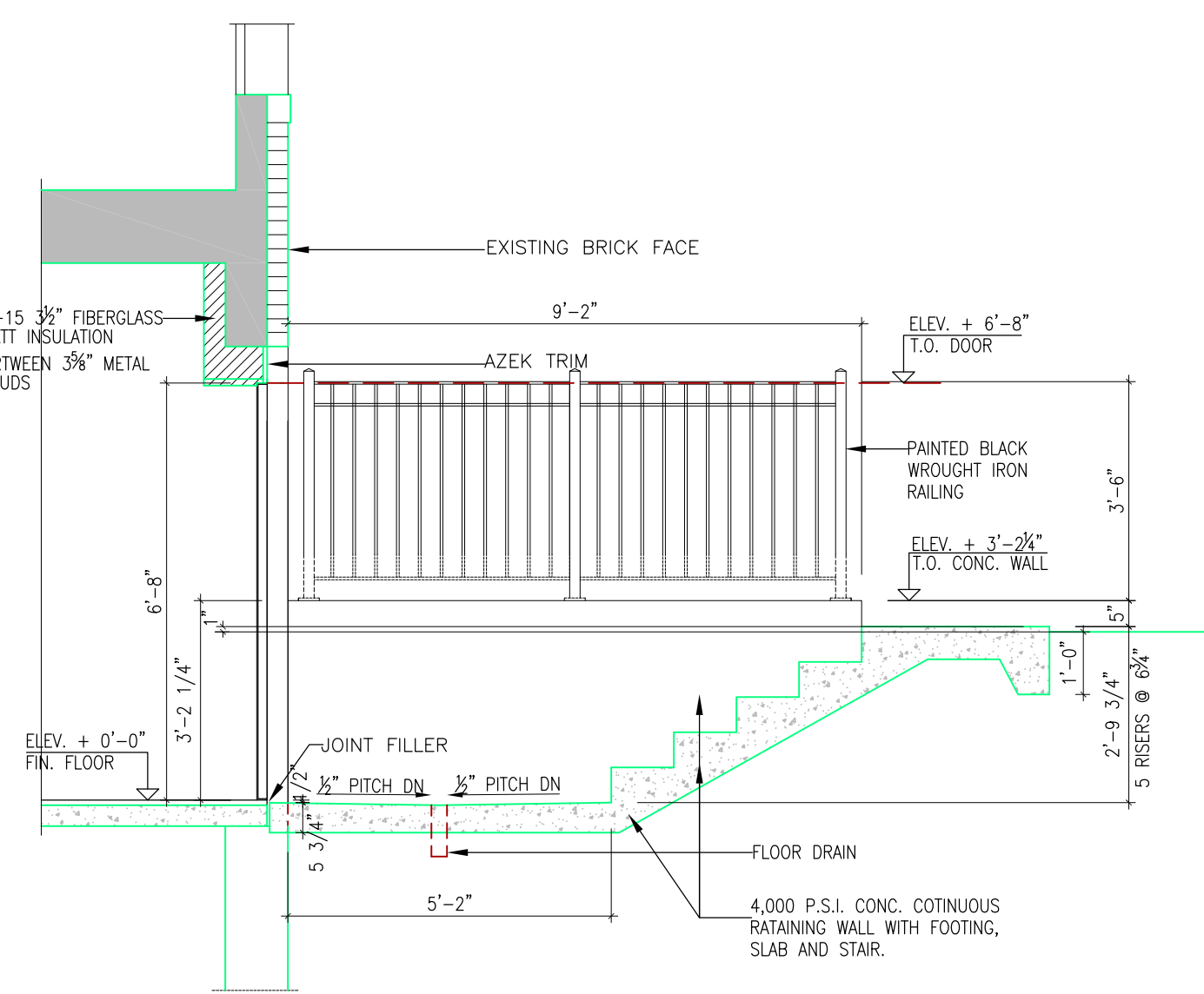
1 SLOPED WALKWAY PLAN
SCALE: 3/8" = 1'-0"



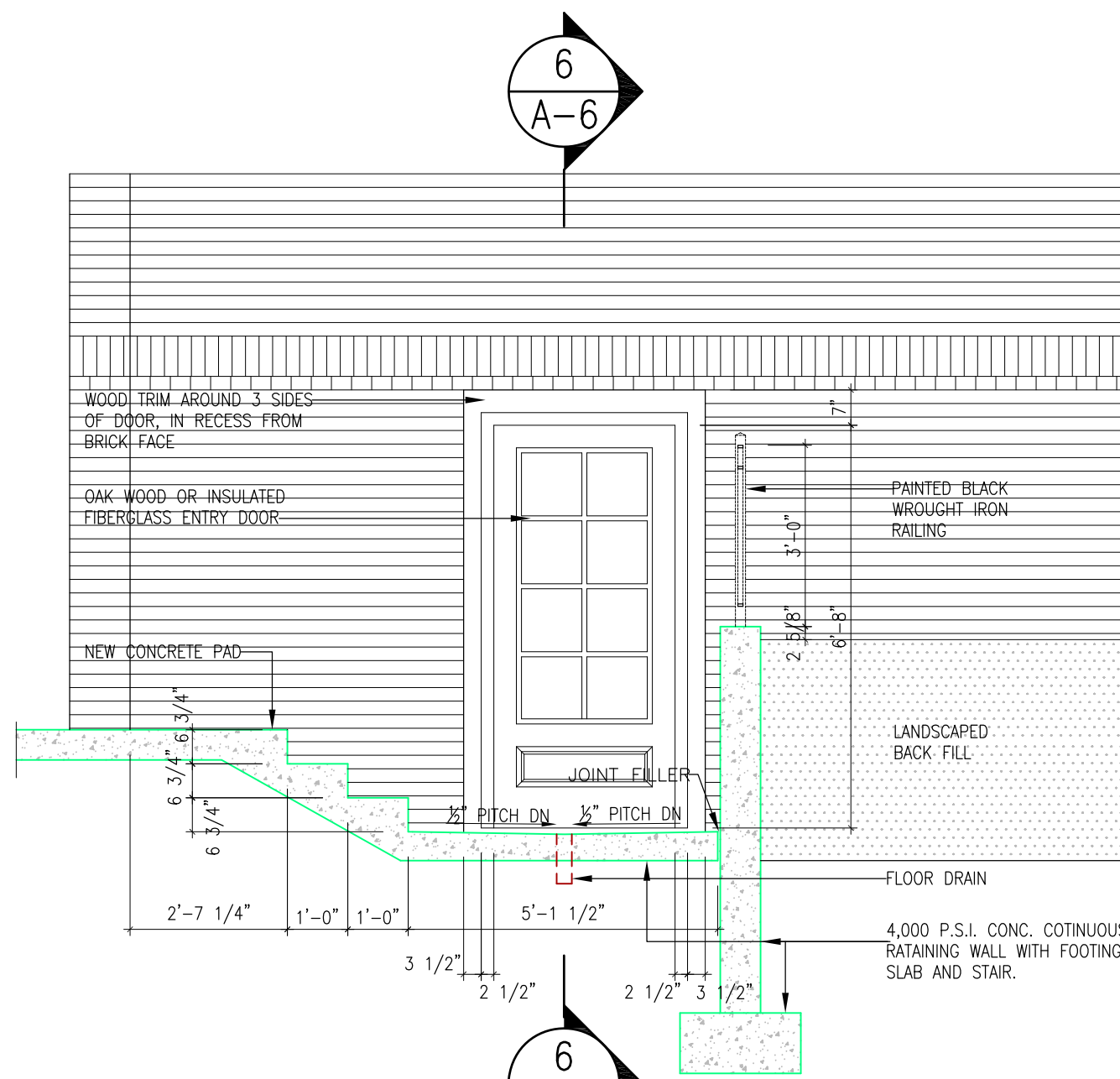
8 ELEVATION OF TYPICAL PROPOSED WINDOW
SCALE: 3/8" = 1'-0"



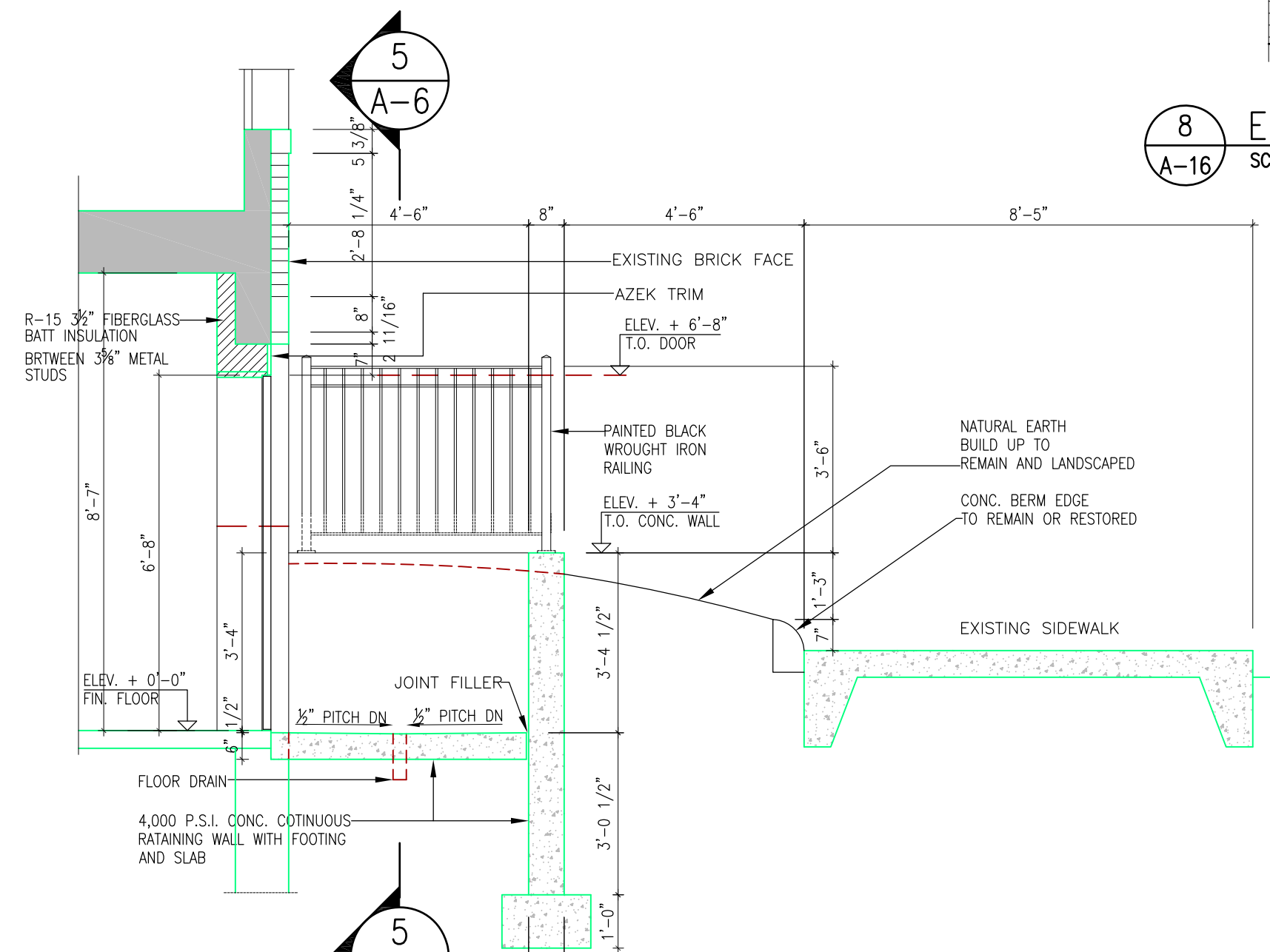
7 TYPICAL VERTICAL CROSS SECTION THROUGH WINDOW PITS
SCALE: 3/8" = 1'-0"



4 SECTION ACROSS PROPOSED SECOND EXITS FOR UNIT 3
SCALE: 3/8" = 1'-0"

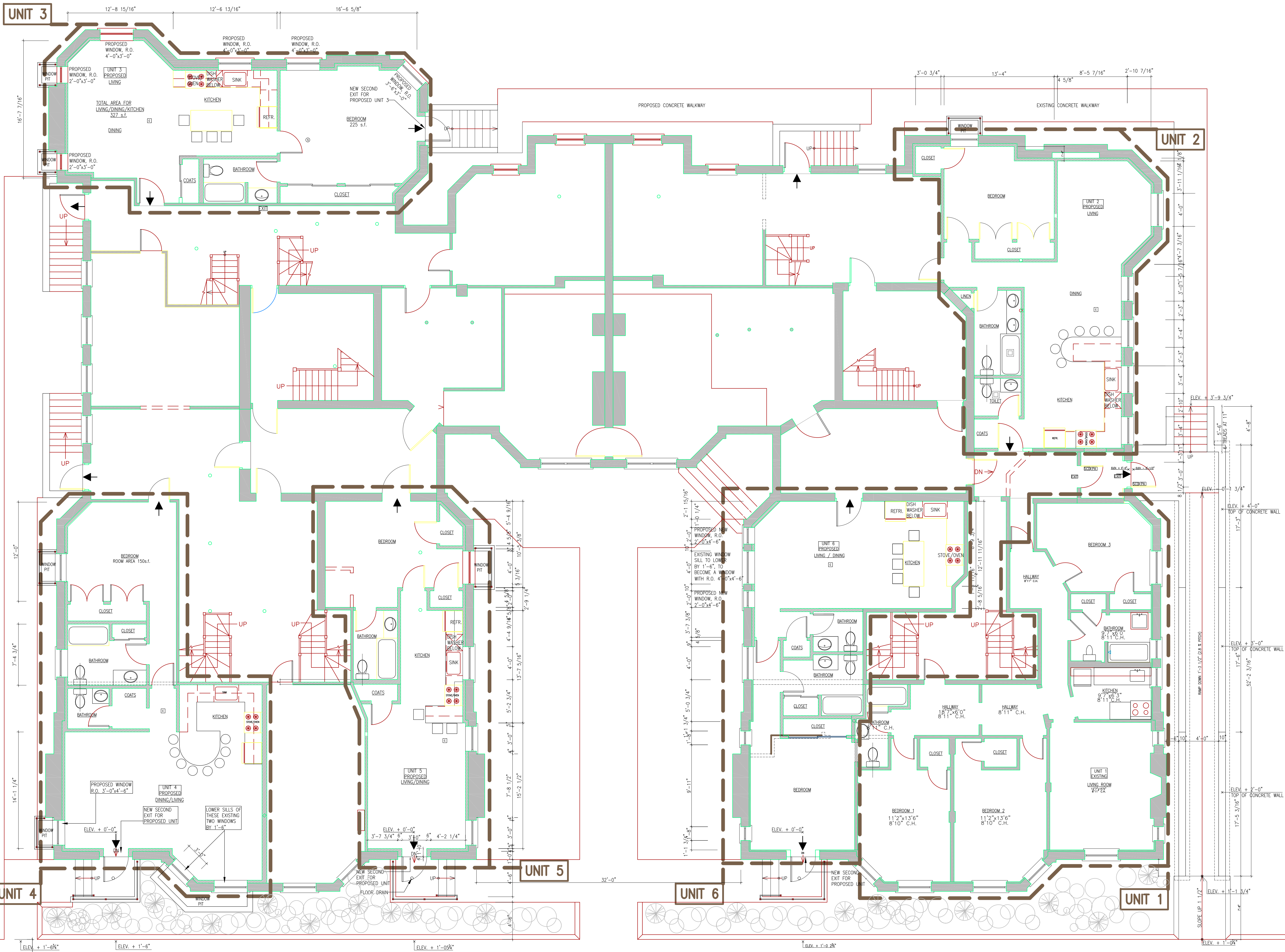


5 SECTION ALONG PROPOSED SECOND EXITS FOR UNITS 4, 5 & 6; (SIMILAR BUT HANDED FOR UNIT 5)
SCALE: 3/8" = 1'-0"



6 SECTION ACROSS PROPOSED SECOND EXITS FOR UNITS 4, 5 & 6 (SIMILAR BUT HANDED FOR UNIT 5)
SCALE: 3/8" = 1'-0"

NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: SLOPED WALKWAY AND MISCELLANEOUS DETAILS		
DRAWN: K.M.	DATE: 01/15/18	
CHECKED: K.M.	SCALE: 3/8" = 1'-0"	
DRAWING NO.:		



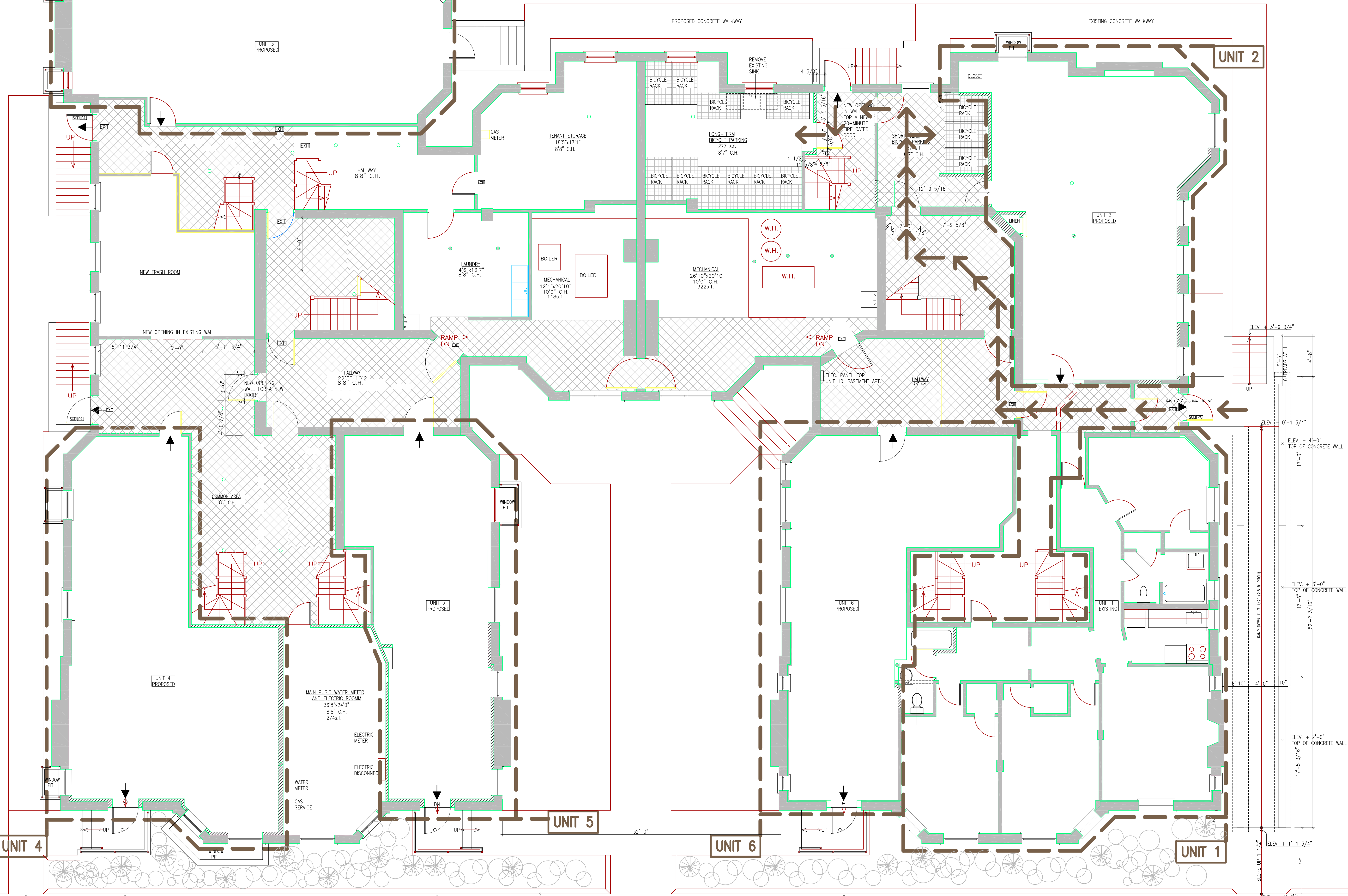
NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: BASEMENT GENERAL FLOOR PLAN TO HIGHLIGHT THE PROPOSED RESIDENTIAL UNITS		
DRAWN: K.M.	DATE: 04/17/18	
CHECKED: K.M.	SCALE: 3/16" = 1'-0"	
DRAWING NO.:		

A-17

SIDEWALK

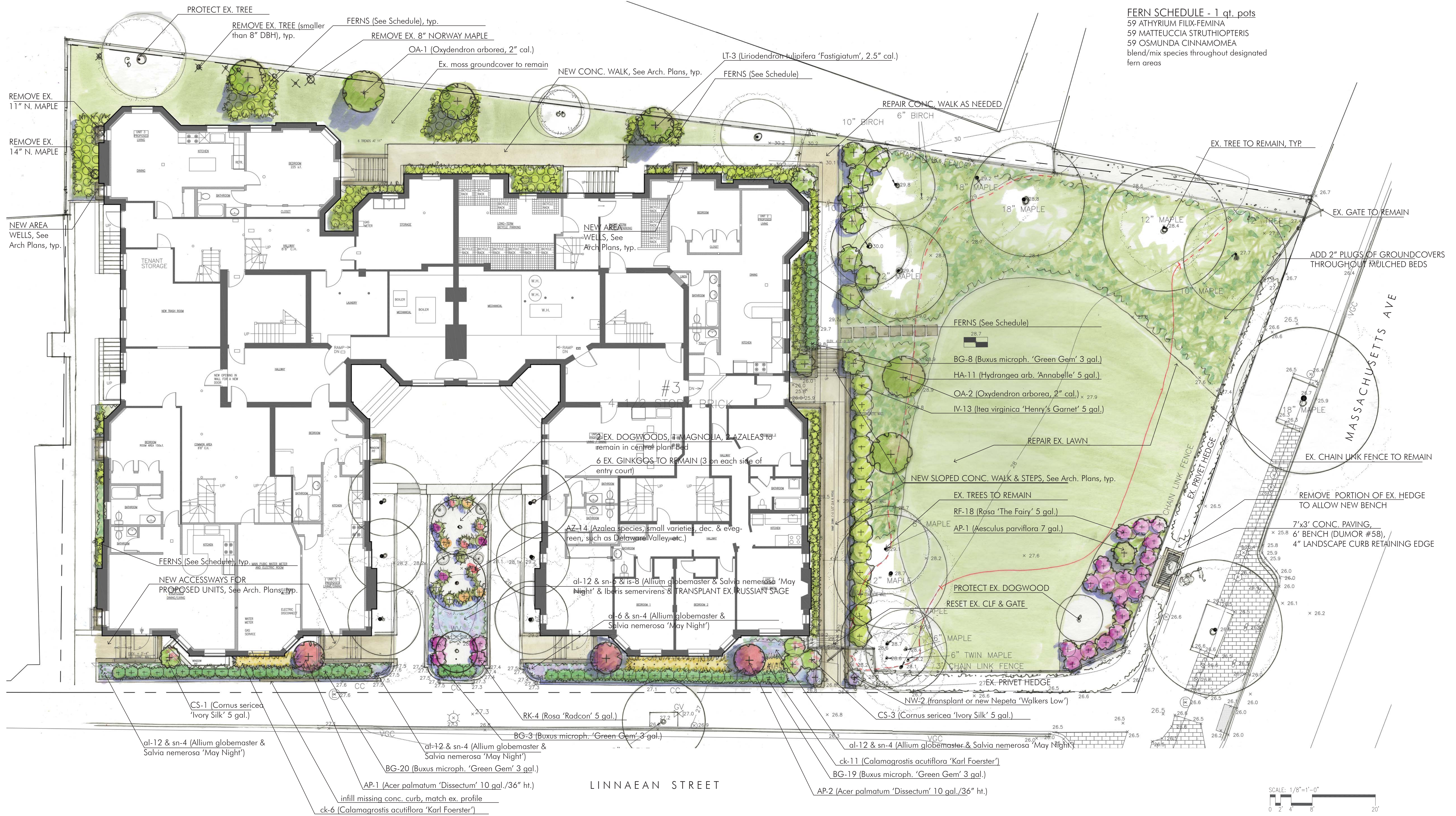
UNIT 3

UNIT 2

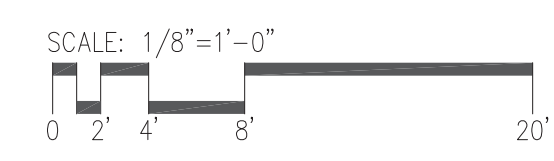


NO.	REVISIONS	DATE
PROJECT LOCATION: 3-5 LINNAEAN STREET, CAMBRIDGE		
PROJECT TITLE: PROPOSAL TO PROVIDE 5 RESIDENTIAL UNITS IN BASEMENT, IN ADDITION TO THE EXISTING ONE UNIT AND TO PROVIDE HANDICAP ACCESSIBILITY TO THE BUILDING		
SHEET TITLE: BASEMENT GENERAL FLOOR PLAN TO HIGHLIGHT THE PUBLIC AMENITIES		
DRAWN:	K.M.	DATE: 04/17/18
CHECKED:	K.M.	SCALE: 3/16" = 1'-0"
DRAWING NO.:		

A-18



FERN SCHEDULE - 1 qt. pots
 59 ATHYRIUM FILIX-FEMINA
 59 MATTEUCCIA STRUTHIOPTERIS
 59 OSMUNDA CINNAMOMEA
 blend/mix species throughout designated fern areas



OPTIONS



6' BLACK METAL BENCH (DUMOR #58) - SELECTED FOR USE



6' BLACK METAL BENCH (VICTOR STANLEY #Lily)



6' BLACK METAL BENCH (VICTOR STANLEY #RB-28)

NEARBY PRECEDENTS



BLACK METAL BENCH (PORTER SQUARE) - likely Dumor Bench #58



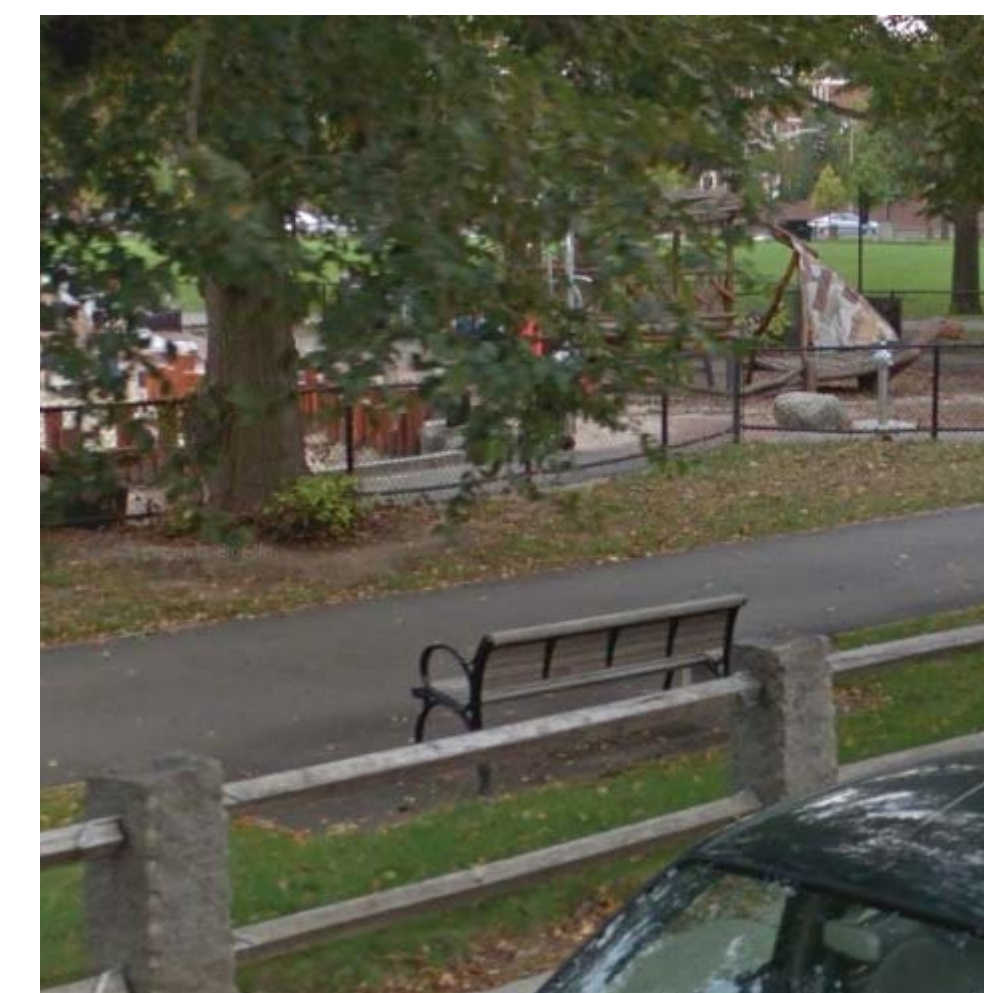
BLACK METAL BENCHES (MASS AVE) - 2' Dumor Bench #58



BLACK METAL BENCHES (MASS AVE) - 2' Dumor Bench #58



8' TEAK BENCH (MASS AVE)



6' WOOD & METAL BENCH AT CAMBRIDGE COMMON



TREES: *Oxydendron arborea*, *Liriodendron tulipifera* 'Fastigiatum'



SPECIMEN SHRUB: *Aesculus parviflora*



SHRUBS/BORDER: *Rosa* 'The Fairy', *Buxus* 'Green Gem', *Rosa* Radcon



SHRUBS/BORDER: *Acer palmatum* 'Dissectum', *Calamagrostis acutiflora* 'Karl Foerster', *Cornus sericea* 'Ivory Halo'



FERNS: *Osmunda cinnamomea* (TOP), *Athyrium filix-femina* (MIDDLE), *Matteuccia struthiopteris* (BOTTOM)



INFILL PERENNIALS: *Salvia nemerosa* 'May Night', *Allium Globemaster*, *Nepeta* 'Walker's Low'