

VOLUME II

Section 1



Cannabis Retail Store

98 Winthrop Street Cambridge, MASSACHUSETTS

CODE SUMMARY:

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| <p>PROJECT SCOPE: CREATION OF RETAIL SPACE WITHIN EXISTING 2-STORY BUILDING.</p> <p>BUILDING CODE: COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE 8TH EDITION (780 CMR) MASSACHUSETTS ARCHITECTURAL ACCESS BOARD</p> <p>CONSTRUCTION CLASSIFICATION: TYPE V-B WOOD FRAME</p> <p>USE GROUP CLASSIFICATION: M - MERCANTILE</p> <p>AREA: +/- 1,207 SQ. FT. GROSS FIRST FLOOR +/- 382 SQ. FT. GROSS SECOND FLOOR +/- 1,589 SQ. FT. GROSS - TOTAL TENANT SPACE AREA LIMITATION - 6,000 SQ. FT.</p> <p>OCCUPANCY: 22 - OCCUPANTS (RESTRICTED TO 20 OCCUPANTS MAX BASED ON AVAIL. PLUMBING FACILITIES.)</p> <p>17 OCCUPANTS FIRST FLOOR (864 SQ. FT. @ 1 OCCUPANT/60 SQ.FT. GROSS) 1 OCCUPANTS FIRST FL. STORAGE (332 SQ. FT. @ 1 OCCUPANT/300 SQ.FT. GROSS (STORAGE)) 4 OCCUPANTS SECOND FL OFFICE (382 SQ. FT. @ 1 OCCUPANT/100 GROSS (BUSINESS USE))</p> <p>22 OCCUPANTS TOTAL</p> <p>SECTION 1021.1 EXITS FROM STORIES: ALL SPACES WITHIN EACH STORY SHALL HAVE ACCESS TO THE MINIMUM NUMBER OF APPROVED INDEPENDENT EXITS AS SPECIFIED IN TABLE 1021.1 EXCEPTION 2: AS MODIFIED IN SECTION 1021.2</p> <p>SECTION 1021.2 SINGLE EXITS ONLY ONE EXIT SHALL BE REQUIRED FROM STORIES AS AS INDICATED IN TABLE 1021.2</p> <p>TABLE 1021.1C STORY OCCUPANCY MAX OCCUPANTS 1ST FL OR BSMNT A, B, E, F, M, U, S 49/75 TRAVEL</p> <p>MINIMUM PLUMBING FACILITIES FOR BUILDING OCCUPANCY MERCANTILE OCCUPANCY (M) 248 CMR 10.10 (18)</p> <p>TOTAL OCCUPANCY FIRST FLOOR: 20 OCCUPANTS OCCUPANCY RATIO OF 50% FOR EACH SEX (10 MALE OCCUPANTS + 10 FEMALE OCCUPANTS = 20 TOTAL)</p> <p>ONE UNISEX HANDICAP ACCESSIBLE TOILET ROOM PROVIDED</p> | <p>EGRESS:</p> <p>EXIT REQ'S: REQUIRED: TWO (2) EXITS PER FLOOR PROVIDED: TWO (2) EXITS PER FLOOR</p> <p>EXIT WIDTH (MIN): .2 INCH PER OCCUPANT 36 OCCUPANTS = 7.2"</p> <p>TRAVEL DISTANCE: 250' MAXIMUM PER FLOOR (SPRINKLERED) ALLOWED 75' MAXIMUM PROVIDED</p> <p>COMMON PATH OF EGRESS TRAVEL: 75' MAXIMUM FOR SPACES SERVING LESS THAN 50 OCCUPANTS</p> <p>ASSEMBLY AISLE WIDTH: 36 INCHES - WHERE AISLE SERVES LESS THAN 50 SEATS.</p> <p>MIN. DOOR WIDTH: 32 INCHES MIN. CLEAR OPENING REQ'D. (ALL DOORS 36 INCHES WIDE)</p> <p>EXIT DOOR HRDWR: SELF-CLOSING EXIT DOORS AT REAR STAIR</p> <p>FIRE RESISTANCE RATINGS OF STRUCTURAL ELEMENTS:</p> <p>PARTY WALL: 2 HR.</p> <p>EXTERIOR WALL: LOADBEARING: 2 HR. 0'-5' FIRE SEPARATION DIST. LOADBEARING: 1 HR. 5'-10' FIRE SEPARATION DIST. NON-LOADBEARING: 1 HR.</p> <p>INTERIOR WALL: 0 HR.</p> <p>CLG./FLOOR: 0 HR.</p> <p>BEAMS: 0 HR.</p> <p>COLUMNS: 0 HR.</p> <p>CLG./ROOF: 1 HR.</p> <p>VERTICAL CHASES: 1 HR.</p> <p>EXIT ENCLOSURE: 1 HR.</p> <p>FIRE PROTECTION:</p> <p>SPRINKLER: SPRINKLER SYSTEM PER NFPA 13 - INSTALLED 2003</p> <p>FIRE ALARM: CENTRAL FIRE ALARM SYSTEM PER NFPA STANDARD</p> <p>EXIT SIGNS + LTG: LIGHTED EXIT SIGNS AND EMERGENCY LIGHTING PER BUILDING CODE</p> <p>ACCESSIBILITY:</p> <p>DOORS/ENTRY: CODE COMPLIANT ENTRANCE VESTIBULE AT MAIN ENTRANCE</p> <p>RAMPS: N.A.</p> <p>RESTROOMS: CODE COMPLIANT ACCESSIBLE RESTROOM PROVIDED ON FIRST FLOOR</p> |
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PROJECT TEAM:

OWNER:

WESTERN FRONT
STREET ADDRESS
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DRAWING LIST:

ARCHITECTURAL

- A000 TITLE SHEET - CODE SUMMARY
- A001 CONTEXT MAP
- A002 STREET CONTEXT AND VIEWS
- A003 SITE PLAN
- A100 GROUND FLOOR PLAN
- A101 BASEMENT AND SECOND FLOOR PLANS
- A200 EXTERIOR ELEVATIONS
- A300 INTERIOR VIEWS

LEGEND:

- WESTERN FRONT RETAIL DISPENSARY TENANT SPACE
- SEPARATE TENANT SPACE



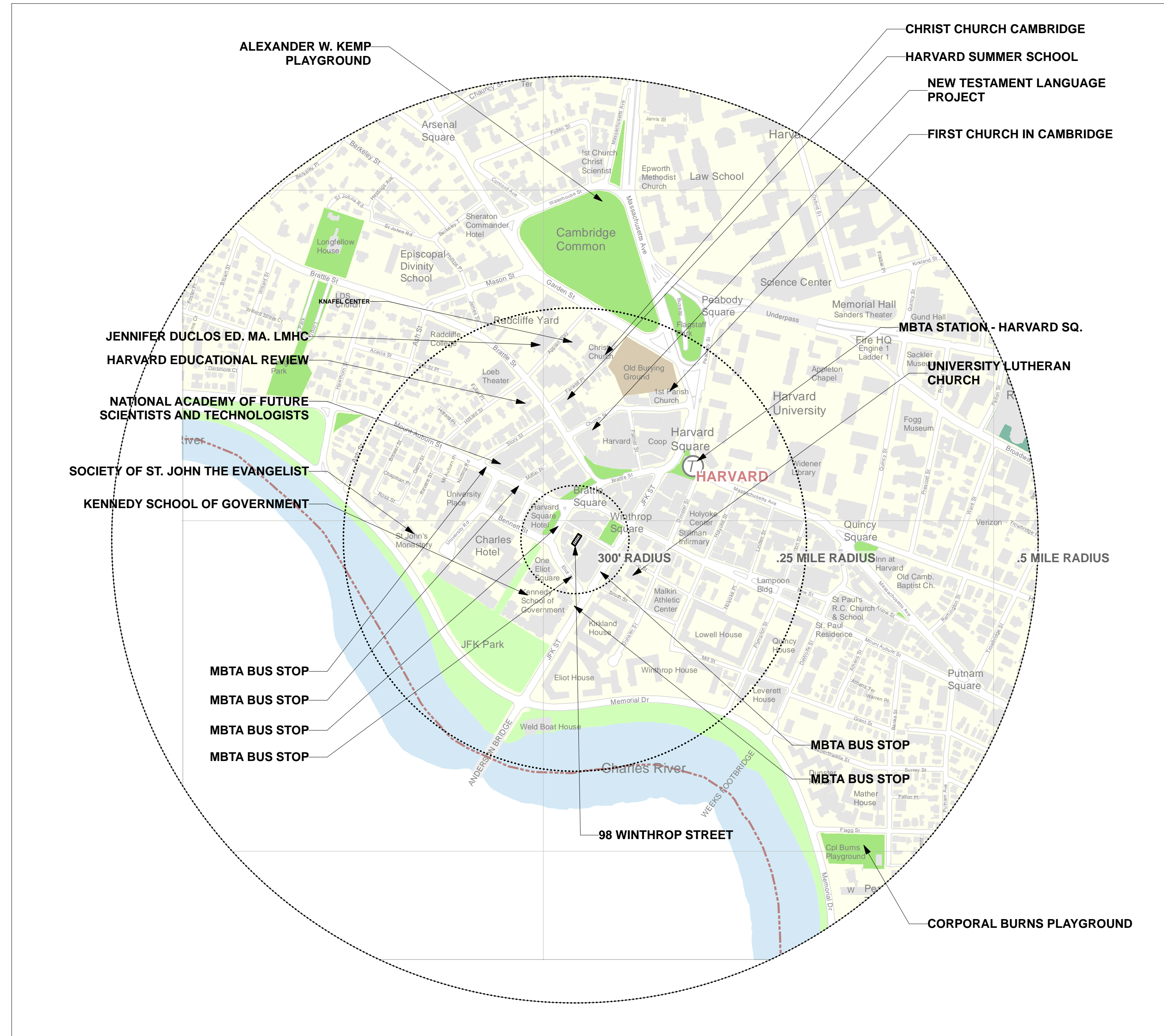
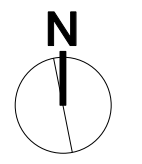
LOCUS MAP



| OCCUPANCY LOAD AND EXITING ANALYSIS | | | | | |
|-------------------------------------|-----|----------------------------------|--------------------------------|--|-------------------------------|
| | NO. | AREA - GROSS (IN SQUARE FEET) | AREA - NET (IN SQUARE FEET) | MAX FLOOR AREA (ALLOWANCE PER OCCUPANT) | OCCUPANT LOAD (CALCULATED) |
| SECURITY CHECK | 100 | 142 sq ft | | | |
| PATIENT SERVICES/WAITING | 101 | 214 sq ft | | | |
| HC LAV | 102 | 52 sq ft | | | |
| DISPENSARY | 103 | 608 sq ft | | | |
| TOTAL PUBLIC | | 1016 sq ft | | 1 PER 60 SQ FT GROSS | 17 |
| ORDER PREP STORAGE | 104 | 95 sq ft | | | |
| VAULT/STORAGE | 105 | 96 sq ft | | | |
| TOTAL BACK ROOM | | 191 sq ft | | 1 PER 300 SQ FT GROSS | 1 |
| TOTAL FIRST FLOOR | | 1207 sq ft | | | 18 |
| HALL | 200 | 41 sq ft | | | |
| SECURITY | 201 | 136 sq ft | | | |
| OFFICE | 202 | 205 sq ft | | | |
| TOTAL SECOND FLOOR | | 382 sq ft | | 1 PER 100 SQ. FT. GROSS | 4 |
| TENANT SPACE TOTALS | | 1589 sq ft | | | 22 |

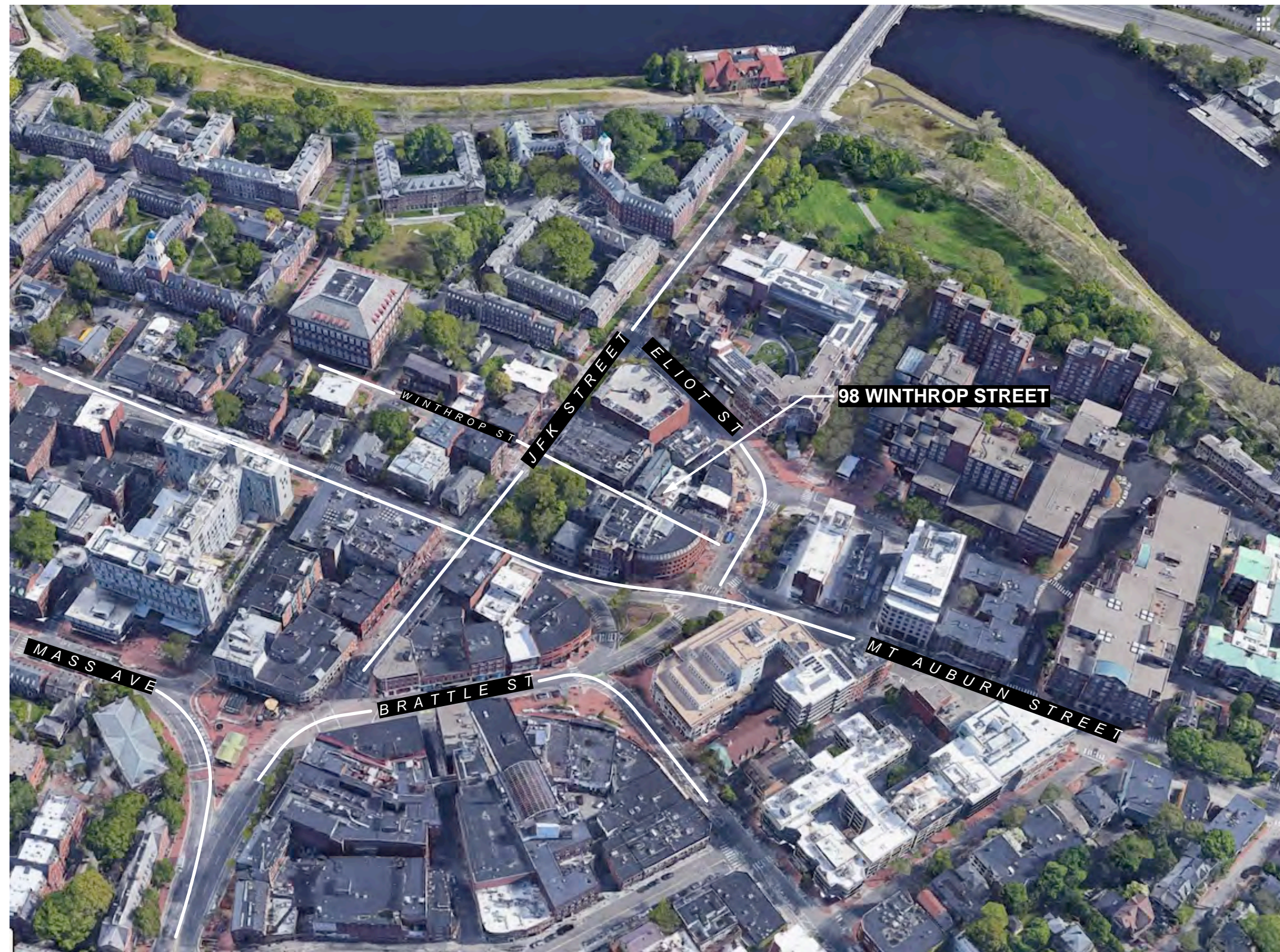
SEPTEMBER 10, 2021

A000



1 PROJECT RADIUS
A1.0 Scale: 1:5000

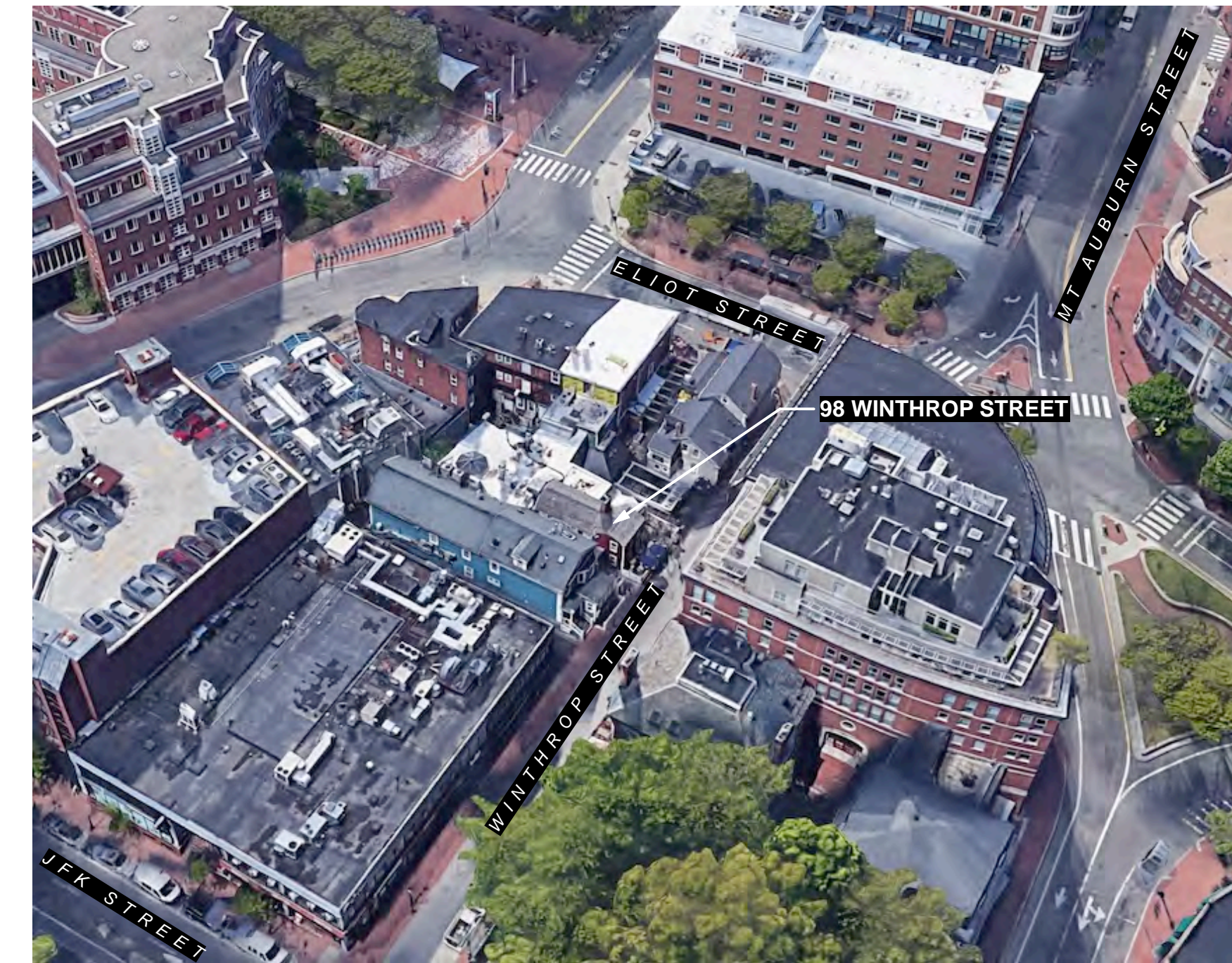




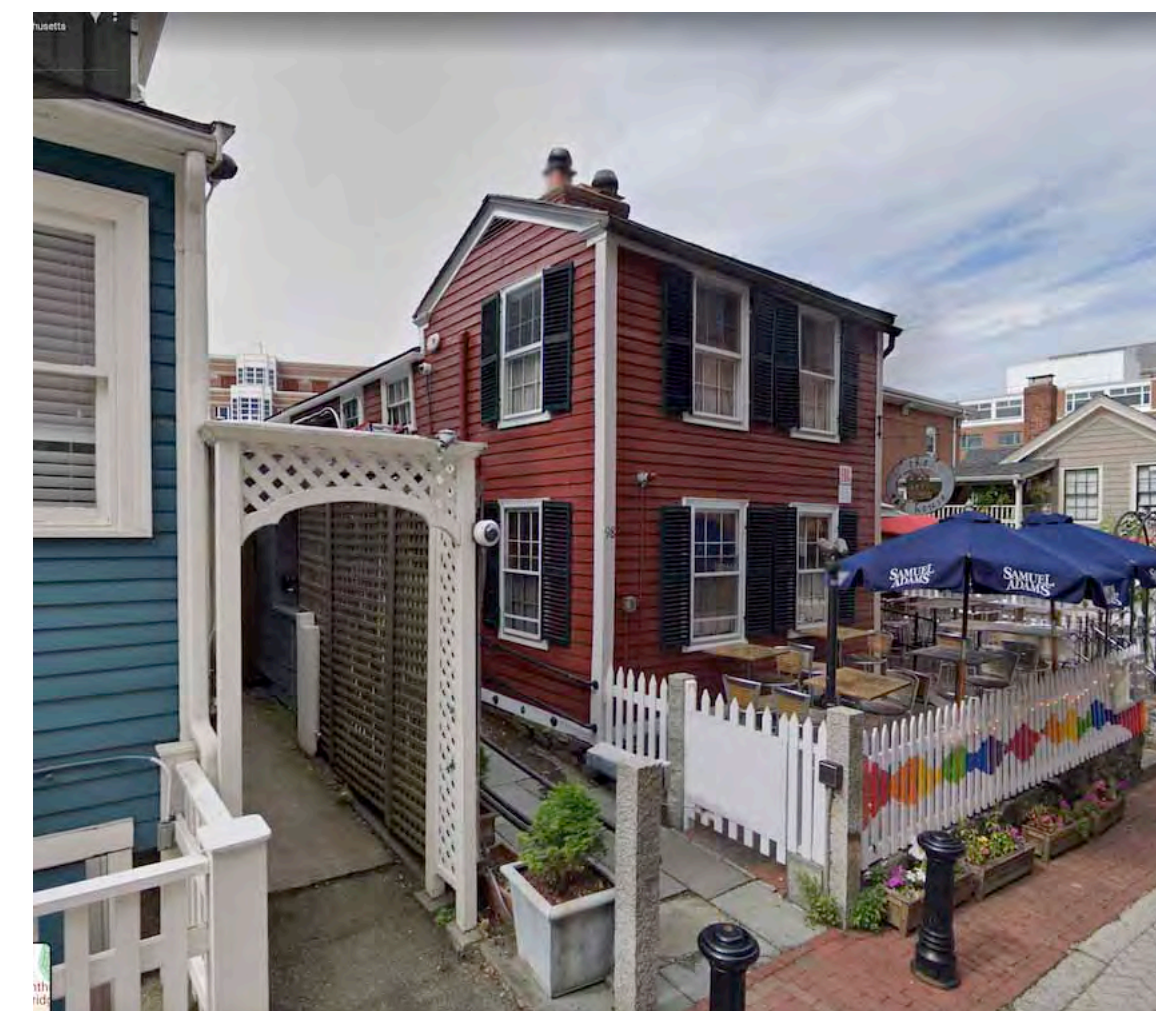
2 AERIAL VIEW FROM NORTHWEST
A1.1 Scale: 1/4" = 1'-0"



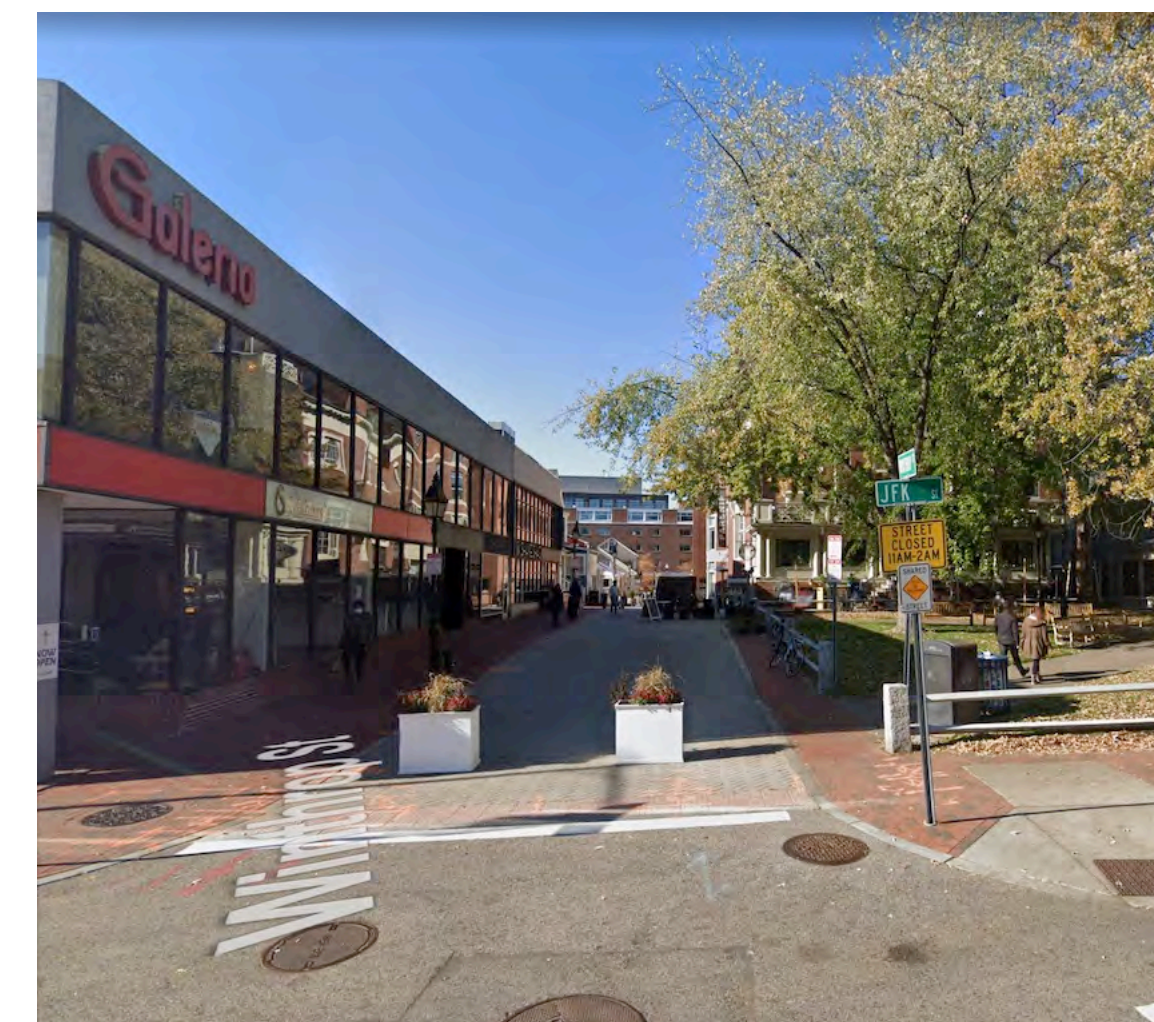
3 AERIAL VIEW FROM SOUTHEAST
A1.1 Scale: 1/4" = 1'-0"



1 SITE VIEW FROM NORTH EAST
A1.1 Scale: 1/4" = 1'-0"



4 BUILDING VIEWS FROM WINTHROP STREET
A1.1 Scale: 1/4" = 1'-0"



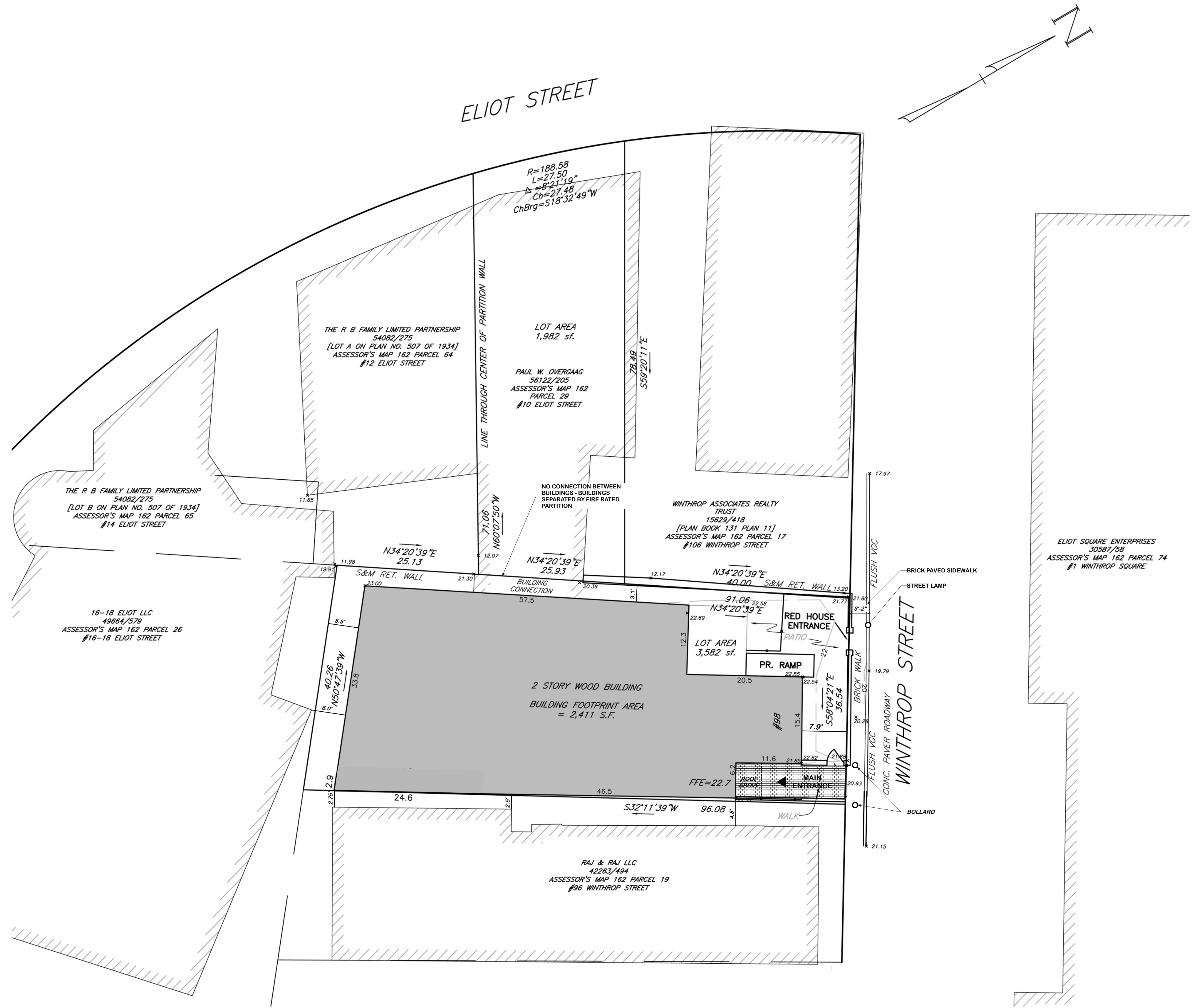
VIEW LOOKING WEST FROM JFK STREET



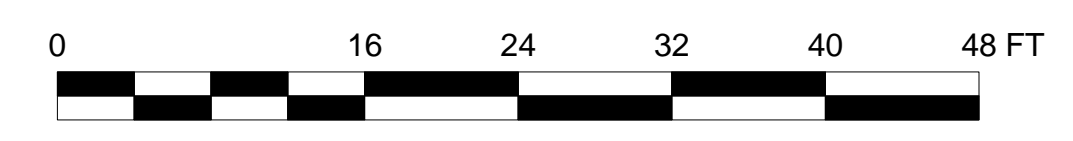
VIEW LOOKING EAST FROM ELIOT STREET

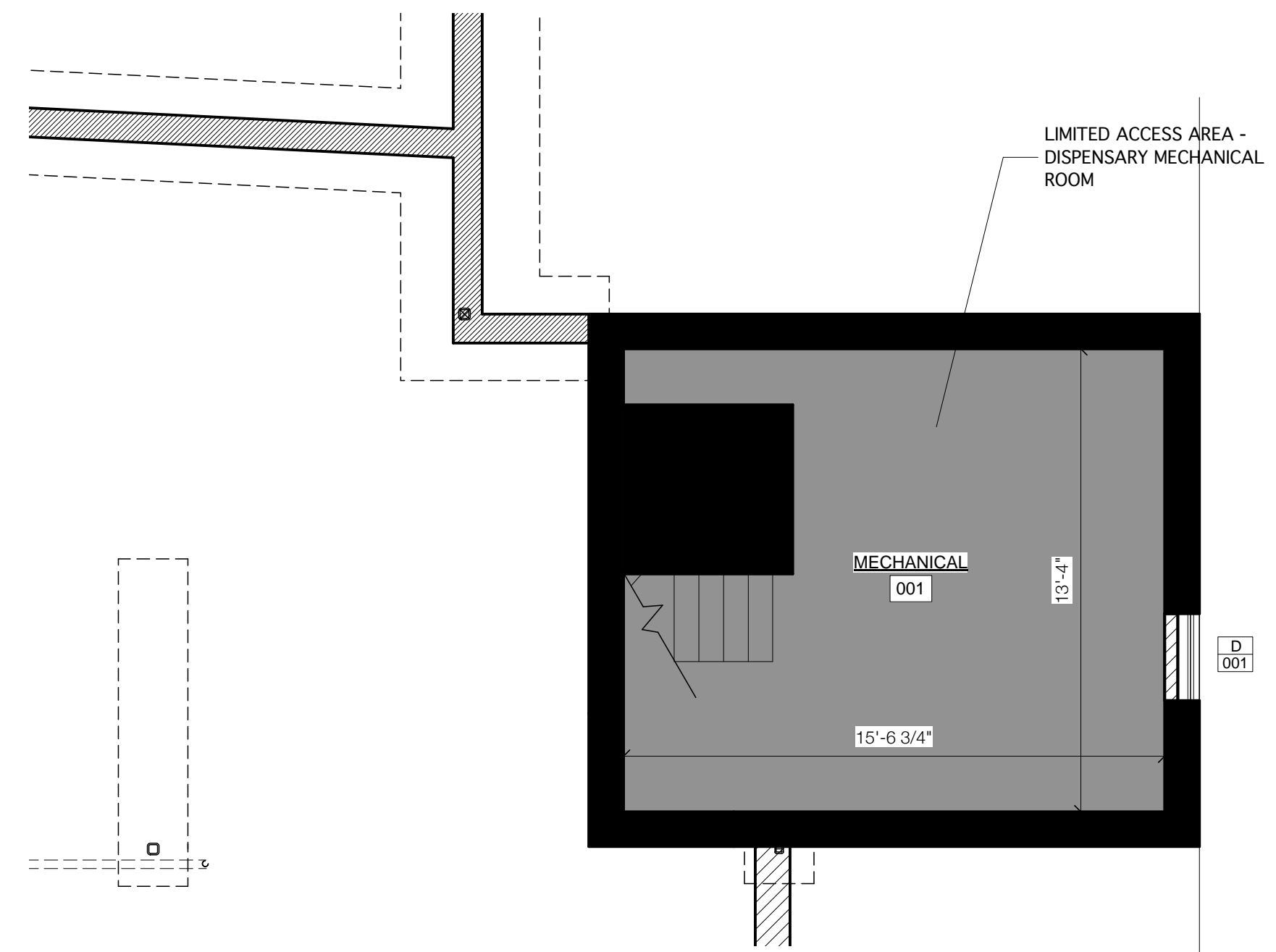
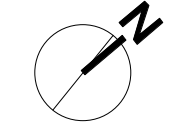
3 STREET VIEWS
A1.1 Scale: 1/4" = 1'-0"

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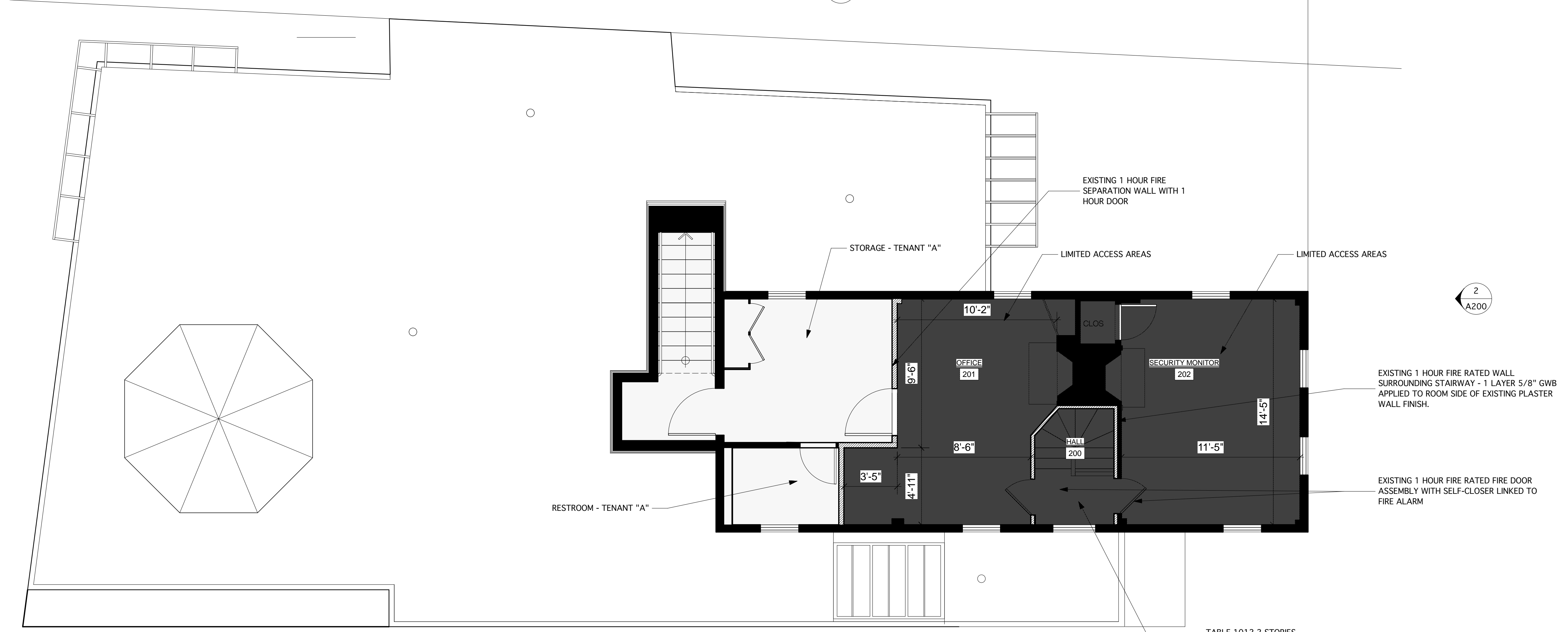


1 SITE CONDITIONS
A003 Scale: 1" = 10'-0"





3 BASEMENT PLAN
A1.0 Scale: 1/4" = 1'-0"

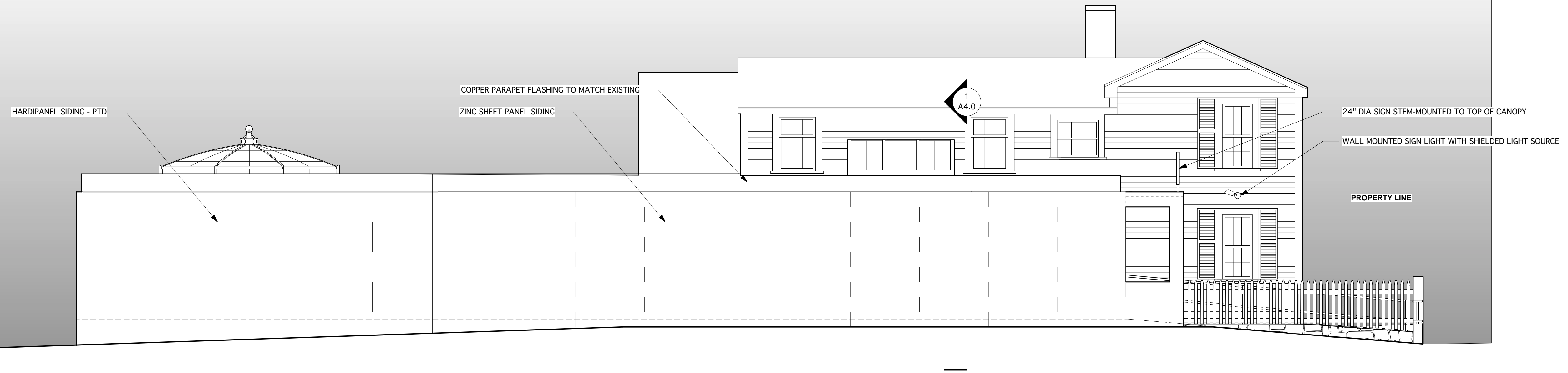


2 A200

1 A200

TABLE 1012.2 STORIES WITH ONE EXIT - SECOND STORY - USE GROUP M - 49 OCCUPANTS MAXIMUM AND 75' TRAVEL DISTANCE





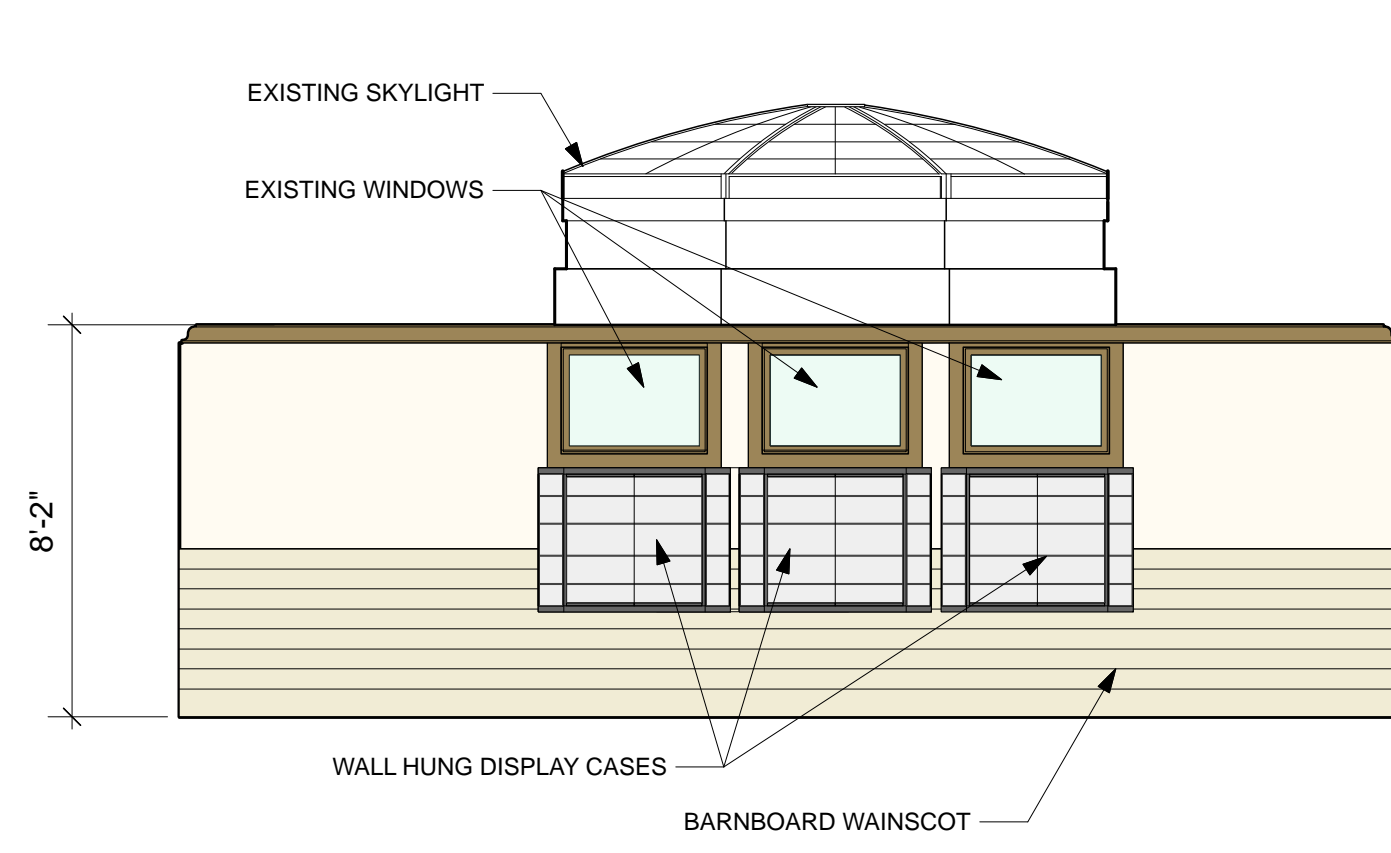
1 EAST ELEVATION
A2.0 Scale: 1/4" = 1'-0"



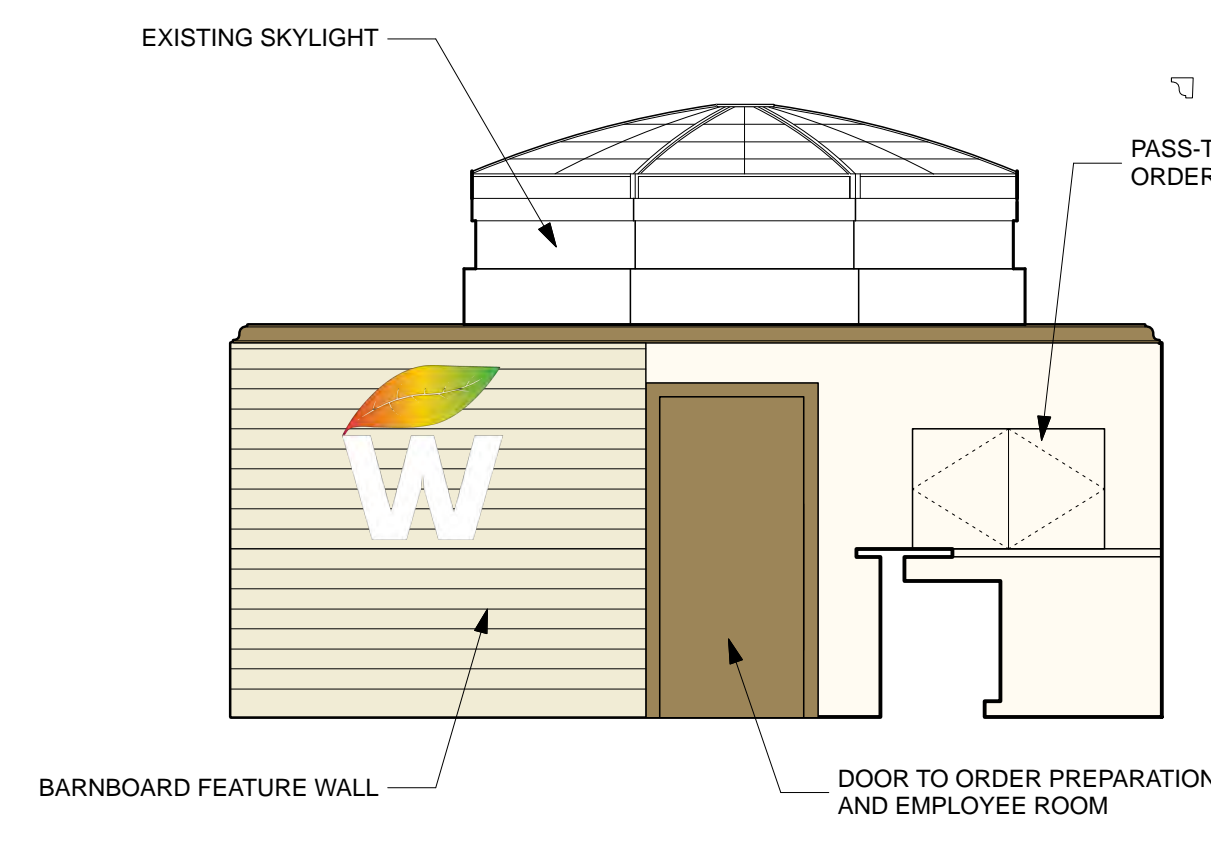
2 NORTH ELEVATION
A2.0 Scale: 1/4" = 1'-0"

STREET ELEVATION
98 WINTHROP ST.

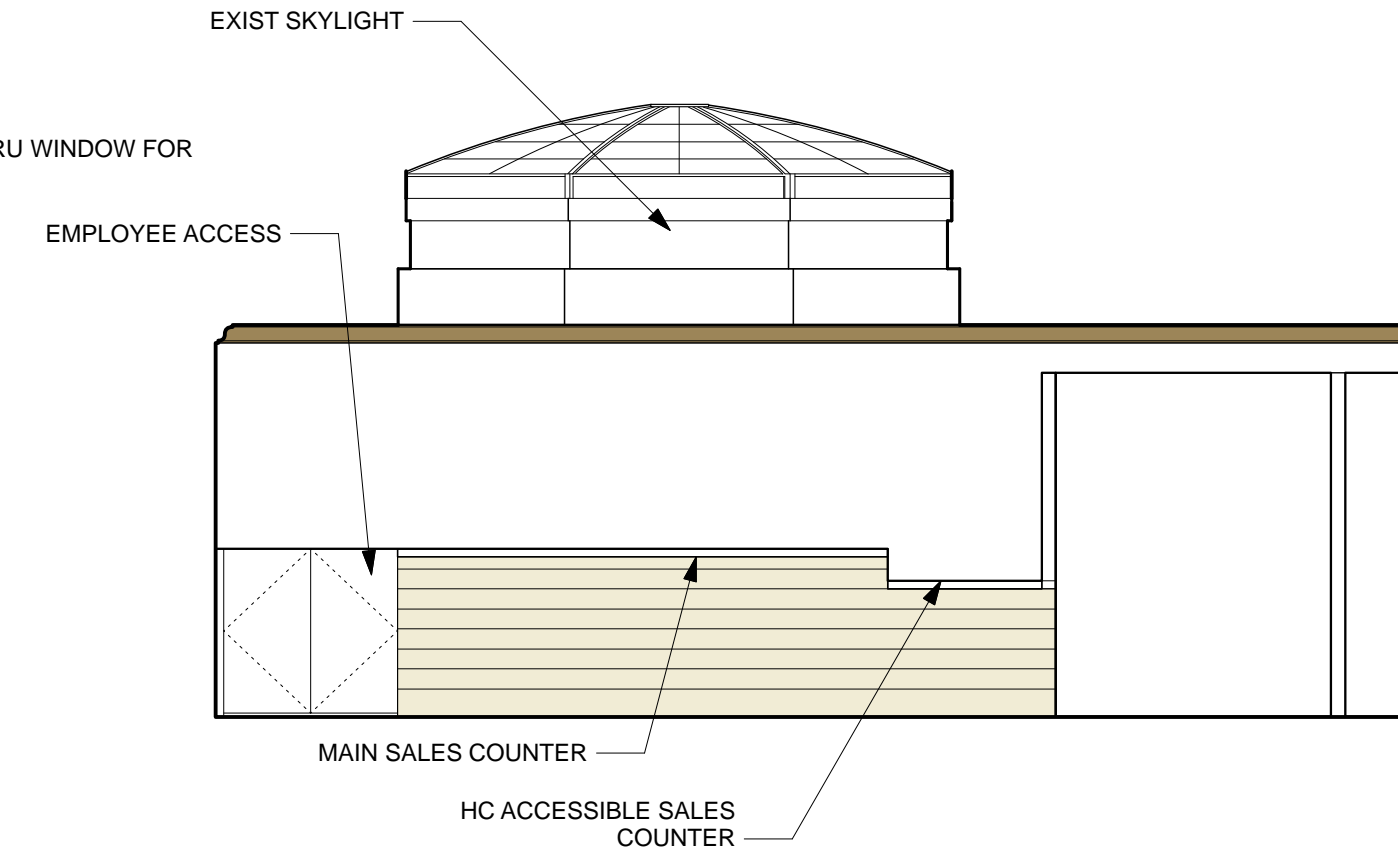




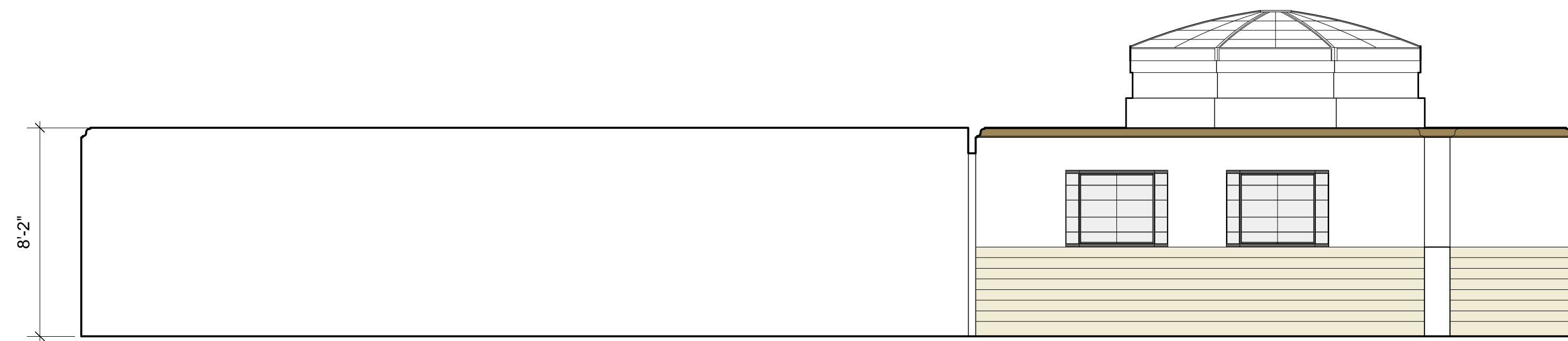
1 MAIN SALES ROOM - INTERIOR ELEVATION
Scale: 1/4" = 1'-0"



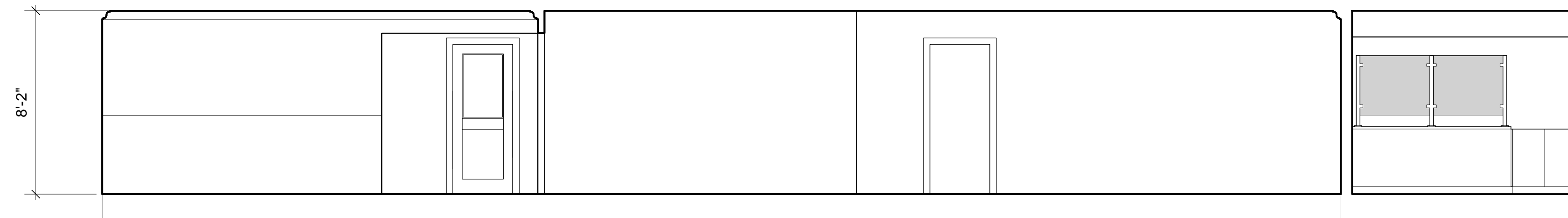
2 MAIL SALES ROOM - INTERIOR ELEVATION
Scale: 1/4" = 1'-0"



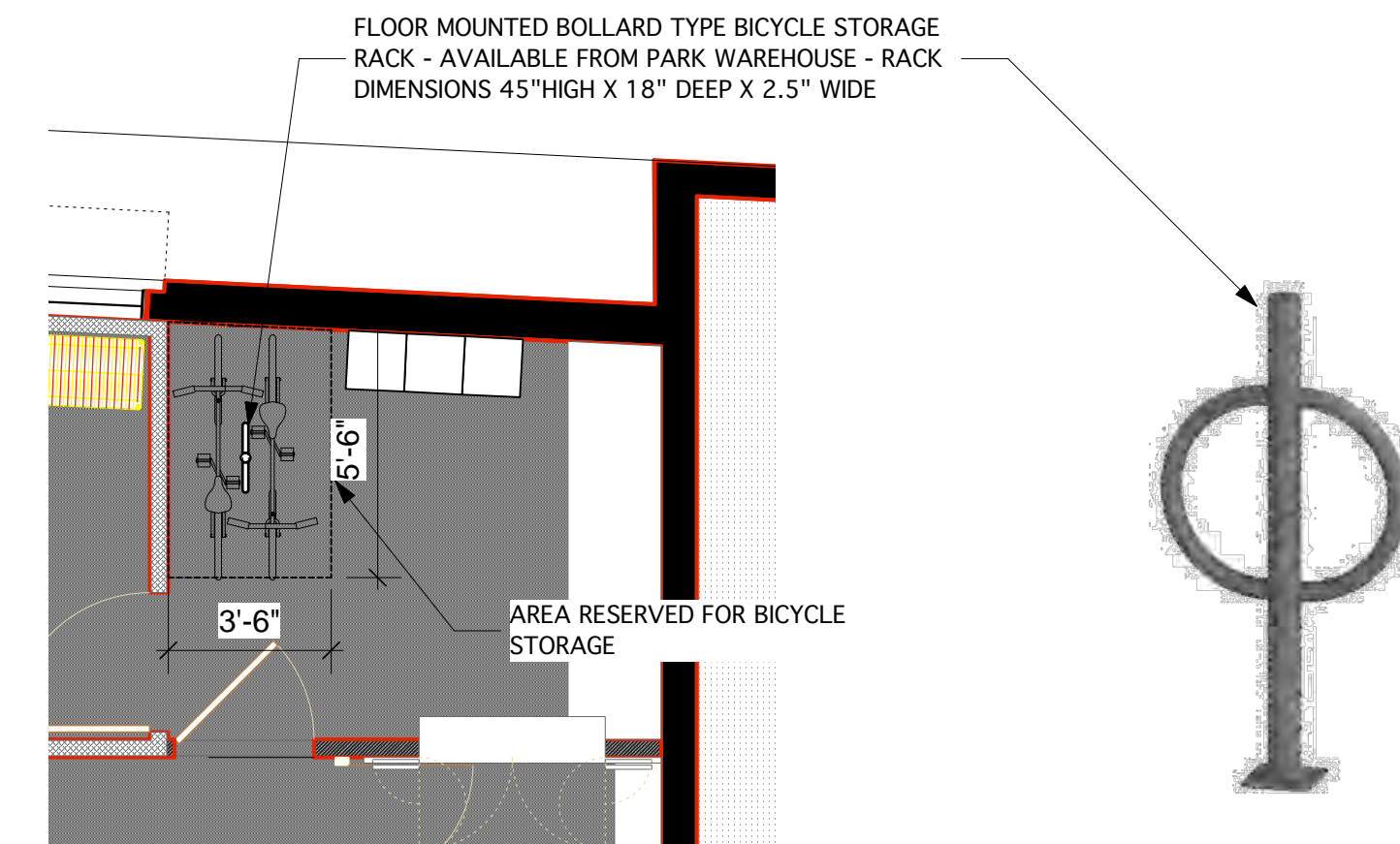
3 MAIN SALES ROOM - INTERIOR ELEVATION
Scale: 1/4" = 1'-0"



4 MAIN SALES ROOM - INTERIOR ELEVATION
Scale: 1/4" = 1'-0"



5 MAIN SALES ROOM AND HALLWAY - INTERIOR ELEVATION
Scale: 1/4" = 1'-0"



6 BICYCLE STORAGE
Scale: 1/4" = 1'-0"

