



**PLANNING BOARD
34-40 HAMPSHIRE STREET**

12.16.19

34-40 HAMPSHIRE STREET LLC

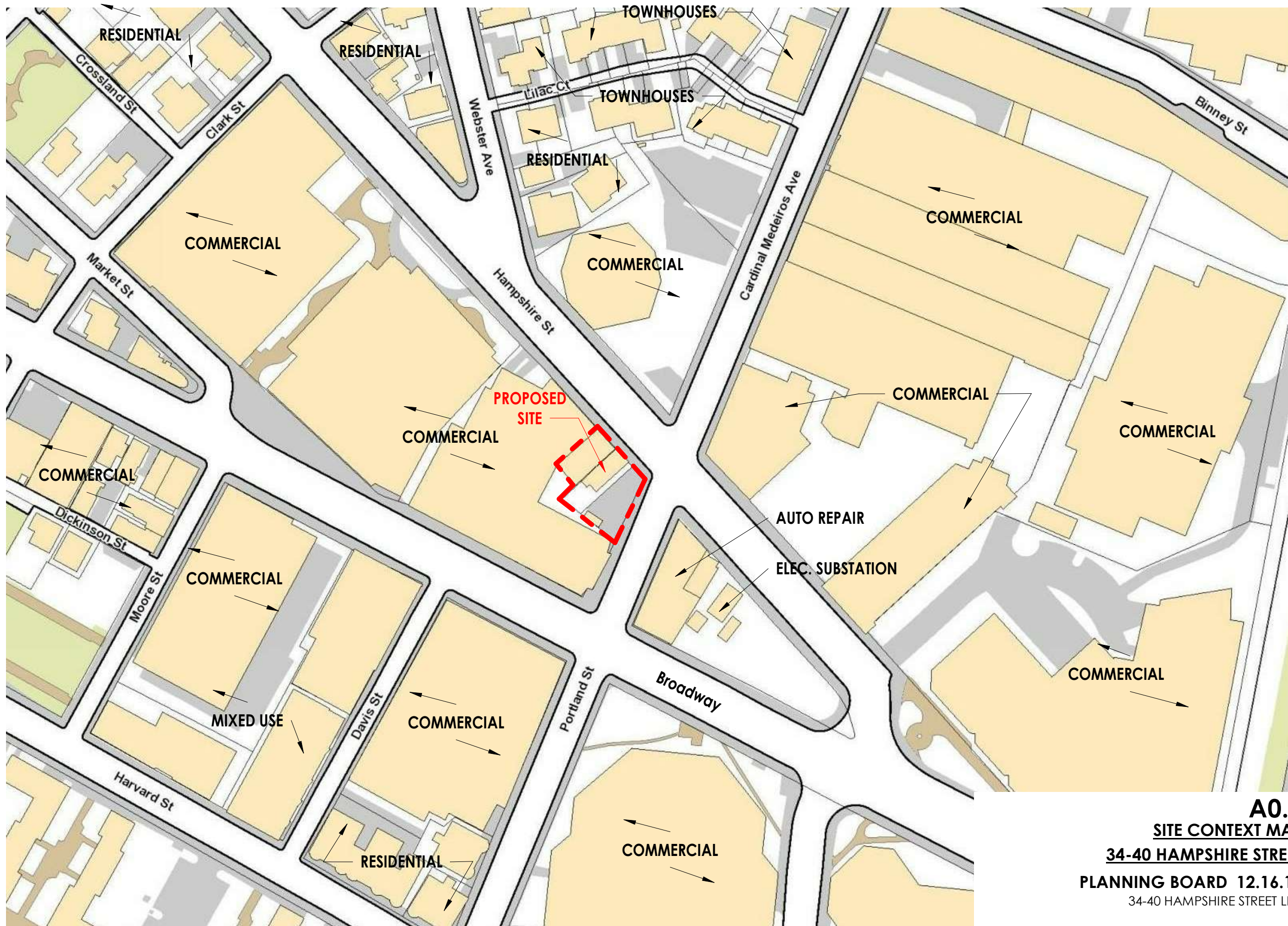
Owner:
36-40 Hampshire St, LLC
24 Fairmont St.
Cambridge, MA 02139

Architect:
Boyes-Watson Architects
30 Bow St.
Somerville, MA 02143
617.629.8200


Structural:
Michael Waterman, P.E.
2A Austin Kelly Lane
Southborough, MA 01772
608.229.3100

Geotechnical Engineer:
Chris Erickson
McPhail Associates, LLC
2269 Mass. Ave.
Cambridge, Ma 02140
617.868.1420

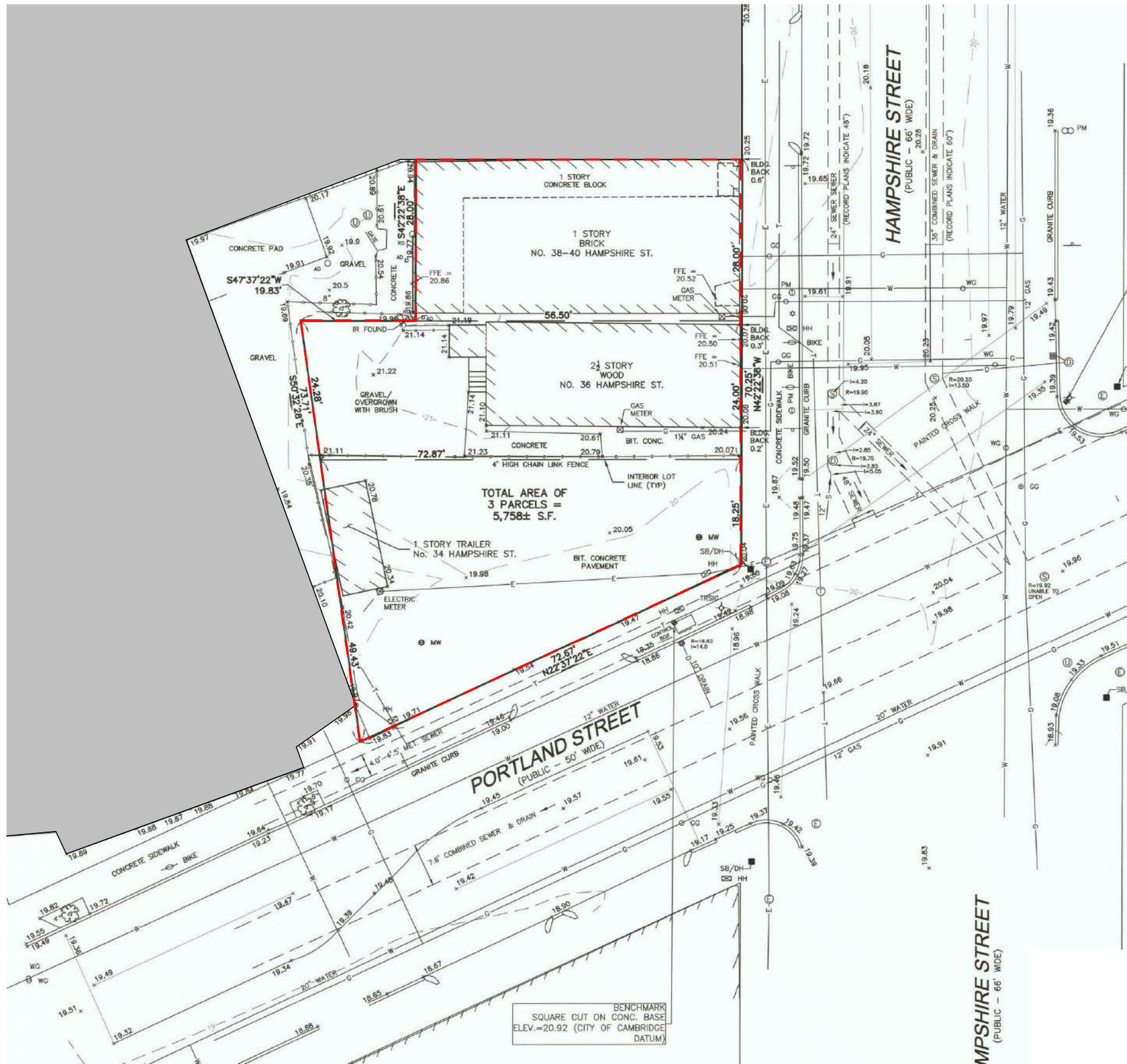
Civil Engineer:
Corey Brodeur
Lenard Engineering, Inc.
15 Midstate Drive, Suite 206
Auburn, Ma 01501
508.721.7600



A0.1
SITE CONTEXT MAP
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
 34-40 HAMPSHIRE STREET LLC



BOYES-WATSON ARCHITECTS
 thirty bow street
 somerville, ma 02143
 architects@boyeswatson.com
 (617) 629.8200



Site Survey
1" = 20'-0"

A0.2
SITE SURVEY
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
34-40 HAMPSHIRE STREET LLC

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A0.3
EXISTING CONDITIONS PHOTOS

34-40 HAMPSHIRE STREET

PLANNING BOARD 12.16.19

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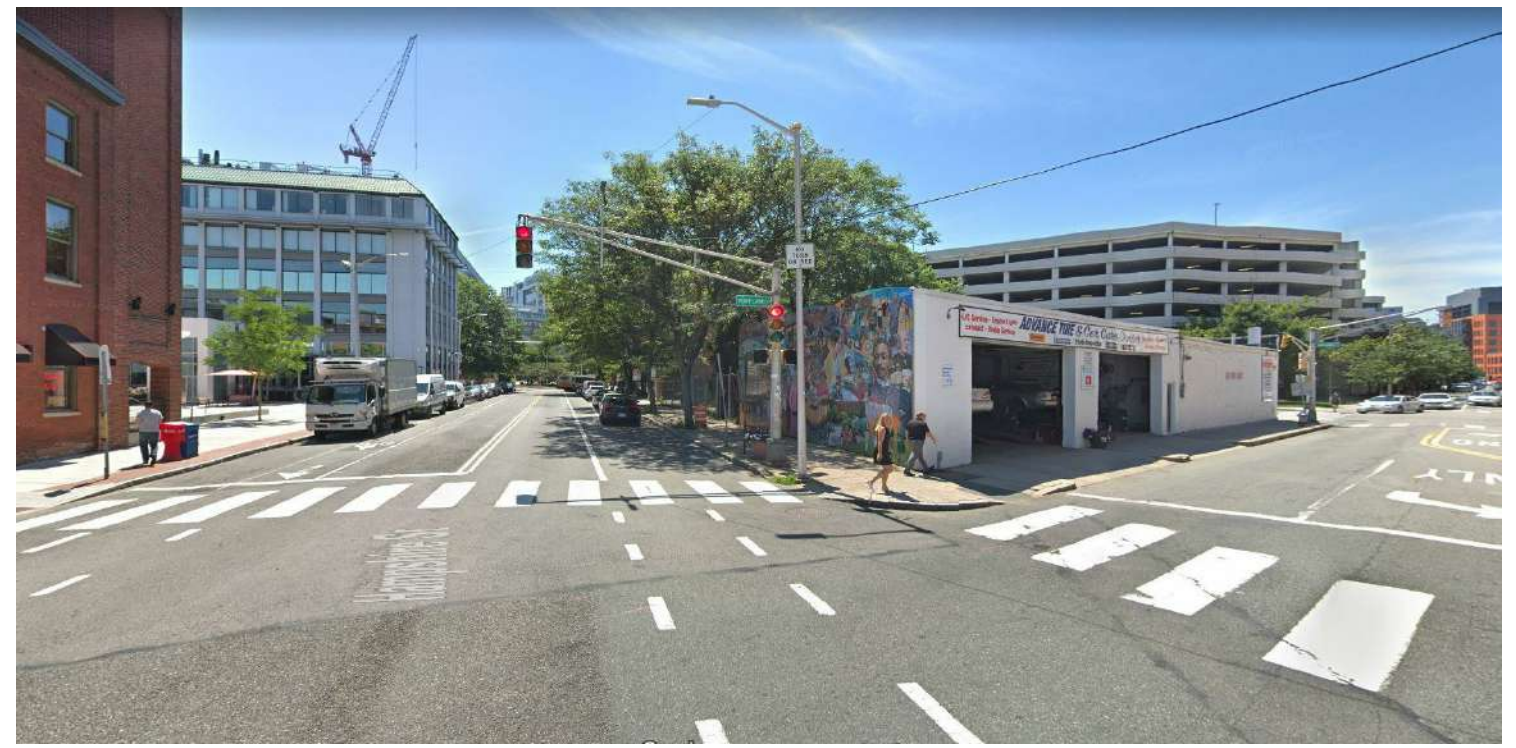


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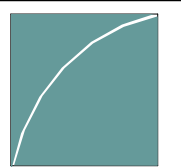
A0.4
EXISTING CONDITIONS PHOTOS
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
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A0.5
SITE CONTEXT PHOTOS
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
 34-40 HAMPSHIRE STREET LLC



BOYES-WATSON
ARCHITECTS
 thirty bow street
 somerville, ma 02143
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PROJECT SUMMARY:

The proponent is seeking Special Permits for the construction of a 68 room hotel at 36-40 Hampshire Street. The site is at the intersection of Hampshire and Portland Street in the IB Zoning district in Kendall Square.

The project is a six story building comprising 23,030 gsf that complies with the allowable gross floor area and the required setbacks. Special Permits are required for the following elements of the proposal:

1. Hotel use in the IB zone
2. Modification of the Bicycle Parking requirements to locate Short Term Parking within 50' of main entrance.
3. Reduction in the amount of parking required
4. Exemption of gross floor area for partial use of some basement spaces for accessory hotel support uses.
5. Access to Parking Spaces requires Valet.

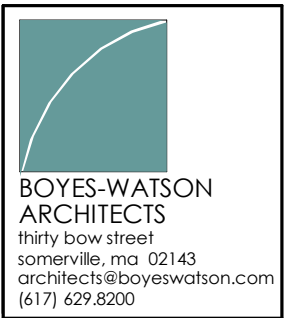
DIMENSIONAL FORM

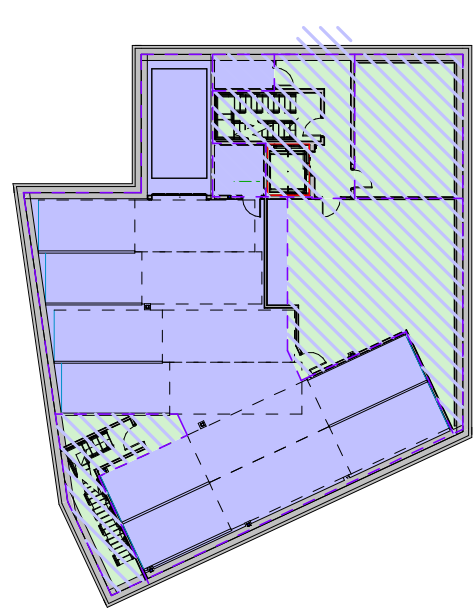
LOCATION: 36 HAMPSHIRE ST. ZONE: I-B
REQUESTED OCCUPANCY: RESIDENTIAL - HOTEL
PRESENT USE/OCCUPANCY: COMMERCIAL

	EXISTING	PROPOSED	ORDINANCE	
LOT SIZE:	5758	NO CHANGE	5000	Complies
GROSS FLOOR AREA	0	23,030	23,032	Complies
FLOOR AREA RATIO	0	4.0	4.0	Complies
NO. OF D.U.	0	N/A	N/A	-
LOT AREA PER DWELLING UNIT	N/A	N/A	N/A	N/A
LOT WIDTH:	72.67'	Unchanged	50	Complies
BUILDING HEIGHT	N/A	92'	120'	Complies
BUILDING LENGTH	N/A	70'	N/A	-
BUILDING WIDTH	N/A	72'	N/A	-
DISTANCE BETWEEN STRUCTURES	N/A	N/A	N/A	Complies
TOTAL OPEN SPACE	N/A	N/A	N/A	Complies
PERCENTAGE LOT AREA	N/A	N/A	N/A	Complies
PRIVATE OPEN SPACE	N/A	N/A	N/A	Complies
PERMEABLE OPEN SPACE	N/A	N/A	N/A	Complies
NO. OF PARKING SPACES:	2	8/16*	34	*SP Req.
BICYCLE PARKING:				
LONG TERM:	N/A	6	2	Complies
SHORT TERM:	N/A	10	4	*SP Req.
LOADING AREAS:	N/A	1	1	Complies

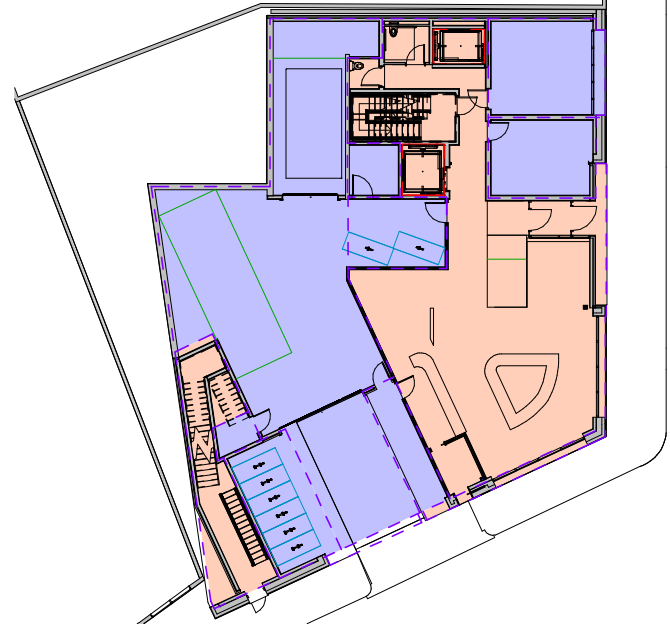
***16 using AutoStackers.**

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DIMENSIONAL FORM
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
 34-40 HAMPSHIRE STREET LLC

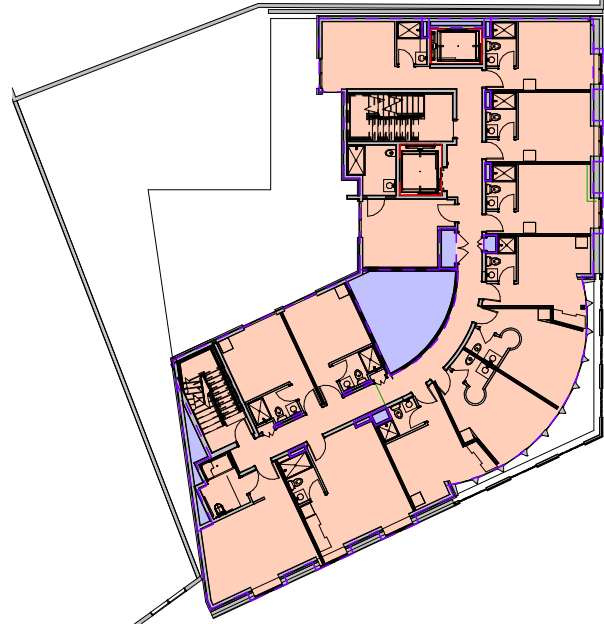




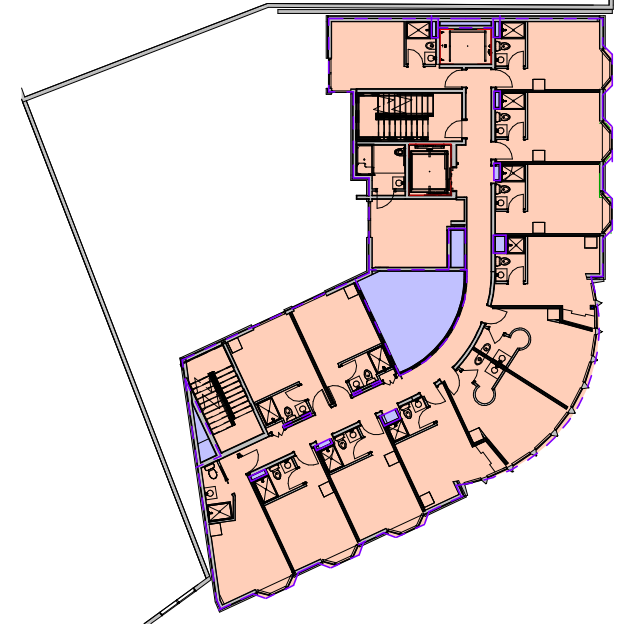
BASEMENT/GARAGE LEVEL



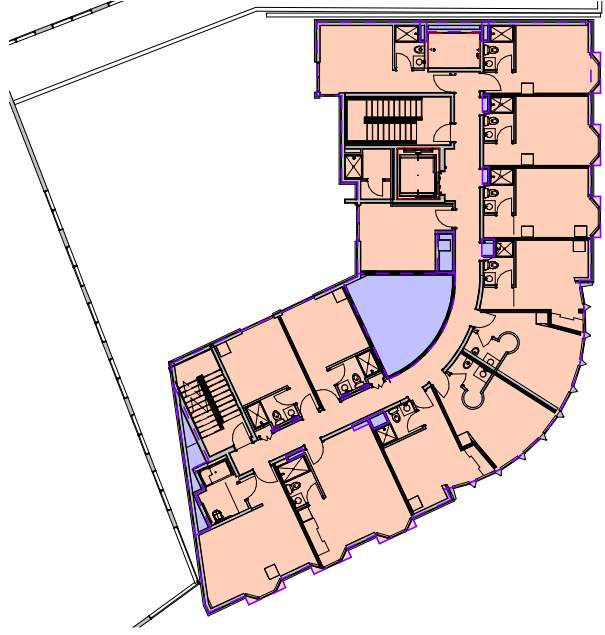
1ST FLOOR



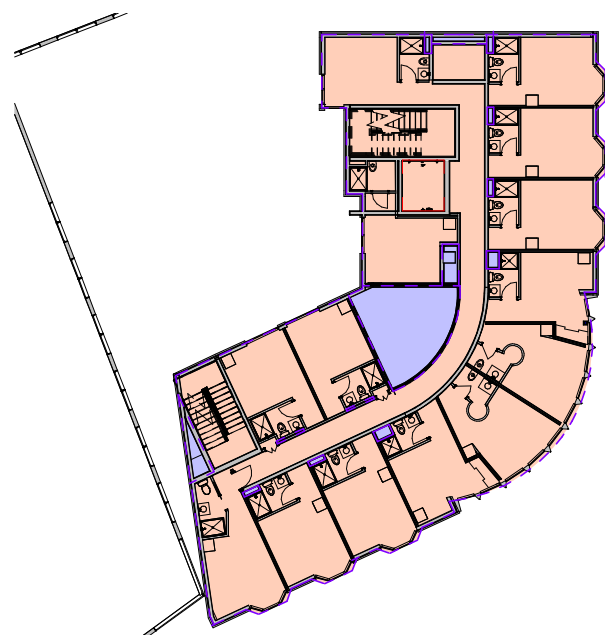
2ND FLOOR



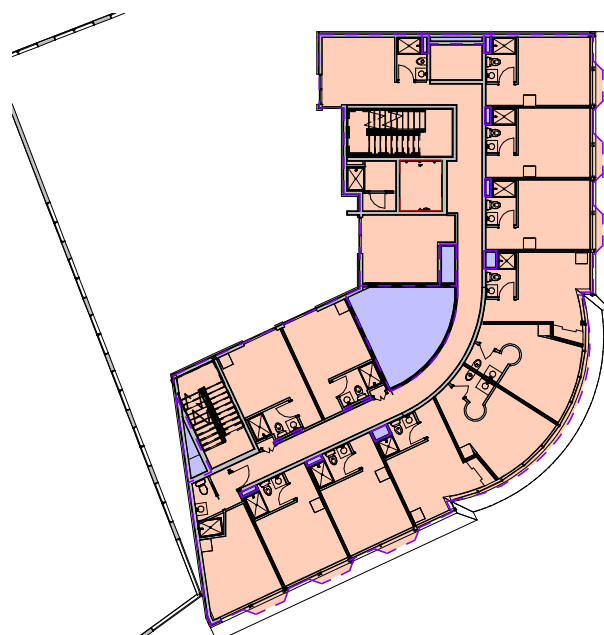
3RD FLOOR



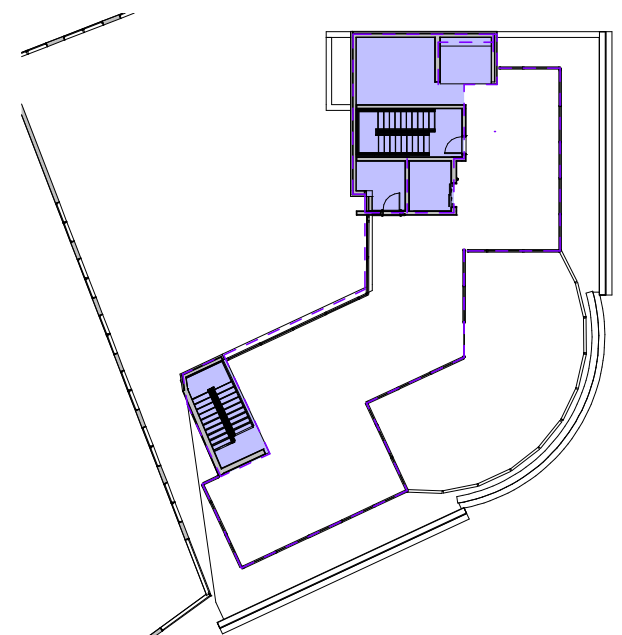
4TH FLOOR



5TH FLOOR



6TH FLOOR



ROOF PLAN

ZONING - GROSS FLOOR AREA

BASEMENT	0*
1ST FLOOR	2,483
2ND FLOOR	4,080
3RD FLOOR	4,129
4TH FLOOR	4,080
5TH FLOOR	4,129
6TH FLOOR	4,129

TOTAL: 23,030
*Relief Requested

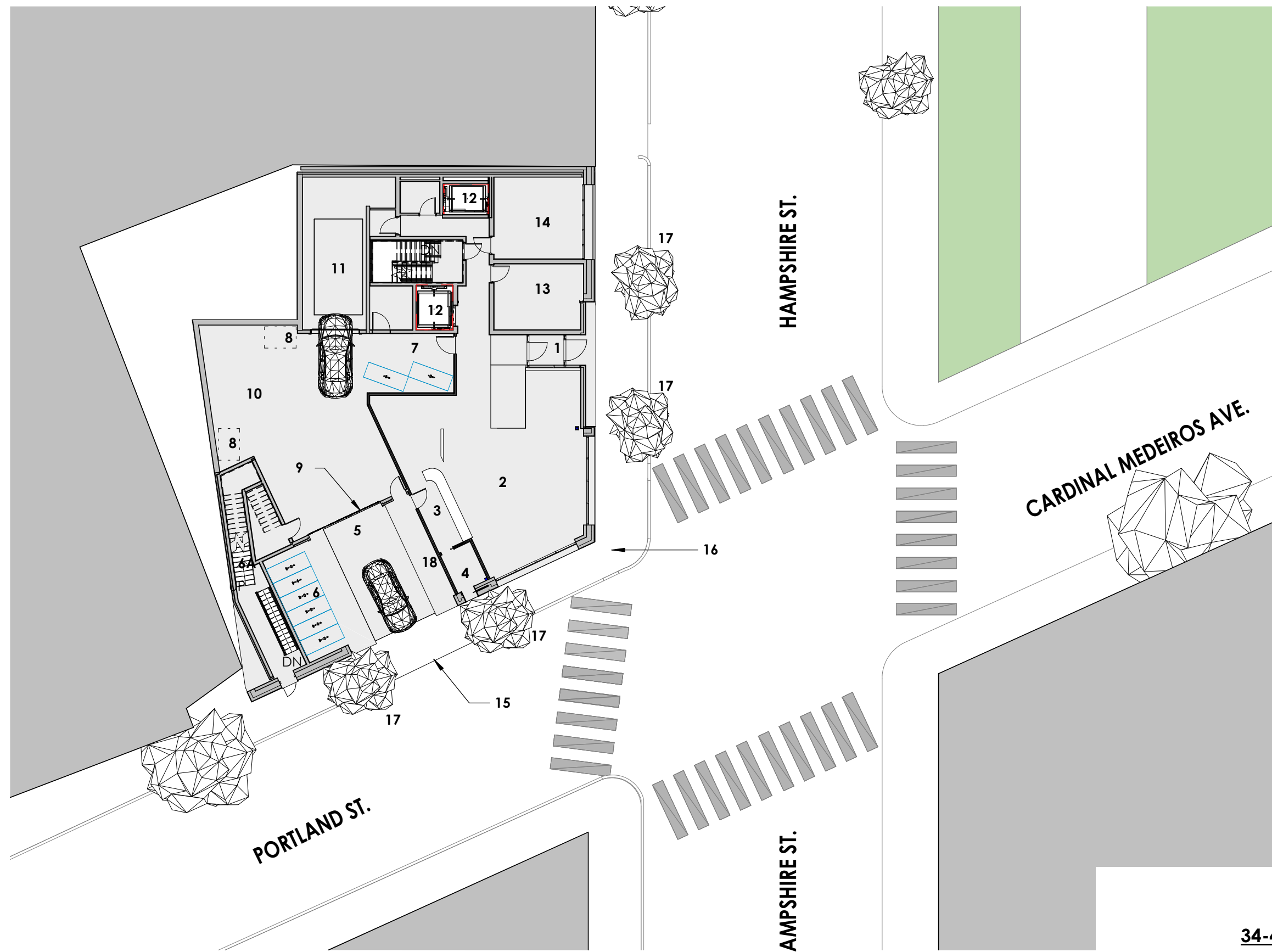
Legend

- Gross Floor Area (GFA)
- Non GFA
- Non GFA (Relief Requested)

A0.7
ZONING - AREA PLANS
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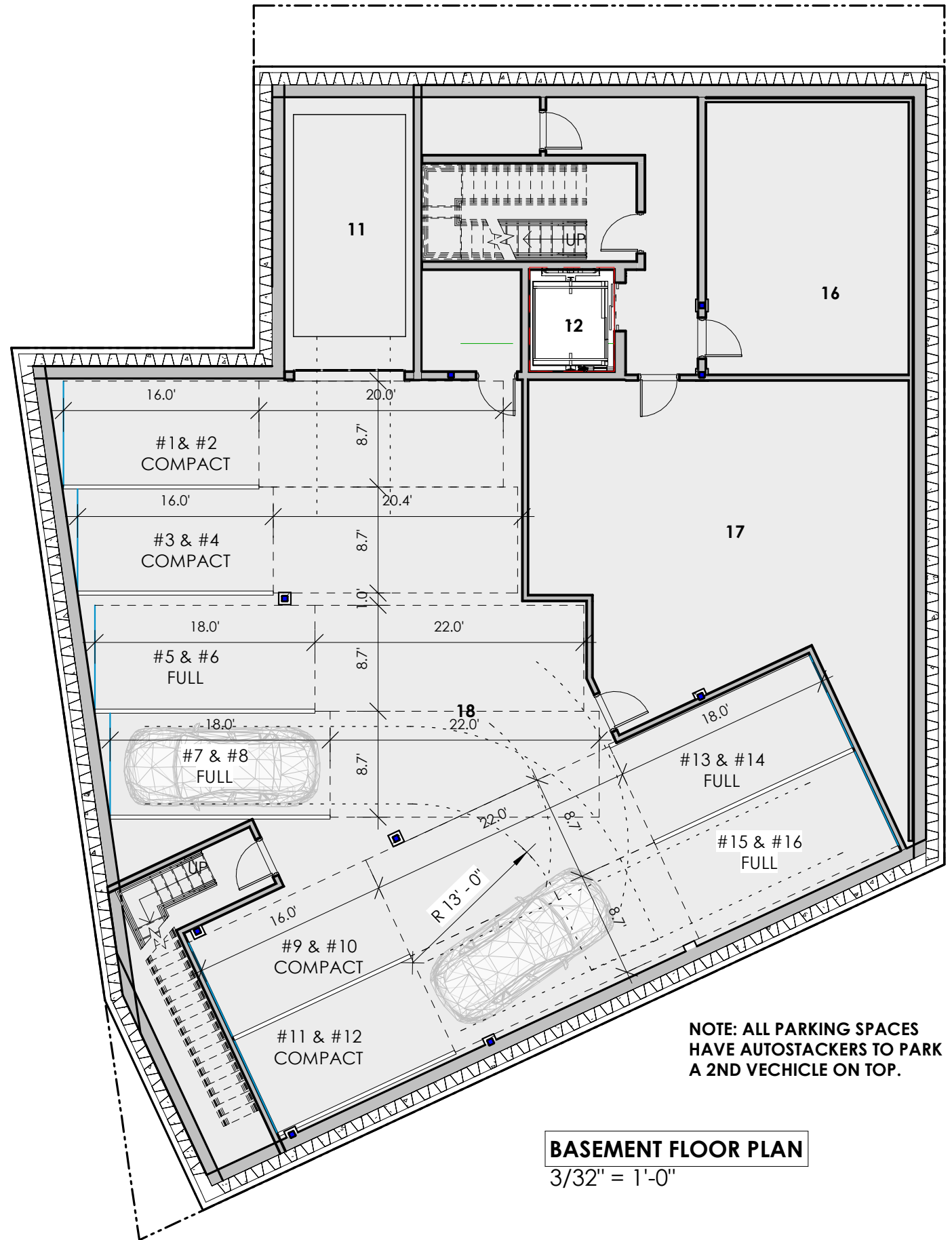
- LEGEND**
- 1 MAIN ENTRY
 - 2 LOBBY/BAR
 - 3 RECEPTION
 - 4 MANAGER'S OFFICE
 - 5 BICYCLE FORECOURT
 - 6 SHORT TERM BICYCLE PARKING
 - 7 LONG TERM BICYCLE PARKING
 - 8 TRASH & RECYCLING
 - 9 OVERHEAD DOOR
 - 10 LOADING
 - 11 CAR ELEVATOR
 - 12 ELEVATOR
 - 13 ELEC SWITCH RM
 - 14 TRANSFORMER
 - 15 EXISTING CURB CUT
 - 16 RECONSTRUCTED SIDEWALK
 - 17 (4) NEW STREET TREES "RED MAPLE"
 - 18 FUTURE SCOOTER PARKING

SITE PLAN
1" = 20'-0"

A1.1
PROPOSED SITE PLAN
34-40 HAMPSHIRE STREET
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BASEMENT FLOOR PLAN
 3/32" = 1'-0"

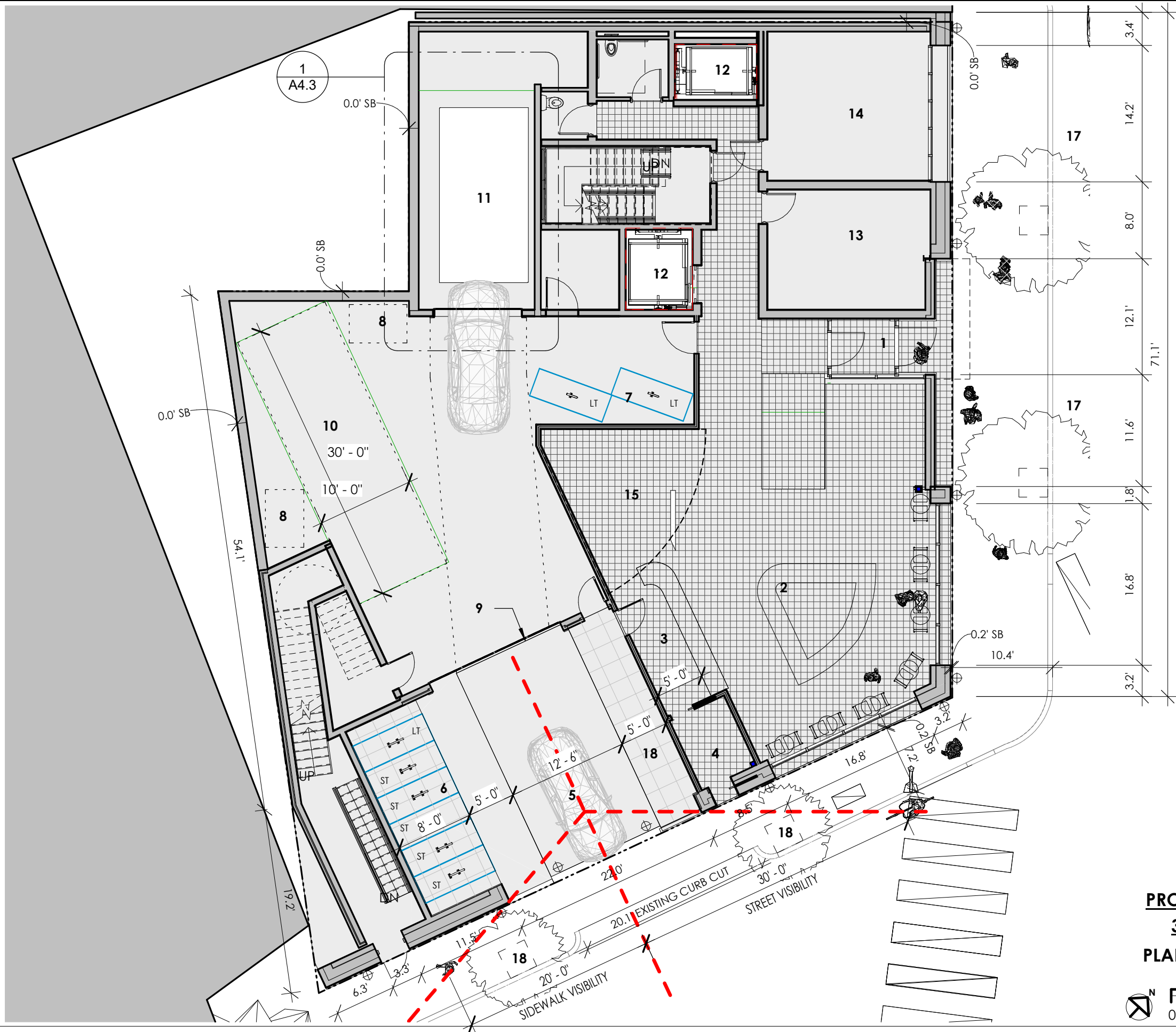
LEGEND

- 1 ENTRY
- 2 LOBBY/BAR
- 3 RECEPTION
- 4 MANAGER OFFICE
- 5 BICYCLE FORECOURT
- 6 SHORT TERM BICYCLE PARKING
- 7 LONG TERM BICYCLE PARKING
- 8 FUTURE SCOOTER PARKING
- 9 OVERHEAD DOOR
- 10 LOADING
- 11 CAR ELEVATOR
- 12 ELEVATOR
- 13 ELEC SWITCH RM
- 14 TRANSFORMER
- 15 ATRIUM
- 16 EXERCISE
- 17 HOTEL STORAGE/ BACK OF HOUSE PARKING
- 18

A1.2
PROPOSED BASEMENT FLOOR PLAN
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LEGEND

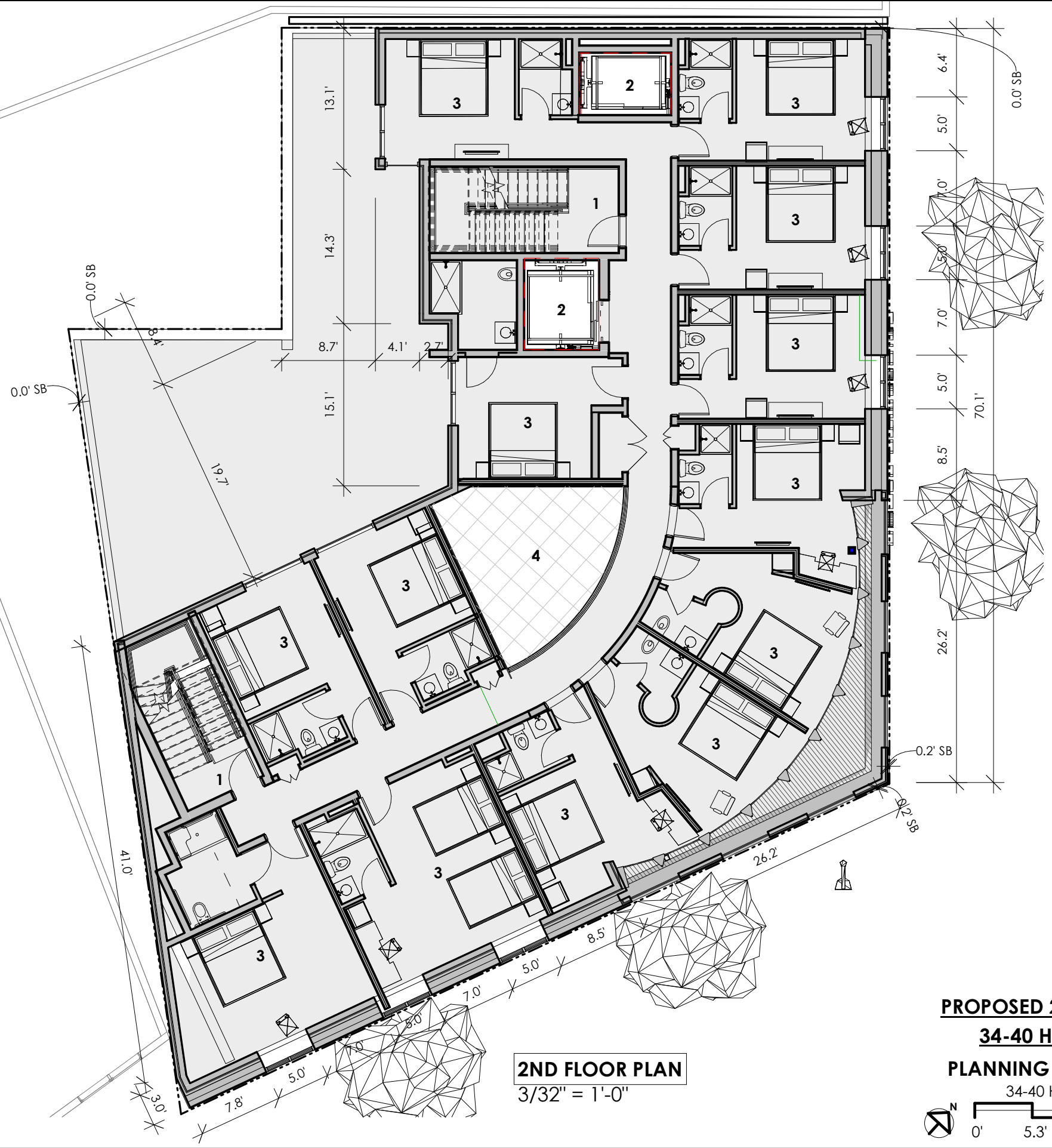
- 1 MAIN ENTRY
- 2 LOBBY/BAR
- 3 RECEPTION
- 4 MANAGER'S OFFICE
- 5 BICYCLE FORECOURT
- 6 SHORT TERM BICYCLE PARKING
- 7 LONG TERM BICYCLE PARKING
- 8 TRASH & RECYCLING
- 9 OVERHEAD DOOR
- 10 LOADING
- 11 CAR ELEVATOR
- 12 ELEVATOR
- 13 ELEC SWITCH RM
- 14 TRANSFORMER
- 15 EXISTING CURB CUT
- 16 RECONSTRUCTED SIDEWALK
- 17 (4) NEW STREET TREES "RED MAPLE"
- 18 FUTURE SCOOTER PARKING

1ST FLOOR PLAN
3/32" = 1'-0"

A1.3
PROPOSED 1ST FLOOR PLAN
34-40 HAMPSHIRE STREET
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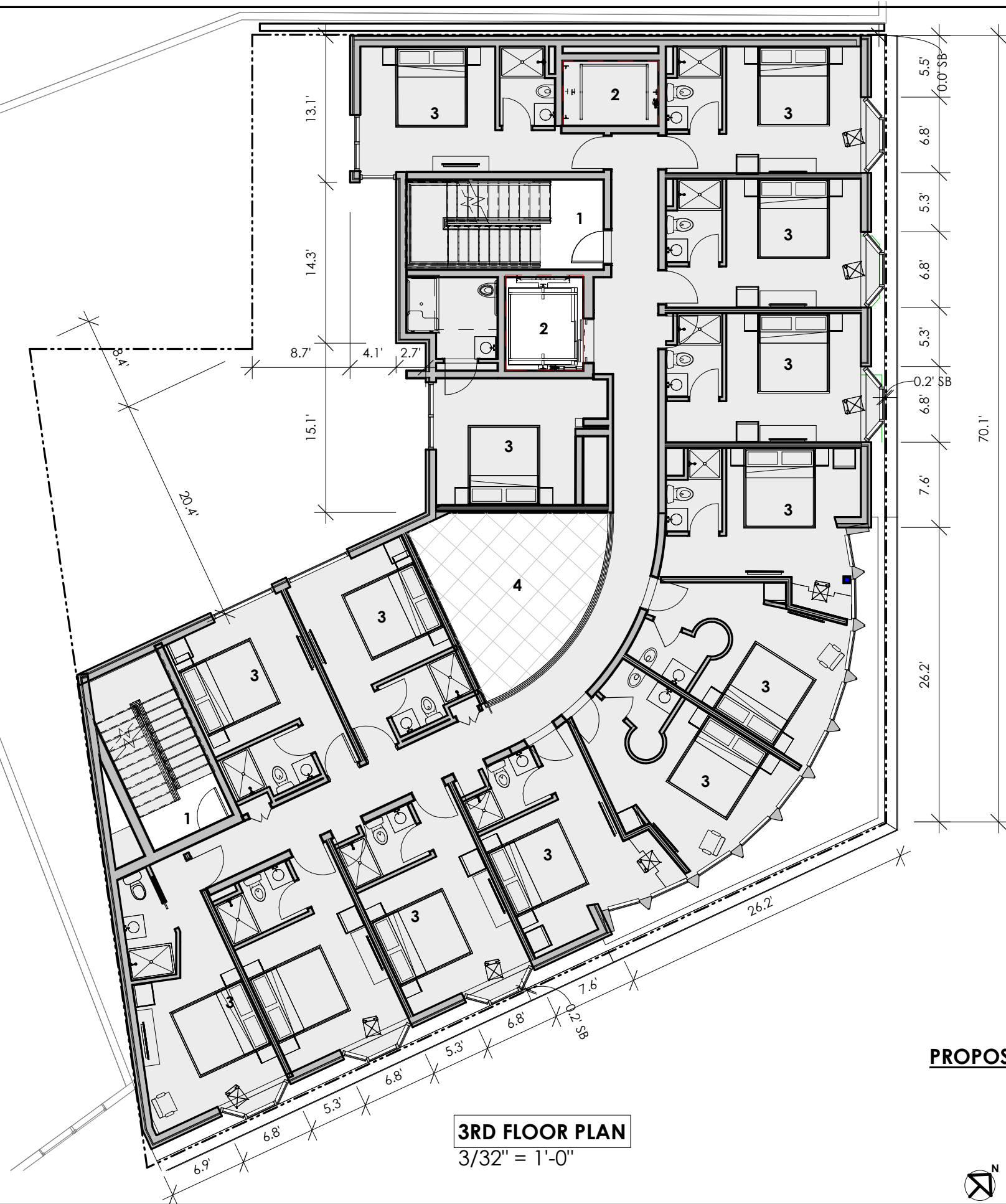
- LEGEND**
- 1 STAIRS
 - 2 ELEVATOR
 - 3 HOTEL ROOM
 - 4 ATRIUM (OPEN TO BELOW)

2ND FLOOR PLAN
3/32" = 1'-0"

A1.4
PROPOSED 2ND FLOOR PLAN
34-40 HAMPSHIRE STREET
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0' 5.3' 10.6' 21.3'

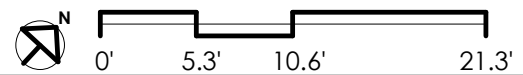
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3RD FLOOR PLAN
3/32" = 1'-0"

- LEGEND**
- 1 STAIRS
 - 2 ELEVATOR
 - 3 HOTEL ROOM
 - 4 ATRIUM (OPEN TO BELOW)

A1.5
PROPOSED 3RD FLOOR PLAN(TYP. 5TH)
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LEGEND

- 1 STAIRS
- 2 ELEVATOR
- 3 HOTEL ROOM
- 4 ATRIUM (OPEN TO BELOW)

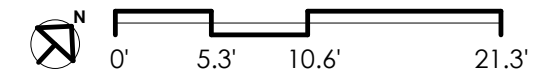
4TH FLOOR
3/32" = 1'-0"

A1.6
PROPOSED 4TH FLOOR PLAN (TYP. 6TH)

34-40 HAMPSHIRE STREET

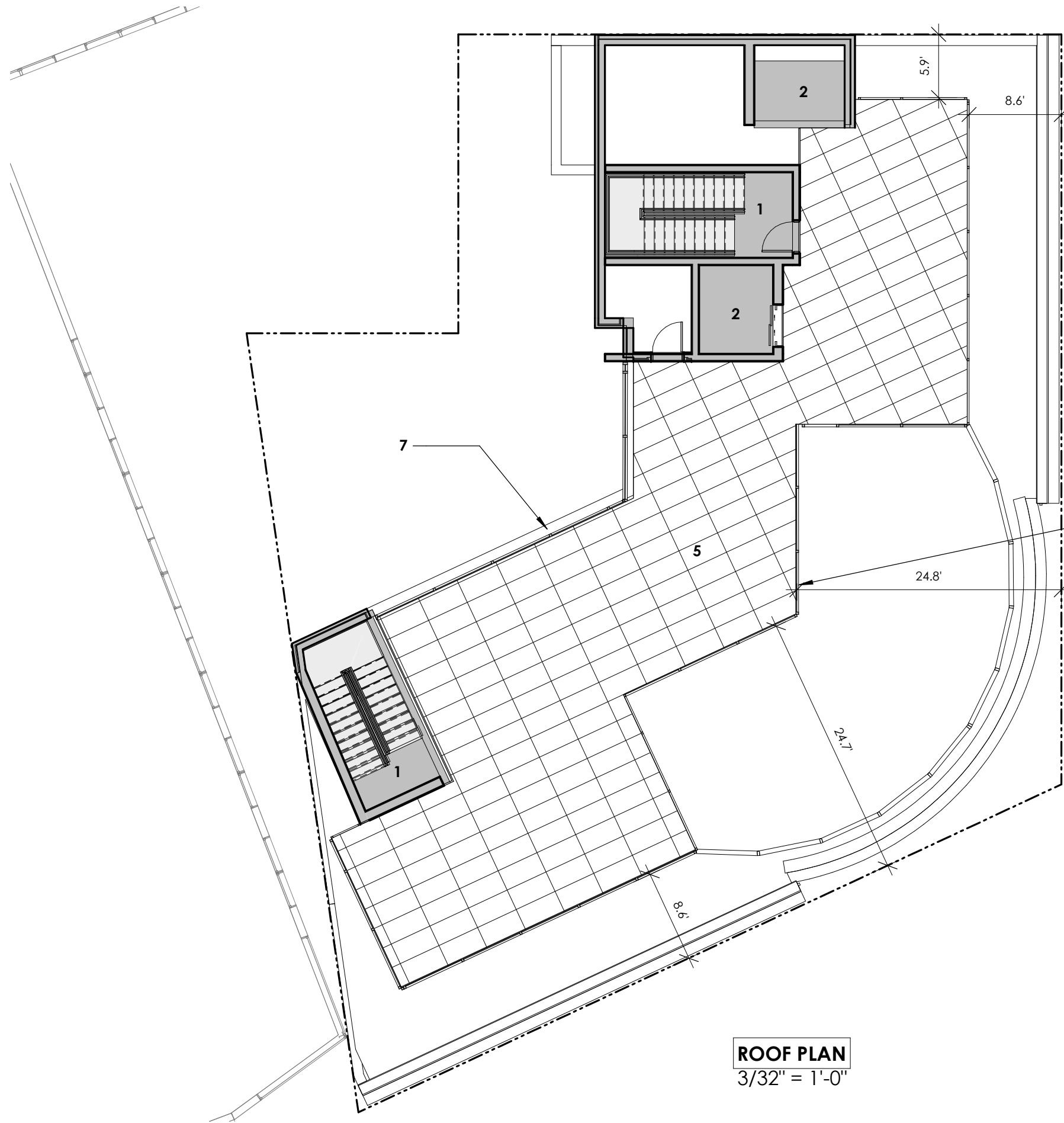
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LEGEND

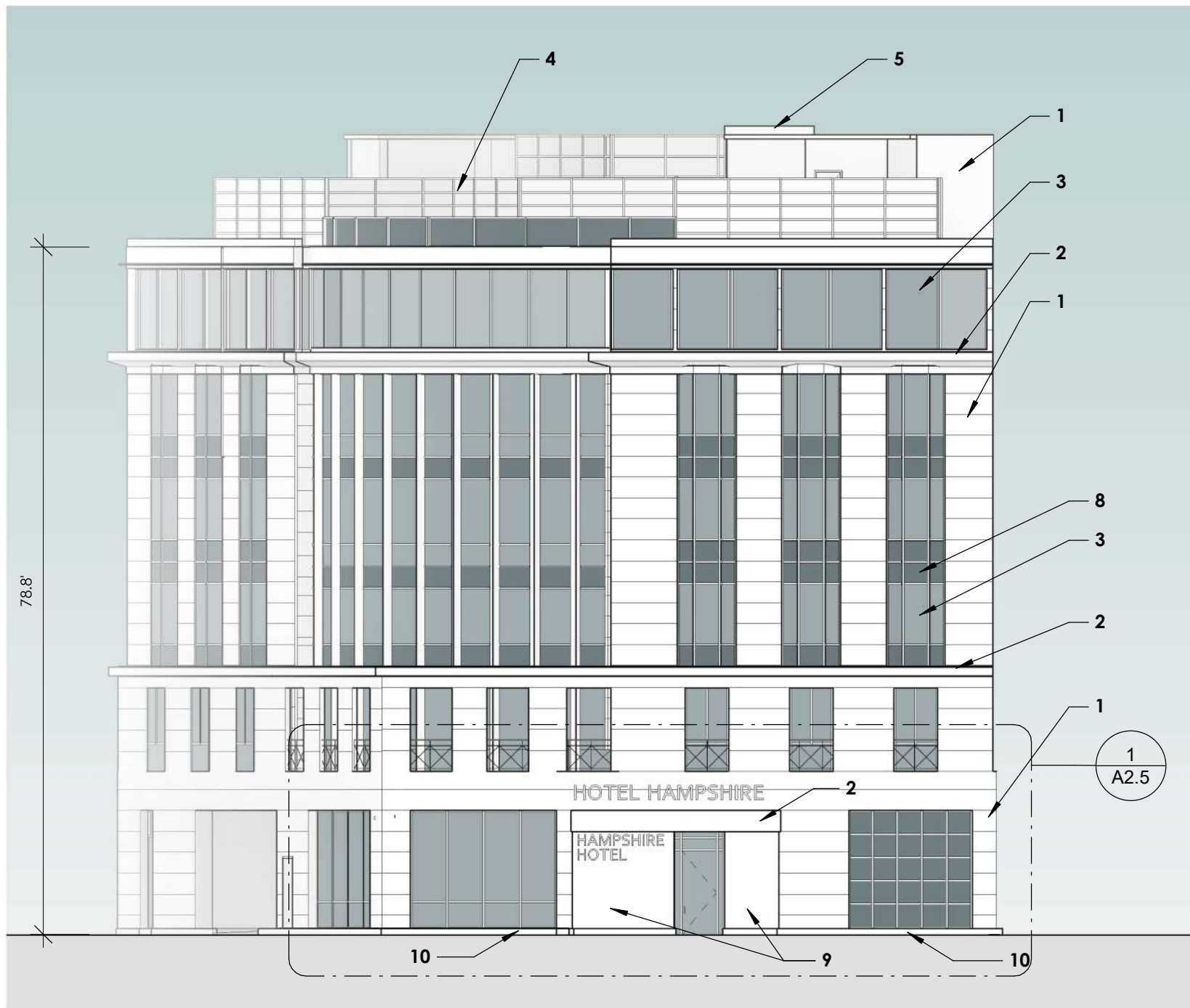
- 1 STAIRS
- 2 ELEVATOR
- 3 HOTEL ROOM
- 4 ATRIUM
- 5 UNROOFED MECHANICAL
- 6 8' HIGH MECH SCREEN
- 7 12' HIGH MECH SCREEN

ROOF PLAN
3/32" = 1'-0"

A1.7
PROPOSED ROOF PLAN
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HAMPSHIRE STREET ELEVATION - NORTHEAST
 1/16" = 1'-0"

LEGEND

- 1 PORCELAIN RAINSCREEN SYSTEM, 1/4" OPEN JOINT, 60" X 30" PANELS, PORCELANOSA CORE GREY OR SIM.
- 2 COPPER PANEL, COPING - PRE-PATINATED
- 3 ALUMINUM FRAME CURTAIN WALL/WINDOW SYSTEMS, FRAME COLOR - PATINA COPPER
- 4 MECHANICAL SCREEN - KYNAR FINISH LOUVER SYSTEM, WARM LIGHT GREY.
- 5 ELEVATOR OVERRUN
- 6 COMPOSITE CEMENTITIOUS PANEL RAINSCREEN SYSTEM - NICHHA INDUSTRIAL BLOCK OR SIM.
- 7 SEALED CONCRETE MASONRY UNITS - NATURAL
- 8 CERAMIC FRIT SPANDREL PANEL - WARM GREY S3
- 9 CLEAR COAT COPPER PANEL SIDING.
- 10 BLACK GRANITE PLINTH BLOCK

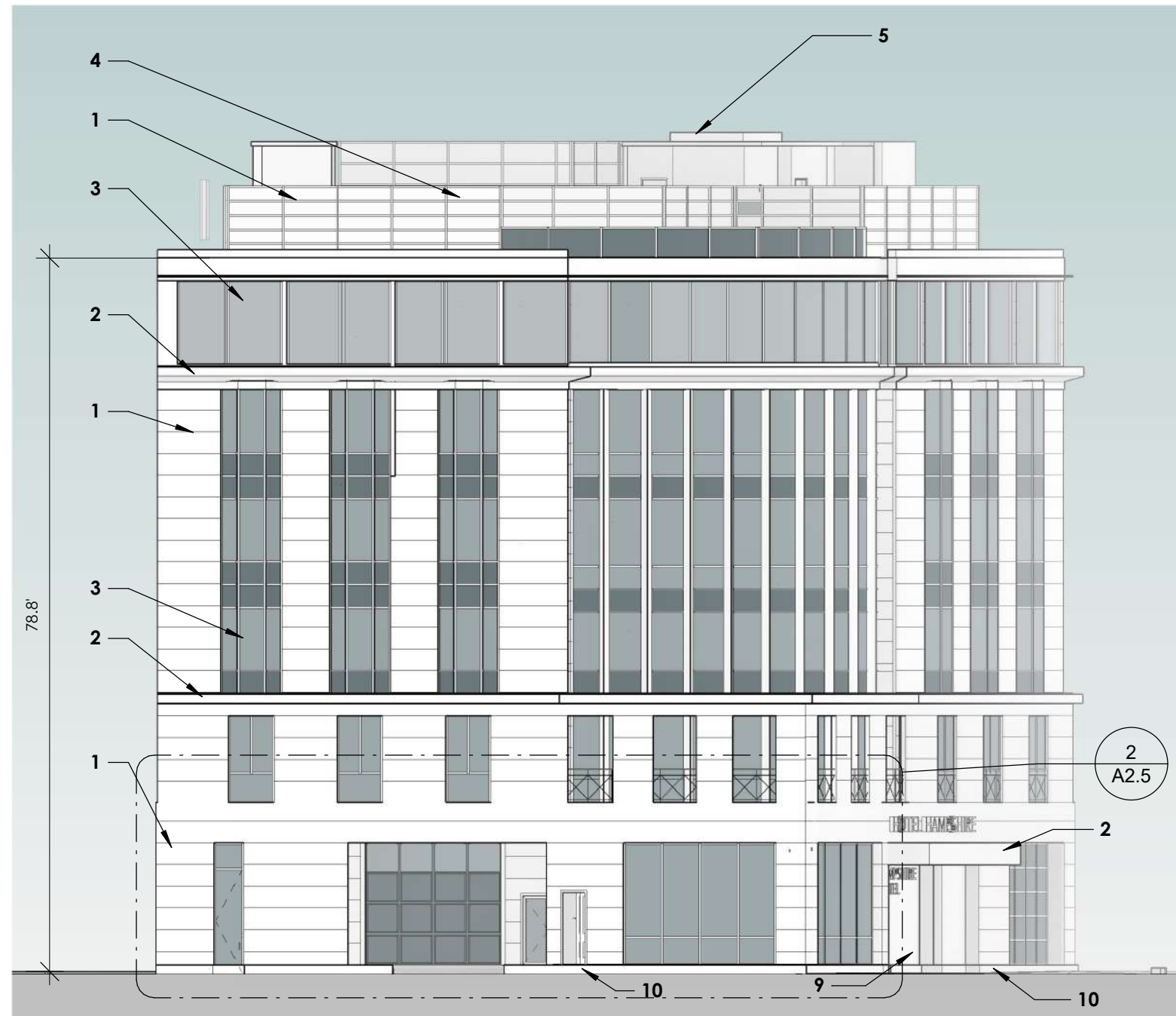
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	CURTAIN WALL	WINDOWS
SHGC:	>.57	>.57
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COATING:	LOW-E, ARG	
COLOR:	CLEAR	
SPANDREL:	CERAMIC FRIT (WARM GRAY)	

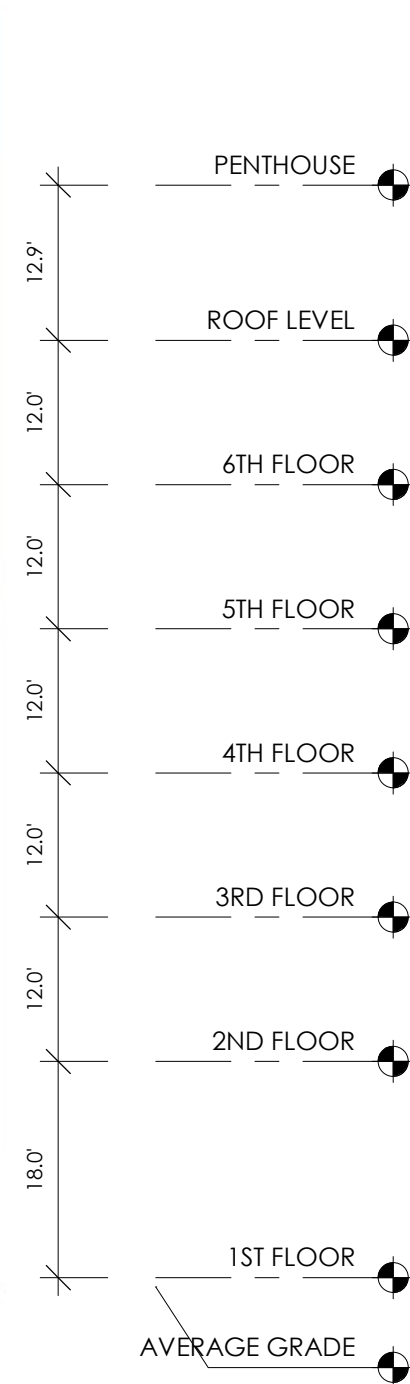
A2.1
PROPOSED ELEVATIONS
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
 34-40 HAMPSHIRE STREET LLC

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PORTLAND ST. ELEVATION - SOUTHEAST
1/16" = 1'-0"



LEGEND

- 1 PORCELAIN RAINSCREEN SYSTEM, 1/4" OPEN JOINT, 60" X 30" PANELS, PORCELANOSA CORE GREY OR SIM.
- 2 COPPER PANEL, COPING - PRE-PATINATED
- 3 ALUMINUM FRAME CURTAIN WALL/WINDOW SYSTEMS, FRAME COLOR - PATINA COPPER
- 4 MECHANICAL SCREEN - KYNAR FINISH LOUVER SYSTEM, WARM LIGHT GREY.
- 5 ELEVATOR OVERRUN
- 6 COMPOSITE CEMENTITIOUS PANEL RAINSCREEN SYSTEM - NICHHA INDUSTRIAL BLOCK OR SIM.
- 7 SEALED CONCRETE MASONRY UNITS - NATURAL
- 8 CERAMIC FRIT SPANDREL PANEL - WARM GREY S3
- 9 CLEAR COAT COPPER PANEL SIDING.
- 10 BLACK GRANITE PLINTH BLOCK

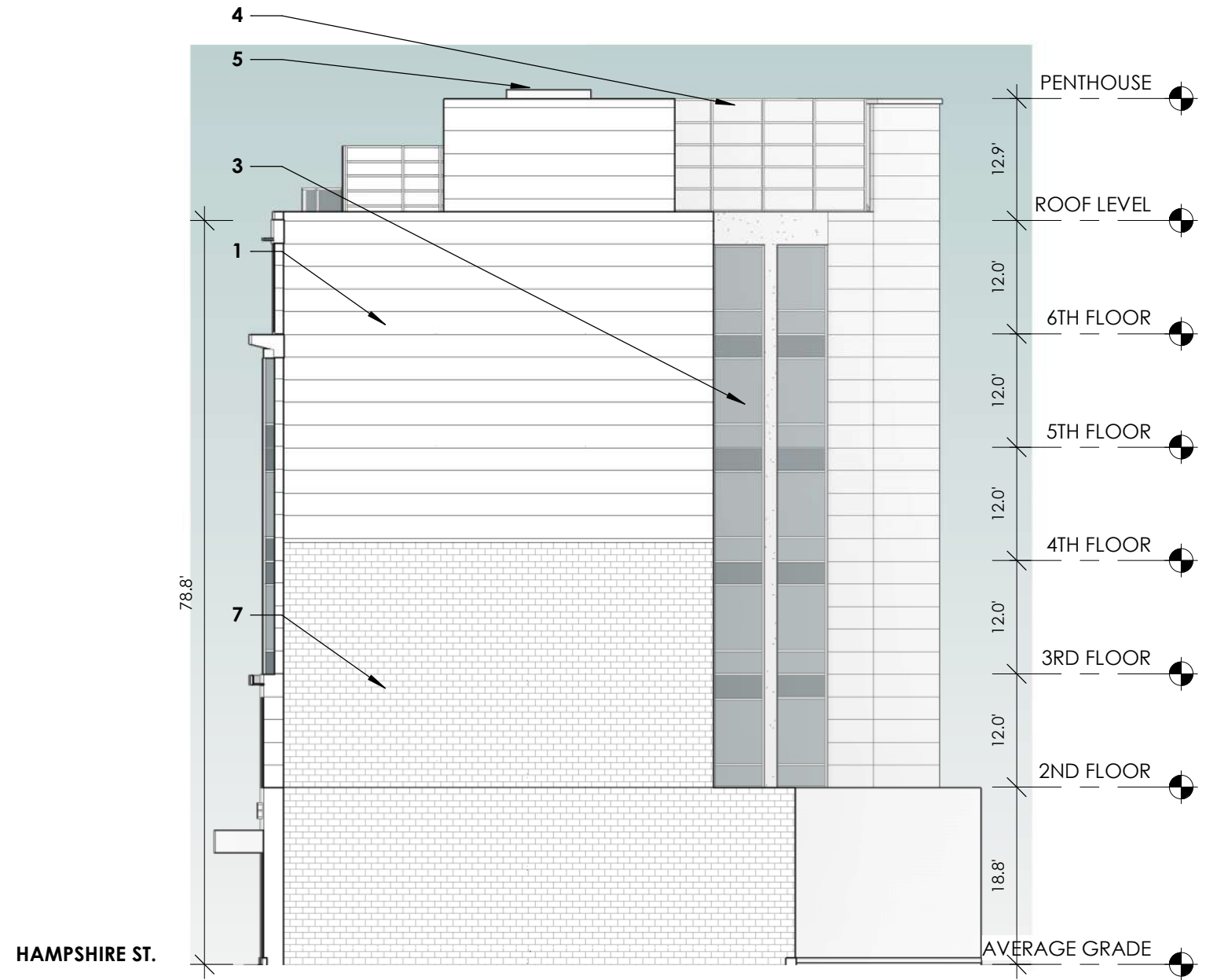
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	CURTAIN WALL	WINDOWS
SHGC:	>.57	>.57
U-VALUE:	.38	.32
COATING:	LOW-E, ARG	
COLOR:	CLEAR	
SPANDREL:	CERAMIC FRIT (WARM GRAY)	

A2.2
PROPOSED ELEVATIONS
34-40 HAMPSHIRE STREET
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34-40 HAMPSHIRE STREET LLC

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HAMPSHIRE ST. - RIGHT ELEVATION - NORTHWEST
 1/16" = 1'-0"

LEGEND

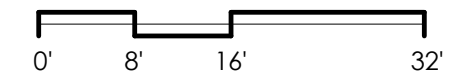
- 1 PORCELAIN RAINSCREEN SYSTEM, 1/4" OPEN JOINT, 60" X 30" PANELS, PORCELANOSA CORE GREY OR SIM.
- 2 COPPER PANEL, COPING - PRE-PATINATED
- 3 ALUMINUM FRAME CURTAIN WALL/WINDOW SYSTEMS, FRAME COLOR - PATINA COPPER
- 4 MECHANICAL SCREEN - KYNAR FINISH LOUVER SYSTEM, WARM LIGHT GREY.
- 5 ELEVATOR OVERRUN
- 6 COMPOSITE CEMENTITIOUS PANEL RAINSCREEN SYSTEM - NICHHA INDUSTRIAL BLOCK OR SIM.
- 7 SEALED CONCRETE MASONRY UNITS - NATURAL
- 8 CERAMIC FRIT SPANDREL PANEL - WARM GREY S3
- 9 CLEAR COAT COPPER PANEL SIDING.
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***GLAZING DATA:**

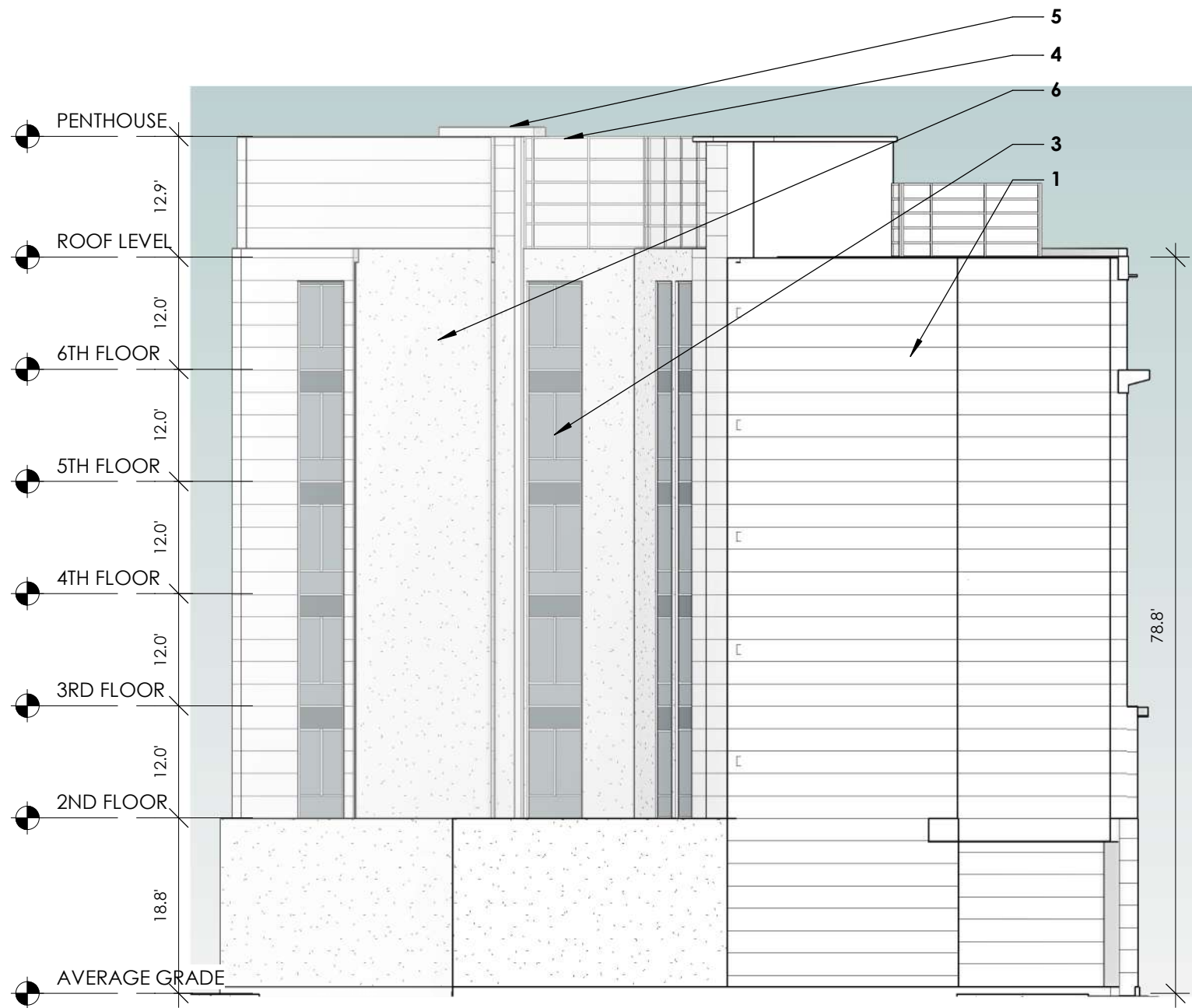
	CURTAIN WALL	WINDOWS
SHGC:	>.57	>.57
U-VALUE:	.38	.32
COATING:	LOW-E, ARG	
COLOR:	CLEAR	
SPANDREL:	CERAMIC FRIT (WARM GRAY)	

A2.3
PROPOSED ELEVATIONS
34-40 HAMPSHIRE STREET
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PORTLAND ST. - LEFT ELEVATION - SOUTHWEST
 1/16" = 1'-0"

LEGEND

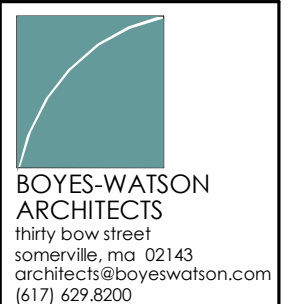
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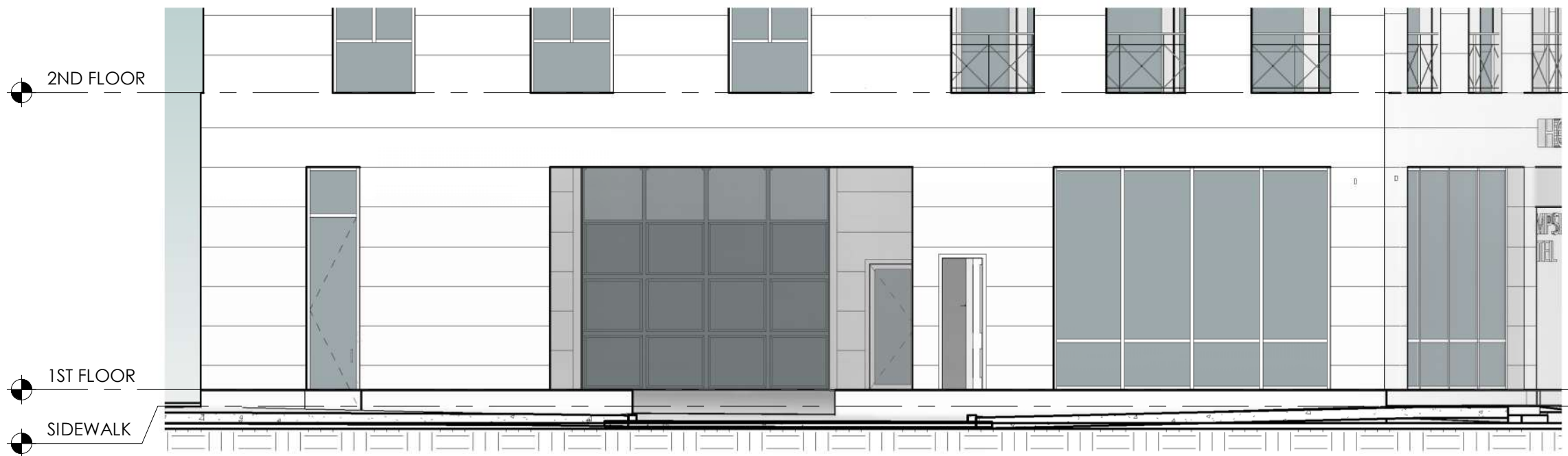
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	CURTAIN WALL	WINDOWS
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COLOR:	CLEAR	
SPANDREL:	CERAMIC FRIT (WARM GRAY)	

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A2.4
PROPOSED ELEVATIONS
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
 34-40 HAMPSHIRE STREET LLC





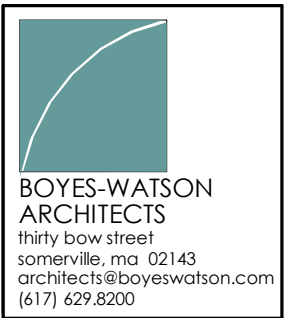
PORTLAND STREET LEVEL
 1/8" = 1'-0"



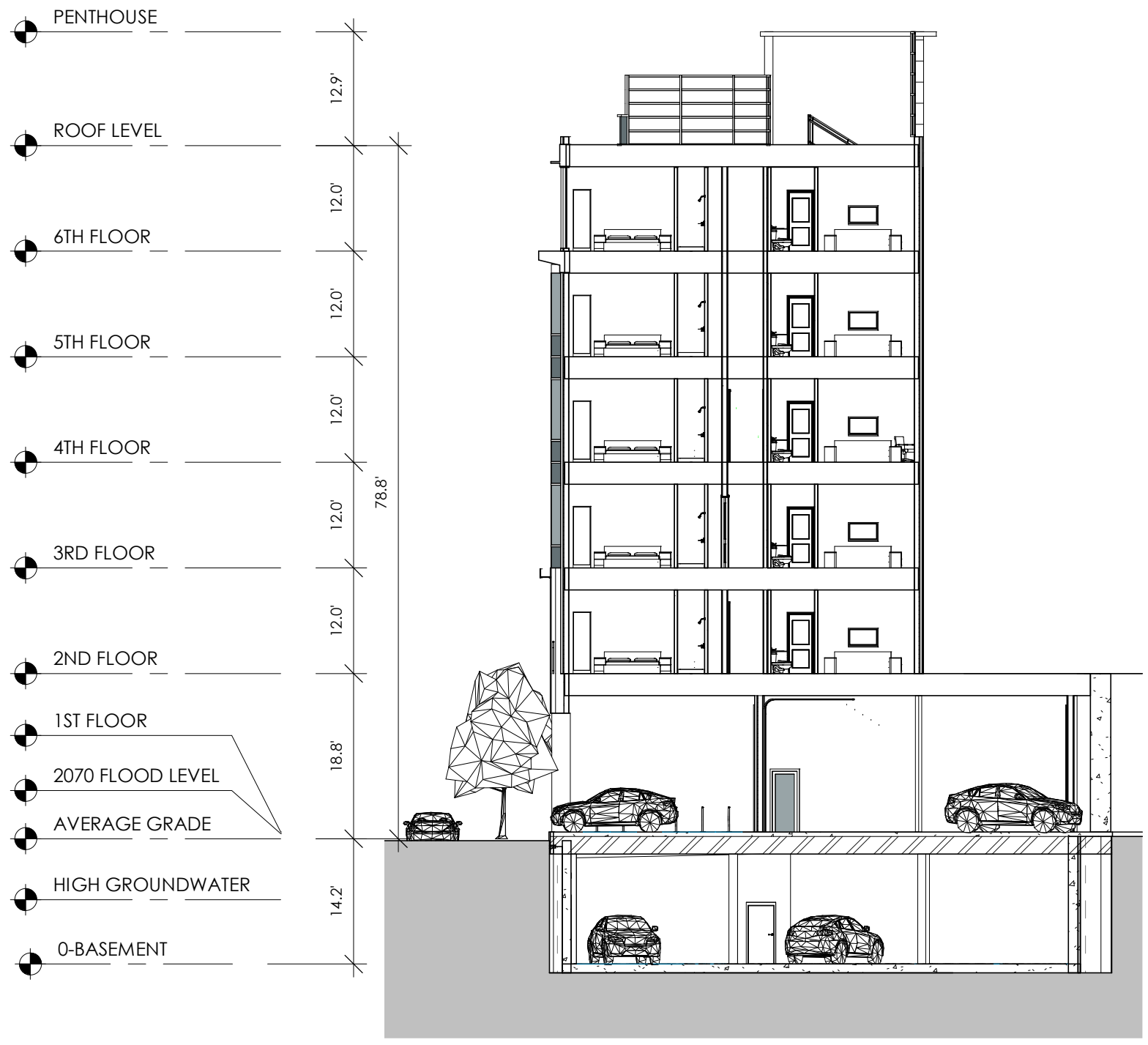
HAMPSHIRE STREET LEVEL
 1/8" = 1'-0"

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A2.5
STREET ELEVATIONS
34-40 HAMPSHIRE STREET
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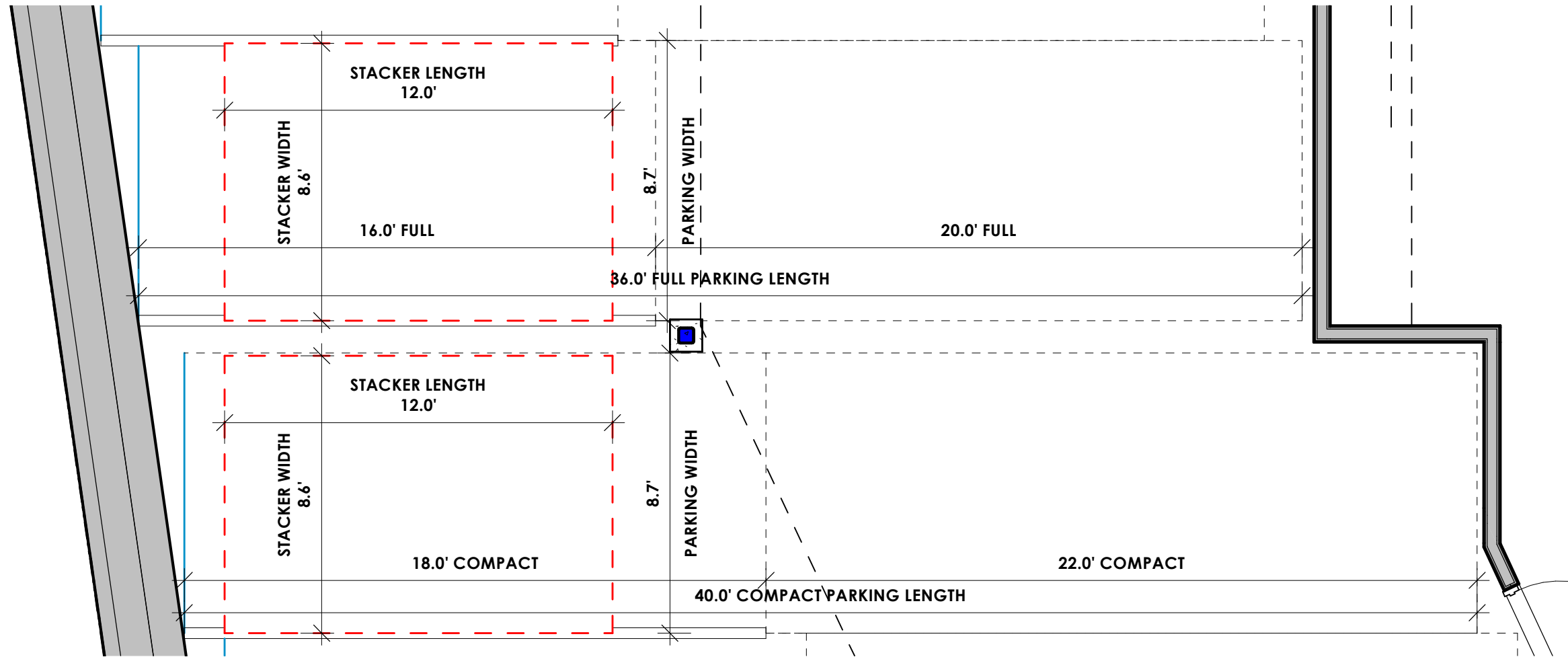
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BUILDING SECTION
1/16" = 1'-0"

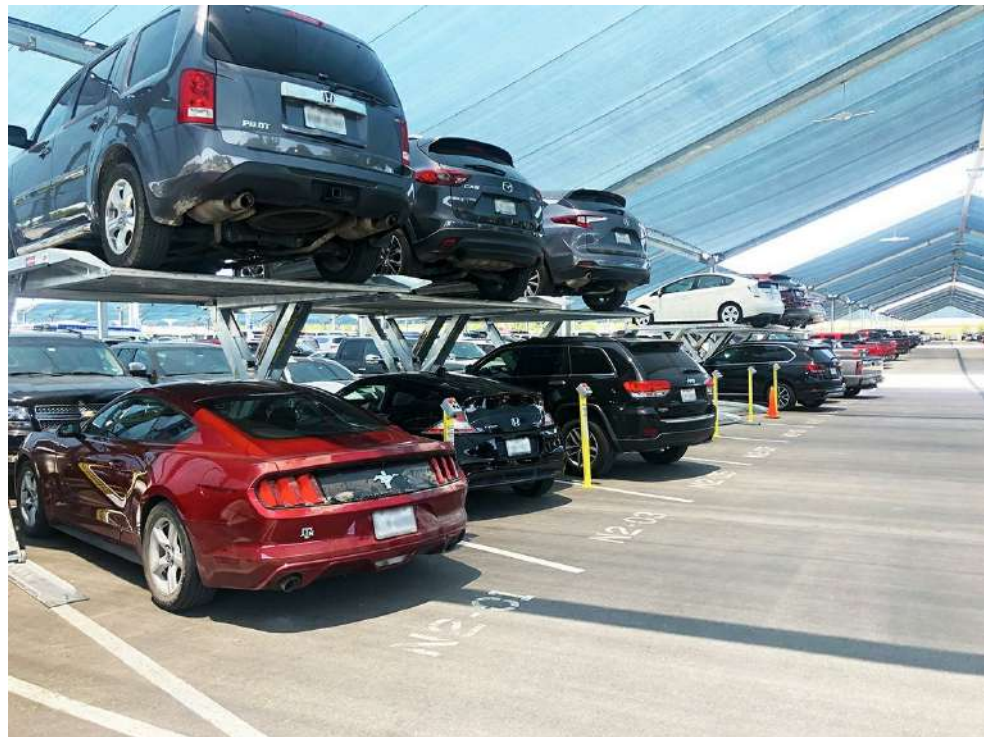
A3.1
BUILDING SECTION
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
 34-40 HAMPSHIRE STREET LLC

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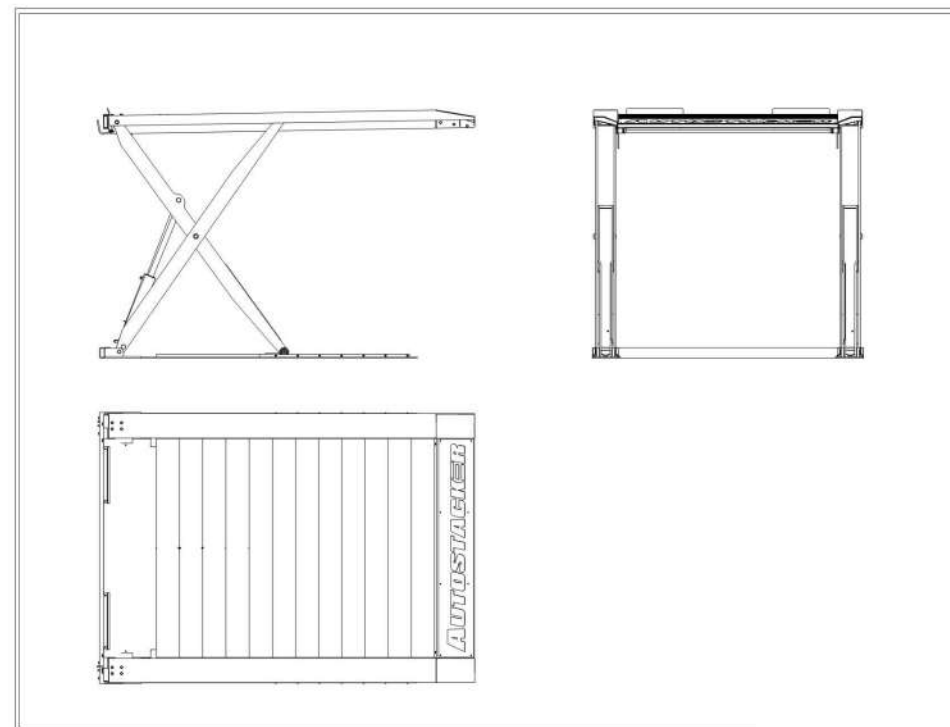


TYP. PARKING SPACE WITH AUTOSTACKER (COMPACT)

1/4" = 1'-0"

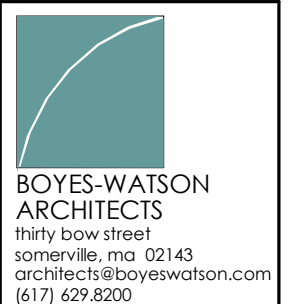


3 AUTO STACKER - EXAMPLE

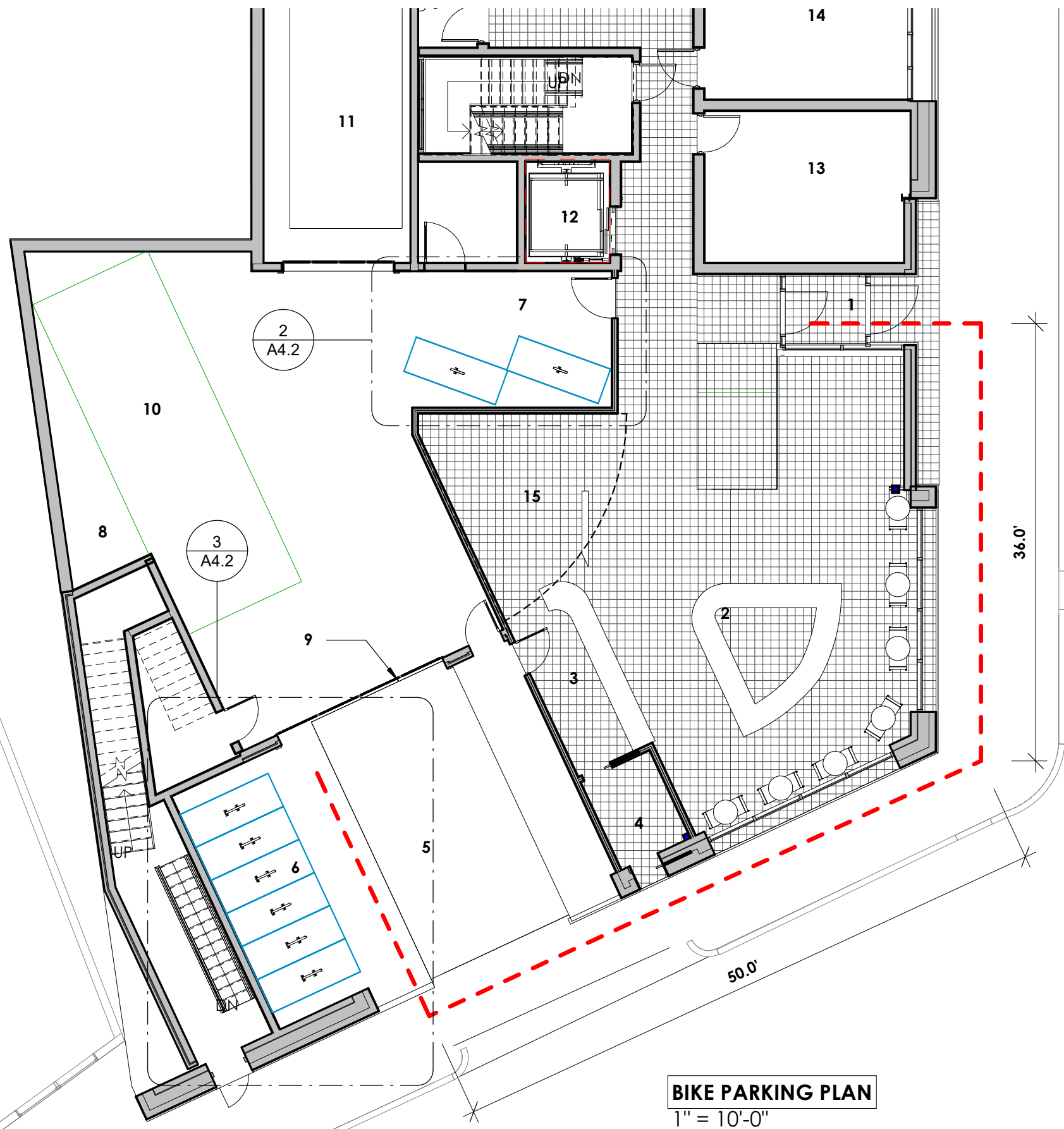


2 AUTO STACKER - TYPICAL DRAWINGS

A4.1
AUTOSTACKER PLANS
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
 34-40 HAMPSHIRE STREET LLC



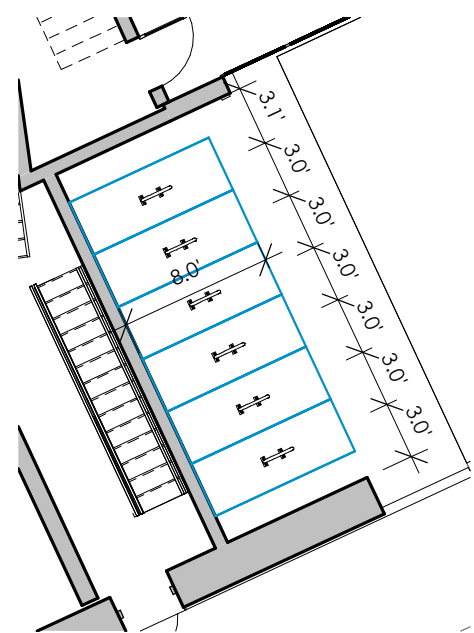
12/19/2019 3:43:19 PM



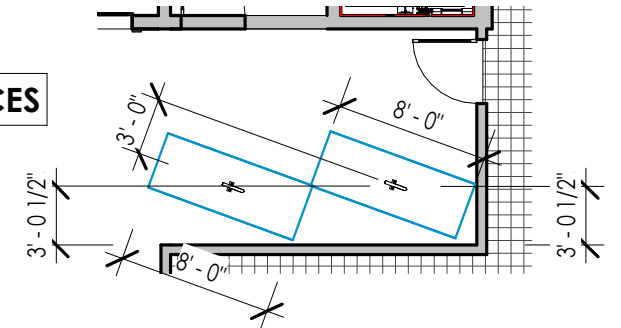
BIKE PARKING PLAN
1" = 10'-0"

LEGEND

- 1 ENTRY
- 2 LOBBY/BAR
- 3 RECEPTION
- 4 MANAGER OFFICE
- 5 BICYCLE FORECOURT
- 6 SHORT TERM BICYCLE PARKING
- 7 LONG TERM BICYCLE PARKING
- 8 TRASH & RECYCLING
- 9 OVERHEAD DOOR
- 10 LOADING
- 11 CAR ELEVATOR
- 12 ELEVATOR
- 13 ELEC SWITCH RM
- 14 TRANSFORMER
- 15 ATRIUM



SHORT TERM BIKE PARKING - (12) SPACES
1" = 10'-0"



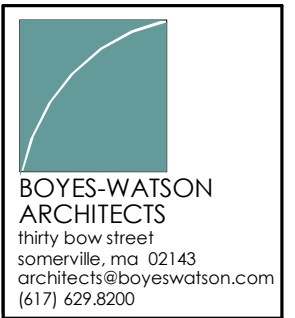
LONG TERM BIKE PARKING - (4) SPACES
1" = 10'-0"

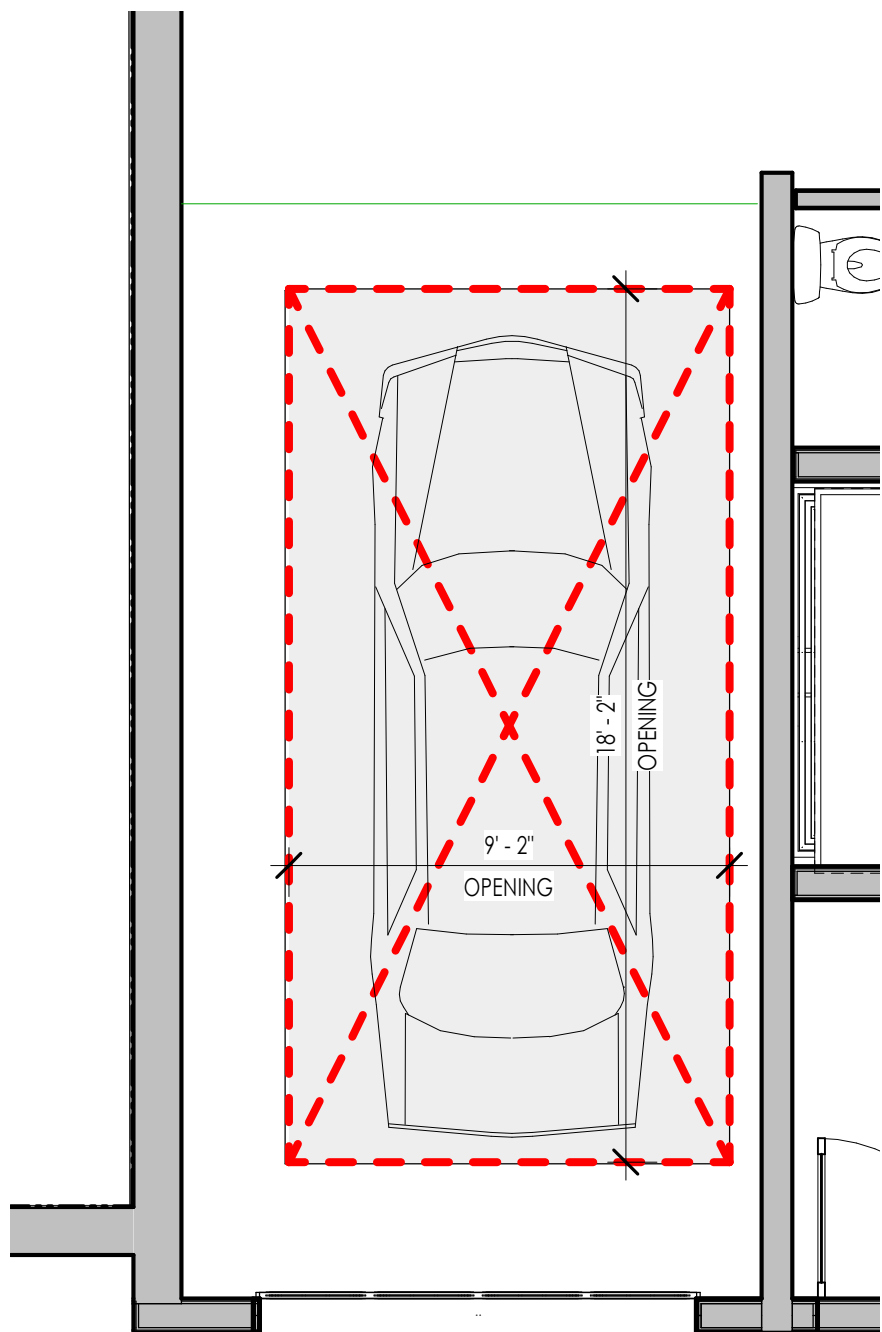
Relief Requested for location of Short-Term Bike Parking :
Required: Short term parking must be less than 50' from main entrance. **Provided distance is 86'**

Long term Bicycle Spaces:
2 Required (Hotel Use 68 rooms x .02)
2 Provided

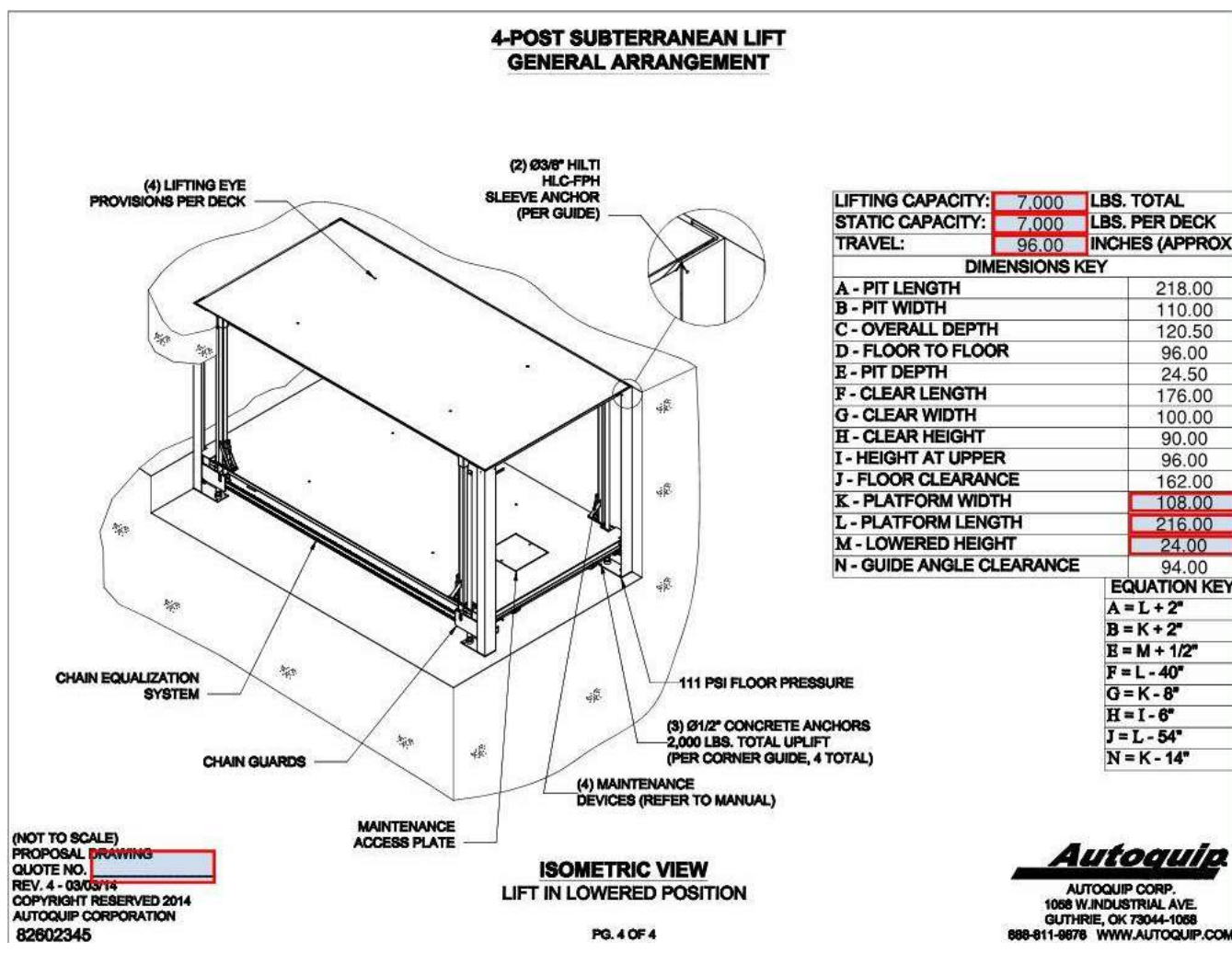
Short term Bicycle Spaces:
4 Required (Hotel Use 68 rooms x .05)
12 Provided

A4.2
BIKE PARKING PLANS
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
34-40 HAMPSHIRE STREET LLC





CAR ELEVATOR AT 1ST
1/4" = 1'-0"

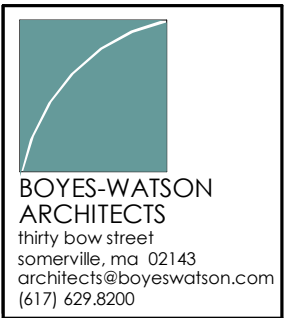


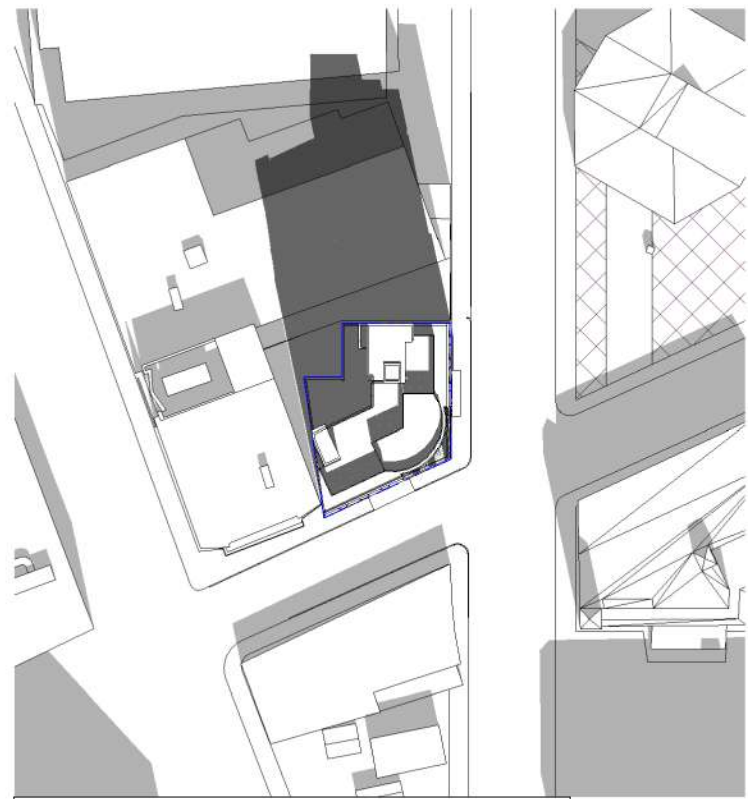
(NOT TO SCALE)
PROPOSAL DRAWING
QUOTE NO. [REDACTED]
REV. 4 - 03/03/14
COPYRIGHT RESERVED 2014
AUTOQUIP CORPORATION
82802345

2 CAR ELEVATOR EXAMPLE

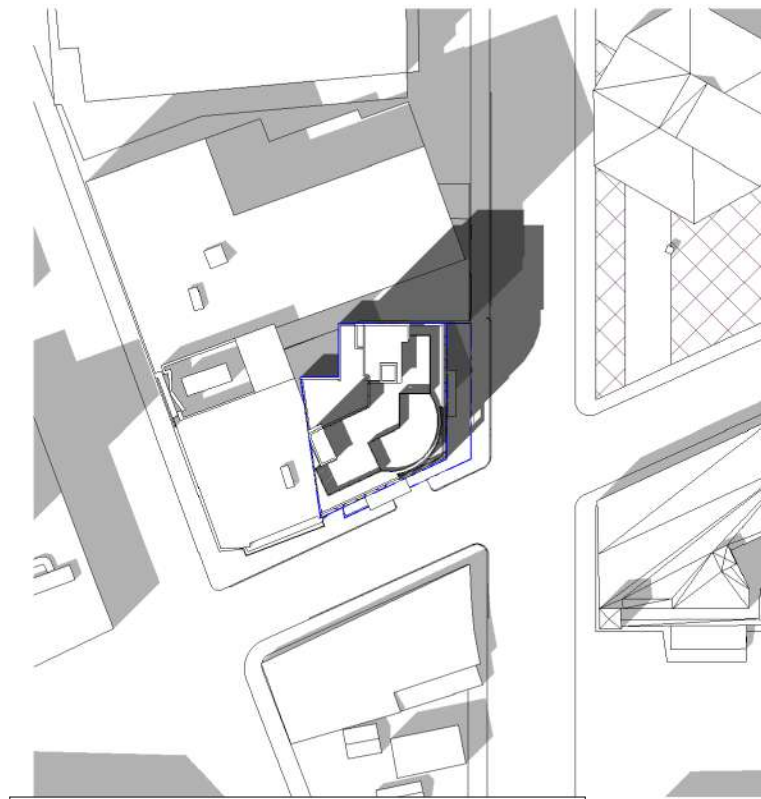
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**A4.3
CAR ELEVATOR**
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
34-40 HAMPSHIRE STREET LLC

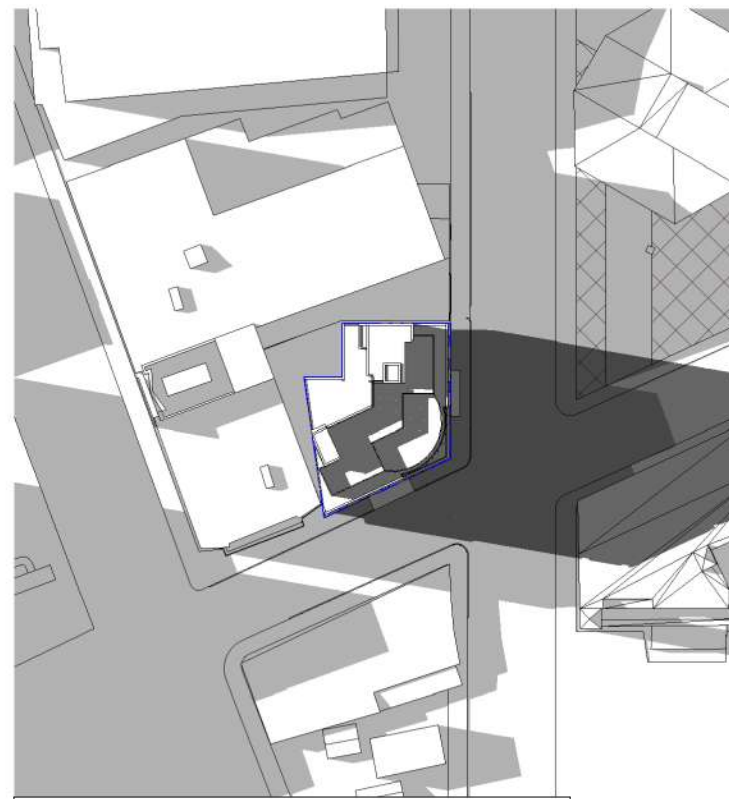




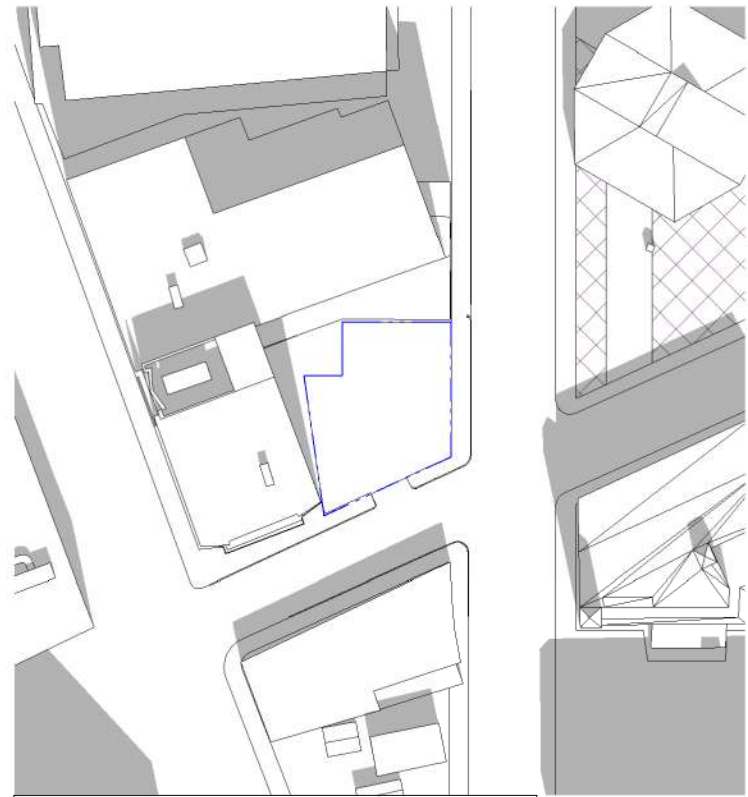
Spring/Fall Equinox - 9a Proposed
1" = 100'-0"



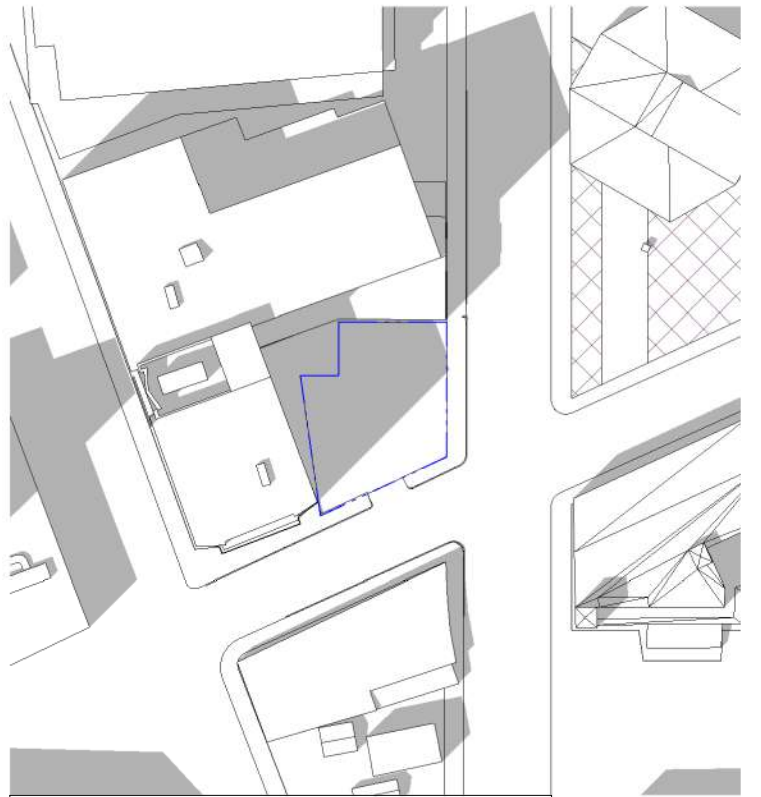
Spring/Fall Equinox - 12p Proposed
1" = 100'-0"



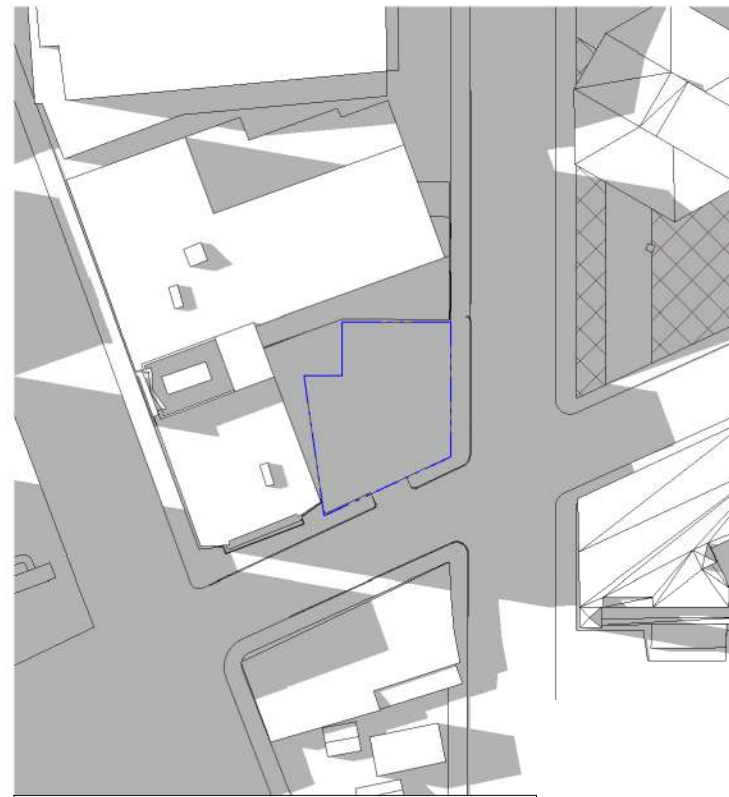
Spring/Fall Equinox - 3p Proposed
1" = 100'-0"



Spring/Fall Equinox - 9a Existing
1" = 100'-0"






Spring/Fall Equinox - 12p Existing
1" = 100'-0"

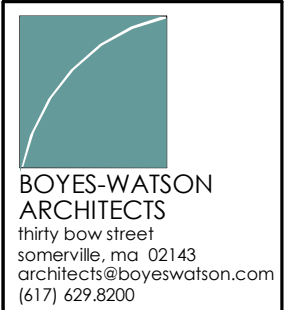


Spring/Fall Equinox - 3p Existing
1" = 100'-0"

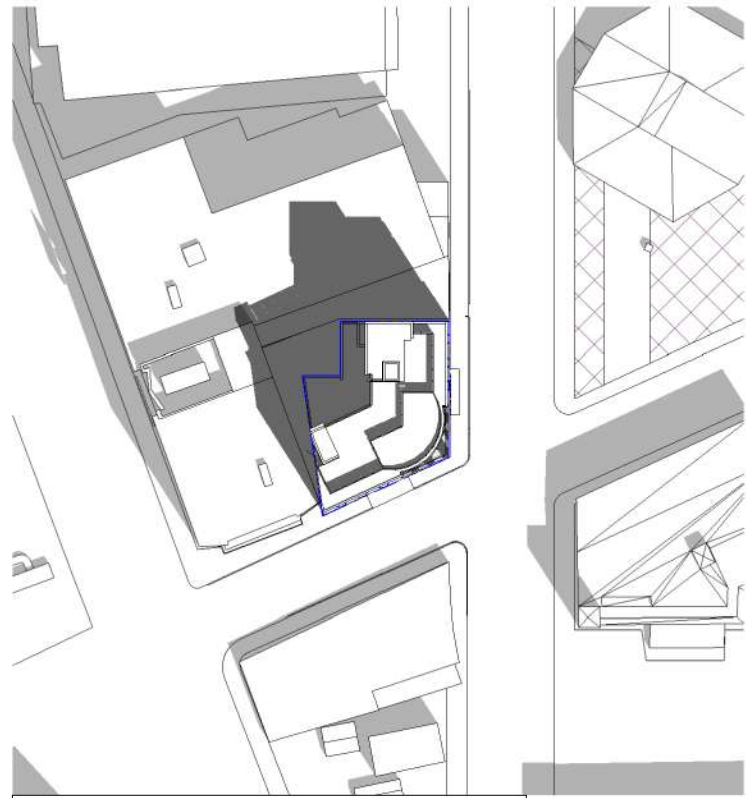
LEGEND

-  Shadows from Existing Buildings
-  Shadows from Proposed Buildings
-  Overlapping shadows from Proposed and Existing Buildings

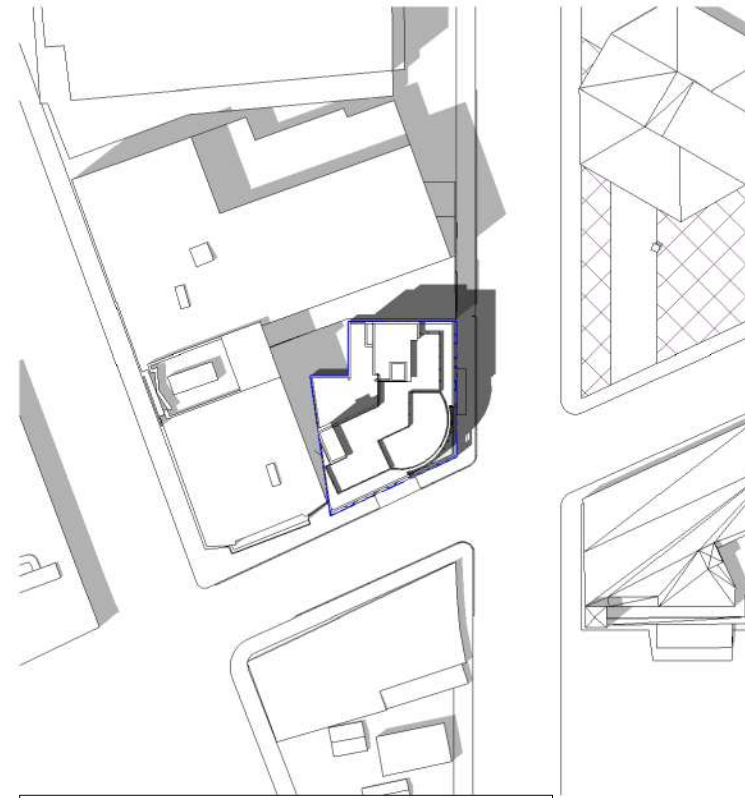
A5.1
FALL/SPRING SHADOWS
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
34-40 HAMPSHIRE STREET LLC



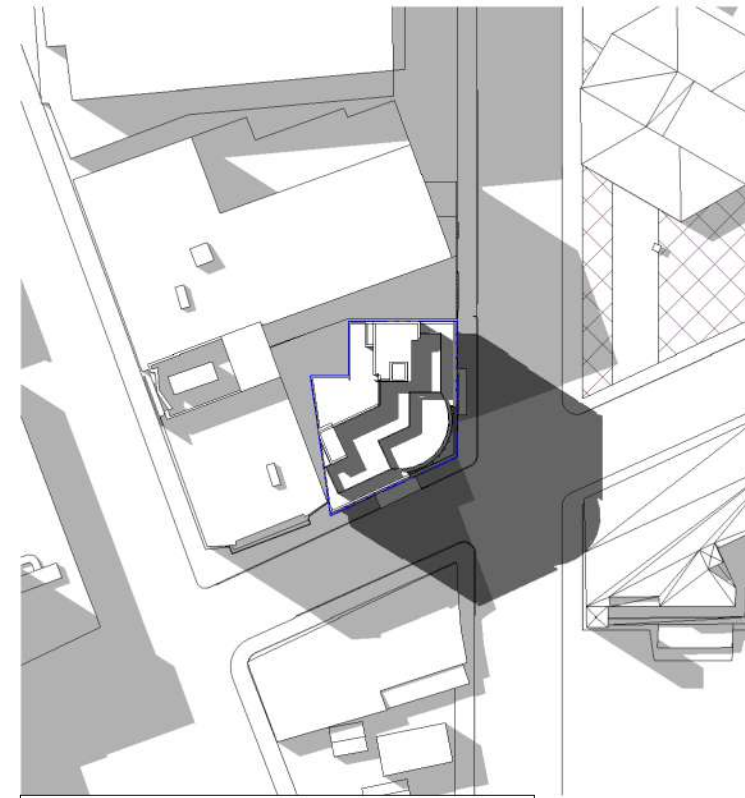
12/19/2019 3:43:59 PM



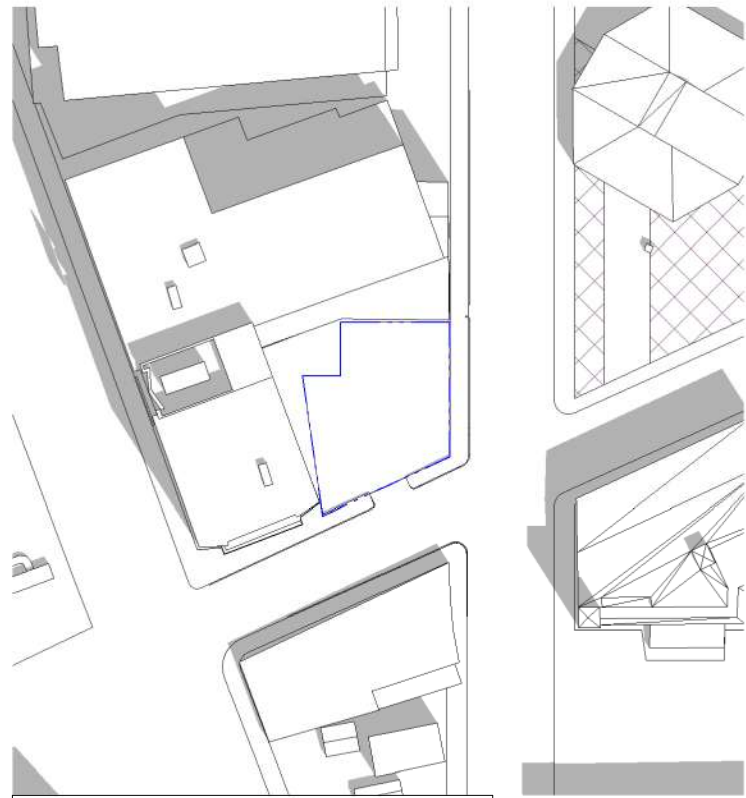
Summer Solstice - 9a Proposed
1" = 100'-0"



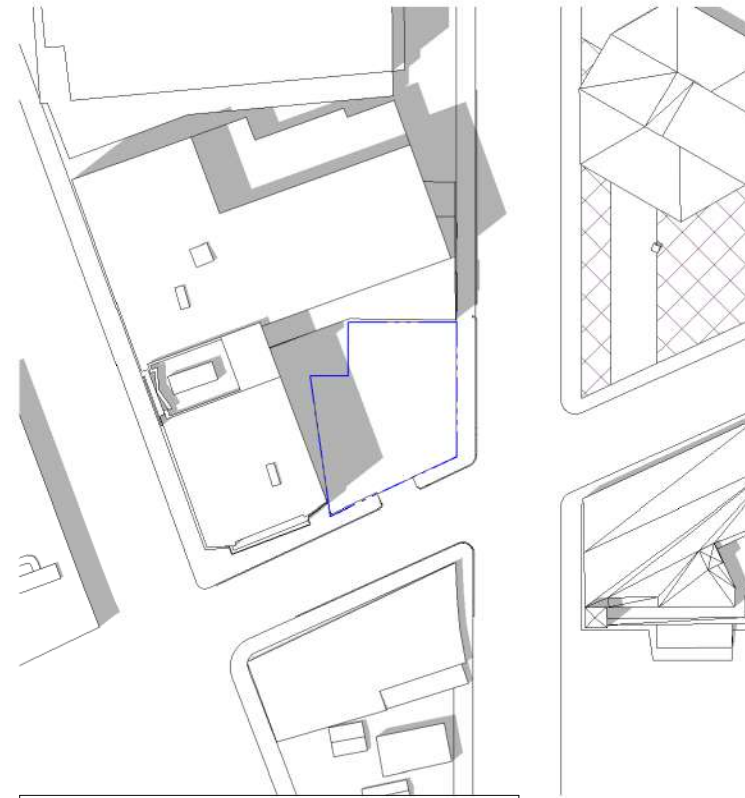
Summer Solstice - 12p Proposed
1" = 100'-0"



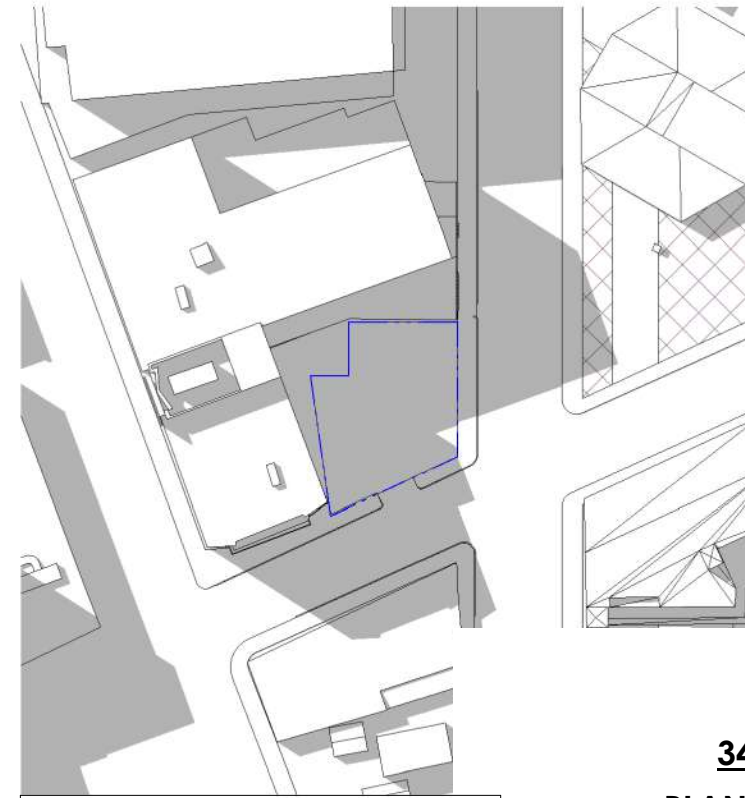
Summer Solstice - 3p Proposed
1" = 100'-0"



Summer Solstice - 9a Existing
1" = 100'-0"

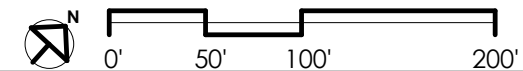
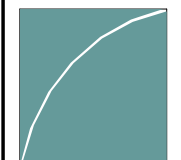


Summer Solstice - 12p Existing
1" = 100'-0"



Summer Solstice - 3p Existing
1" = 100'-0"

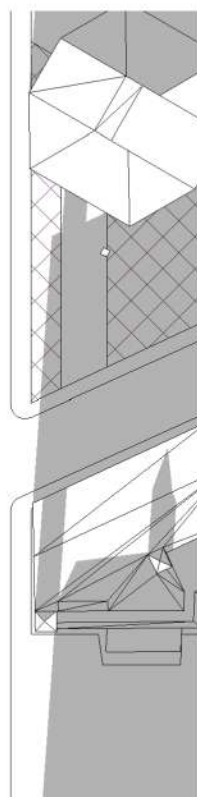
A5.2
SUMMER SHADOWS
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
34-40 HAMPSHIRE STREET LLC

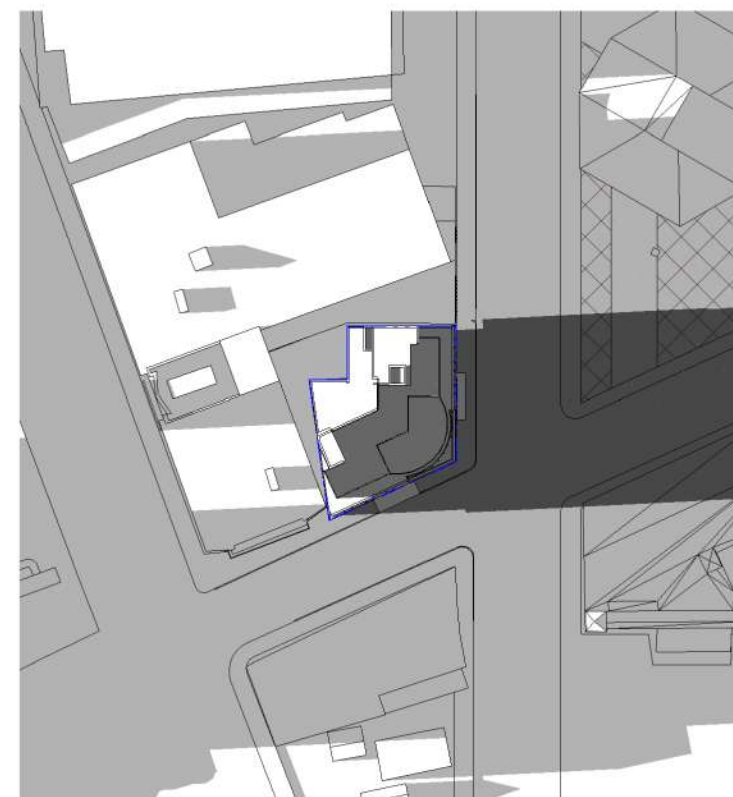
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(617) 629.8200



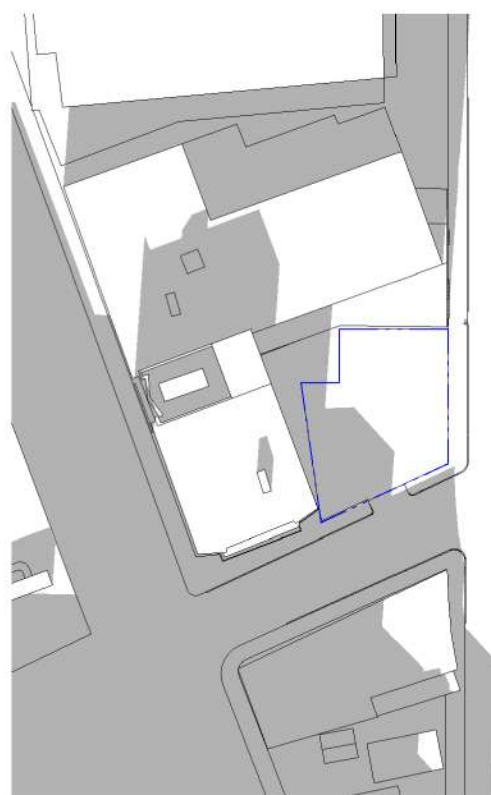
Winter Solstice - 9a Proposed
1" = 100'-0"



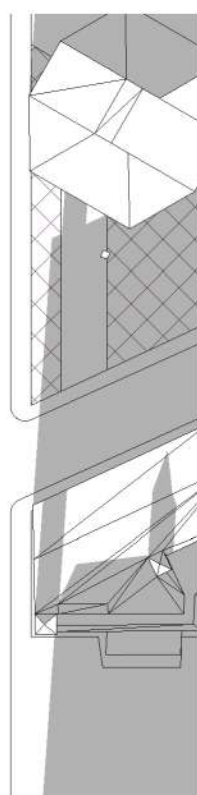
Winter Solstice - 12p Proposed
1" = 100'-0"



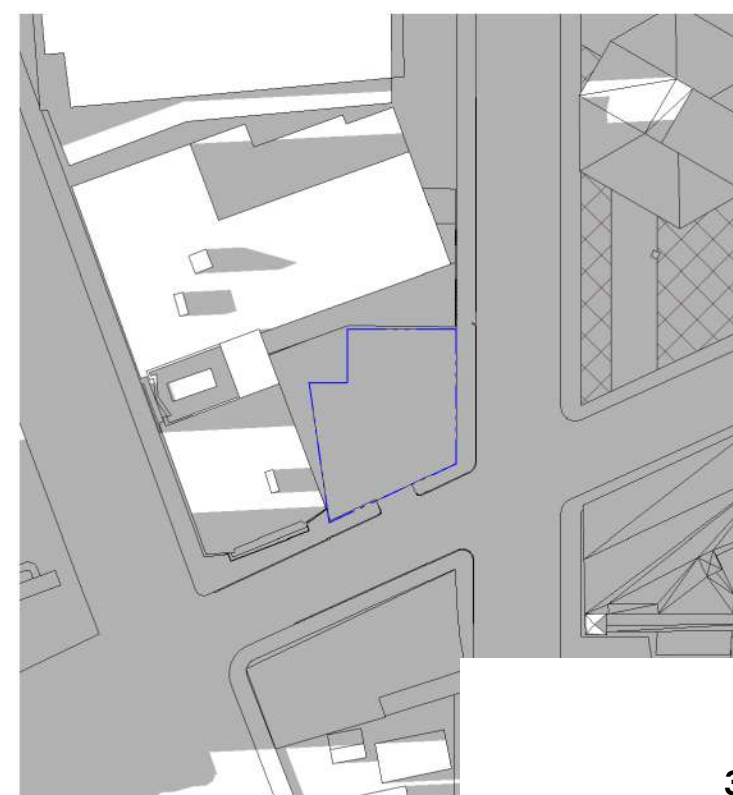
Winter Solstice - 3p Proposed
1" = 100'-0"



Winter Solstice - 9a Existing
1" = 100'-0"

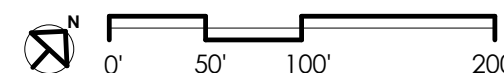


Winter Solstice - 12p Existing
1" = 100'-0"



Winter Solstice - 3p Existing
1" = 100'-0"

A5.3
WINTER SHADOWS
34-40 HAMPSHIRE STREET
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34-40 HAMPSHIRE STREET LLC

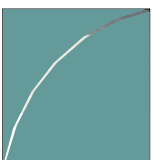


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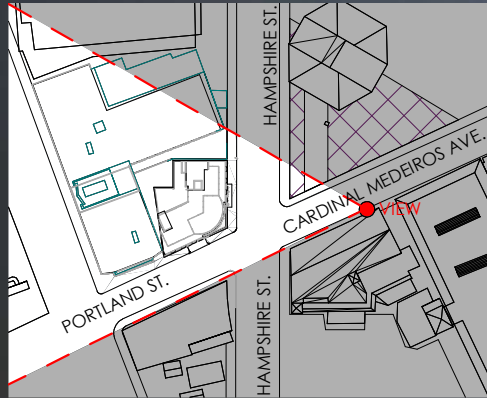


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A6.1
3D VIEW - FROM HAMPSHIRE ST. PLAZA
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
34-40 HAMPSHIRE STREET LLC



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A6.2
3D VIEW - CARDINAL MEDERIOS
34-40 HAMPSHIRE STREET
PLANNING BOARD 12.16.19
34-40 HAMPSHIRE STREET LLC

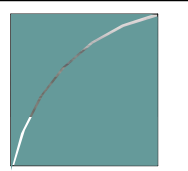


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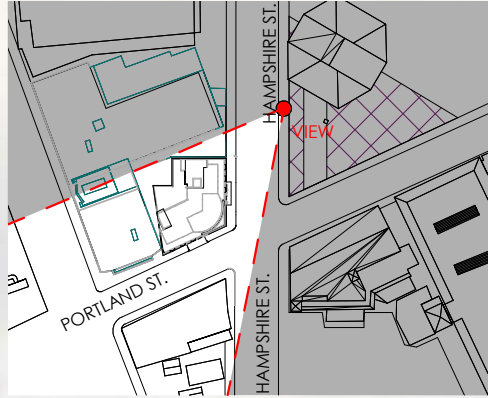


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A6.3
3D VIEW - PORTLAND ST.
34-40 HAMPSHIRE STREET
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A6.4
3D VIEW - HAMPSHIRE ST. - SOUTHERLY
34-40 HAMPSHIRE STREET
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34-40 HAMPSHIRE STREET LLC



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