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July 1, 2022

Swaathi Joseph Project Planner Community Development Department 344 Broadway Cambridge, MA 02139

RE: Planning Board Case No. 344

24 Brattle Street Cambridge, MA

Dear Ms. Joseph:

As part of the ongoing design review condition contained in the above captioned Special Permit, attached please find elevations, plans, and narratives in support of proposed façade and storefront modifications.

I would request that this matter be placed on the General Business Agenda of the next available Planning Board hearing.

Please advise if any additional information is necessary in order to accommodate this request.

Thank you for your assistance.

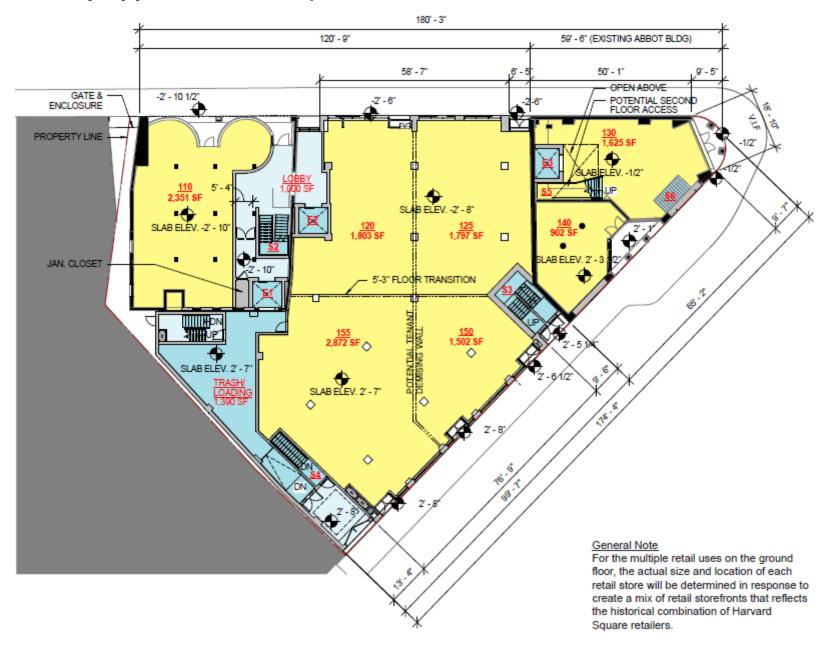
very truly yours

James J. Rafferty

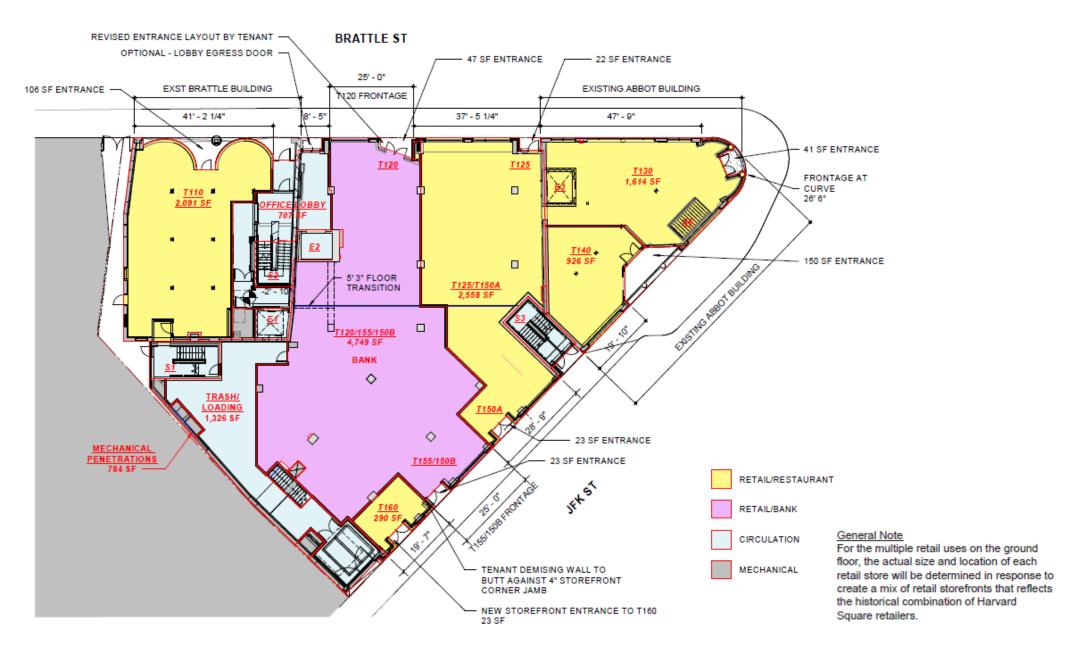
cc: Sam Stiebel, Vice President



Ground Floor (Previously Approved 2/27/17)



Ground Floor (Proposed)



Bank Layout

The bank proposes two main points of entry into the space:

- Brattle Street
- JFK Street

Each entrance also acts as an ATM vestibule that only houses one ATM machine in each vestibule.

Brattle Street shows a throughthe-wall ATM & an after-hours depository & JFK shows a frontloading ATM (depicted below)

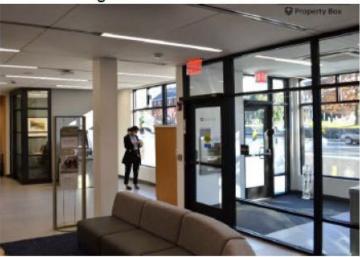






Note: All storefronts/vestibules will be clear glass on both streets and both entrances will be main entrances (example below)

Interior-facing view of a vestibule



Exterior-facing view of a vestibule



Additional Vestibule Information (Plans, Materials, Elevations, Demo Plans, Pier Interface)

SEE ATTACHED PLANS





Brattle Signage





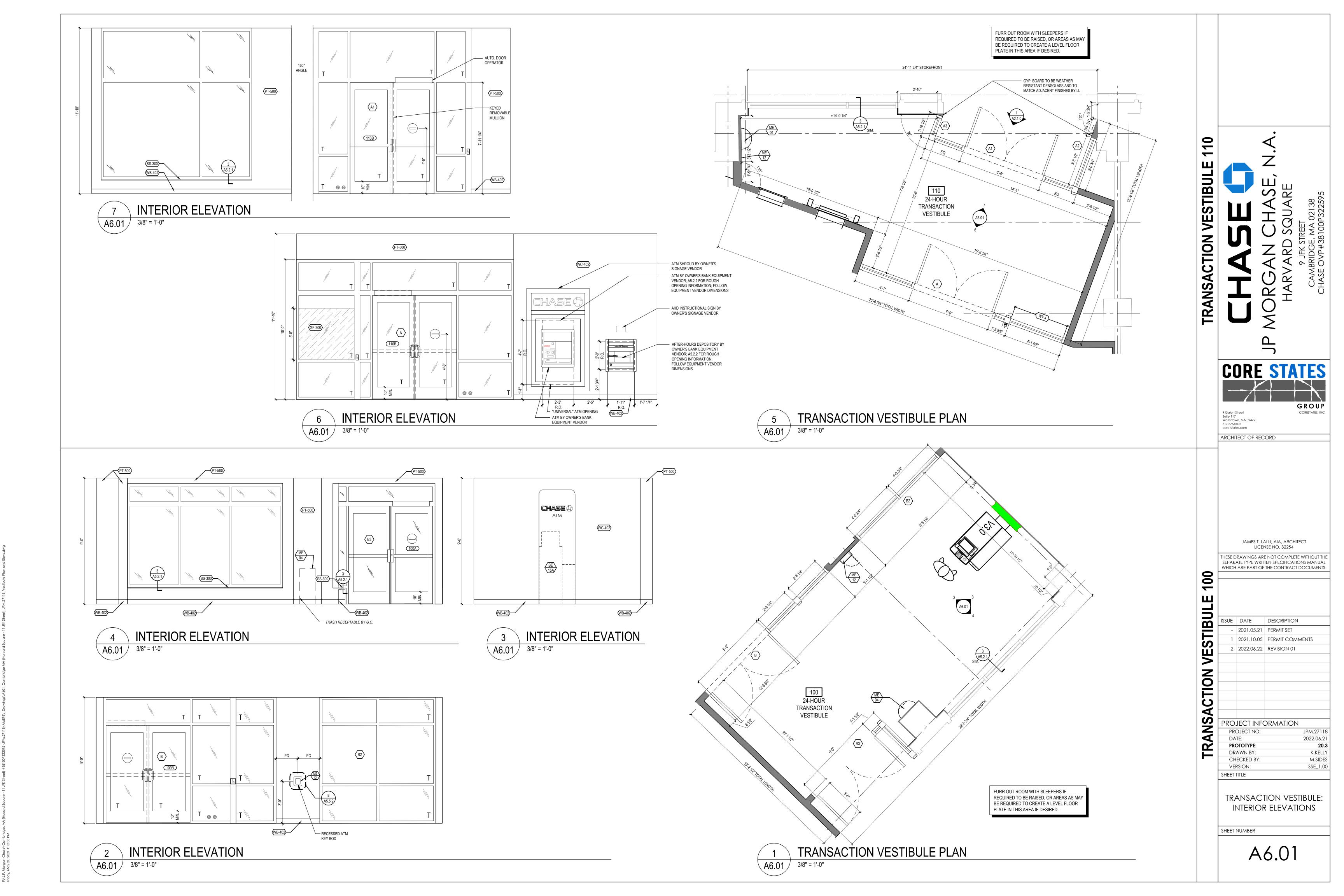


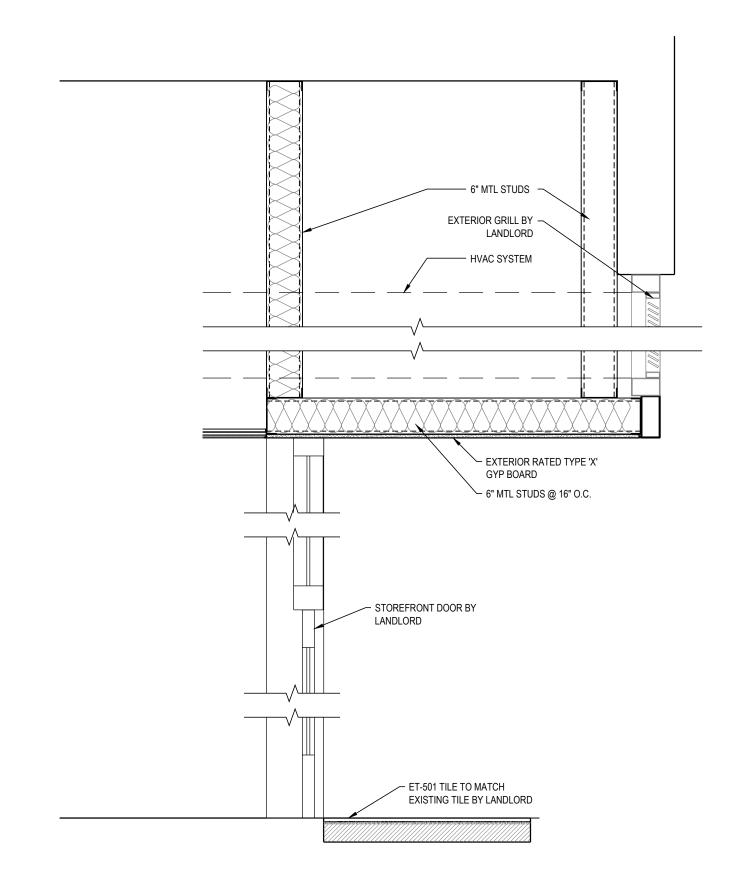
JFK Signage



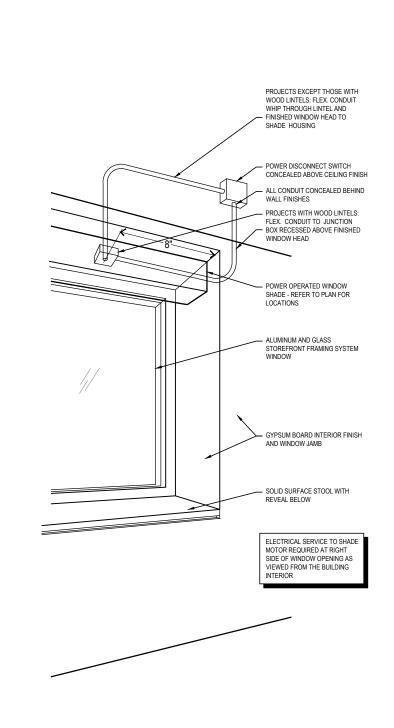
JFK Frontage – Bank and New Adjoining Retail Space (Illustrative)







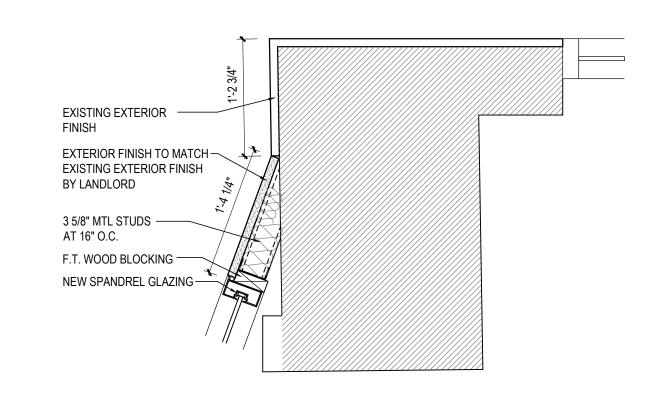




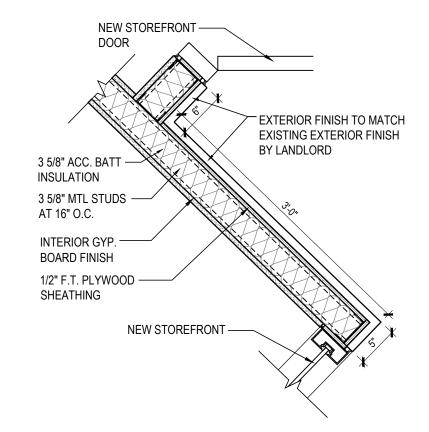
TYPICAL MOTORIZED SHADE ELECTRICAL ROUGH-IN DIAGRAM

NOT TO SCALE

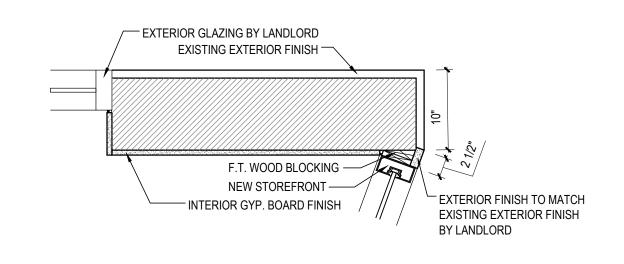
2 COLUMN SURROUND DETAIL
A5.2.1 3" = 1'-0"





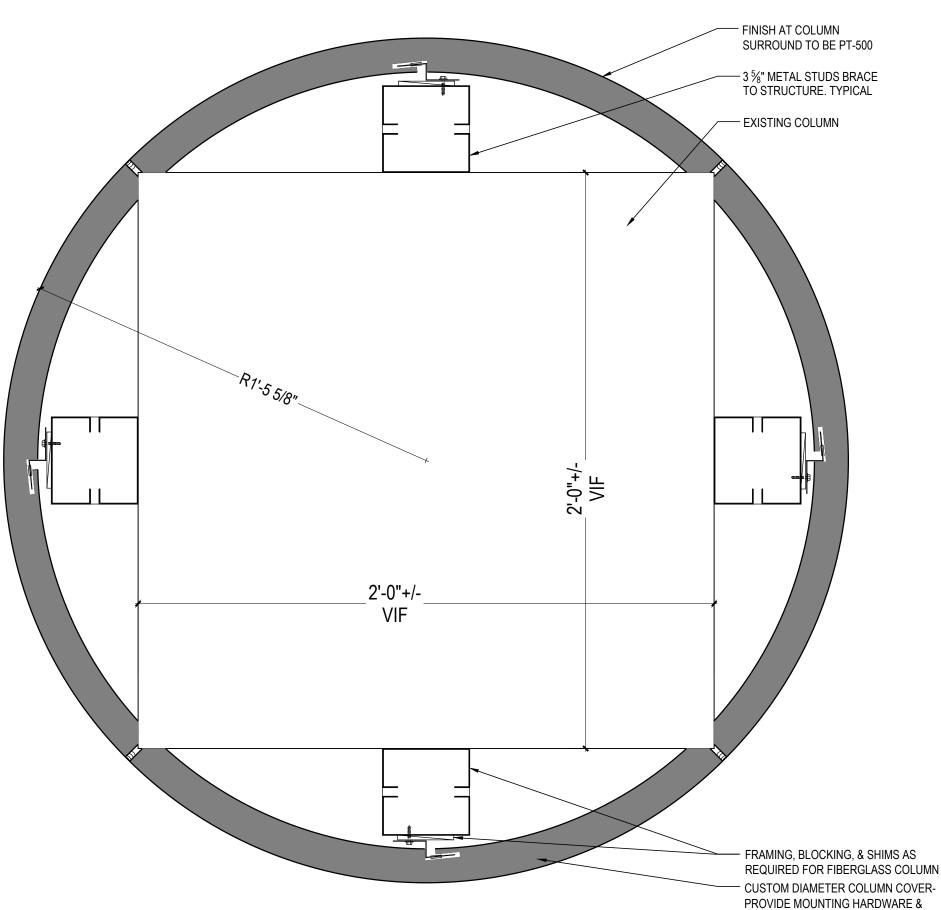


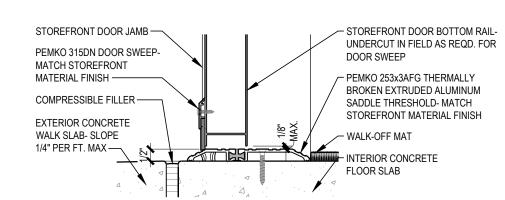
8 BRATTLE STREET WALL DETAIL 01
A5.2.1 1" = 1'-0"



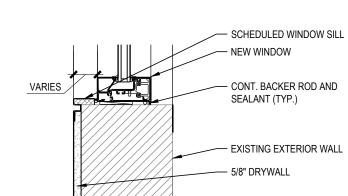


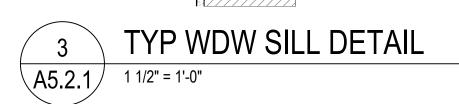
ADHESIVES AS REQUIRED BY HB&G

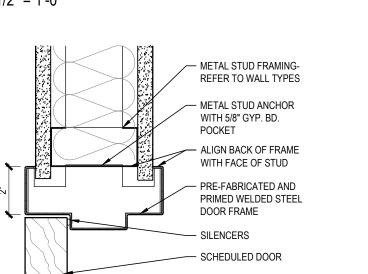












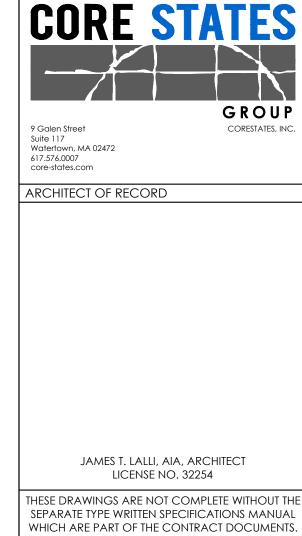
INTERIOR DOOR HEAD / JAMB SIMILAR

JAMB SIMI

1 3" = 1'-0"

JP MORGAN CHASE, N
HARVARD SQUARE

9 JFK STREET
CAMBRIDGE, MA 02138
CAMBRIDGE, MA 02138



ISSUE	DATE	DESCRIPTION	
-	2021.05.21	PERMIT SET	
1	2021.10.05	PERMIT COMMENTS	

PROJECT INFORMATION					
PRC	DJECT NO:	JPM.27118			
DA	TE:	2022.06.22			
PRC	OTOTYPE:	20.3			
DR	AWN BY:	K.KELLY			
CHECKED BY:			M.SIDES		
VER	rsion:	SSE_1.00			
SHEET TITLE					

DETAILS: WALL OPENINGS & INTERIOR DETAILS

SHEET NUMBER

A5.2.1

DEMO LEGEND

EXISTING WALL CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

1 EXISTING STOREFRONT SYSTEM TO BE REMOVED EXISTING NON-BEARING LOW WALL CONSTRUCTION TO

> BE REMOVED. CHIP AWAY 2" OF CONCRETE SLAB FOR PROPOSED CHAIR LIFT: GC TO RADAR SCAN STRUCTURAL SLAB PRIOR TO PERFORMING ANY CORING/DRILLING TO AVOID TENSION TENDONS AND REBAR; SEE STRUCTURAL

DEMO KEYNOTES

4 EXISTING STOREFRONT DOOR TO BE REMOVED

DRAWINGS FOR MORE INFORMATION

GENERAL DEMOLITION NOTES

A REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS INCLUDING, BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER REP, THE REMOVAL/ DISPOSAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.

B ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR.

REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC. SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL UNLESS SPECIFICALLY NOTED OTHERWISE IN ARCHITECTURAL AND STRUCTURAL PLANS. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.

D COORDINATE LIMIT OF DEMOLITION WITH THE CONSTRUCTION PLAN. E INSPECT, TEST, AND DISCONNECT UTILITY SERVICES AND MAIN SOURCE OR MAIN BRANCH WITHOUT DISRUPTING UTILITY SERVICE. SECURELY CAP AND/OR VALVE-OFF UTILITY SERVICE BEHIND FINISHED SURFACES OF

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G EXISTING CONDITIONS SHOWN ON THE PLAN ARE BASED UPON THE BEST AVAILABLE PUBLIC AND/OR PRIVATE RECORDS AS SUPPLIED BY THE PROJECT OWNER AND/OR DATA OBTAINED FROM OWNERS OR OFFICIALS ASSOCIATED WITH THE PARTICULAR BUILDING. NEITHER THE OWNER NOR THE ARCHITECT GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION AND ASSUME NO RESPONSIBILITY FOR INFORMATION NOT SHOWN ON EXISTING DOCUMENTS OR EXISTING INACCESSIBLE SPACES. WHEN INCLUDED IN THE AREA OF WORK, THE GENERAL CONTRACTOR MUST PERFORM EXPLORATORY DEMOLITION OF ALL INACCESSIBLE LOCATIONS AND NOTIFY THE ARCHITECT, ENGINEERS AND OWNER IMMEDIATELY OF THE CONDITIONS FOUND.

PROVIDE A MINIMUM OF TWO (2), 25 LB FIRE EXTINGUISHERS APPROVED FOR 'A', 'B' AND 'C' TYPE FIRES, TO BE LOCATED AT THE ENTRY/EXIT POINTS TO THE SITE. FIRE EXTINGUISHERS ARE TO REMAIN WORKING ORDER ON THE FLOORS WHEN CONTRACT WORK IS IN PROGRESS.

COORDINATE WITH OWNER/TENANT ON SECURITY SYSTEM REMOVAL AND RELOCATION.

DEMOLITION AND REMOVAL OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING. CUTTING METHODS THROUGH ANY STRUCTURAL ITEMS (CONCRETE, CMU, ETC.) TO BE APPROVED BY BUILDING OWNER/LANDLORD.

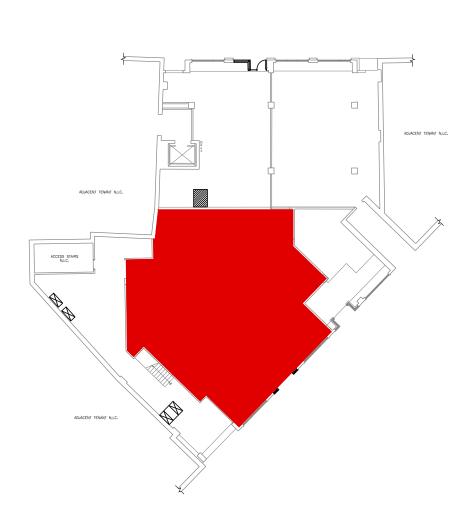
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DEMO KEY PLAN





ARCHITECT OF RECORD

JAMES T. LALLI, AIA, ARCHITECT LICENSE NO. 32254

THESE DRAWINGS ARE NOT COMPLETE WITHOUT THE SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL WHICH ARE PART OF THE CONTRACT DOCUMENTS.

ISSUE DATE DESCRIPTION - 2021.05.21 PERMIT SET 1 2021.10.05 PERMIT COMMENTS 2 | 2022.06.22 | REVISION 01

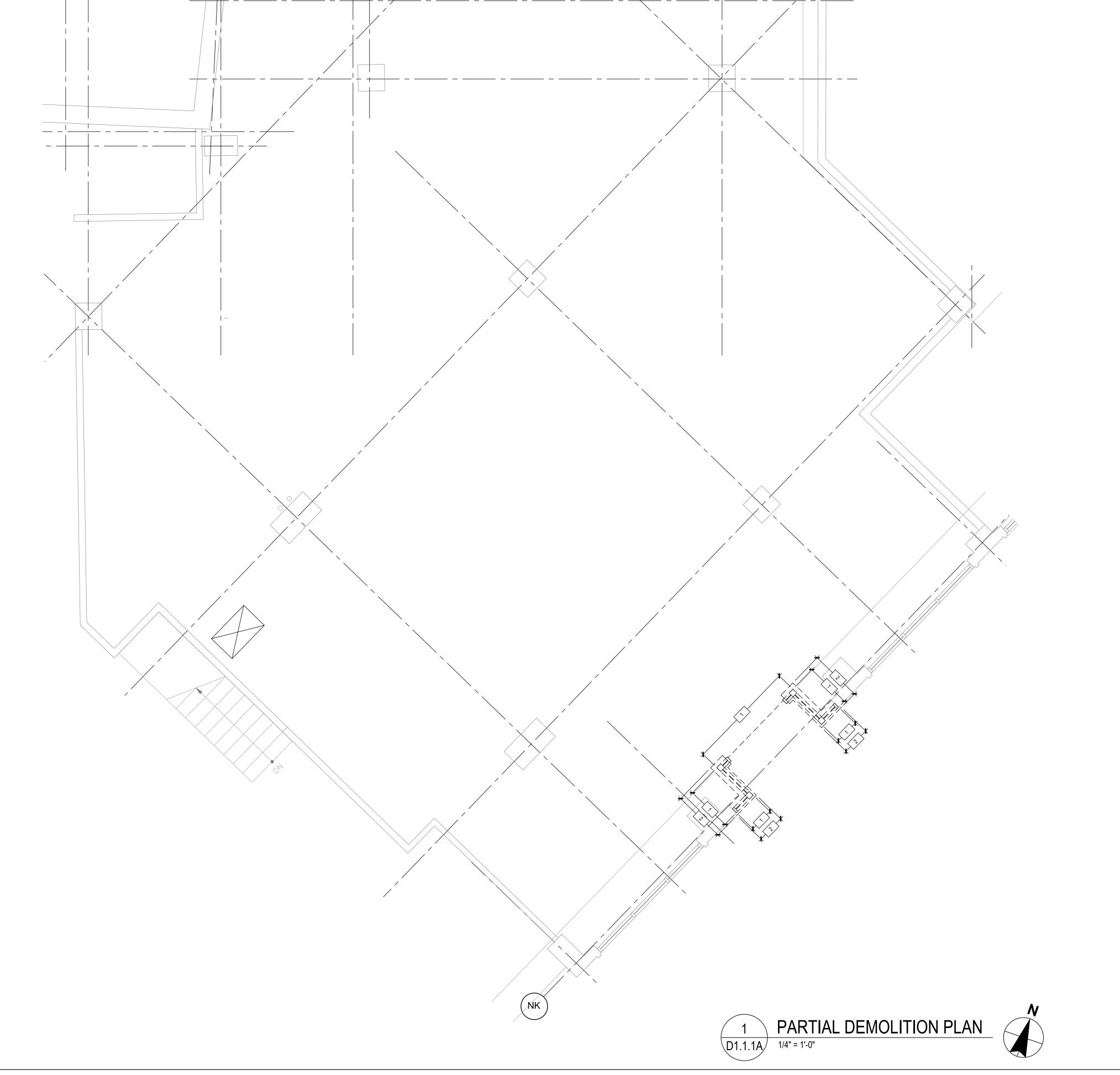
PROJECT INFORMATION PROJECT NO:

JPM.27118 2022.06.22 PROTOTYPE: K.KELLY DRAWN BY: CHECKED BY: M.SIDES VERSION: SSE_1.00 SHEET TITLE

DEMOLITION PLAN

SHEET NUMBER

D1.1.1A



DEMO LEGEND

EXISTING WALL CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

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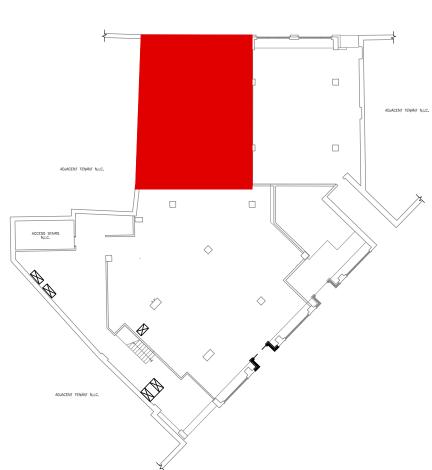
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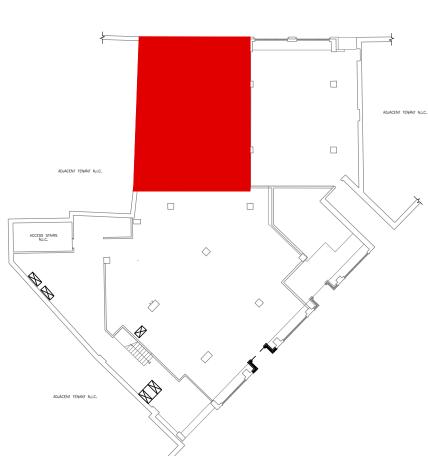
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JAMES T. LALLI, AIA, ARCHITECT

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PROJECT NO: JPM.27118 2022.06.22 PROTOTYPE: K.KELLY DRAWN BY: M.SIDES CHECKED BY: VERSION: SSE_1.00 SHEET TITLE

DEMOLITION PLAN

SHEET NUMBER

D1.1.1B

