

February 2, 2022

Via First-Class Mail and Electronic Mail

Planning Board
City of Cambridge
344 Broadway
Cambridge, MA 02139

Re: Request to Withdraw Without Prejudice
Special Permit Application: **Case #378**
Property Address: 1290 Massachusetts Avenue, Cambridge, MA
Applicant: Santander Bank, N.A. ("**Santander**")

Dear Honorable Members of the Planning Board:

This firm represents Santander Bank, N.A. in connection with its application for a special permit (the "**Application**") from the City of Cambridge Planning Board (the "**Board**") to permit the operation of its proposed bank branch at 1290 Massachusetts Avenue, Cambridge, MA (the "**Property**").

As you may recall, Santander has been working with the Cambridge Community Development Department (the "**CDD**") and with the Cambridge Inspectional Services Department (the "**ISD**") in connection with redesigning the proposed layout of the bank branch to conform to the frontage requirements set forth in the Section 20.54.9 City of Cambridge Ordinance. Santander redesigned its proposal and filed a building permit application with the ISD, and the ISD issued the building permit to construct and operate the proposed bank branch at the Property, pursuant to the new design. Therefore, we understand that the ISD determined that a special permit from the Board is no longer required based on the bank's new design and footprint of the branch. For your reference, we have included with this letter; (i) the building permit, and (ii) the latest set of plans showing the redesigned proposal.

As a result of the determination that a special permit is no longer required, Santander respectfully requests that this Application be withdrawn without prejudice. Thank you, and please contact me should have you any questions or concern relating to this matter.

Sincerely,



Adam Braillard
Direct: 617-456-8149
Email: abraillard@princelobel.com



CITY OF CAMBRIDGE

INSPECTIONAL SERVICES DEPARTMENT



Permit Number: BLDC-85636-2022

Date: January 25, 2022

BUILDING PERMIT

WILLIAM J MANNING

has permission to: Retail Tenant Fit-out - Bank

1290 Massachusetts Ave

Cambridge, MA 02138

provided that the person accepting this permit adhere to regulations governing the Inspectional Services Department. Approved plans must be retained on the job site and this permit kept posted until the final inspection had been made. Buildings shall not be occupied until a final inspection has been made and a Certificate of Use and Occupancy has been issued. Work shall not proceed until inspectors approve various stages below. Code violations are subject to Violation Penalties, 780 CMR 114.4.

No Dumpster Required

Ranjit Singanayagam, Commissioner

<p>Excavation</p> <p>Depth Soil Condition</p> <p>Date Inspector</p>	<p>Footings</p> <p>Depth Fdn Drain</p> <p>Date Inspector</p>	<p>Rough Frame</p> <p>Date Inspector</p>	<p>HVAC Duct Work</p> <p>Date Inspector</p>	<p>Above Ceiling</p> <p>Date Inspector</p>	<p>Insulation</p> <p>Date Inspector</p>	<p>Final Inspection</p> <p>Date Inspector</p>
<p>Plumbing</p> <p>Rough Date</p> <p>Final Date</p>	<p>Gas</p> <p>Rough Date</p> <p>Final Date</p>	<p>HVAC Equipment</p> <p>Rough Date</p> <p>Final Date</p>	<p>Sprinkler</p> <p>Rough Date</p> <p>Final Date</p>	<p>Electrical</p> <p>Rough Date</p> <p>Final Date</p>	<p>Sanitary</p> <p>Rough Date</p> <p>Final Date</p>	<p>Fire Department</p> <p>Final Date</p>



CC# 0698
Harvard Square
1290 Massachusetts Ave
Cambridge, MA 02138

JLL

Project Manager
2 Morrissey Blvd,
Dorchester, MA 02125
T: TBD
Attn: Bryan Doherty

Gensler

Architect
One Beacon St.
3rd Floor
Boston, MA 02108
T: 617.619.5753
Attn: Julie Reker

W.B. ENGINEERS

MEP Engineers
155 Seaport Blvd.
Boston, MA 02210
T: 617 398 5256
Attn: Matthew Ferdenzi

TF Moran

Structural Engineer
48 Constitution Drive,
Bedford, NH 03110
T: 603.472.4488
Attn: Tom Lamb

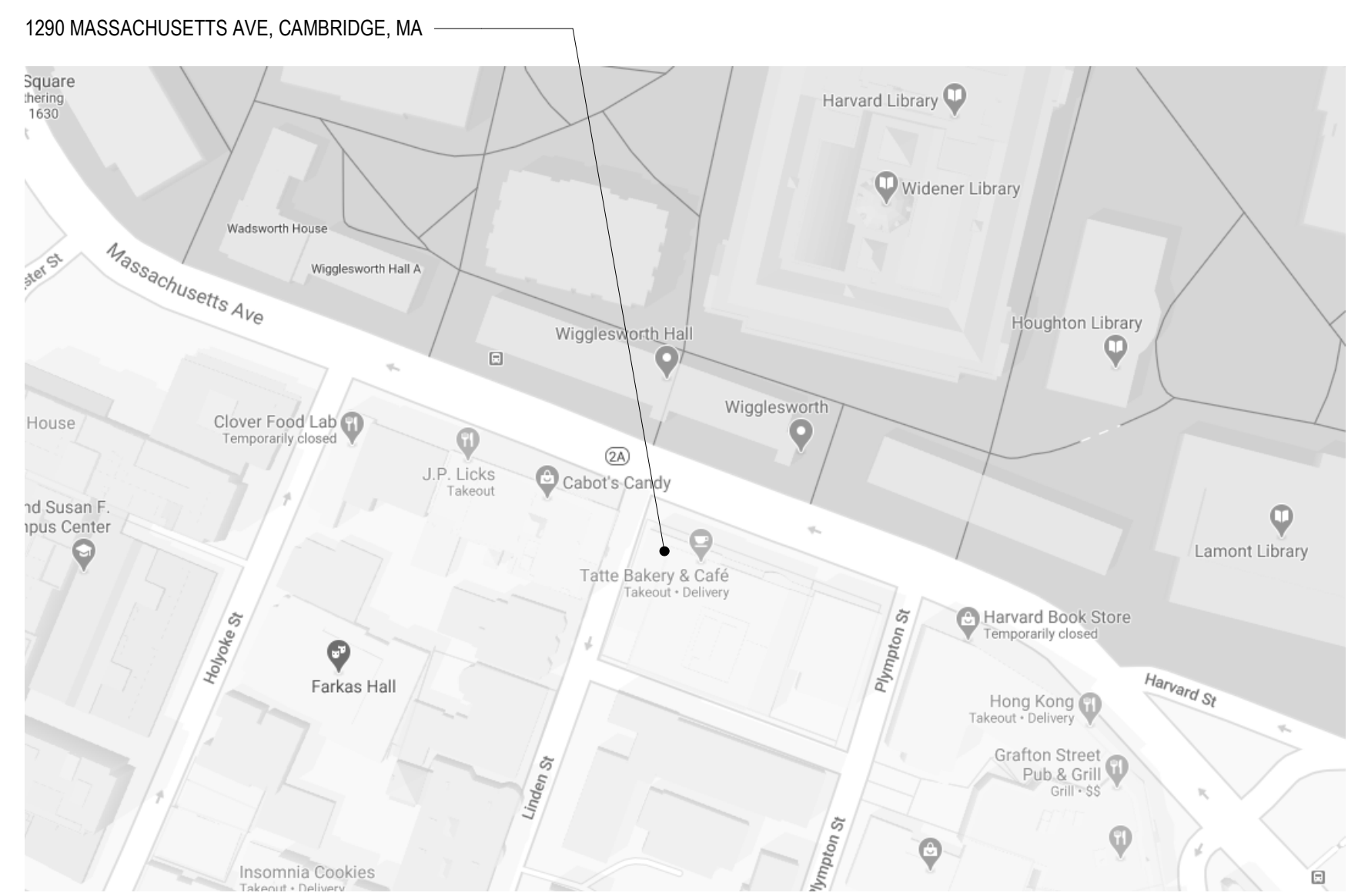
 BULLETIN #01

11/15/2021

ABBREVIATIONS

A	ACCESSORY	J	JANITOR
ACCS	ACOUSTICAL	K	KITCHEN
AFF	ABOVE FINISHED FLOOR	L	LAVATORY
AL	ALUMINUM	LB	POUND
ALT	ALTERNATE	LD	LOUVER
ANNUNC	ANNUNCIATOR	LT	LIGHT
ANCD	ANDZED	LVLG	LEVELING
APPL	APPLIANCE	M	MATCH EXISTING
AUTO	AUTOMATIC	M.E	MECHANICAL
AVG	AVERAGE	MEMB	MEMBRANE
B	BOARD	MET	METAL
BD	BUILDING	MEZ	MEZZANINE
BLKG	BLOCKING	MFD	MANUFACTURED
BOLL	BOLLARD	MFR	MANUFACTURER
BRDLM	BROADLOOM	MIN	MINIMUM
BU	BUILT UP	MISC	MISCELLANEOUS
C	CABINET	MLWK	MILLWORK
CAB	CABINET(TIOUS)	MOIST	MOISTURE
CEM	CEMENT(TIOUS)	MOT	MOTORIZED
CER	CERAMIC	MTD	MOUNTED
CLG	CEILING	N	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NIC	NUMBER
COATG	COATING	NTS	NOT TO SCALE
COLG	COLING	O	OPPOSITE HAND
CONC	CONCRETE	OH	OPENING(S)
CONSTR	CONSTRUCTION	OPR	OPPOSITE
CONTR	CONTINUOUS(ACTION)	OPR	OPERABLE
CONTR	CONTRACT(OR)	ORNA	ORNAMENTAL
COV	COVER	OS	OCCUPANCY SENSOR
CPT	CARPET	OVFL	OVERFLOW
D	DOUBLE	OVHD	OVERHEAD
DBL	DOUBLE	P	PARTICLE BOARD
DEPT	DEPARTMENT	PBD	PARTICLE BOARD
DES	DESIGNED	PEDTR	PEDESTRIAN
DET	DETAIL	PLAM	PLASTIC LAMINATE
DF	DRINKING FOUNTAIN	PLAS	PLASTER
DIA	DIAMETER	PLSTC	PLASTIC
DIFF	DIFFUSER	PLYWD	PLYWOOD
DIM	DIMENSION	PNL	PANEL
DISP	DISPENSER	PNL	PANEL
DIV	DIVISION	POLYST	POLYSTYRENE
DN	DOWN	PORT	PORTABLE
DR	DOOR	PREFAB	PREFABRICATED
DSCON	DISCONNECT	PREFIN	PREFINISHED
DWR	DRAWER	PRTECH	PROTECTION
E	ELASTOMERIC	PTN	PARTITION
ELAST	ELASTOMERIC	R	READER
ELEC	ELECTRICAL	RDR	READER
EMBED	EMBED(ED)(ING)	RECES	RECESS(ED)
ENGR	ENGINEER(ED)	RECP	RECEPTACLE
ENTR	ENTRANCE	REF	REFERENCE
EQ	EQUAL	REFL	REFLECTED
EQUIP	EQUIPMENT	REFR	REFRIGERATOR
EX	EXISTING	REQD	REQUIRED
EXP JT	EXPANSION JOINT	RESIS	RESISTANT(IVE)
EXPS	EXPOSE(D)	RFG	ROOFING
EXT	EXTERIOR	RM	ROOM
F	FABRICATION	RO	ROUGH OPENING
FD	FLOOR DRAIN	S	SCRIBE
FE	FIRE EXTINGUISHER	SCR	SCRIBE
FE&C	FIRE EXTINGUISHER AND CABINET	SECU	SECURITY
FHC	FIRE HOSE CABINET	SF	SQUARE FEET
FIN	FINISH	SGL	SINGLE
FLDG	FOLDING	SHORG	SHORING
FLR	FLOORING	SIM	SIMILAR
FPLC	FIREPLATE	SST	STAINLESS STEEL
FR	FIRE RAT(ING)(ED)	STD	STANDARD
FRMG	FRAMING	STL	STEEL
FURN	FURNITURE	STRFR	STOREFRONT
FWC	FABRIC WALL COVERING	STRUCT	STRUCTURAL
FXD	FIXED	SURF	SURFACE
FXTR	FIXTURE	SUSP	SUSPENDED
G	GAUGE	SYS	SYSTEM(S)
GA	GAUGE	T&G	TONGUE AND GROOVE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	TG	TEMPERED GLASS
GFRFC	GLASS FIBER REINFORCED CONCRETE	THK	THICK
GFRG	GLASS FIBER REINFORCED GYPSUM	TLT	TOILET
GFRP	GLASS FIBER REINFORCED PLASTER	TRAF	TRAFFIC
GL	GLASS	TRANS	TRANSPARENT
GR	GRAD(E)(ING)	TRTD	TREATED
GYP	GYPSUM	TYP	TYPICAL
H	HEAD	U	UNDERLAYMENT
HD	HARDWOOD	UNDRLAY	UNDERLAYMENT
HDWD	HARDWOOD	UON	UNLESS OTHERWISE NOTED
HDWE	HARDWARE	UTL	UTILITY
HM	HOLLOW METAL	V	VEHICLE
HOP	HIGHEST OPERABLE POINT	VEH	VEHICLE
HORIZ	HORIZONTAL	VERT	VERTICLE
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	VIF	VERIFY IN FIELD
I	INFILTRATION	W	WITH
INFILTR	INFILTRATION	W/O	WITHOUT
INFO	INFORMATION	WC	WATER CLOSET
INSTRUM	INSTRUMENTATION	WD	WOOD
INSUL	INSULATION	WIDW	WINDOW
INT	INTERIOR	WT	WEIGHT
INTLK	INTERLOCKING	WTRPRF	WATERPROOFING

LOCATION MAP



CODE AND LIFE SAFETY DATA

PROJECT INFORMATION

Project Summary: Alteration Level 02(Alteration). Interior finish upgrades and doors.

Project Name: Santander - 1290 Mass Ave, Cambridge

Project Address: CCF 0698 Harvard Square 1290 Massachusetts Ave Cambridge, MA 02138

Proposed Use/Occupancy: BUSINESS, GROUP B

Project Size: TOTAL = 1564 S.F. = 16 OCCS

Construction Type: II-B (ASSUMED)

Protection: FULLY SPRINKLED

Max. Floor Area per Occupant Per Table 1004.1.2: BUSINESS AREAS - 100 GROSS

Calculated Occupants: BUSINESS AREAS: 16 OCCUPANTS (1564 OCC./100 SF)

Required Exits: 16 OCCUPANTS=49 OCC'S. 1 EXIT REQUIRED - 1 EXIT PROVIDED COMMON PATH OF TRAVEL IS LESS THAN 100'

Exit Access Travel Distance-Table 1017.2: OCCUPANCY B MAXIMUM TRAVEL DISTANCE (WITH SPRINKLER SYSTEM): 300FT EGRESS PATH = 87'-0" COMPLIES

APPLICABLE CODES

BUILDING CODE: IBC 2015 AMENDED WITH MASSACHUSETTS STATE BUILDING CODE CMR 780 (9TH EDITION)

PLUMBING CODE: 248 CMR 10.00 - UNIFORM STATE PLUMBING CODE

ELECTRICAL CODE: 527 CMR 12.00 - MASSACHUSETTS ELECTRICAL CODE, WHICH IS AN AMENDED VERSION OF THE 2020 EDITION OF NFPA 70, NATIONAL ELECTRICAL CODE

ENERGY CODE: 2018 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AS AMENDED BY THE STATE OF MASSACHUSETTS

MECHANICAL CODE: INTERNATIONAL MECHANICAL CODE (IMC) 2015 EDITION AS AMENDED BY 780 CMR 28.00

FIRE/LIFE SAFETY: MASSACHUSETTS FIRE PREVENTION REGULATIONS, 527 CMR 10.00

ACCESSIBILITY STANDARD: MASSACHUSETTS ARCHITECTURAL ACCESS BOARD CMR 521, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

DRAWING INDEX

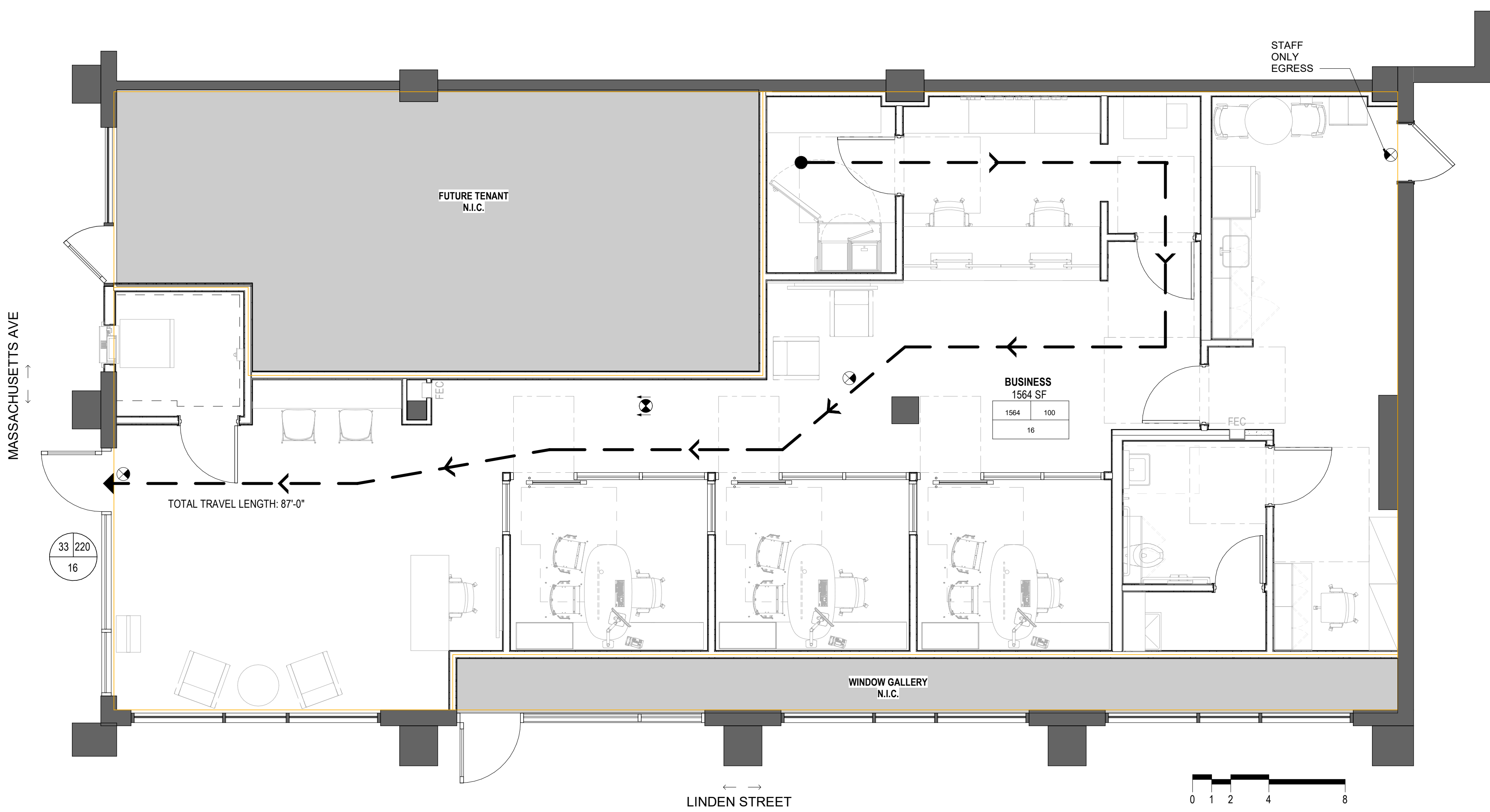
Sheet Number	Sheet Name
A00.00	DRAWING INDEX, LIFE SAFETY & PROJECT INFORMATION
A00.10	GENERAL NOTES AND TYPICAL MOUNTING HEIGHTS
A00.11	ACCESSIBILITY INFORMATION
A00.20	WALL PARTITION TYPES
A00.30	DOOR & HARDWARE SCHEDULES
A01.01	DEMOLITION PLAN
A01.02	DEMO RCP
A02.01	CONSTRUCTION PLAN
A03.01	POWER/COMM & EQUIPMENT PLAN
A03.02	SECURITY PLAN
A03.03	MERCHANDISING PLAN
A04.01	REFLECTED CEILING PLAN
A05.01	FINISH PLAN
A06.01	FURNITURE PLAN
A07.01	INTERIOR ELEVATIONS - FRONT OF HOUSE
A07.02	INTERIOR ELEVATIONS - BACK OF HOUSE
A07.03	ENLARGED EXTERIOR STOREFRONT PLAN, ELEVATION & DETAILS
A07.04	INTERIOR STOREFRONT - PLANS & SECTION DETAILS
A07.05	ENLARGED ATM PLAN & ELEVATIONS
A12.01	CEILING & MILLWORK DETAILS
A12.02	TYPICAL DETAILS
M00.01	MECHANICAL LEGEND
M01.01	MECHANICAL SCHEDULES
M02.01	MECHANICAL SPECIFICATIONS
M02.02	MECHANICAL SPECIFICATIONS
M03.01	MECHANICAL DEMOLITION PLAN
M03.02	MECHANICAL CONSTRUCTION PLAN
M03.03	MECHANICAL ROOF CONSTRUCTION PLAN
M04.01	MECHANICAL DETAILS
M04.02	MECHANICAL DETAILS
M05.01	MECHANICAL SEQUENCE OF OPERATIONS
E00.01	ELECTRICAL LEGEND
E01.01	ELECTRICAL SCHEDULES
E02.01	ELECTRICAL SPECIFICATIONS
E03.01	ELECTRICAL DEMOLITION PLAN
E03.02	ELECTRICAL POWER CONSTRUCTION PLAN
E03.03	ELECTRICAL LIGHTING CONSTRUCTION PLAN
E04.01	ELECTRICAL DETAILS
FA00.01	FIRE ALARM LEGEND
FA03.01	FIRE ALARM CONSTRUCTION PLAN
P00.01	PLUMBING LEGEND
P02.01	PLUMBING SPECIFICATIONS
P03.01	PLUMBING BASEMENT CONSTRUCTION PLAN
P03.02	PLUMBING ABOVE SLAB CONSTRUCTION PLAN
P03.03	PLUMBING CONSTRUCTION PLAN
P04.01	PLUMBING DETAILS
S001	GENERAL STRUCTURAL NOTES, PLANS, AND DETAILS

CC# 0698
Harvard Square
1290 Massachusetts Ave
Cambridge, MA 02138

Gensler

One Beacon Street
Third Floor
Boston, MA 02108
United States

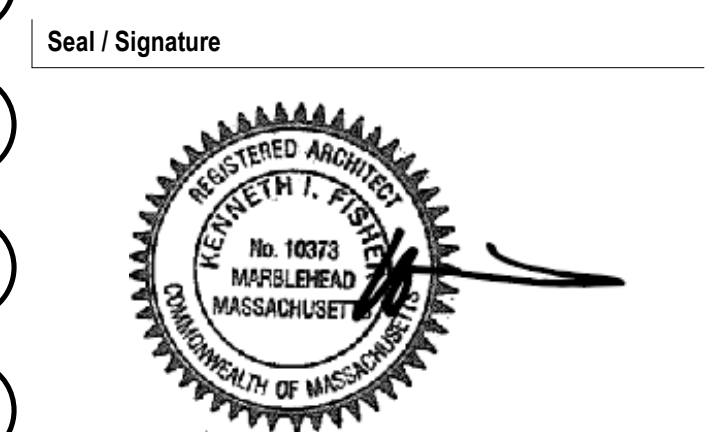
Tel 617.619.5700
Fax 617.619.5701



LIFE SAFETY LEGEND

	AREA CALCULATION		TRAVEL DISTANCE
	AREA PER OCCUPANT [1004.1.2]		EXIT SIGN
	NUMBER OF OCCUPANTS		EGRESS ARROW
	AREA NOT IN CONTRACT		
	FIRE EXTINGUISHER CABINET - RECESSED		
	CLEAR EXIT WIDTH AT DOOR		
	MAXIMUM EGRESS CAPACITY AT DOOR		
	ACTUAL EGRESS COUNT AT THIS DOOR [1005]		
			B OCCUPANCY EXIT TRAVEL LIMITATIONS:
			MAXIMUM TRAVEL DISTANCE: 300FT, WITH SPRINKLER SYSTEM 780 CMR TABLE 1017.2
			MAXIMUM COMMON PATH OF TRAVEL: 100FT, WITH SPRINKLER SYSTEM 780 CMR TABLE 1006.2.1

Date	Description	Drw By	Chk By
07.01.2020	ISSUE FOR PERMIT & CONSTRUCTION	MJ	GH
11.15.2021	BULLETIN #01	AL	GH



Project Name
Santander - 1290 Mass Ave, Cambridge

Project Number
11.6850.153

Description
DRAWING INDEX, LIFE SAFETY & PROJECT INFORMATION

Scale
1/4" = 1'-0"

A00.00

LIFE SAFETY LEGEND

SHEET NOTES

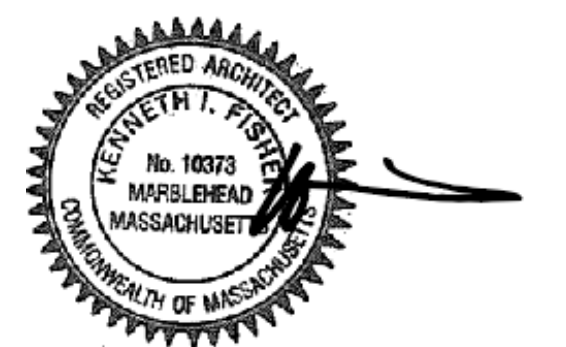
- 01 EXISTING PARTITIONS AND DOORS/FRAMES TO BE DEMOLISHED.
- 02 EXISTING STOREFRONT SYSTEM, GLAZING, AND DOORS TO BE REMOVED.
- 03 EXISTING EQUIPMENT/APPLIANCES TO BE REMOVED.
- 04 EXISTING MILLWORK TO BE DEMOLISHED.
- 05 EXISTING QUEUE LINE ELEMENTS TO BE DEMOLISHED.
- 06 EXISTING FLOOR FINISHES TO BE REMOVED. PATCH AND REPAIR EXISTING SUB-FLOOR AS NEEDED FOR NEW FLOOR FINISHES.
- 07 EXISTING PANEL TO BE REMOVED. REFER TO ELECTRICAL DEMOLITION PLAN.
- 08 EXISTING FIRE ALARM PANEL TO REMAIN.
- 09 EXISTING WAINSCOTING, TRIM AND WALLBASE TO BE REMOVED THROUGHOUT, TYP. U.O.N.
- 10 EXISTING ELECTRICAL OUTLETS TO BE REMOVED.
- 11 REMOVE EXISTING FRP, CORNER GUARDS AND BASE. PROVIDE NEW DRYWALL WRAP AROUND COLUMN AS REQUIRED AND PREP FOR NEW FINISHES.
- 12 EXISTING WALL MOUNTED ITEMS TO BE REMOVED.
- 13 EXISTING FLOOR DRAINS AND SINKS TO BE REMOVED. REFER TO PLUMBING DEMOLITION PLAN. ALL PLUMBING LINES TO BE CUT & CAPPED.
- 14 EXISTING GREASE TRAP TO BE REMOVED. REFER TO STRUCTURAL FOR SLAB INFILL. ALL PLUMBING LINES TO BE CUT & CAPPED.
- 15 EXISTING ALUMINUM STOREFRONT DOOR TO REMAIN.
- 16 EXISTING GLASS TO BE REMOVED.
- 17 EXISTING ACM PANELS TO REMAIN. PREP FOR NEW PAINT AS REQUIRED.
- 18 EXISTING PLANTER BOXES TO BE REMOVED. COORDINATE WITH BUILDING OWNER.
- 19 EXISTING PLANTER BOXES TO REMAIN.
- 20 REMOVE EXISTING STONE VENER SILL TO THE VERTICAL JOINT, AND REMOVE BACKUP WALL CONSTRUCTION FOR NEW DOOR OPENING.
- 21 EXISTING STONE VENER JOINT, TYP.
- 22 REMOVE EXISTING STOREFRONT AND PREP OPENING FOR INSTALLATION OF NEW STOREFRONT.
- 23 NEW OPENING FOR NEW DOOR. REFER TO CONSTRUCTION PLAN AND ELEVATIONS.

GENERAL NOTES

- A. IN THE EVENT OF ASBESTOS OR OTHER HAZARDOUS MATERIAL EXPOSURE OR THE SUBSTANTIAL RISK OF THEREOF, CLIENT WILL HAVE THE DUTY TO INFORM THE ARCHITECT OF SUCH RISKS KNOWN OR REASONABLY KNOWNABLE TO CLIENT.
- B. IF ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL, OR RISK TO EXPOSURE THERETO IS DISCOVERED BY ARCHITECT DURING WORK ON THE PROJECT, ARCHITECT SHALL IN ITS SOLE DISCRETION, HAVE THE RIGHT TO SUSPEND WORK ON THE PROJECT.
- C. CLIENT SHALL HAVE THE DUTY TO PROMPTLY RETAIN A QUALIFIED EXPERT SAFELY TO REMOVE OR SUPERVISE THE REMOVAL OF SUCH ASBESTOS OR OTHER TOXIC SUBSTANCE.
- D. CLIENT SHALL INDEMNIFY AND HOLD ARCHITECT, ITS AFFILIATES AND SUBCONTRACTORS AND THEIR OFFICERS, AGENTS, AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY ON THE PART OF OR DAMAGE TO SUCH FEES AND EXPENSES ARE INCURRED, WHICH MAY RESULT IN ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE ON THE PROJECT.
- E. COORDINATE REMOVAL / RELOCATION OF ANY EXISTING EQUIPMENT AND FURNITURE WITH BANK REPRESENTATIVE.
- F. REMOVE OBSOLETE/ABANDONED POWER/TELECOM/DATA IN CUSTOMER FACING AREAS. COORDINATE WITH NEW WORK. PATCH/REPAIR AS REQUIRED MATCH EXISTING ADJACENT.
- G. WHERE PARTITIONS ARE REMOVED, PATCH AND REPAIR SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- H. WORK IS TO BE CONDUCTED IN A MANNER SUCH THAT BANK OPERATIONS ARE MINIMALLY INTERRUPTED. COORDINATE ALL WORK WITH BANK REPRESENTATIVE. NOTE THAT CERTAIN ASPECTS OF WORK WILL BE REQUIRED TO BE PERFORMED DURING BANK OFF-HOURS.
- I. G.C. TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. IF THERE ARE ANY MAJOR DISCREPANCIES, CONTACT ARCHITECT IMMEDIATELY.
- J. CONTRACTOR TO PATCH/REPAIR SPRAY-APPLIED FIRE PROOFING ON THE BUILDING STRUCTURE AS REQUIRED IF DAMAGED DURING DEMOLITION.

Date	Description	Drw By	Chk By
07.01.2020	ISSUE FOR PERMIT & CONSTRUCTION	MJ	GH
11.15.2021	BULLETIN #01	AL	GH

Seal / Signature



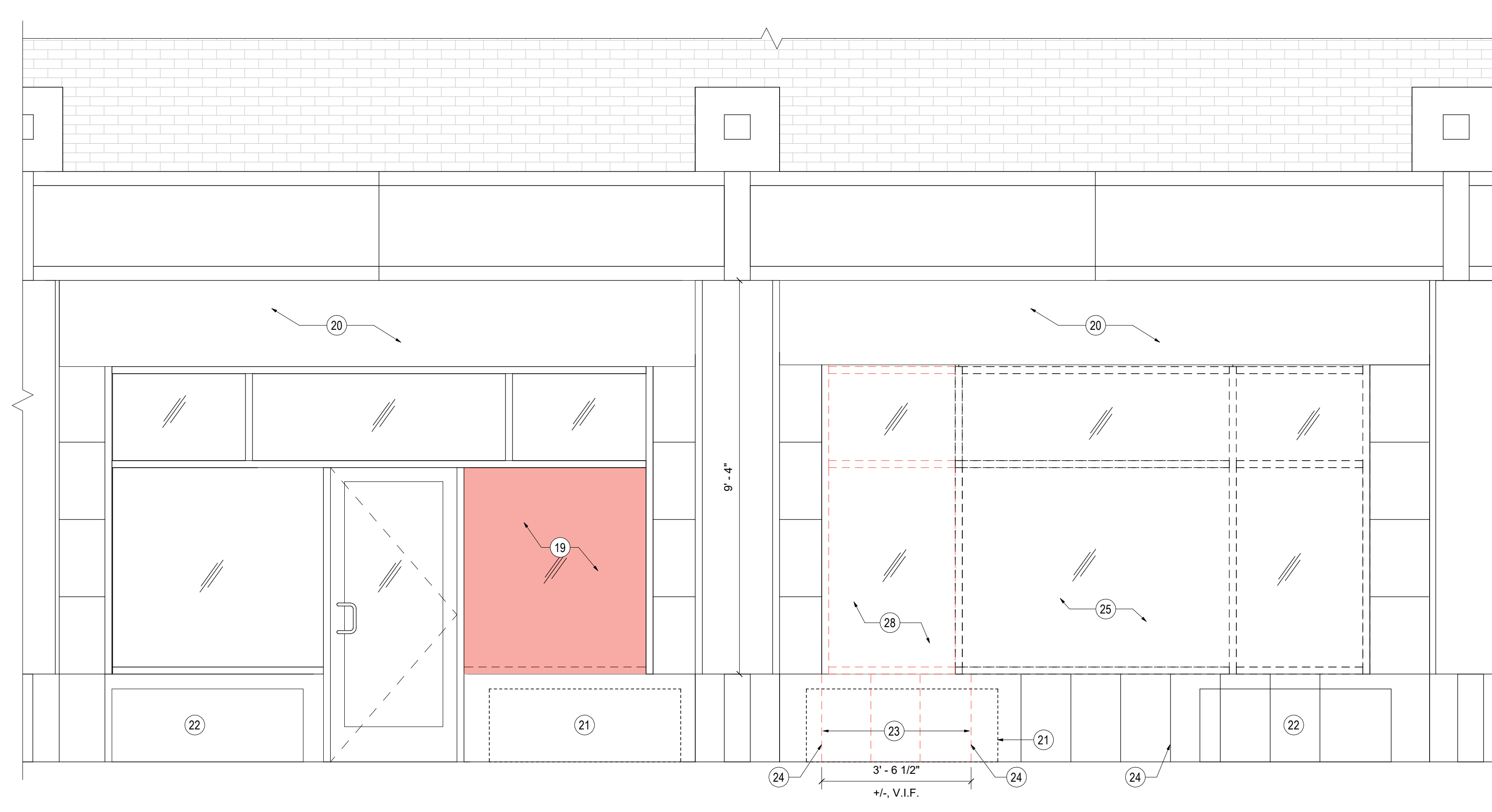
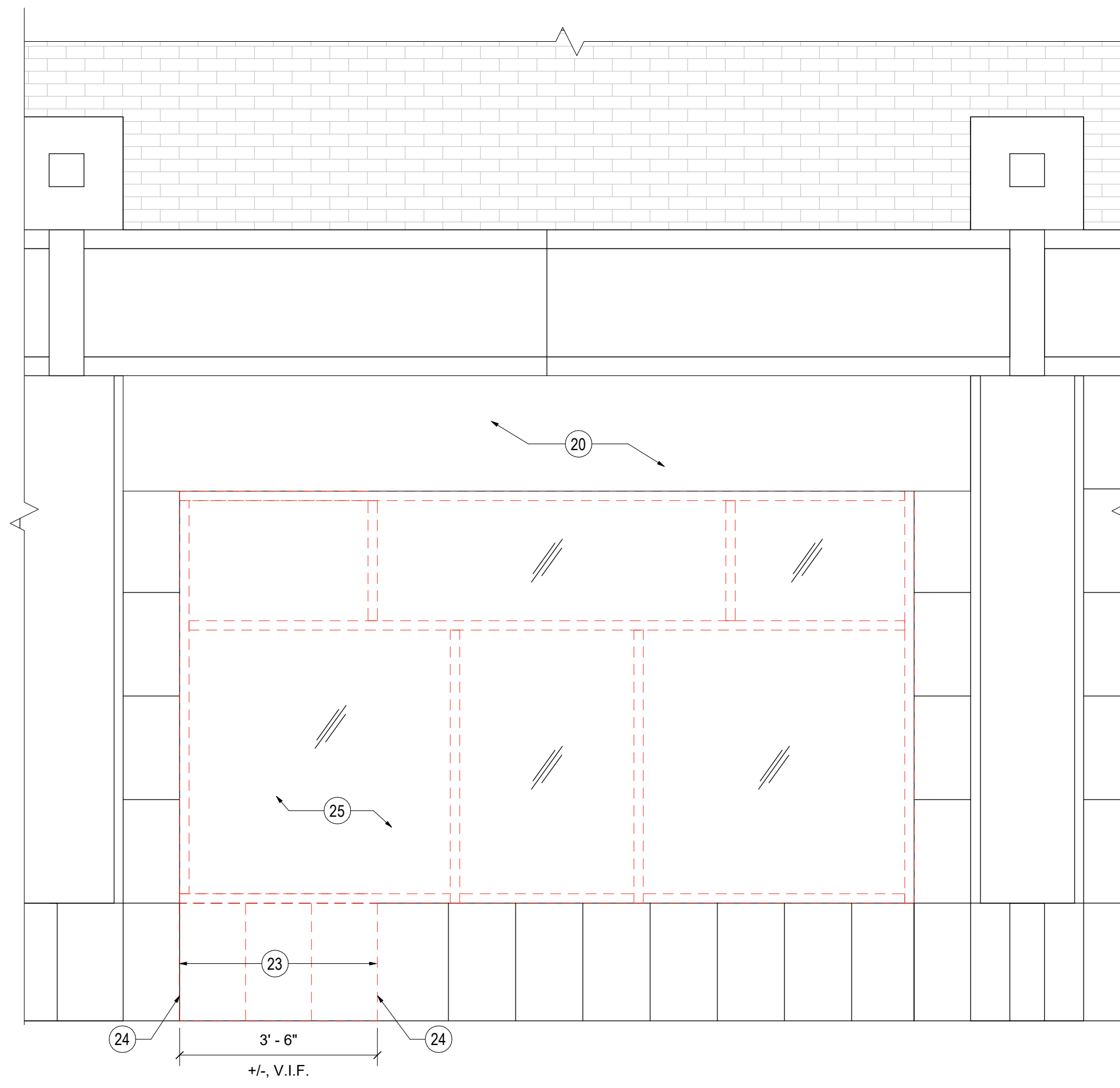
Project Name
Santander - 1290 Mass Ave, Cambridge

Project Number
11.6850.153

Description
DEMOLITION PLAN

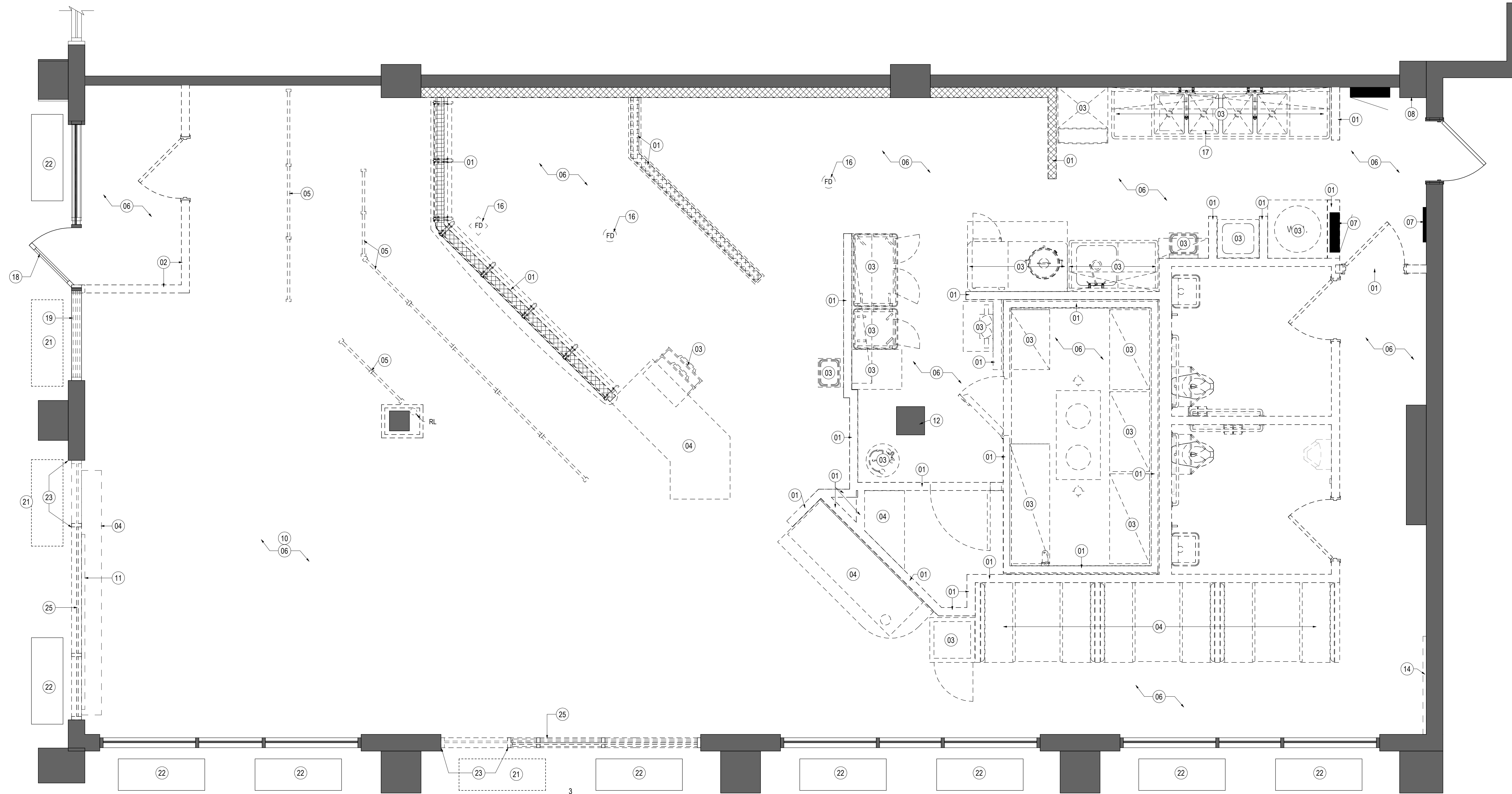
Scale
As indicated

A01.01



3 EXTERIOR STOREFRONT - SOUTH - DEMO
SCALE: 1/2" = 1'-0"

02 EXTERIOR STOREFRONT - DEMO
SCALE: 1/2" = 1'-0"



01 DEMOLITION PLAN
SCALE: 3/8" = 1'-0"

SHEET NOTES

- 07 MILLWORK PROVIDED AND INSTALLED BY FURNITURE VENDOR.
- 09 NEW CONDENSING UNIT TO BE MOUNTED ON EXTERIOR WALL WITH BRACKETS AS REQUIRED. COORDINATE FINAL LOCATION WITH THE L.L. AND MOUNT HIGH TO AVOID VEHICLES. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 10 PATCH DRYWALL AS NEEDED AT COLUMN ENCLOSURE.
- 11 DEMOUNTABLE OFFICE PARTITION PROVIDED AND INSTALLED BY BANK VENDOR.
- 12 GC TO PROVIDE FULL HEIGHT SECURITY MESH IN PARTITION; REFER TO A00.20 FOR MORE INFORMATION.
- 13 PANTRY EQUIPMENT BY GC. SEE A07.02.



CC# 0698
Harvard Square
1290 Massachusetts Ave
Cambridge, MA 02138



One Beacon Street
Third Floor
Boston, MA 02108
United States
Tel 617.619.5700
Fax 617.619.5701

GENERAL NOTES

Date	Description	Drw By	Chk By
07.01.2020	ISSUE FOR PERMIT & CONSTRUCTION	MJ	GH
07.31.2020	REVISION 1		
12.23.2020	REVISION 2		
11.15.2021	BULLETIN #01	AL	GH

LEGEND

- NOT IN CONTRACT REGION
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- REFERENCE TO PARTITION TYPE
- EXISTING DOOR
- NEW DOOR
- COLUMN GRID
- ROOM NAME
- ROOM NUMBER
- DOOR NUMBER
- DOOR NUMBER
- HARDWARE
- DOOR TYPE
- SHEET NOTES
- DIRECTION OF ELEVATION
- ELEVATION NUMBER ON SHEET SHEET WHERE SHOWN
- DETAIL NUMBER
- SHEET WHERE SHOWN
- DESCRIPTION OF SIMILAR OR OPPOSITE
- AREA TO BE DETAILED
- MILLWORK
- MILLWORK SCHEDULE TAG
- ALIGN
- RECESSED FIRE EXTINGUISHER CABINET (F.E.C.)
- SURFACE-MOUNTED FIRE EXTINGUISHER CABINET (F.E.C.)

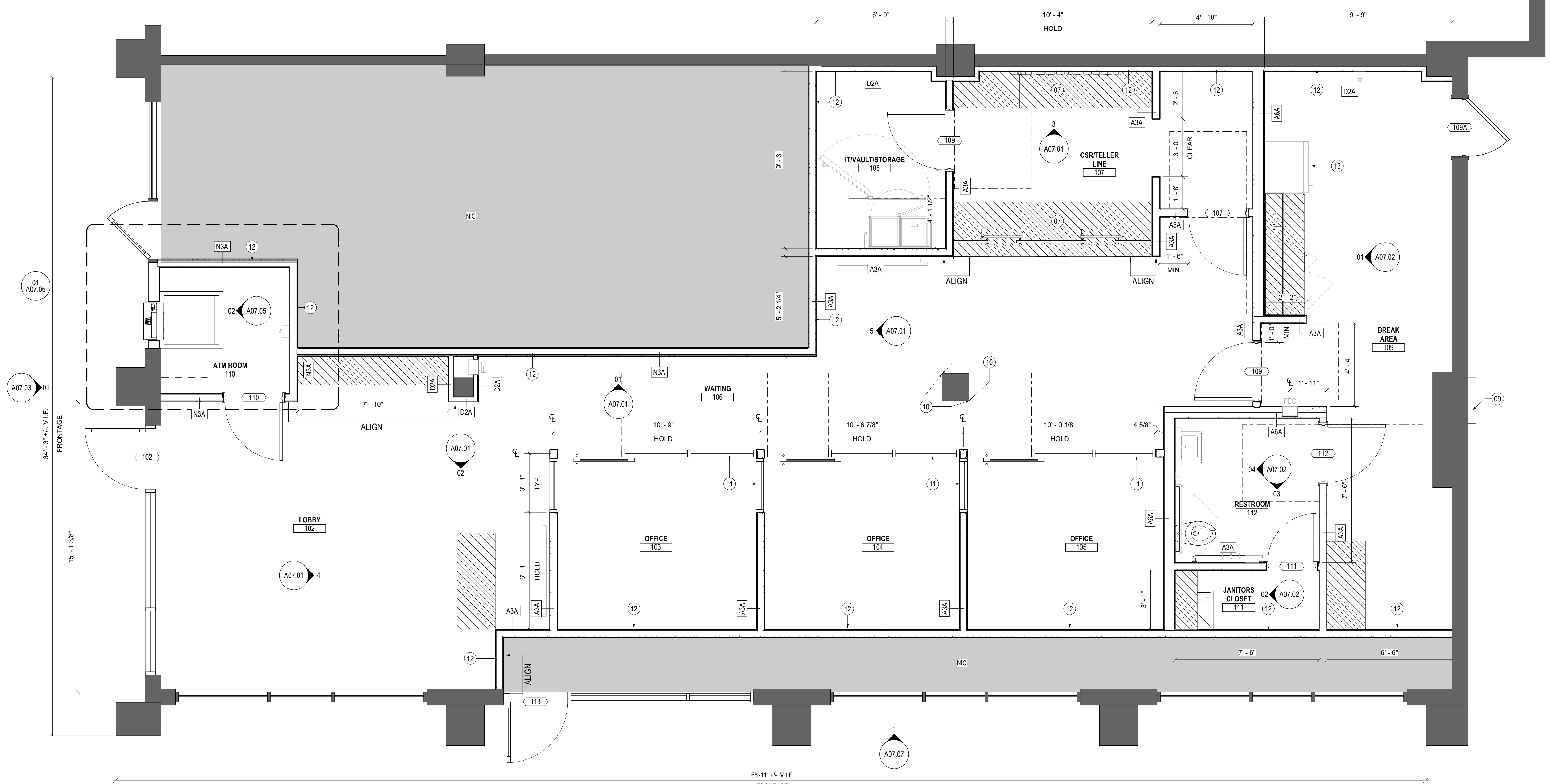
Seal / Signature



Project Name
Santander - 1290 Mass Ave, Cambridge
Project Number
11.6850.153
Description
CONSTRUCTION PLAN

Scale
As indicated

A02.01



01 CONSTRUCTION PLAN
SCALE: 3/8" = 1'-0"

FURNITURE SCHEDULE

TAG	MANUFACTURER	MODEL NAME	DESCRIPTION
CH-1	HAWORTH	VERY TASK CHAIR	BLACK 5 STAR PLASTIC BASE WITH HARD CASTERS
CH-2	HAWORTH	TASK CHAIR	BLACK 5 STAR PLASTIC BASE WITH HARD CASTERS
CH-3	ENVIRONMENTS AT WORK	TUCK GUEST CHAIR	CHROME FRAME, 4 LEG BASE
CH-4	Haworth	Haworth_Chair_Very-Perforated Side and Seminar	BREAK TABLE CHAIR
D-1A	ENVIRONMENTS AT WORK	RETAIL OFFICE DESK 8' W x 10' L	
DDP-DS		DIGITAL DISPLAY POSTER - DOUBLE SIDED	
F-1D	ENVIRONMENTS AT WORK	3 HIGH LATERAL FILE 18"Dx39.5"Hx30"W	BACK OF HOUSE STORAGE
F-1K			
LK-1D		FOUR TIER LOCKERS 12"W X 18"D X 72"H	BACK OF HOUSE FLOOR MOUNTED LOCKERS
LO-1	OFS BRANDS	DESS LOUNGE CHAIR	BRUSHED ALUMINUM BASED RAILS AND LEGS
ST-1	Haworth	HELP BAR STOOL/ry-Task	COUNTER HEIGHT; FOUR LEG BASE
ST-3A	SOURCE INTERNATIONAL		
T-1B	Haworth	TZRN	Haworth - Compose Table Round
T-2A	OFS BRANDS	ROUND SIDE TABLE	SIDE TABLE WITH DISC BASE; 26"W X 26"D X 22"

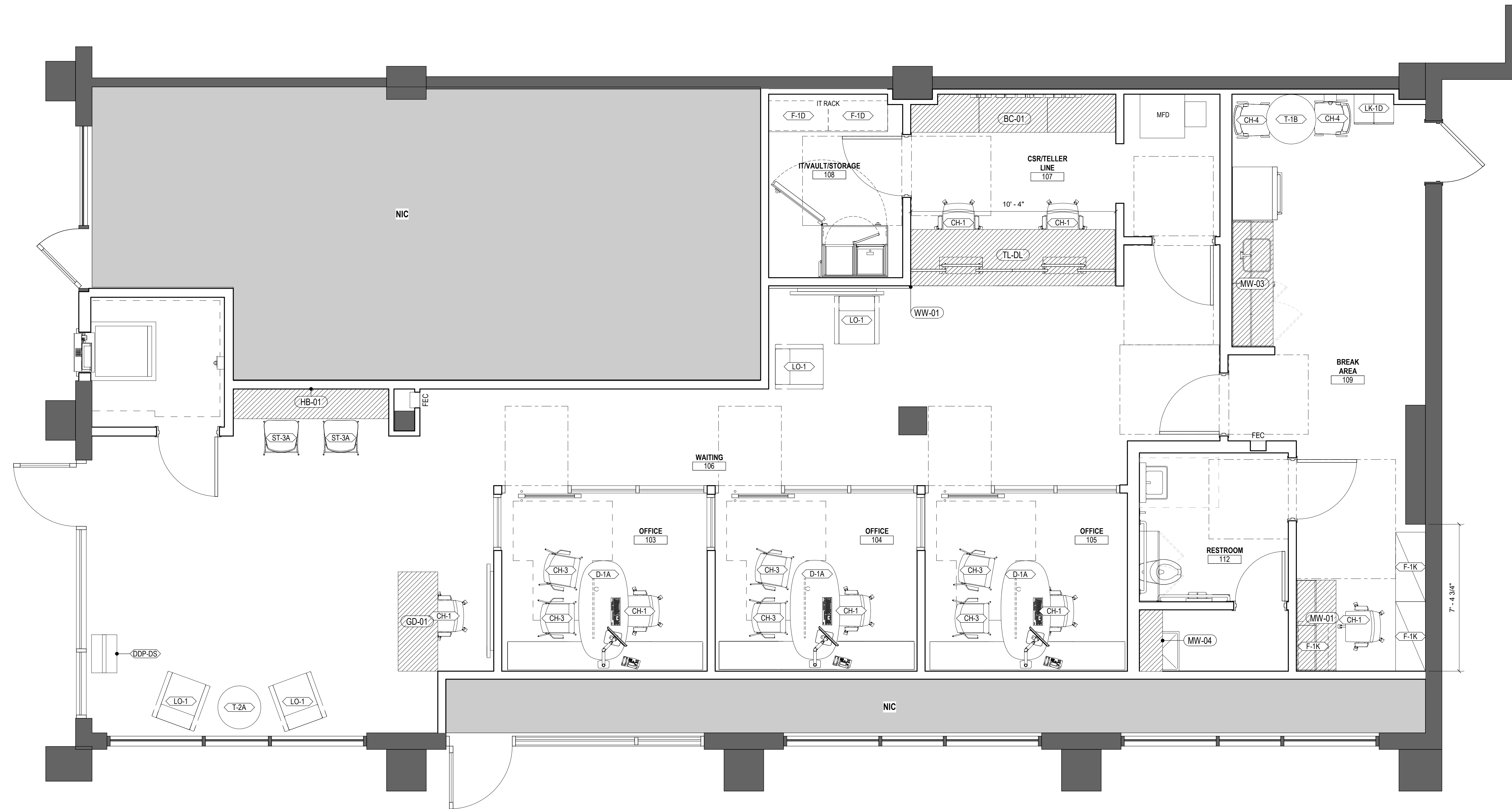
MILLWORK SCHEDULE - VENDOR PROVIDED

MILLWORK NUMBER	NAME	WIDTH	DEPTH	REMARKS
BC-01	TELLER BACK COUNTER	10' - 4"	1' - 11"	REFER TO PLANS FOR QUANTITY AND LOCATION. GC TO COORDINATE WITH BANK VENDOR
CD-01	NOT USED			
GD-01	CHECK IN DESK	5' - 0"	2' - 0"	REFER TO PLANS FOR QUANTITY AND LOCATION. GC TO COORDINATE WITH BANK VENDOR
HB-01	HELP BAR	7' - 10"	1' - 6"	REFER TO PLANS FOR QUANTITY AND LOCATION. GC TO COORDINATE WITH BANK VENDOR
NS-1	NOT USED			
NS-A	NOT USED			
NS-B	NOT USED			
NS-C	NOT USED			
NS-D	NOT USED			
NS-F	NOT USED			
NT-1	NOT USED			
TL-DL	TELLER LINE	10' - 4"	2' - 10"	REFER TO PLANS FOR QUANTITY AND LOCATION. GC TO COORDINATE WITH BANK VENDOR
WW-01	WOOD WALL MILLWORK	REFER TO PLAN	REFER TO PLAN	REFER TO PLANS FOR QUANTITY AND LOCATION. GC TO COORDINATE WITH BANK VENDOR

MILLWORK SCHEDULE - GC PROVIDED

PROVIDED AND INSTALLED BY GC

WT	NAME	WIDTH	DEPTH	REMARKS
MW-01	BREAK ROOM COUNTER / DESK	6' - 10 3/4"	2' - 0"	REFER TO PLANS FOR QUANTITY AND LOCATION. GC TO COORDINATE WITH BANK VENDOR
MW-02	NOT USED			
MW-03	BREAK ROOM COUNTER	6' - 4"	2' - 0"	REFER TO PLANS FOR QUANTITY AND LOCATION. GC TO COORDINATE WITH BANK VENDOR
MW-04	JANITORS CLOSET SHELVING	3' - 1"	1' - 0"	REFER TO PLANS FOR QUANTITY AND LOCATION. GC TO COORDINATE WITH BANK VENDOR



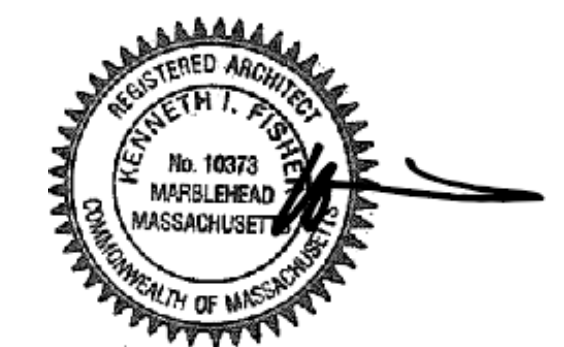
SHEET NOTES

GENERAL NOTES

- THE FURNITURE DEALER SHALL BE RESPONSIBLE TO PROTECT ALL WALLS, DOOR ASSEMBLIES AND FLOORING DURING ALL DELIVERIES AND INSTALLATION, UNLESS OTHERWISE DIRECTED BY THE PROJECT MANAGER.
- ALL PLASTIC PROTECTIVE COVERINGS ON CHAIRS SHALL REMAIN ON CHAIRS TO PROTECT FABRICS FROM CONSTRUCTION DUST AND SOIL PRIOR TO STORE OPENING.
- ALL LABOR USED DURING DELIVERY AND INSTALLATION SHALL BE SUCH THAT NO JURISDICTIONAL PROBLEMS OCCUR DUE TO THE DELIVERY AND/OR INSTALLATION. COORDINATION SHALL BE FACILITATED WITH TRADES NOT UNDER DIRECT JURISDICTION OF THE INSTALLER (SUCH AS ELECTRICIANS) BY THE GC AND/OR PROJECT MANAGER.
- FURNITURE CONTRACTOR SHALL COMPLY WITH ALL LAWS, RULES, REGULATIONS, WHETHER FEDERAL, STATE, OR OTHERWISE, WHICH APPLY TO OR IN ANY MANNER AFFECT THE WORK SCOPE, OR THE OPERATIONS OR ACTIVITIES OF ITS EMPLOYEES CONNECTED WITH THIS PROJECT.
- ALL FURNITURE ON THIS DRAWING TO BE PURCHASED AND INSTALLED BY THE BANK.

Date	Description	Drw By	Chk By
07.01.2020	ISSUE FOR PERMIT & CONSTRUCTION	MJ	GH
07.31.2020	REVISION 1		
11.15.2021	BULLETIN #01	AL	GH

Seal / Signature



Project Name
Santander - 1290 Mass Ave, Cambridge
 Project Number
11.6850.153
 Description
FURNITURE PLAN

LEGEND

Scale
 As indicated

A06.01



CC# 0698
 Harvard Square
 1290 Massachusetts Ave
 Cambridge, MA 02138

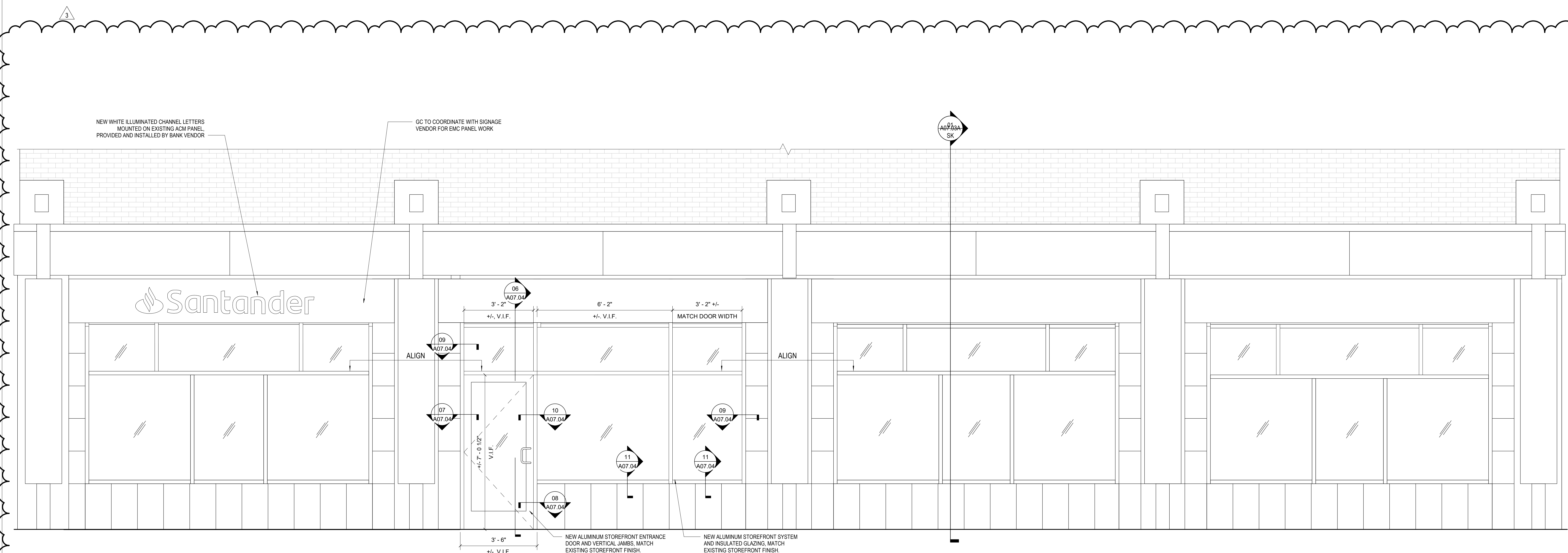


One Beacon Street
 Third Floor
 Boston, MA 02108
 United States
 Tel 617.619.5700
 Fax 617.619.5701

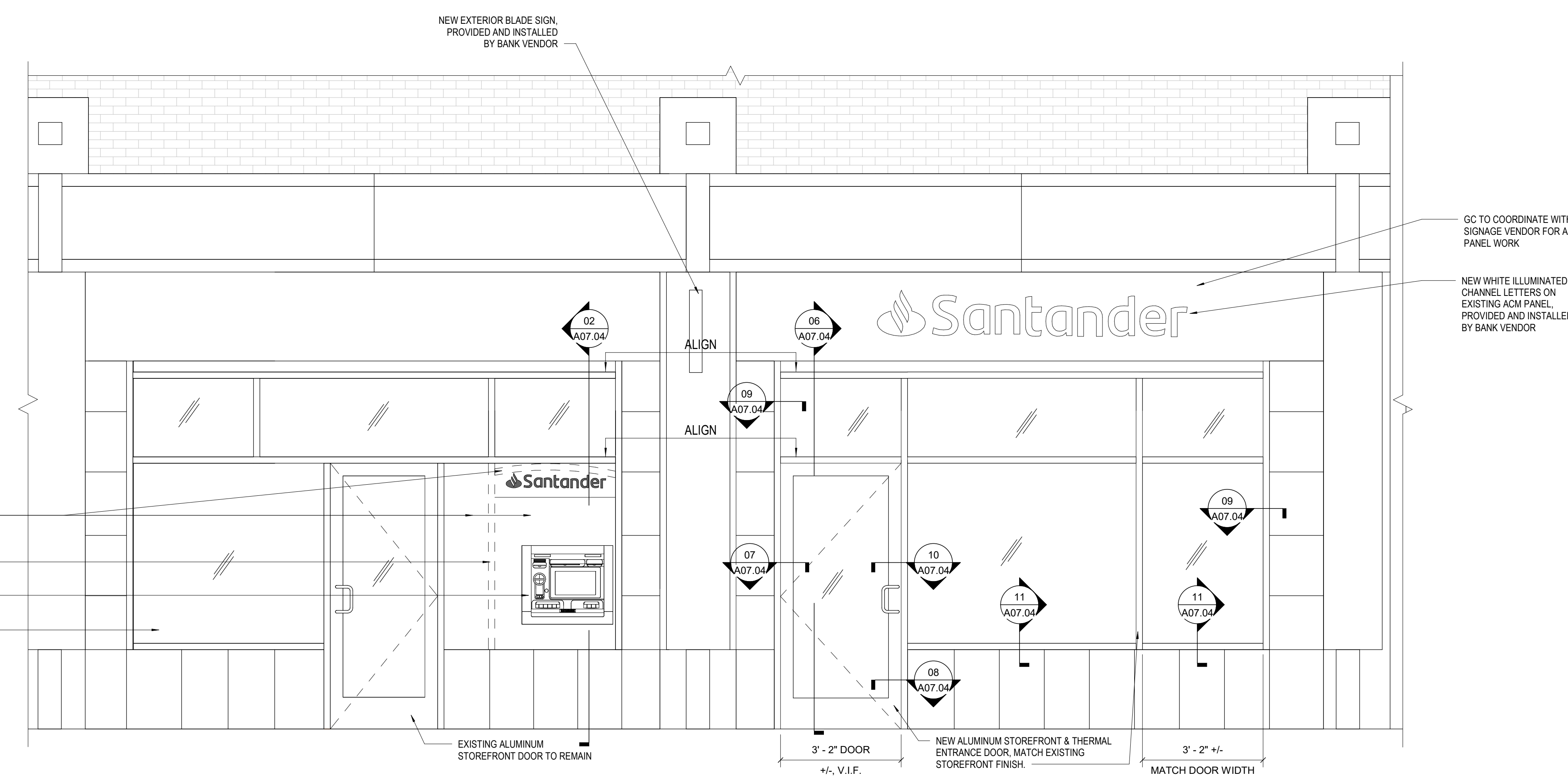
11/05/2024 4:03:44 PM - B:\1290\116850\153 - Santander - Harvard Square\Subcontractor\Gensler\CONTR - PDR\01.dwg

01 FURNITURE PLAN
 SCALE: 3/8" = 1'-0"

Date	Description	Drw By	Chk By
07.01.2020	ISSUE FOR PERMIT & CONSTRUCTION	MJ	GH
12.23.2020	REVISION 2		
11.15.2021	BULLETIN #01	AL	GH



02 EXTERIOR SIDE ELEVATION
SCALE: 1/2" = 1'-0"

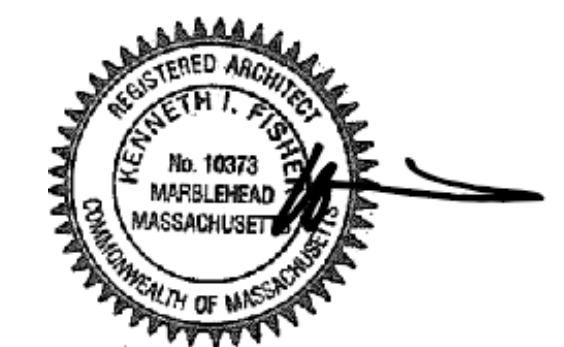


01 EXTERIOR STOREFRONT
SCALE: 1/2" = 1'-0"

NOTE:
NEW DESIGN ASSUMES THAT THE MAJORITY OF THE EXISTING STOREFRONT SYSTEM CAN REMAIN & BE MODIFIED TO NEW CONFIGURATION.
GC TO PROVIDE AN 'ADD ALTERNATE' TO COVER THE COST OF REPLACING THE ENTIRE STOREFRONT GLAZING SYSTEM WITH A KAWNEER 451T CENTER GLAZED SYSTEM.

- NEW ATM SURROUND, CANOPY AND SIDE PANEL, BY BANK VENDOR
- FAUX MULLION INTEGRATED WITH ATM SURROUND BY BANK VENDOR
- NEW EXTERIOR ATM, BY BANK VENDOR
- EXISTING ALUMINUM STOREFRONT TO REMAIN

Seal / Signature



Project Name
Santander - 1290 Mass Ave, Cambridge

Project Number
11.6850.153

Description
ENLARGED EXTERIOR STOREFRONT PLAN, ELEVATION & DETAILS

Scale
1/2" = 1'-0"

A07.03

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