

Project Summary:

4-story mixed-use building of approx. 29,000 GSF with 4300 sf ground floor retail space, 18 residential units, and 13 enclosed residential parking spaces



DRAWING LIST

Architectural Plans

- A000 Cover Sheet
- A001 Existing Plan
- A003 Side Yard Setback West
- A004 Side Yard Setback North
- A005 Open Space
- A011 Existing Conditions Photos
- A100 Basement Plan
- A101 Ground Floor Plan
- A102 Floor 2
- A103 Floor 3
- A104 Floor 4
- A105 Roof Plan
- A110 Parking and Access Plan
- A111 Bicycle Parking Plan
- A112 Elm St Lot Extension
- A201 Exterior Elevations 1
- A202 Exterior Elevations 2
- A203 Building Materials Palette
- A204 Section
- A205 Railings and Screening
- A301 Perspective Views
- A302 Perspective Views
- A303 Shadow Study
- A400 Rendering - Day
- A401 Rendering - Evening

Civil Plans

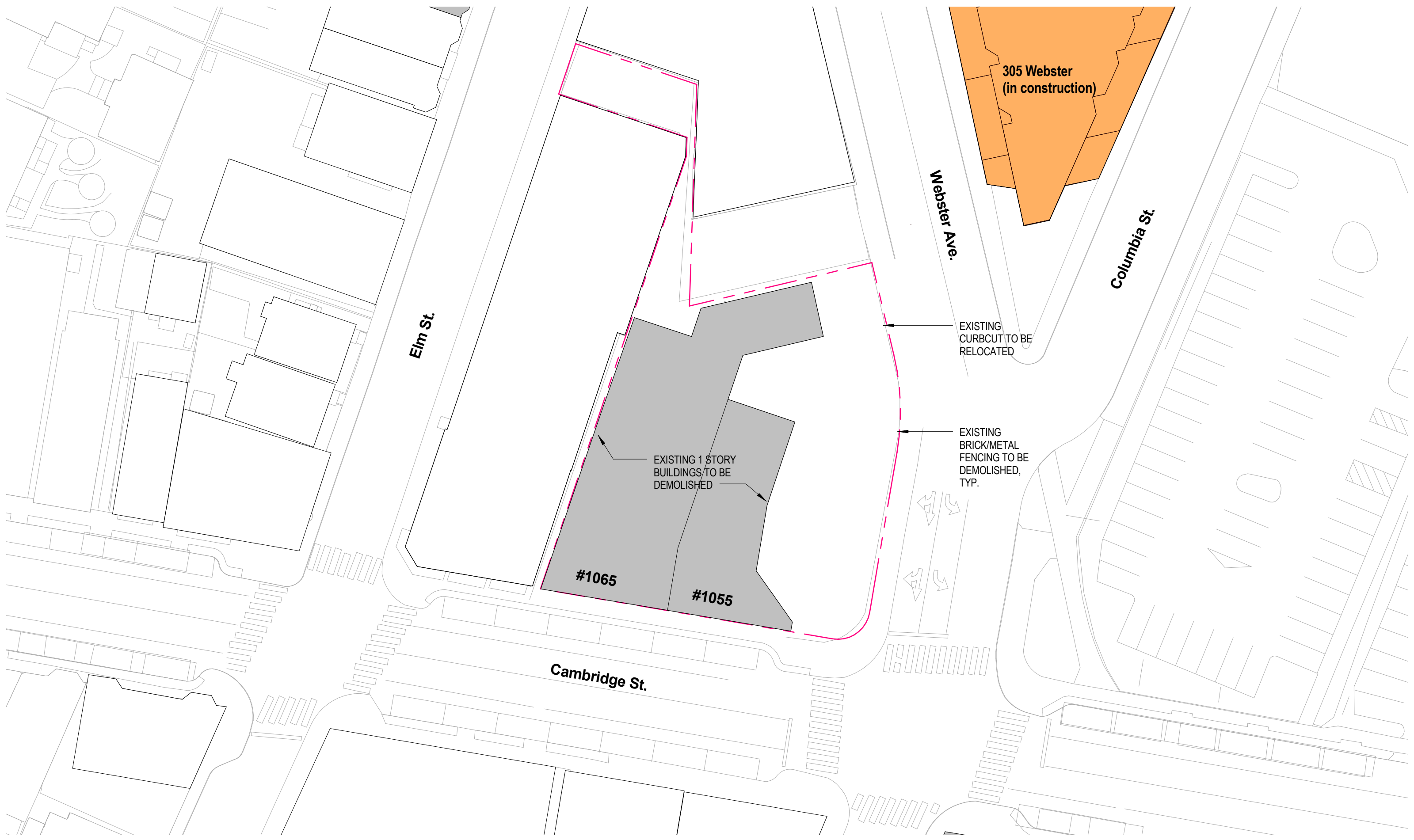
- C1.00 Soil Erosion Control and Utility Preparation Plan
- C2.00 Site Utilities Plan
- C3.00 Site Grading Plan
- C4.01 Civil Details
- C4.02 Civil Details

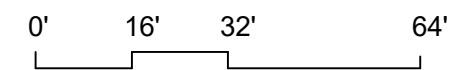
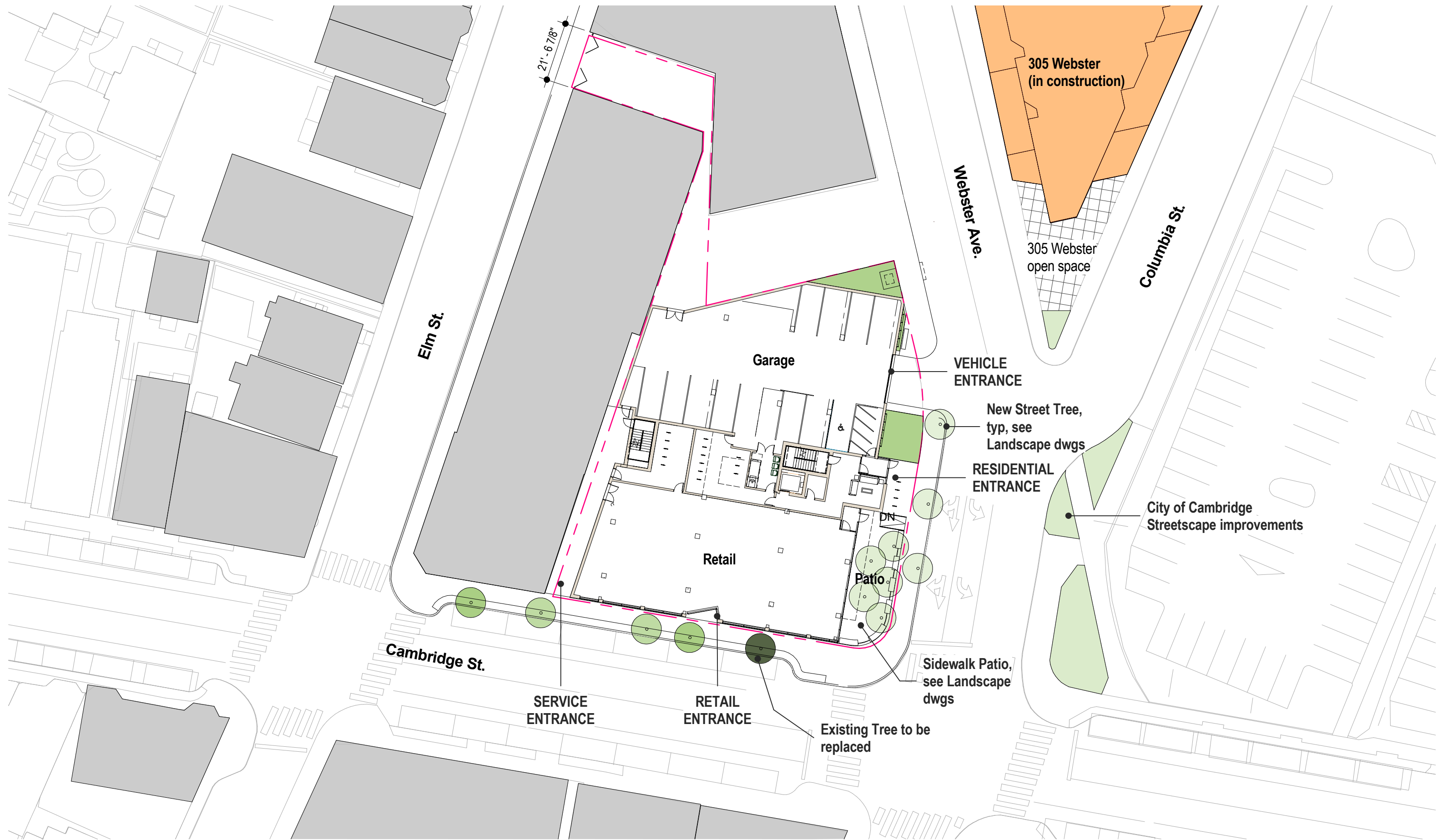
Landscape Plans

- Street Level
- Common Space
- Roof Terrace
- Planting and Materials Plan
- Planting and Materials Plan 2
- Planting and Materials Plan 3

SPECIAL PERMIT APPLICATION
Volume II: Plans and Drawings
Revised: July 3rd 2018







Key

- S Setback
- FA Facing Area (LxH)
- L Length
- H Height

5.24.4 Multiple vertical planes calculation

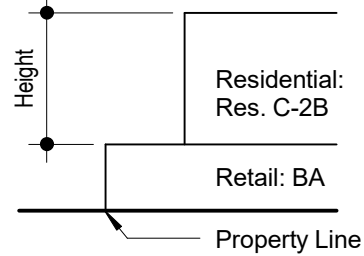
$$(S1 \times FA1) + (S2 \times FA2) \geq ((\text{Single plane } S) \times (\text{Single plane FA}))$$

$$(10.65 \times (59.85 \times 30.65)) + (44.49 \times (45.20 \times 30.65)) \geq (28.46 \times (111.65 \times 30.65))$$

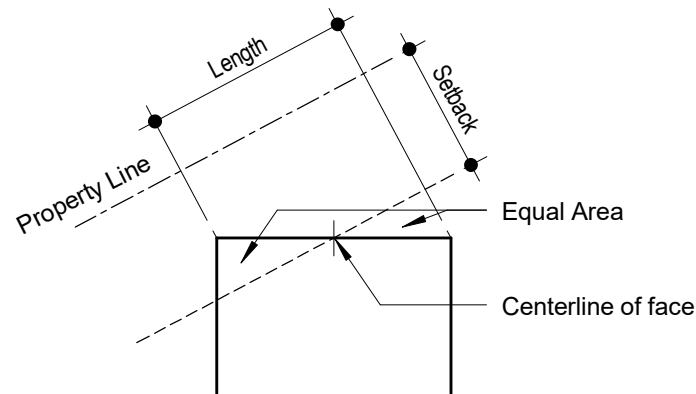
81,171.95 \geq 97,392.18

Note:

Setback formula in accordance with 5.24.4
 Height + facing area (FA) are calculated from the top of floor 1 to roof
 (see diagram below)



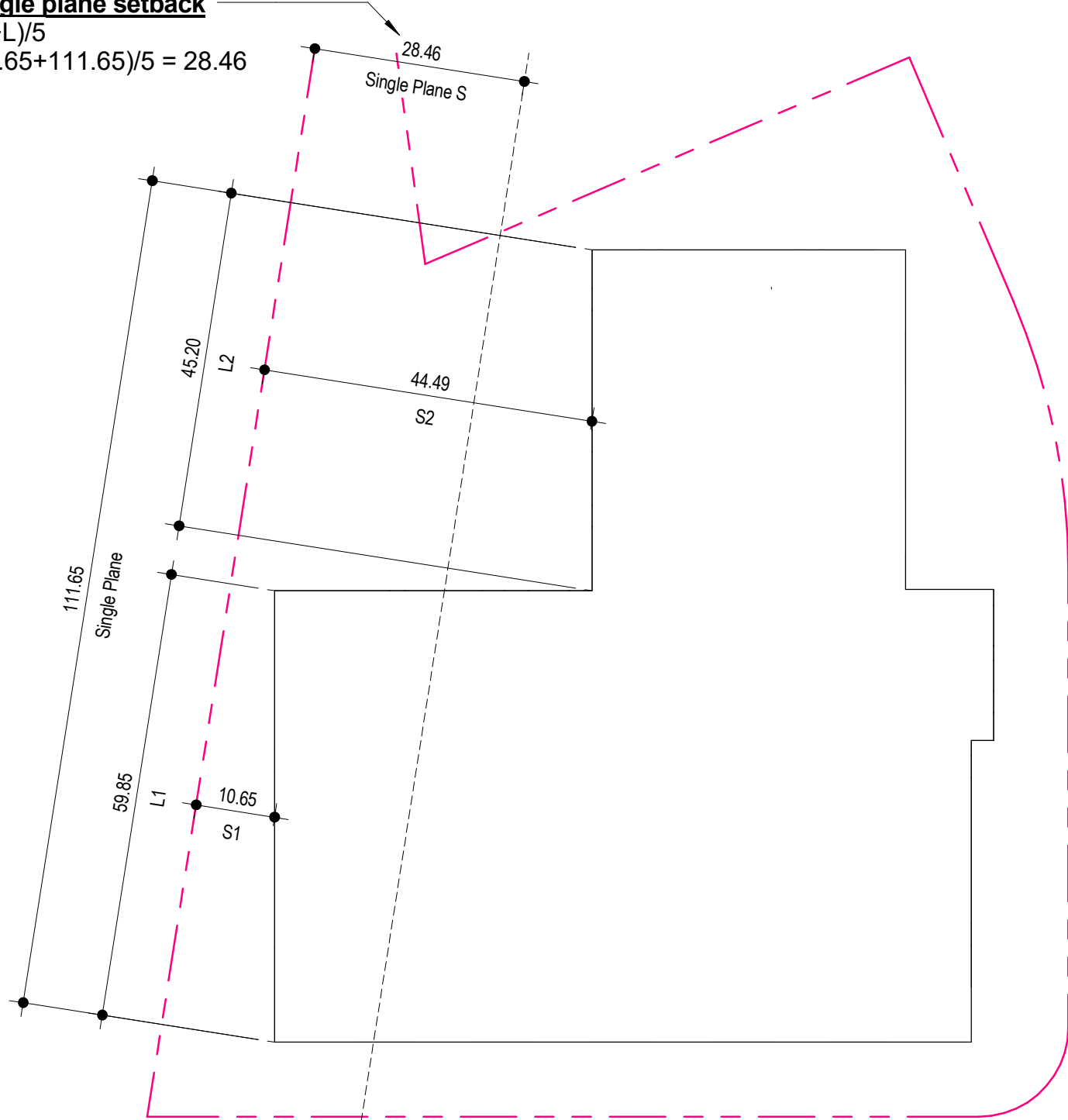
Due to the irregular shape of the site and non-parallel nature of the building faces to the property line:
 Setback distances are measured to the centerline of facade faces in order to assure equal area is in front/behind the desired setback distance. (see diagram below)



Single plane setback

$$(H+L)/5$$

$$(30.65+111.65)/5 = 28.46$$



Sideyard Setbacks West

1" = 20'-0"

Key

S Setback
 FA Facing Area (LxH)
 L Length
 H Height

5.24.4 Multiple vertical planes calculation

$$(S1 \times FA1) + (S2 \times FA2) + (S3 \times FA3) \geq ((\text{Single plane } S) \times (\text{Single plane } FA))$$

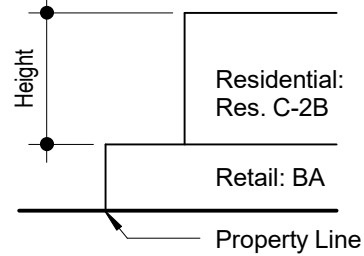
$$(15.17 \times (38.70 \times 30.65)) + (28.01 \times (17.95 \times 30.65)) + (40.77 \times (39.18 \times 30.65)) \geq (25.30 \times (95.83 \times 30.65))$$

$$82,363.51 \geq 74,310.89$$

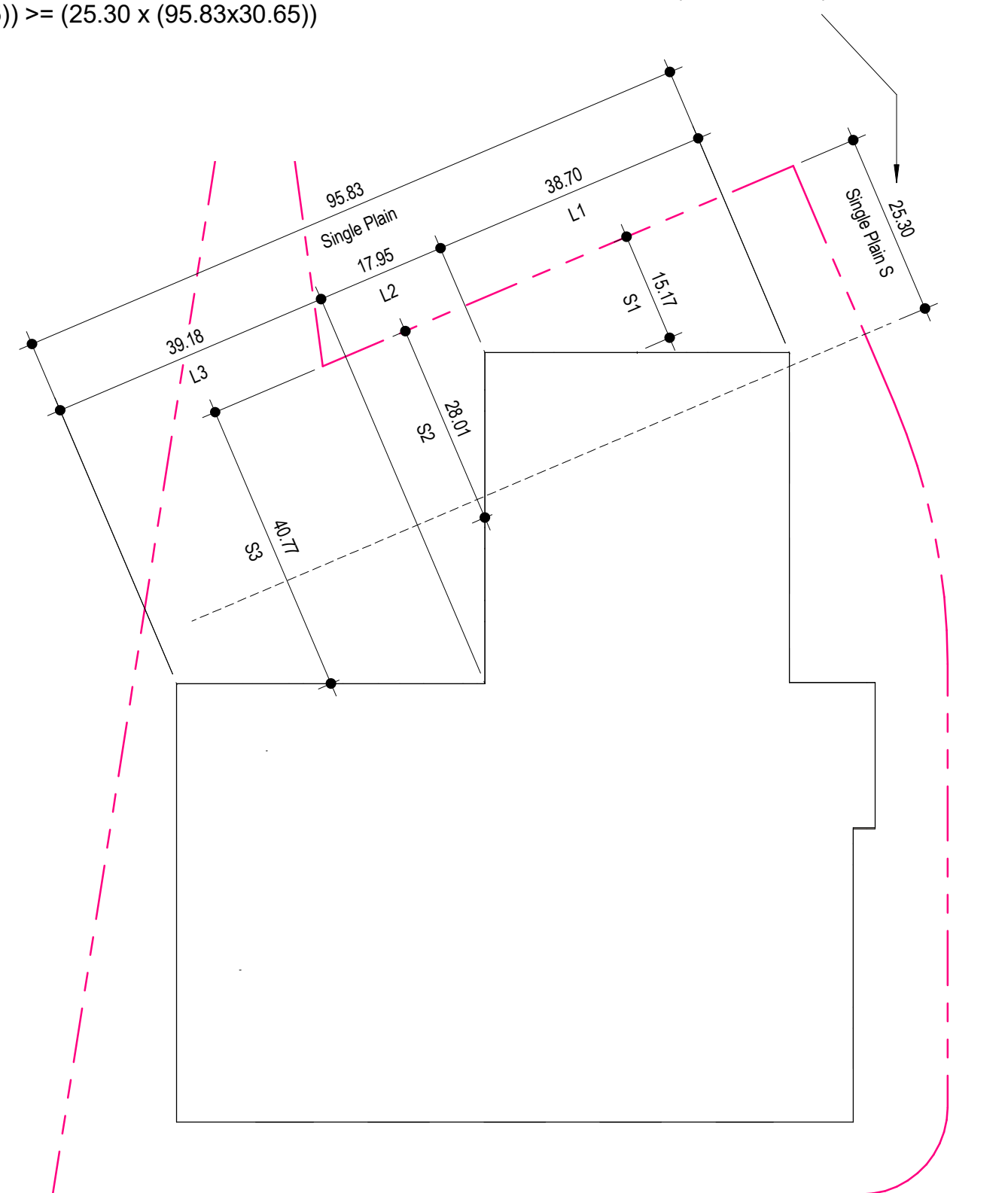
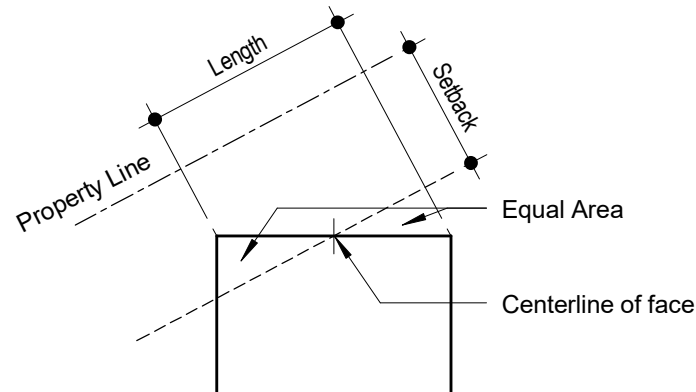
Single plane setback
 $(H+L)/5$
 $(30.65+95.83)/5 = 25.30$

Note:

Setback formula in accordance with 5.24.4
 Height + facing area (FA) are calculated from the top of floor 1 to roof
 (see diagram below)

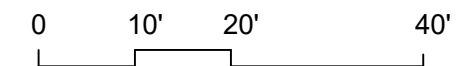


Due to the irregular shape of the site and non-parallel nature of the building faces to the property line:
 Setback distances are measured to the centerline of facade faces in order to assure equal area is in front/behind the desired setback distance. (see diagram below)



Sideyard Setbacks North

1" = 20'-0"



Open Space Requirements:

Section 5.22.1

- Open Spaces must measure 15' x 15' minimum, except for balconies
- At least 1/2 of total area must be at ground level or w/in 10' of lowest residential level

Section 5.22.2

- In mixed use buildings, open space for residential buildings shall be calculated in relation to the portion of the lot which the residential floor area is to the total area of the building

Section 5.31

- Residential District C-2B - 15% min of Lot Area to be Private Open space

Total Building Area - 29,256 sf

Total Residential Building Area - 24,892 sf

Residential area as a percentage of total building area - $24,892/29,256 = 85.08\%$

Total Site Area - 15,686 sf

Site Area required for residential open space calculation - $15,686 \times 85\% = 13,333$ sf

Total required private open space - $12,313 \times 15\% = 2,000$ sf

PROPOSED RESIDENTIAL OPEN SPACES

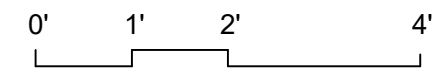
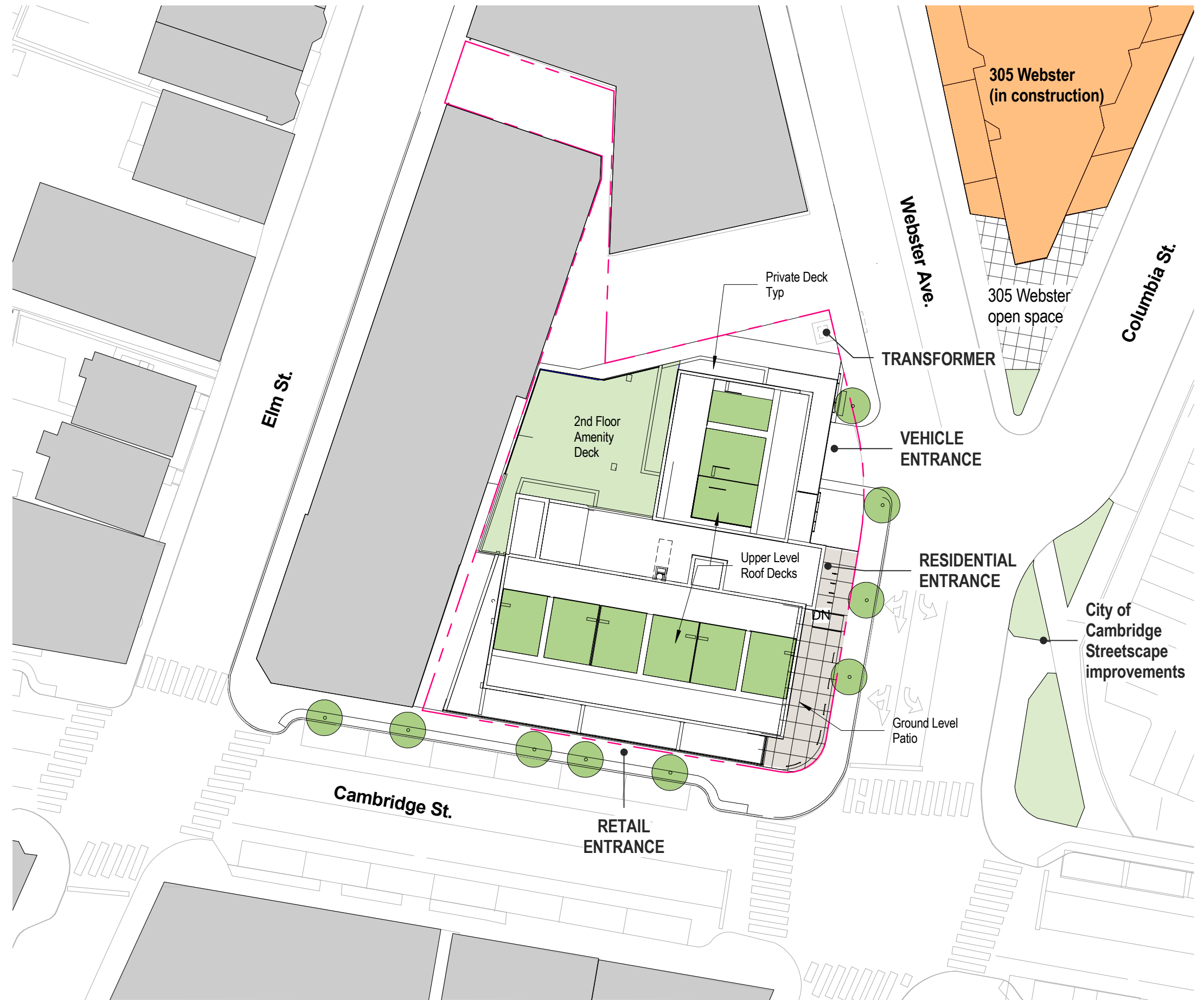
2nd Level Amenity Deck (Accessible to All Tenants) - 1,971 sf

Balconies (Private) - 1,278 sf

Upper Level Roof Decks (Private) - 1,296 sf

Total Area - **4,545 sf**

Total Percentage - $4,545/13,333 = 34\%$





View from Webster Street



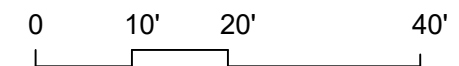
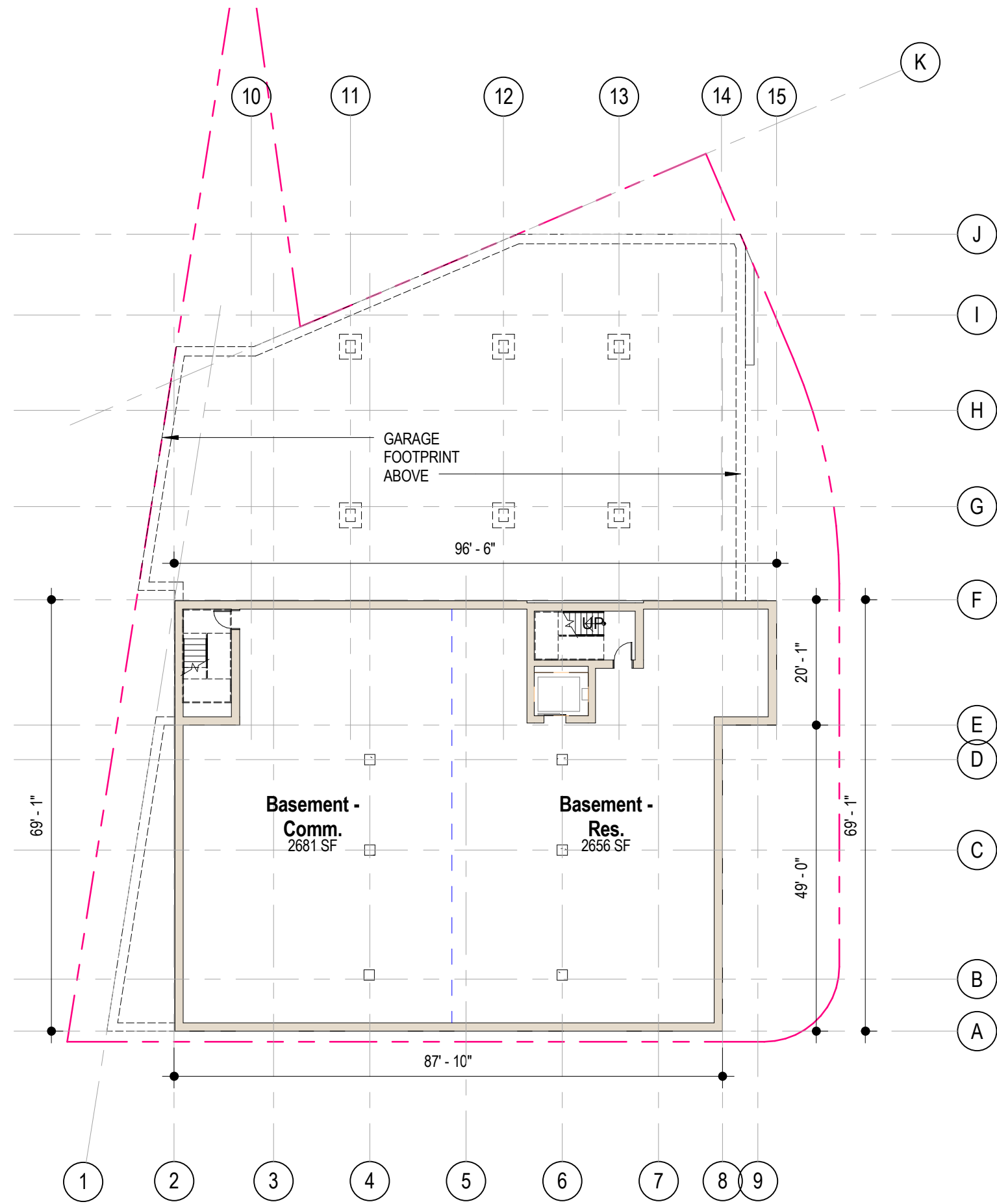
View from Columbia Street

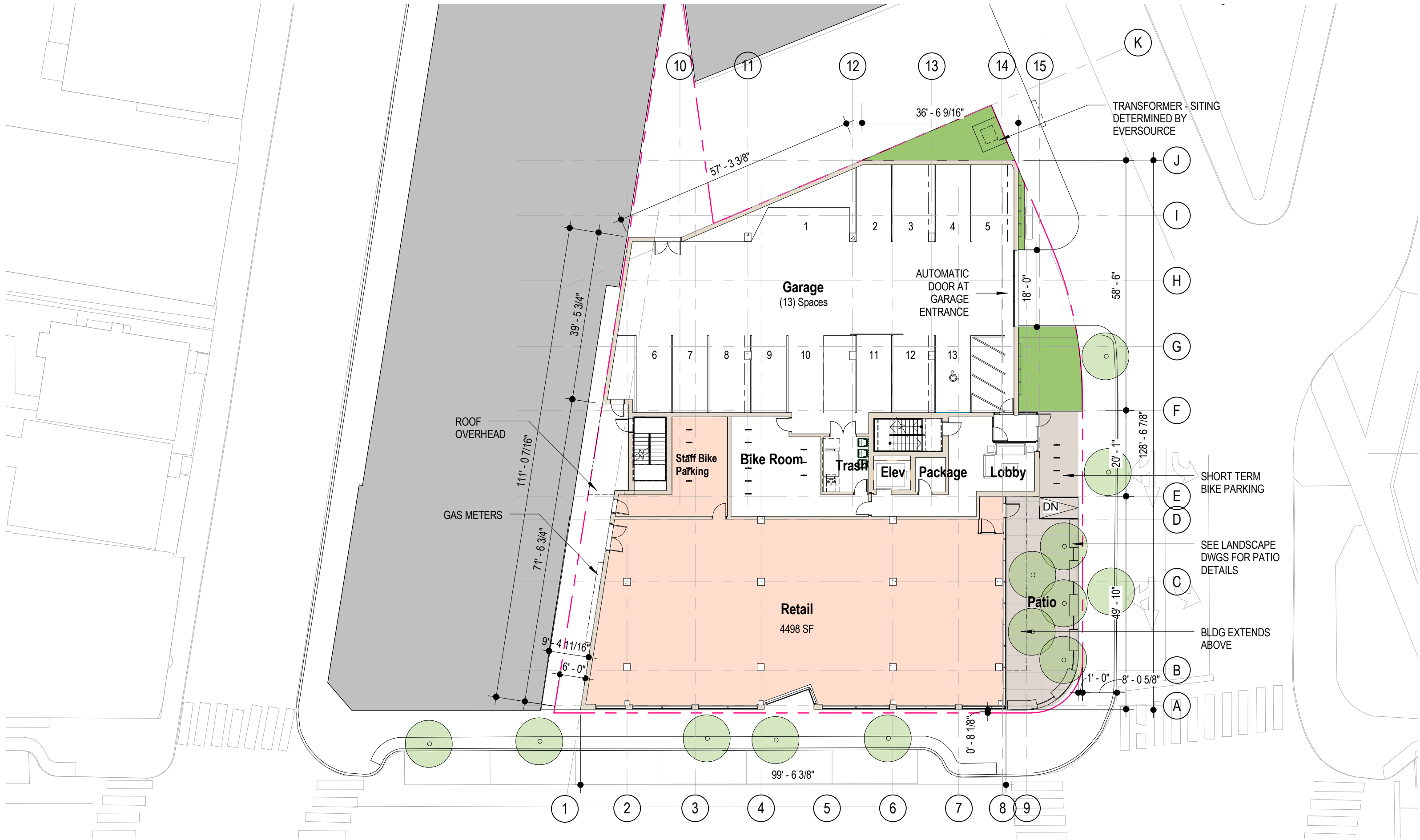


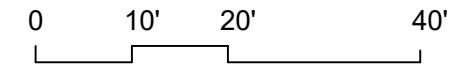
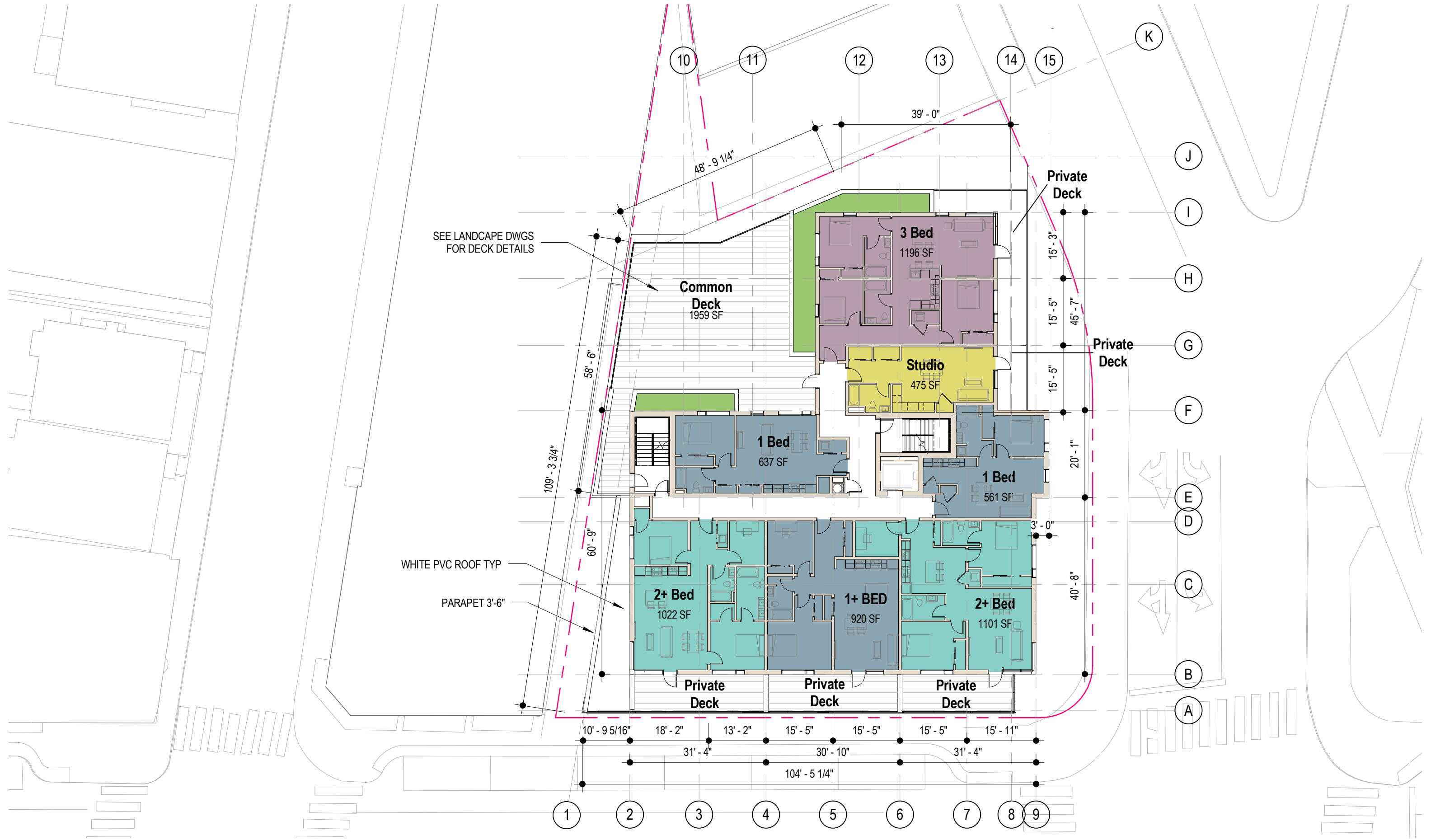
View from Cambridge Street

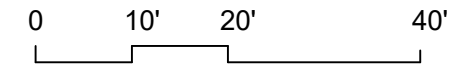
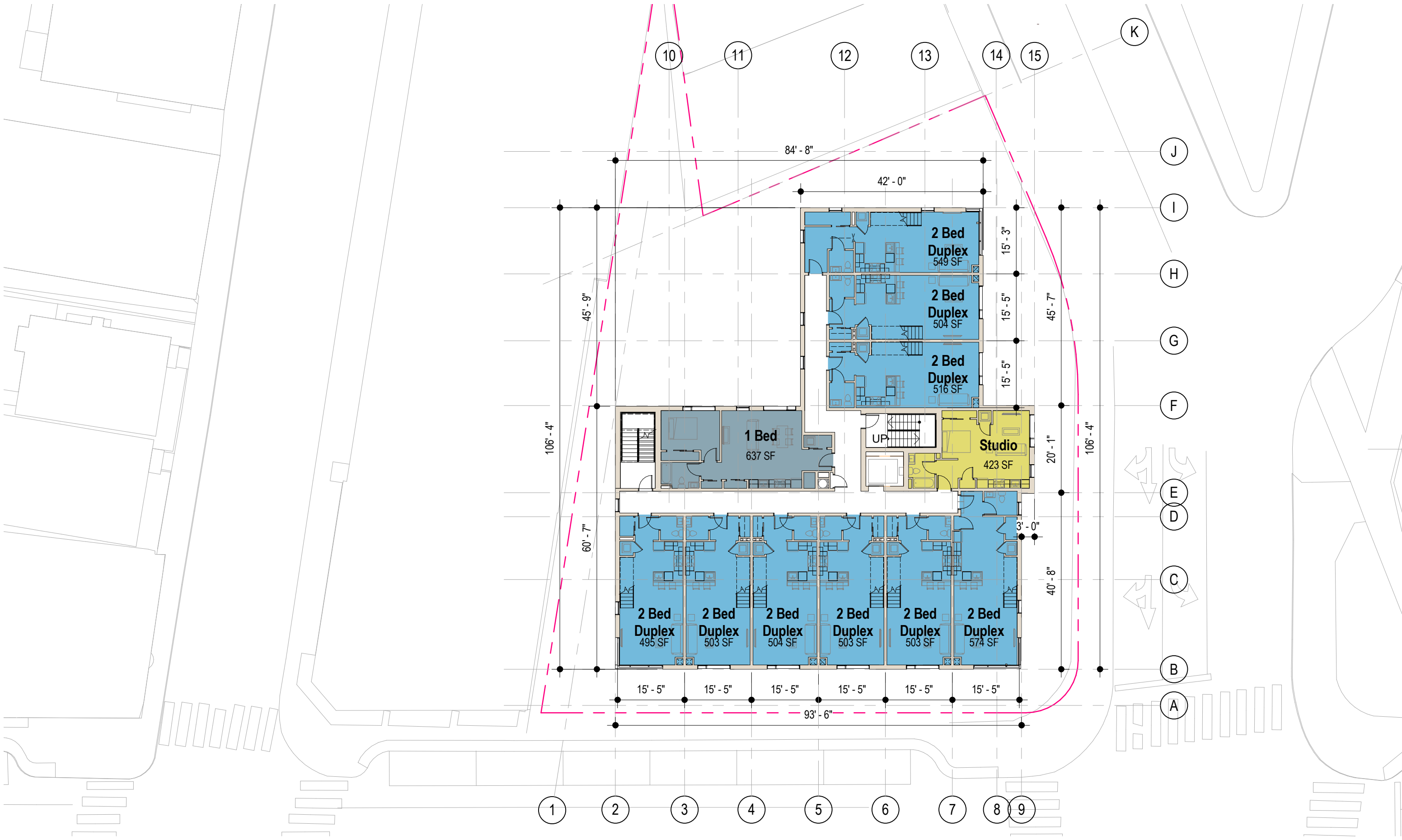


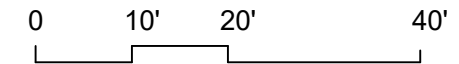
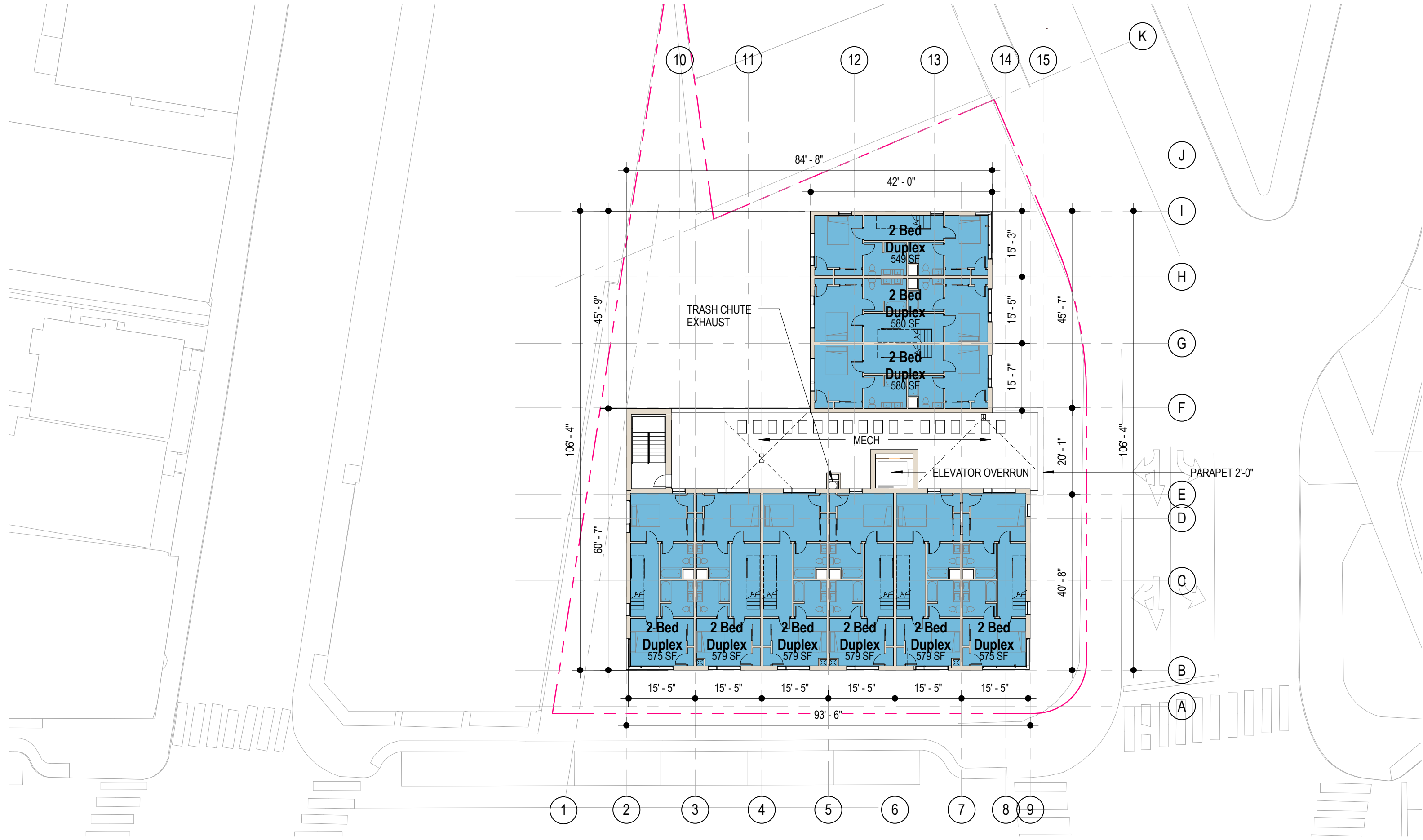
View from Cambridge Street

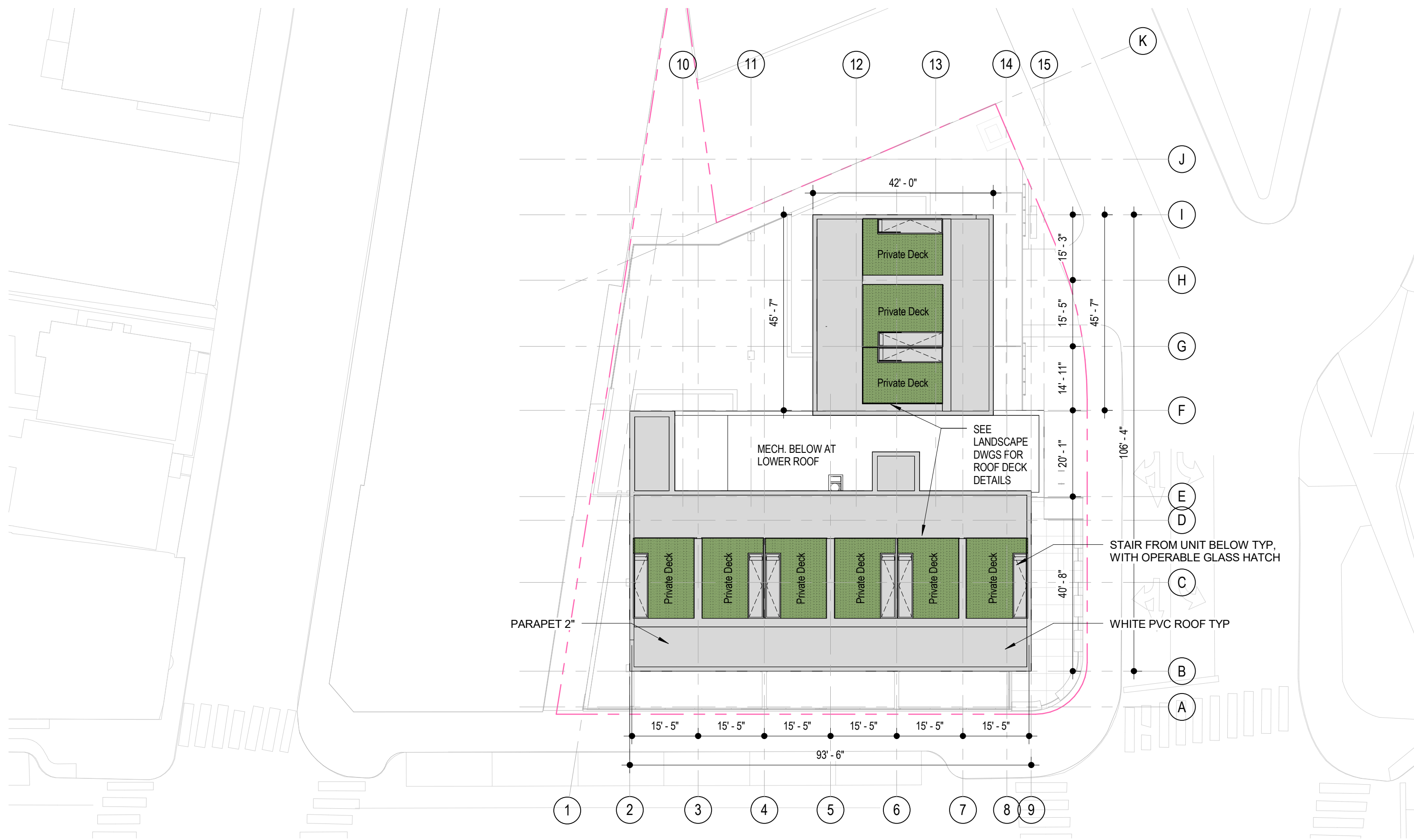


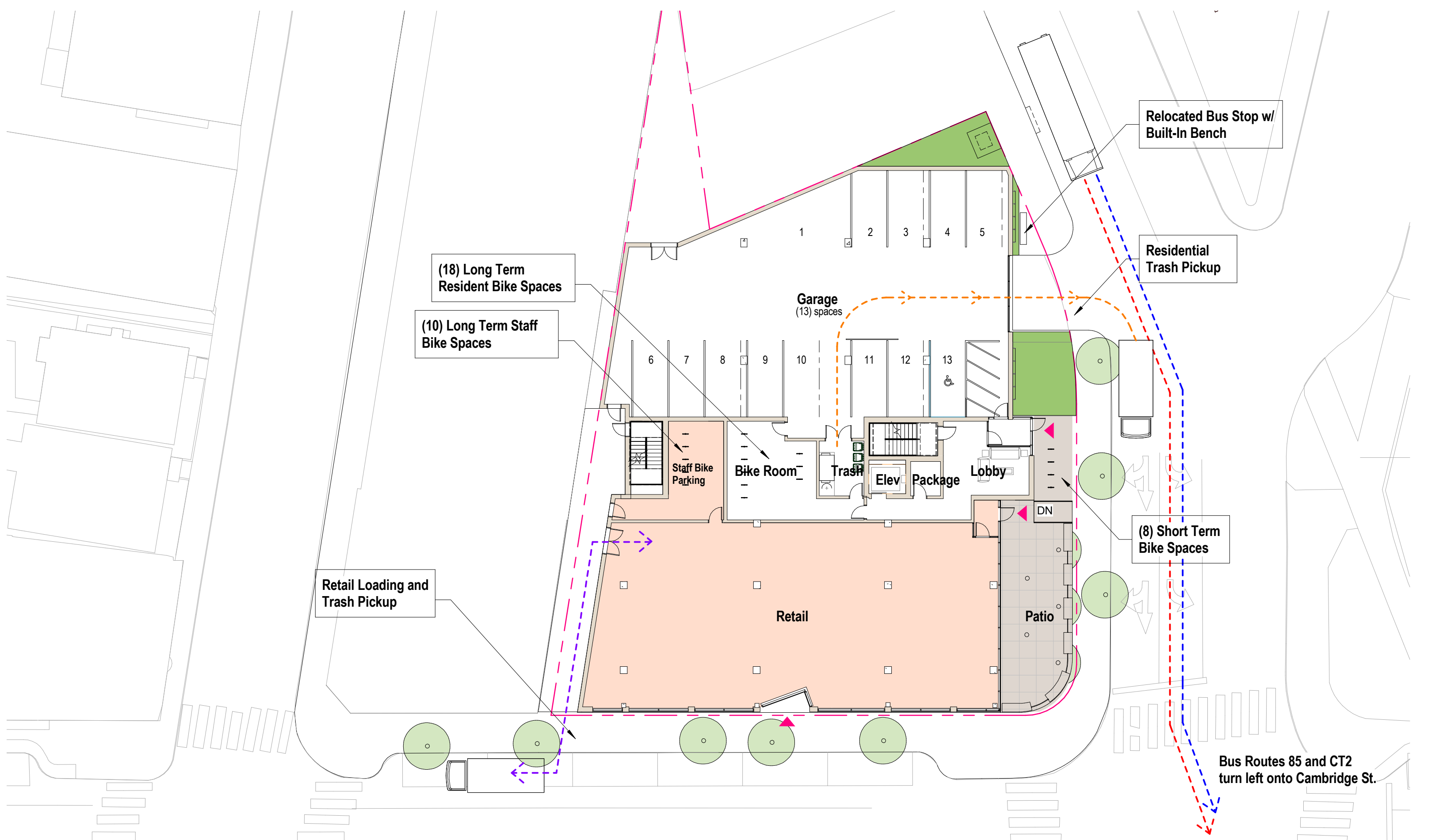












(18) Long Term Resident Bike Spaces

(10) Long Term Staff Bike Spaces

Relocated Bus Stop w/ Built-In Bench

Residential Trash Pickup

Garage (13) spaces

Staff Bike Parking

Bike Room

Trash

Elev

Package

Lobby

DN

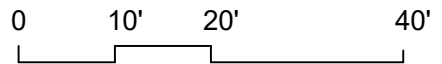
(8) Short Term Bike Spaces

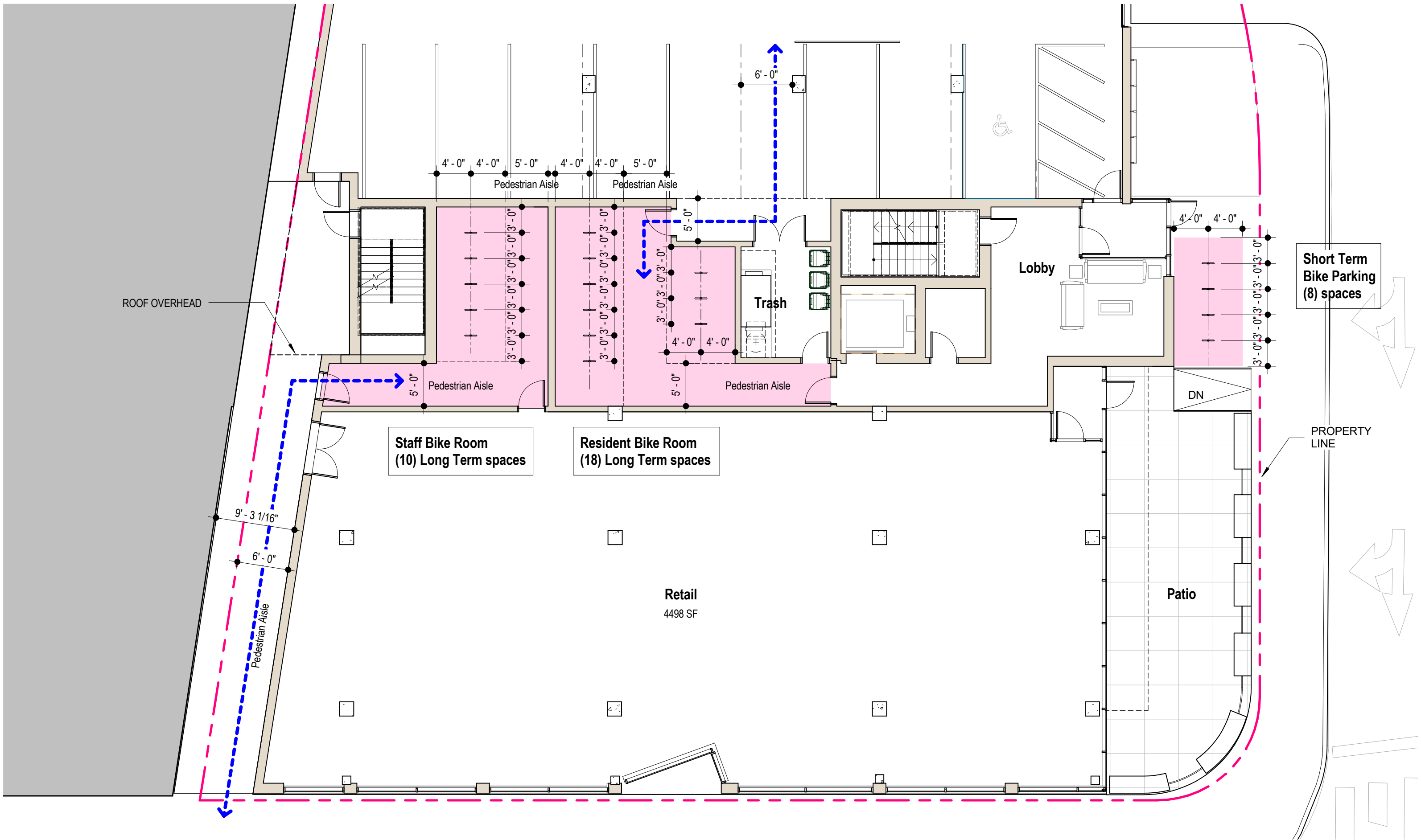
Retail Loading and Trash Pickup

Retail

Patio

Bus Routes 85 and CT2 turn left onto Cambridge St.



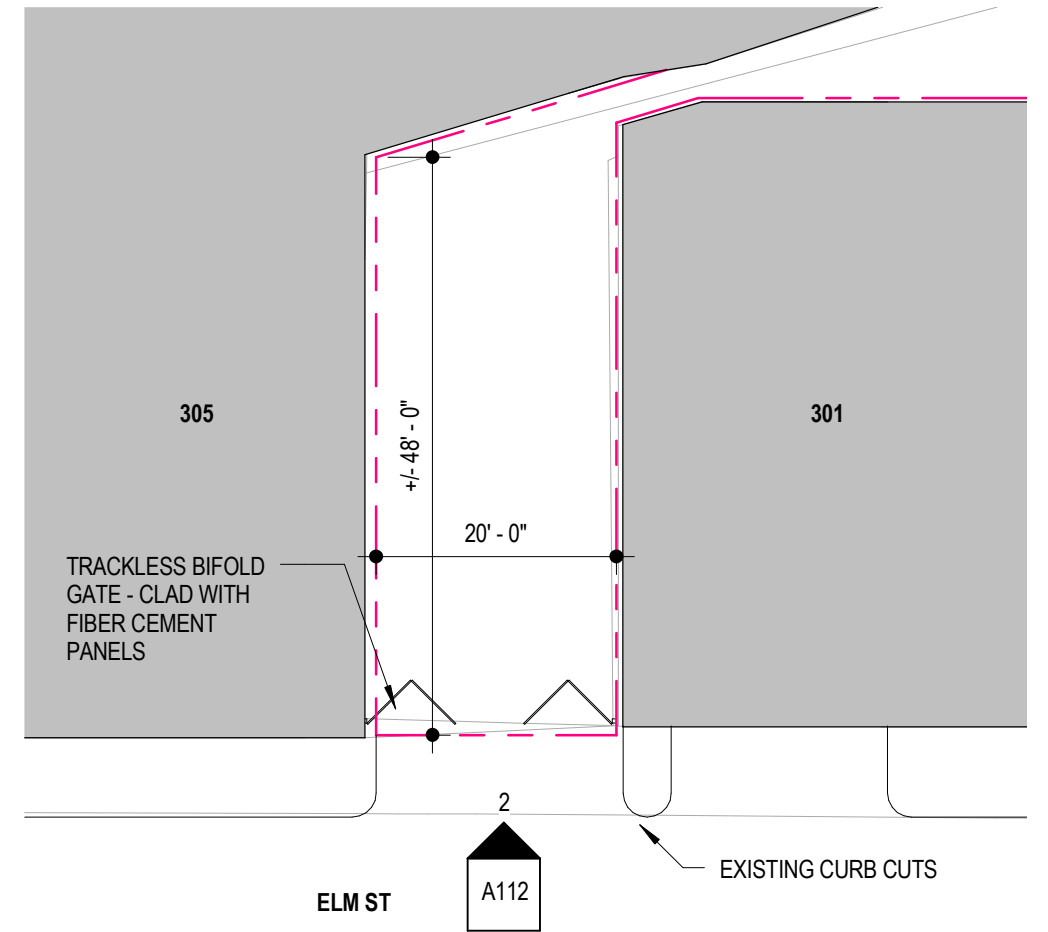




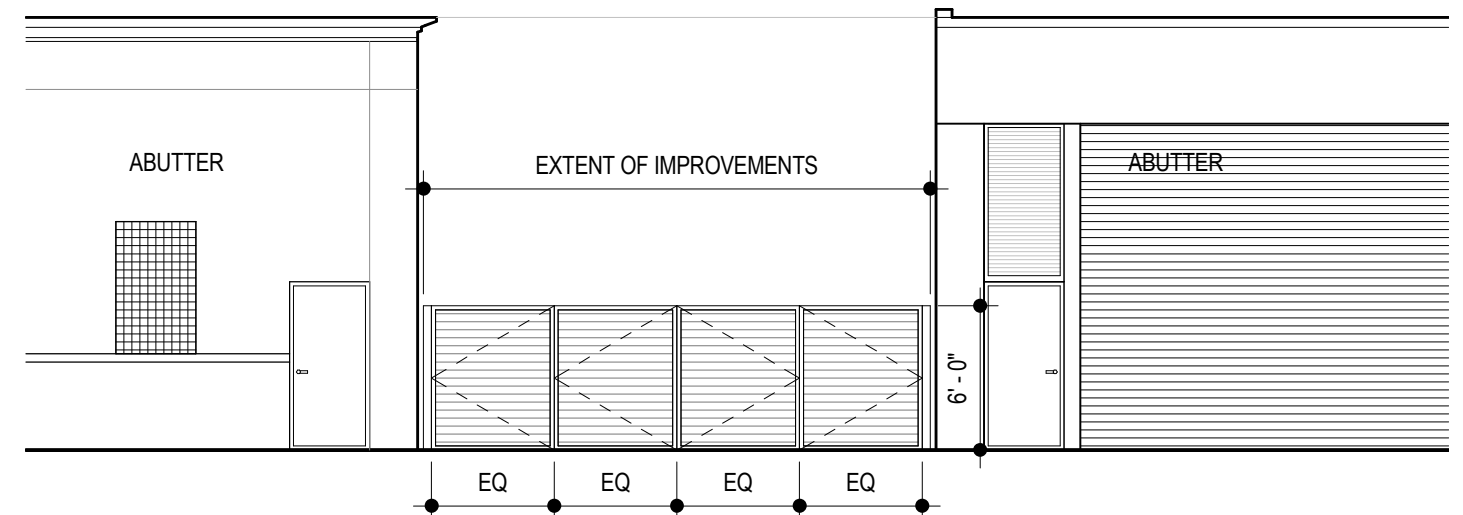
Perspective - Exist. Conditions at Elm St Lot



Perspective - Proposed Gate at Elm St lot



1 Enlarged Plan at Elm St Parking Zone
1/16" = 1'-0"



2 Elevation at Elm St Gate
1/8" = 1'-0"



SOUTH ELEVATION - Presentation

1/16" = 1'-0"



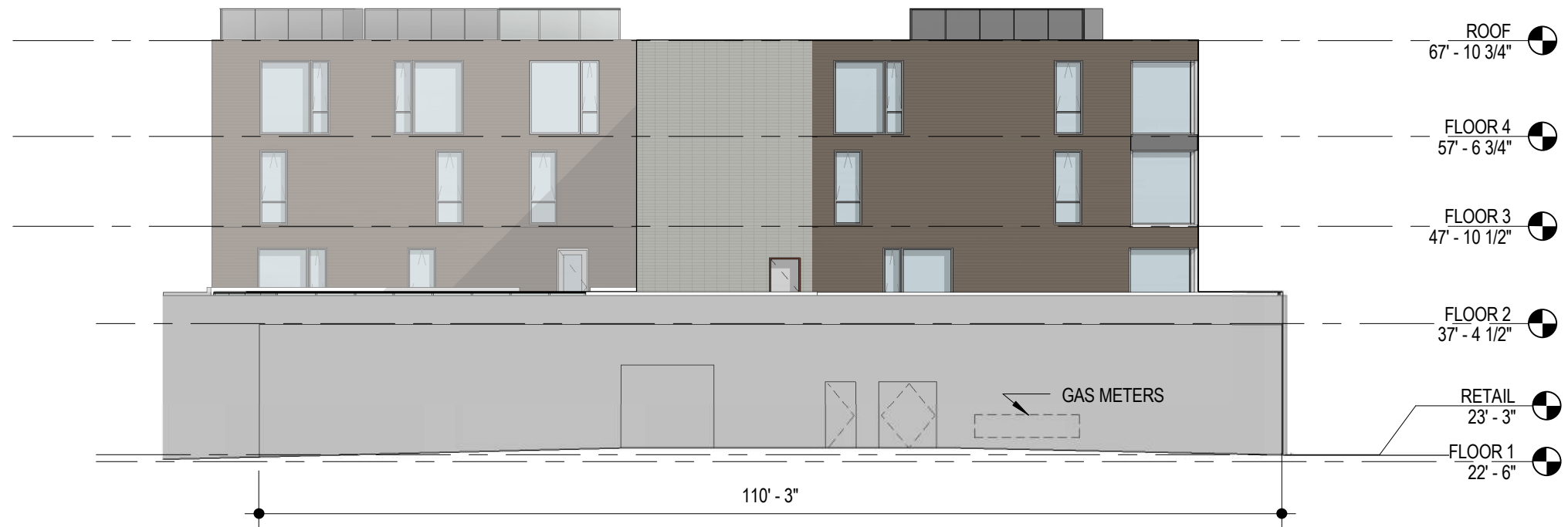
EAST ELEVATION - Presentation

1/16" = 1'-0"



NORTH ELEVATION - Presentation

1/16" = 1'-0"

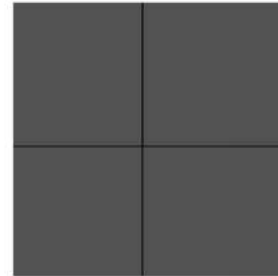


WEST ELEVATION - Presentation

1/16" = 1'-0"



1. Fiber-Reinforced Concrete Panel



2. Dark Metal Panel System



3. Painted Aluminum Window System



4. Cast-In-Place Concrete



5. Ground Face CMU



6. Frosted Glass Garage Door System



7. Fiber Cement Clad Planters



8. Perforated/ Opaque Metal Railing



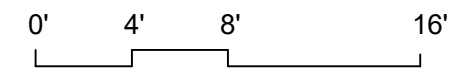
9. Aluminum Storefront System

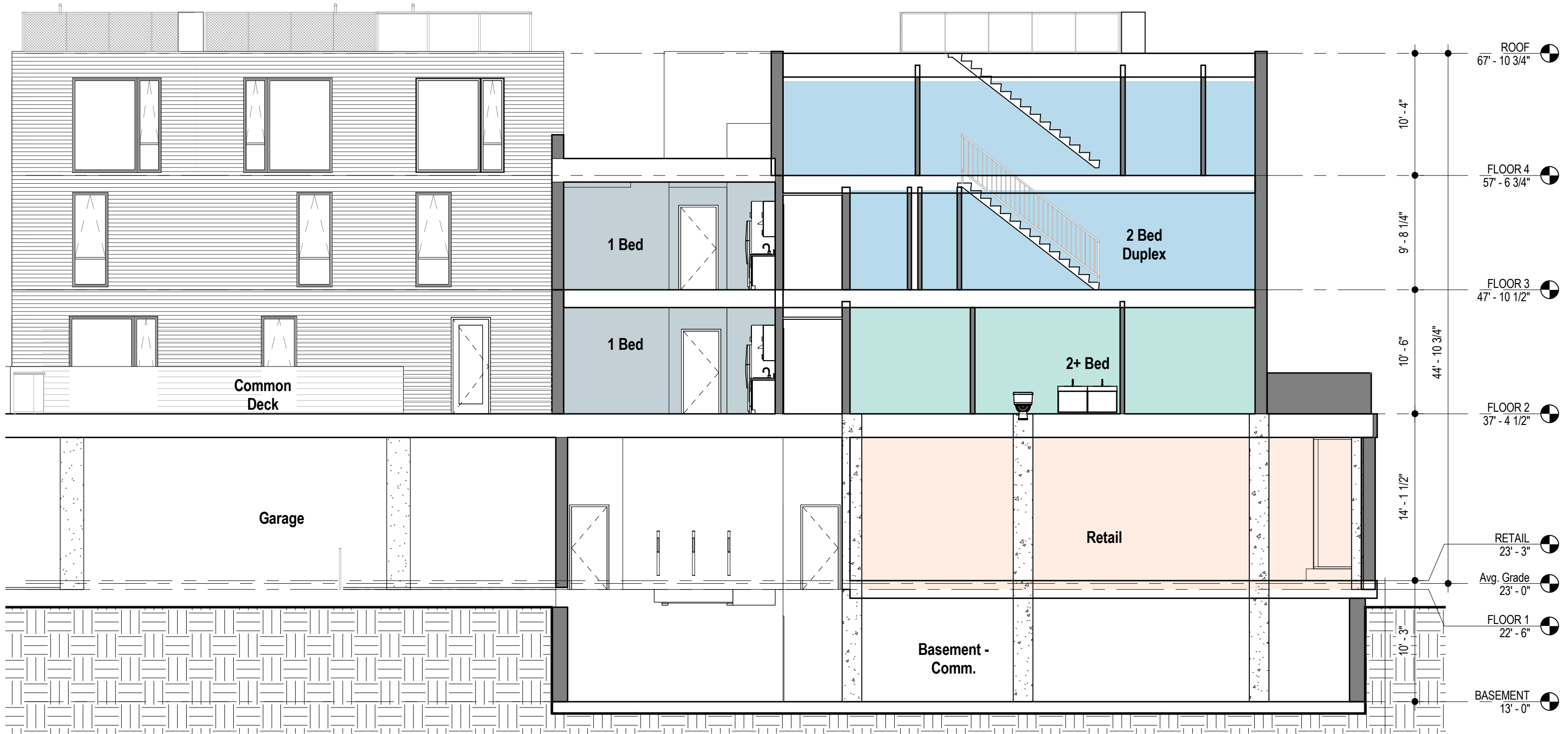


EAST ELEVATION - Materials Palette

1/8" = 1'-0"

VERTICAL WIRE TRELLIS







FIBER CEMENT CLAD PLANTERS



OPAQUE METAL RAILING



PERFORATED METAL RAILING



Looking East on Cambridge St



Building Entrance and Patio



Looking Southwest on Webster



Looking North Across Cambridge St



Looking North from Columbia Street



Looking West from Cambridge Street



Aerial View



Summer Solstice - 9am



Summer Solstice - 12pm



Summer Solstice - 3pm



Summer Solstice - 6pm



Fall/Spring Equinox - 9am



Fall/Spring Equinox - 12pm



Fall/Spring Equinox - 3pm



Fall/Spring Equinox - 6pm



Winter Solstice - 9am



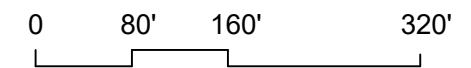
Winter Solstice - 12pm



Winter Solstice - 3pm



Winter Solstice - 6pm





Cambridge St Mixed-Use
1043-1059 Cambridge St.
Cambridge, MA, 02139

418 Media Real Estate LLC

A400 - Rendering - Day
Special Permit Application - Revised
07/03/18

DISCLAIMER: These plans are conceptual only. They have not been subject to a comprehensive code and regulatory review, nor have they been tested against any as-built surveys. Discoveries in such an analysis may result in fundamental changes to the original concept. This scheme assumes zoning relief will be required, as will all zoning relief, the architect cannot guarantee zoning relief will be achieved.

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Cambridge St Mixed-Use
1043-1059 Cambridge St.
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A401 - Rendering - Evening
Special Permit Application - Revised
07/03/18

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Architecture & Planning

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1055 CAMBRIDGE ST
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ARCHITECT

STRUCTURAL

MEP/FP

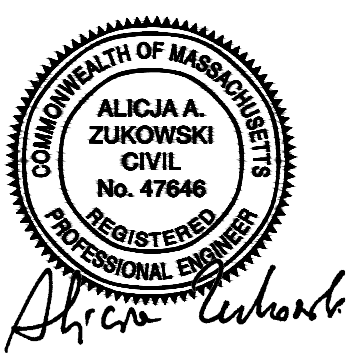
Samiotes Consultants, Inc.

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8/14/2016 SCHEMATIC DESIGN / PRICING

07/03/2018 PLANNING BOARD SUBMISSION

SETNAME DATE

TITLE

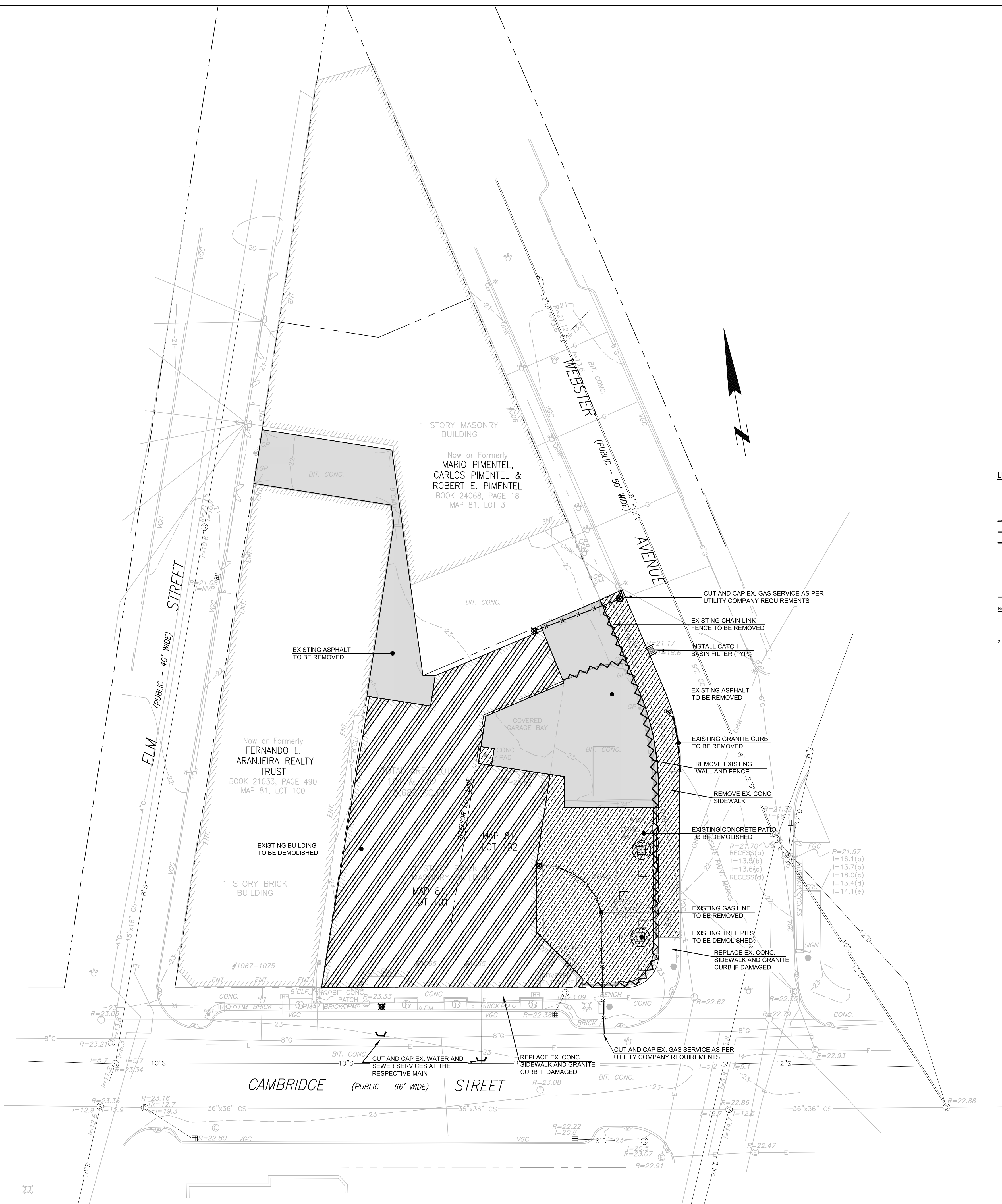
SOIL EROSION CONTROL
AND UTILITY
PREPARATION PLAN

SCALE UTILITY PROJECT NUMBER

1" = 20' 1447

DRAWING NUMBER

C 1.00

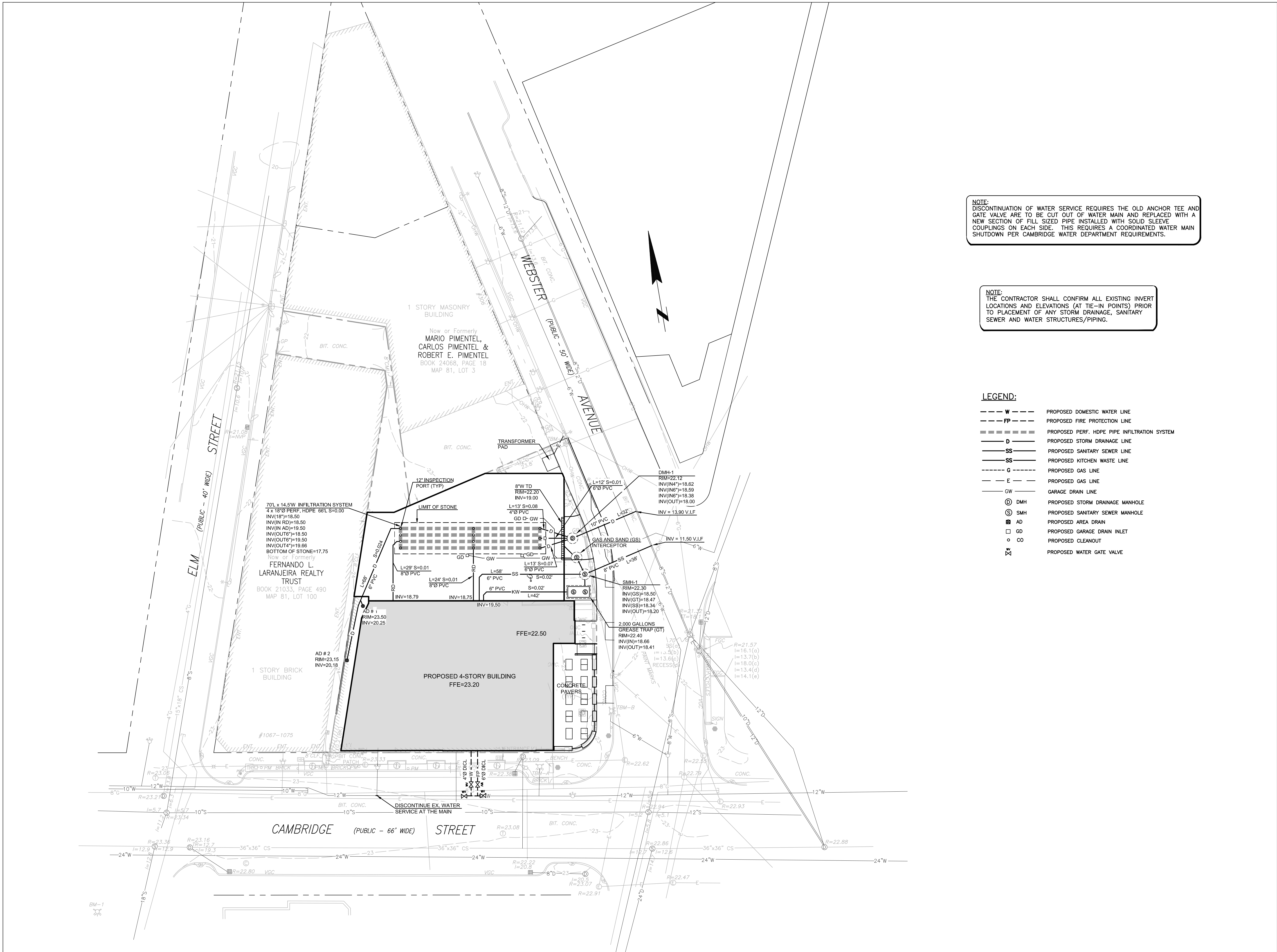


LEGEND:

- BUILDING TO BE REMOVED (INCL. CUT & CAP UTILITIES)
- BITUMINOUS CONCRETE TO BE REMOVED/PULVERIZED
- CEMENT CONCRETE TO BE REMOVED
- CURB REMOVAL
- UTILITIES LINE TO BE REMOVED/ABANDONED (COORDINATE WITH MEP)
- FENCE REMOVAL
- UTILITIES STRUCTURE TO BE REMOVED
- TREE TO BE REMOVED AND COMPOSTED
- PROPOSED CATCH-BASIN FILTER
- PROPERTY LINE / LIMIT OF WORK

NOTES:

- THE CONTRACTOR SHALL PHASE ALL DEMOLITION AND REMOVAL WORK TO ALLOW FOR THE CONTINUING OPERATION OF ALL STRUCTURES.
- DRAWING DOES NOT SHOW ENTIRE SCOPE OF DEMO. IT IS INTENDED TO ASK CONTRACTOR WITH IDENTIFYING WORK AND IS NOT ALL INCLUSIVE. CONTRACTOR SHOULD REFER TO OTHER DRAWINGS FOR COORDINATION.



NOTE:
DISCONTINUATION OF WATER SERVICE REQUIRES THE OLD ANCHOR TEE AND GATE VALVE ARE TO BE CUT OUT OF WATER MAIN AND REPLACED WITH A NEW SECTION OF FILL SIZED PIPE INSTALLED WITH SOLID SLEEVE COUPLINGS ON EACH SIDE. THIS REQUIRES A COORDINATED WATER MAIN SHUTDOWN PER CAMBRIDGE WATER DEPARTMENT REQUIREMENTS.

NOTE:
THE CONTRACTOR SHALL CONFIRM ALL EXISTING INVERT LOCATIONS AND ELEVATIONS (AT TIE-IN POINTS) PRIOR TO PLACEMENT OF ANY STORM DRAINAGE, SANITARY SEWER AND WATER STRUCTURES/PIPING.

- LEGEND:**
- W --- PROPOSED DOMESTIC WATER LINE
 - FP --- PROPOSED FIRE PROTECTION LINE
 - HDPE --- PROPOSED PERF. HDPE PIPE INFILTRATION SYSTEM
 - D --- PROPOSED STORM DRAINAGE LINE
 - SS --- PROPOSED SANITARY SEWER LINE
 - KW --- PROPOSED KITCHEN WASTE LINE
 - G --- PROPOSED GAS LINE
 - E --- PROPOSED GAS LINE
 - GW --- GARAGE DRAIN LINE
 - ⊙ DMH PROPOSED STORM DRAINAGE MANHOLE
 - ⊙ SMH PROPOSED SANITARY SEWER MANHOLE
 - AD PROPOSED AREA DRAIN
 - GD PROPOSED GARAGE DRAIN INLET
 - CO PROPOSED CLEANOUT
 - ⊗ WGV PROPOSED WATER GATE VALVE

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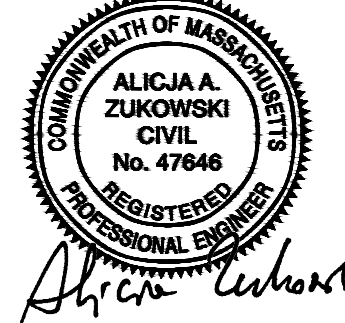
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Alicja Zukowski

REVISIONS	DATE	DESCRIPTION
8/14/2016	SCHEMATIC DESIGN / PRICING	
07/03/2018	PLANNING BOARD SUBMISSION	

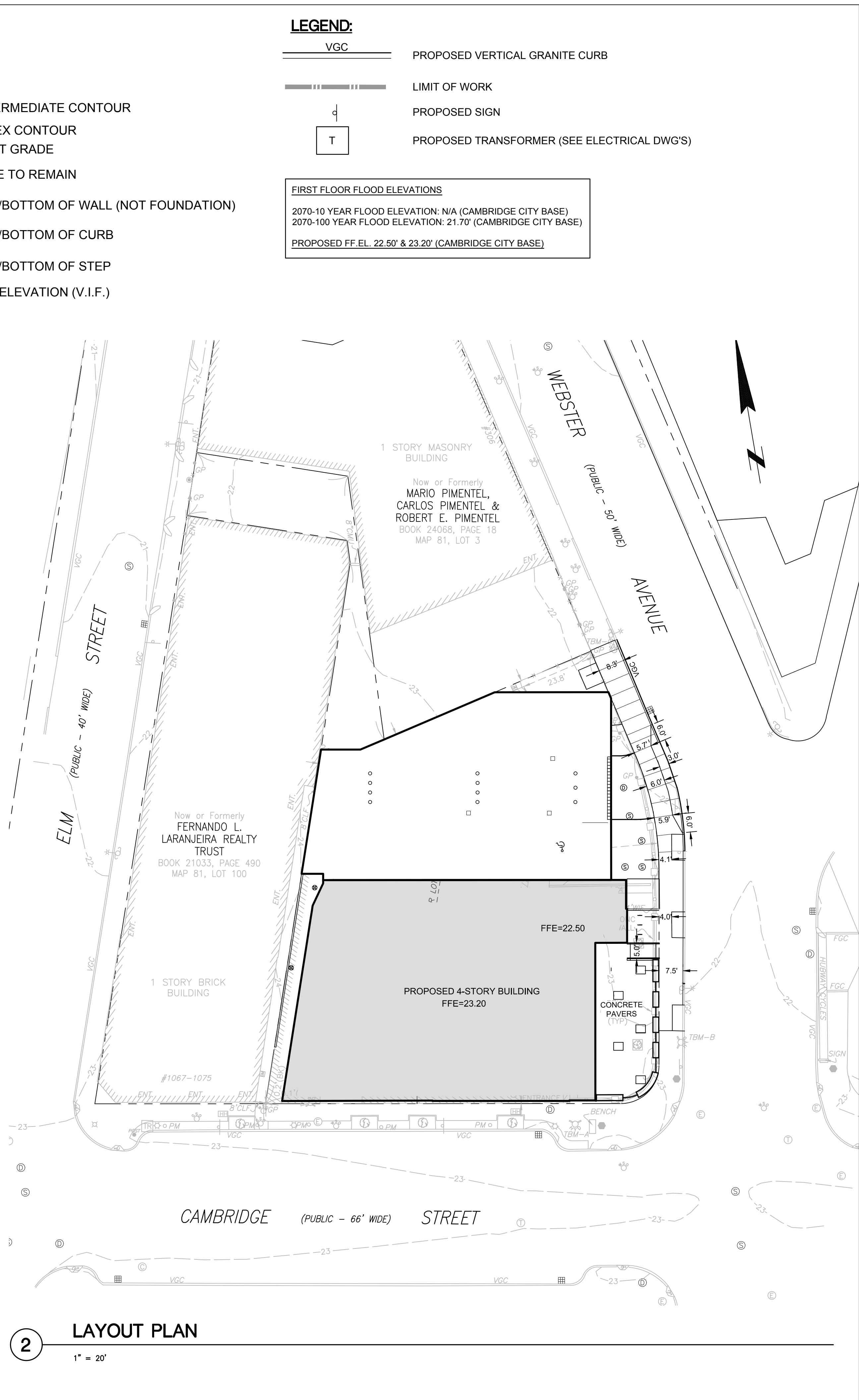
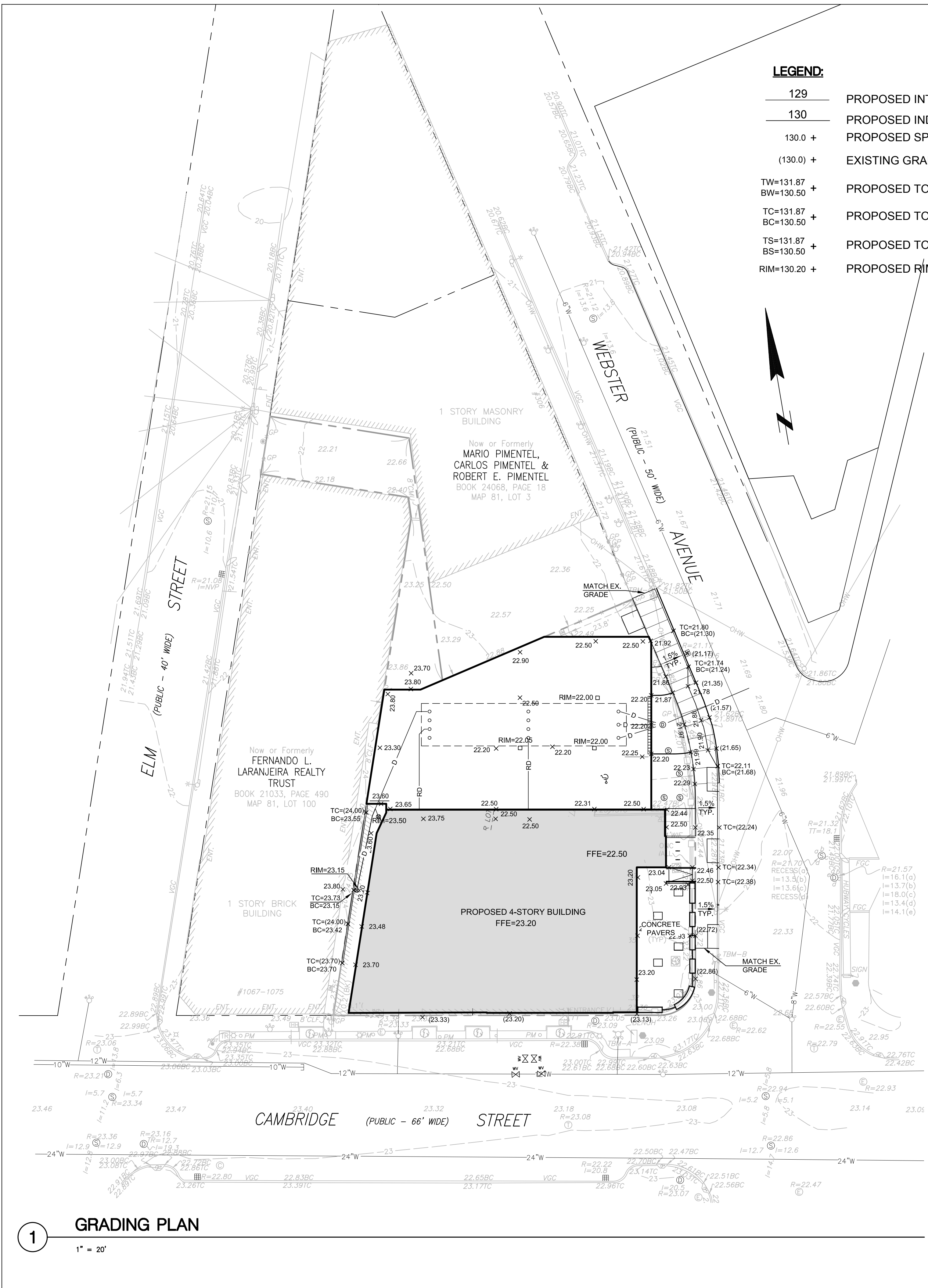
SETNAME: DATE: TITLE:

SITE UTILITIES PLAN

SCALE: 1" = 20'
UTILITY PROJECT NUMBER: 1447

DRAWING NUMBER

C 2.00



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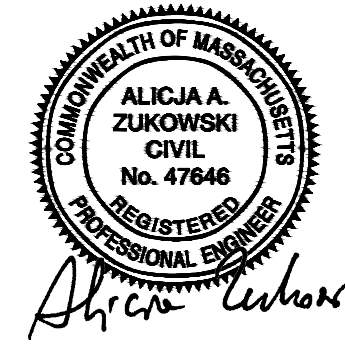
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REVISIONS	DATE	DESCRIPTION
8/14/2016	SCHEMATIC DESIGN / PRICING	
07/03/2018	PLANNING BOARD SUBMISSION	

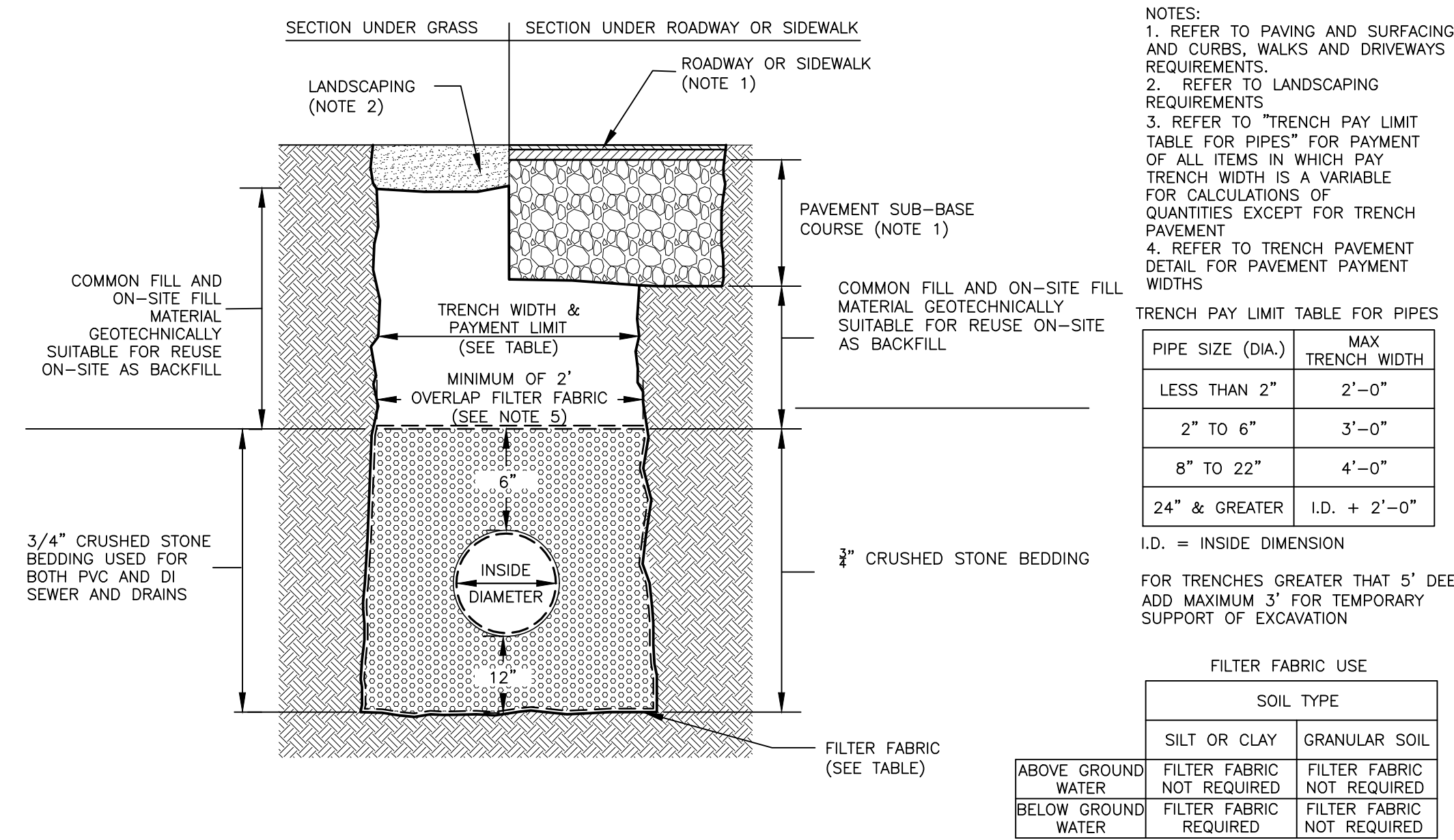
SETNAME DATE

LAYOUT AND GRADING PLAN

SCALE	UTILITY PROJECT NUMBER
1" = 20'	1447

DRAWING NUMBER

C 3.00



1 TRENCH SECTION- PVC GRAVITY PIPE
NTS

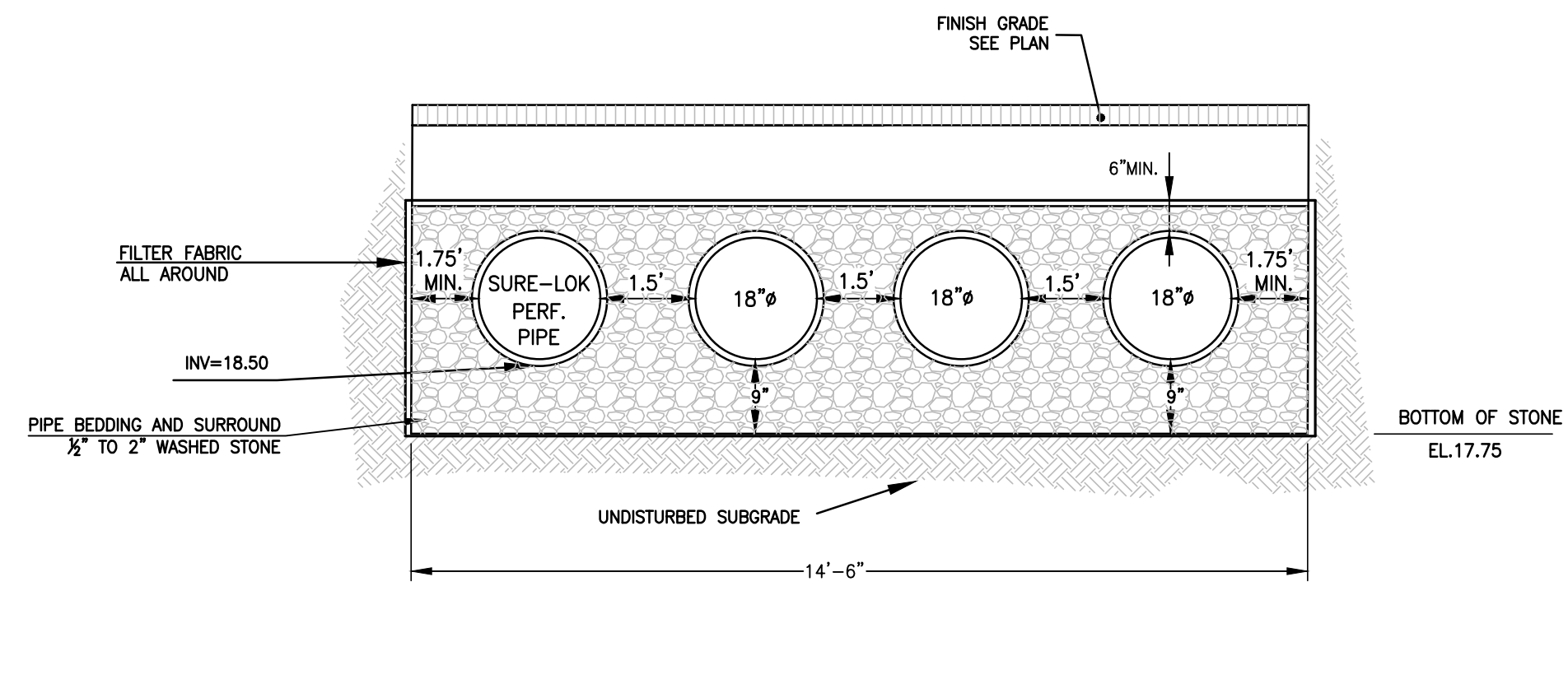
NOTES:
1. REFER TO PAVING AND SURFACING, AND CURBS, WALKS AND DRIVEWAYS REQUIREMENTS.
2. REFER TO LANDSCAPING REQUIREMENTS.
3. REFER TO "TRENCH PAY LIMIT TABLE FOR PIPES" FOR PAYMENT OF ALL ITEMS IN WHICH PAY TRENCH WIDTH IS A VARIABLE FOR CALCULATIONS OF QUANTITIES EXCEPT FOR TRENCH PAVEMENT.
4. REFER TO TRENCH PAVEMENT DETAIL FOR PAVEMENT PAYMENT WIDTHS.

PIPE SIZE (DIA.)	MAX TRENCH WIDTH
LESS THAN 2"	2'-0"
2" TO 6"	3'-0"
8" TO 22"	4'-0"
24" & GREATER	I.D. + 2'-0"

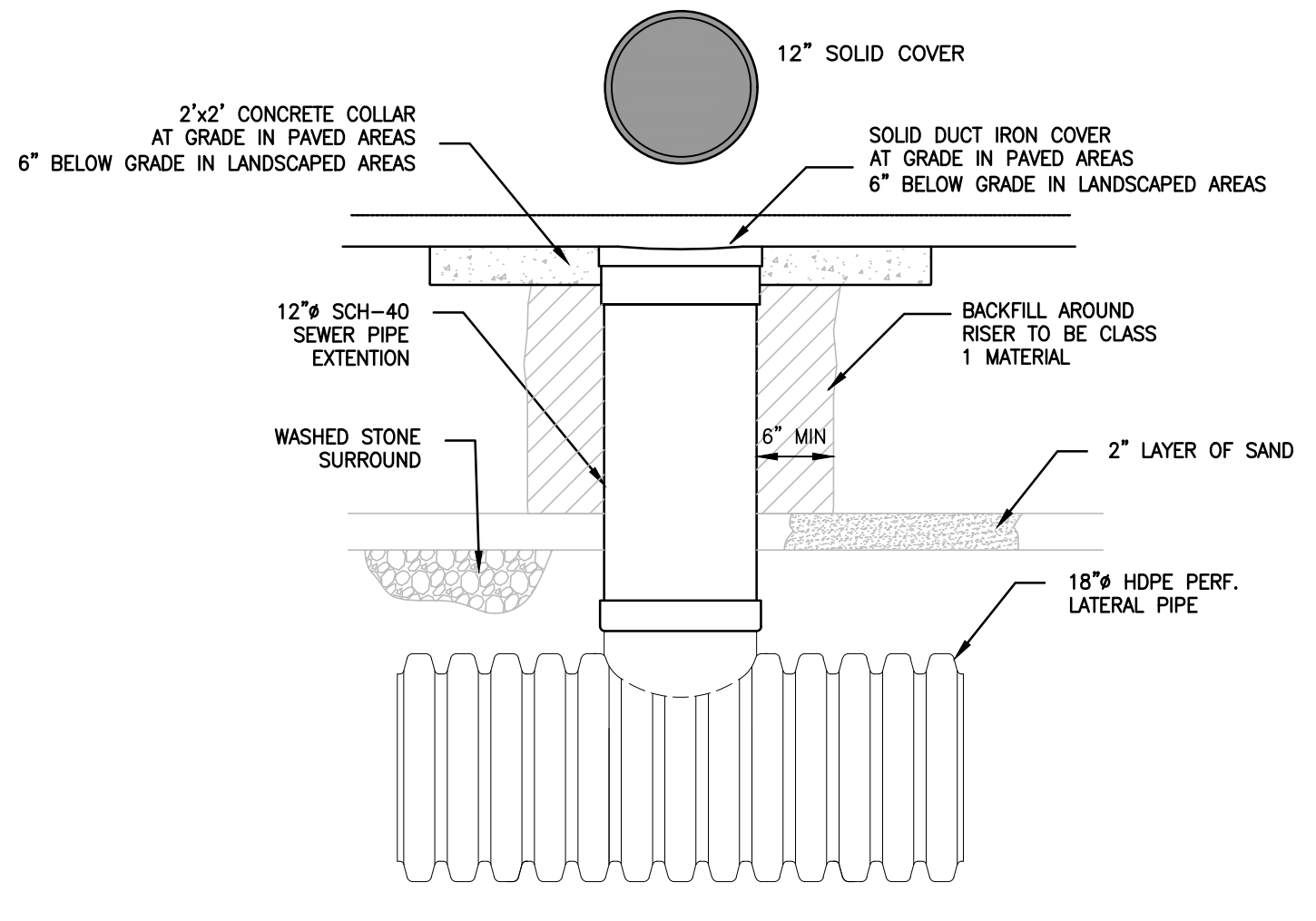
I.D. = INSIDE DIMENSION
FOR TRENCHES GREATER THAN 5' DEEP ADD MAXIMUM 3' FOR TEMPORARY SUPPORT OF EXCAVATION

FILTER FABRIC USE	
SOIL TYPE	
SILT OR CLAY	GRANULAR SOIL
ABOVE GROUND WATER	FILTER FABRIC NOT REQUIRED
BELOW GROUND WATER	FILTER FABRIC REQUIRED

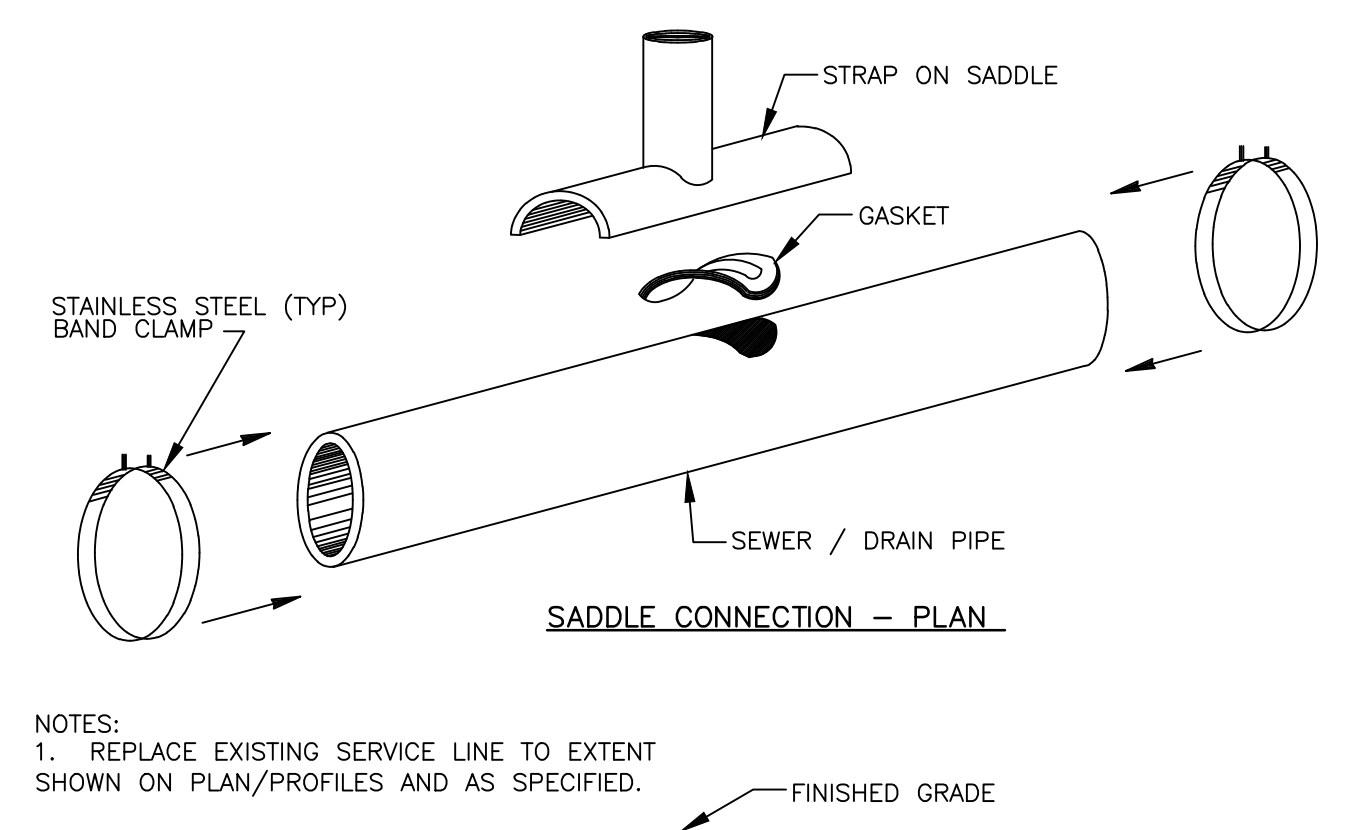
NOTE:
ALL PIPE AND FITTINGS SHALL BE HANCOR SURE-LOK ST OR APPROVED EQUAL



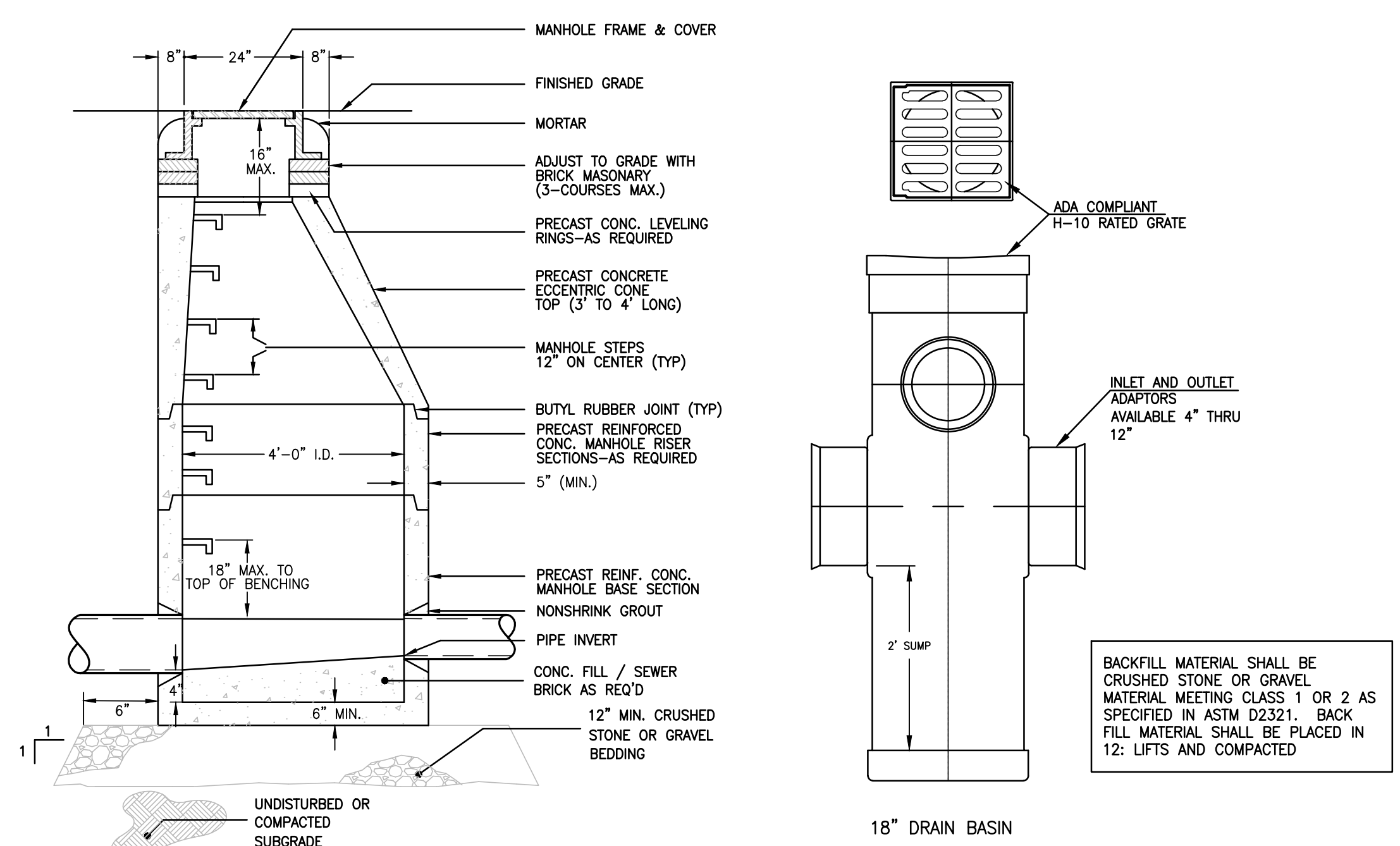
2 INFILTRATION - 18" PERFORATED HDPE SYSTEM
NTS



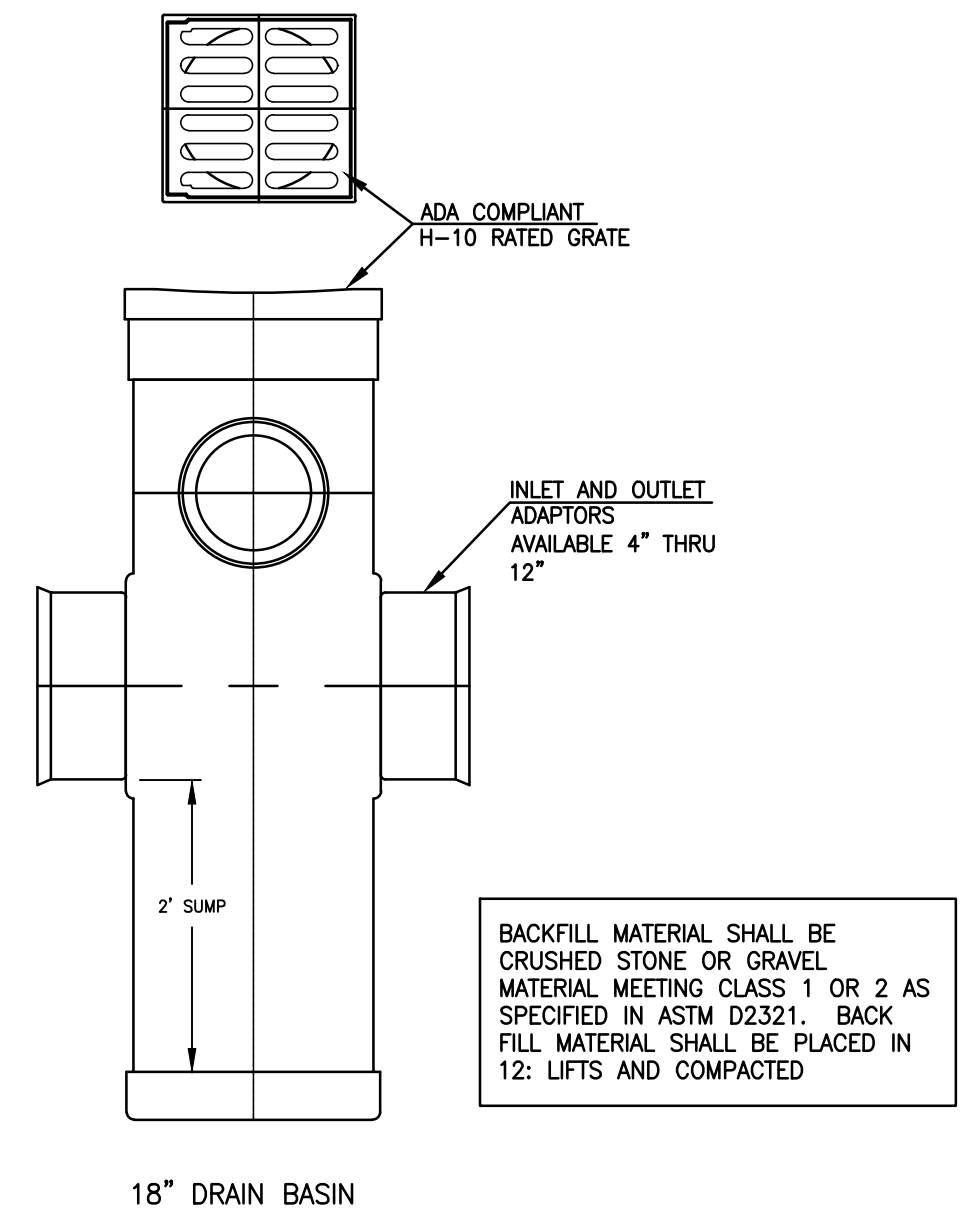
3 DETENTION SYSTEM CLEANOUT RISER DEAL
NTS



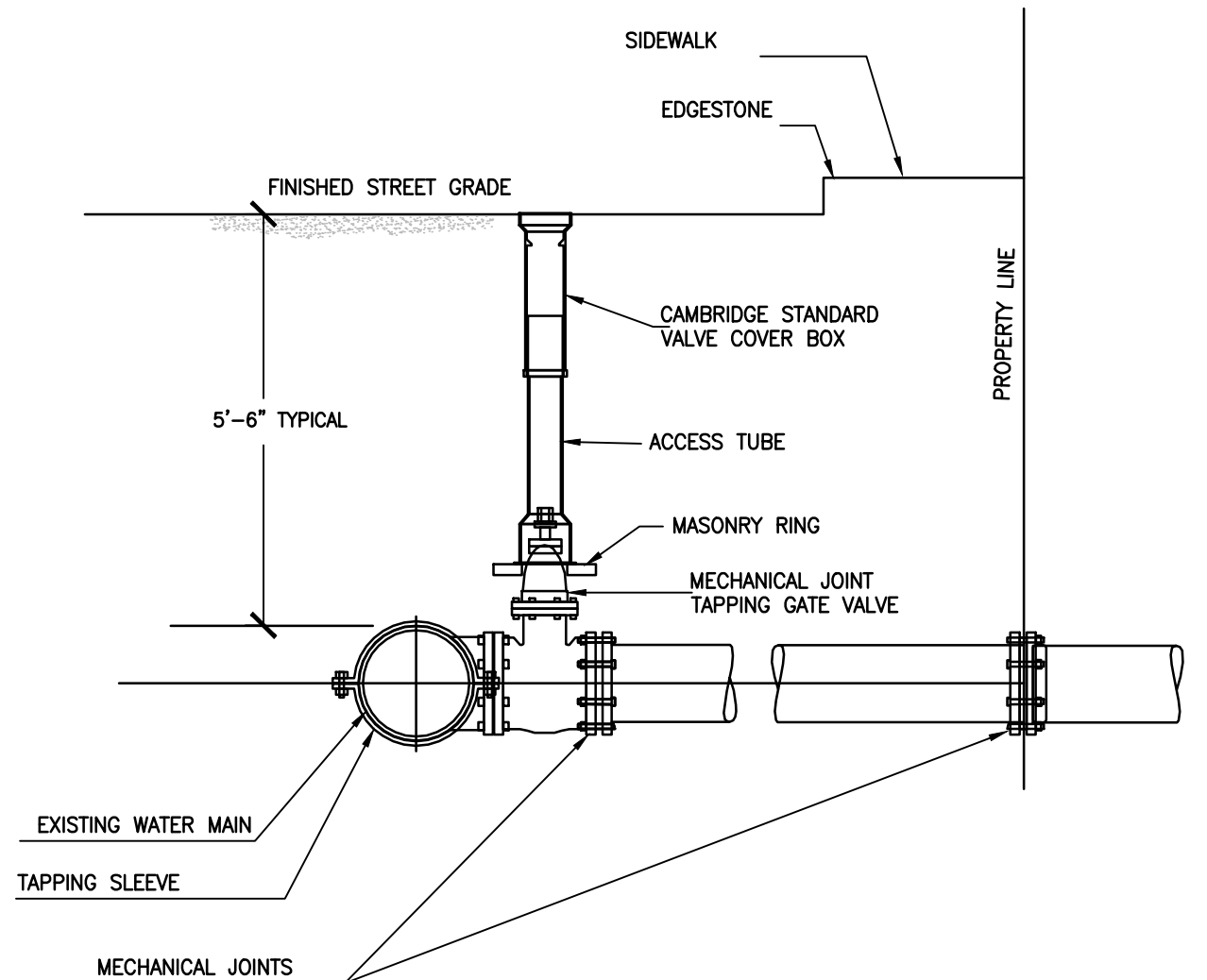
4 CONNECTION TO SEWER/DRAIN
NTS



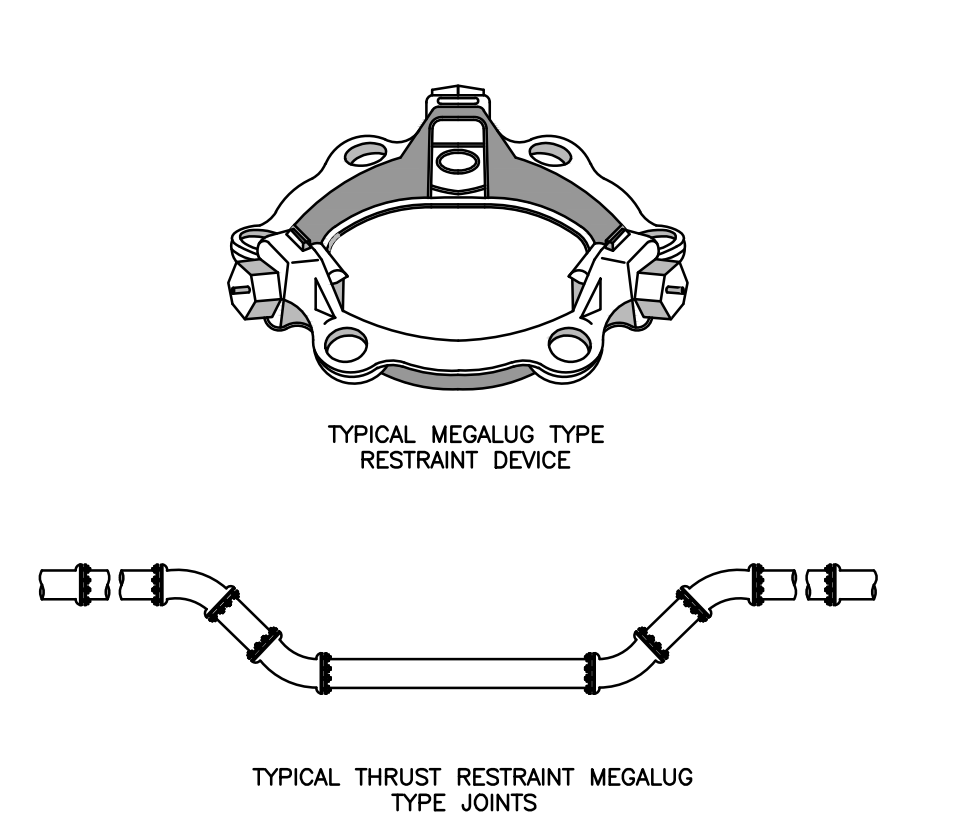
5 PRECAST MANHOLE
NTS



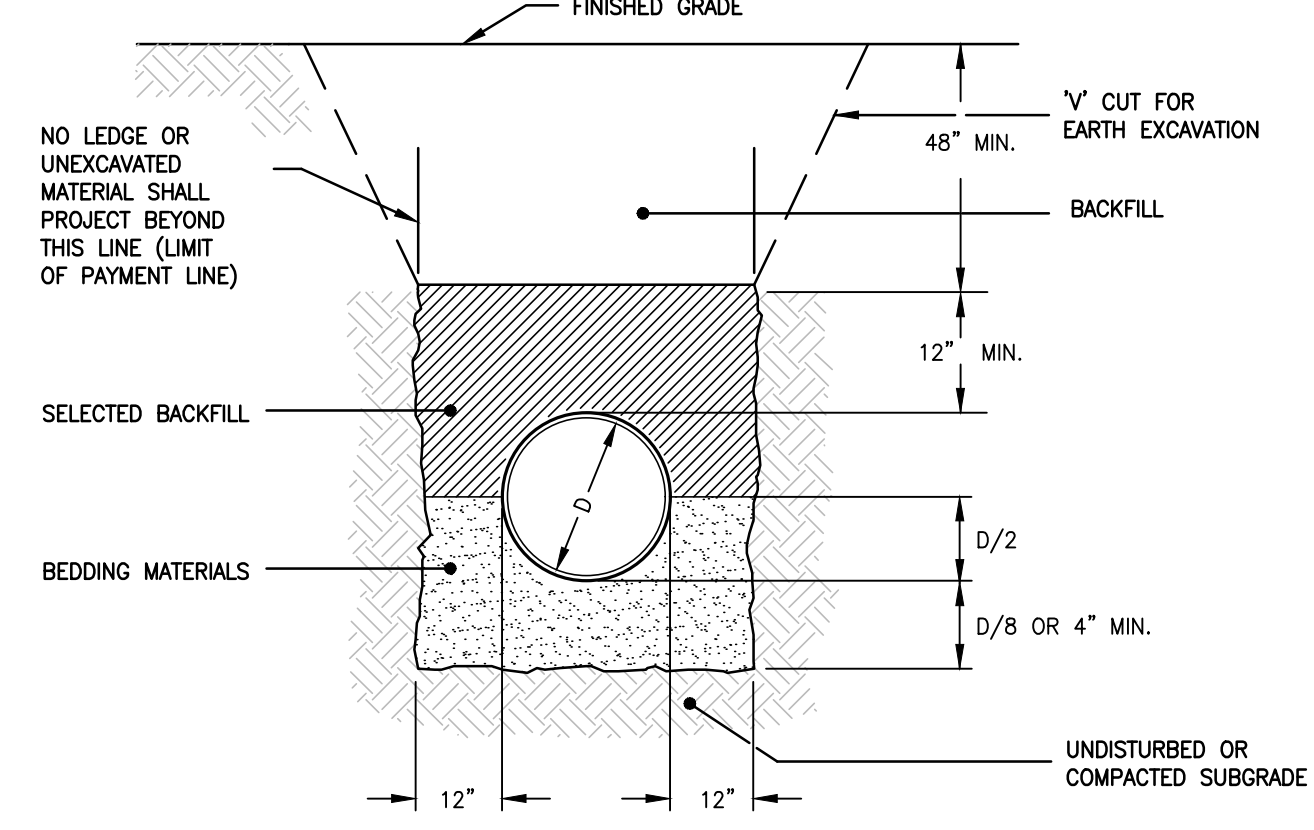
6 'NYLOPLAST' AREA DRAIN
NTS



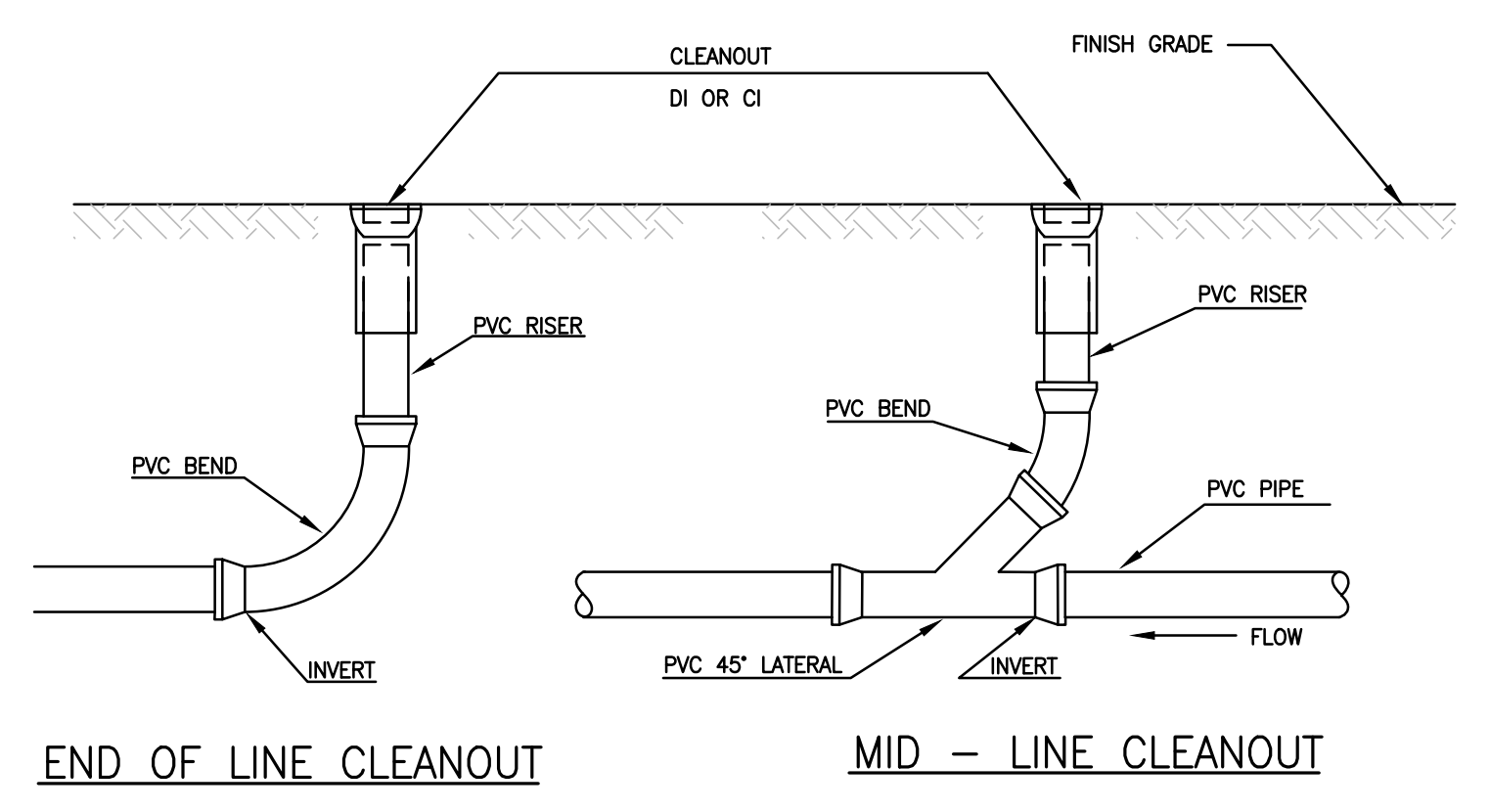
7 WATER PIPE CONNECTION WITH TAPPING SLEEVE AND GATE VALVE
NTS



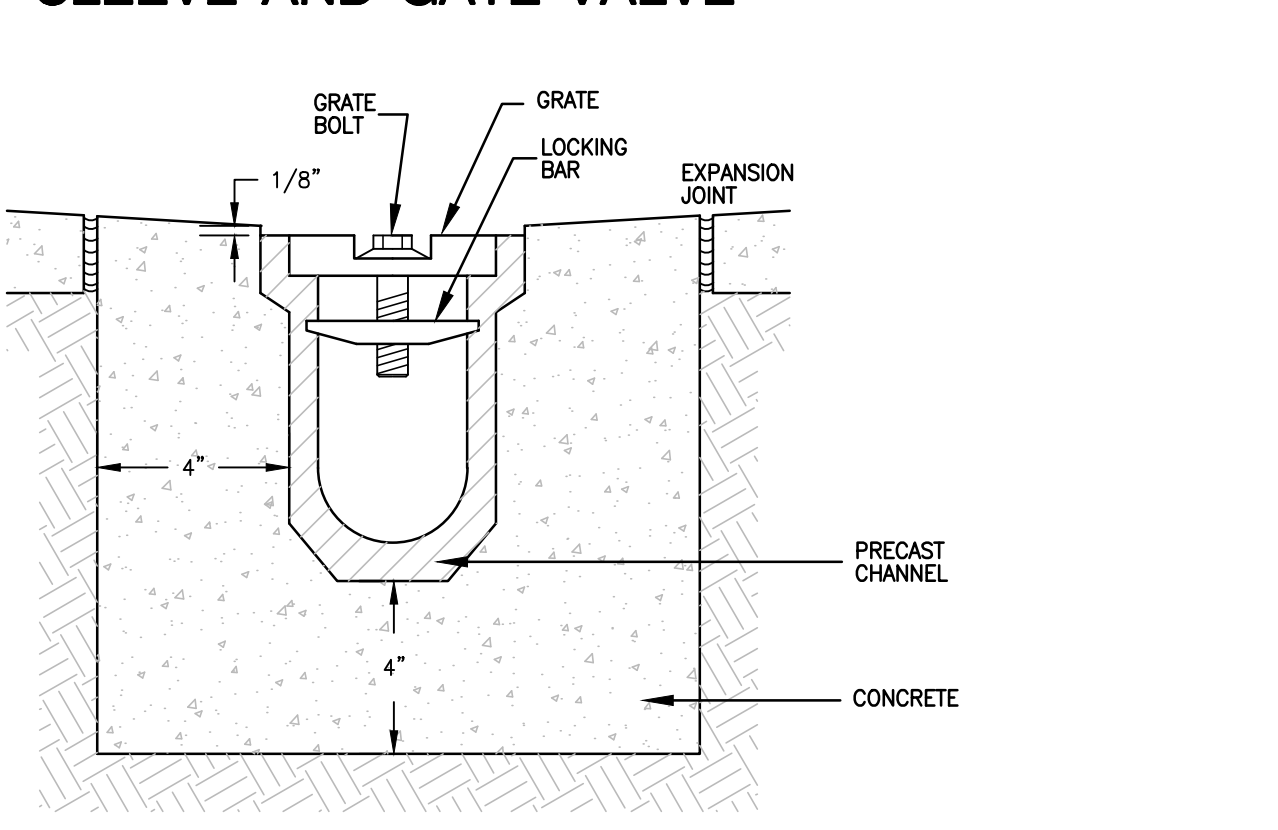
8 MEGALUG DETAIL
NTS



9 TRENCH SECTION - C.L.D.I. WATER PIPE
NTS



10 CLEANOUT
NTS



11 TRENCH DRAIN
NTS

CAMBRIDGE ST

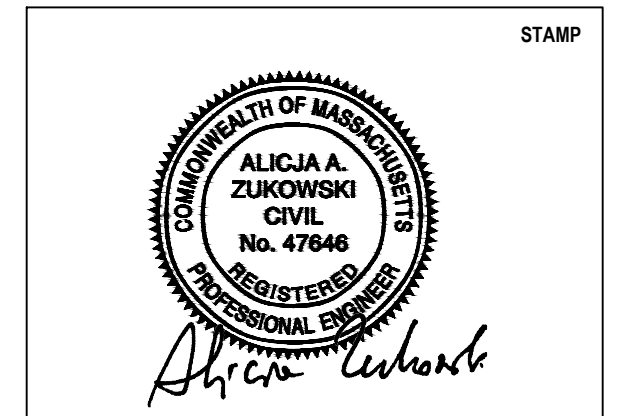
1055 CAMBRIDGE ST
CAMBRIDGE, MA 02139

418 MEDIA REAL-ESTATE, LLC
250 Dorchester Ave, 2nd floor
Boston, MA 02127
P (617) 953-4390 F (857) 496-1160

utile
ARCHITECTURE + URBAN DESIGN
115 KINGSTON STREET
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P 617 423.7200 F 617 423.1414
utiledesign.com

Samiotes Consultants, Inc.

20 A STREET
FRAMINGHAM, MA 01701
P (508) 877-6688 F (508) 877-8349
WWW.SAMIOTES.COM



REVISIONS	DATE
8/14/2016	SCHEMATIC DESIGN / PRICING
07/03/2018	PLANNING BOARD SUBMISSION

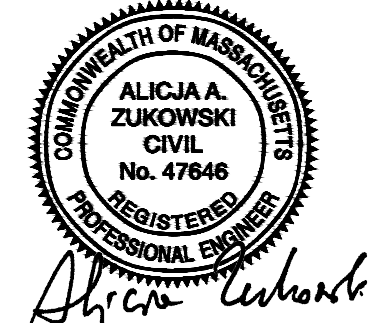
SETNAME DATE
TITLE

CIVIL DETAILS

SCALE	UTILE PROJECT NUMBER
AS NOTED	1447

C 4.01

DRAWING NUMBER



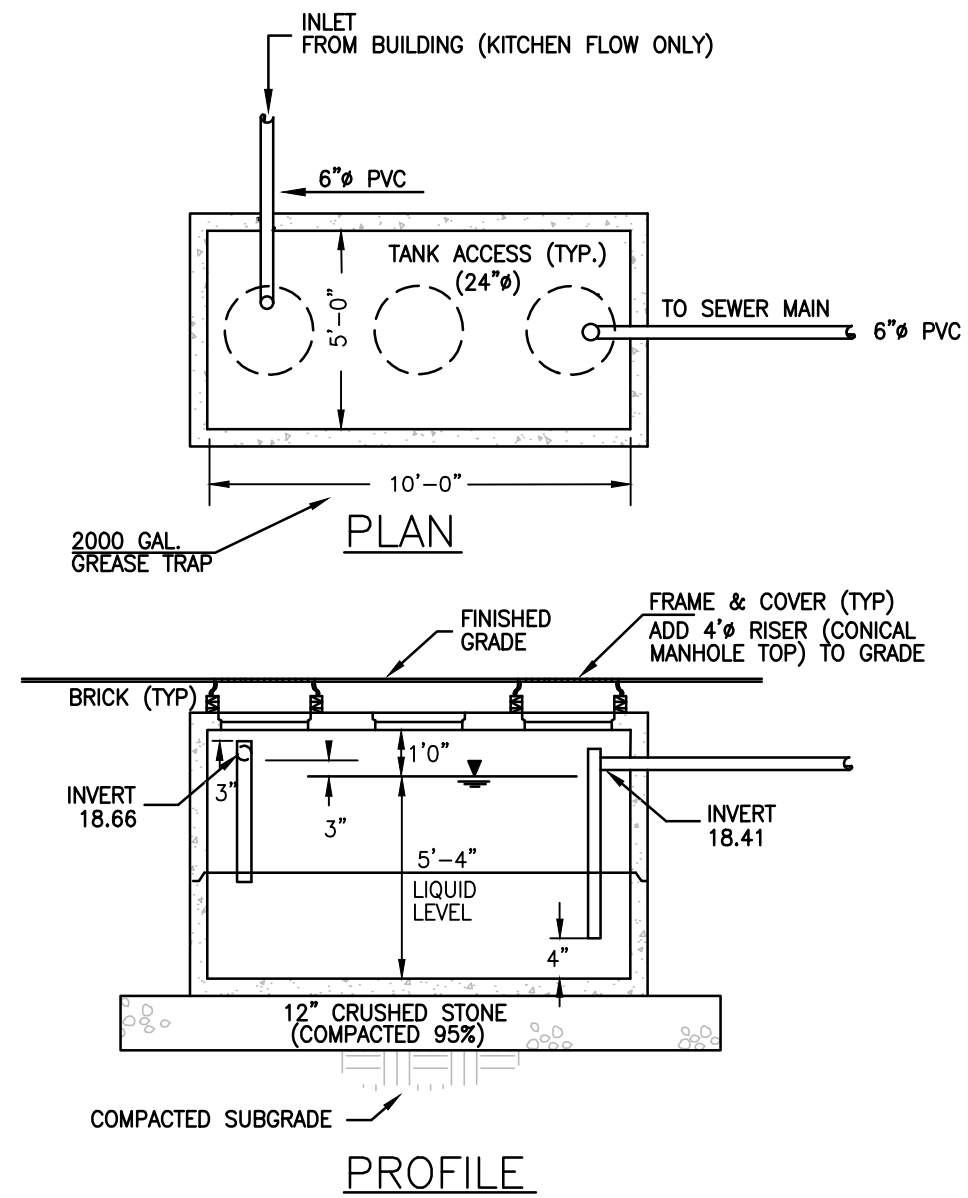
REVISIONS	
8/14/2016	SCHEMATIC DESIGN / PRICING
07/03/2018	PLANNING BOARD SUBMISSION

SETNAME	DATE
TITLE	

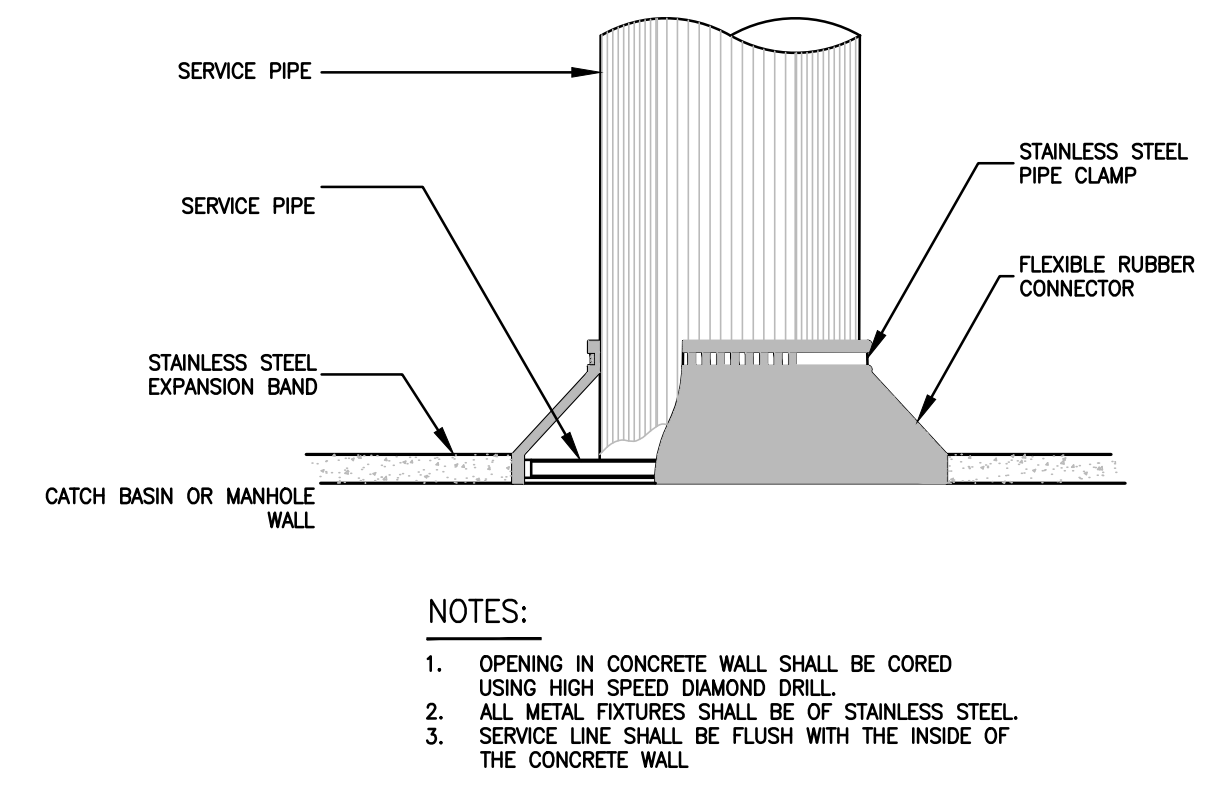
CIVIL DETAILS

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DRAWING NUMBER	

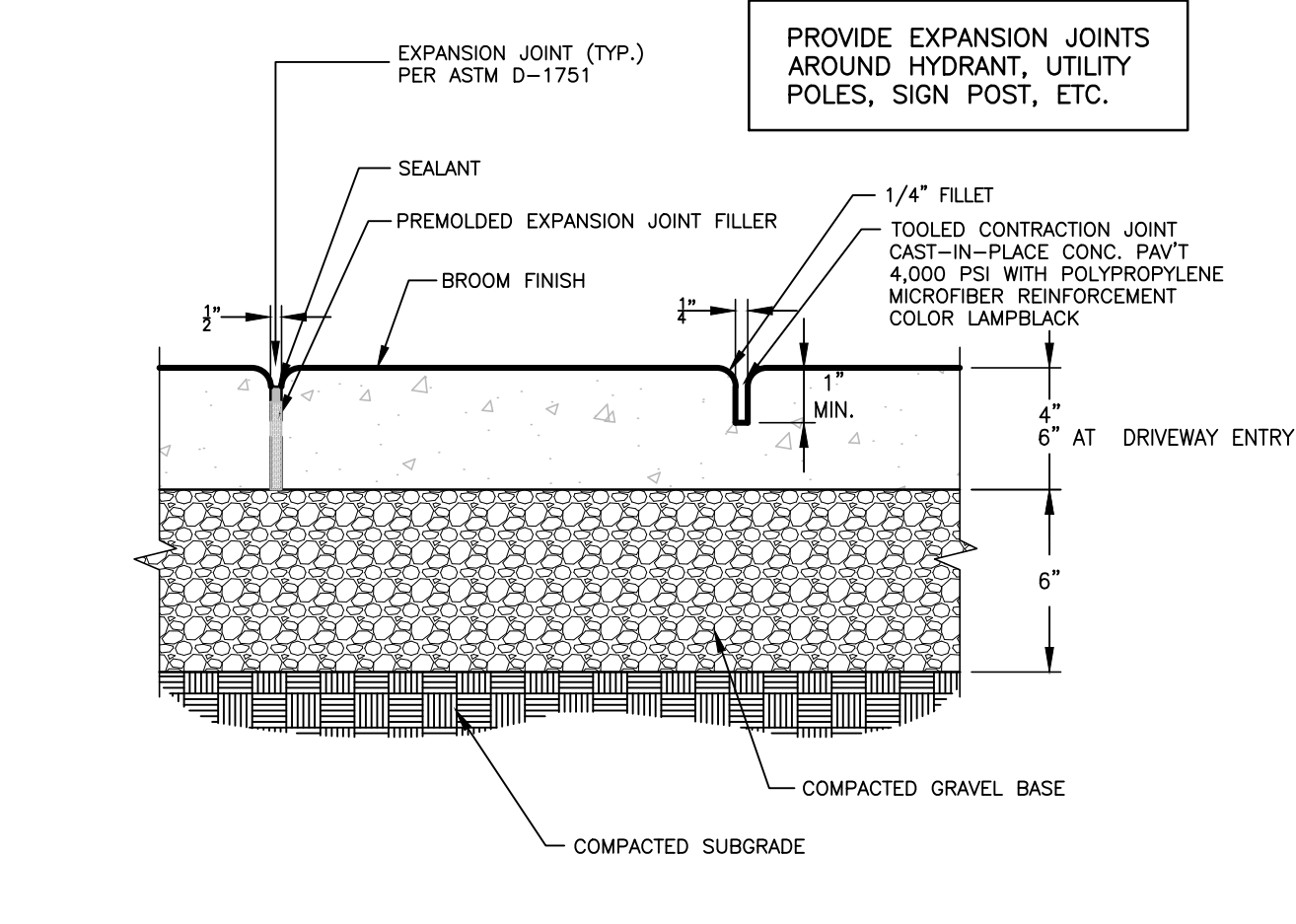
C 4.02



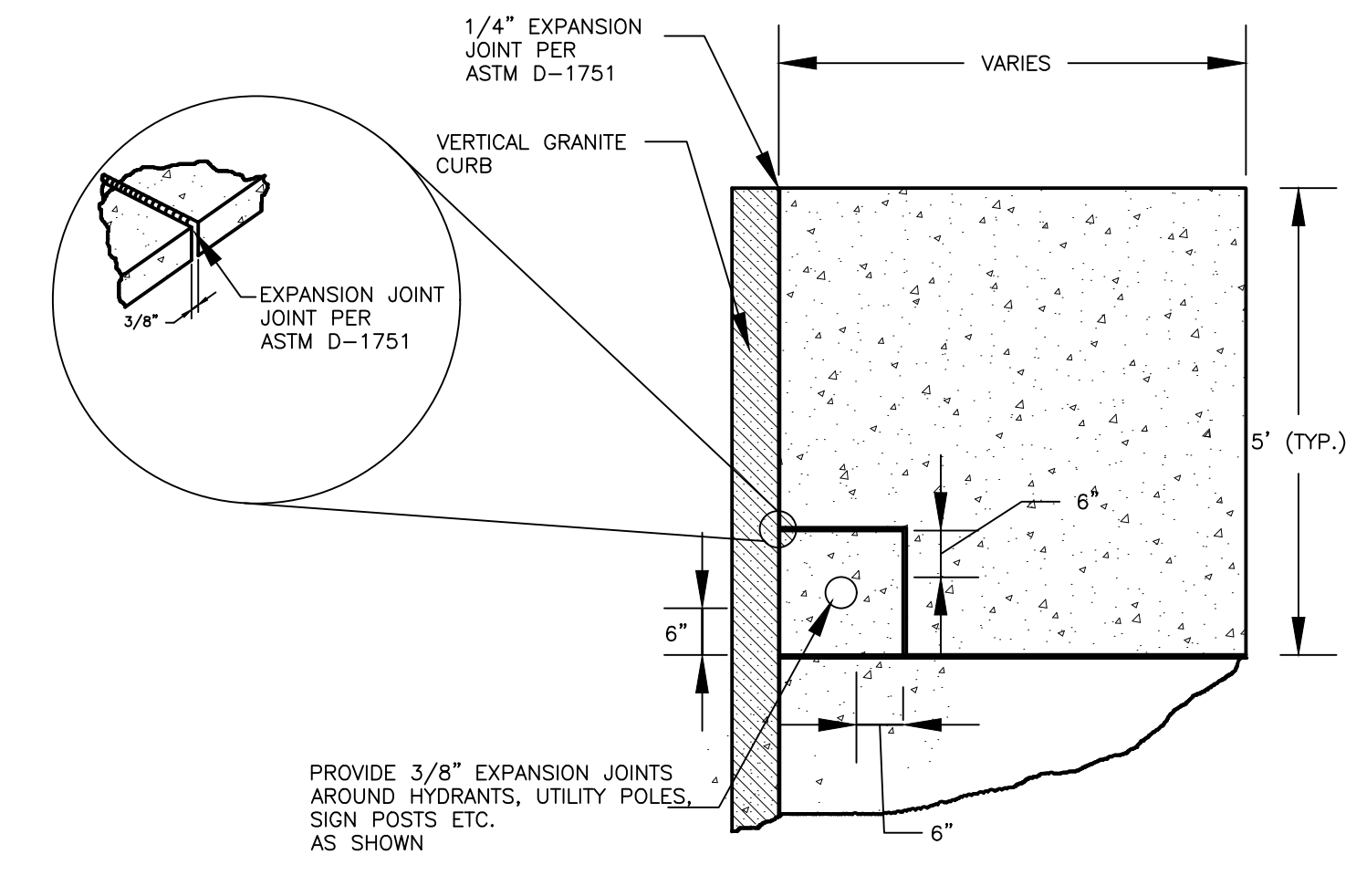
1 2,000 GALLON GREASE TRAP
NTS



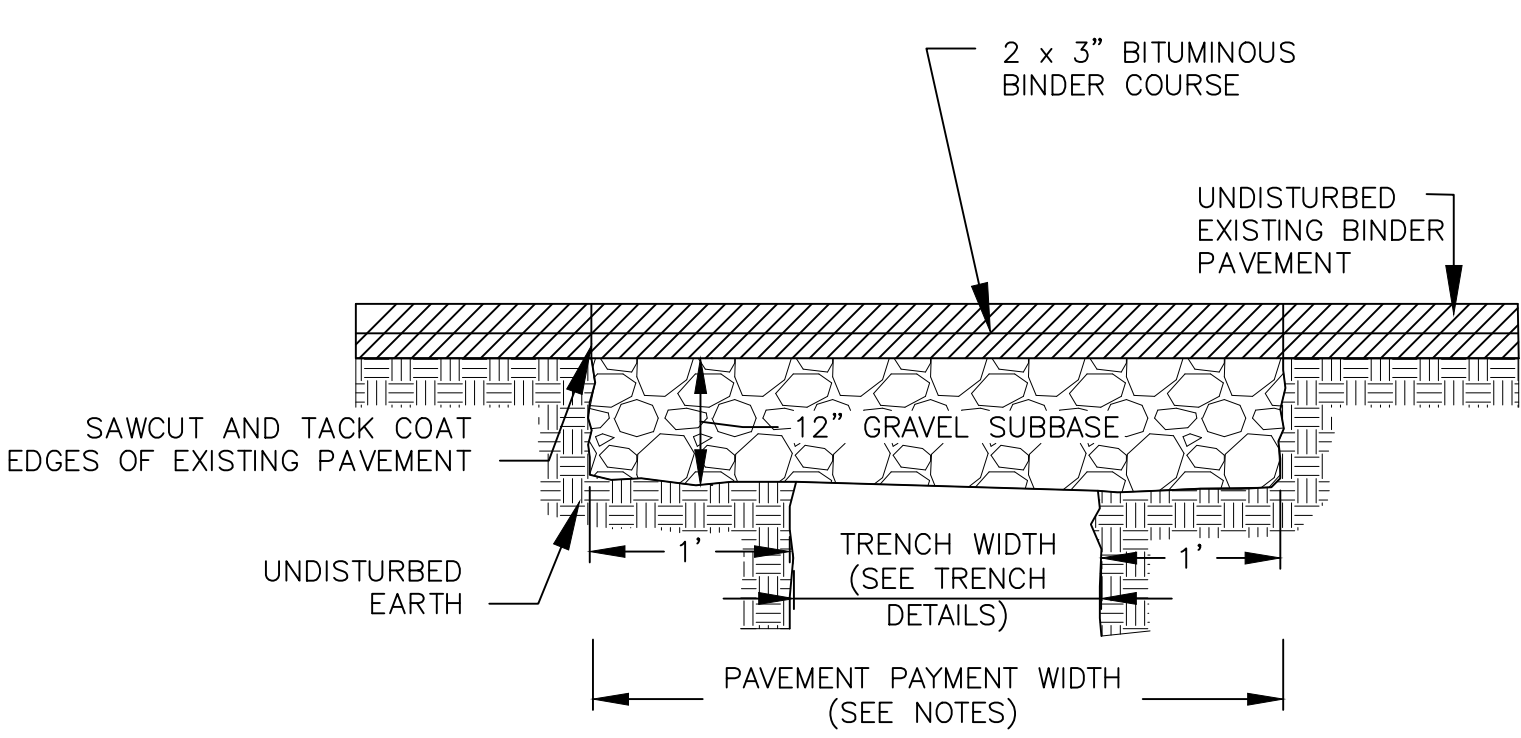
2 PIPE CONNECTION TO MANHOLE
NTS



3 BROOM FINISH CONCRETE WALKWAY
NTS

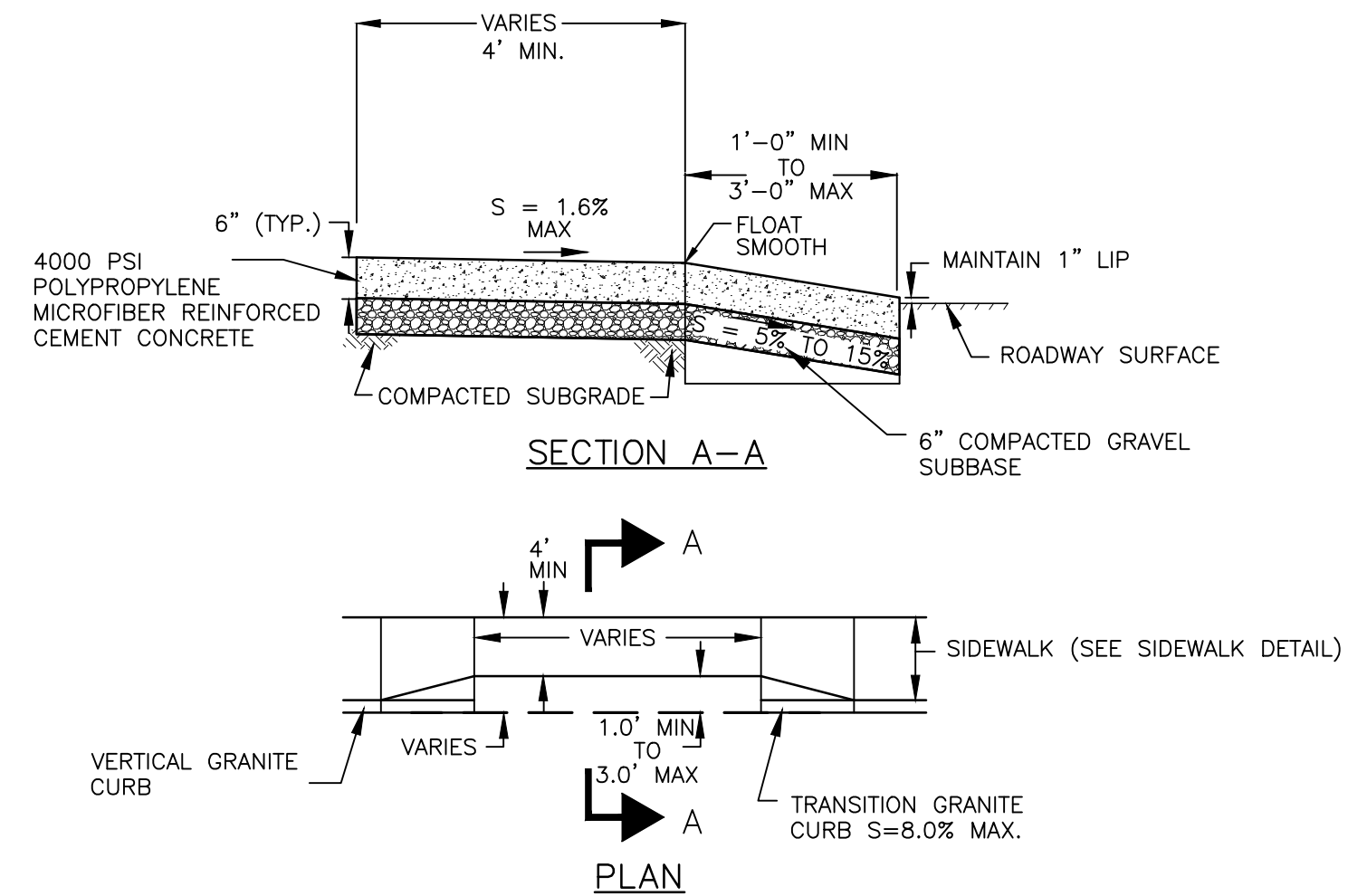


4 EXPANSION JOINTS
NTS

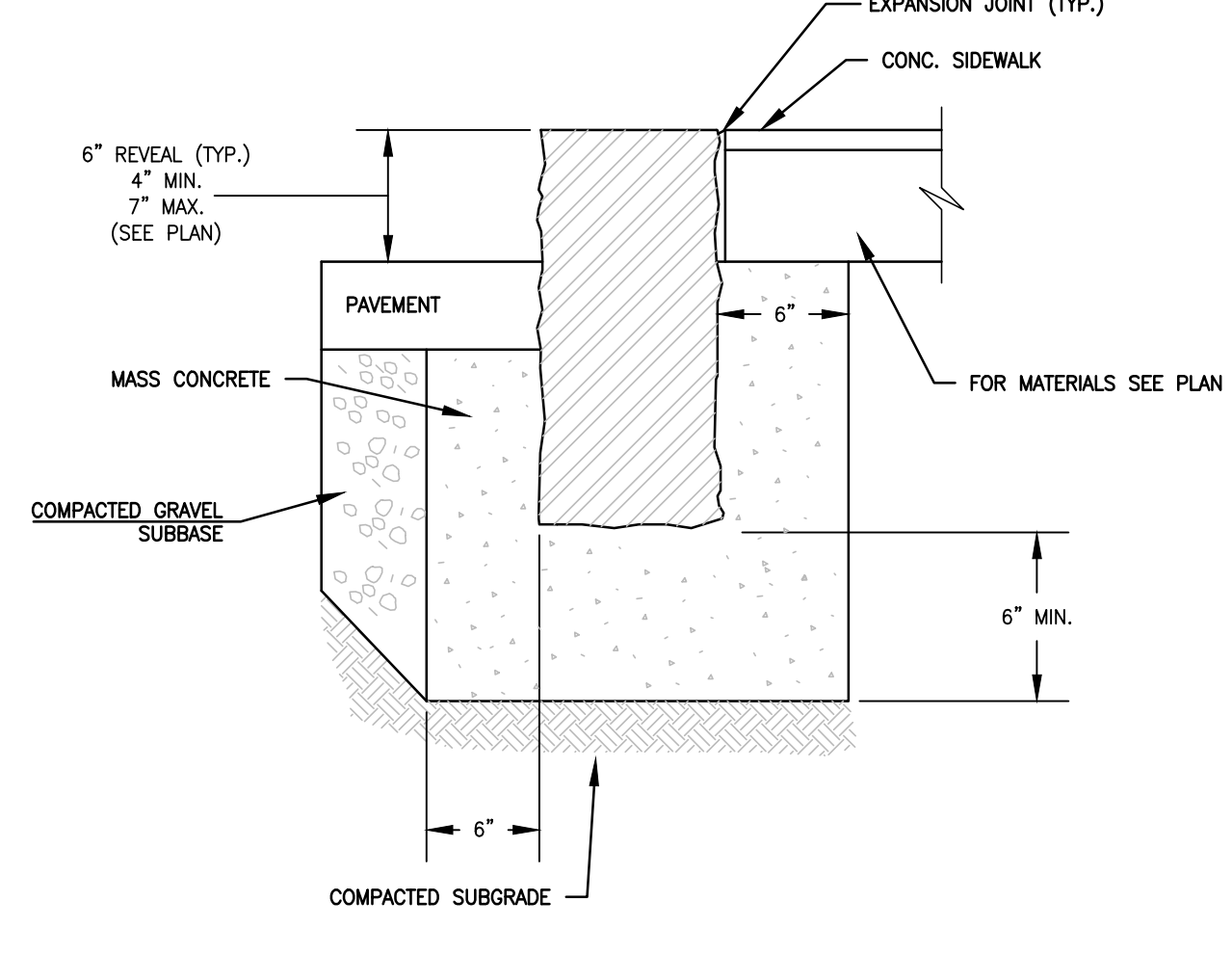


NOTES:
1. PERMANENT TRENCH PAVEMENT PAYMENT WIDTH SHALL BE THE TRENCH PAY LIMIT PLUS 2 FEET
2. TEMPORARY TRENCH PAVEMENT PAYMENT WIDTH SHALL BE EQUAL TO THE TRENCH PAYMENT LIMIT
3. REMOVE AND DISPOSE ALL TEMPORARY PAVEMENT AS REQUIRED. RESTORE AND COMPACT SUBBASE AS REQUIRED PRIOR TO PERMANENT TRENCH PAVEMENT.

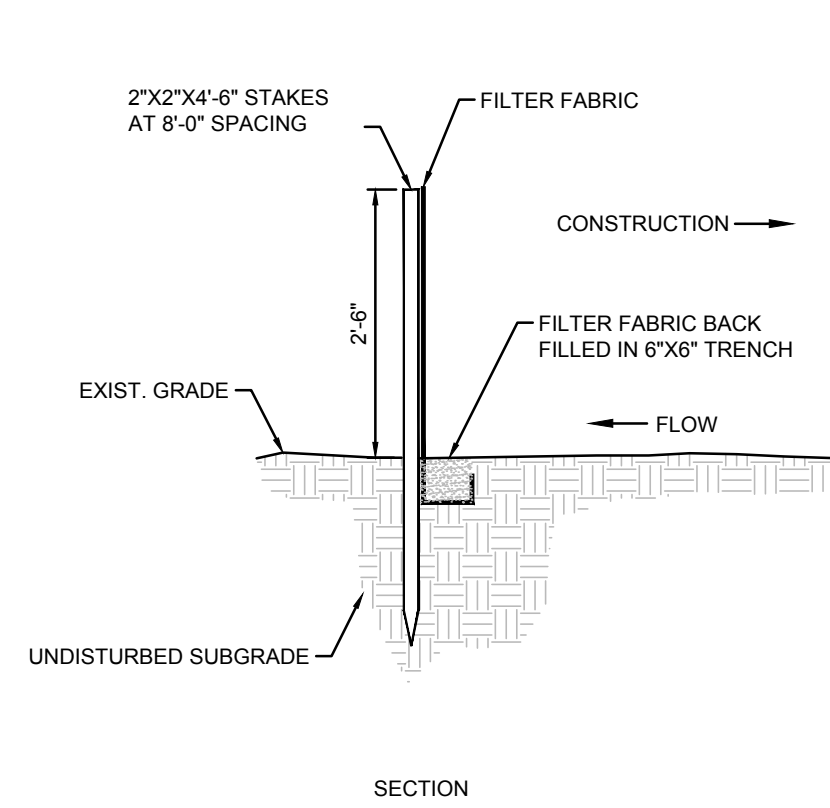
5 TRENCH PATCHING DETAIL
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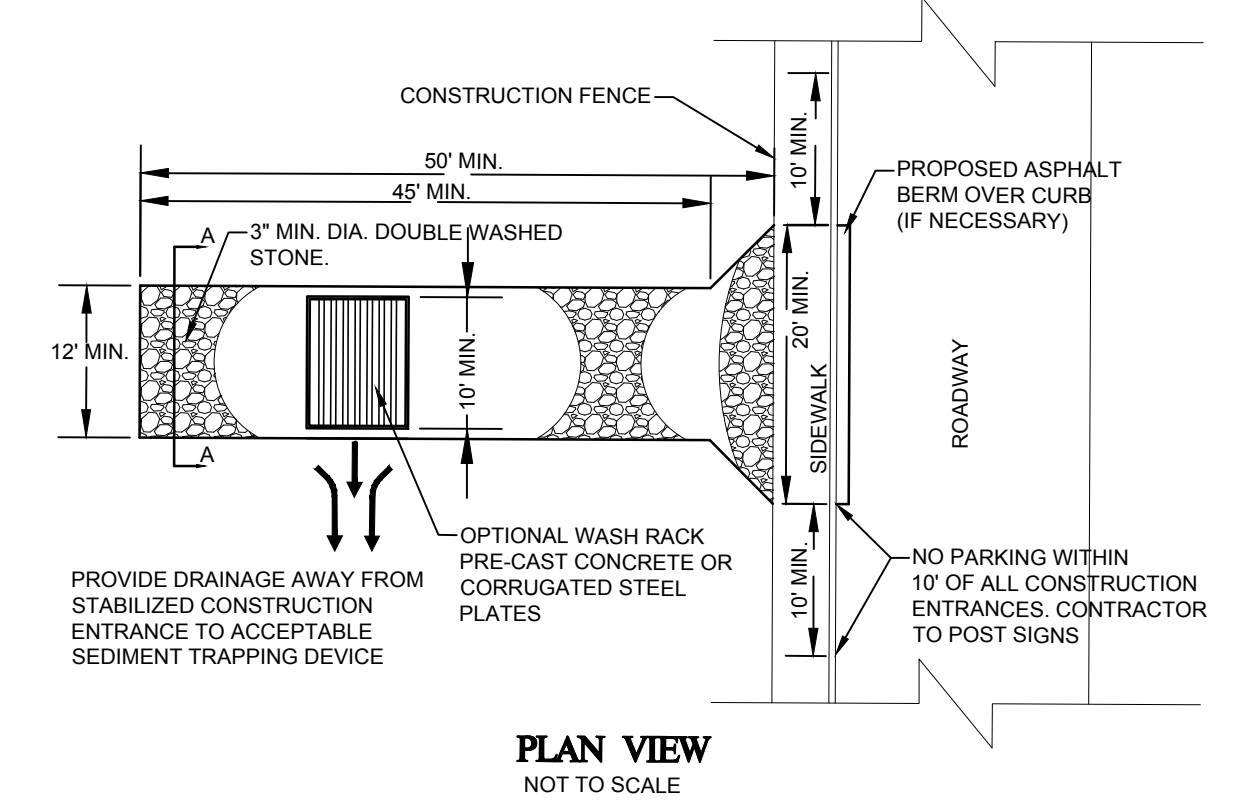
6 CONCRETE DRIVEWAY APRON
NTS



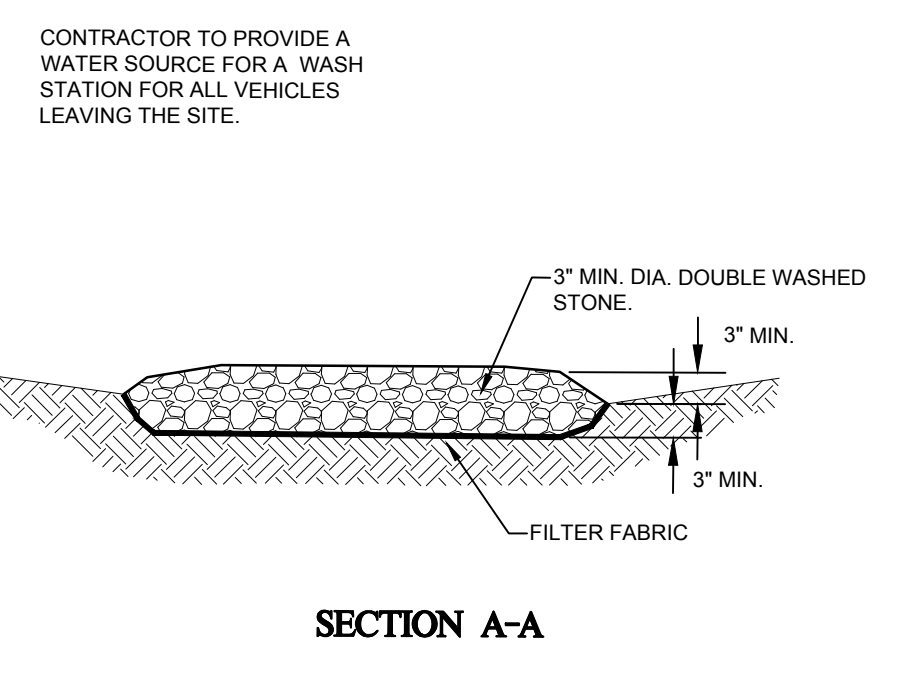
7 VERTICAL GRANITE CURB
NTS



8 SILT FENCE
NTS

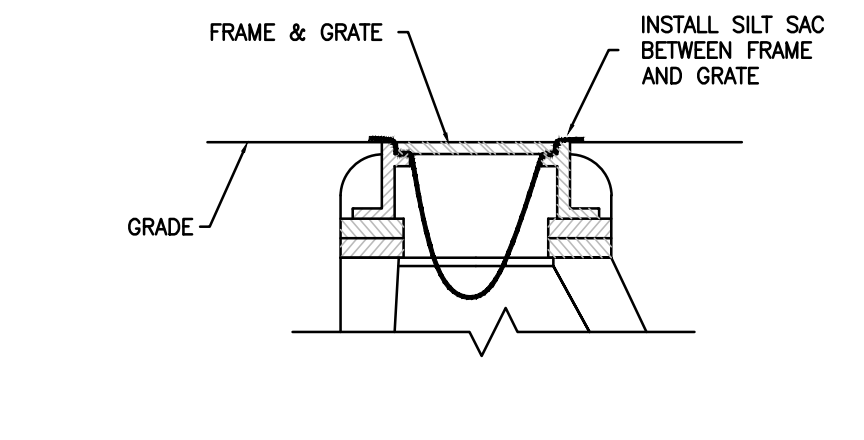


9 STABILIZED CONSTRUCTION ENTRANCE
NTS

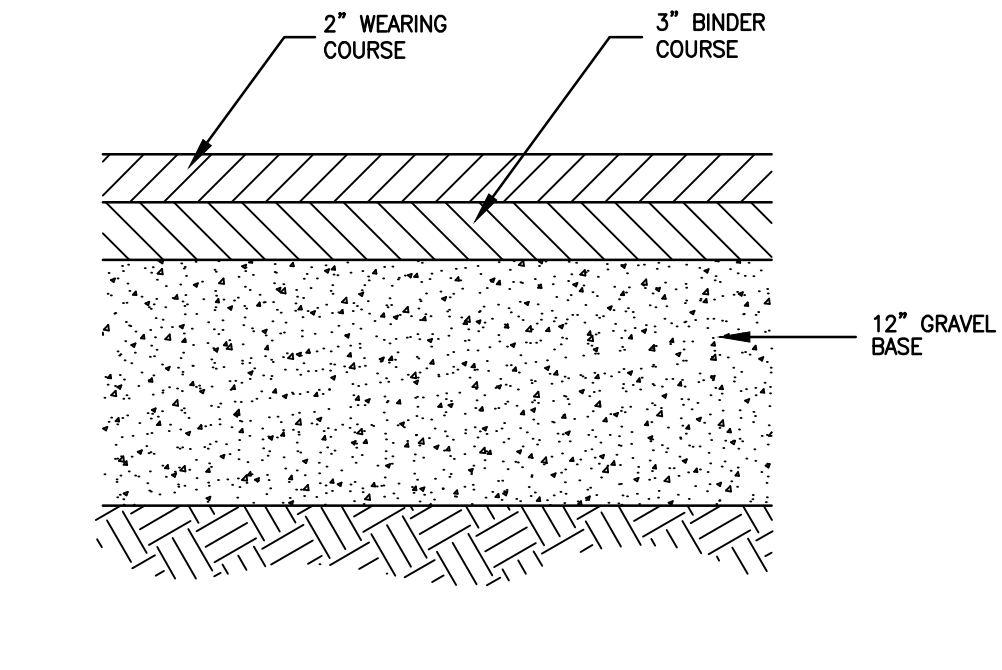


CONTRACTOR TO PROVIDE A WATER SOURCE FOR A WASH STATION FOR ALL VEHICLES LEAVING THE SITE.

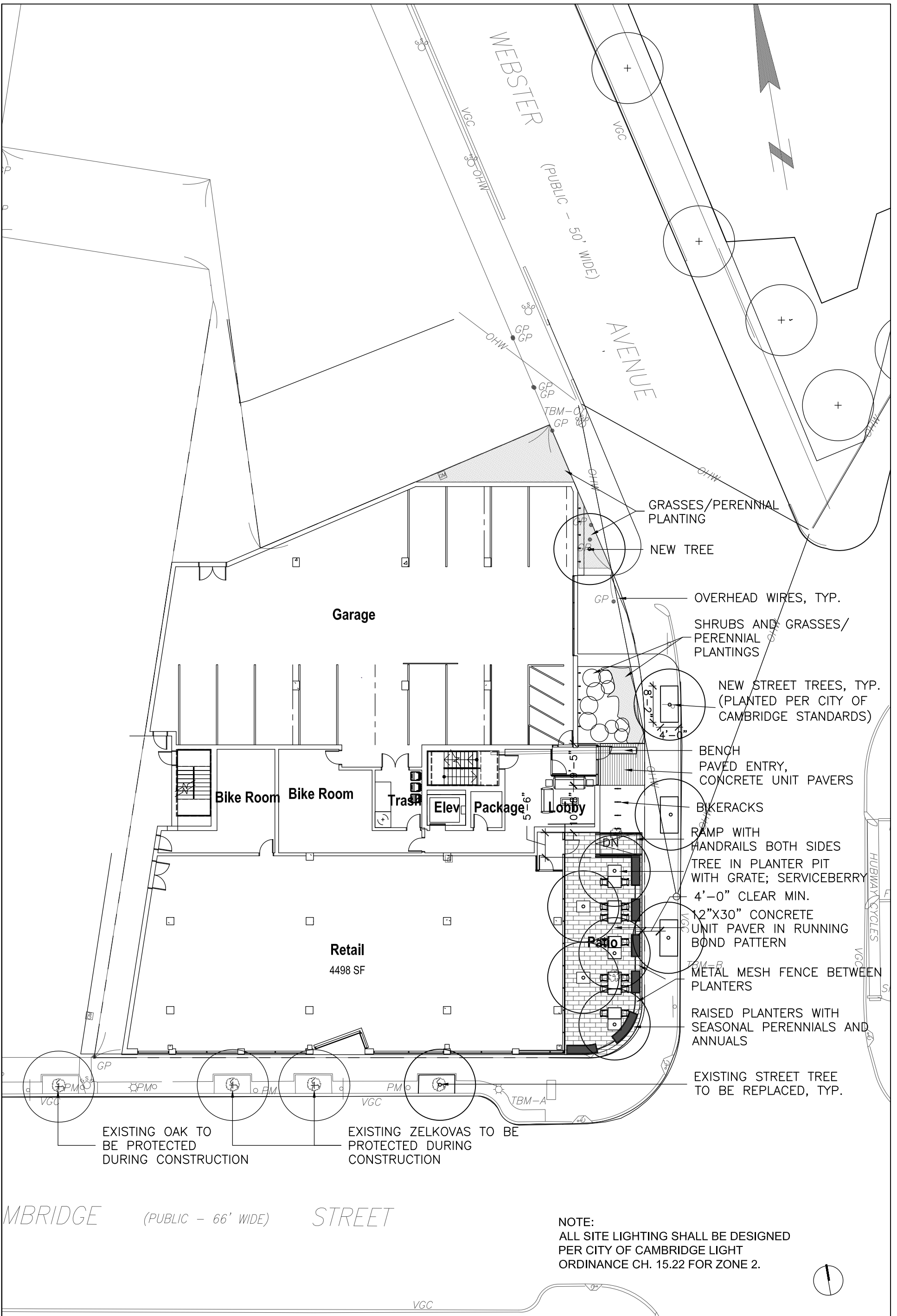
SECTION A-A



10 DRAIN INLET W/ SILT SAC
NTS



11 BITUMINOUS PAVEMENT
NTS



EXISTING OAK TO BE PROTECTED DURING CONSTRUCTION

EXISTING ZELKOVAS TO BE PROTECTED DURING CONSTRUCTION

NOTE:
ALL SITE LIGHTING SHALL BE DESIGNED PER CITY OF CAMBRIDGE LIGHT ORDINANCE CH. 15.22 FOR ZONE 2.

G2 COLLABORATIVE
LANDSCAPE ARCHITECTURE

282 Moody Street, Suite 308
Waltham, MA 02543
781.373.5945

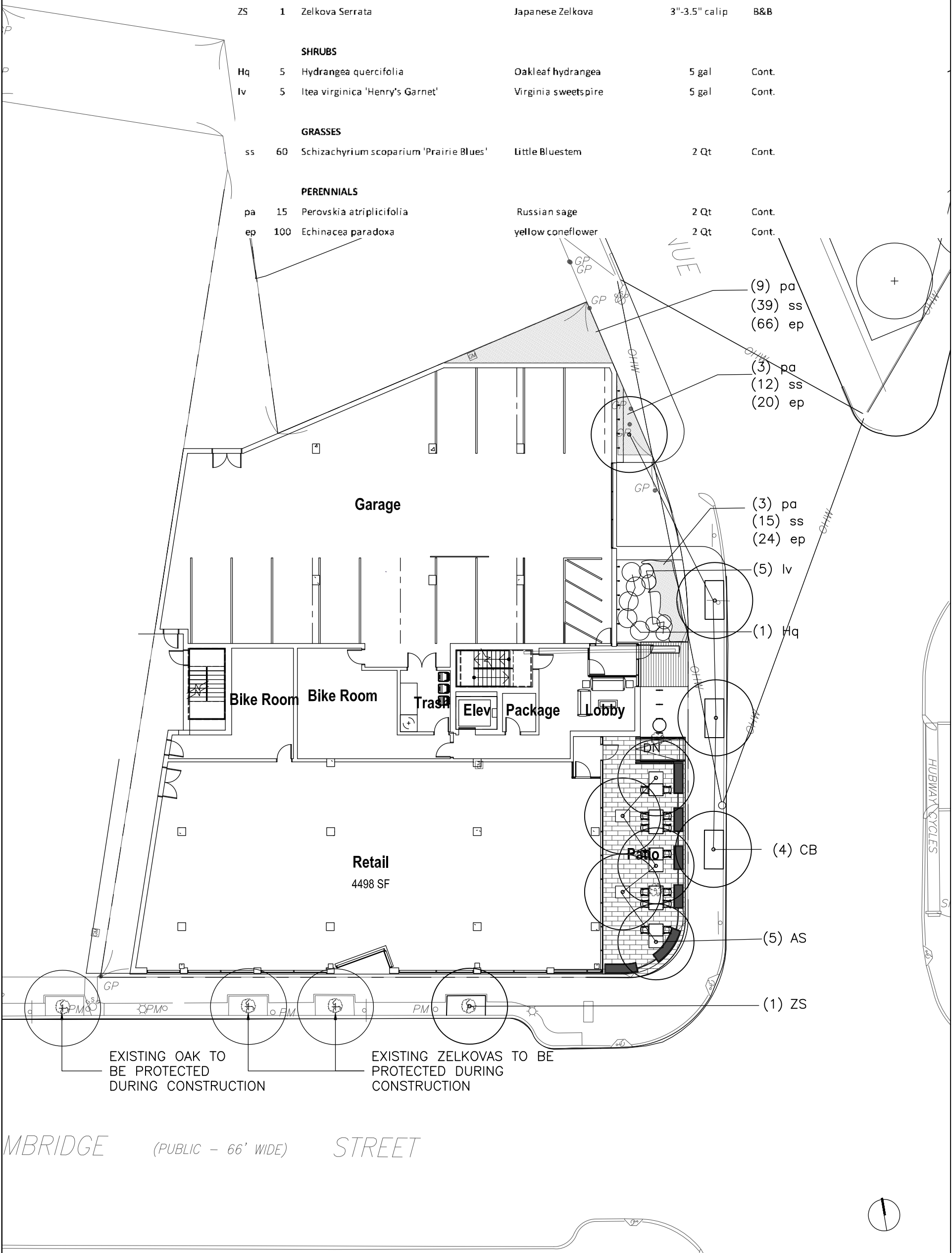
G2CLA PROJ. #: 1608
DRAWN BY: EG
DWG REF: LG
SCALE: 1"=20'-0"
DATE: 07.03.2018

PROJECT: Cambridge St Mixed-Use
1055-1065 Cambridge St.
Cambridge, MA, 02139
SHEET TITLE: STREET LEVEL PLAN

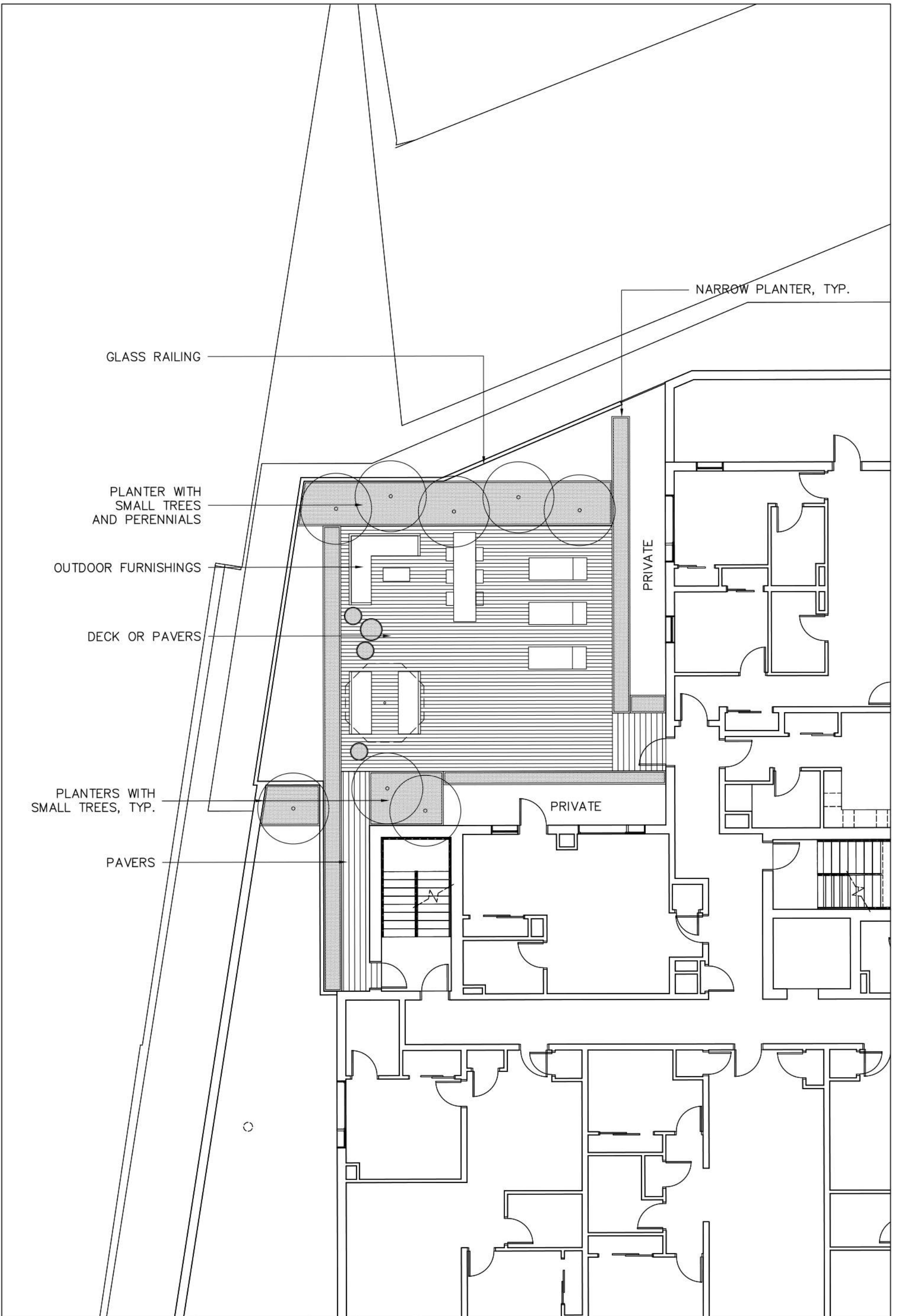
Owner: 418 Media Real Estate, Inc.

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANT SIZE	ROOT	COMMENTS
TREES						
AG	5	Amelanchier x grandiflora 'Princess Diana'	Apple Serviceberry	2.5-3" caliper	B&B	Single stem specimen
CB	4	Carpinus betulus 'Fasigiata'	Columnar Hornbeam	3"-3.5" calip	B&B	
ZS	1	Zelkova Serrata	Japanese Zelkova	3"-3.5" calip	B&B	
SHRUBS						
Hq	5	Hydrangea quercifolia	Oakleaf hydrangea	5 gal	Cont.	
Iv	5	Itea virginica 'Henry's Garnet'	Virginia sweetspire	5 gal	Cont.	
GRASSES						
ss	60	Schizachyrium scoparium 'Prairie Blues'	Little Bluestem	2 Qt	Cont.	
PERENNIALS						
pa	15	Perovskia atriplicifolia	Russian sage	2 Qt	Cont.	
ep	100	Echinacea paradoxa	yellow coneflower	2 Qt	Cont.	



G2 COLLABORATIVE LANDSCAPE ARCHITECTURE 282 Moody Street, Suite 308 Waltham, MA 02543 781.373.5945	G2CLA PROJ. #: 1608	PROJECT: Cambridge St Mixed-Use 1055-1065 Cambridge St. Cambridge, MA, 02139	Owner: 418 Media Real Estate, Inc.
	DRAWN BY: EG		
	DWG REF: LG		
	SCALE: 1"=20'-0"	SHEET TITLE: STREET LEVEL PLANTING PLAN	
	DATE: 07.03.2018		



NARROW PLANTER, TYP.

GLASS RAILING

PLANTER WITH SMALL TREES AND PERENNIALS

OUTDOOR FURNISHINGS

DECK OR PAVERS

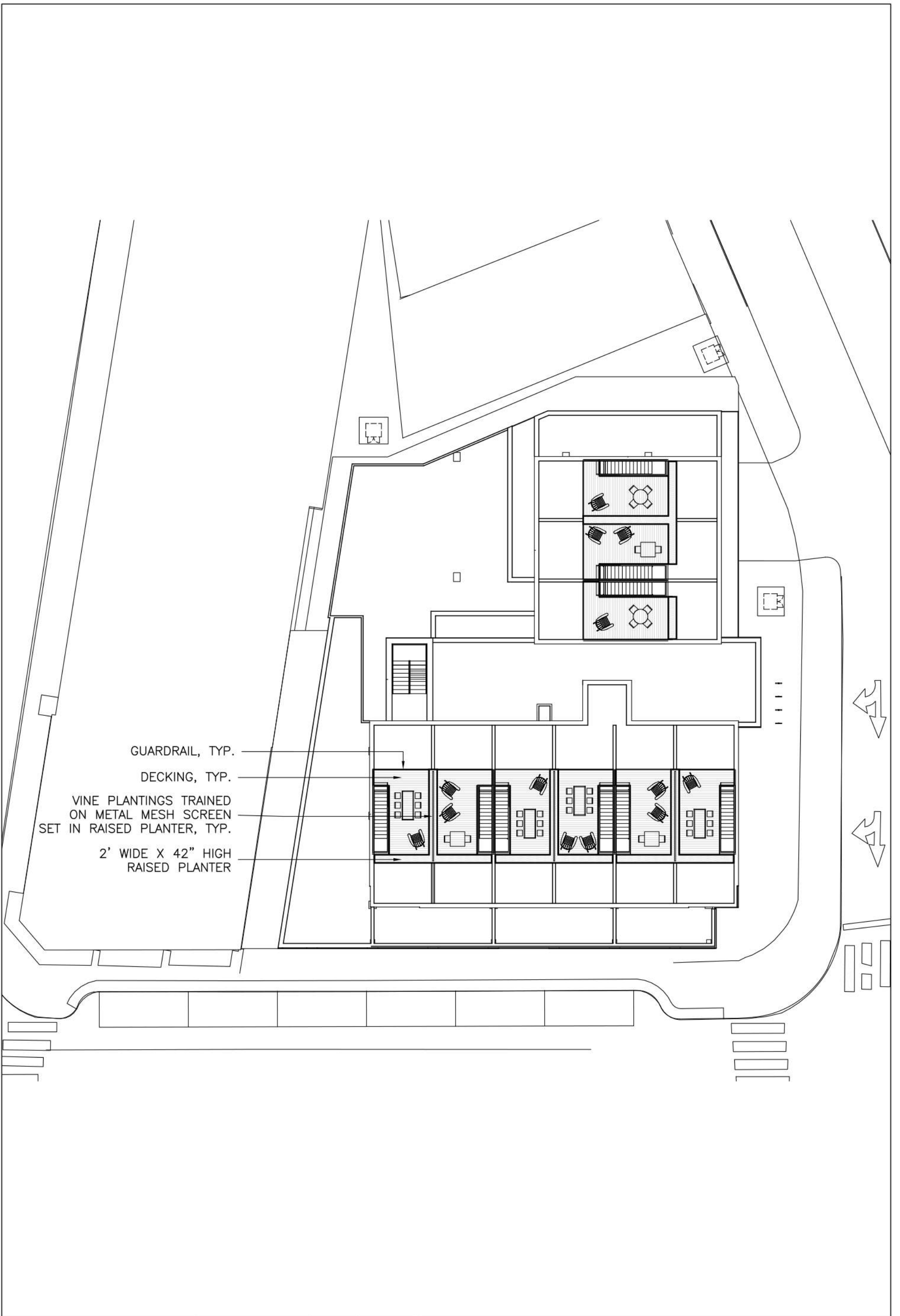
PLANTERS WITH SMALL TREES, TYP.

PAVERS

PRIVATE

PRIVATE

G2 COLLABORATIVE LANDSCAPE ARCHITECTURE 282 Moody Street, Suite 308 Waltham, MA 02543 781.373.5945	G2CLA PROJ. #: 1608	PROJECT: Cambridge St Mixed-Use 1055-1065 Cambridge St. Cambridge, MA, 02139	Owner: 418 Media Real Estate, Inc.
	DRAWN BY: EG		
	DWG REF: LG		
	SCALE: 1"=10'-0"	SHEET TITLE: COMMON SPACE	
	DATE: 07.03.2018		



G2 COLLABORATIVE
LANDSCAPE ARCHITECTURE

282 Moody Street, Suite 308
Waltham, MA 02543
781.373.5945

G2CLA PROJ. #: 1608

DRAWN BY: EG

DWG REF: LG

SCALE: 1"=20'-0"

DATE: 07.03.2018

PROJECT: Cambridge St Mixed-Use
1055-1065 Cambridge St.
Cambridge, MA, 02139

SHEET TITLE:
ROOF TERRACE

Owner: 418 Media Real Estate, Inc.



Amelanchier x grandifolia



Carpinus Betulus 'fastigiata'



Hydrangea quercifolia



Itea virginica 'Henry Garnet'



Schizachyrium scoparium 'Prairie Blues'



Perovskia atriplicifolia



Echinacea paradoxa

G2 COLLABORATIVE
LANDSCAPE ARCHITECTURE

282 Moody Street, Suite 308
Waltham, MA 02543
781.373.5945

G2CLA PROJ. #: 1608

DRAWN BY: EG

DWG REF: LG

SCALE: NTS

DATE: 07.03.2018

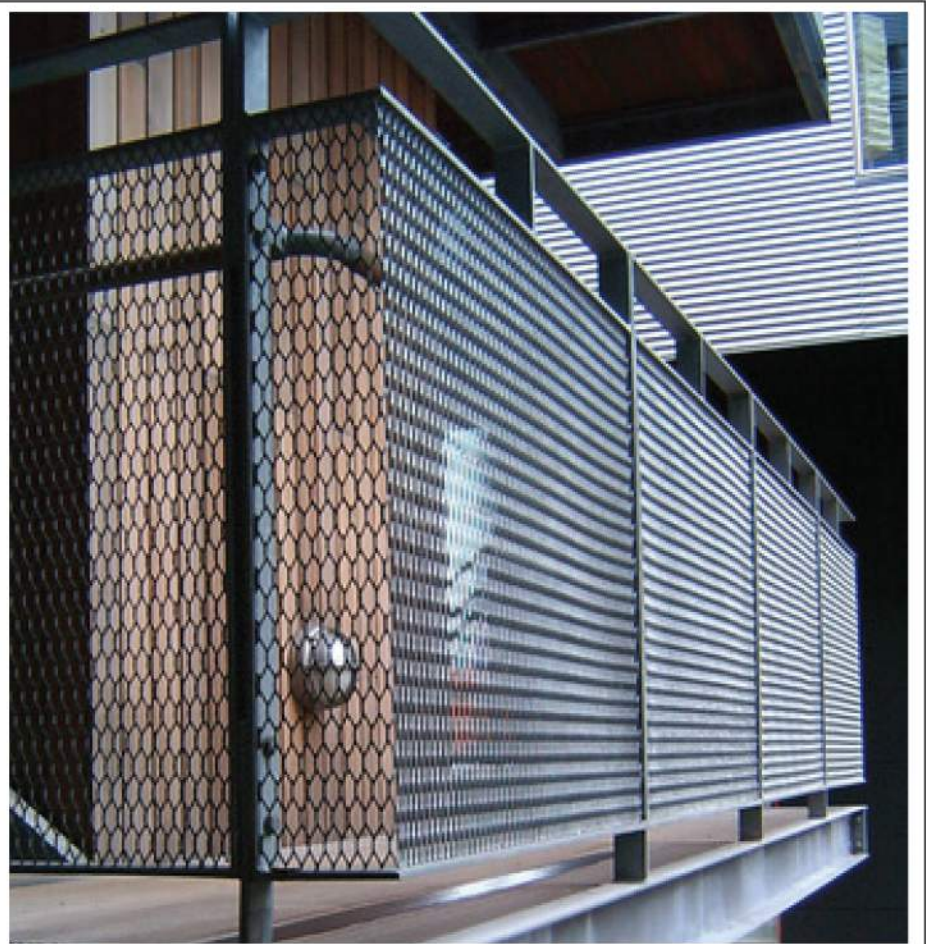
PROJECT: Cambridge St Mixed-Use
1055-1065 Cambridge St.
Cambridge, MA, 02139

Owner: 418 Media Real Estate, Inc.

SHEET TITLE:
PLANTING AND MATERIALS PLAN



Outdoor Planters



Metal Fencing between planters



Concrete Unit Pavers at Cafe



Bench at Entry

G2 COLLABORATIVE
LANDSCAPE ARCHITECTURE

282 Moody Street, Suite 308
Waltham, MA 02543
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G2CLA PROJ. #: 1608

DRAWN BY: EG

DWG REF: LG

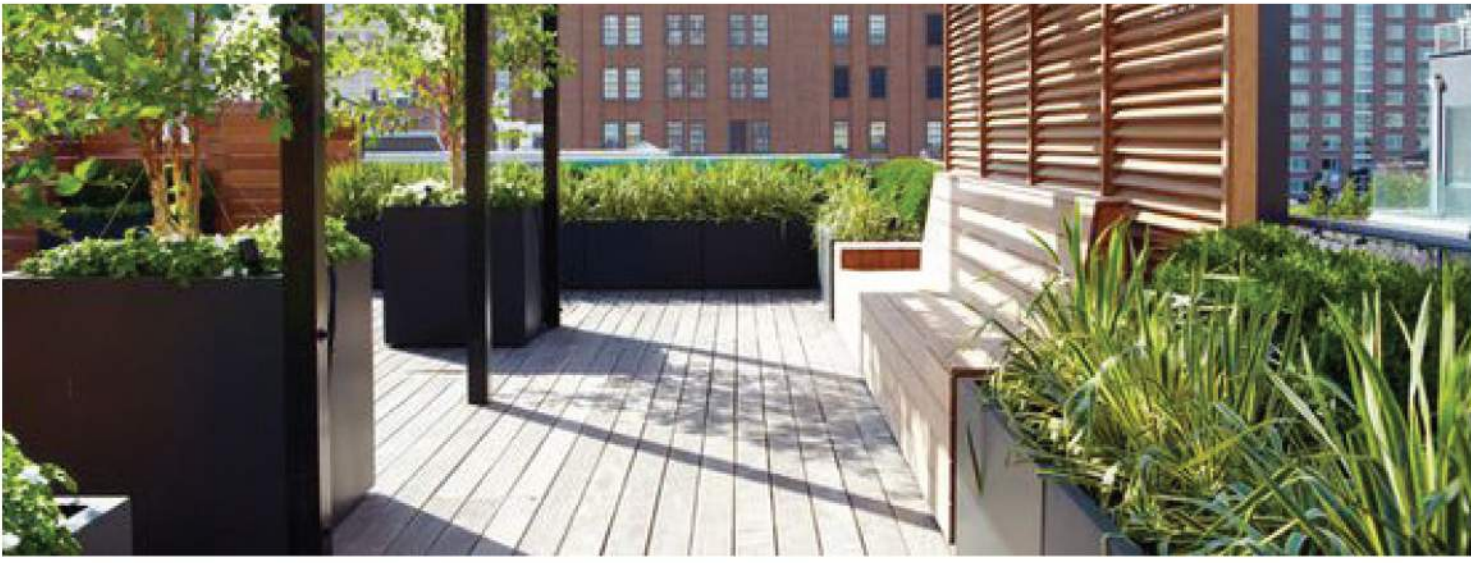
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DATE: 07.03.2018

PROJECT: Cambridge St Mixed-Use
1055-1065 Cambridge St.
Cambridge, MA, 02139

Owner: 418 Media Real Estate, Inc.

SHEET TITLE:
PLANTING AND MATERIALS PLAN 2



Second floor decking, site furnishings, trees and shrubs in planters



Third floor decking, planters with screening vines and planting.

G2 COLLABORATIVE
LANDSCAPE ARCHITECTURE

282 Moody Street, Suite 308
Waltham, MA 02543
781.373.5945

G2CLA PROJ. #: 1608

DRAWN BY: EG

DWG REF: LG

SCALE: NTS

DATE: 07.03.2018

PROJECT: Cambridge St Mixed-Use
1055-1065 Cambridge St.
Cambridge, MA, 02139

Owner: 418 Media Real Estate, Inc.

SHEET TITLE:
PLANTING AND MATERIALS PLAN 3