



75/109 SMITH PLACE

Cambridge, MA

Volume 02 R1: Proposed Project

Drawings

December 16, 2019

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Project Client:

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True North



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Drawing Sheet Title:
LOCATION MAP

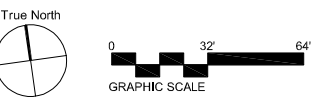
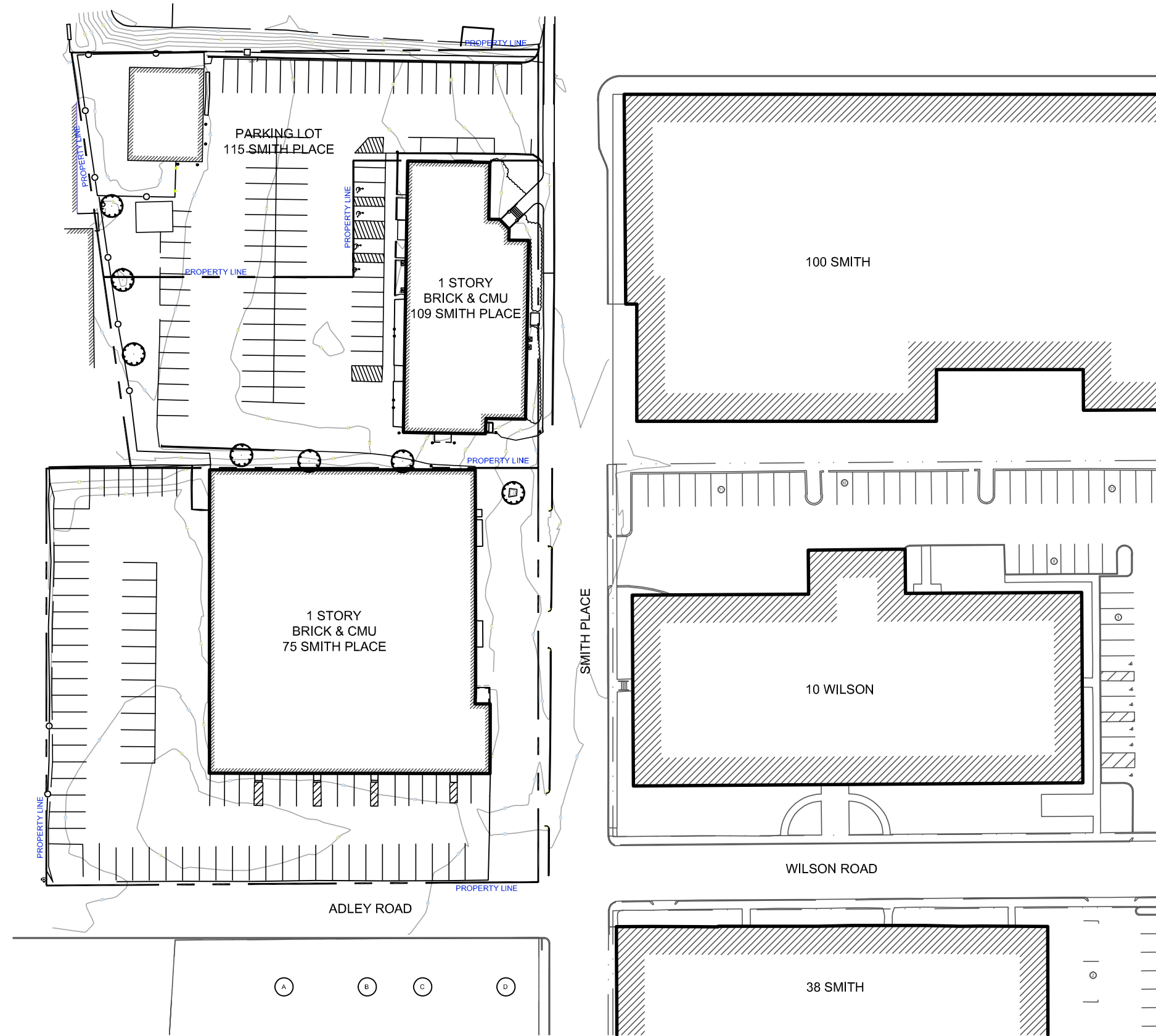
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Drawing Sheet Title:
EXISTING SITE PLAN

Project Client:

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SOUTH-EAST: PHOTO FROM SMITH PLACE AND WILSON ROAD INTERSECTION **04**



NORTH EAST: PHOTO FROM SMITH PLACE AT FAWCETT STREET **02**



SOUTH WEST: PHOTO FROM ADLEY ROAD, REAR OF SITE **03**



NORTH WEST: PHOTO ON-SITE LOOKING SOUTH **01**

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Drawing Sheet Title:
EXISTING SITE PHOTOS

Drawing Sheet Number:
A0.00.03

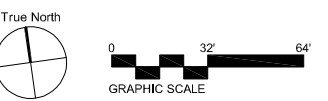
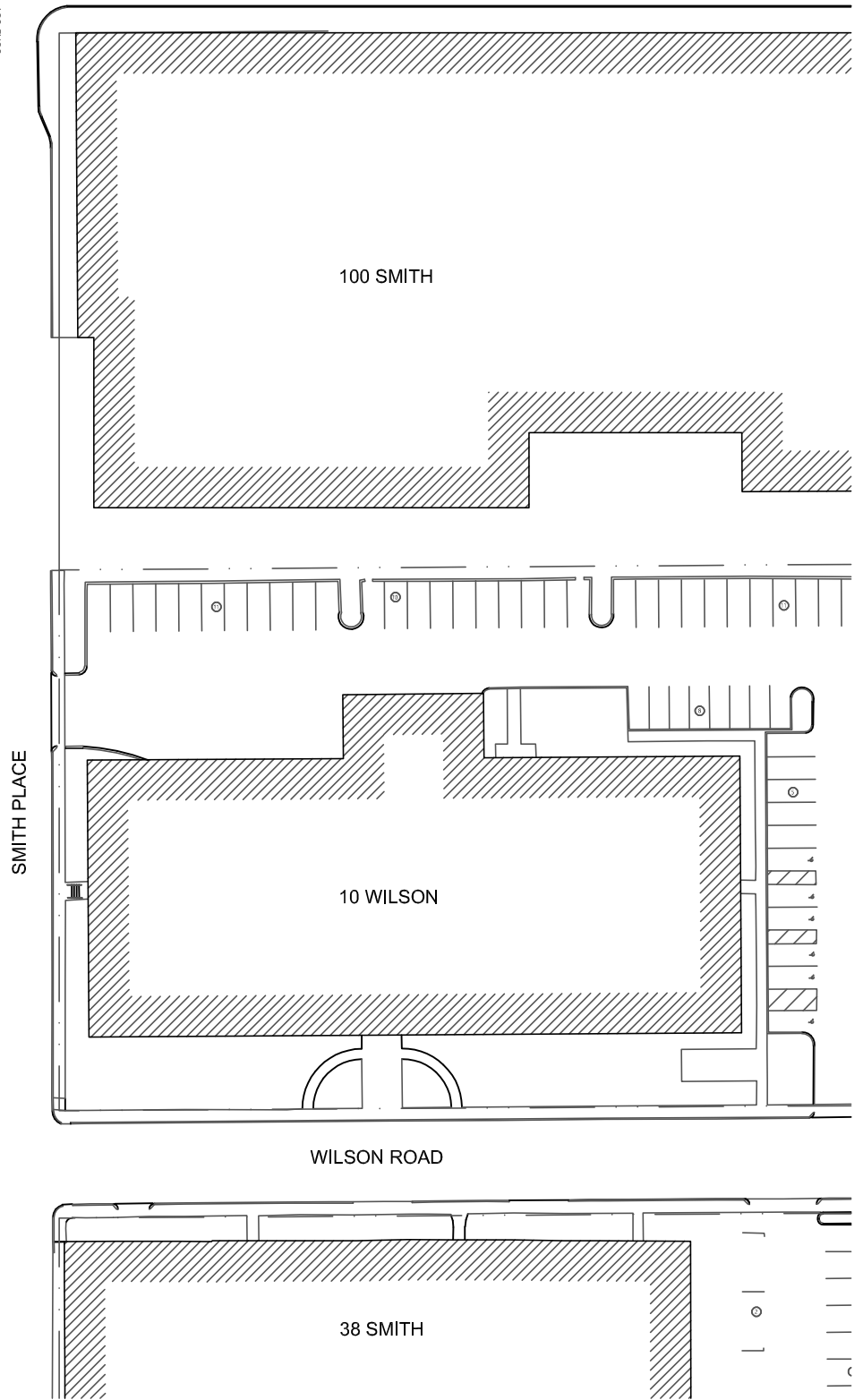
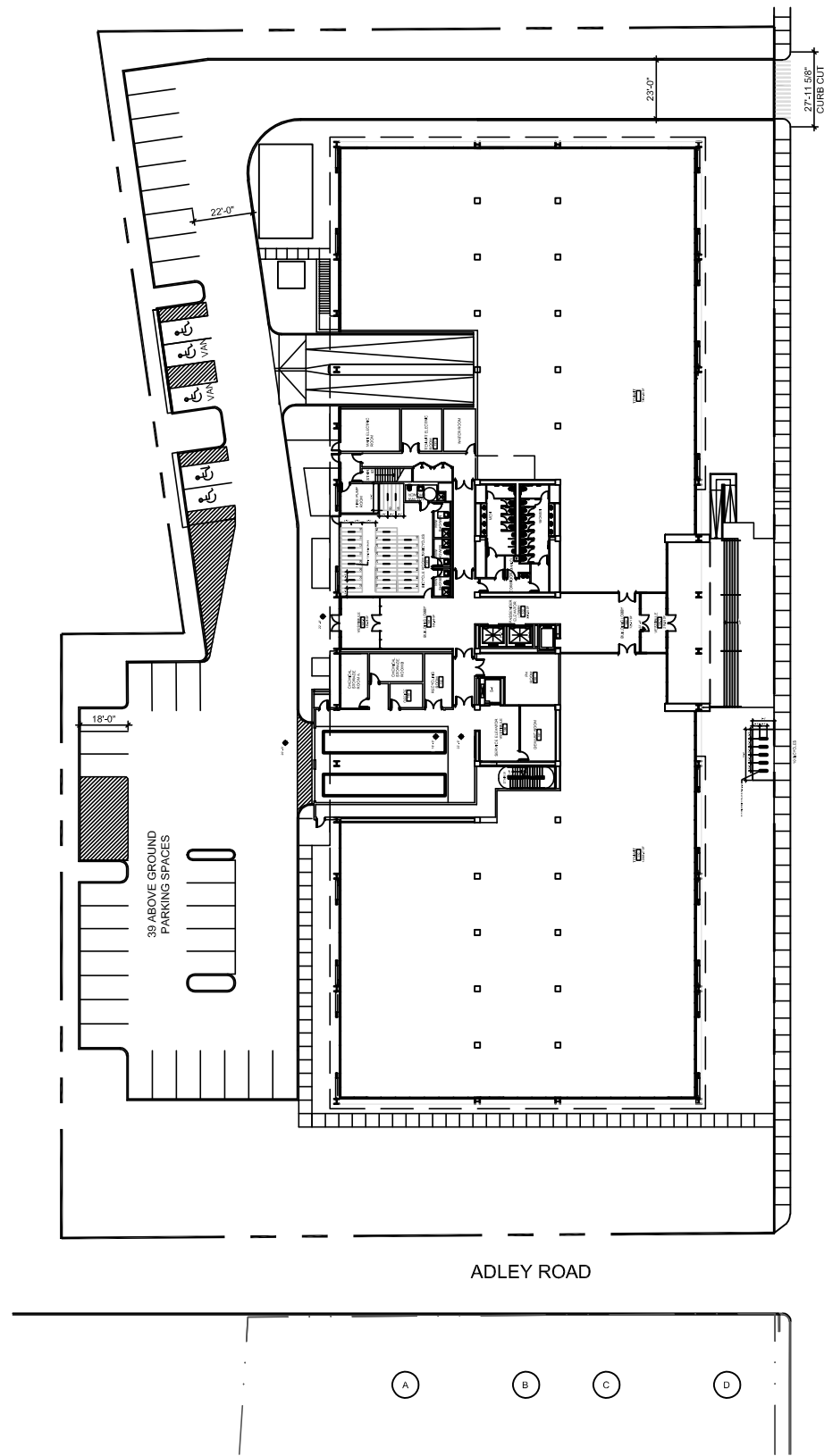
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Drawing Sheet Title:
ARCHITECTURAL SITE
PLAN

Drawing Sheet Number:
A0.01.00

ARCHITECTURAL SITE PLAN **01**
SCALE: 1/64" = 1'-0"

CONSTRUCTION NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, LAYOUT COORDINATES, AND WORK FROM PREVIOUS AND ONGOING CONTRACTS IN THE FIELD. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR DIRECTION IMMEDIATELY BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- CONTRACTOR SHALL REQUEST A FIELD REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE OF THE LAYOUT OF ALL ELEMENTS, AS SHOWN. CONTRACTOR SHALL STAKE ALL LOCATIONS AND OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL REQUEST A FIELD REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE OF ALL SITE LIGHTING FIXTURES, JUNCTION BOXES, TRANSFORMERS, AND PANELS. CONTRACTOR SHALL STAKE ALL LOCATIONS AND OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LIGHTING CIRCUITRY AND SOME JUNCTION BOX LOCATIONS MAY BE LOCATED ON ELECTRICAL ENGINEERING PLANS.
- CONTRACTOR SHALL COORDINATE ALL LAYOUT WORK POINTS, MONUMENTS, GRID LINES, AND CONTROLS, AMONG ALL TRADES; SPECIFICALLY, BUT NOT LIMITED TO, SITE FORMATION, FLATWORK, AND WALL WORK.
- CONTRACTOR SHALL REFER TO CONSTRUCTION PLAN(S) FOR ALL FLATWORK JOINT LOCATIONS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS VERIFYING JOINT LAYOUT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL ERECT AND INSTALL ALL WORK LEVEL, PLUMB, SQUARE, TRUE, STRAIGHT, AND IN PROPER ALIGNMENT.
- NO DIMENSIONS ARE ADJUSTABLE WITHOUT THE REVIEW AND APPROVAL OF LANDSCAPE ARCHITECT UNLESS NOTED [+/-] FV (FIELD VERIFY).
- TYPICAL [TYP] MEANS IDENTICAL FOR ALL CONDITIONS UNLESS OTHERWISE NOTED.
- ALIGN MEANS ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- EXISTING [EX.] MEANS THAT INDICATED FEATURE EXISTS AT TIME OF INSTALLATION AND SHALL BE PROTECTED IN PLACE.
- ALL ANGLES ARE ASSUMED TO BE 90 DEGREES UNLESS OTHERWISE NOTED.
- ALL QUANTITIES PROVIDED ARE ESTIMATES AND MAY CHANGE BASED ON POPULATION AND DESIGN DEVELOPMENT.
- ALL ELEMENTS SHALL BE COORDINATED BETWEEN TRADES, WHICH MAY INCLUDE CIVIL ENGINEERING, STRUCTURAL ENGINEERING, LIGHTING, MEP, IRRIGATION DESIGNER, WATER FEATURE DESIGNER, AND/OR ARCHITECT.
- ALL PAVING JOINTS AND SITE ELEMENTS TO ALIGN TO ARCHITECTURAL GRID AND MULLIONS, UNLESS OTHERWISE INDICATED IN PLANS.

LAYOUT NOTES

- CONTRACTOR IS TO VERIFY PROPERTY AND LIMIT-OF-WORK LINES PRIOR TO COMMENCING WORK.
- THESE PLANS DO NOT PURPORT TO SHOW ALL ELEMENTS TO BE CONSTRUCTED. CONTRACTOR IS TO REVIEW ENTIRE CONSTRUCTION PLAN SET, IN ADDITION TO GEOTECHNICAL, CIVIL, ARCHITECTURAL, STRUCTURAL AND MEP PLAN SETS, IN ORDER TO COMPREHENSIVELY DETERMINE ALL ELEMENTS TO BE INSTALLED AND THEIR RELATION TO EACH OTHER. COORDINATE WITH OTHER CONSULTANT'S WORK TO PROPERLY EXECUTE CONTRACTOR'S WORK.
- CONTRACTOR SHALL REQUEST A FIELD REVIEW BY THE LANDSCAPE ARCHITECT OF ALL FORMWORK OR A TYPICAL PORTION OF FORMWORK REPRESENTING SIMILAR WORK. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT OF ALL FORMWORK FOR FLATWORK AND WALL WORK PRIOR TO CONCRETE POURING.
- CONTRACTOR SHALL REFER TO PAVING OR MATERIALS PLAN(S) FOR ALL FLATWORK AND WALL WORK JOINT LOCATIONS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS VERIFYING JOINT LAYOUT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL NOT SCALE DRAWINGS; CONTRACTOR SHALL USE DIMENSIONS SHOWN.
- NO DIMENSIONS ARE ADJUSTABLE WITHOUT THE REVIEW AND APPROVAL OF LANDSCAPE ARCHITECT UNLESS NOTED [+/-] AND OR FV (FIELD VERIFY)/VIF (VERIFY IN FIELD).
- SIMILAR [SIM] MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. CONTRACTOR SHALL VERIFY DIMENSIONS AND ORIENTATION ON THE PLANS AND ELEVATIONS.
- DIMENSIONS NOTED CLEAR [CLR] MUST BE STRICTLY MAINTAINED ALLOWING FOR THICKNESS OF ALL FINISHES. CONTRACTOR SHALL FIELD VERIFY [FV] OR VERIFY IN FIELD [VIF] PRIOR TO CONSTRUCTION.
- ALL CURVES FOR PAVING, BANDS, PATHS, EDGING, AND HEADER BOARDS SHALL BE ALIGNED IN A SMOOTH AND CONTINUOUS FASHION AND SHALL MEET ADJACENT SURFACES AT 90 DEGREES, UNLESS OTHERWISE INDICATED. ALL WALK RADII AND CURVES SHALL BE SMOOTH AND CONTINUOUS WITHOUT ABRUPT CHANGES OR BENDS UNLESS OTHERWISE SHOWN.
- ALL JOINTING SHALL BE PERPENDICULAR TO PATH UNLESS OTHERWISE NOTED.
- ALL LIGHTING AND SITE ELEMENTS SHALL ALIGN WITH APPROVED PAVING JOINTS UNLESS OTHERWISE NOTED.

LIGHTING NOTES

- LANDSCAPE LIGHTING SHALL BE AT ALL EGRESS AND ENTRY AREAS.
- ALL FIXTURES TO BE DIRECT WIRED WITHIN POLES AND FIXTURES TO THE GREATEST EXTENT POSSIBLE. HANDHOLES AND JUNCTION BOXES WITHIN THE LANDSCAPE SHOULD BE MINIMIZED.
- ELECTRICAL ENGINEER SHALL PROVIDE DRAWINGS FOR REVIEW AND APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. DRAWINGS SHALL MINIMALLY INCLUDE LOCATIONS OF JUNCTION BOXES, HANDHOLES, AND FIXTURES.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, LAYOUT COORDINATES, AND WORK FROM PREVIOUS AND ONGOING CONTRACTS IN THE FIELD. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR DIRECTION IMMEDIATELY BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- CONTRACTOR SHALL REQUEST A FIELD REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE OF THE LAYOUT OF ALL ELEMENTS, AS SHOWN. CONTRACTOR SHALL STAKE ALL LOCATIONS AND OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL REQUEST A FIELD REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE OF ALL SITE LIGHTING FIXTURES, JUNCTION BOXES, TRANSFORMERS, AND PANELS. CONTRACTOR SHALL STAKE ALL LOCATIONS AND OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LIGHTING CURCUITRY AND SOME JUNCTION BOX LOCATIONS MAY BE LOCATED ON ELECTRICAL ENGINEERING PLANS.
- ALL LIGHTING SHALL ALIGN WITH APPROVED PAVING JOINTS UNLESS OTHERWISE NOTED.
- ALL WORK TO BE PERFORMED BY LICENSED ELECTRICAL ENGINEER.
- ALL WORK SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

HARDSCAPE SCHEDULE

KEY	SYM	DESCRIPTION	SPEC	DETAIL	MATERIAL	FINISH	COLOR	COMMENTS
VP1	-	VEHICULAR PAVING, TYPE 1	-	-	CAST-IN-PLACE CONCRETE	TOP CAST, #3 ETCHED	NATURAL	CONTROL JOINTS AND EXPANSION JOINTS PER PLANS AND DETAILS. THICKNESS, SUBGRADE CONDITION AND REINFORCEMENT PER CIVIL. MUST MEET CITY STANDARD GUIDELINES. SUBMIT SHOP DRAWINGS FOR PAVING AND JOINT LAYOUT AND PROVIDE MOCK UP PER SPECIFICATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT.
PP1	-	PEDESTRIAN PAVING, TYPE 1	-	-	CAST-IN-PLACE CONCRETE	TOP CAST, #3 ETCHED	NATURAL	CONTROL JOINTS AND EXPANSION JOINTS PER PLANS AND DETAILS. THICKNESS, SUBGRADE CONDITION AND REINFORCEMENT PER CIVIL. MUST MEET CITY STANDARD GUIDELINES. SUBMIT SHOP DRAWINGS FOR PAVING AND JOINT LAYOUT AND PROVIDE MOCK UP PER SPECIFICATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT.
PP2	-	PEDESTRIAN PAVING, TYPE 2	-	-	REFER TO ARCH.	REFER TO ARCH.	REFER TO ARCH.	REFER TO ARCH.
DG	-	GRANITE FINES	-	-	GRANITE FINES	NATURAL	TBD	4" DEPTH. PROVIDE SAMPLES AND MOCK-UP FOR APPROVAL BY LANDSCAPE ARCHITECT.
PP3	-	TACTILE PAVING	-	-	12'X12'X2" THICK PRECAST CONCRETE DETECTABLE WARNING PAVERS	TRUNCATED DOMES	TBD	SUBSLAB THICKNESS, SUBGRADE CONDITION AND REINFORCEMENT PER CIVIL. SUBMIT SAMPLE, SHOP DRAWINGS, AND PROVIDE MOCK UP FOR APPROVALS BY LANDSCAPE ARCHITECT. BASIS OF DESIGN MANF: HANOVER ARCHITECTURAL PRODUCTS OR APPROVED EQUAL, www.hanoverpavers.com

SITE FEATURES SCHEDULE

KEY	SYM	DESCRIPTION	SPEC	DETAIL	MATERIAL	FINISH	COLOR	COMMENTS
BN		SITE BENCH	-	-	10' CUSTOM BENCH	STEEL: PAINTED WOOD: NATURAL	STEEL: TBD WOOD: CUMARU	QTY: PER PLANS; WOOD SLATS WITH STEEL FRAME. PROVIDE FOUNDATION, FOOTER AND ATTACHMENTS.
BR		BIKE RACK	-	-	STEEL	POWDER COATED	CUSTOM	QTY: PER PLANS, MOUNTING PER DETAILS: BASIS OF DESIGN: FORMS+SURFACE: BOLA BIKE RACK, WWW.FORMS-SURFACES.COM
HR		HANDRAIL	-	-	REFER TO ARCH.	REFER TO ARCH.	REFER TO ARCH.	REFER TO ARCH.
SS	-	SITE STEPS	-	-	REFER TO ARCH.	REFER TO ARCH.	REFER TO ARCH.	REFER TO ARCH.



BN SITE BENCH - FORMS AND SURFACES, FLIGHT BENCH OR SIMILAR



BR BIKE RACK - LANDSCAPE FORMS, BOLA OR SIMILAR



LANDSCAPE LEGEND

CONSTRUCTION

- PAVING, TYPE 1
- PAVING, TYPE 2
- GRANITE FINES
- TACTILE PAVING

SITE FEATURES

- CUSTOM BENCH
- BIKE RACK
- HANDRAIL
- SITE STEPS

TREES

NOTE: THERE ARE NO EXISTING TREES WITHIN LIMIT OF DISTURBANCE.

- SINGLE TRUNK TREE**
SAMPLE TREE SPECIES
ACER RUBRUM
ACER SACCHARINUM
QUERCUS PALUSTRIS
QUERCUS BICOLOR
- MULTISTEM TREE**
SAMPLE TREE SPECIES
BETULA NIGRA
JUNIPERUS VIRGINIANA
MAGNOLIA VIRGINIANA
HAMAMELIS VIRGINIANA

PLANTING AREAS

- PLANTING MIX**
SAMPLE SPECIES
BOULETELOUA GRACILIS
CHASMANTHIUM LATIFOLIUM
CEANOTHUS AMERICANUS
HYDRANGEA ARBORESCENS
ILEX VERTICILLATA
RHUS AROMATICA
COMPTONIA PEREGRINA
LIATRIS SPICATA
FESTUCA RUBRA

IRRIGATION NOTES

- ALL PLANTING AREAS SHALL INCLUDE A FULLY AUTOMATIC IRRIGATION SYSTEM.
- IRRIGATION SHALL BE DESIGN/BUILD.
 - SUBMIT PRODUCT INFO FOR ALL MATERIALS.
 - COORDINATE WATER METER, BACKFLOW PREVENTER, IRRIGATION CONTROLLER, VALVE BOXES AND MAIN LINE CONNECTIONS.

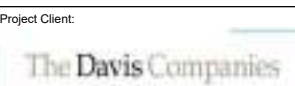
PLANTING NOTES

TREE LOCATION - TREE PLANTING PIT SOIL - PROVIDE ORGANIC FERTILE SOIL. EXCAVATION AND BACKFILL OVER PREPARED GRADE IN TREE PITS (2) TIMES THE SIZE OF ROOTBALL. DEPTHS PER SPECIFICATIONS. PROVIDE MULCH AND TREE STAKING PER DETAILS. SOIL MIXTURE TO BE APPROVED BY LANDSCAPE ARCHITECT. SEE SPECIFICATION FOR SUBMITTAL, SUBGRADE PREP AND INSTALL PROCEDURES.

ROOT BARRIER - PROVIDE 48" TREE ROOT BARRIER ALONG ALL HARDSCAPE FOR ANY TREE WITHIN 5' OF HARDSCAPE.



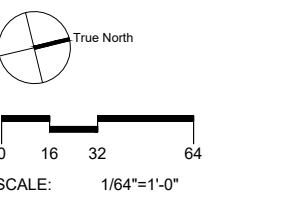
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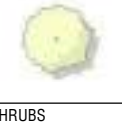



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Drawing Sheet Title:
LANDSCAPE HARDSCAPE PLAN, SCHEDULE AND NOTES

Drawing Sheet Number:
L1.00.00

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	SIZE	QTY	REMARKS
	ST	SINGLE TRUNK TREE TYPE 1	4'-6" CAL. BALL AND BURLAP	PER PLANS	MATCHED SPECIMENS, CONSISTENT BRANCHING AND STRONG CENTRAL LEADER. PROVIDE 36" TREE ROOT BARRIER ALONG ALL HARDSCAPE WITHIN 5' OF ANY TREE ROOTBALL. ALL TREES TO BE IRRIGATED WITH POPUP BUBBLERS.
	MT	MULTI STEM TREE TYPE 1	8'-10" TALL BALL AND BURLAP	PER PLANS	MATCHED SPECIMENS, CONSISTENT BRANCHING AND MULTI TRUNK. PROVIDE 48" TREE ROOT BARRIER ALONG ALL HARDSCAPE FOR ANY TREE WITHIN 5' OF HARDSCAPE. ALL TREES TO BE IRRIGATED WITH POPUP BUBBLERS.
SHRUBS PERENNIALS AND GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONTAINER	QTY	REMARKS
	PM1	PLANTING MIX TYPE 1	VARIES	PER PLANS	30% 1 GAL @ 12" O.C., 50% 3 GAL @ 18" O.C., 20% 5 GAL @ 24" O.C.; MATCHED SPECIMENS, FORM TYPICAL OF THE SPECIES. ALL PLANTING AREAS TO RECEIVE DRIP IRRIGATION.

LANDSCAPE PLANTING NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THEMSELVES FAMILIAR WITH ALL UNDERGROUND UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED TO DAMAGE OF SAID UTILITIES OR STRUCTURES IF PROPER VERIFICATION BY CONTRACTOR WAS NOT PERFORMED.
- DO NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL NECESSARY DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR RESPONSIBLE FOR VERIFYING PLANT AND SOD QUANTITIES AND ENSURING DESIGN INTENT OF DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH HIS PLANTING OPERATIONS.
- THE CONTRACTOR IS TO RECEIVE THE ON-GRADE PORTION OF THE SITE WITHIN .1 OF AN INCH. THE CONTRACTOR SHALL OBTAIN A LETTER OF GRADE CERTIFICATION FROM THE OWNER PRIOR TO BEGINNING WORK.
- REFER TO THE SPECIFICATIONS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION.
- ALL TREES SHALL BE TAGGED BY THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE.
- FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR IS TO DO THE FOLLOWING BEFORE BEGINNING PLANTING OPERATIONS.
 - SHRUBS: LAY OUT THE ACTUAL CONTAINERS ONSITE PRIOR TO DIGGING HOLES.
 - TREES: STAKE THE LOCATIONS PRIOR TO DIGGING HOLES. ANY TREE PLANTED WITHOUT ITS FINAL LOCATION APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE MAY BE REQUESTED TO BE RELOCATED AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULE.
- IF CONFLICTS ARISE BETWEEN THE ACTUAL SIZE OF THE AREAS ON THE SITE AND THE DRAWINGS THE CONTRACTOR SHALL CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIAL FREE OF PEST OR PLANT DISEASES. PRE-SELECTED "TAGGED" PLANT MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND BE CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S OBLIGATION TO WARRANT THE PLANT MATERIAL PER SPECIFICATIONS.
- TREE LOCATIONS MAY ADJUST TO ACCOMMODATE UNFORESEEN SITE CONDITIONS AND CONFLICTS, INCLUDING BUT NOT LIMITED TO UTILITIES. VERIFY NEW LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- GROUND COVERS AND SHRUBS ARE TO BE TRIANGULARLY SPACED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- ALL SHRUB AND GROUND COVER AREAS (EXCLUDING TURF AND SLOPE AREAS) ARE TO BE MULCHED WITH WOOD PER SPECIFICATIONS. REFER TO THE DRAWINGS FOR SPECIFIC LOCATIONS.
- AFTER FINISH GRADES HAVE BEEN ESTABLISHED FOR ALL ON-GRADE PLANTING AREAS, THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY A QUALIFIED SOILS TESTING LABORATORY FOR SOIL FERTILITY, AGRICULTURAL SUITABILITY, AND SOIL PREPARATION RECOMMENDATIONS. THE CONTRACTOR MAY BE REQUESTED TO AMEND THE SOIL TO CONFORM TO THE RECOMMENDATIONS HOWEVER ANY AMENDMENT THAT MIGHT BE REQUESTED OF THE CONTRACTOR SHALL ONLY BE UPON RECEIPT OF A WRITTEN CHANGE ORDER FROM THE OWNER.
- CONTRACTOR TO INSTALL STEEL EDGING TO SEPARATE ALL PLANT VARIETIES FROM LAWN.
- CONTRACTOR SHALL SUPPLY THE LANDSCAPE ARCHITECT WITH PICTURES OF ALL SPECIFIED PLANT MATERIAL IN ADDITION TO ALL OTHER PLANT MATERIAL.

SOILS NOTES

- PLANTING SOIL, TYPE 1 - PLANT MIXES** - PROVIDE 24" DEPTH ORGANIC FERTILE SOIL. PROVIDE MULCH IN CONTAINER PLANTING AREAS. SOIL MIXTURE TO BE APPROVED BY LANDSCAPE ARCHITECT. SEE SPECIFICATION FOR SUBMITTAL, SUBGRADE PREP AND INSTALL PROCEDURES.
- CONTRACTOR TO STOCKPILE ALL ON-SITE TOPSOIL TO BE REUSED IN LANDSCAPE INSTALLATION. CONTRACTOR TO SEND SOIL SAMPLES FROM STOCKPILED TOPSOIL TO SOIL CONSULTANT FOR TESTING AND ANALYSIS. STOCKPILED SOIL WILL THEN BE AMENDED PER CONSULTANT RECOMMENDATION AND UTILIZED AS A COMPONENT IN THE PLANTING SOIL BLEND. SEE SPECIFICATIONS FOR FURTHER DETAIL.
- FINISH GRADES SHOWN ON DRAWINGS WITHIN PLANTING AREAS ARE THE TOP OF THE MULCH PORTION OF THE PLANTING INSTALL. CONTRACTOR TO NOTE DEPTHS OF SOIL AS NOTED IN ABOVE SOIL SCHEDULE. CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION OF PLANTING BEDS TO DEPTHS SHOWN PRIOR TO INSTALLATION OF PLANTING SOILS. SEE SPECIFICATIONS FOR FURTHER DETAIL.
- CONTRACTOR RESPONSIBLE FOR THE PROTECTION OF EXISTING WATERPROOFING, PROTECTION BOARD AND ALL APPURTENANCES.

REFER TO CIVIL PLANS FOR ALL HARDSCAPE GRADING CONDITIONS.



ACER RUBRUM



ACER SACCHARINUM



QUERCUS PALUSTRIS



QUERCUS BICOLOR



BETULA NIGRA



JUNIPERUS VIRGINIANA



MAGNOLIA VIRGINIANA







HAMAMELIS VIRGINIANA



LANDSCAPE PLAN **01**
SCALE: 1/64" = 1'-0"

LANDSCAPE LEGEND

CONSTRUCTION

-  PAVING, TYPE 1
-  PAVING, TYPE 2
-  GRANITE FINES
-  TACTILE PAVING

SITE FEATURES


-  CUSTOM BENCH
-  BIKE RACK
-  HANDRAIL
-  SITE STEPS

TREES

NOTE: THERE ARE NO EXISTING TREES WITHIN LIMIT OF DISTURBANCE.

-  **SINGLE TRUNK TREE**
SAMPLE TREE SPECIES
ACER RUBRUM
ACER SACCHARINUM
QUERCUS PALUSTRIS
QUERCUS BICOLOR
-  **MULTISTEM TREE**
SAMPLE TREE SPECIES
BETULA NIGRA
JUNIPERUS VIRGINIANA
MAGNOLIA VIRGINIANA
HAMAMELIS VIRGINIANA

PLANTING AREAS

-  **PLANTING MIX**
SAMPLE SPECIES
BOUTELLOUA GRACILIS
CHASMANTHIUM LATIFOLIUM
CEANOTHUS AMERICANUS
HYDRANGEA ARBORESCENS
ILEX VERTICILLATA
RHUS AROMATICA
COMPTONIA PEREGRINA
LIATRIS SPICATA
FESTUCA RUBRA

IRRIGATION NOTES

ALL PLANTING AREAS SHALL INCLUDE A FULLY AUTOMATIC IRRIGATION SYSTEM.

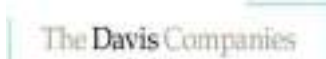
- IRRIGATION SHALL BE DESIGN/BUILD.
- SUBMIT PRODUCT INFO FOR ALL MATERIALS.
- COORDINATE WATER METER, BACKFLOW PREVENTER, IRRIGATION CONTROLLER, VALVE BOXES AND MAIN LINE CONNECTIONS.

PLANTING NOTES

TREE LOCATION - TREE PLANTING PIT SOIL - PROVIDE ORGANIC FERTILE SOIL. EXCAVATION AND BACKFILL OVER PREPARED GRADE IN TREE PITS (2) TIMES THE SIZE OF ROOTBALL. DEPTHS PER SPECIFICATIONS. PROVIDE MULCH AND TREE STAKING PER DETAILS. SOIL MIXTURE TO BE APPROVED BY LANDSCAPE ARCHITECT. SEE SPECIFICATION FOR SUBMITTAL, SUBGRADE PREP AND INSTALL PROCEDURES.

ROOT BARRIER - PROVIDE 48" TREE ROOT BARRIER ALONG ALL HARDSCAPE FOR ANY TREE WITHIN 5' OF HARDSCAPE.

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0 16 32 64
SCALE: 1/64" = 1'-0"

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Drawing Sheet Title:

LANDSCAPE PLANTING PLAN, SCHEDULE AND NOTES

Drawing Sheet Number:

L1.01.00

Project Client:

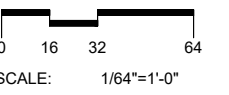
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OJB LANDSCAPE ARCHITECTURE

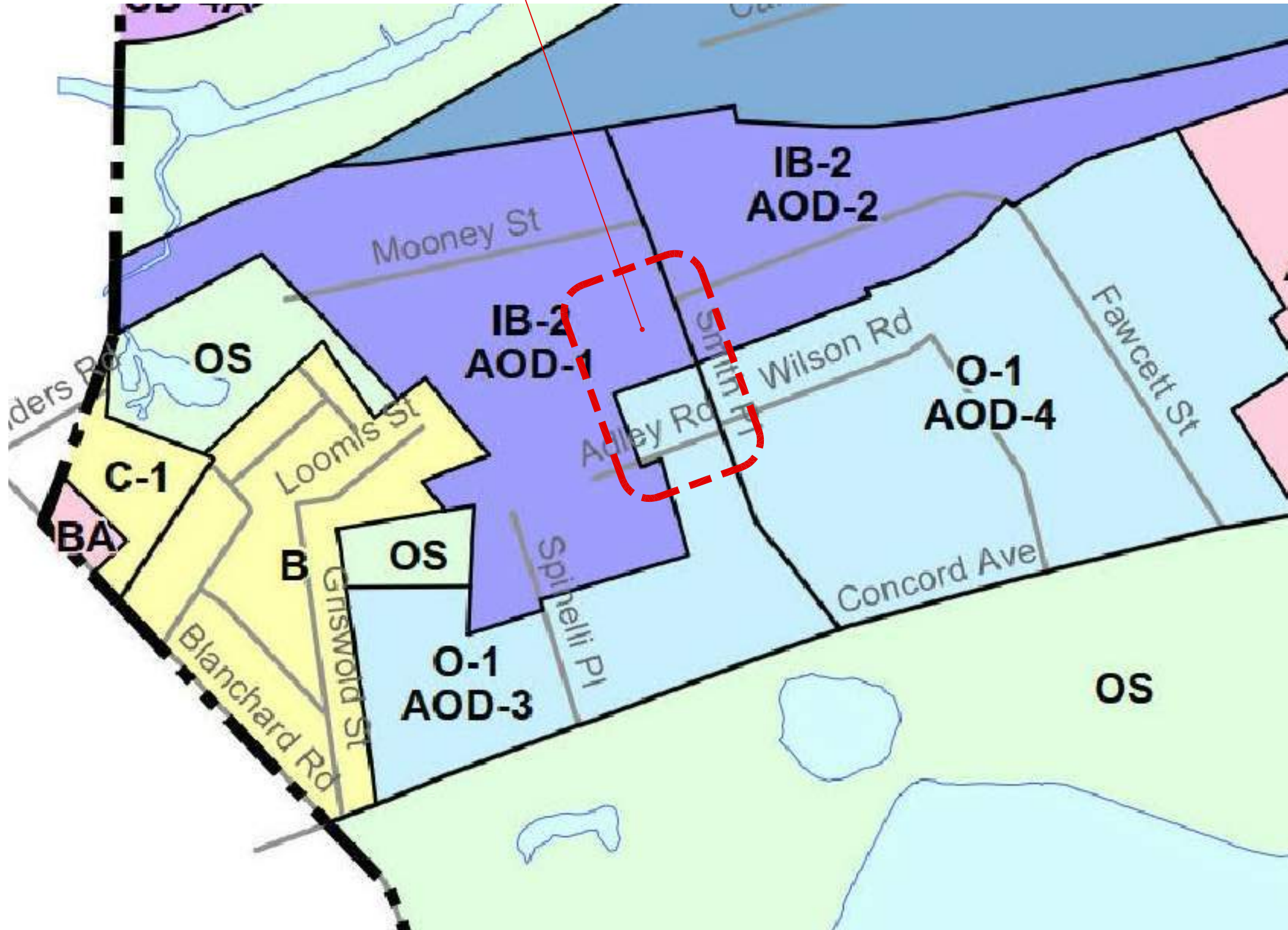


SPECIAL PERMIT APPLICATION 12/16/2019

Drawing Sheet Title:
ENLARGED LANDSCAPE GRADE PLAN

Drawing Sheet Number:
L1.02.00

PROJECT LOCATION



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APPLICATION 12/16/2019

Drawing Sheet Title:
CAMBRIDGE ZONING MAP

ZONE - INDUSTRY DISTRICT 2 (IB-2) & ALEWIFE OVERLAY DISTRICT 1 (AOD-1)
 ZONE - OFFICE DISTRICT 1 (O-1) & ALEWIFE OVERLAY DISTRICT 3 (AOD-3)



120 Saint James Avenue, 5th Floor
 Boston, Massachusetts
 02116

P 617.242.9222
 F 617.532.4399
 W www.jacobs.com

Project Client:



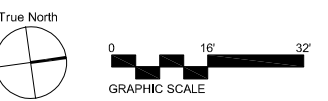
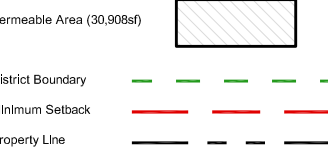
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Dimensional Form:	EXISTING	ALLOWED REQUIRED (MIN./MAX)	PROPOSED
Lot Area (sq ft) Parcel 1	60,036sf	MIN. 5,000sf	113,246 sf
Lot Width (ft) Parcel 1	235'	50'	220'
Lot Area (sq ft) Parcel 6	53,210sf	MIN. 5,000sf	Combined above
Lot Width (ft) Parcel 6	203'	50'	Combined above
Total Gross Floor Area (sq ft)	32,670sf	169,869sf	142,153 sf
Residential Base	N.A.	N.A.	N.A.
Non-Residential Base	N.A.	N.A.	N.A.
Inclusionary Housing Bonus	N.A.	N.A.	N.A.
Total Floor Area Ratio	.29	1.5	1.26
Residential Base	N.A.	N.A.	N.A.
Non-Residential Base	N.A.	N.A.	N.A.
Inclusionary Housing Bonus	N.A.	N.A.	N.A.
Total Dwelling units	0	0	0
Base units	N.A.	N.A.	N.A.
Inclusionary Bonus Units	N.A.	N.A.	N.A.
Base Lot Area / Unit (sq ft)	N.A.	N.A.	N.A.
Total Lot Area / Unit (sq ft)	N.A.	N.A.	N.A.
Building Height(s) (ft)	15' - 30'	55'	52' - 9'
Front Yard Setback (ft)	6.6' - 29.9'	15'	25' - 9'
Side Yard Setback - Side (ft)	15'	15'	46' - 9'
Side Yard Setback - Side (ft)	61'	15'	40' - 9'
Rear Yard Setback (ft)	41'	15'	53' - 9'
Open Space (% of lot area)	1%	15%	29%
Private Open Space (sf)	0	N.A.	0
Permeable Open Space (sf)	.08%	25%	29%
Other Open Space	0	N.A.	0
On-Street Parking Spaces	156	136/270	154
Bicycle Parking Spaces	0	329	50/10
Loading Bays	0	2	2

Zoning Legend:



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Drawing Sheet Title:
 ZONING ANALYSIS PLAN

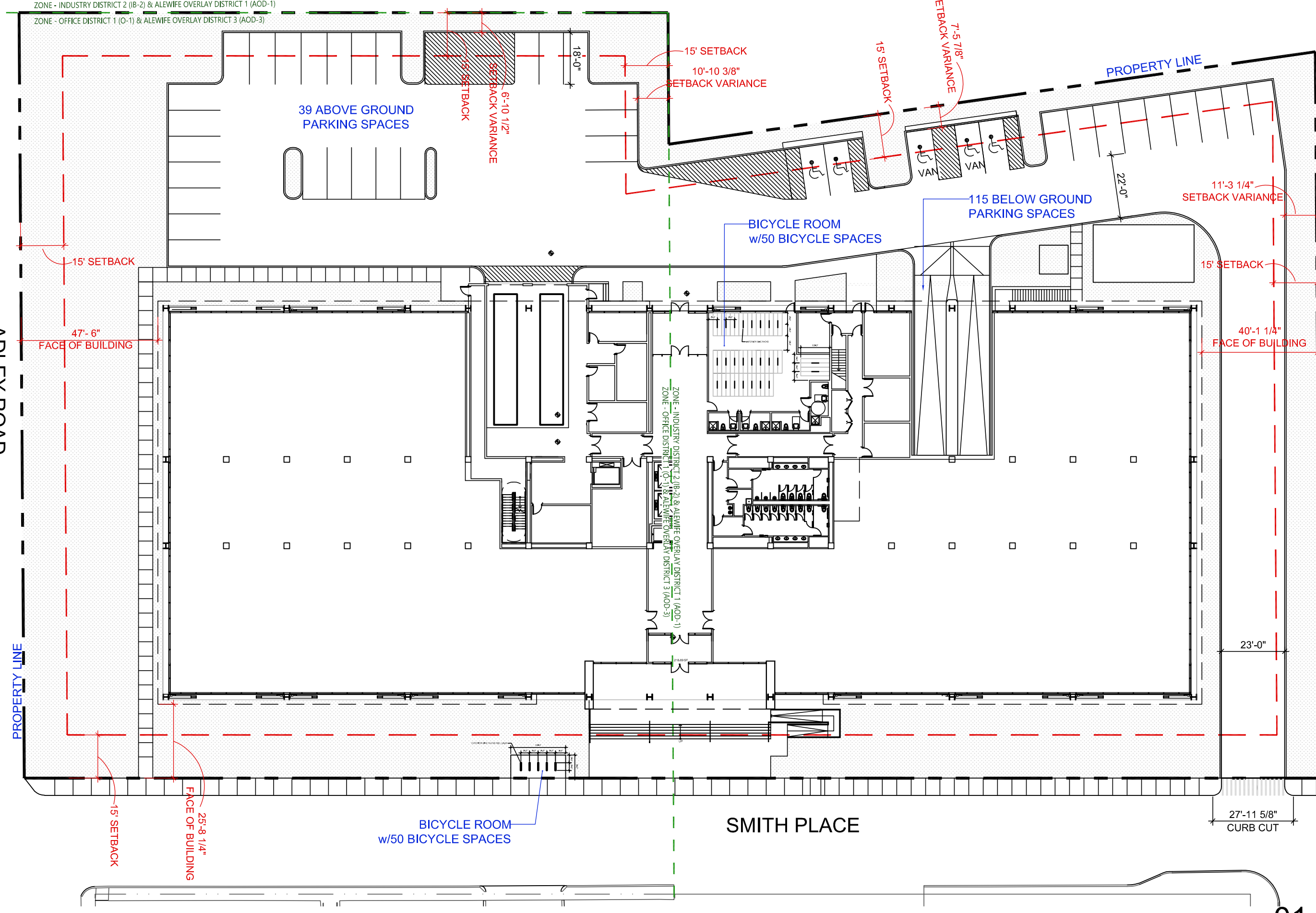
Drawing Sheet Number:
 A0.10.02

ADLEY ROAD

PROPERTY LINE

PROPERTY LINE

SMITH PLACE



ZONING ANALYSIS PLAN 01
 SCALE: 1/32" = 1'-0"

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Legend:

- Overall Site 
- Permeable Area 
- Building Footprint 
- Concrete Asphalt 
- Landscape Paving 

True North



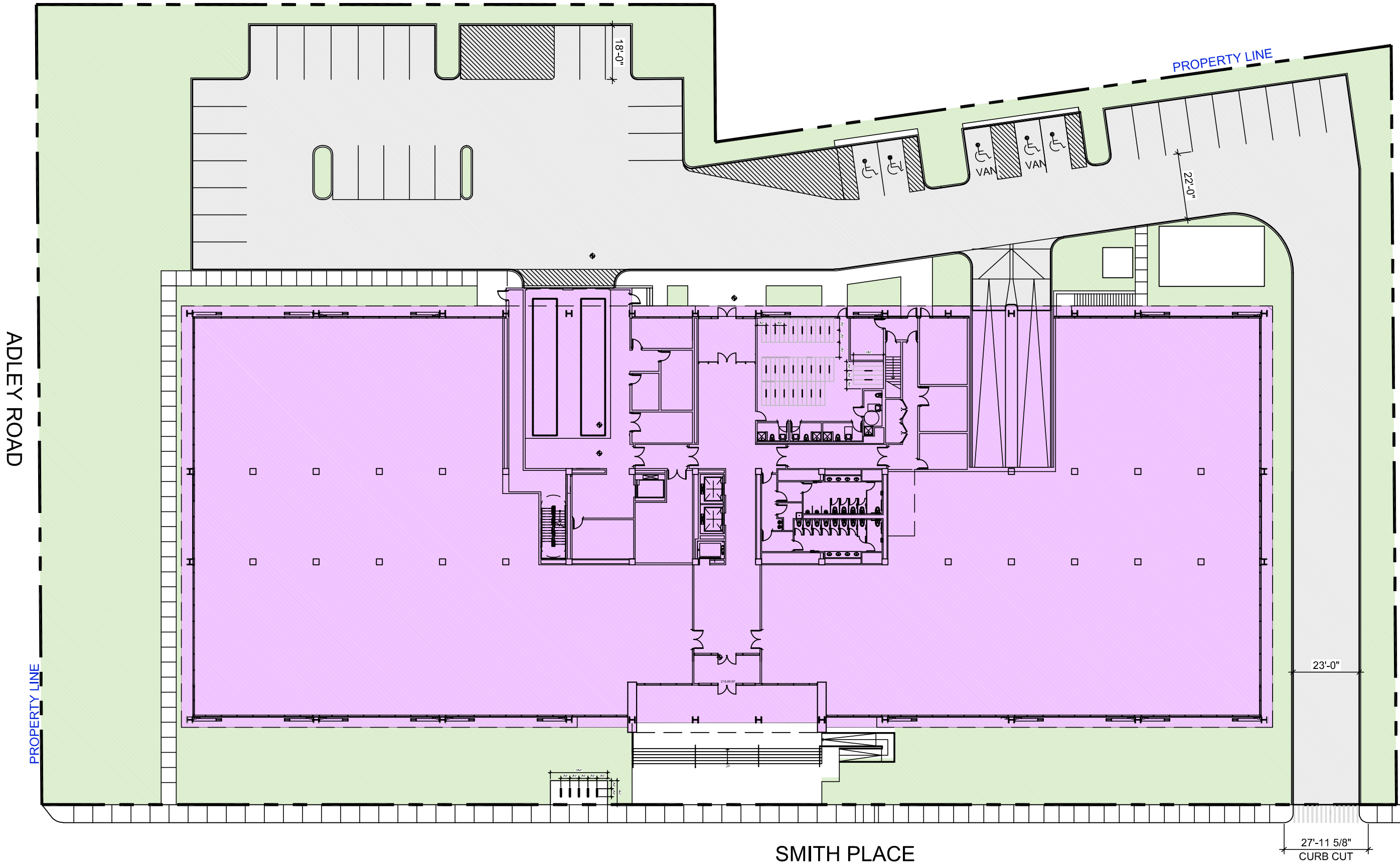
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APPLICATION 12/16/2019

Drawing Sheet Title:

SITE PERMEABLE/
NON-PERMEABLE
SURFACE DIAGRAM

Drawing Sheet Number:

A0.12.00



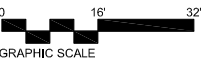
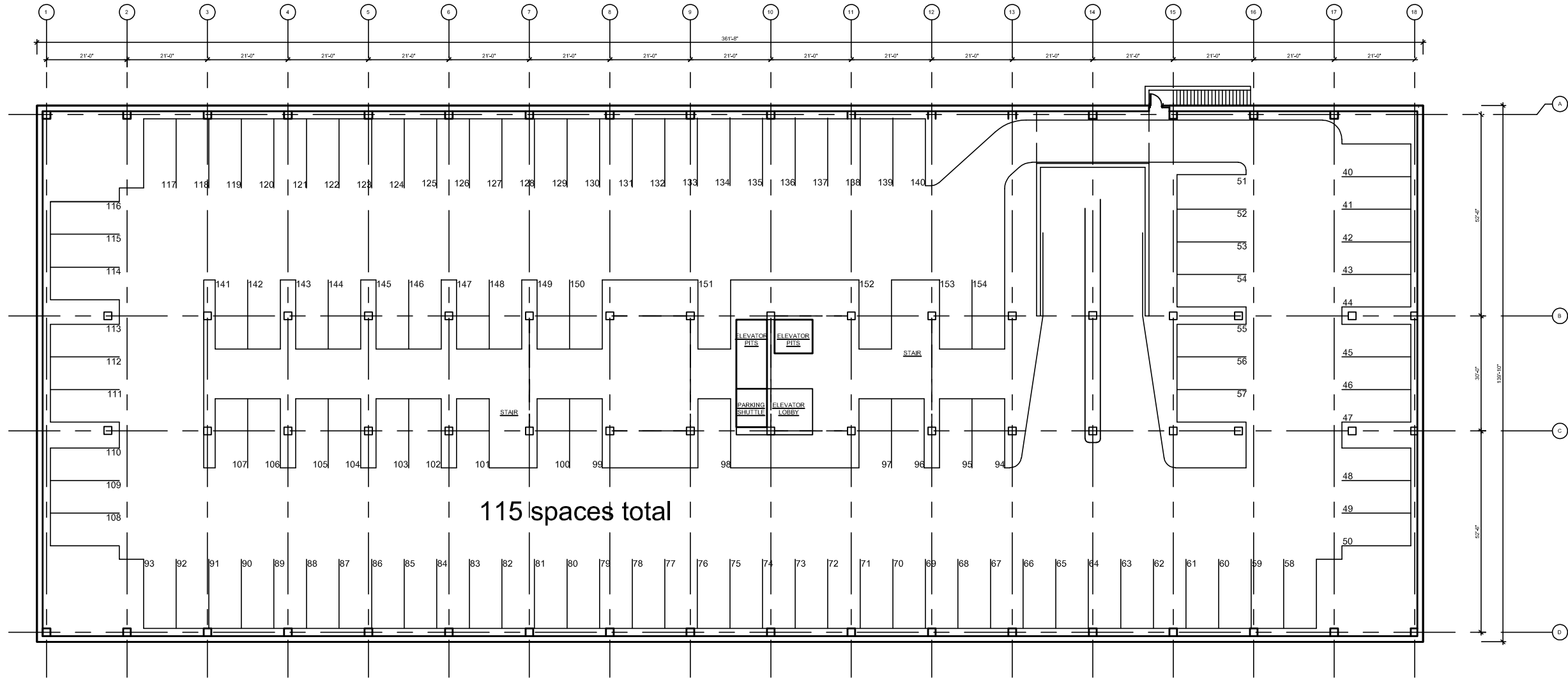
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Drawing Sheet Title:

PARKING GARAGE
PLAN - LEVEL B1

Drawing Sheet Number:

A1.00.00

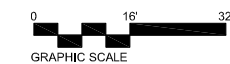
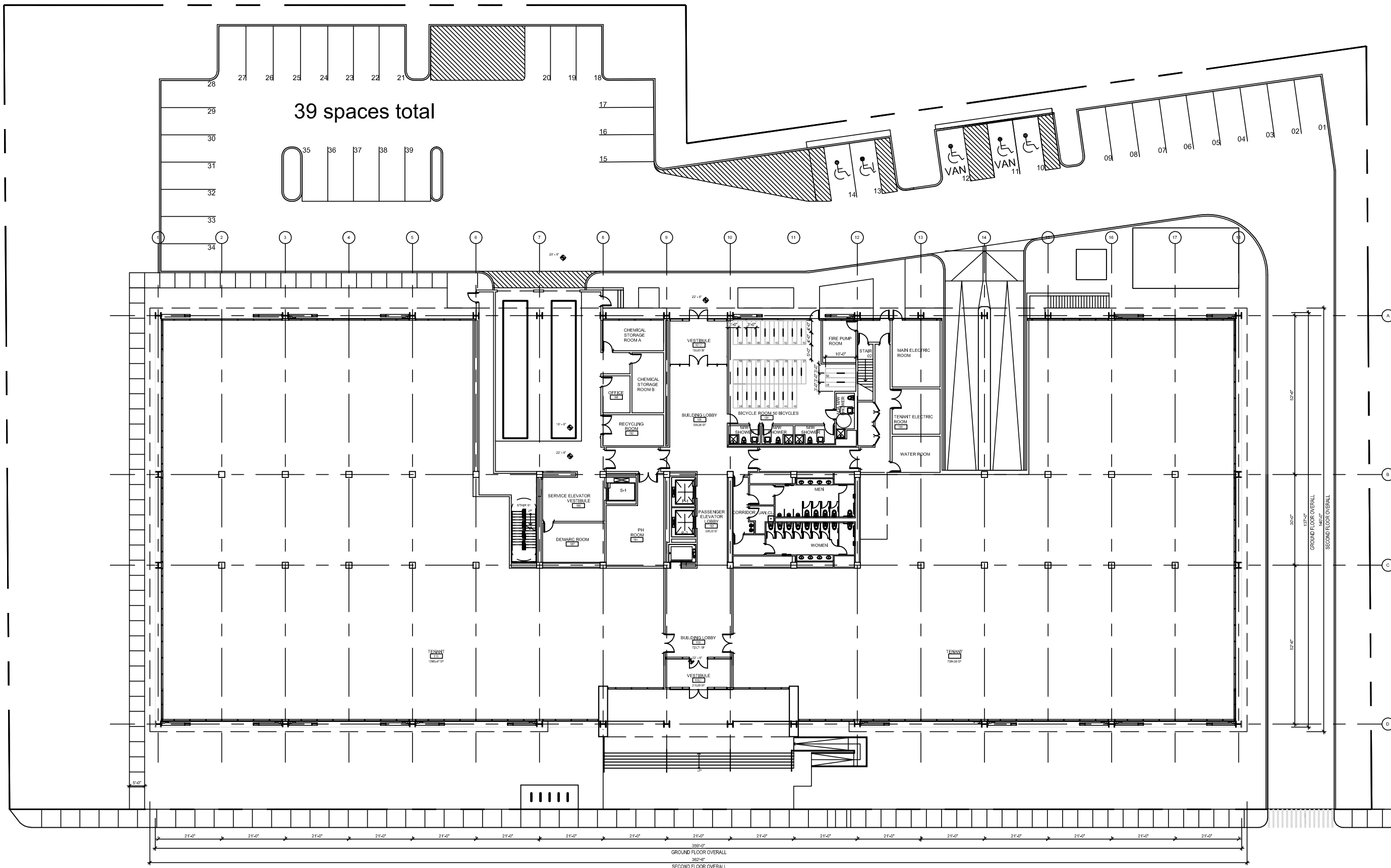
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Drawing Sheet Title:

GROUND FLOOR
PLAN - LEVEL 01

Drawing Sheet Number:

A1.01.00

SMITH PLACE

GROUND FLOOR PLAN - LEVEL 01
SCALE: 1/32" = 1'-0"

01

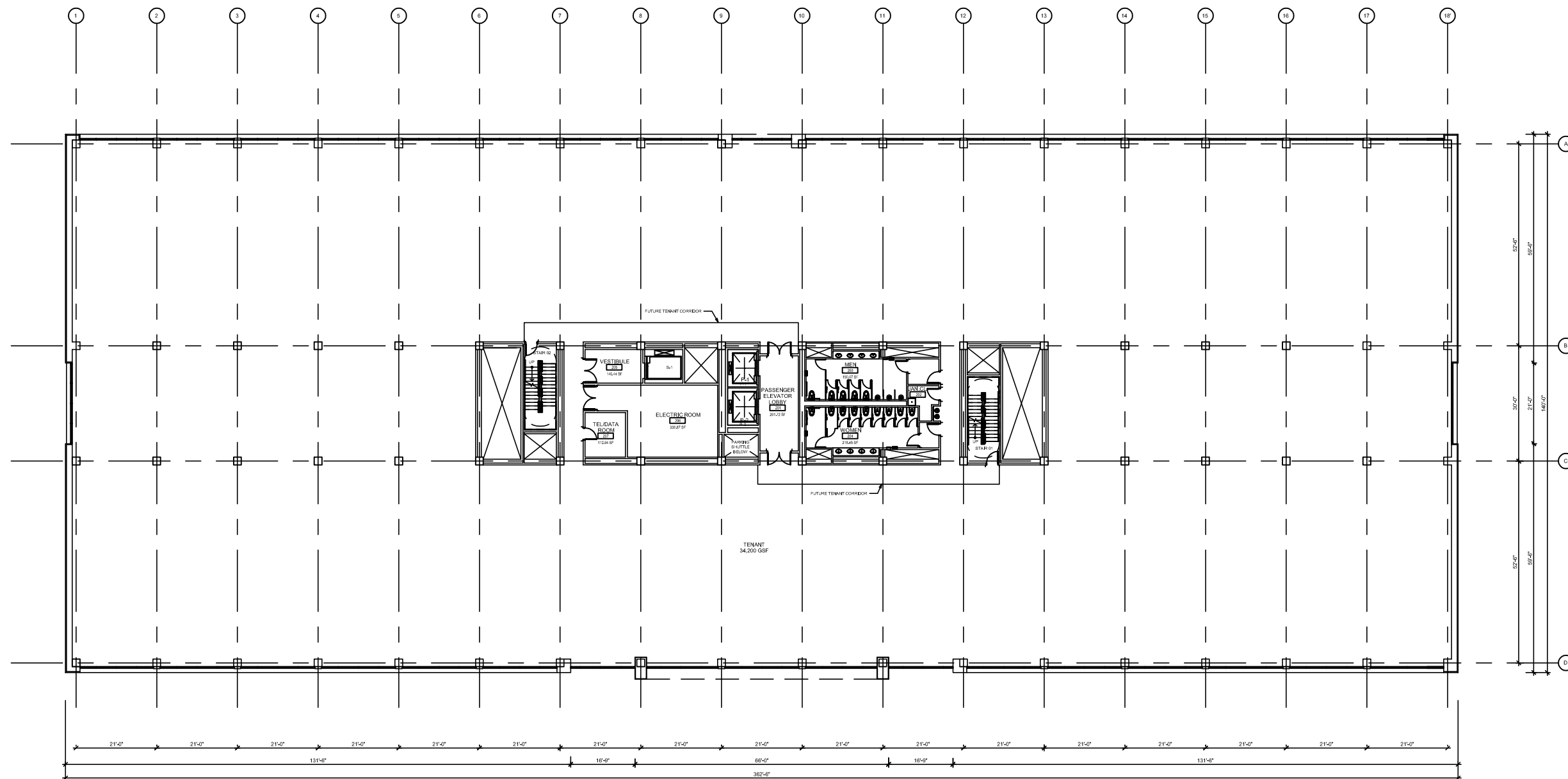
Project Client:



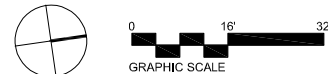
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APPLICATION 12/16/2019

Drawing Sheet Title:
TYPICAL FLOOR
PLAN - LEVEL 02

Drawing Sheet Number:
A1.02.00

TYPICAL FLOOR PLAN - LEVEL 02 (LVL 3 SIM.) **01**
SCALE: 1/32" = 1'-0"

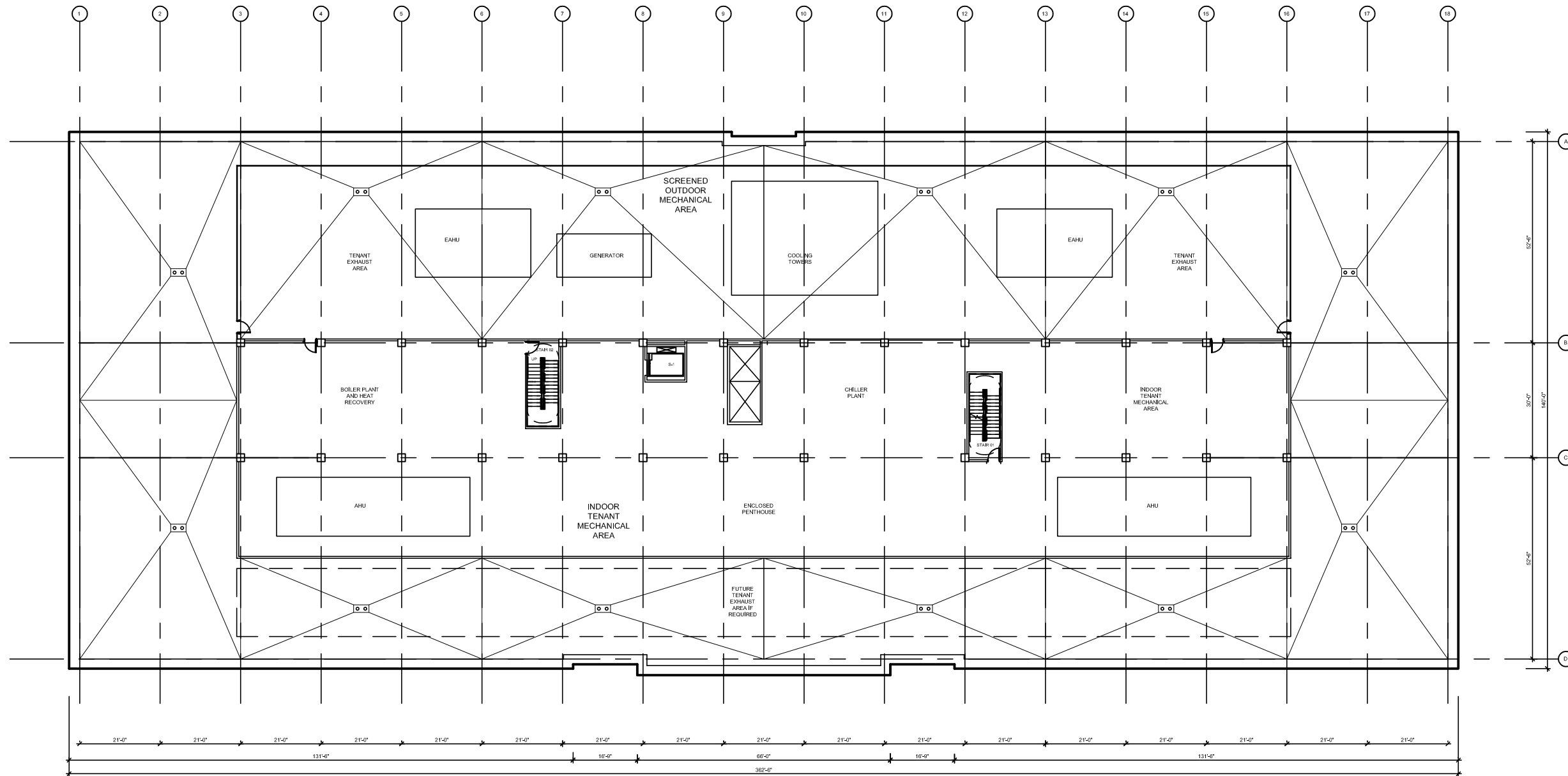
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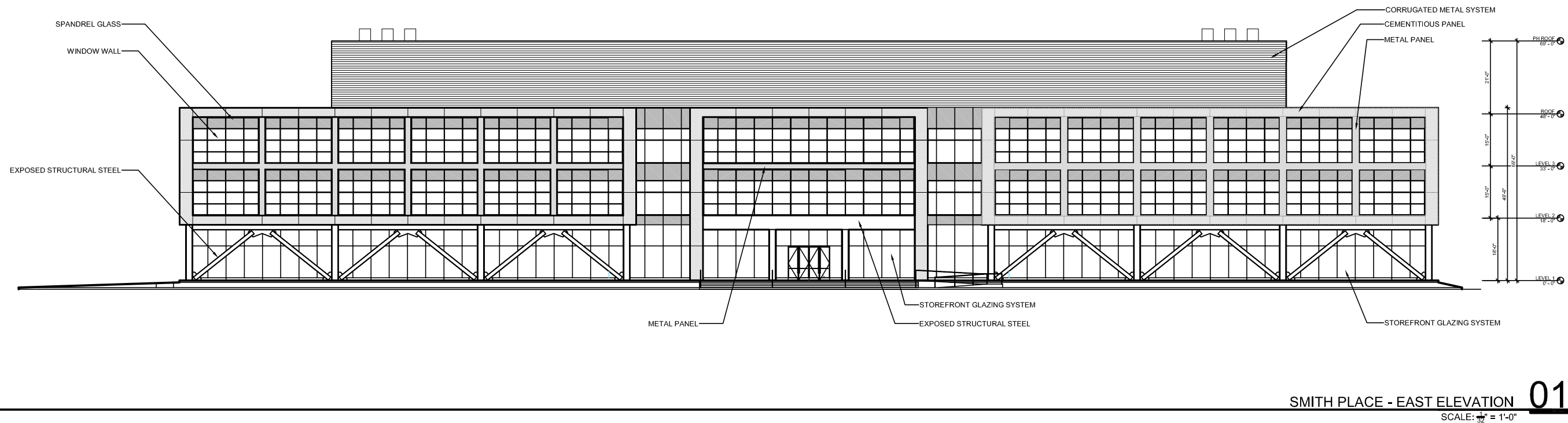
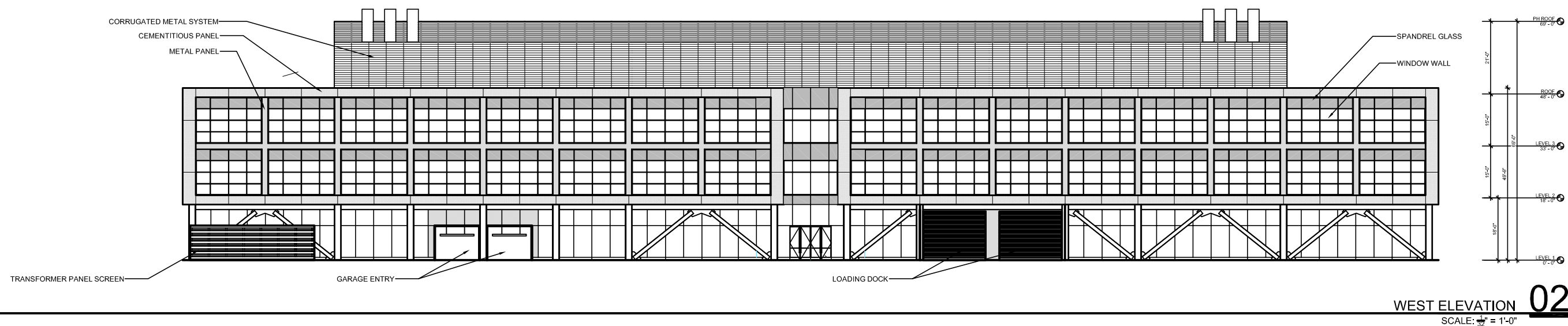
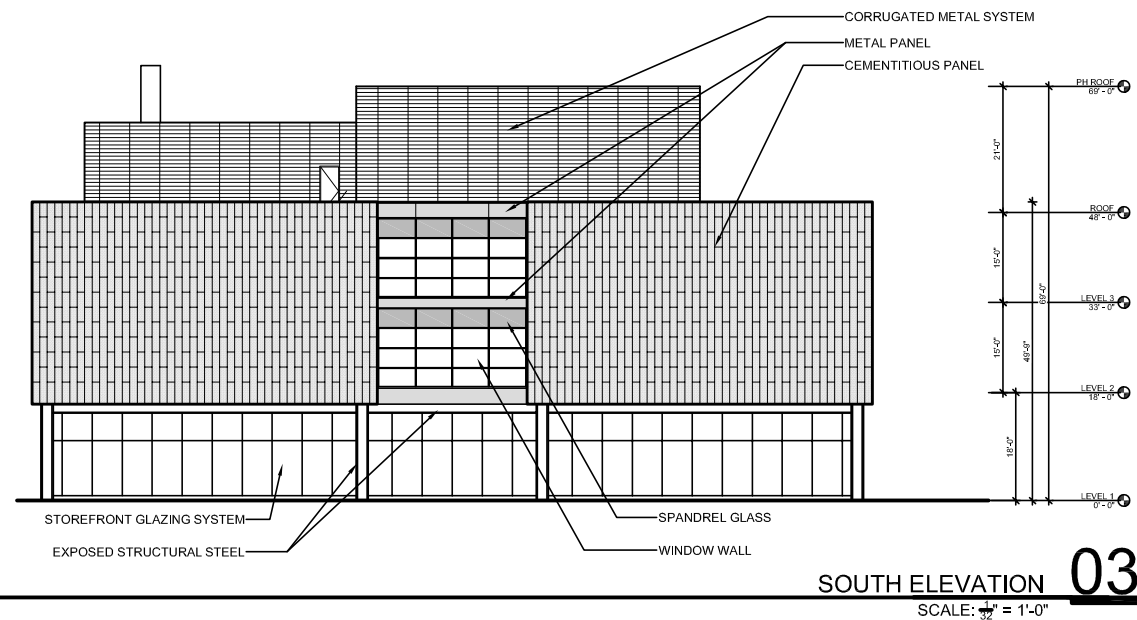
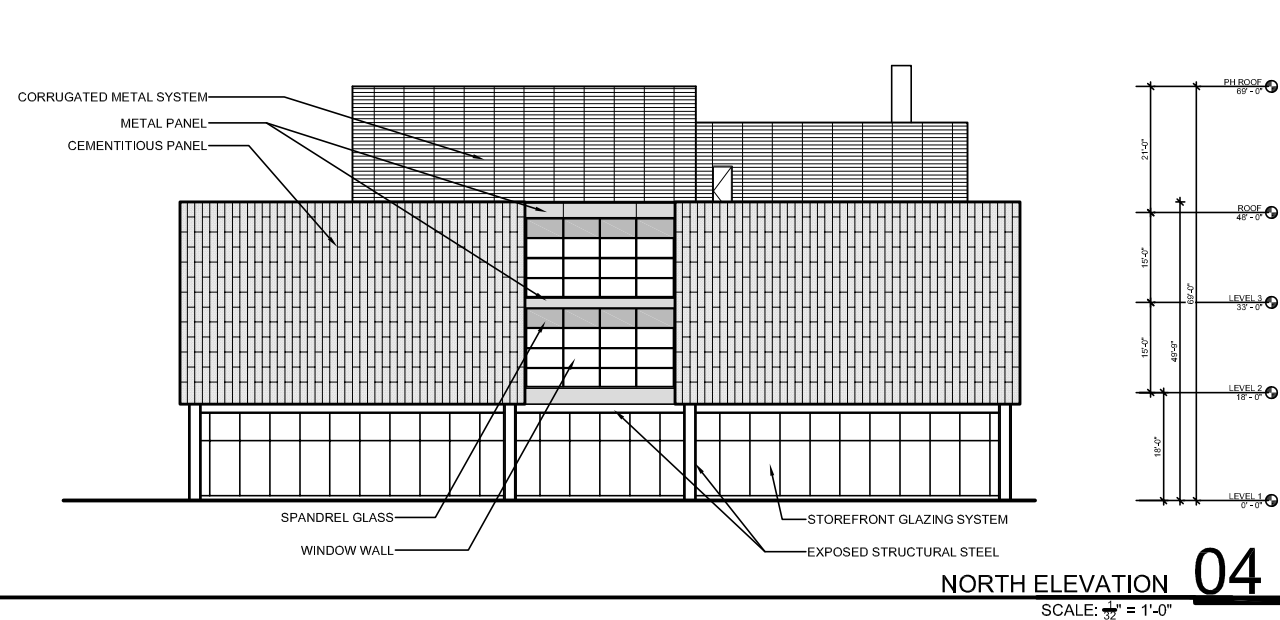
Drawing Sheet Title:

PENTHOUSE PLAN
LEVEL 04

Drawing Sheet Number:

A1.03.00

PENTHOUSE PLAN - LEVEL 04 **01**
SCALE: 1/32" = 1'-0"



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APPLICATION 12/16/2019

Drawing Sheet Title:
BUILDING ELEVATIONS

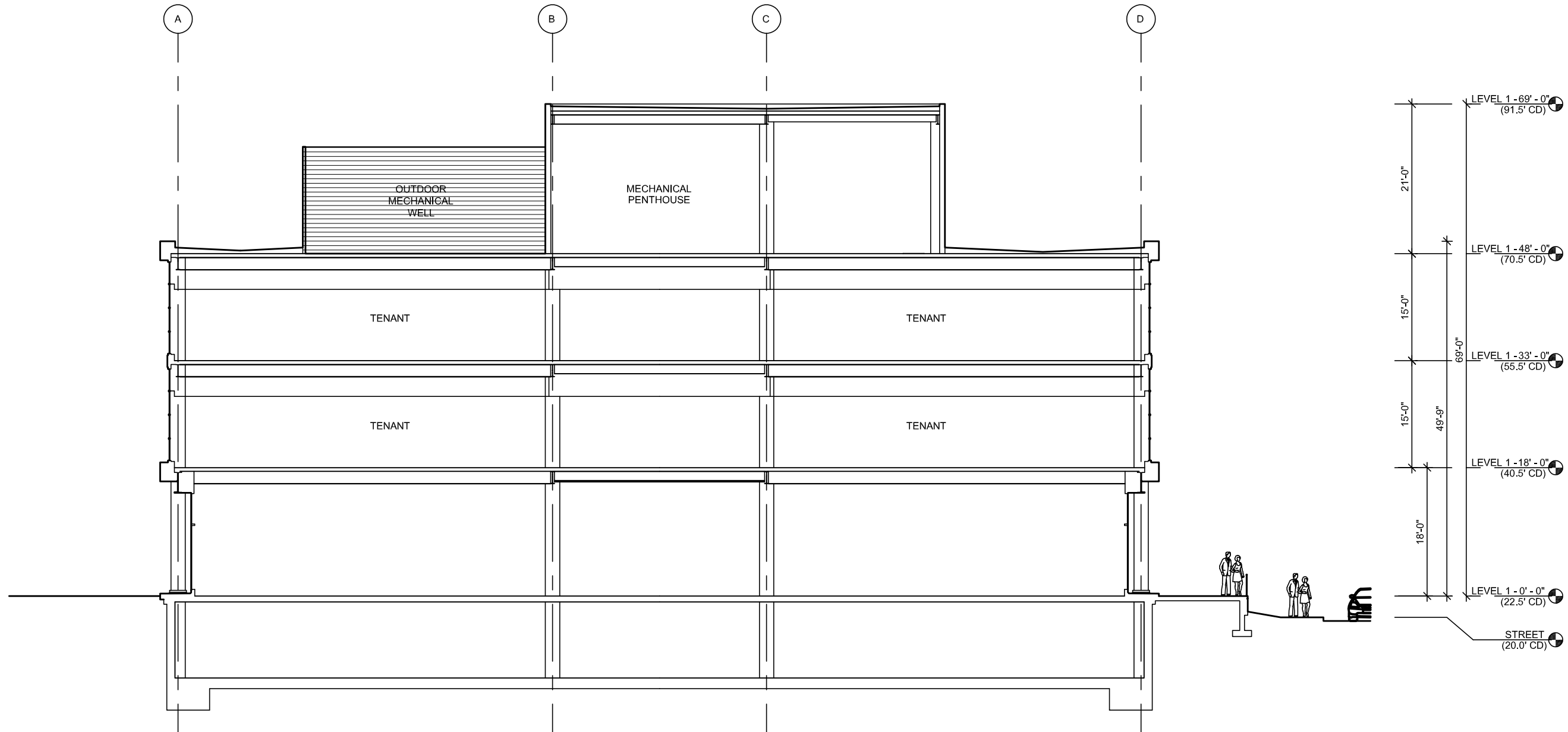
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Drawing Sheet Title:

BUILDING SECTIONS

Drawing Sheet Number:

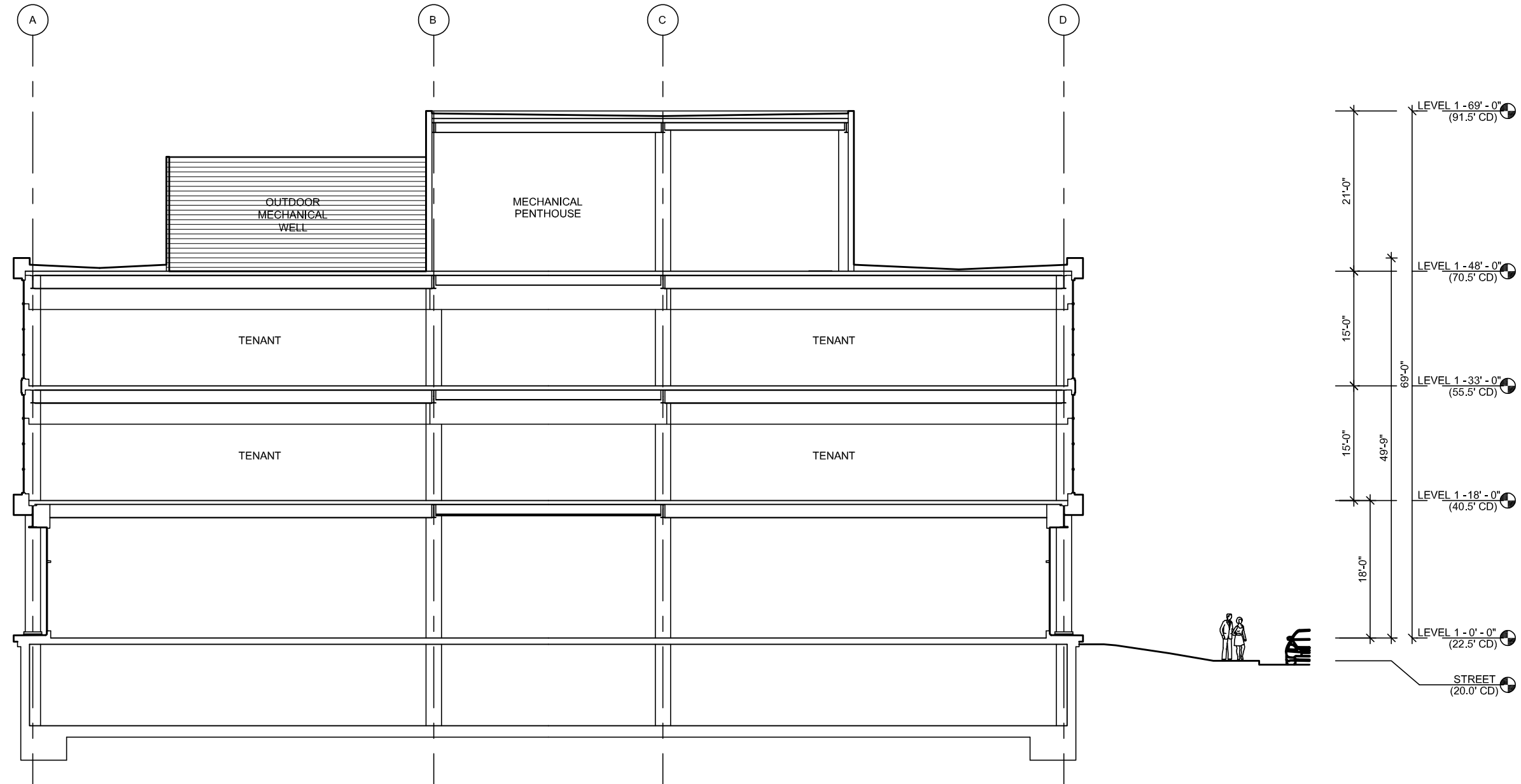
Project Client:



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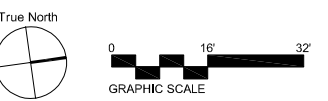
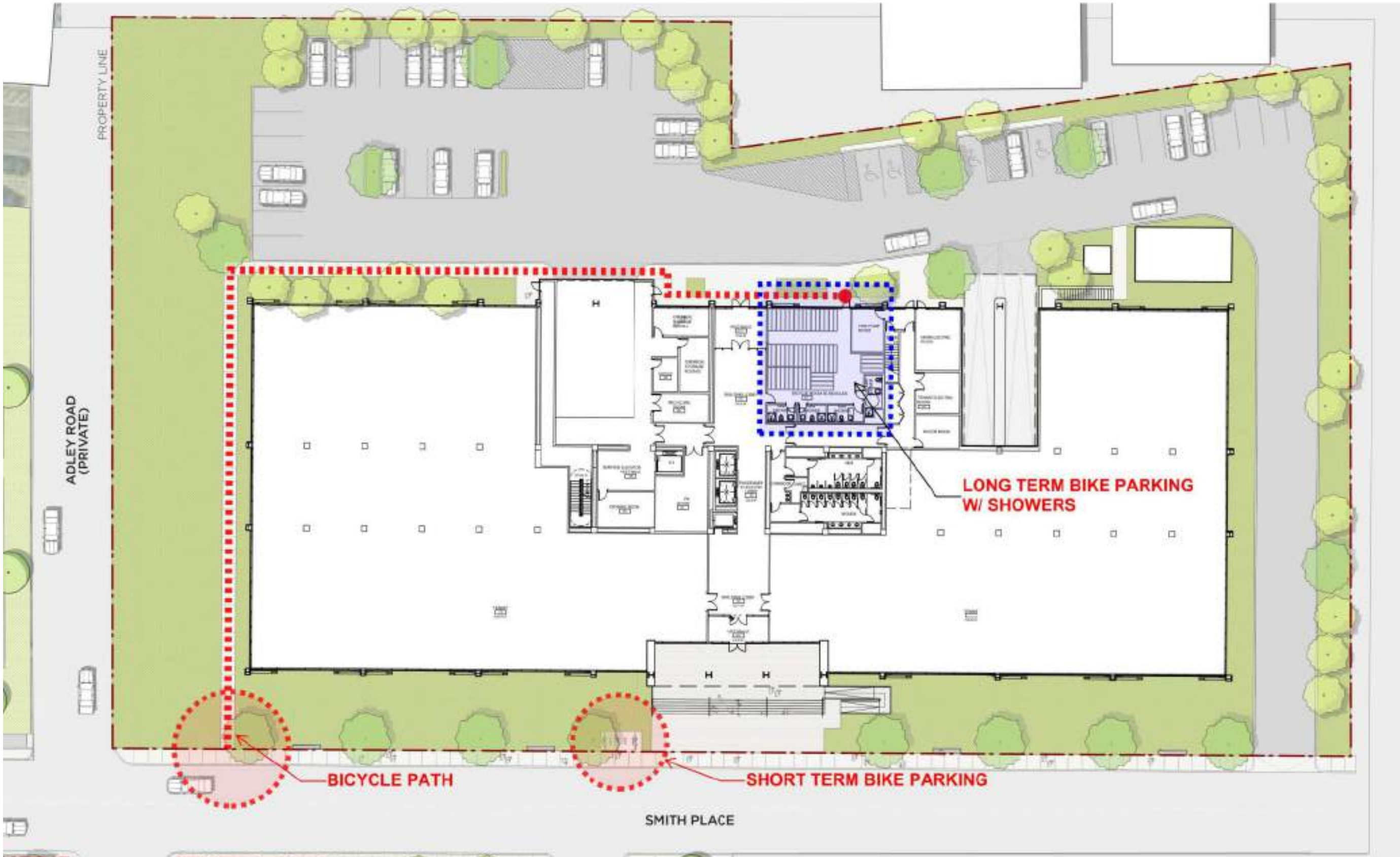
SPECIAL PERMIT
APPLICATION 12/16/2019

Drawing Sheet Title:

BUILDING SECTIONS

Drawing Sheet Number:

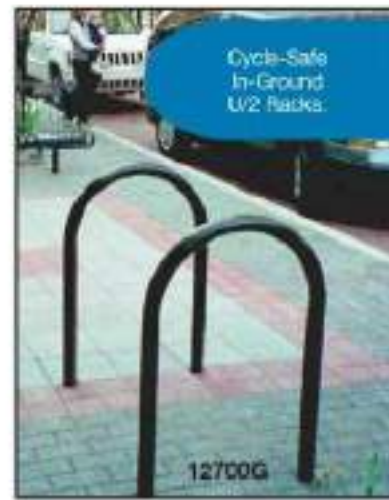
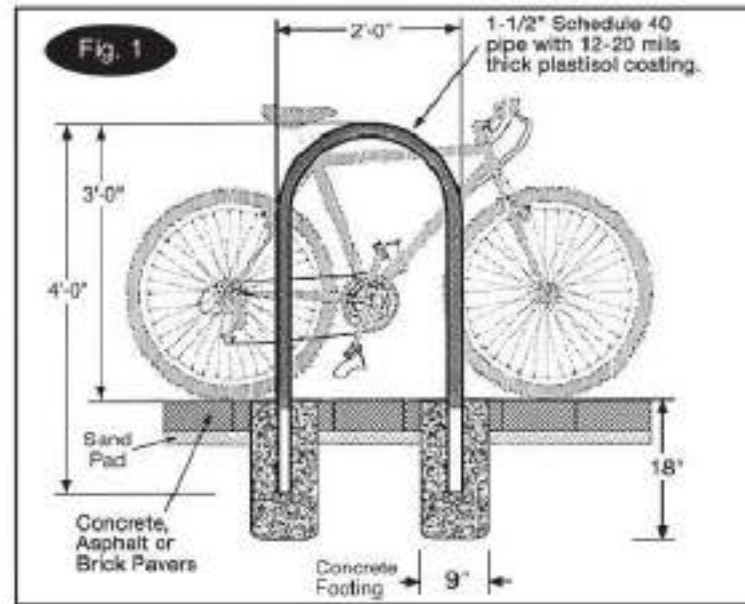
A3.11.00



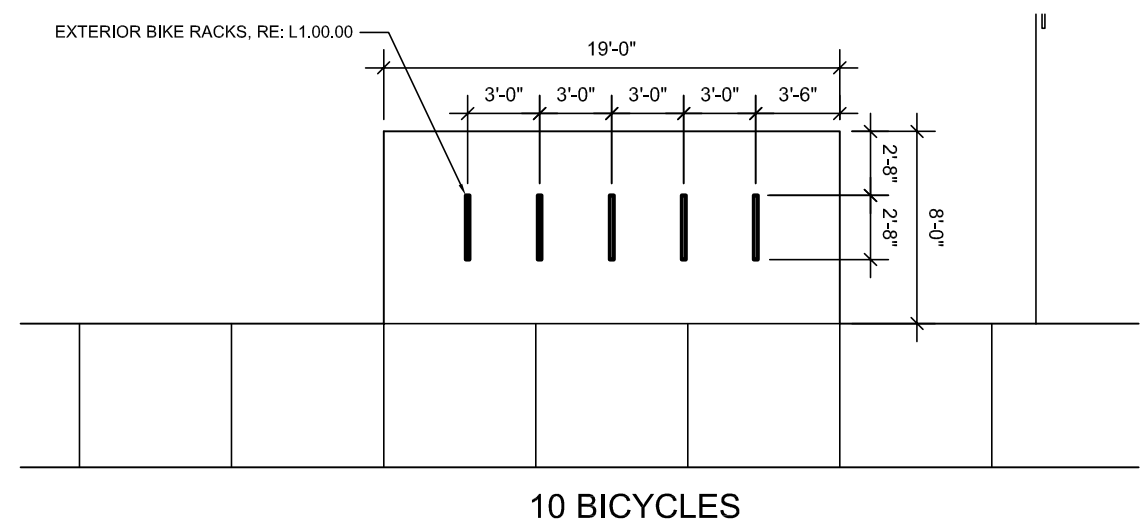
SPECIAL PERMIT
APPLICATION 12/16/2019

Drawing Sheet Title:
BICYCLE PATH/STORAGE
DIAGRAM

Drawing Sheet Number:
A4.01.00

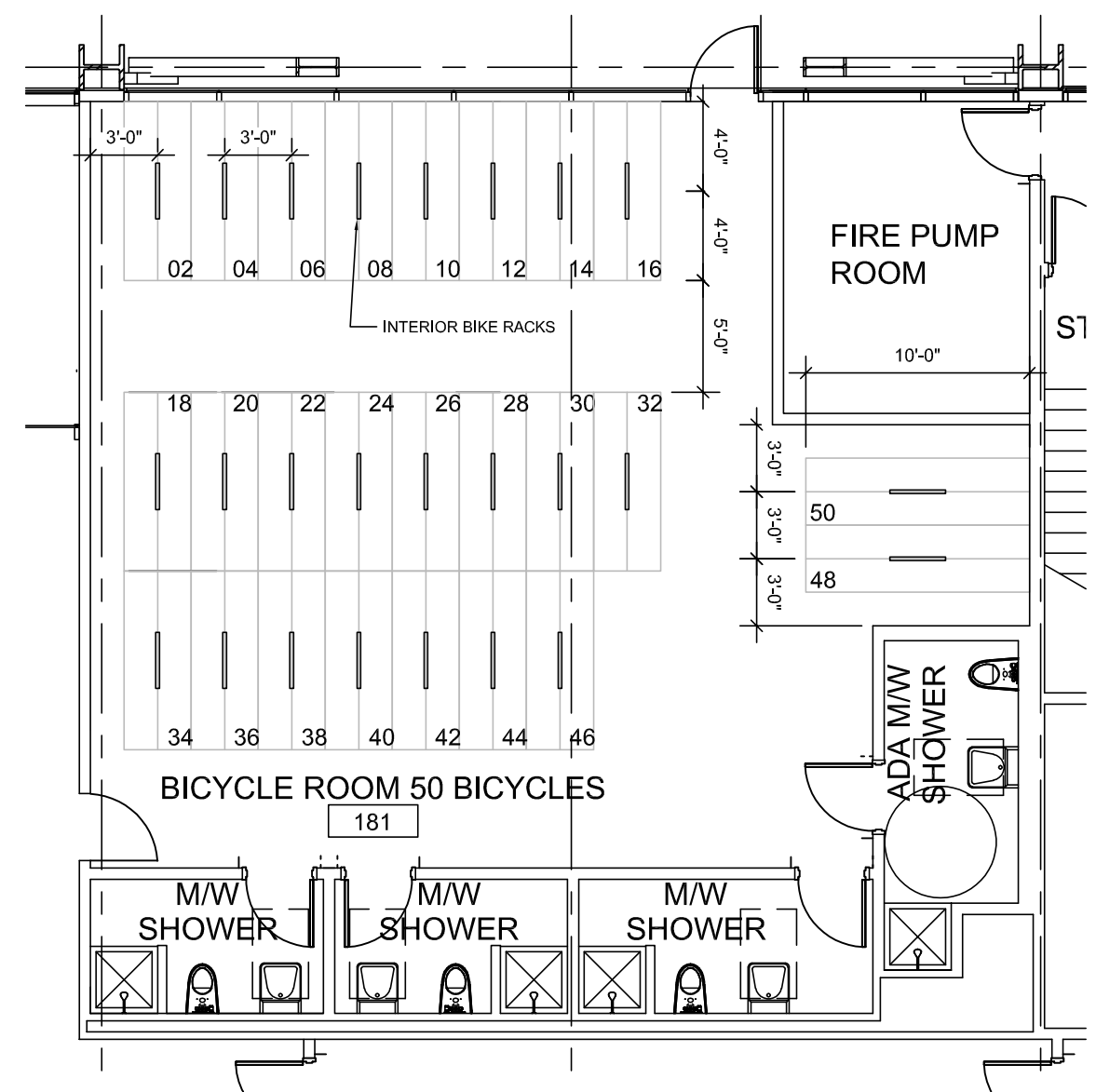


INTERIOR BICYCLE RACK DETAIL W/ IMAGE **03**

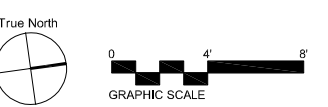


10 BICYCLES

SHORT TERM BIKE STORAGE PLAN **02**
SCALE: 1/8" = 1'-0"



LONG TERM BICYCLE STORAGE PLAN **01**
SCALE: 1/8" = 1'-0"



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Drawing Sheet Title:
BICYCLE PARKING PLANS

Drawing Sheet Number:
A4.02.00

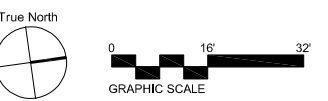
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APPLICATION 12/16/2019

Drawing Sheet Title:
PASSENGER VEHICLE PATH
PLAN - GROUND LEVEL

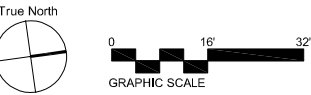
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APPLICATION 12/16/2019

Drawing Sheet Title:
PARKING AND LOADING
PLAN - LOWER LEVEL

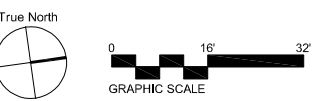
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Drawing Sheet Title:
PARKING AND LOADING
PLAN - TURNING DIAGRAM

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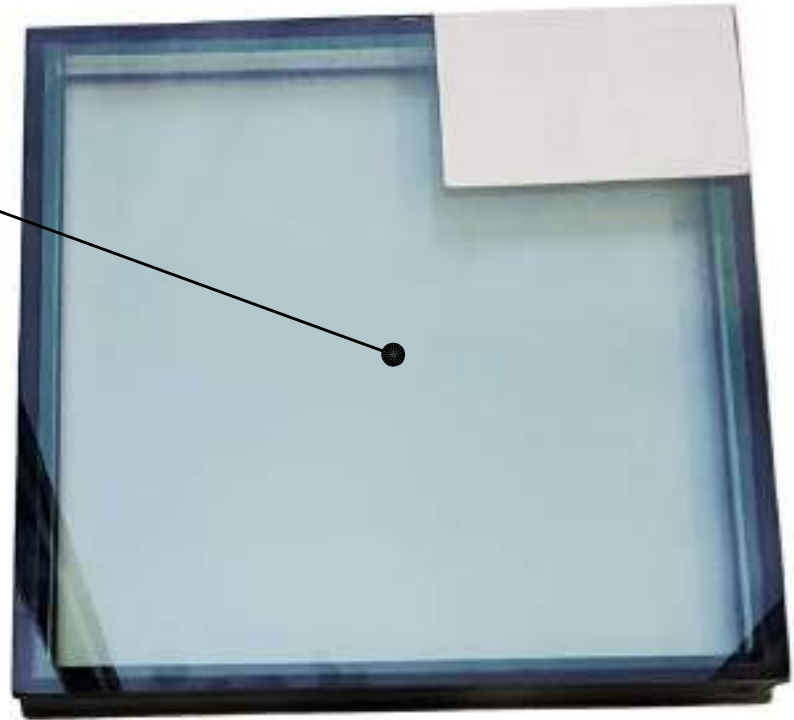


NOTE:
REFER TO MATERIALS AND COLOR PALETTE ON SHEET A9.02.00.

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APPLICATION 12/16/2019

Drawing Sheet Title:
EXTERIOR RENDERING

A: CLEAR INSULATED GLASS



1" (25MM) INSULATING VE1-2M

PERFORMANCE DATA

TRANSMITTANCE		
VISIBLE LIGHT	70%	
SOLAR ENERGY	33%	
UV	10%	
REFLECTANCE		
VISIBLE EXTERIOR LIGHT	11%	
VISIBLE INTERIOR LIGHT	12%	
SOLAR ENERGY	31%	
NFRC U-VALUE		
WINTER	0.30 BTU/(HR X SQFT X degF)	
Summer	0.26 BTU/(HR X SQFT X degF)	
SHADING COEFFICIENT (SC)		0.44
RELATIVE HEAT GAIN	91 BTU/(HR X SQFT)	
SOLAR HEAT GAIN COEFFICIENT	0.38	
LSG	1.84	

Project Client:



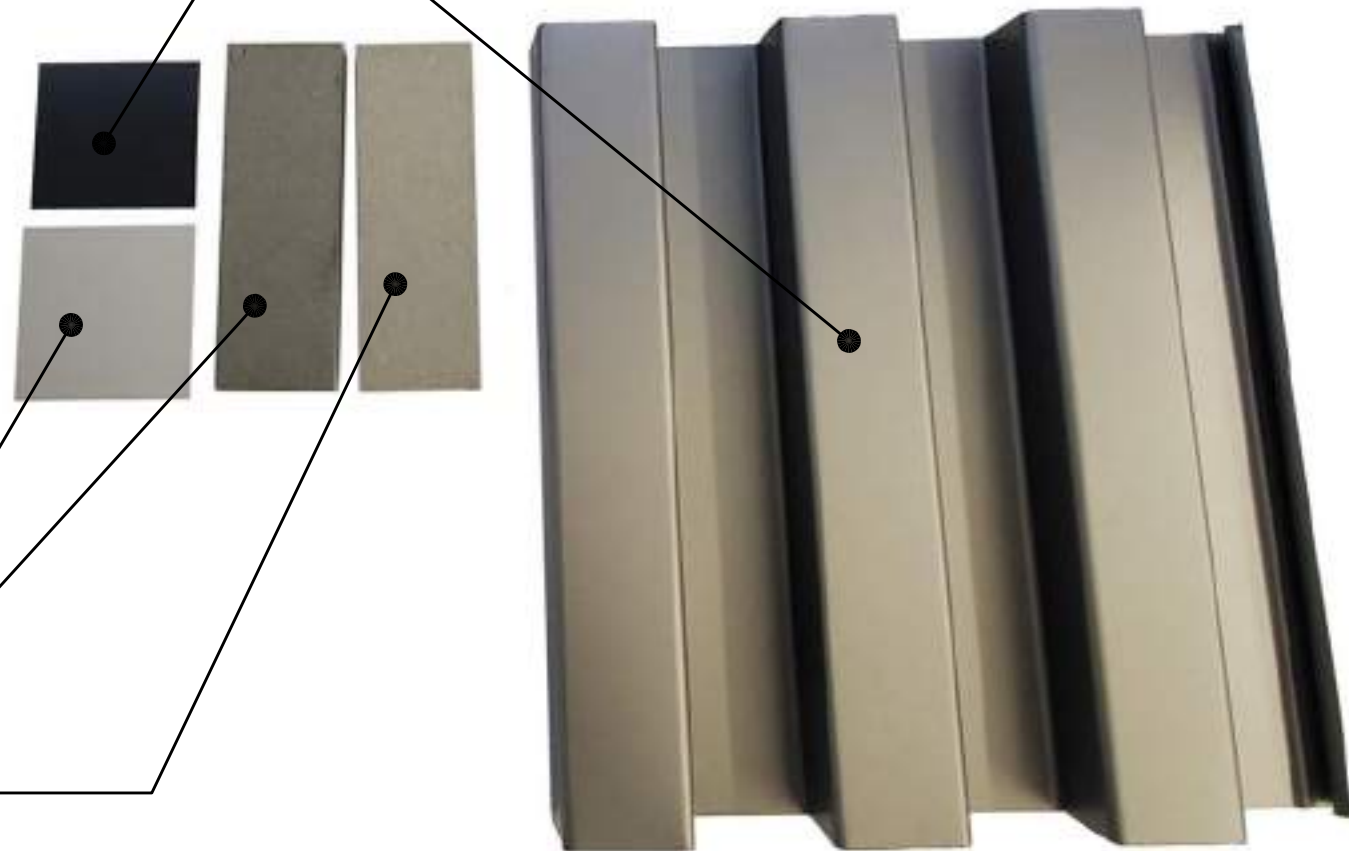
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B: CORRUGATED METAL PANEL

C: ALUMINUM METAL (WINDOW FRAMES & EXPOSED STEEL FINISH)



D: ALUMINUM METAL PANEL

E: CEMENTITIOUS PANEL, OPTION 1

F: CEMENTITIOUS PANEL, OPTION 2

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Drawing Sheet Title:

MATERIALS AND COLOR
PALETTE

Drawing Sheet Number:

A6.02.00

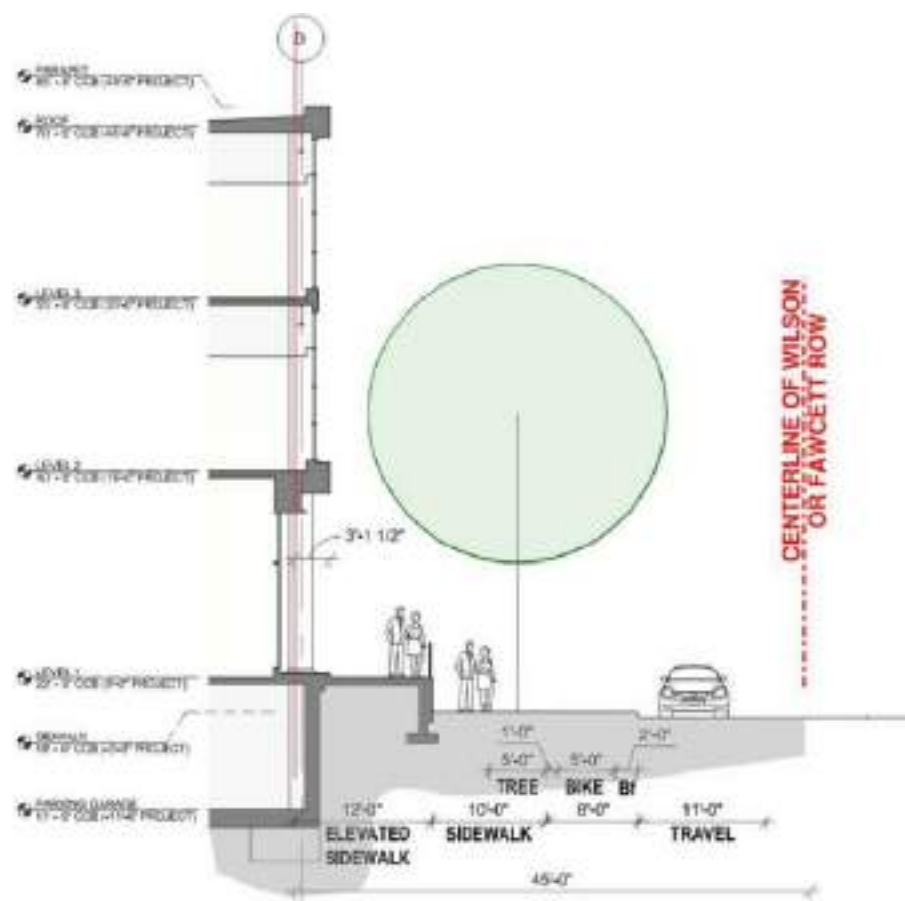
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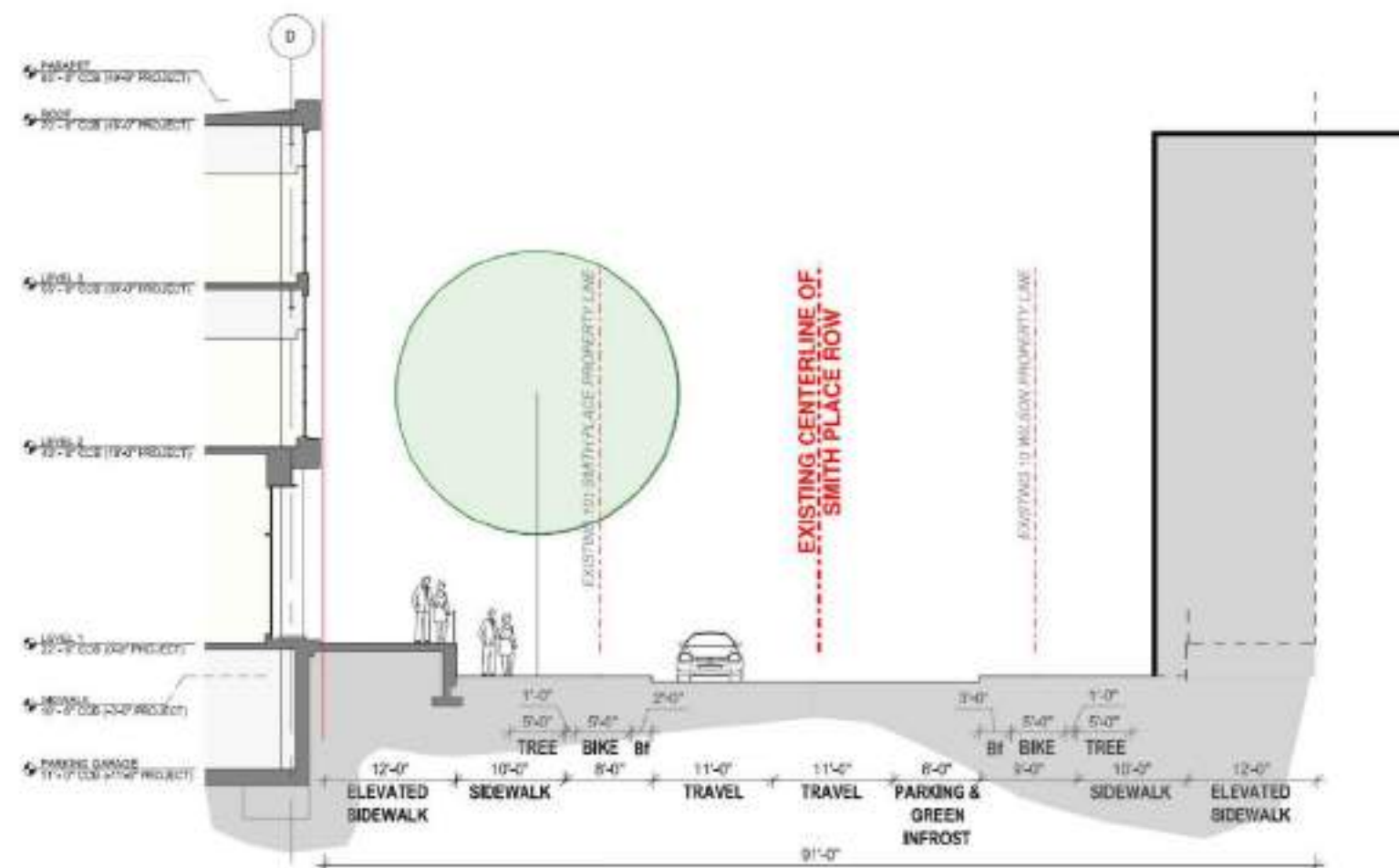
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WILSON/FAWCETT ROW CROSS SECTION **02**
SCALE: 1/16" = 1'-0"



SMITH PLACE CROSS SECTION **01**
SCALE: 1/16" = 1'-0"

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APPLICATION 12/16/2019

Drawing Sheet Title:
FUTURE CROSS SECTIONS

Drawing Sheet Number:
A8.10.00

Project Client:

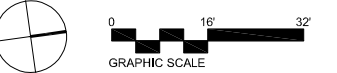
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Drawing Sheet Title:
FUTURE SITE PLAN
DIAGRAM

Drawing Sheet Number:

A8.11.00

