

Alewife Park

Cambridge, Massachusetts

SUBMITTED TO **Cambridge Community Development Department**
City Hall Annex
344 Broadway
Cambridge, MA

PROPONENT **IQHQ-Alewife LLC**
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Boston, MA 02108

PREPARED BY **VHB**
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In association with:
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Galluccio and Watson, LLP
Gensler
Shadley Associates
The Green Engineer
Haley & Aldrich

December 27, 2021

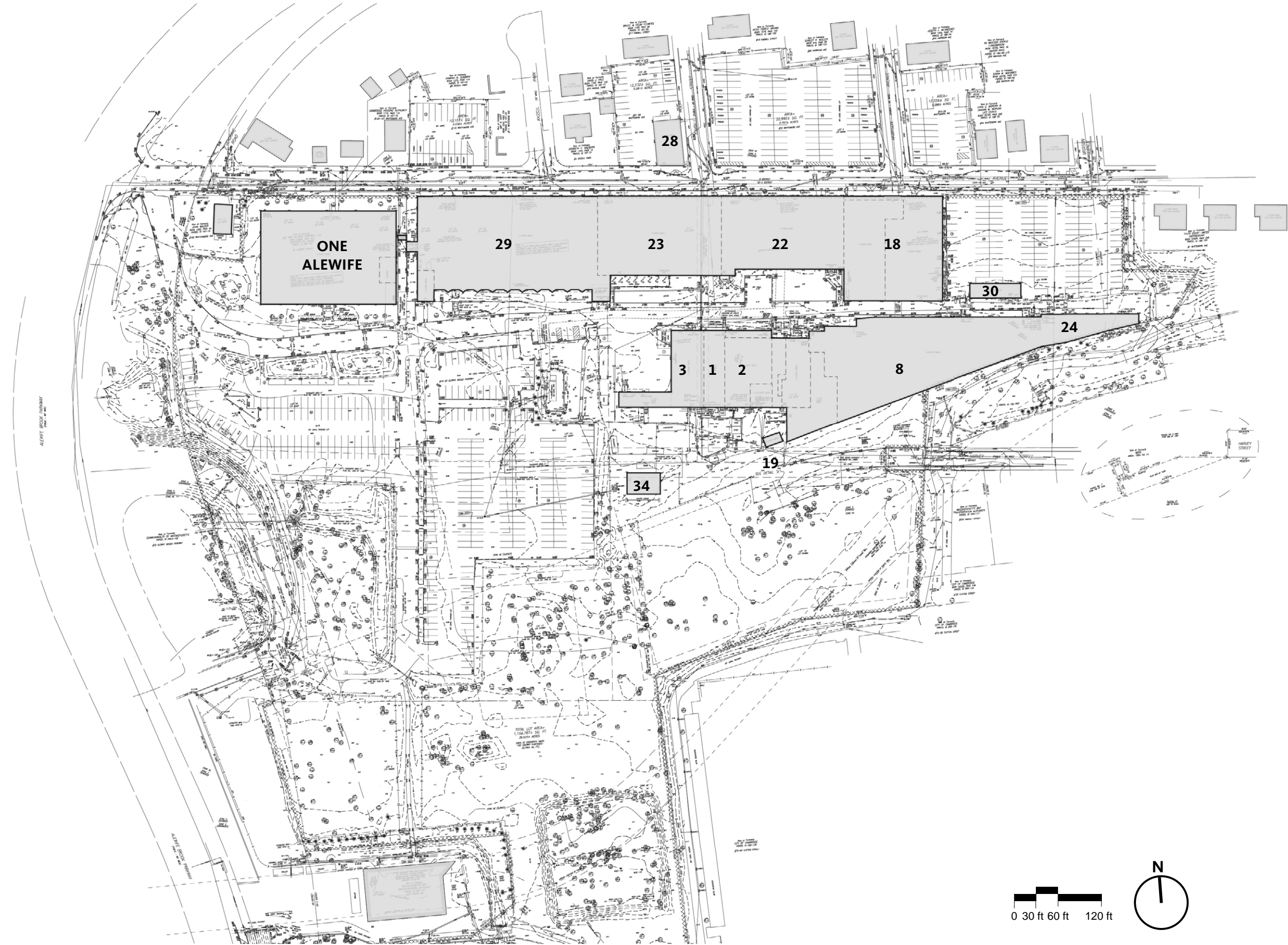
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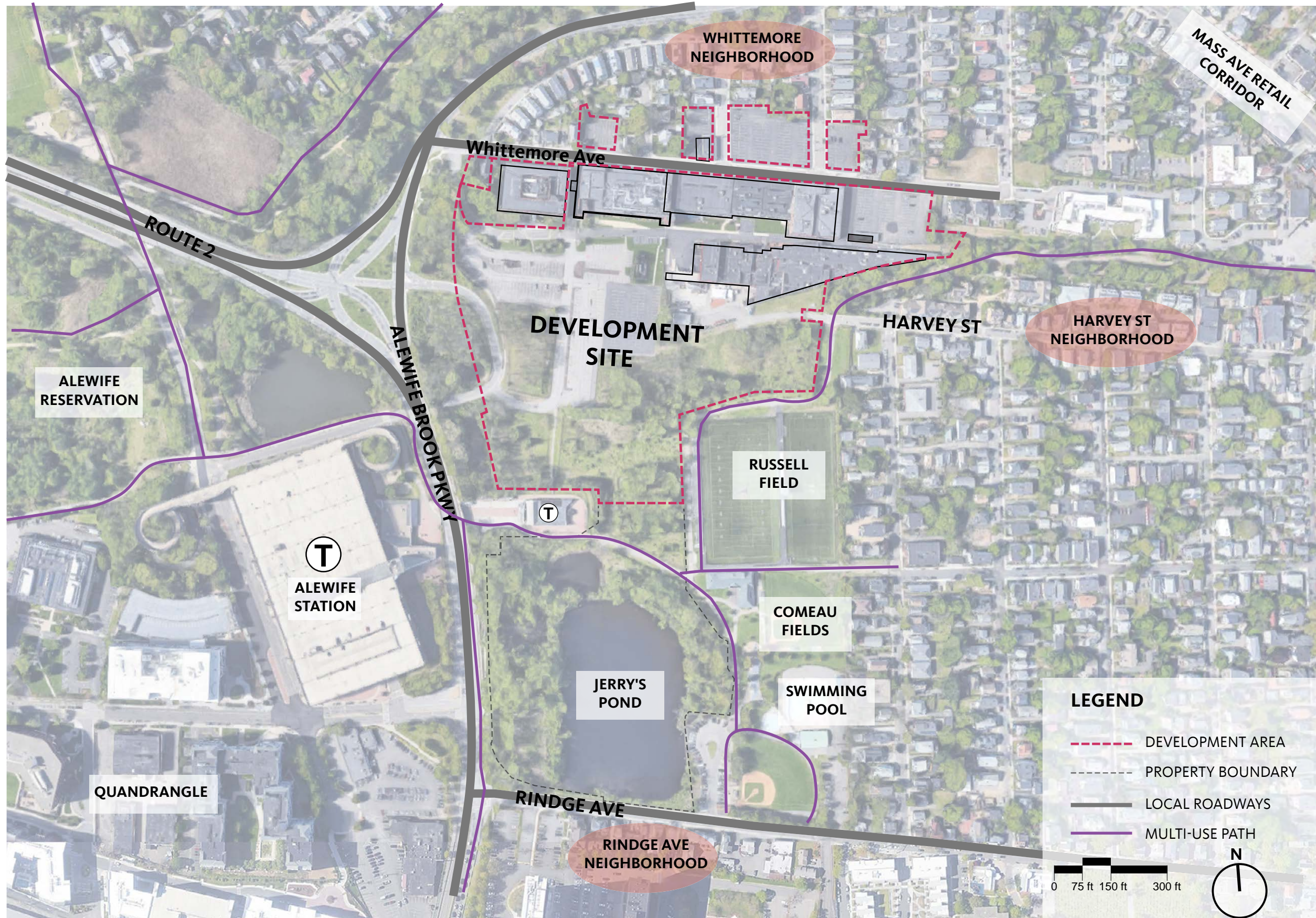
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36-64 WHITTEMORE AVE.

EXISTING SITE SURVEY



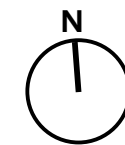
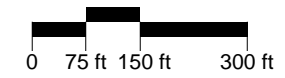
36-64 WHITTEMORE AVE.

PROJECT SITE CONTEXT

LOCATION B

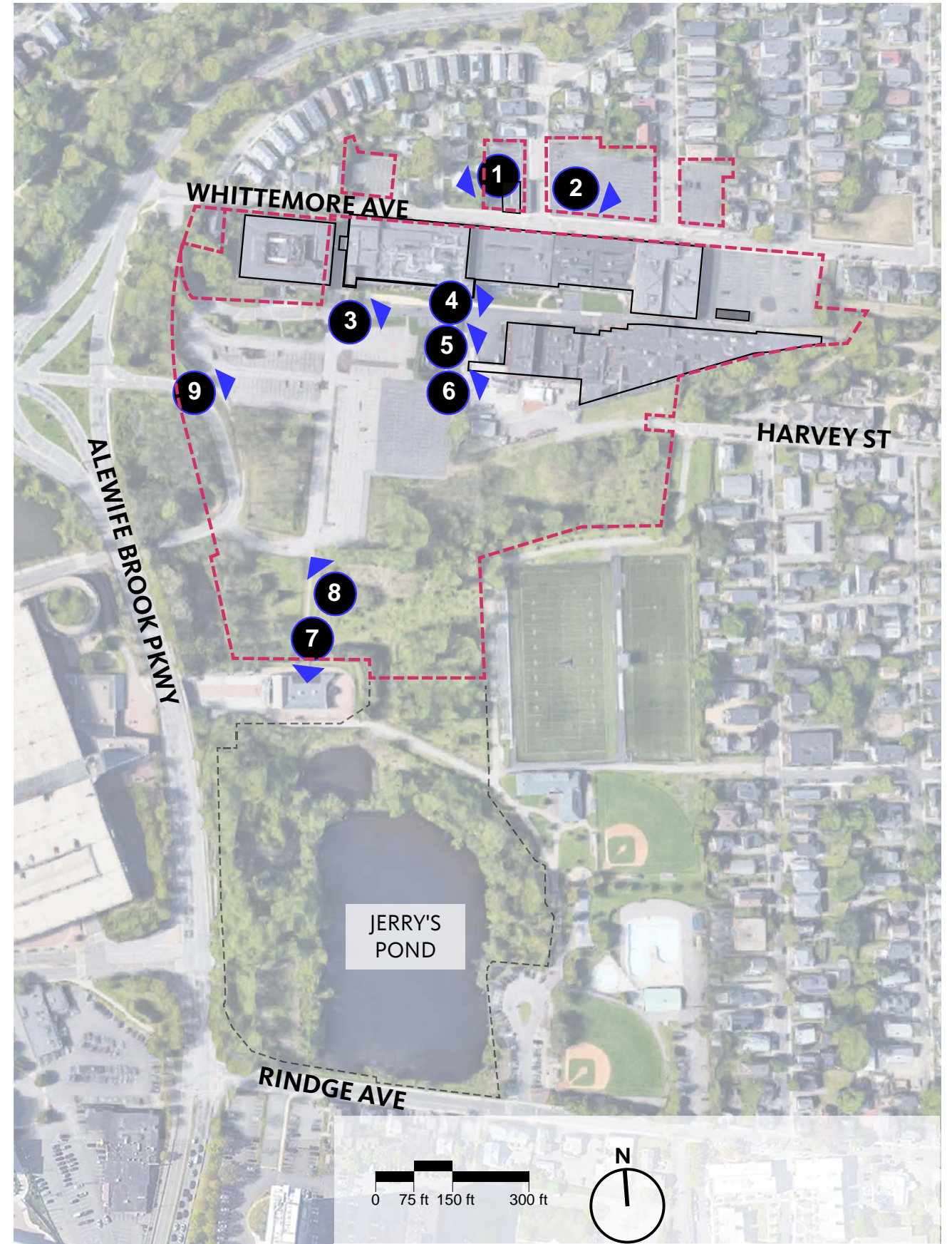
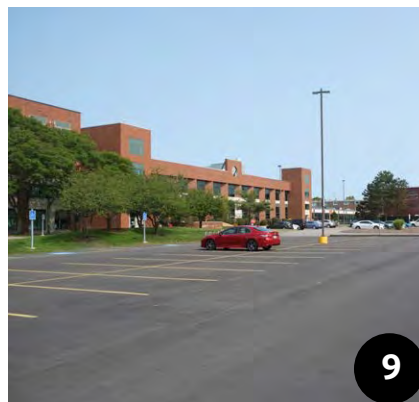
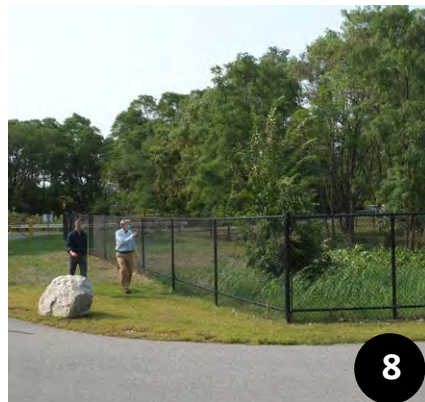


LOCATION A

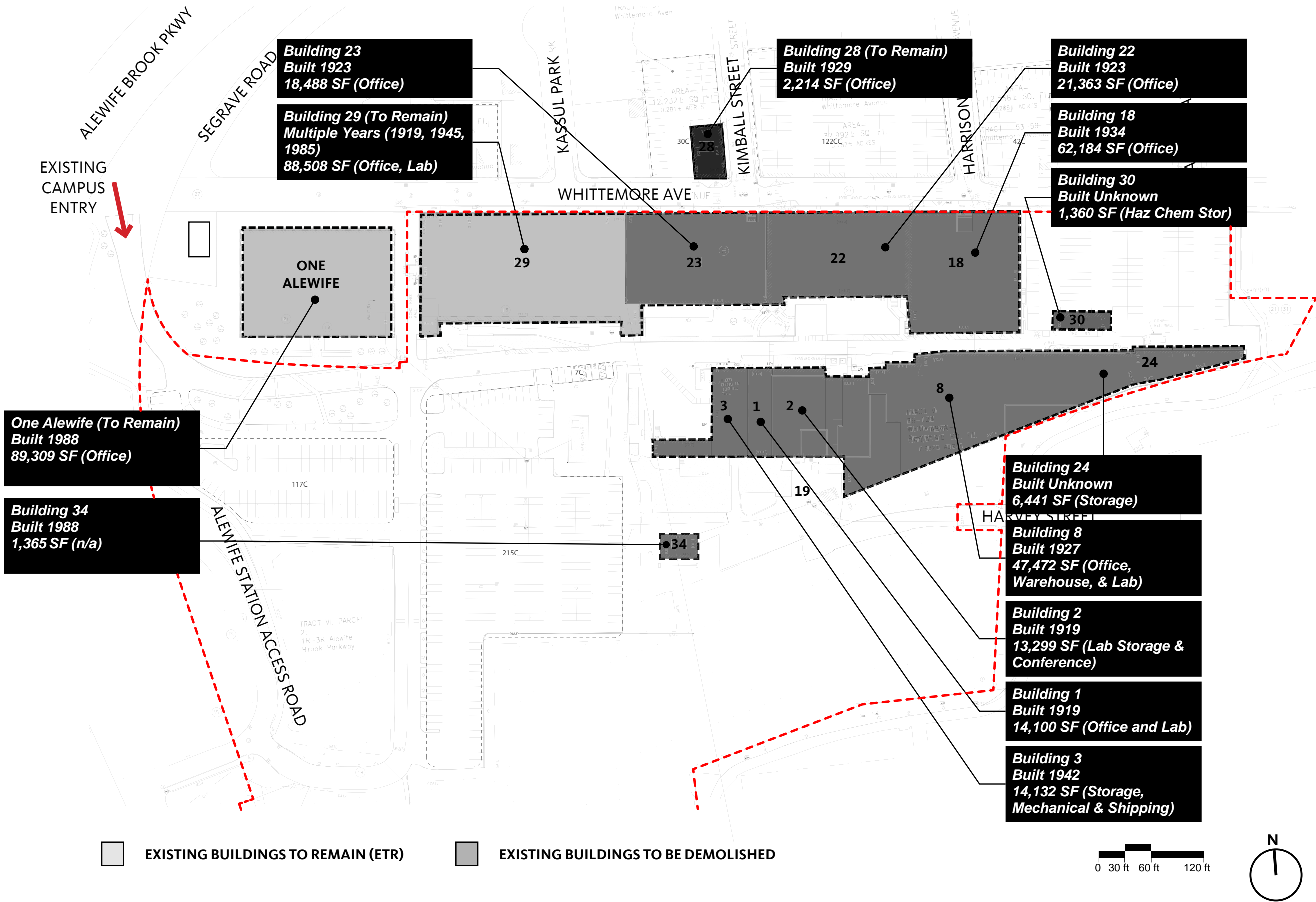


36-64 WHITTEMORE AVE.

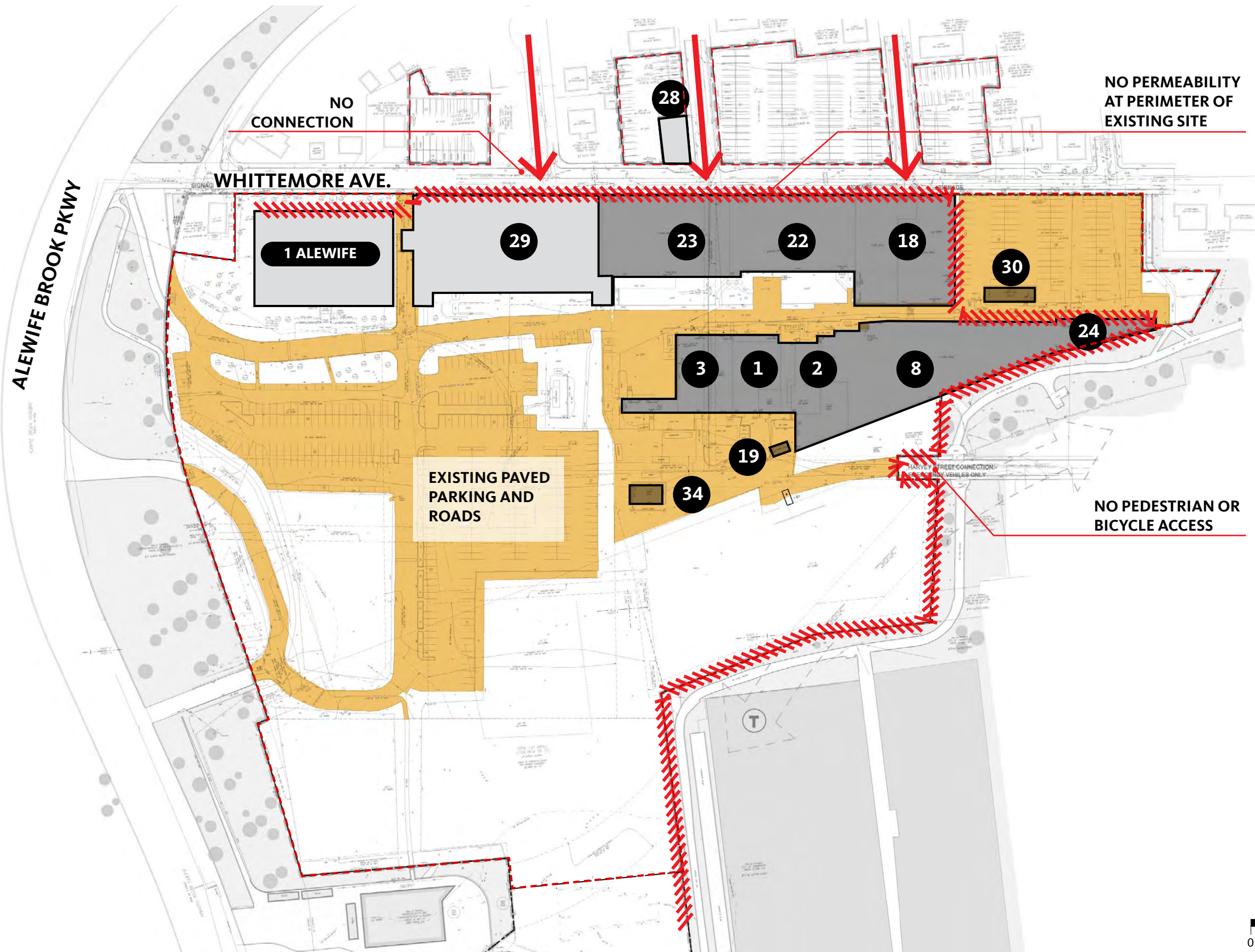
PROPOSED NOTICE PANEL LOCATION MAP



36-64 WHITTEMORE AVE. SITE CONTEXT PHOTOS



36-64 WHITTEMORE AVE. EXISTING BUILDINGS



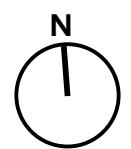
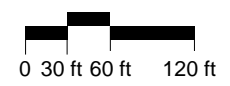
EXISTING SITE ANALYSIS:

THE CURRENT CAMPUS ACTS AS A BARRIER TO THE NEIGHBORHOOD AND PROVIDES NO CONNECTIVITY OR SITE ACCESS.

LEGEND

28	OFFICE	3	STORAGE
29	OFFICE, LAB, CAFETERIA	1	OFFICE, LAB
23	OFFICE	2	LAB, STORAGE
22	OFFICE	8	OFFICE
18	OFFICE	24	STORAGE
30	HAZ/MAT STORAGE	19	FIRE PUMP HOUSE
1 ALEWIFE	OFFICE	34	STORAGE

- Existing hard surface
- EXISTING BUILDINGS TO REMAIN (ETR)
- EXISTING BUILDINGS TO BE DEMOLISHED
- development area
- property boundary



36-64 WHITTEMORE AVE.
SITE ANALYSIS



PROJECT METRICS	GFA
Maximum GFA (per SD-3 Zoning)	782,500
Existing Total GSF	382,000
Existing Buildings to Remain	184,000
Existing Buildings to be Demolished	198,000
Proposed Commercial Buildings	430,500
Increase in Commercial Buildings GFA	232,500
Proposed Garage	121,000
Proposed Total GFA	735,500
Building Height	48'-8"
Total Proposed Parking	650 CARS

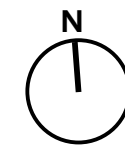
LEGEND

- EXISTING HARD SURFACE
- EXISTING BUILDINGS TO REMAIN (ETR)
- EXISTING BUILDINGS TO BE DEMOLISHED
- PROPOSED LAB/OFFICE BUILDINGS
- PROPOSED PARKING STRUCTURE
- DEVELOPMENT AREA
- PROPERTY BOUNDARY
- 25' SETBACK LINE
- 50' SETBACK LINE
- 25' SETBACK LINE AT NORTH



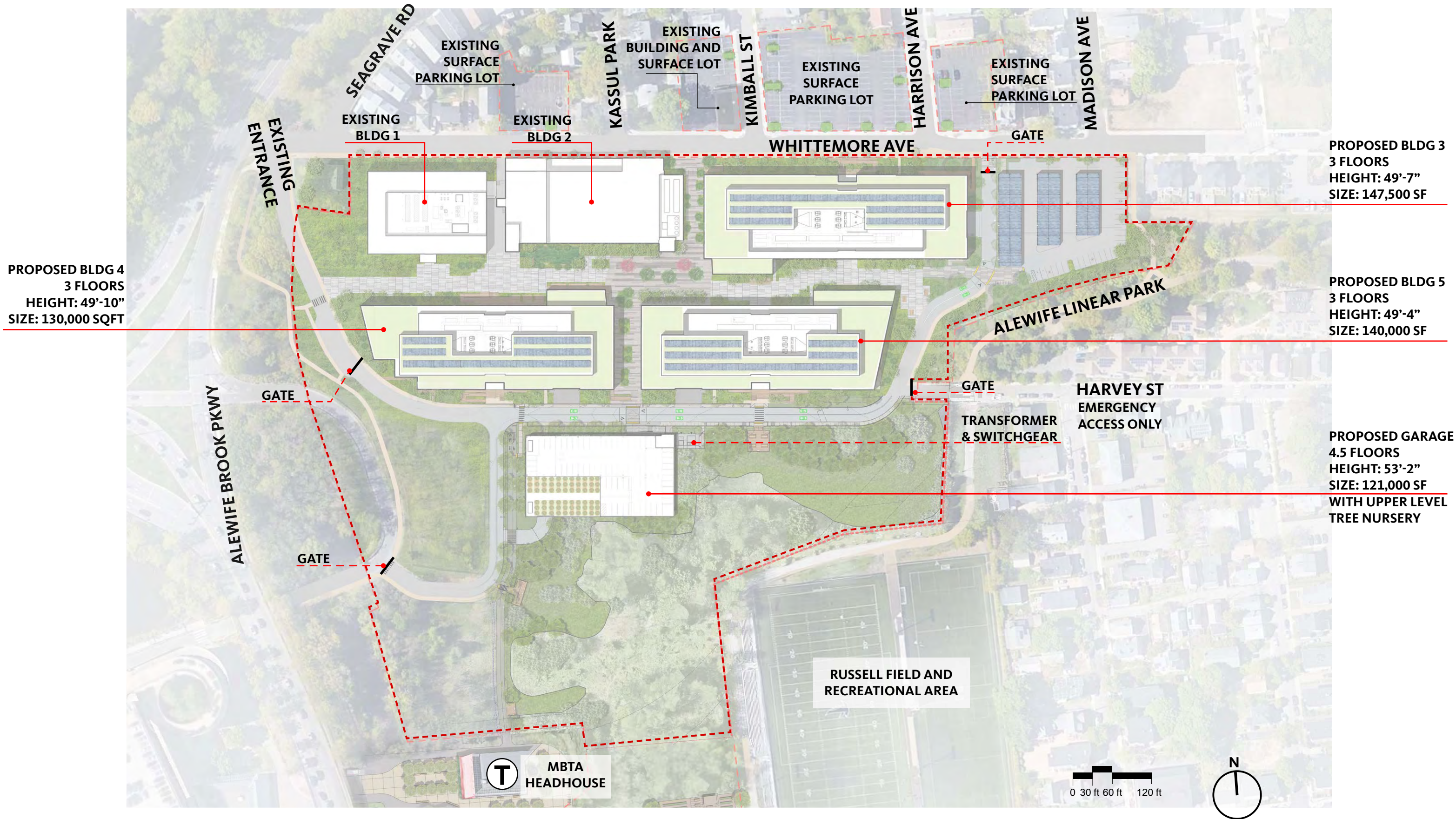
36-64 WHITTEMORE AVE.

PLANNING OPPORTUNITIES



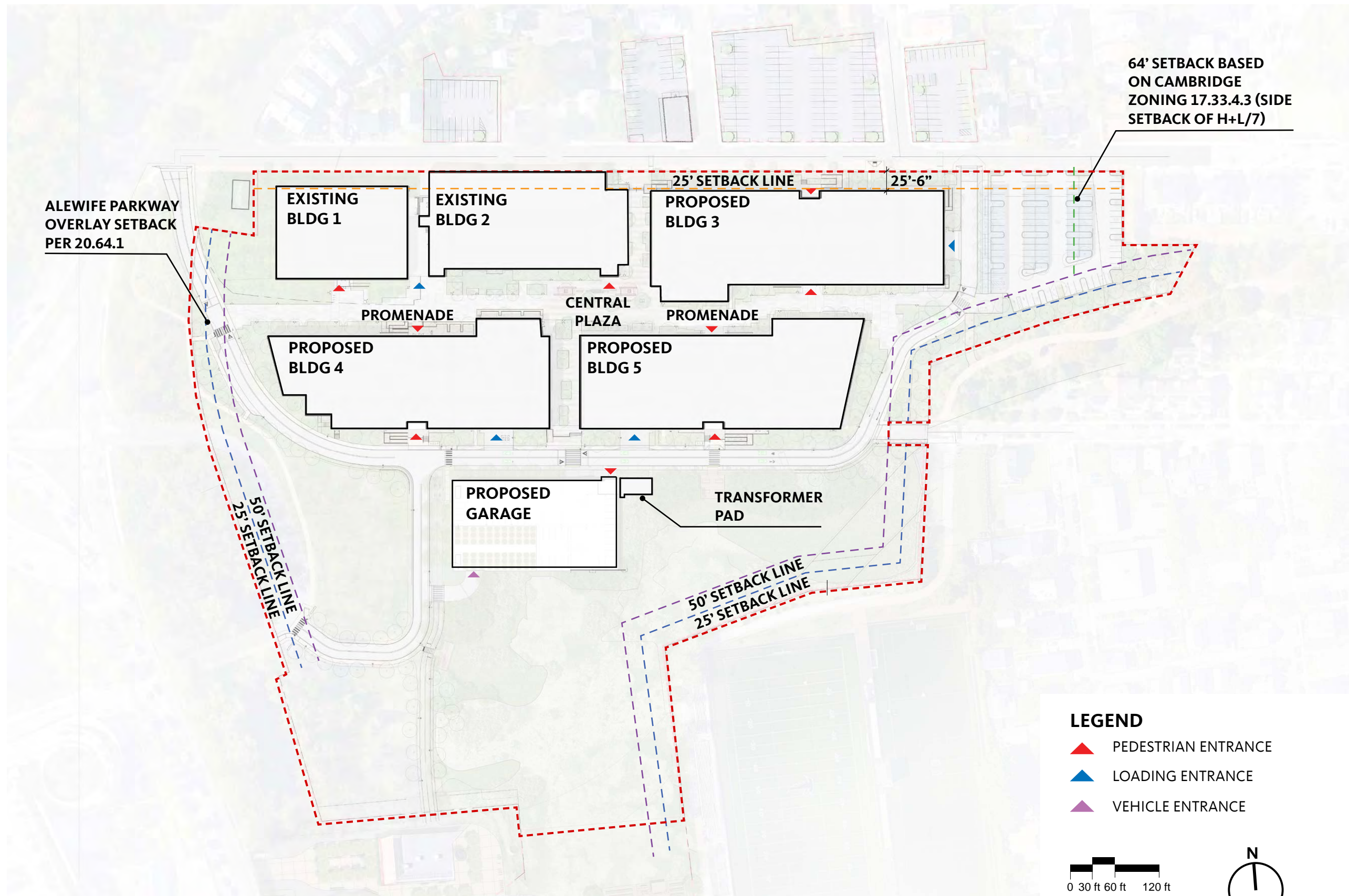
36-64 WHITTEMORE AVE.

COVENANT AREA PLAN



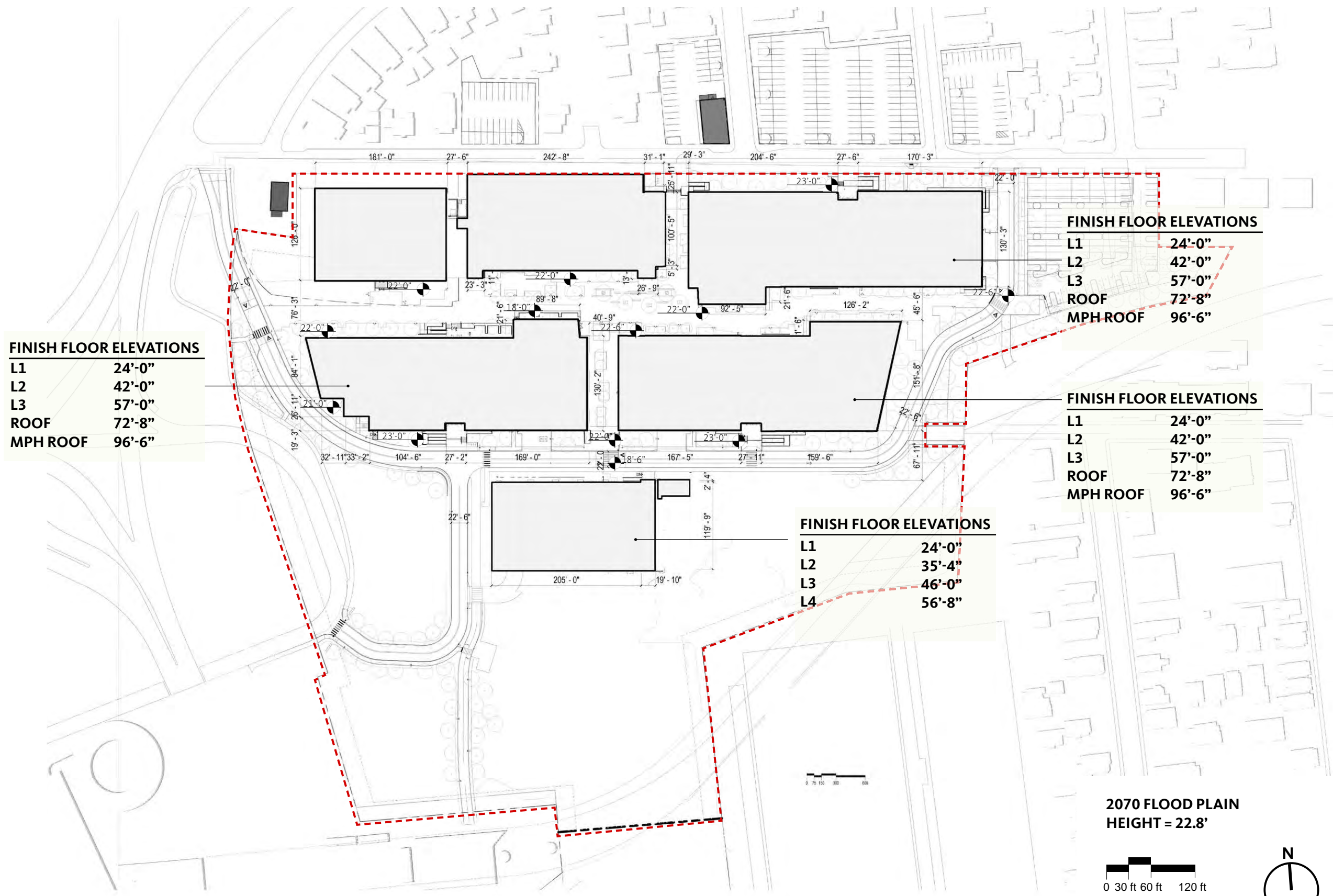
36-64 WHITTEMORE AVE.

PROPOSED DEVELOPMENT PLAN



36-64 WHITTEMORE AVE.

BUILDING SETBACK PLAN



FINISH FLOOR ELEVATIONS

L1	24'-0"
L2	42'-0"
L3	57'-0"
ROOF	72'-8"
MPH ROOF	96'-6"

FINISH FLOOR ELEVATIONS

L1	24'-0"
L2	42'-0"
L3	57'-0"
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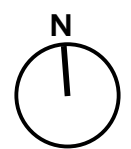
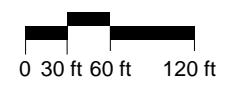
FINISH FLOOR ELEVATIONS

L1	24'-0"
L2	42'-0"
L3	57'-0"
ROOF	72'-8"
MPH ROOF	96'-6"

FINISH FLOOR ELEVATIONS

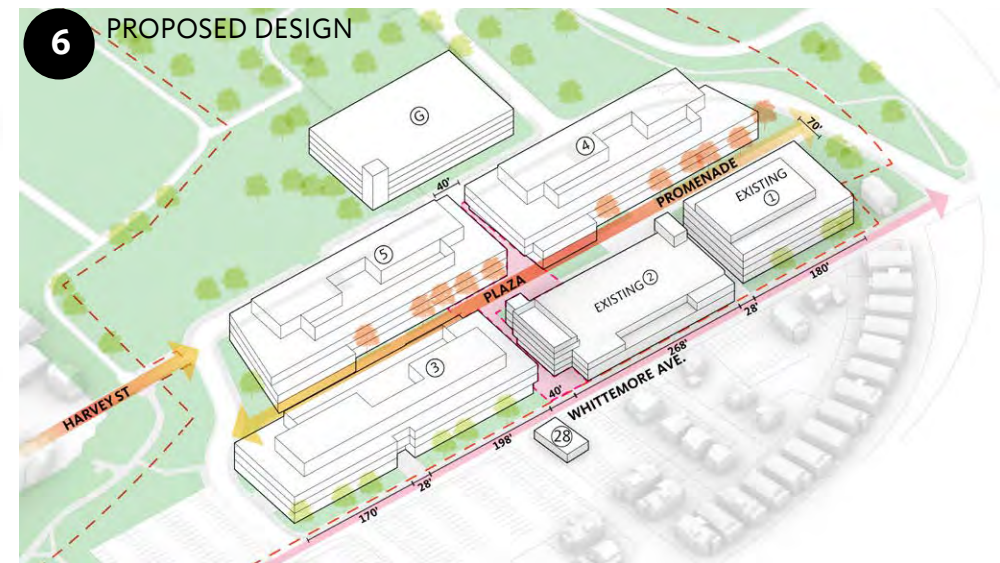
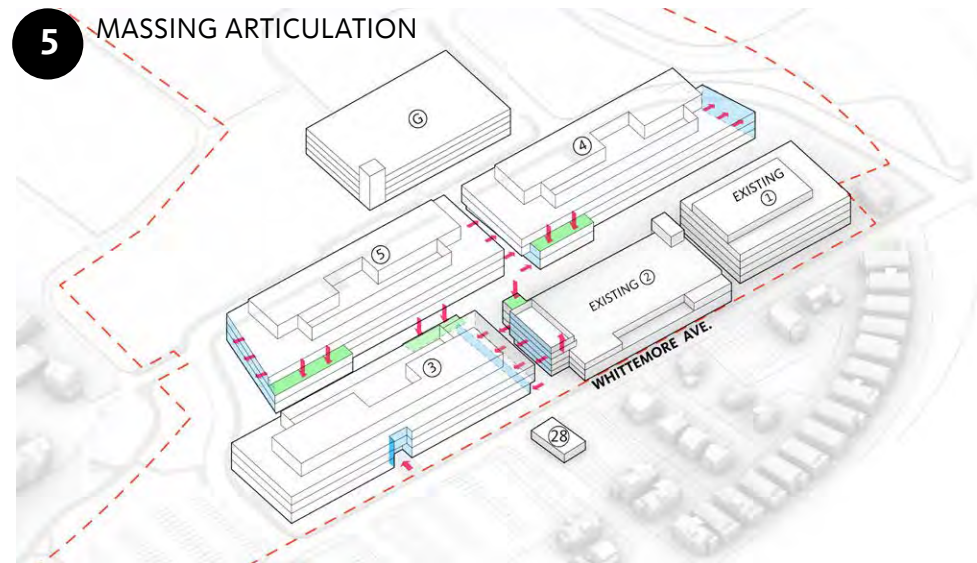
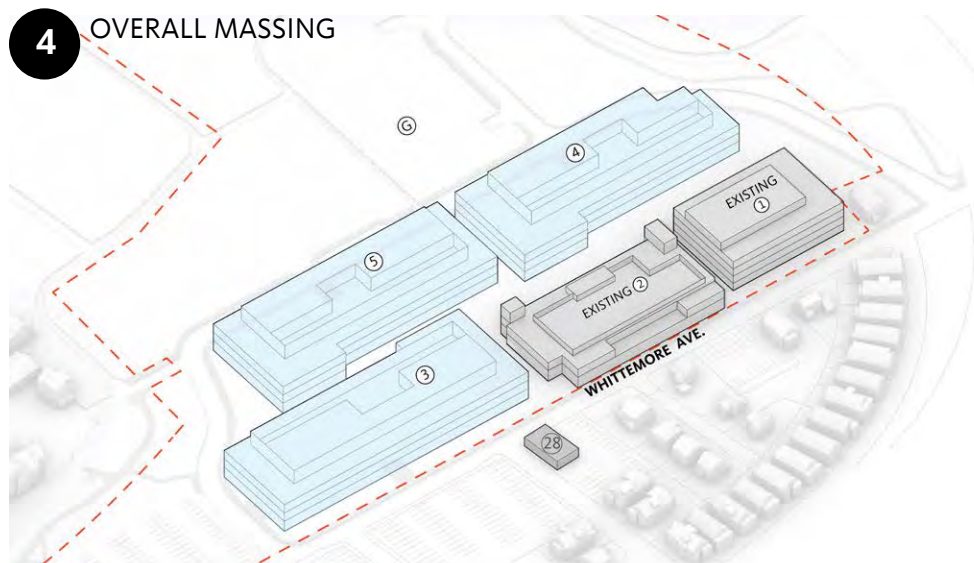
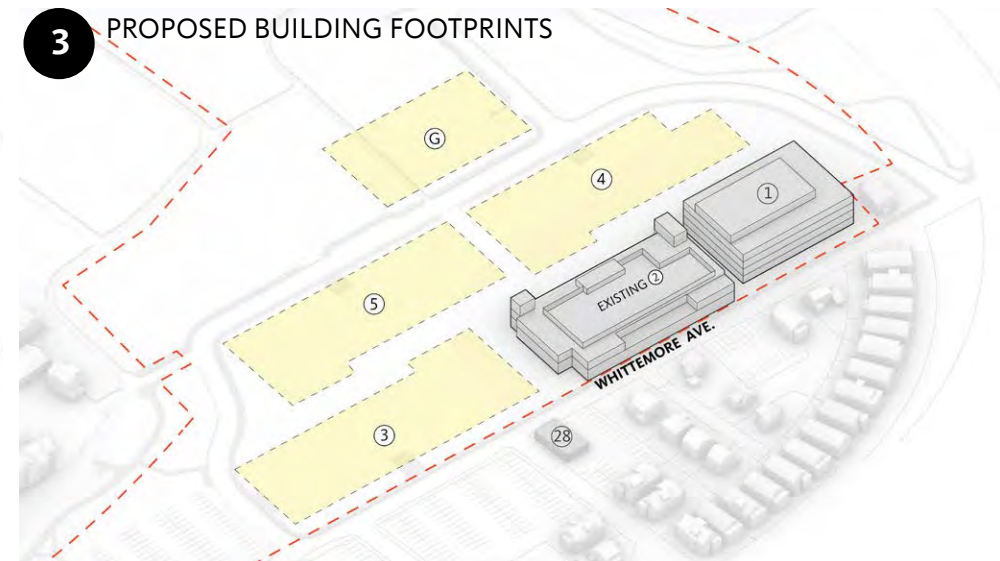
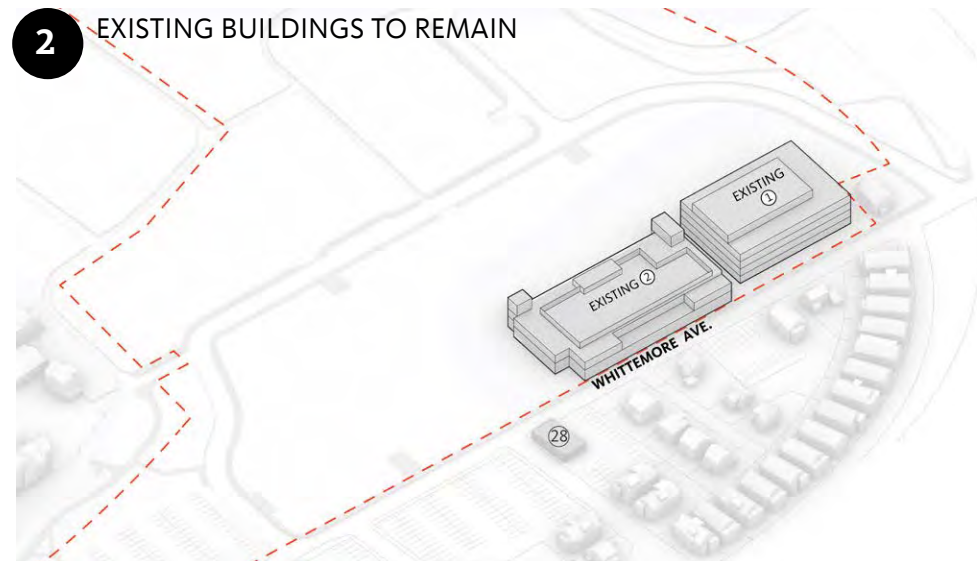
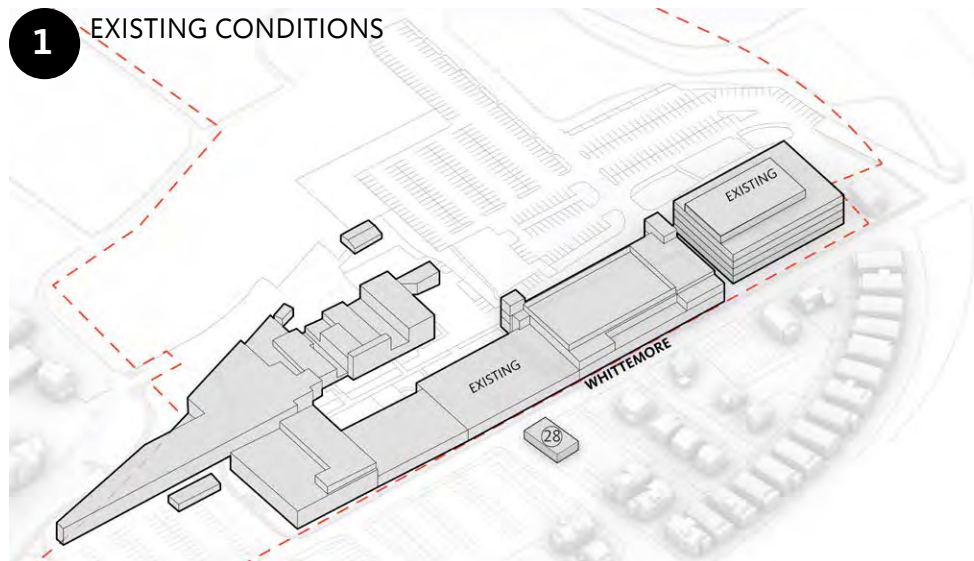
L1	24'-0"
L2	35'-4"
L3	46'-0"
L4	56'-8"

2070 FLOOD PLAIN
HEIGHT = 22.8'



36-64 WHITTEMORE AVE.

DIMENSIONAL PLAN



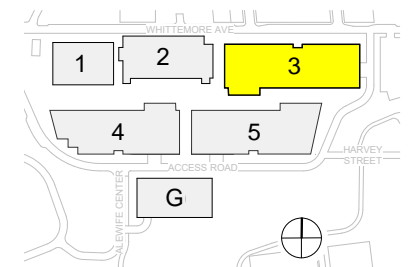
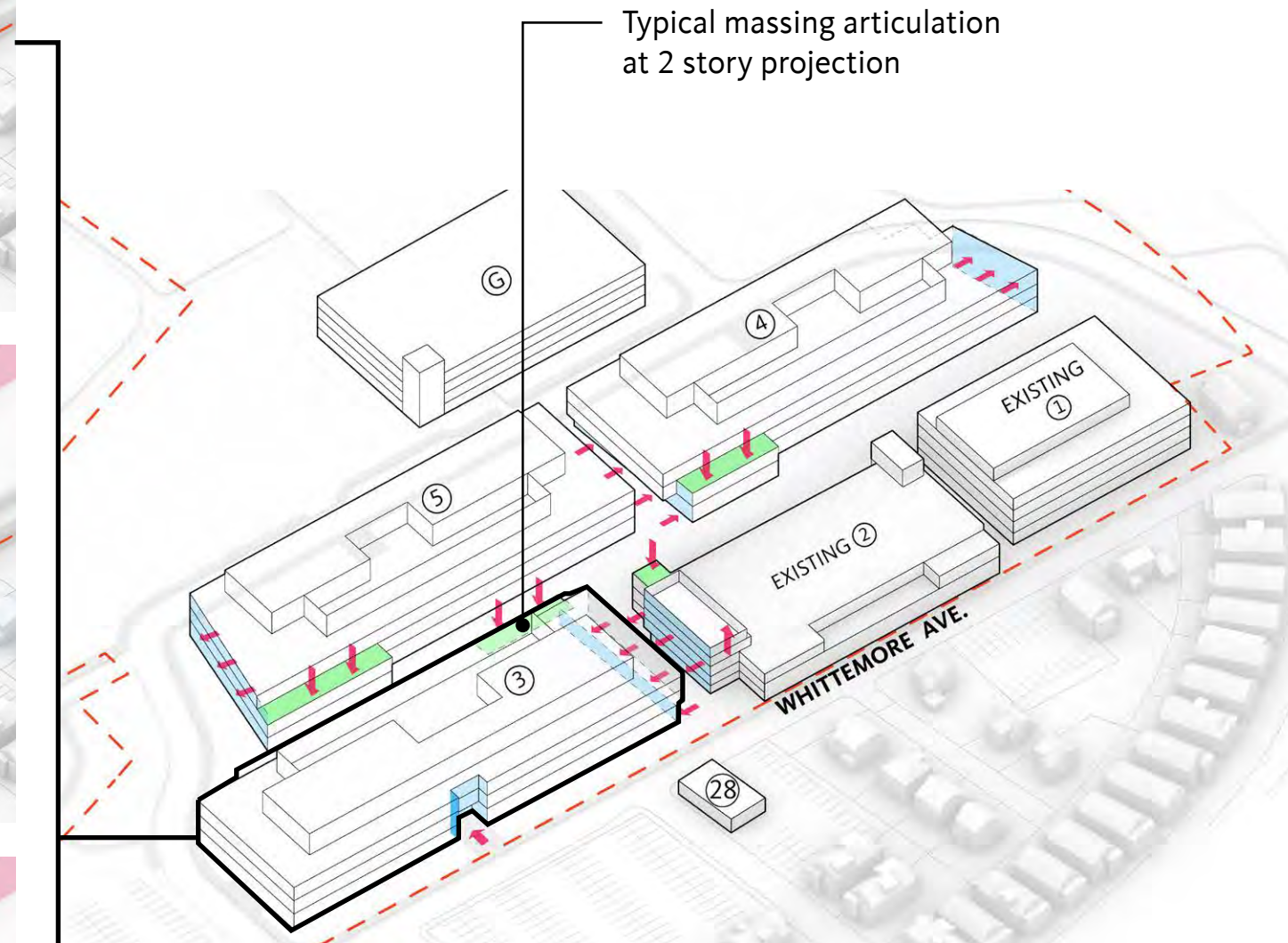
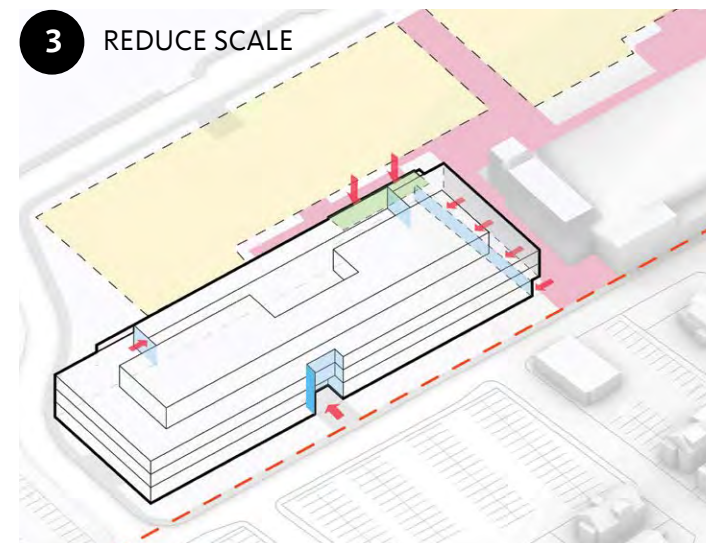
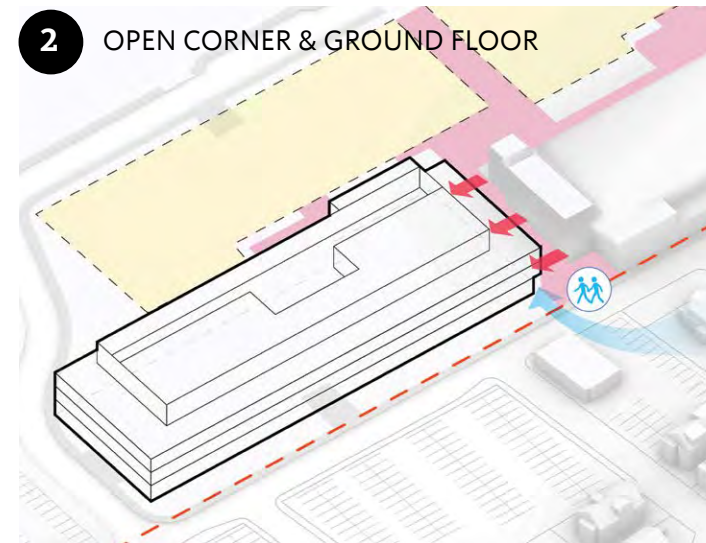
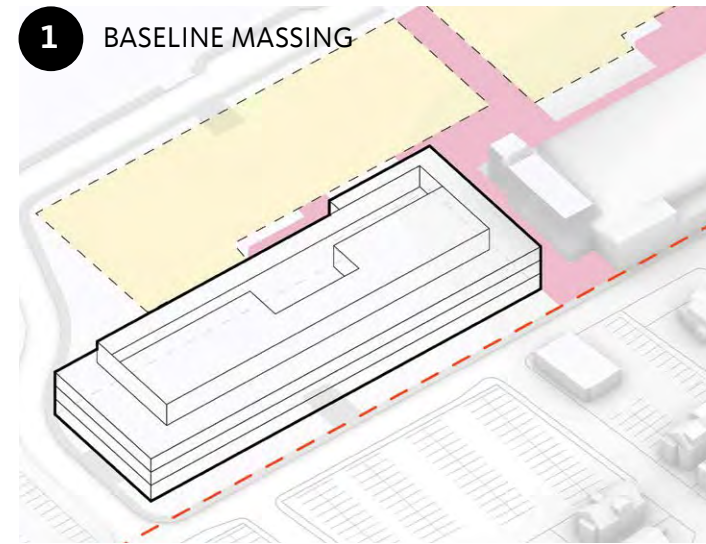
36-64 WHITTEMORE AVE.

DESIGN PROCESS DIAGRAM

The massing articulation includes setting back the ground floor to create a covered walkway and inviting scale to the neighborhood, plaza and promenade. The building scale and height are reduced at the promenade side to create a variety of building heights.



BUILDING 3

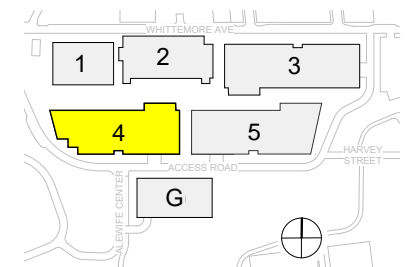
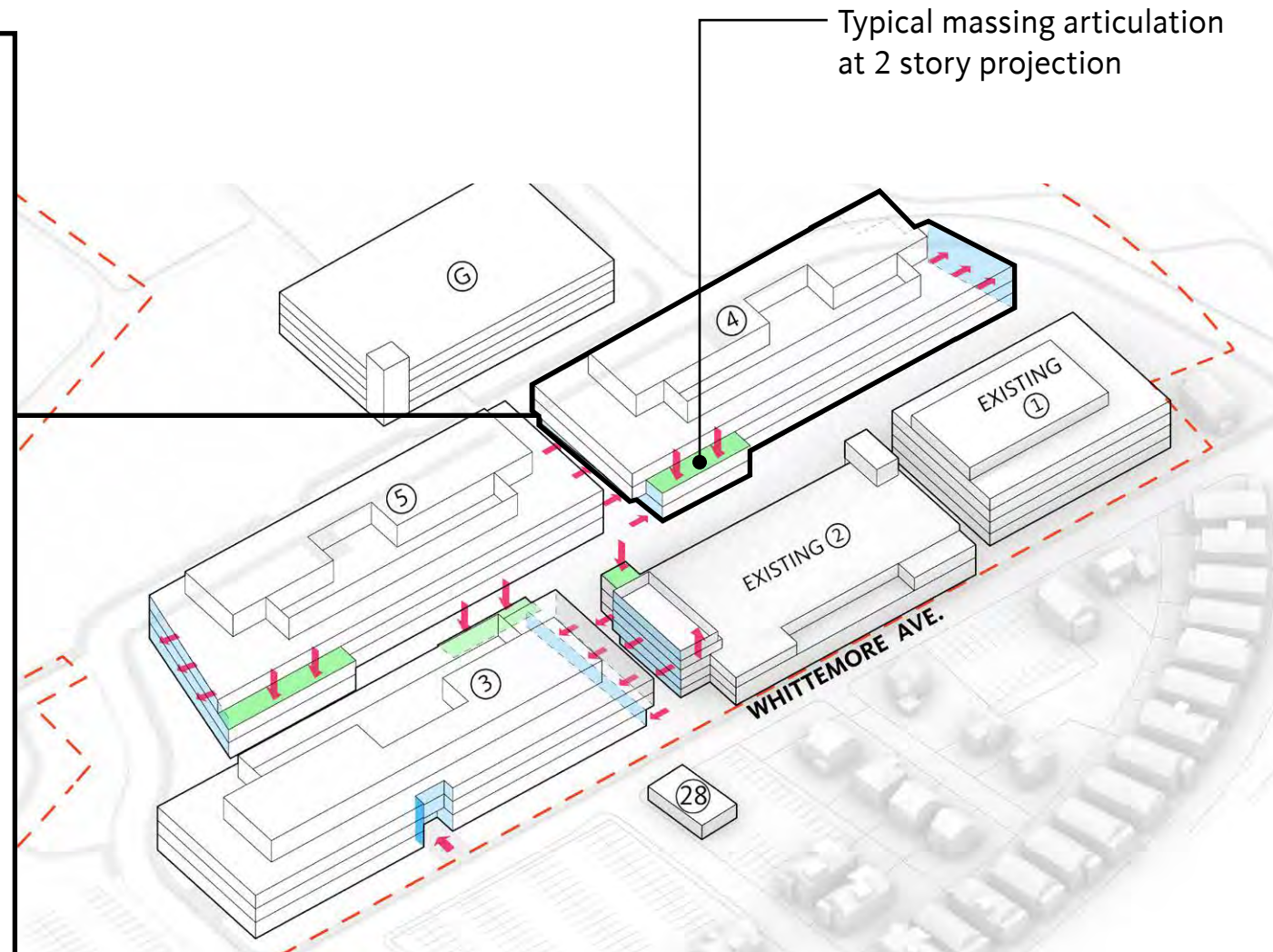
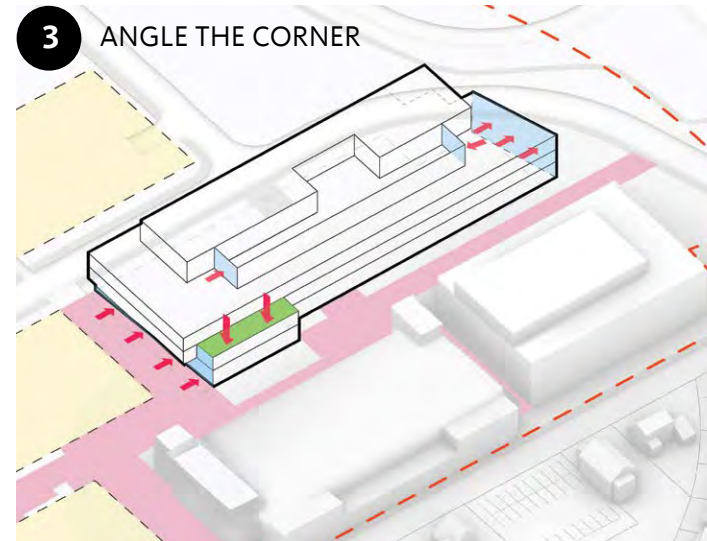
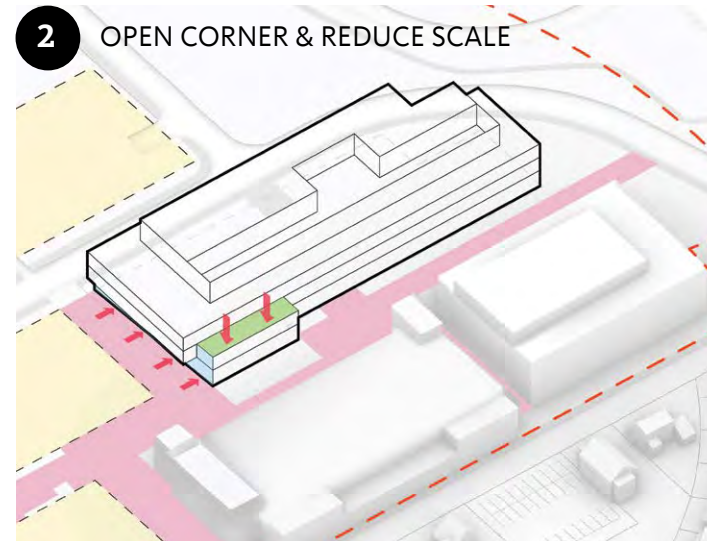
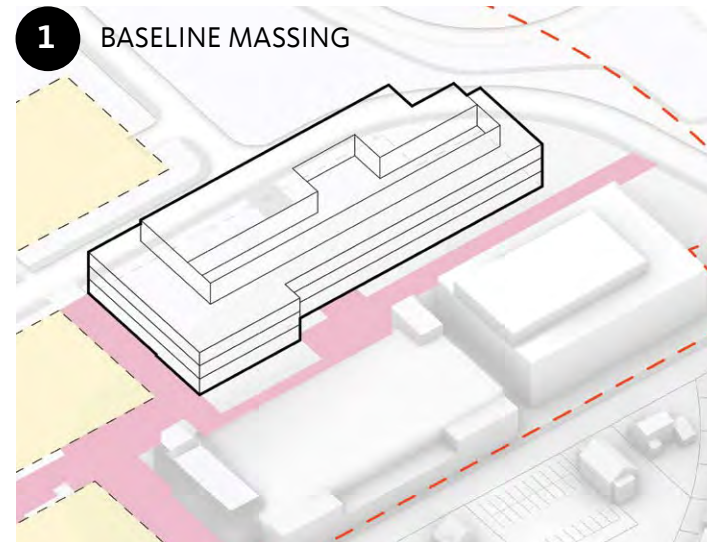


36-64 WHITEMORE AVE. CONCEPT AND DIAGRAMS: BUILDING 3

The massing articulation includes opening the ground floor and building corner to create an inviting connection to the neighborhood, plaza and promenade. The building scale and height are reduced at the promenade side to create a variety of scale.



BUILDING 4



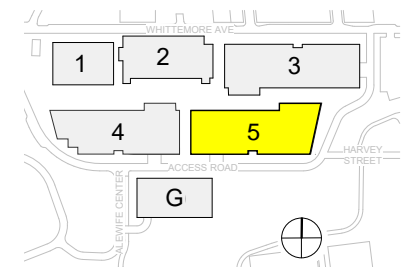
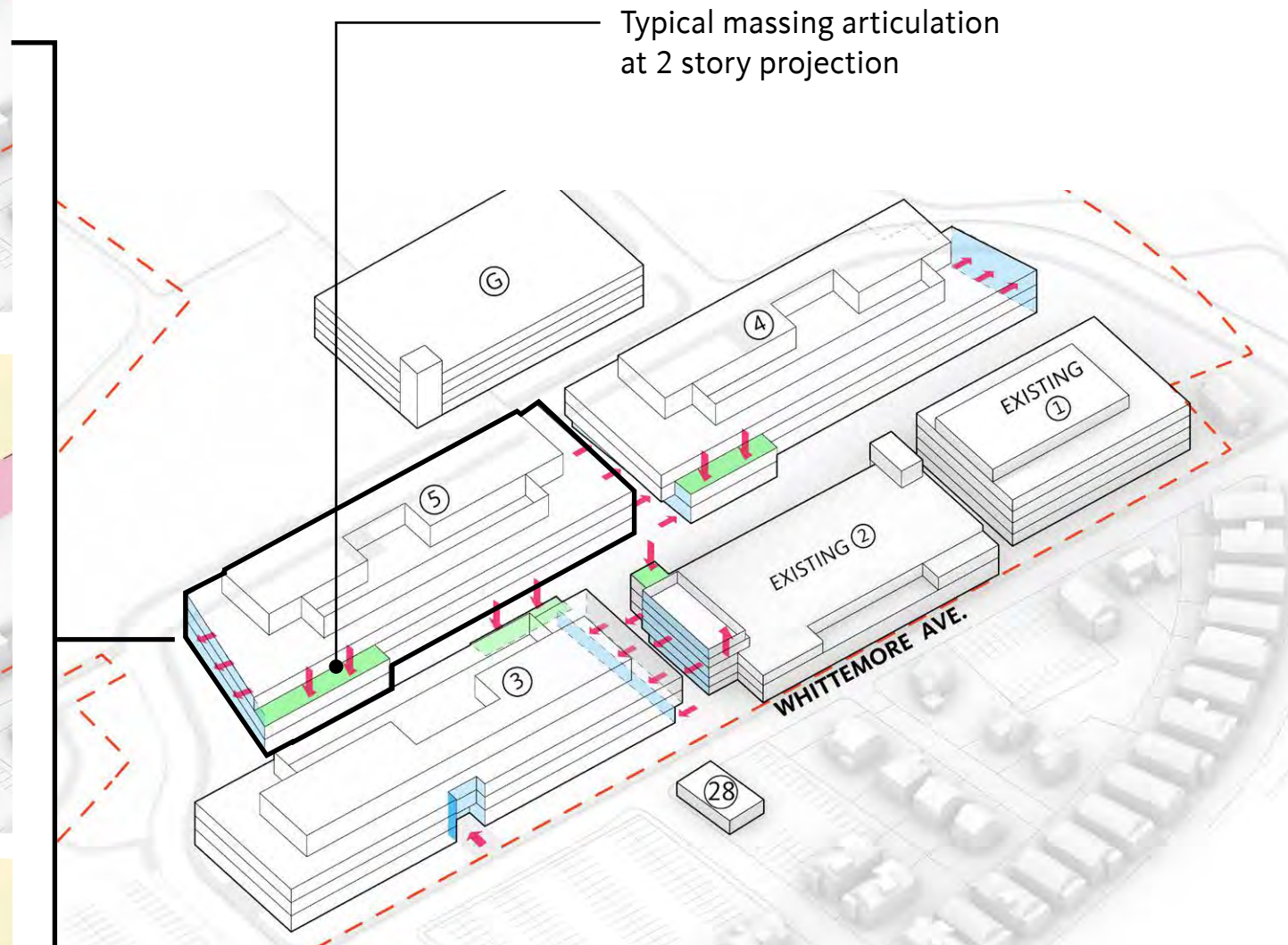
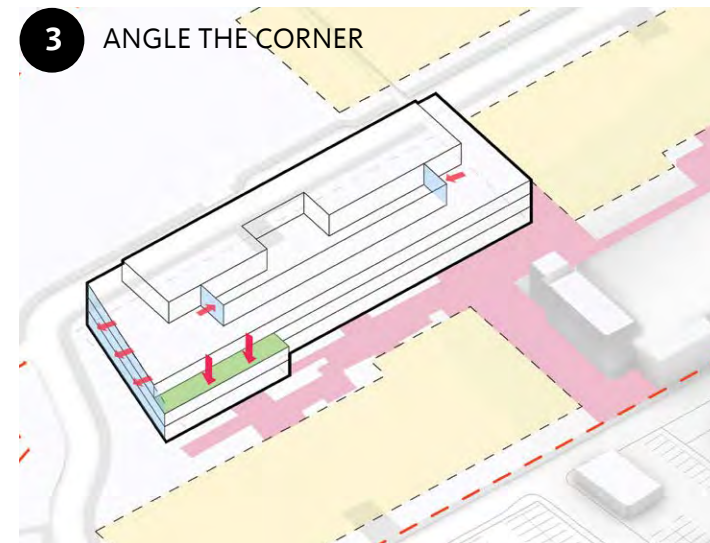
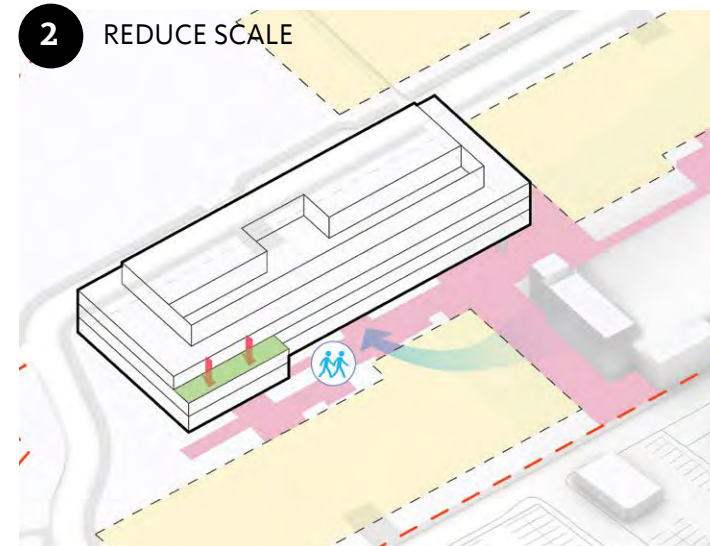
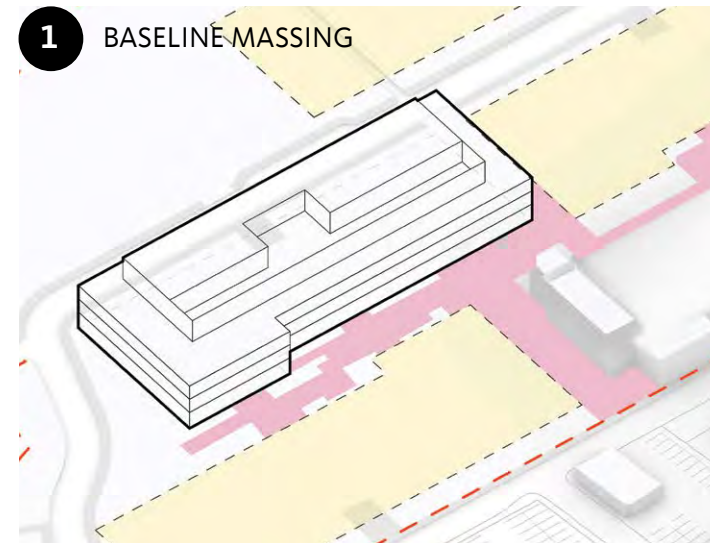
36-64 WHITEMORE AVE.

CONCEPT AND DIAGRAMS: BUILDING 4

The massing articulation includes angling the east building facade to respond to the adjacent service road. The building scale and height are reduced at the promenade side to create a variety of scales.

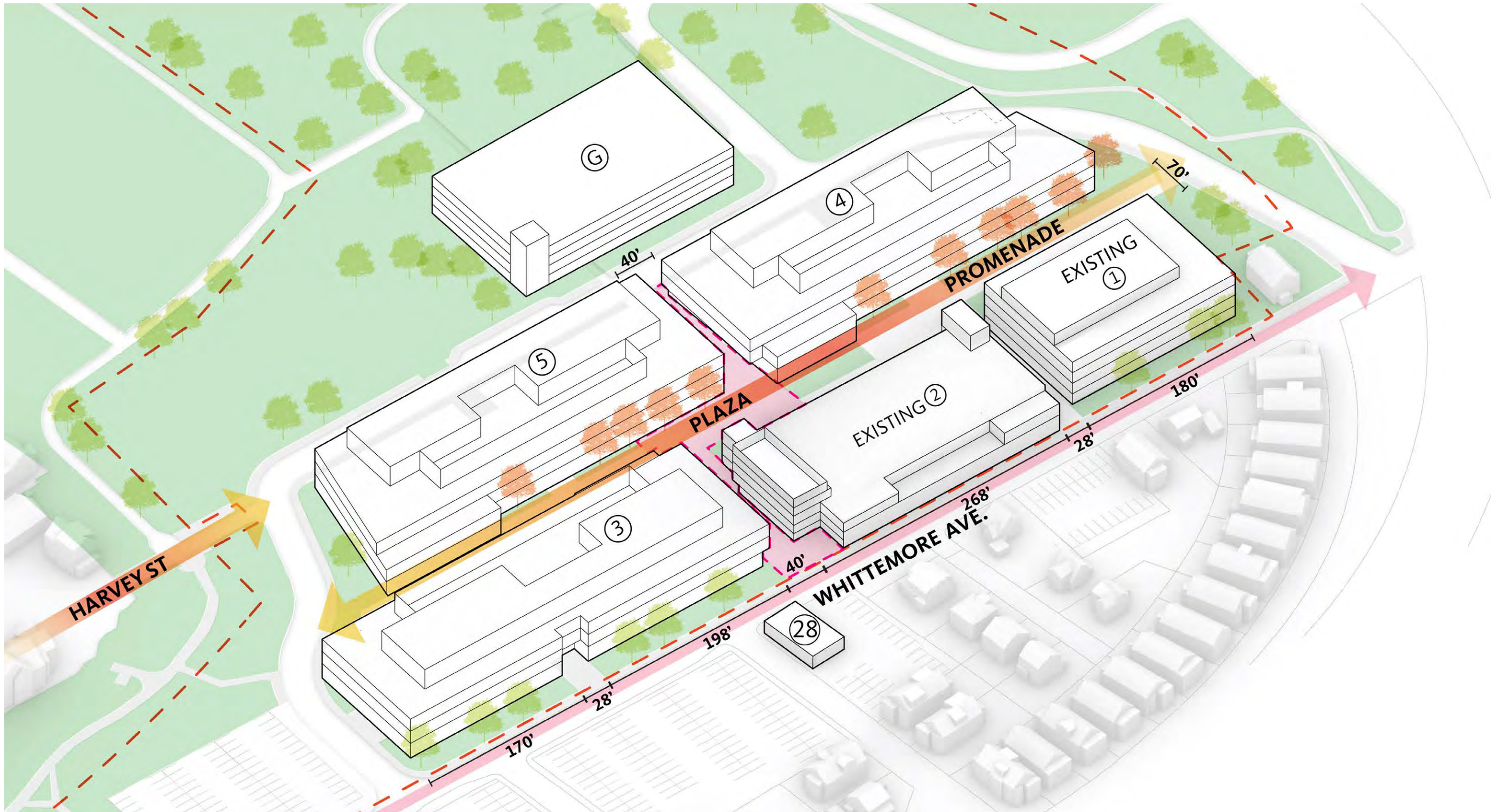


BUILDING 5



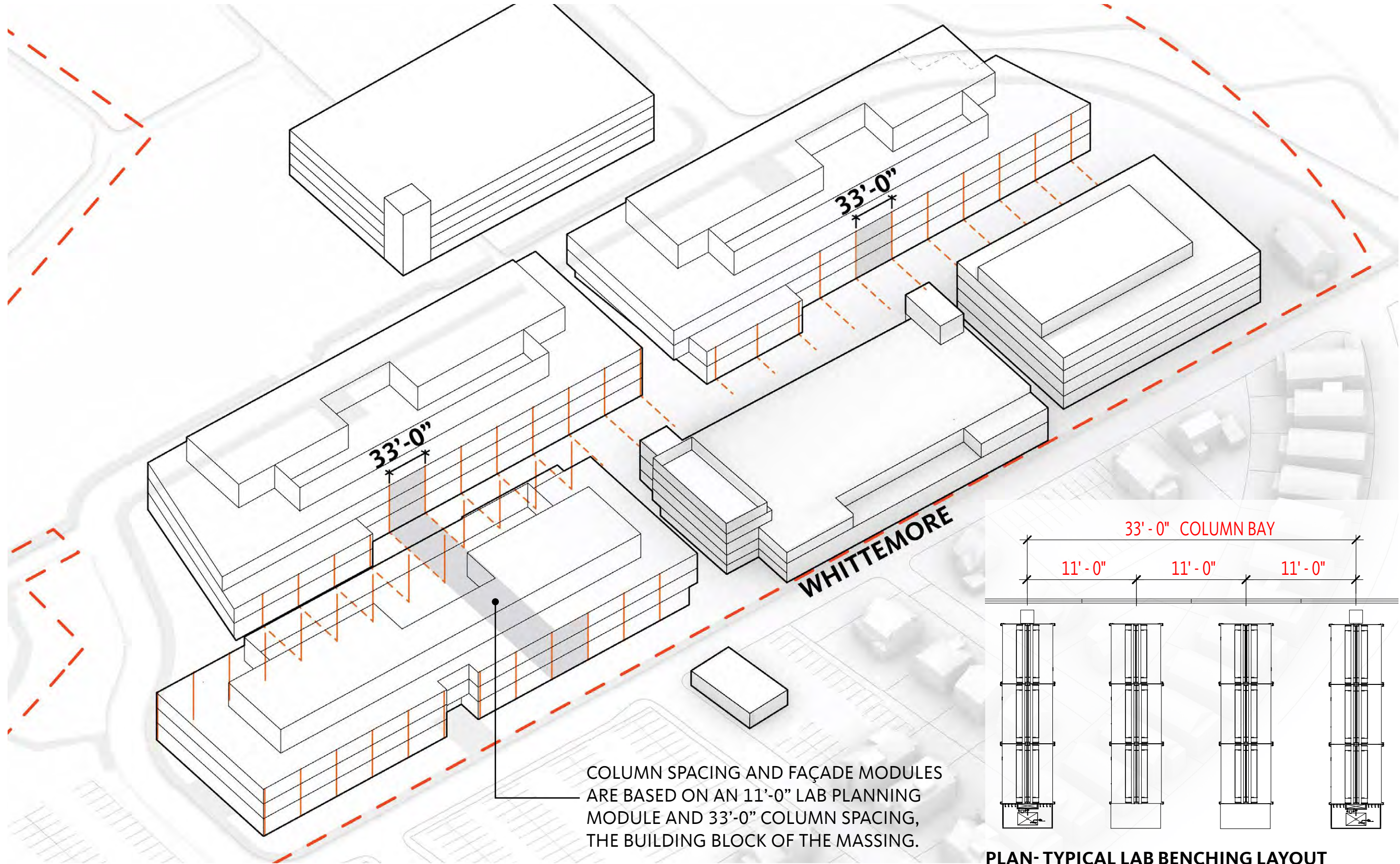
36-64 WHITEMORE AVE.

CONCEPT AND DIAGRAMS: BUILDING 5



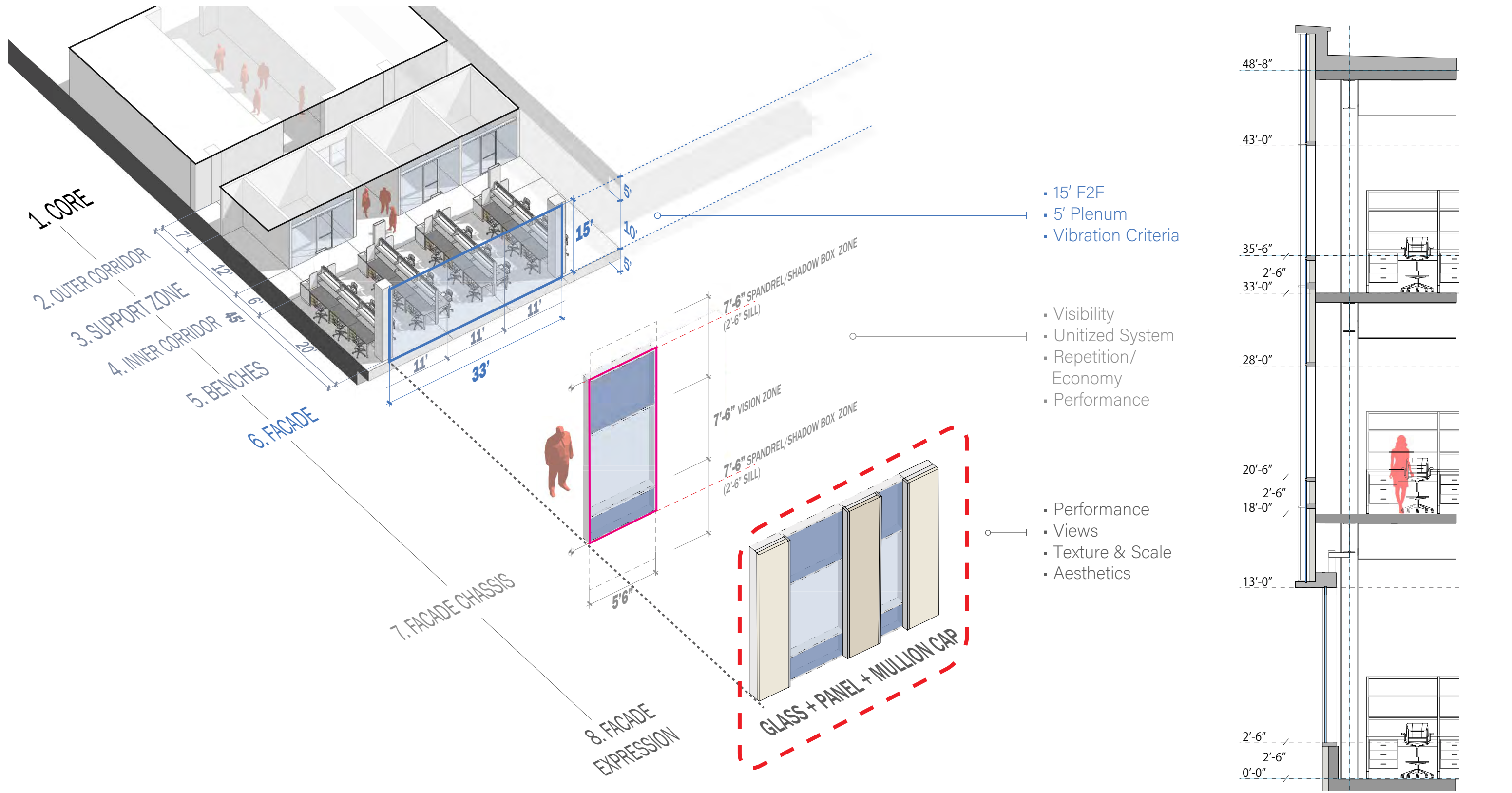
36-64 WHITTEMORE AVE.

FINAL MASSING DIAGRAM



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FACADE LOGIC: STRUCTURAL/FACADE MODULE

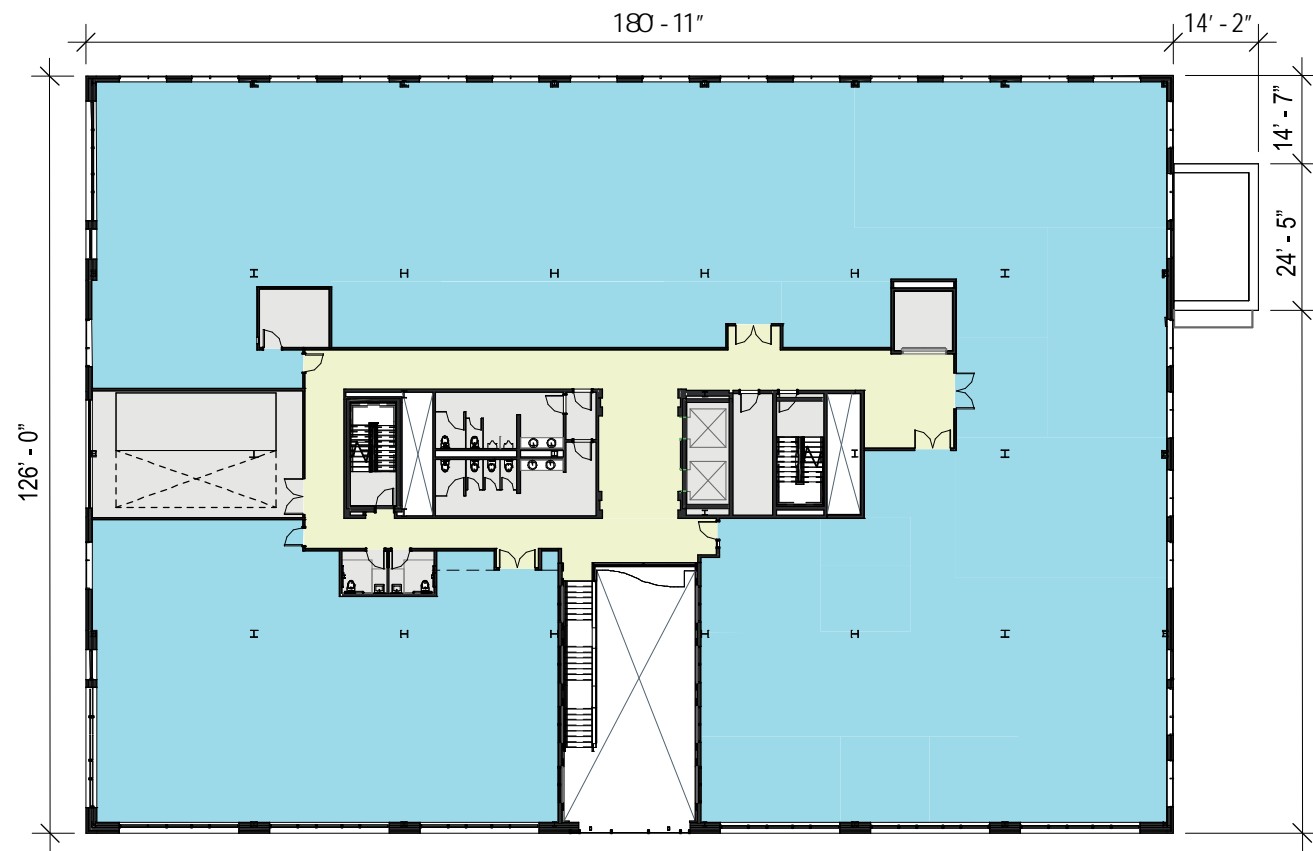


FACADE LOGIC

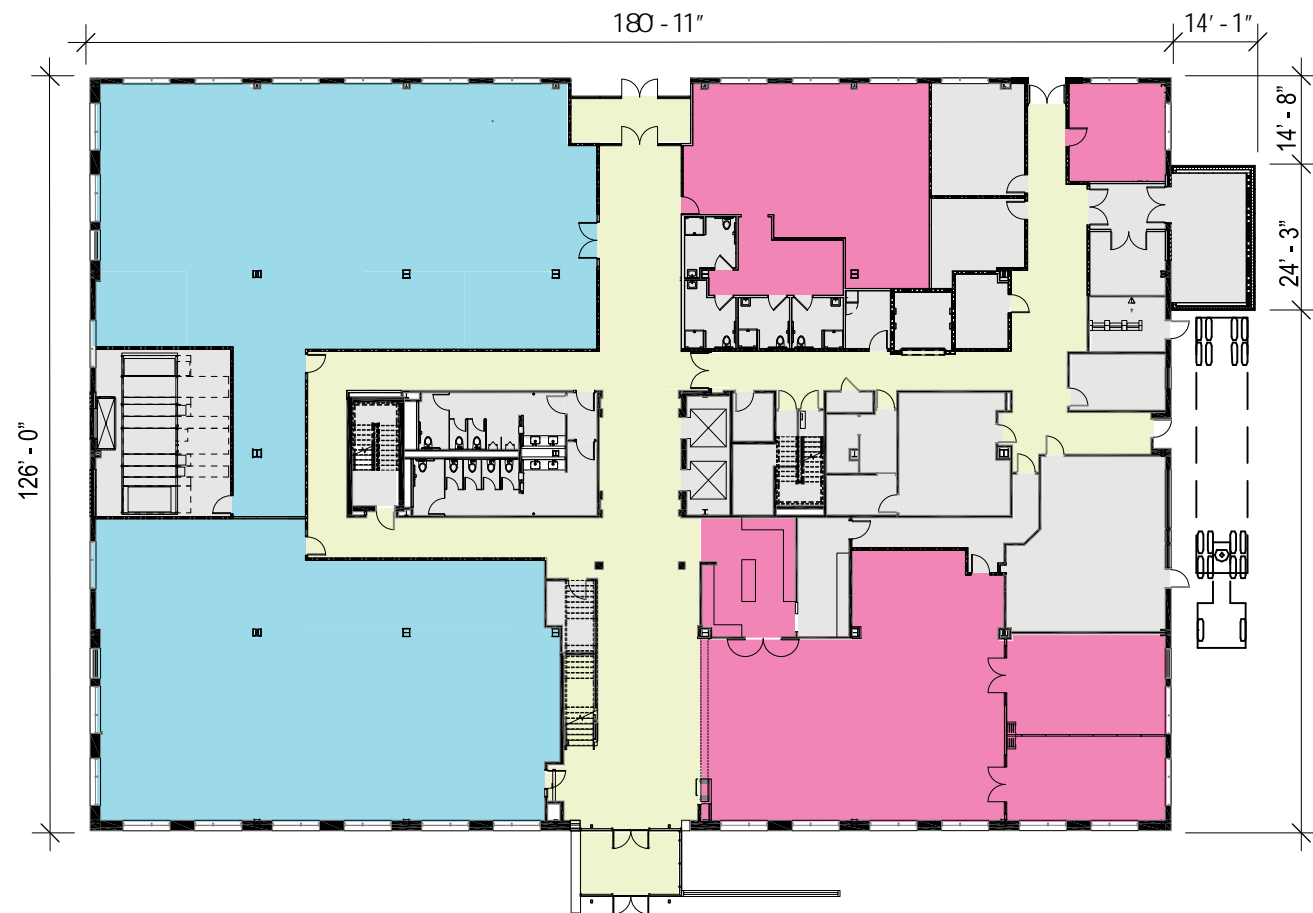
PROMENADE FACADE SECTION

36-64 WHITTEMORE AVE.

FACADE LOGIC: LAB PLANNING MODULE

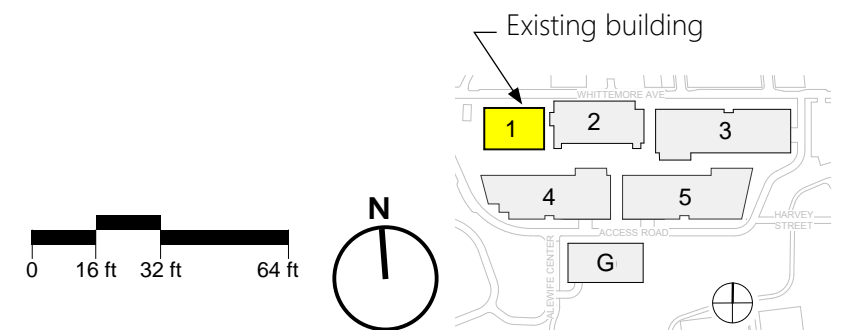


Building 1 - Level 2
+ 33' - 0"



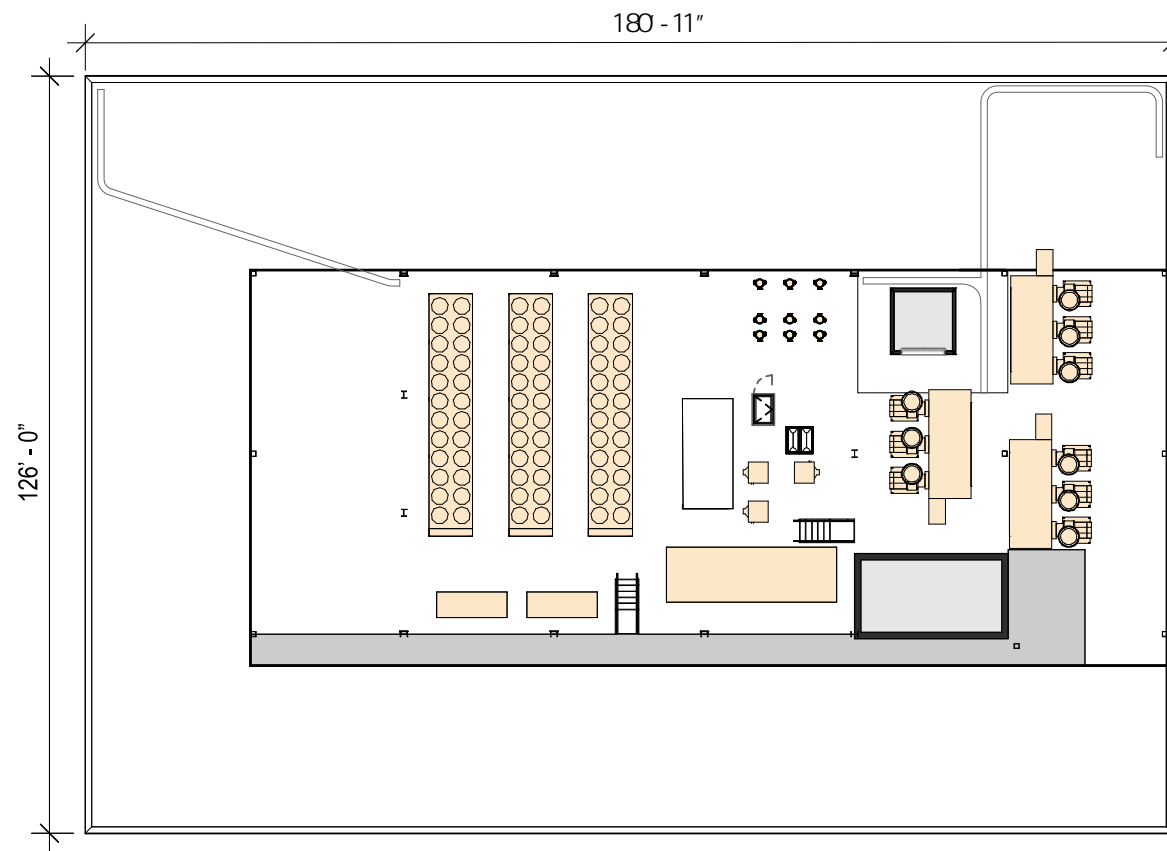
Building 1 - Level 1
+ 20' - 0"

- PROGRAM LEGEND:**
- BUILDING AMENITIES
 - MAIN LOBBY
 - RETAIL
 - LAB / OFFICE TENANT
 - MULTI TENANT CORRIDOR
 - BACK OF HOUSE
 - BIOSOLAR ROOF
 - GREEN ROOF
 - ROOF ACCESS PATHS
 - MECHANICAL EQUIPMENT
 - EQUIPMENT CLEAR AREA

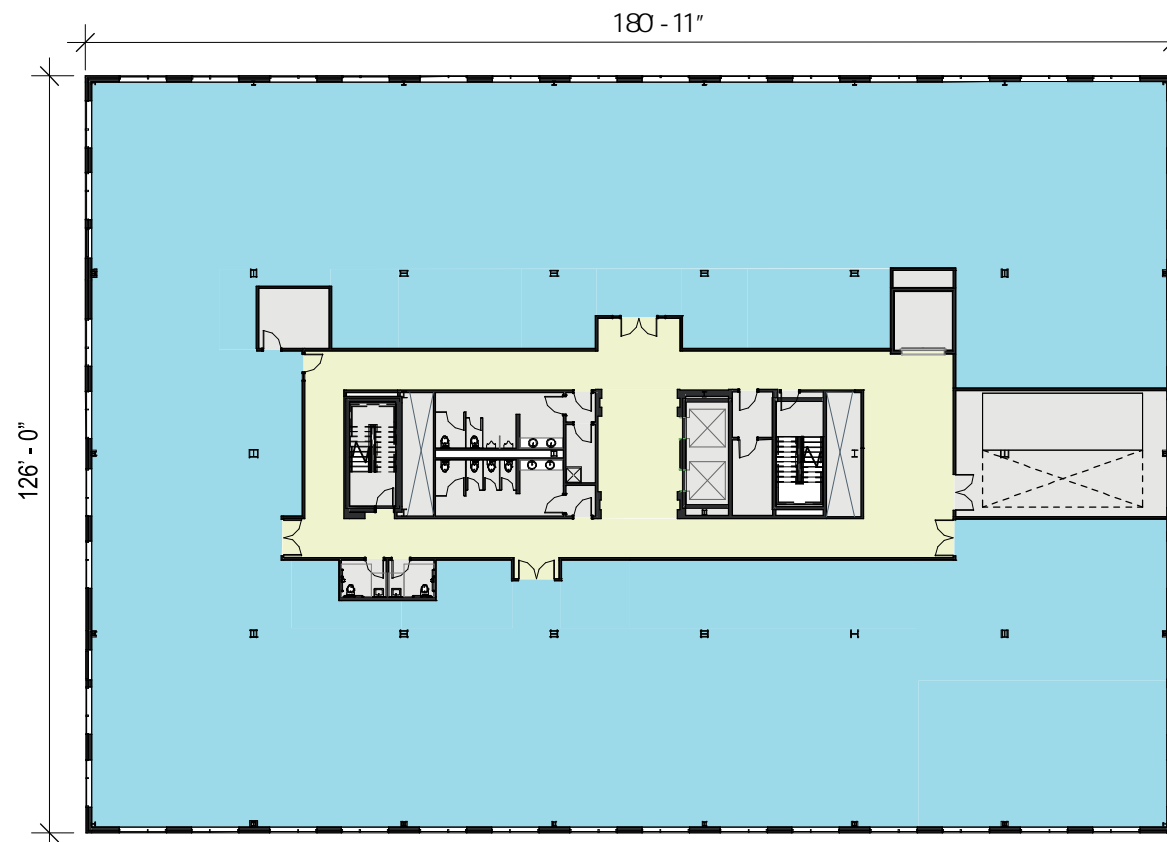


36-64 WHITTEMORE AVE.

FLOOR PLANS: BUILDING 1 LEVELS 1-2

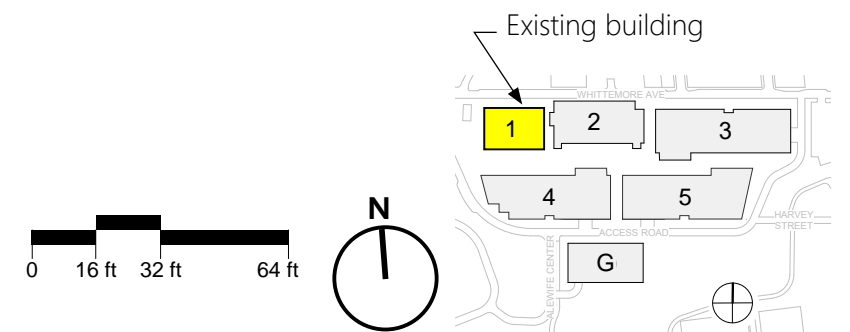


Building 1 - Roof
+72' - 0"



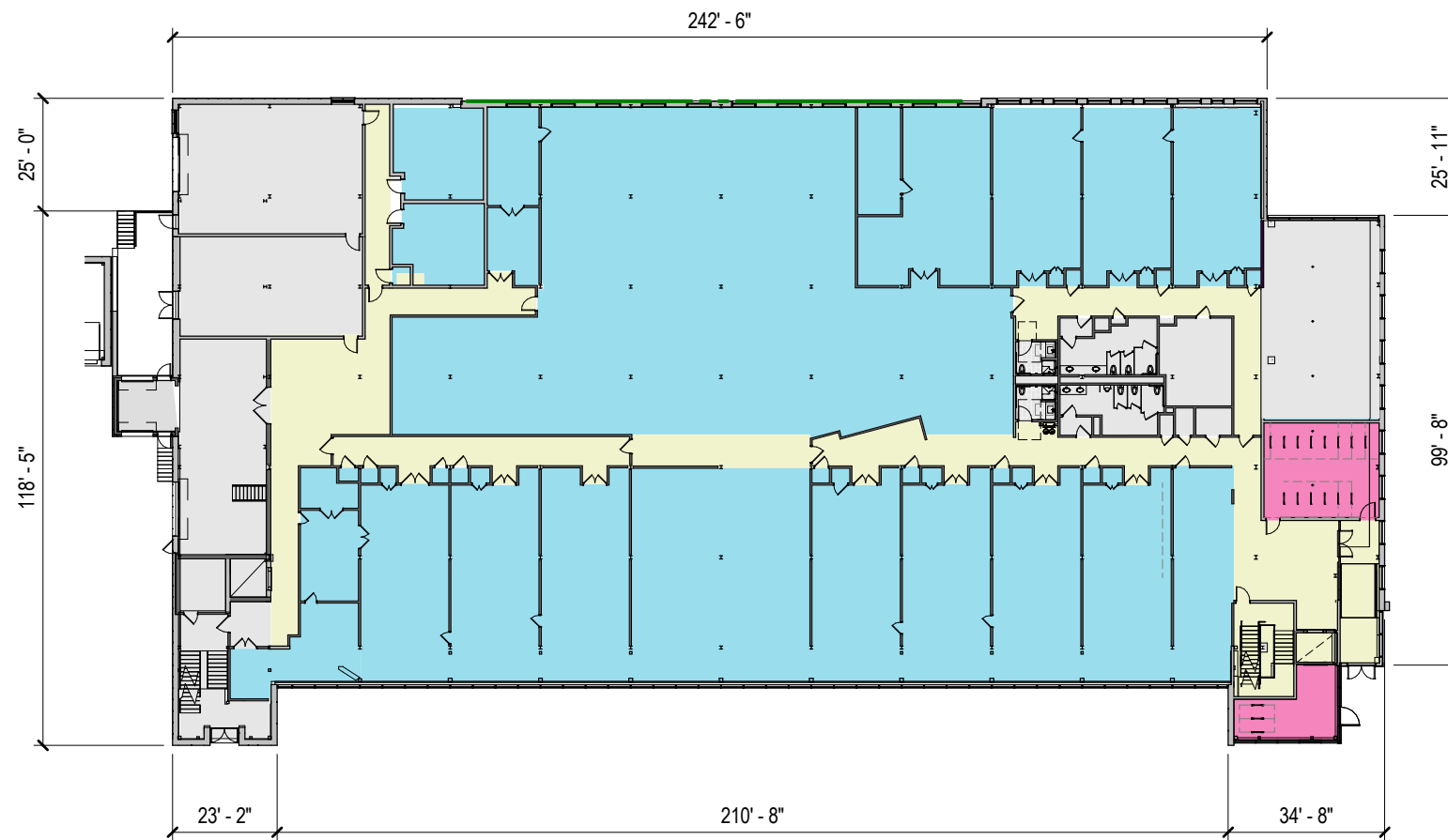
Building 1 - Level 3/4
+ 46' - 0"; 59' - 0"

- PROGRAM LEGEND:**
- BUILDING AMENITIES
 - MAIN LOBBY
 - RETAIL
 - LAB / OFFICE TENANT
 - MULTI TENANT CORRIDOR
 - BACK OF HOUSE
 - BIOSOLAR ROOF
 - GREEN ROOF
 - ROOF ACCESS PATHS
 - MECHANICAL EQUIPMENT
 - EQUIPMENT CLEAR AREA

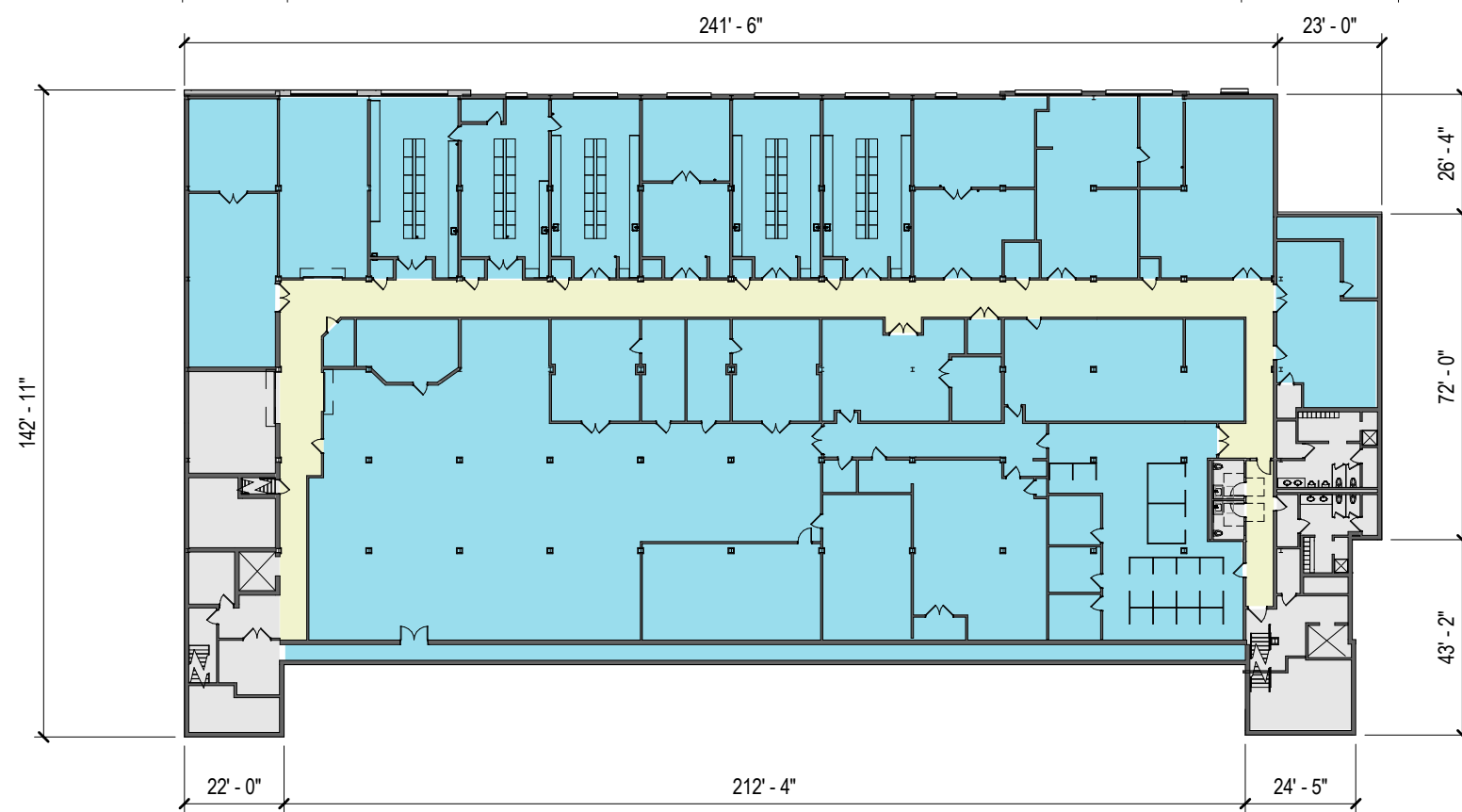


36-64 WHITTEMORE AVE.

FLOOR PLANS: BUILDING 1 LEVEL 3 & ROOF

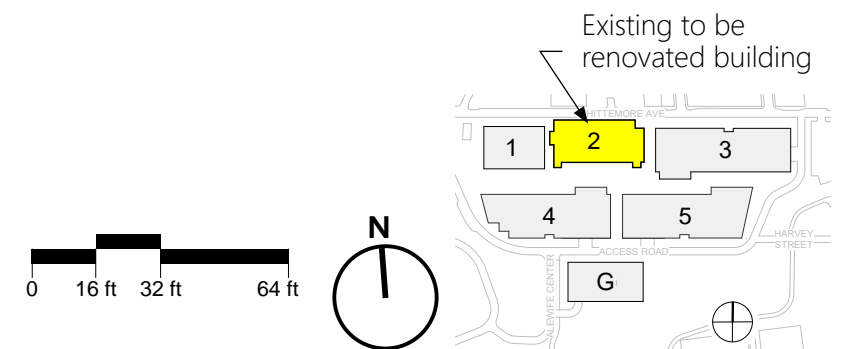


Building 2 - Level 1
+ 25' - 0"



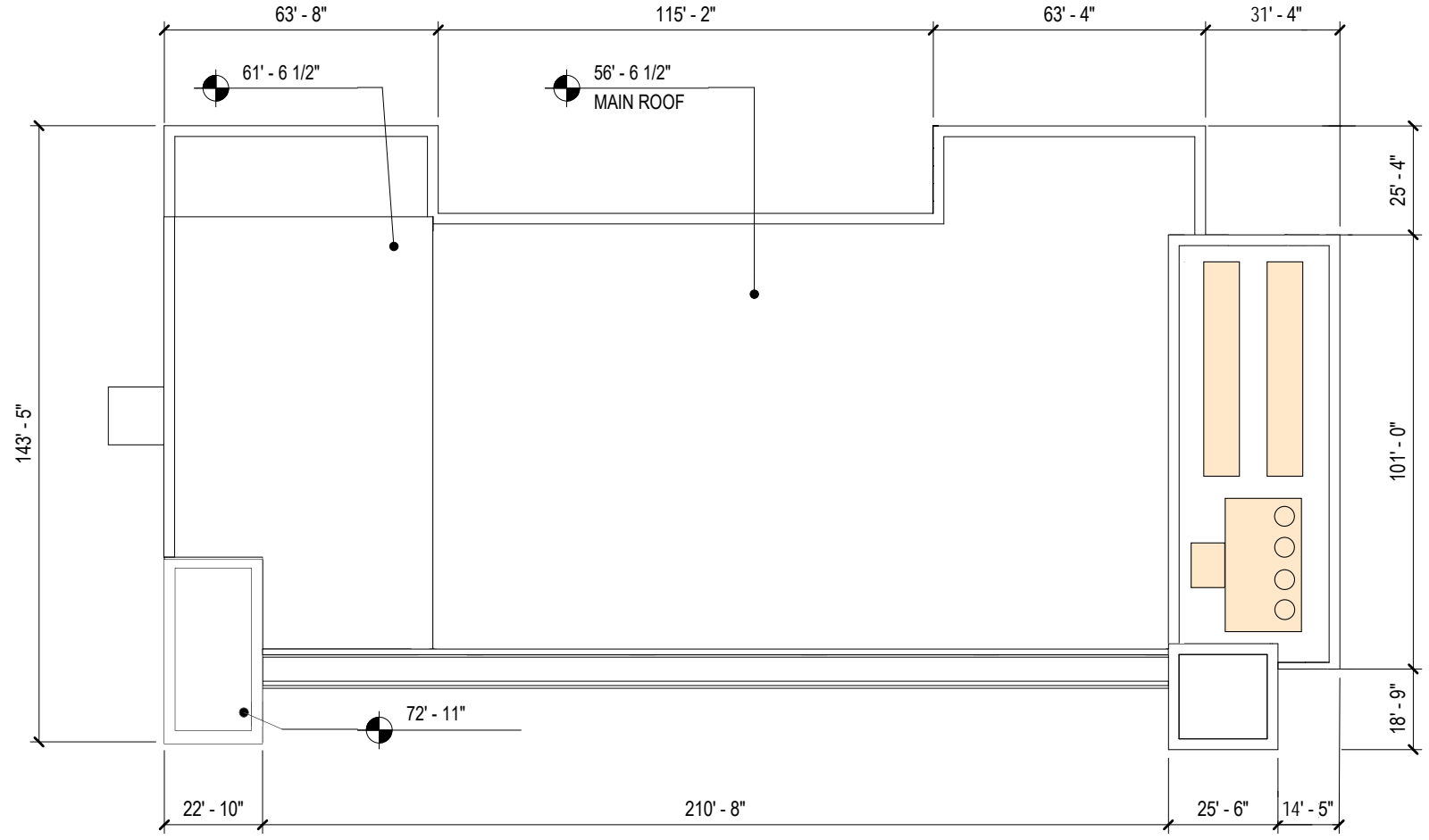
Building 2 - Basement
+ 14' - 10"

- PROGRAM LEGEND:**
- BUILDING AMENITIES
 - MAIN LOBBY
 - RETAIL
 - LAB / OFFICE TENANT
 - MULTI TENANT CORRIDOR
 - BACK OF HOUSE
 - BIOSOLAR ROOF
 - GREEN ROOF
 - ROOF ACCESS PATHS
 - MECHANICAL EQUIPMENT
 - EQUIPMENT CLEAR AREA

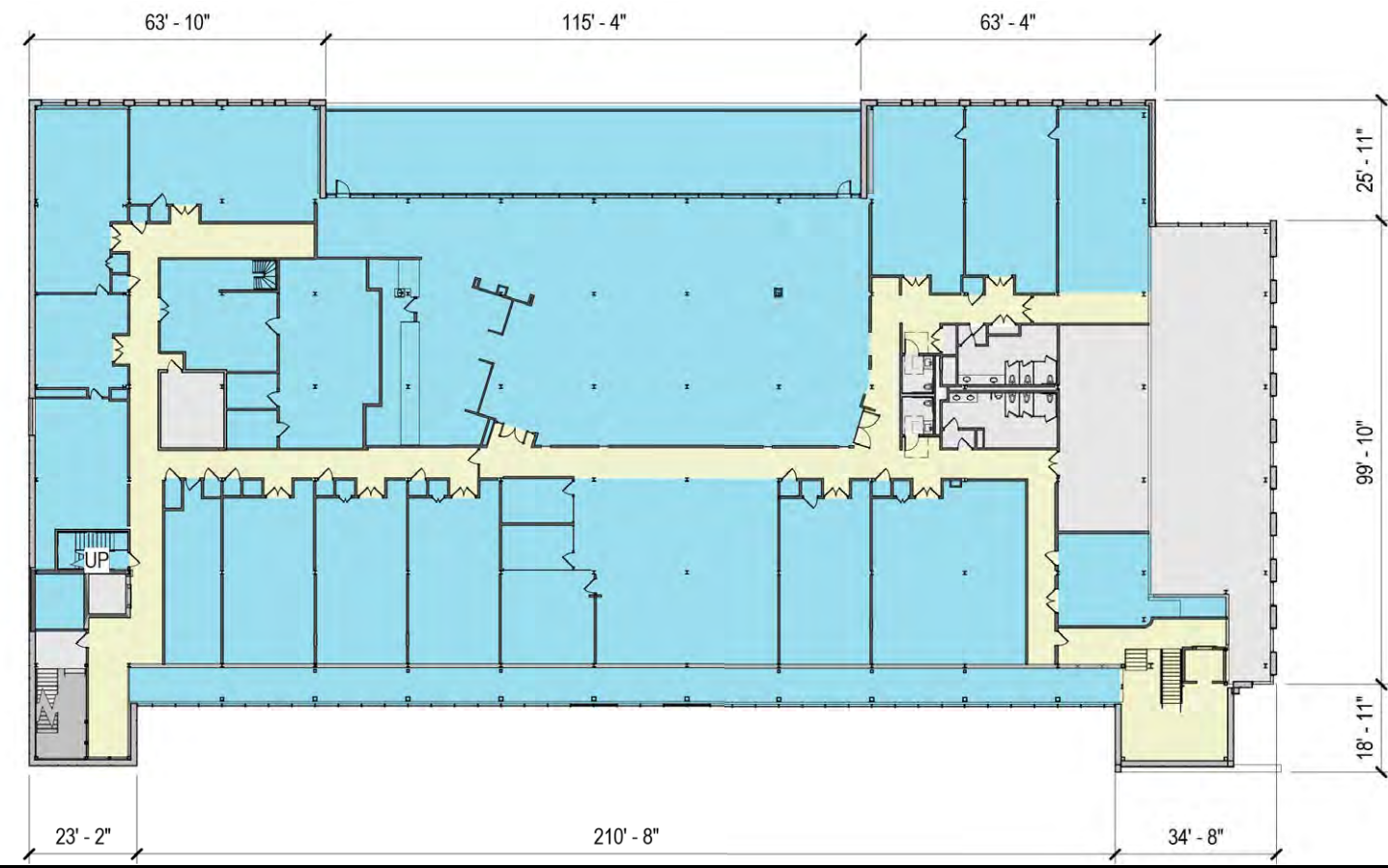


36-64 WHITTEMORE AVE.

FLOOR PLANS: BUILDING 2 FLOORS B-1

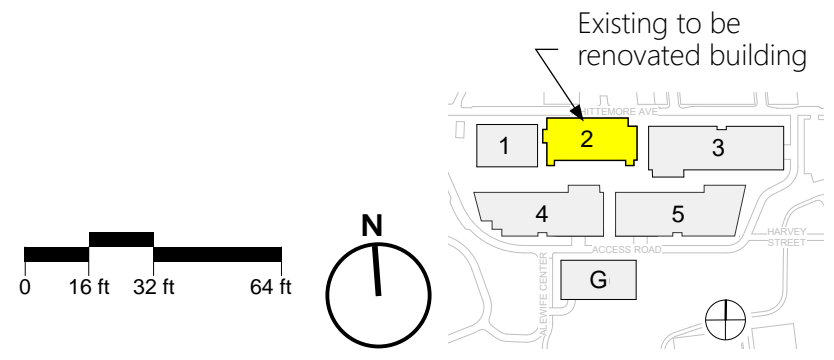


Building 2 - Roof Level
+ 56' - 0 1/2"



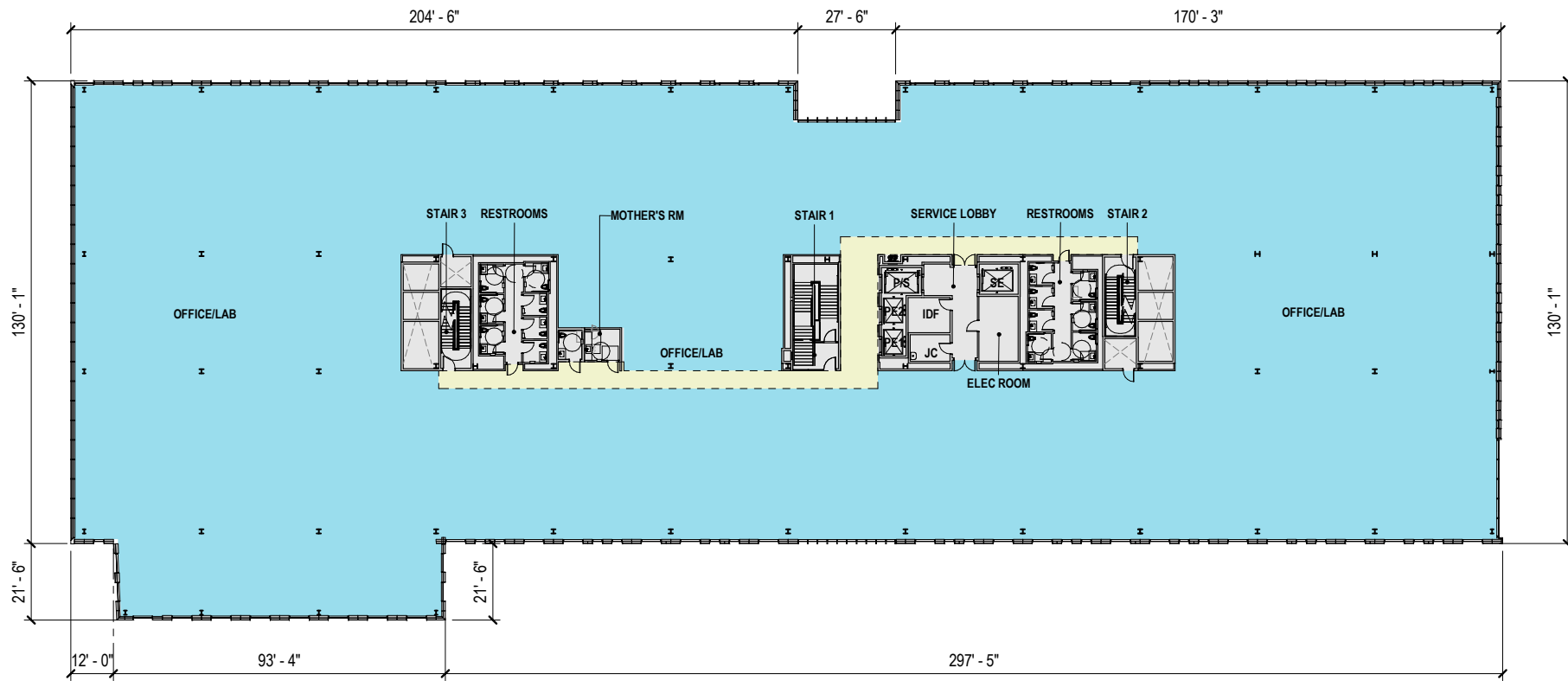
Building 2 - Level 2
+ 42' - 0 1/2"

- PROGRAM LEGEND:**
- BUILDING AMENITIES
 - MAIN LOBBY
 - RETAIL
 - LAB / OFFICE TENANT
 - MULTI TENANT CORRIDOR
 - BACK OF HOUSE
 - BIOSOLAR ROOF
 - GREEN ROOF
 - ROOF ACCESS PATHS
 - MECHANICAL EQUIPMENT
 - EQUIPMENT CLEAR AREA



36-64 WHITTEMORE AVE.

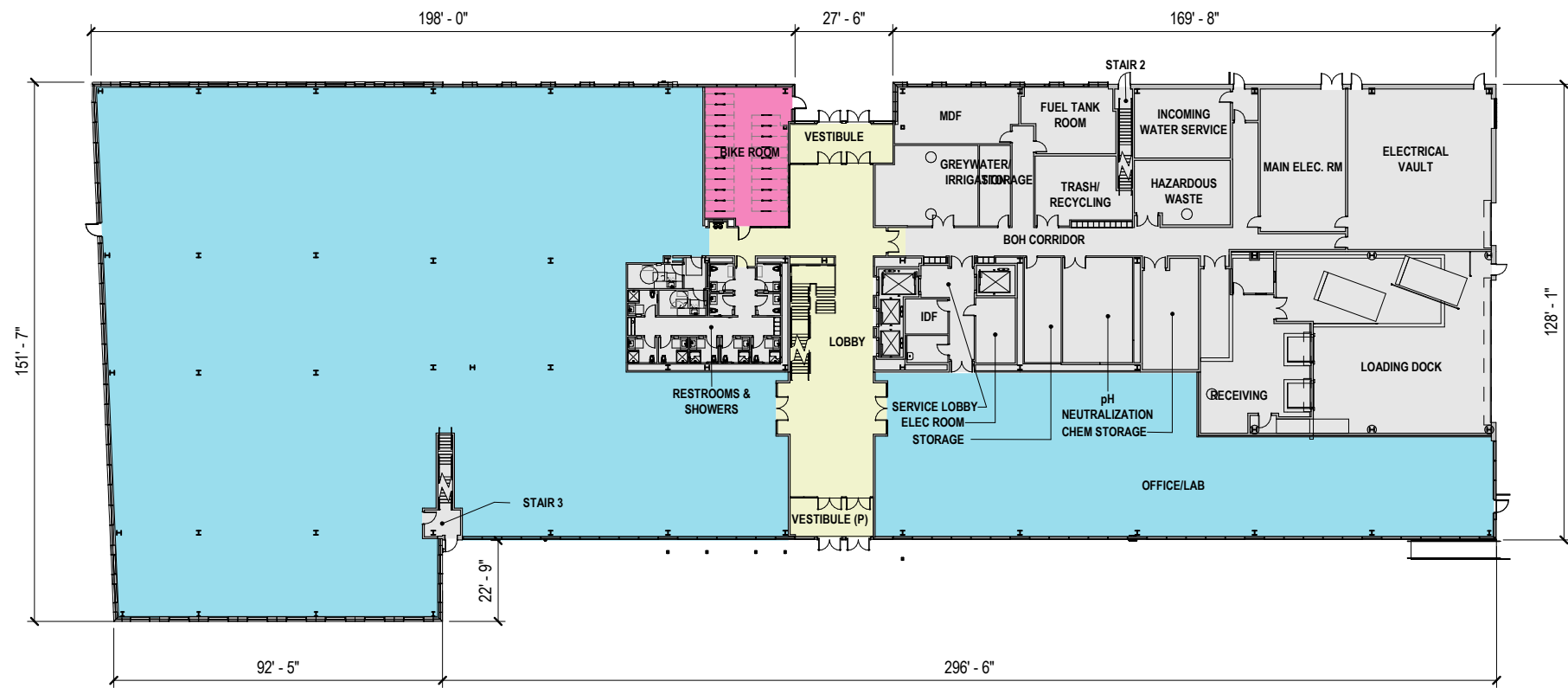
FLOOR PLANS: BUILDING 2 - LEVEL 2-ROOF



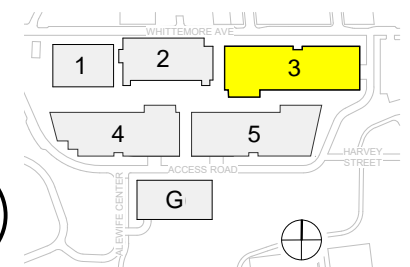
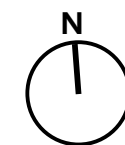
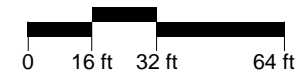
**Building 3 - Level 2
+ 42' - 0"**

PROGRAM LEGEND:

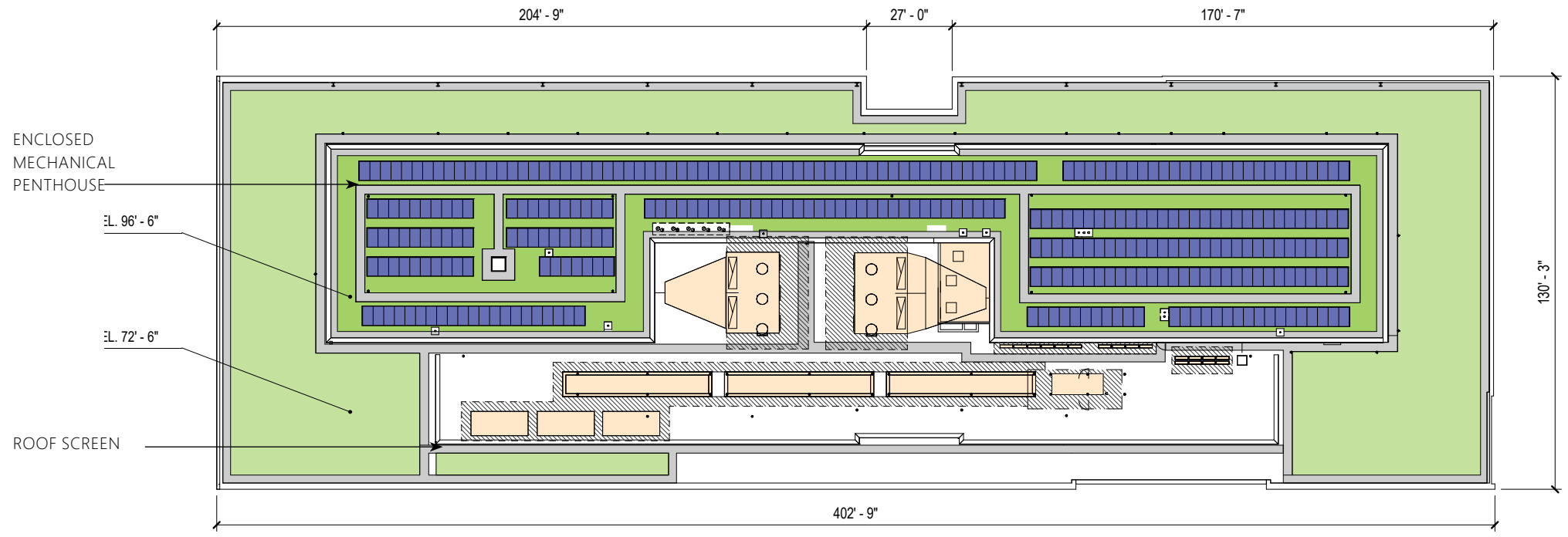
- BUILDING AMENITIES
- MAIN LOBBY
- RETAIL
- LAB / OFFICE TENANT
- MULTI TENANT CORRIDOR
- BACK OF HOUSE
- BIOSOLAR ROOF
- GREEN ROOF
- ROOF ACCESS PATHS
- MECHANICAL EQUIPMENT
- EQUIPMENT CLEAR AREA



**Building 3 - Level 1
+ 24' - 0"**



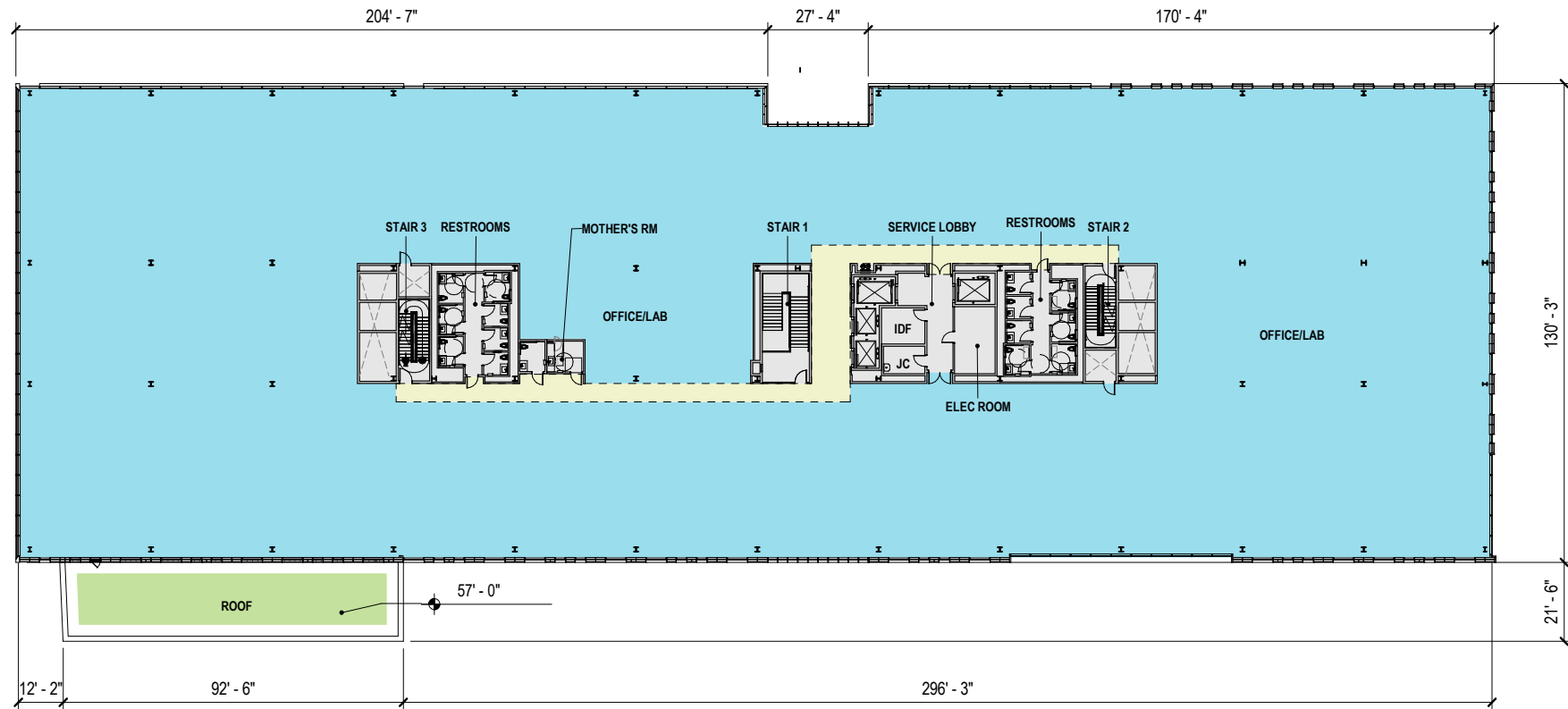
**36-64 WHITTEMORE AVE.
FLOOR PLANS: BUILDING 3 - LEVELS 1-2**



**Building 3 - Level MPH
+72' - 8"**

PROGRAM LEGEND:

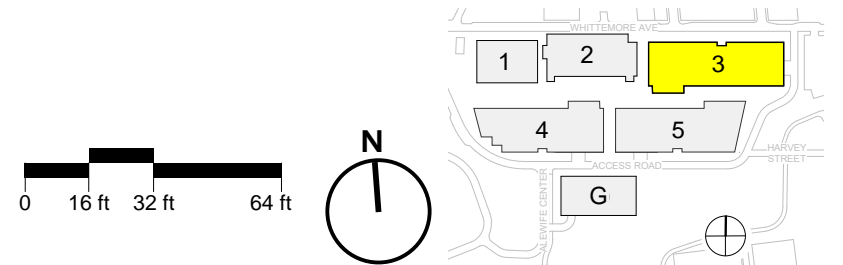
- BUILDING AMENITIES
- MAIN LOBBY
- RETAIL
- LAB / OFFICE TENANT
- MULTI TENANT CORRIDOR
- BACK OF HOUSE
- BIOSOLAR ROOF
- GREEN ROOF
- ROOF ACCESS PATHS
- MECHANICAL EQUIPMENT
- EQUIPMENT CLEAR AREA



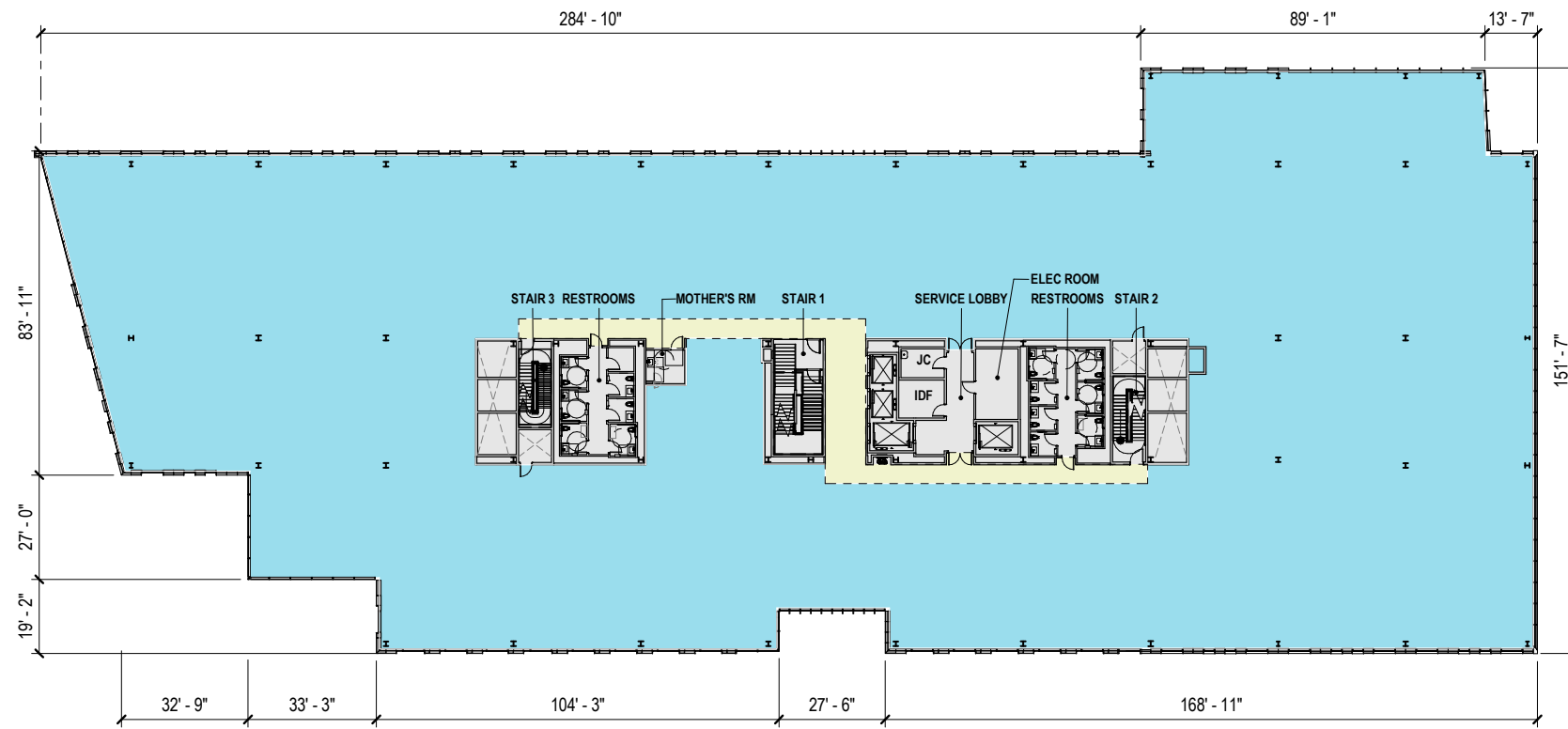
**Building 3 - Level 3
+ 57' - 0"**

GREEN ROOF SF ANALYSIS (ROUNDED):

1. 51,550 ROOF AREA
2. 7,815 EXEMPTION FOR HVAC AND ROOF TOP EQUIPMENT
3. 9,620 EXEMPTION FOR ACCESS ROUTES
4. 34,115 ADJUSTED SF OF ROOF
5. 27,292 SF REQUIRED GREEN ROOF (80% ADJUSTED TOTAL)
6. **27,345 SF PROVIDED**



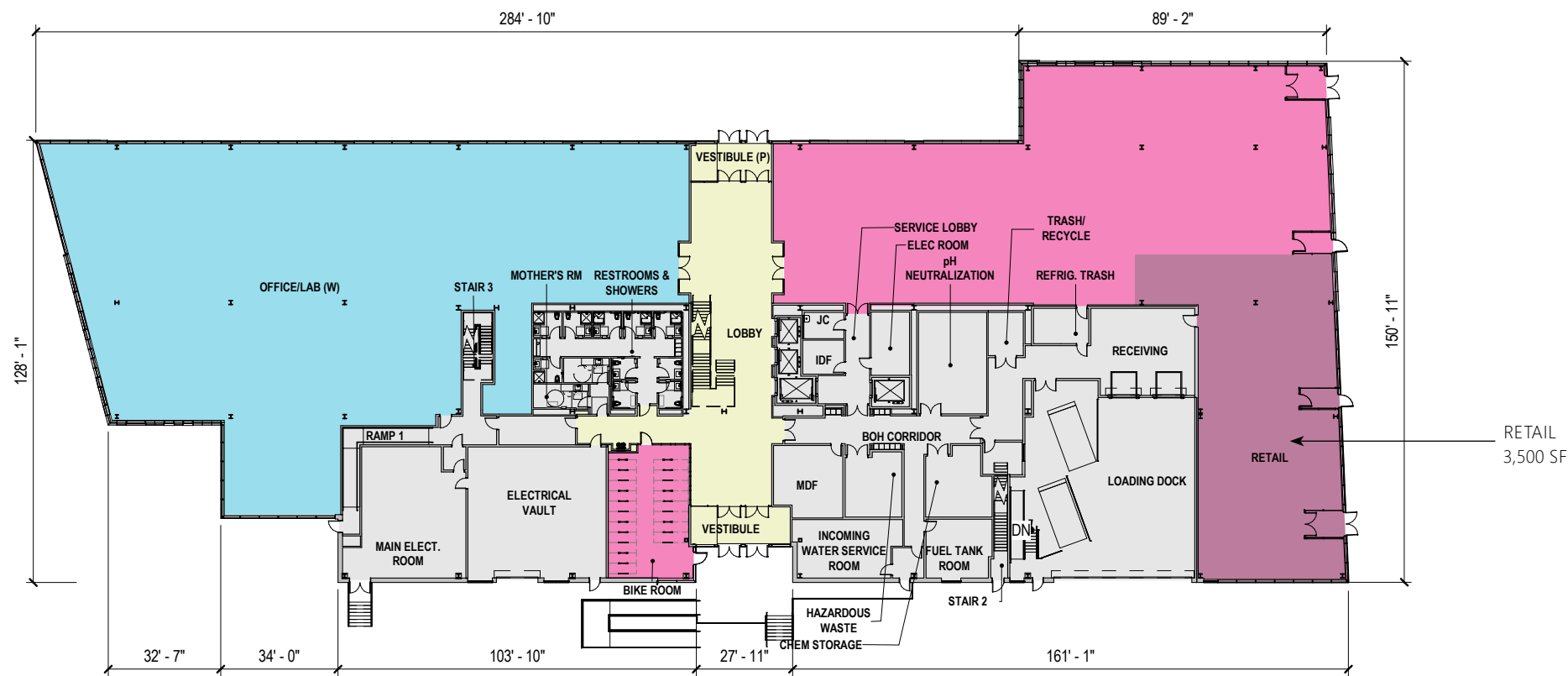
**36-64 WHITTEMORE AVE.
FLOOR PLANS: BUILDING 3 - LEVEL 3- MPH**



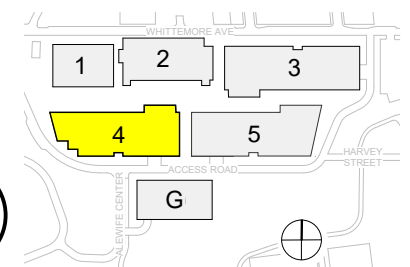
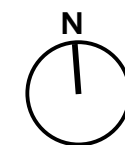
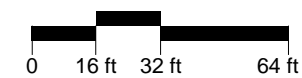
PROGRAM LEGEND:

- BUILDING AMENITIES
- MAIN LOBBY
- RETAIL
- LAB / OFFICE TENANT
- MULTI TENANT CORRIDOR
- BACK OF HOUSE
- BIOSOLAR ROOF
- GREEN ROOF
- ROOF ACCESS PATHS
- MECHANICAL EQUIPMENT
- EQUIPMENT CLEAR AREA

**Building 4 - Level 2
+ 42' - 0"**

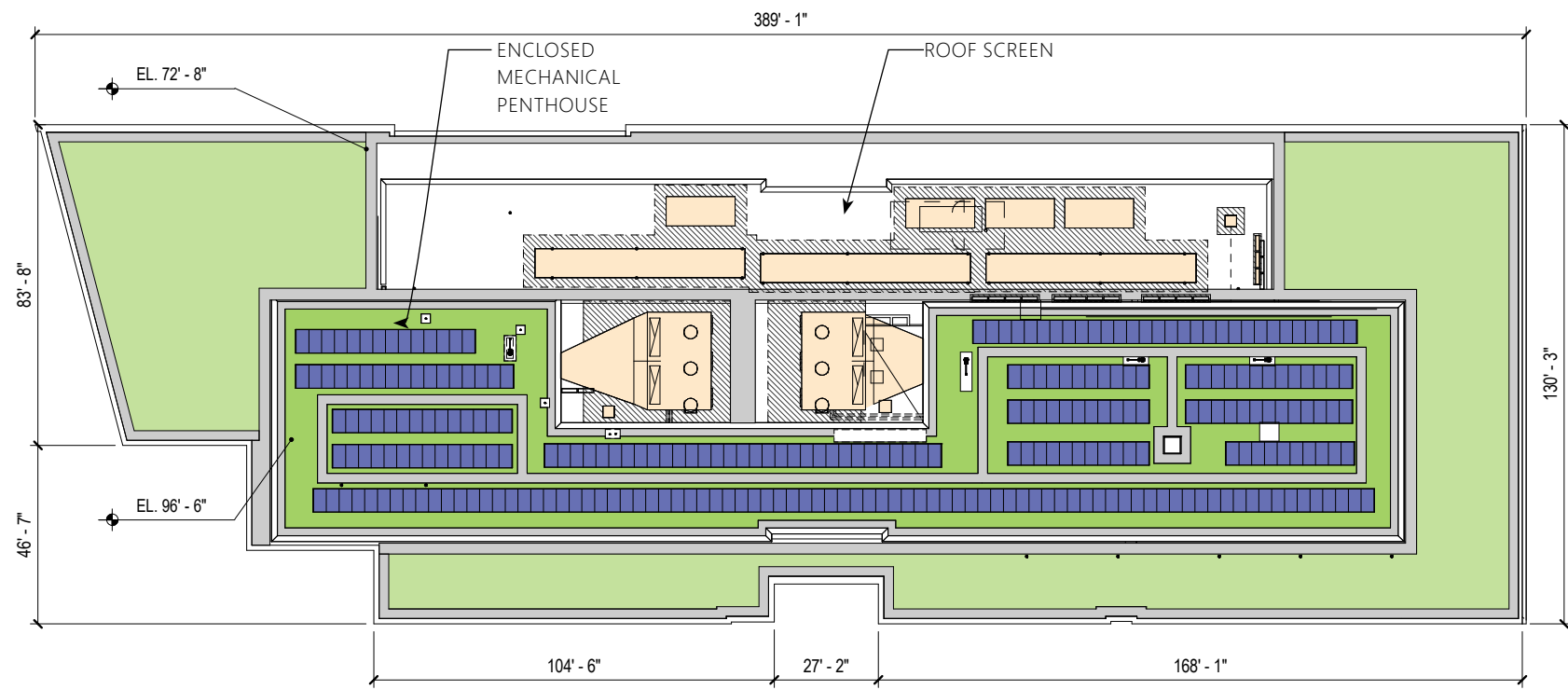


**Building 4 - Level 1
+ 24' - 0"**



36-64 WHITTEMORE AVE.

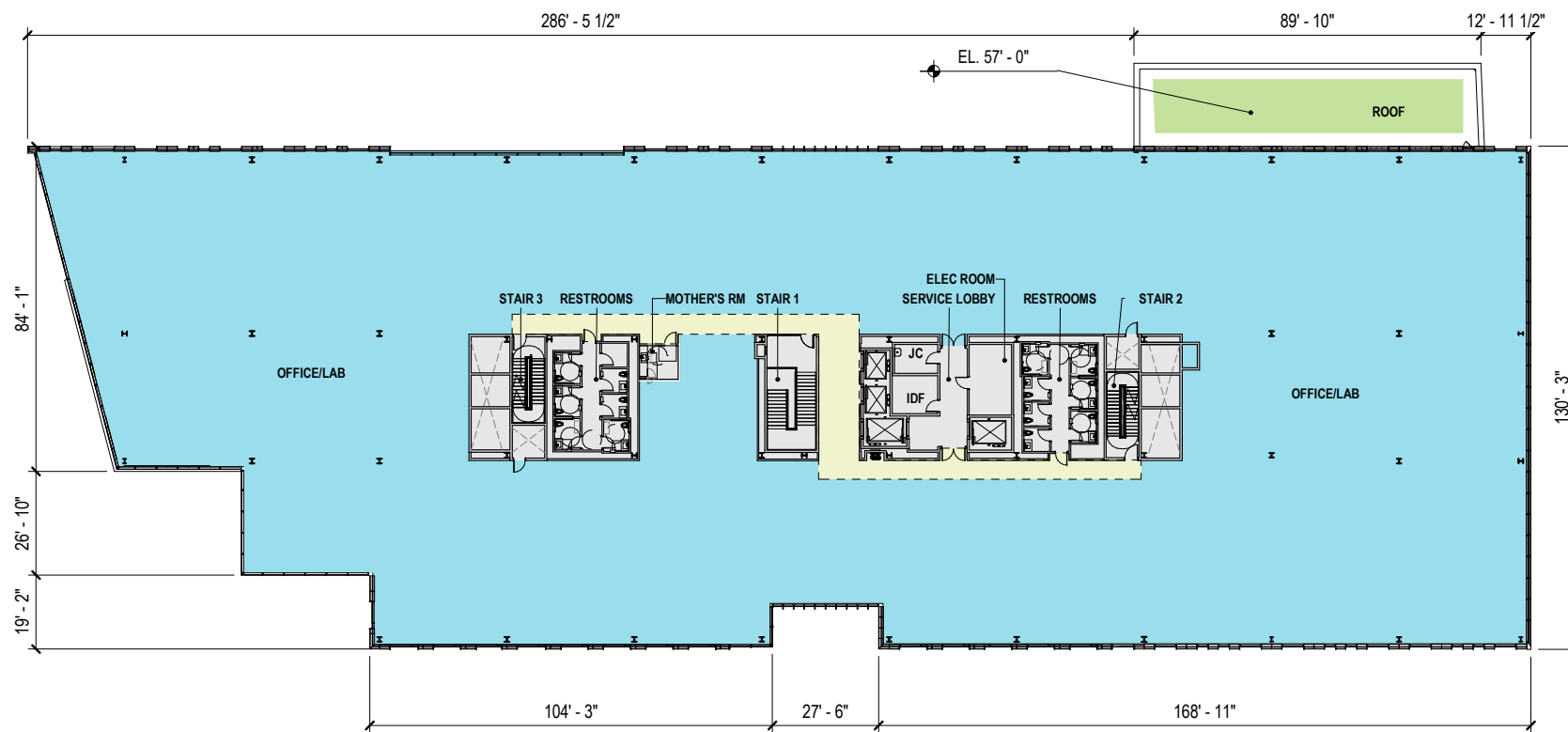
FLOOR PLANS: BUILDING 4 - LEVELS 1-2



PROGRAM LEGEND:

- BUILDING AMENITIES
- MAIN LOBBY
- RETAIL
- LAB / OFFICE TENANT
- MULTI TENANT CORRIDOR
- BACK OF HOUSE
- BIOSOLAR ROOF
- GREEN ROOF
- ROOF ACCESS PATHS
- MECHANICAL EQUIPMENT
- EQUIPMENT CLEAR AREA

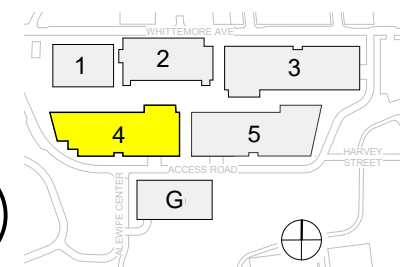
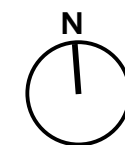
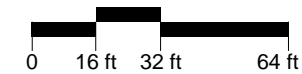
**Building 4 - Level MPH
+ 72' - 8"**



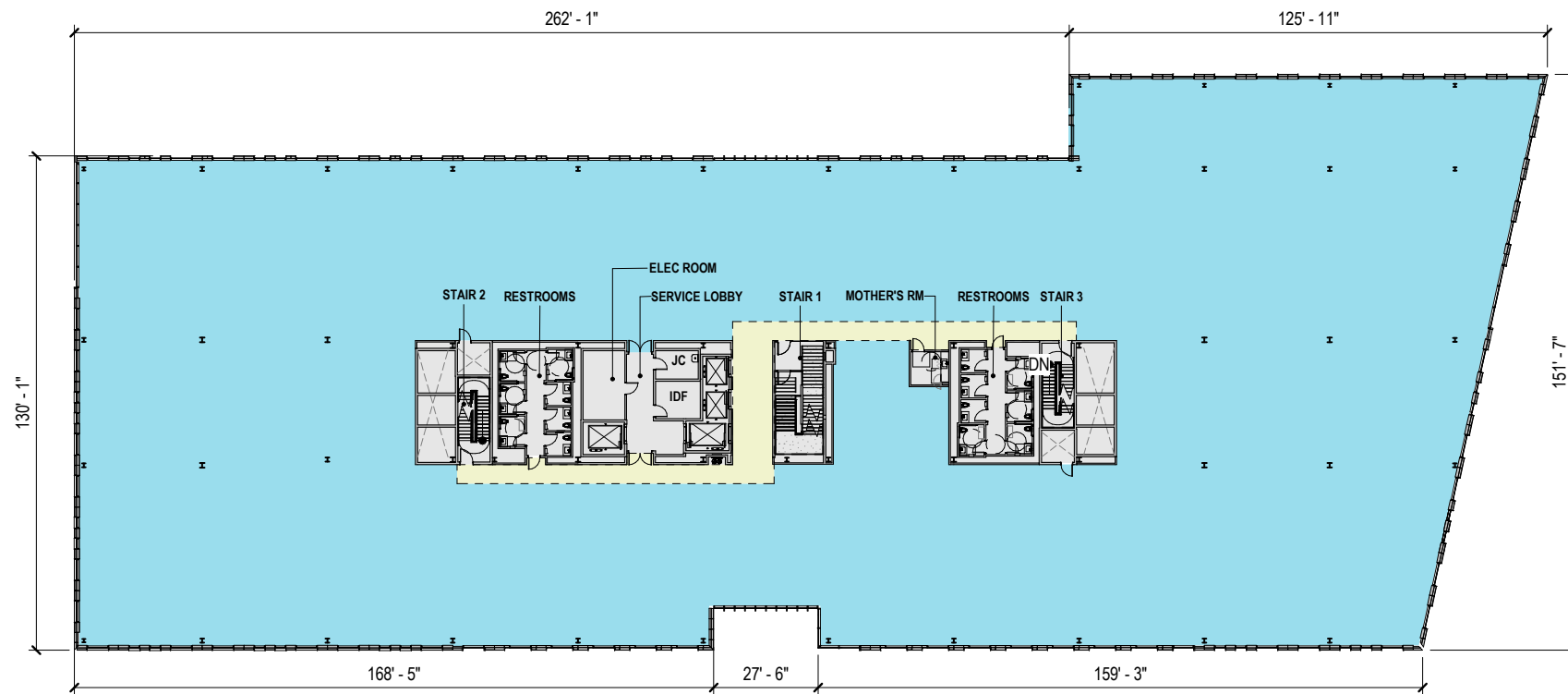
**Building 4 - Level 3
+ 57' - 0"**

GREEN ROOF SF ANALYSIS (ROUNDED):

1. 46,105 ROOF AREA
2. 7,435 EXEMPTION FOR HVAC AND ROOF TOP EQUIPMENT
3. 8,580 EXEMPTION FOR ACCESS ROUTES
4. 30,090 ADJUSTED SF OF ROOF
5. 24,072 SF REQUIRED GREEN ROOF (80% ADJUSTED TOTAL)
6. 24,100 SF PROVIDED

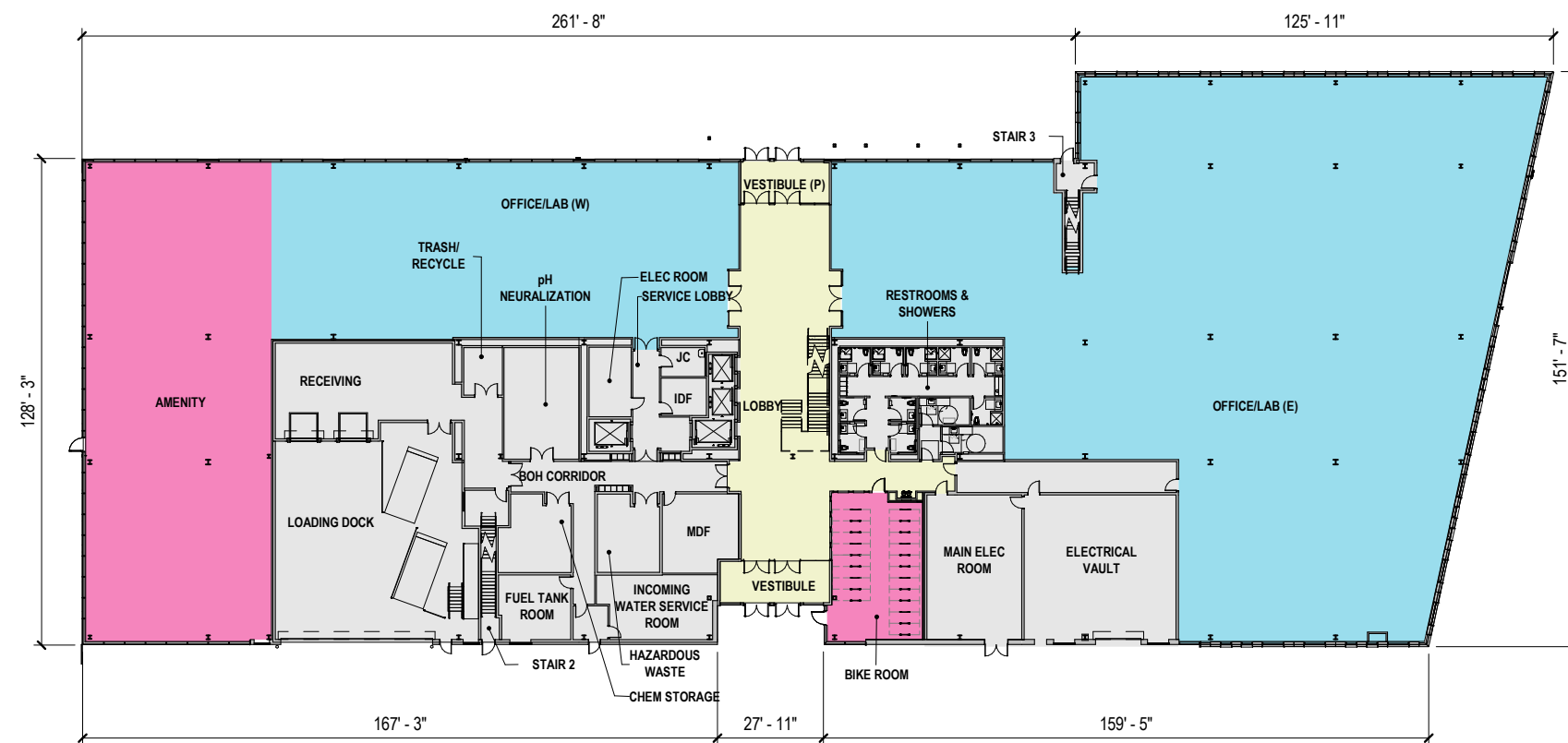


36-64 WHITTEMORE AVE.
FLOOR PLANS: BUILDING 4 - LEVEL 3- MPH

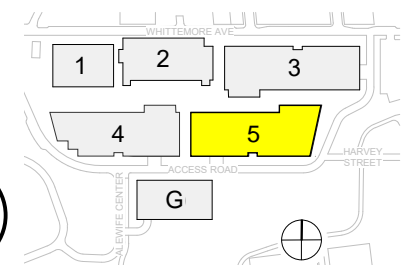
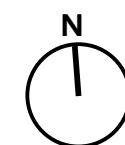
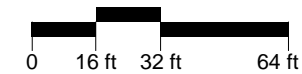


Building 5 - Level 2
+ 42' - 0"

- PROGRAM LEGEND:**
- BUILDING AMENITIES
 - MAIN LOBBY
 - RETAIL
 - LAB / OFFICE TENANT
 - MULTI TENANT CORRIDOR
 - BACK OF HOUSE
 - BIOSOLAR ROOF
 - GREEN ROOF
 - ROOF ACCESS PATHS
 - MECHANICAL EQUIPMENT
 - EQUIPMENT CLEAR AREA

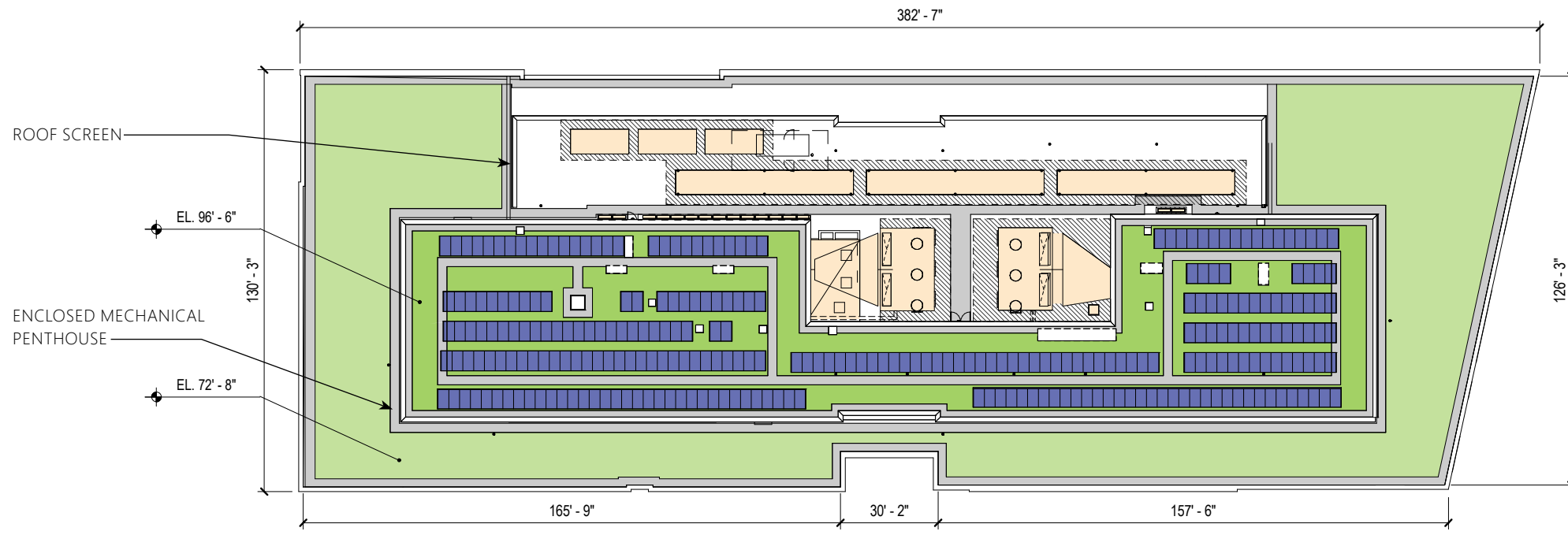


Building 5 - Level 1
+ 24' - 0"



36-64 WHITTEMORE AVE.

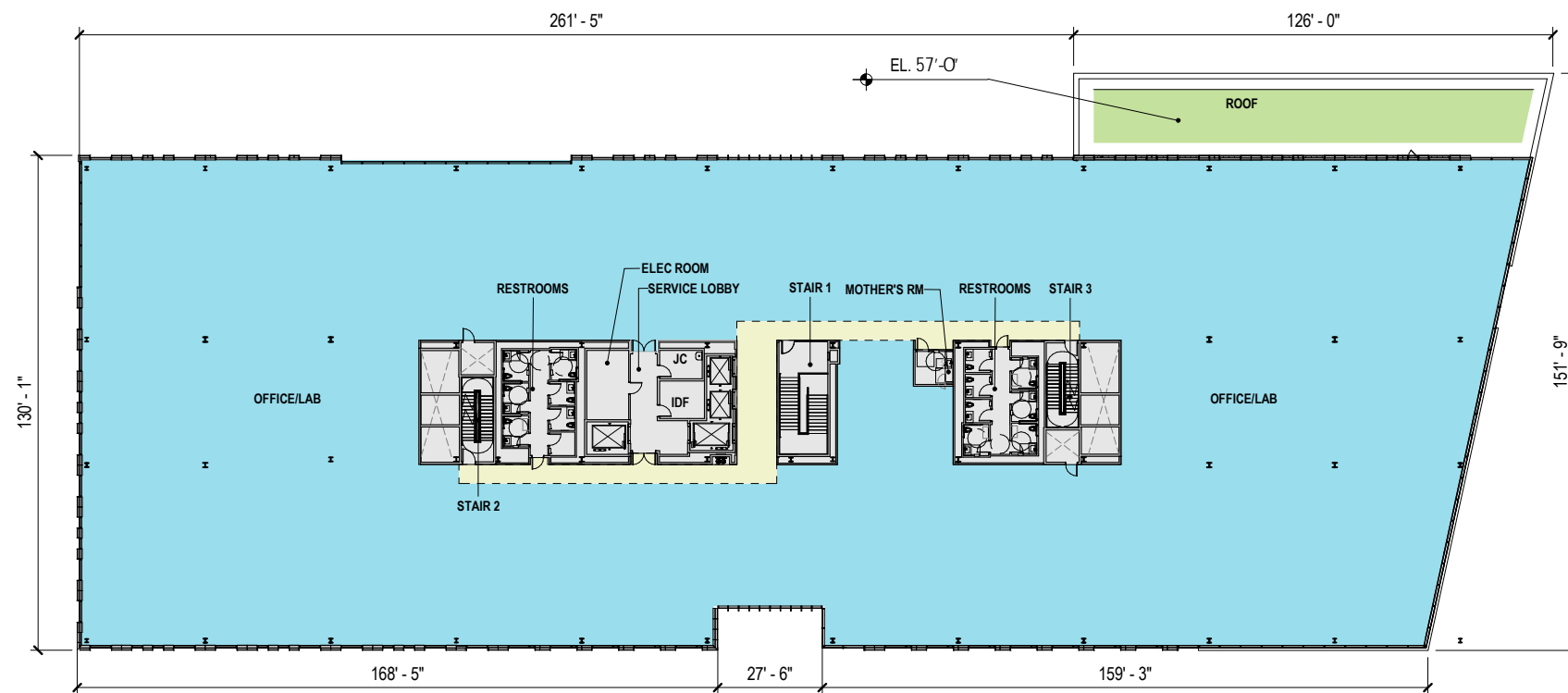
FLOOR PLANS: BUILDING 5 - LEVELS 1-2



PROGRAM LEGEND:

- BUILDING AMENITIES
- MAIN LOBBY
- RETAIL
- LAB / OFFICE TENANT
- MULTI TENANT CORRIDOR
- BACK OF HOUSE
- BIOSOLAR ROOF
- GREEN ROOF
- ROOF ACCESS PATHS
- MECHANICAL EQUIPMENT
- EQUIPMENT CLEAR AREA

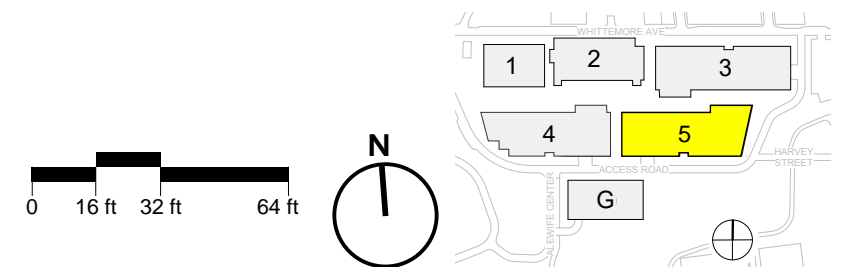
**Building 5 - Level MPH
+ 72' - 8"**



**Building 5 - Level 3
+ 57' - 0"**

GREEN ROOF SF ANALYSIS (ROUNDED):

1. 48,305 ROOF AREA
2. 7,490 EXEMPTION FOR HVAC AND ROOF TOP EQUIPMENT
3. 5,375 EXEMPTION FOR ACCESS ROUTES
4. 31,535 ADJUSTED SF OF ROOF
5. 25,228 SF REQUIRED GREEN ROOF (80% ADJUSTED TOTAL)
6. **25,495 SF PROVIDED**



**36-64 WHITTEMORE AVE.
FLOOR PLANS: BUILDING 5 - LEVEL 3- MPH**

Including Green Roofs and BioSolar Installation at New Buildings.

- Reduces Heat Island Effect
- Renewable Energy Production
- Combination Allows for More Efficient Operation of PV Panels



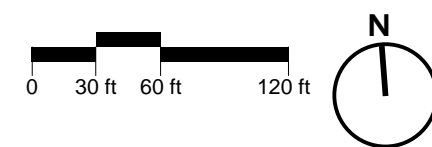
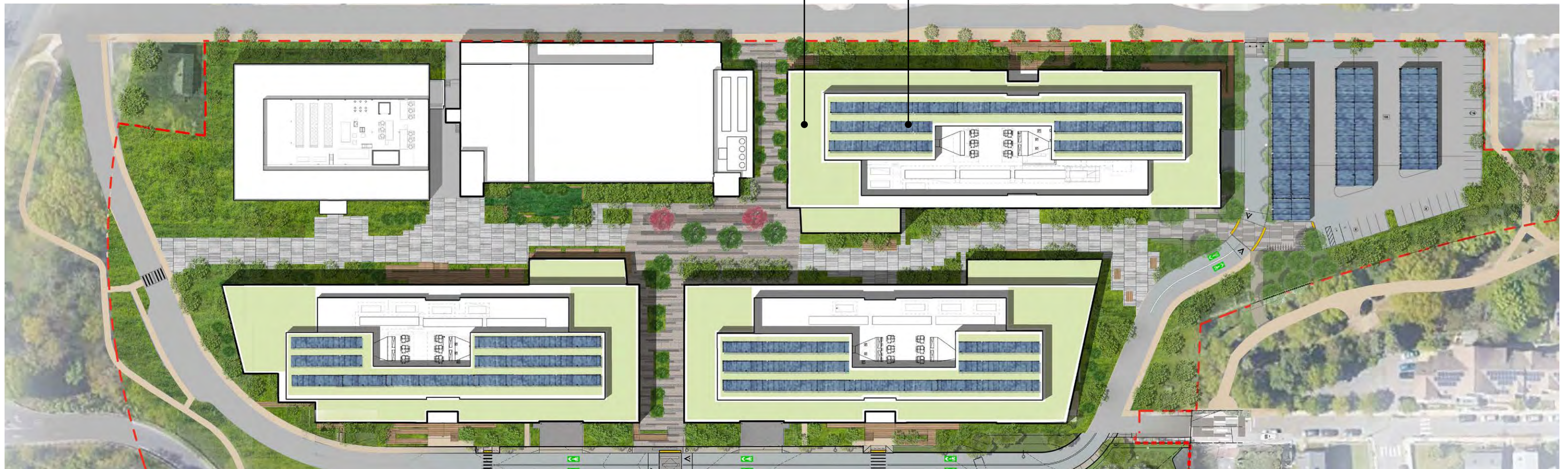
GREEN ROOF



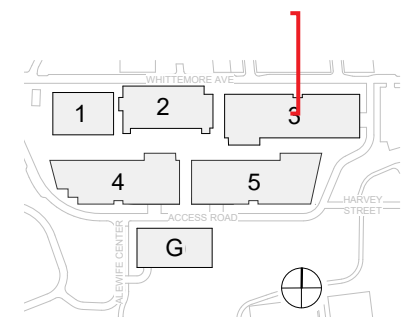
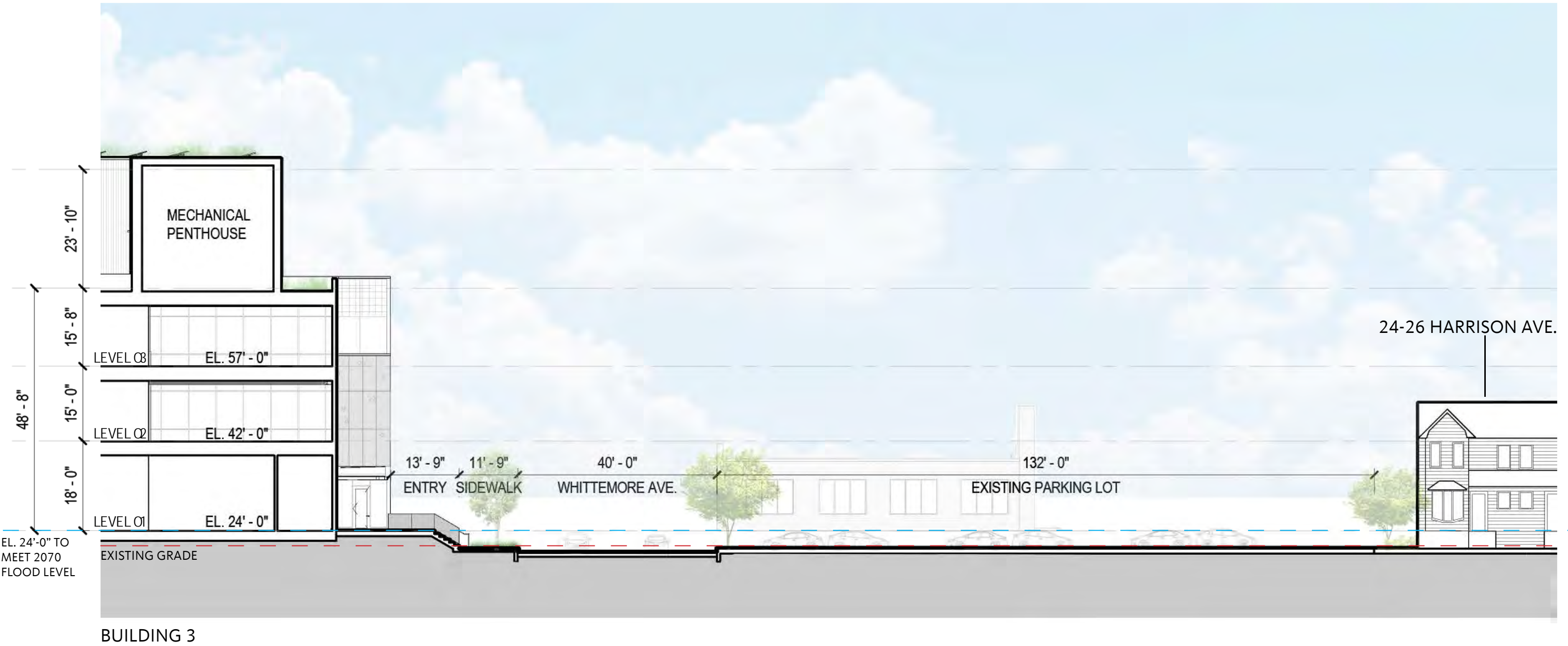
BIOSOLAR ROOF

ARTICLE REQUIRED GREEN ROOF AREAS

Building	Roof Area	Areas Excluded per 22.35.2 (a).4	Adjusted Roof Area	Required Green or BioSolar Roof Area (per 22.35.2)	Proposed Area of Green or Biosolar Roof
Building 3	51,550	17,435	34,115	27,292	27,345
Building 4	46,105	16,015	30,090	24,072	24,100
Building 5	48,305	16,770	31,535	25,228	25,495

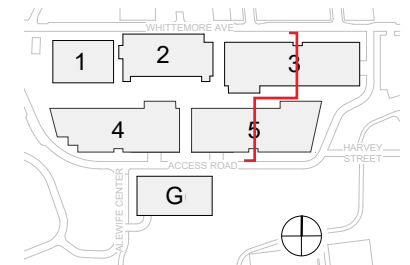


36-64 WHITTEMORE AVE.
GREEN ROOFS & BIOSOLAR



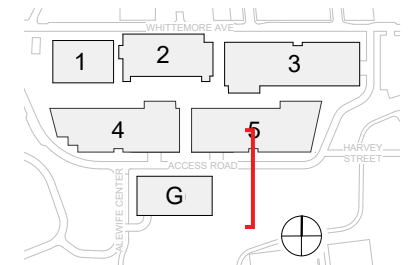
36-64 WHITTEMORE AVE.

SITE SECTION @ WHITTEMORE AVE.



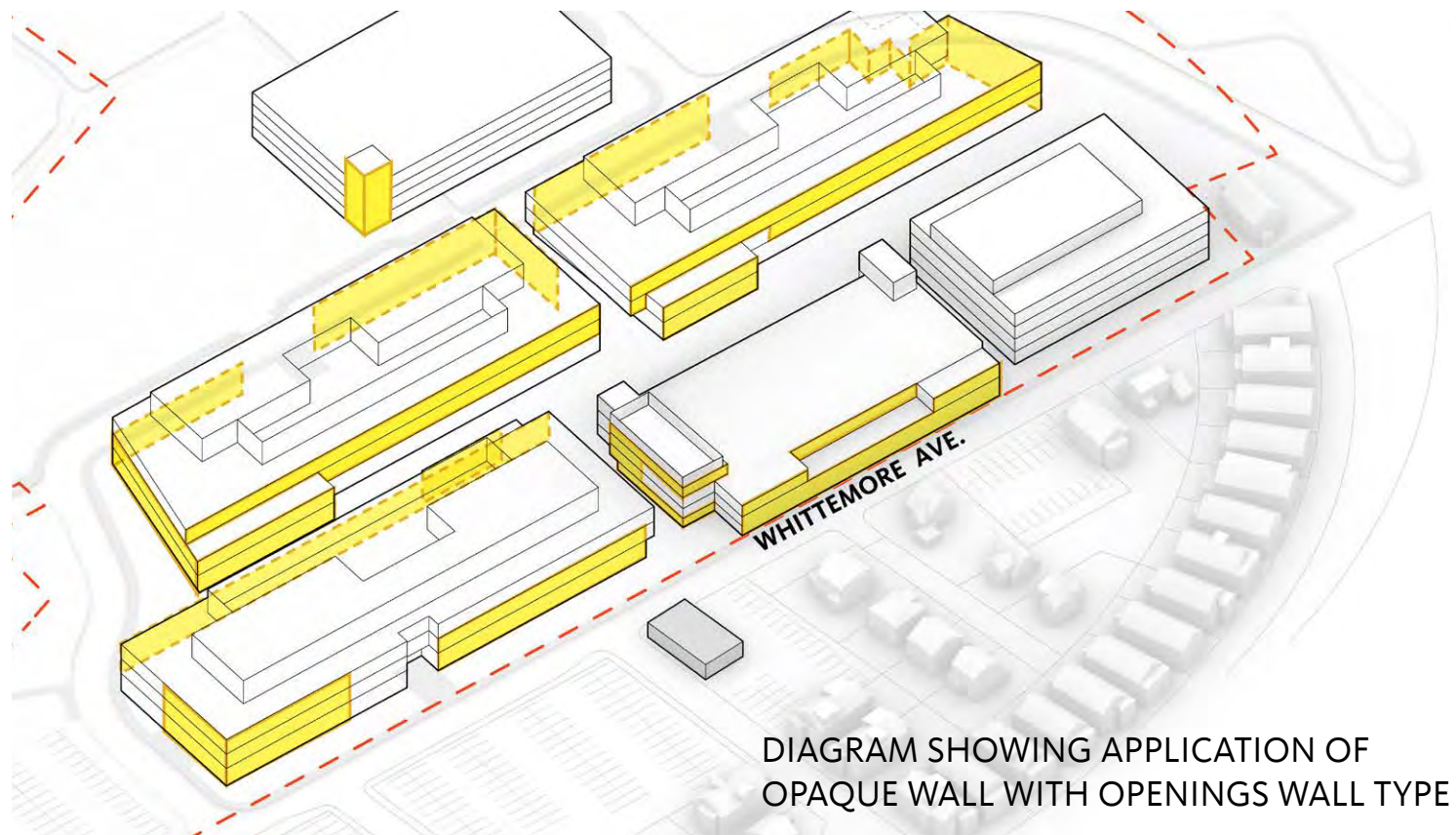
36-64 WHITTEMORE AVE.

SITE SECTION @ PROMENADE



36-64 WHITTEMORE AVE.

SITE SECTION @ GARAGE



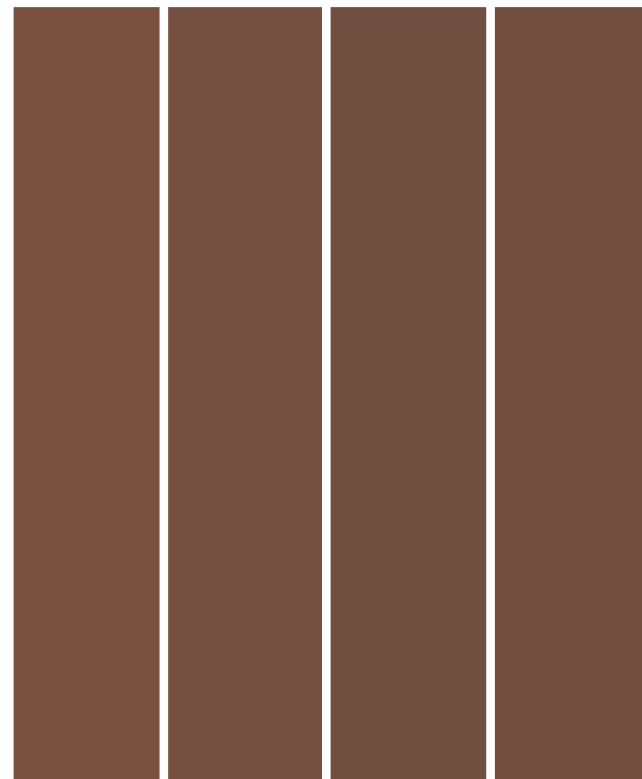
PROMENADE FACADE INSPIRATION



UHPC



UHPC



METAL PANEL



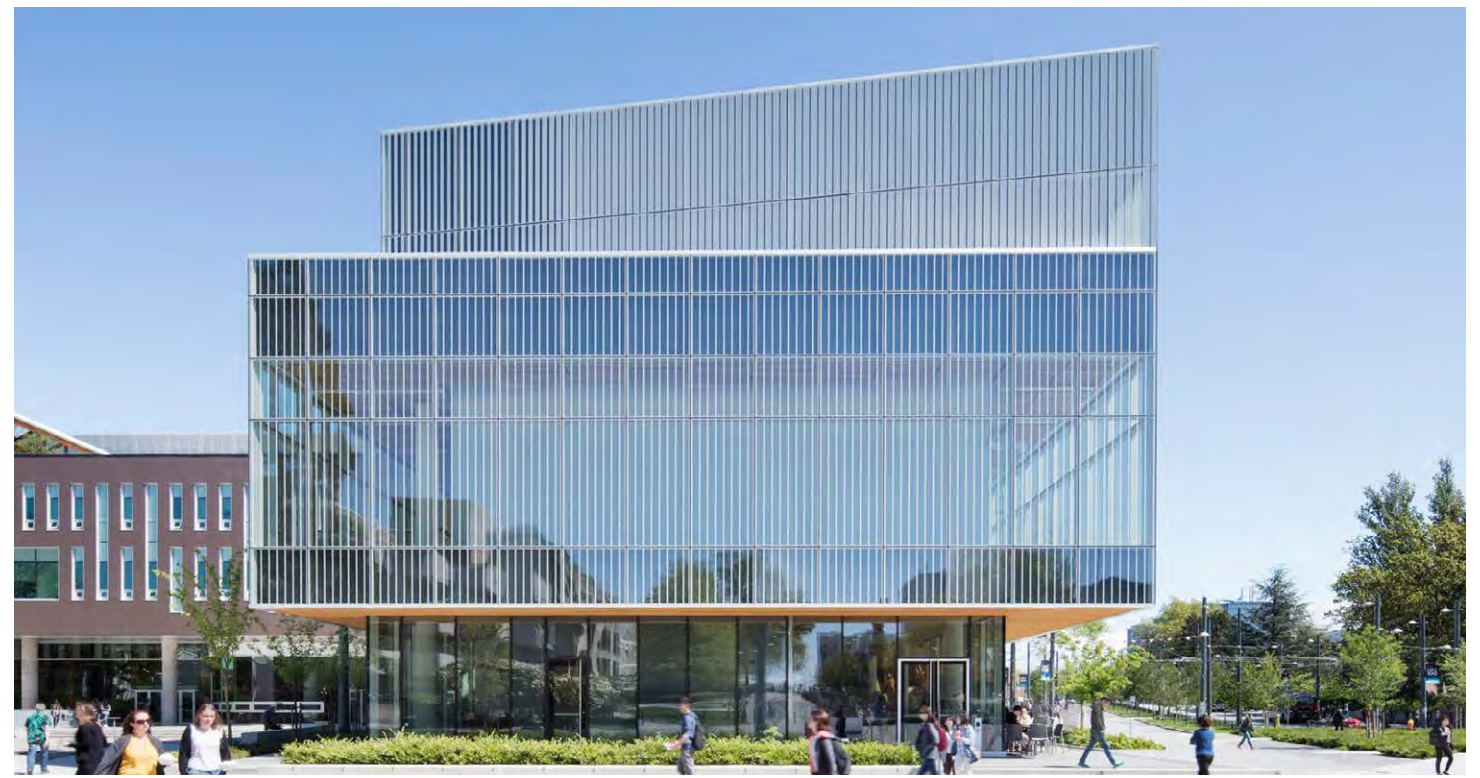
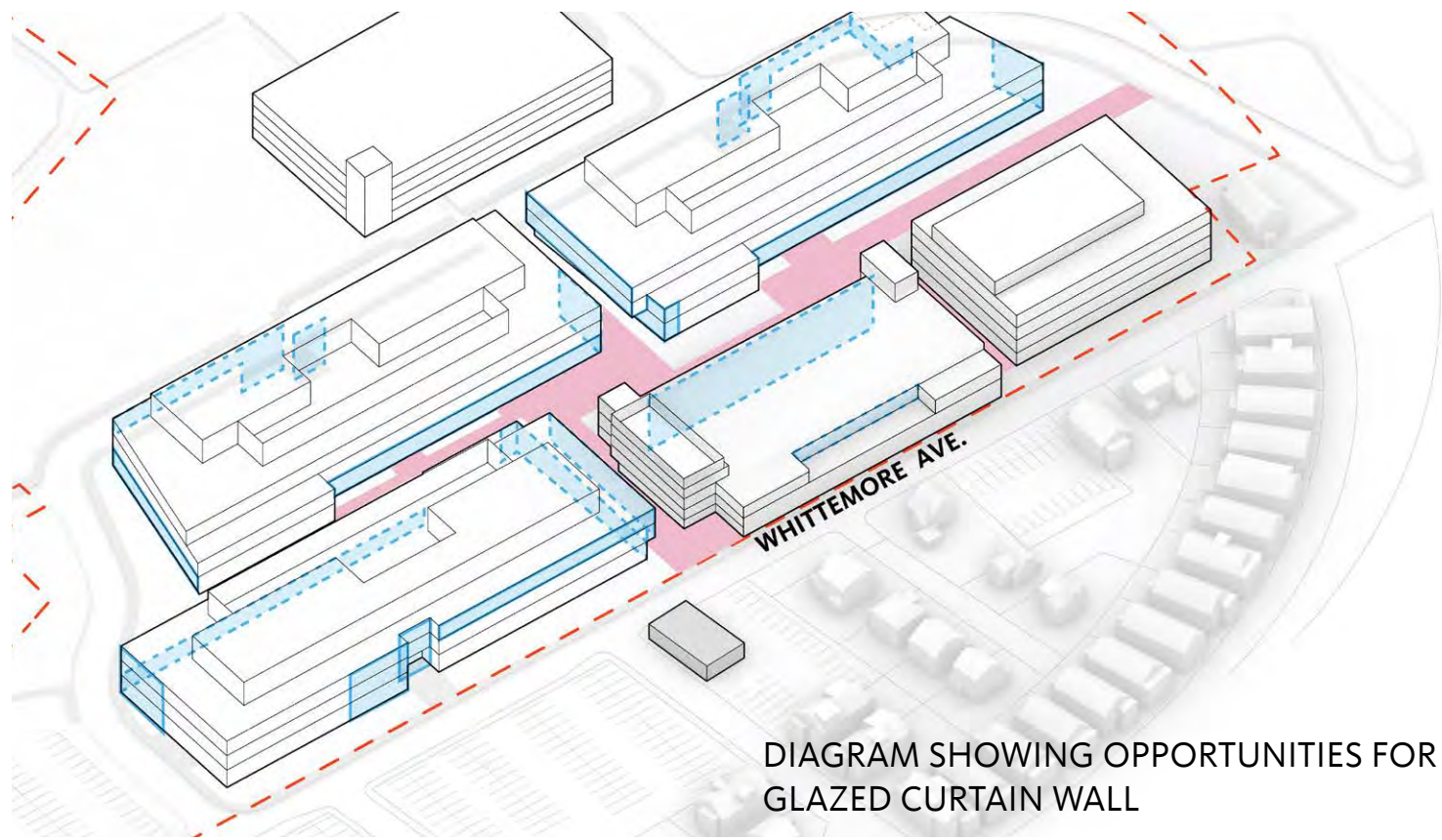
PUNCHED WINDOW INSPIRATION



TWO STORY BOX INSPIRATION

36-64 WHITTEMORE AVE.

MATERIAL APPROACH: OPAQUE WALL WITH OPENINGS



GLAZED CURTAIN WALL INSPIRATION - LEVELS 2-3



FRAMED CURTAIN WALL INSPIRATION



TRANSPARENCY AT THE GROUND FLOOR TO HIGHLIGHT ACTIVITY

36-64 WHITTEMORE AVE.
MATERIAL APPROACH: GLAZED CURTAIN WALL

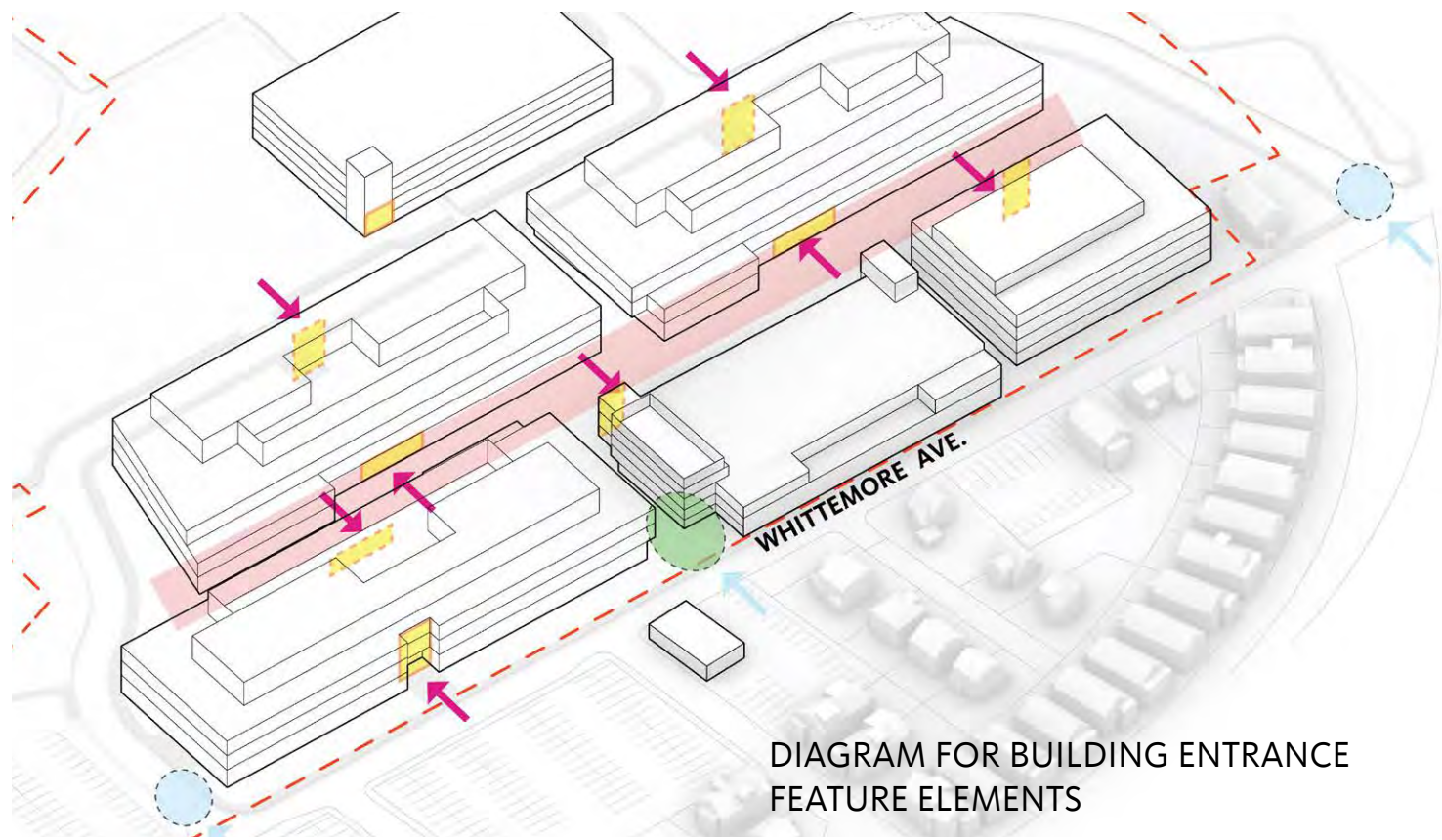


DIAGRAM FOR BUILDING ENTRANCE
FEATURE ELEMENTS



CAMPUS ENTRANCE SIGNAGE INSPIRATION



ENTRANCE FEATURE MATERIAL INSPIRATION



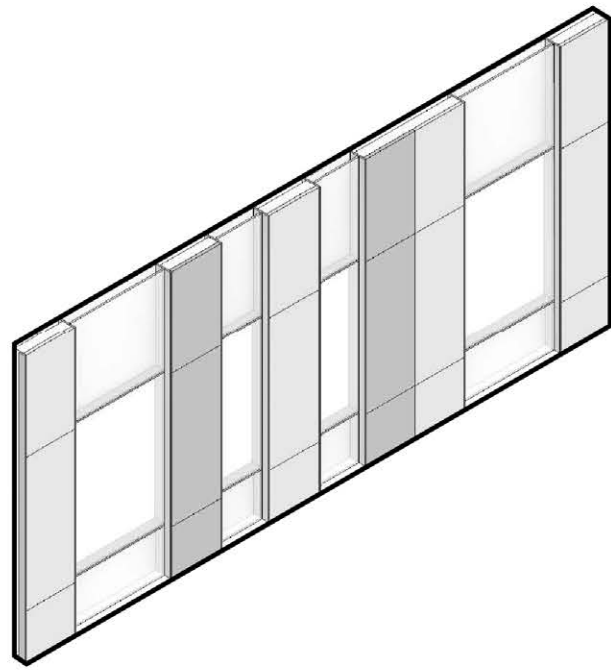
ENTRANCE SIGNAGE AND BRANDING INSPIRATION



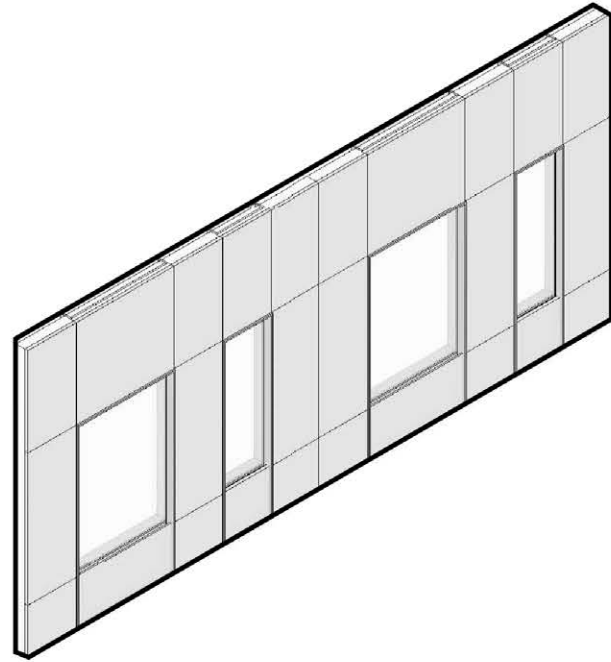
CAMPUS SIGNAGE INSPIRATION

36-64 WHITTEMORE AVE.

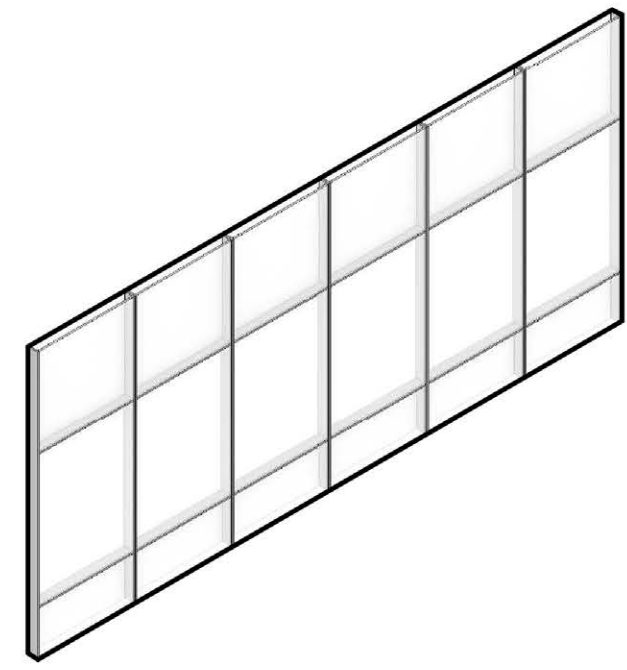
MATERIAL APPROACH: ENTRANCES & IDENTITY



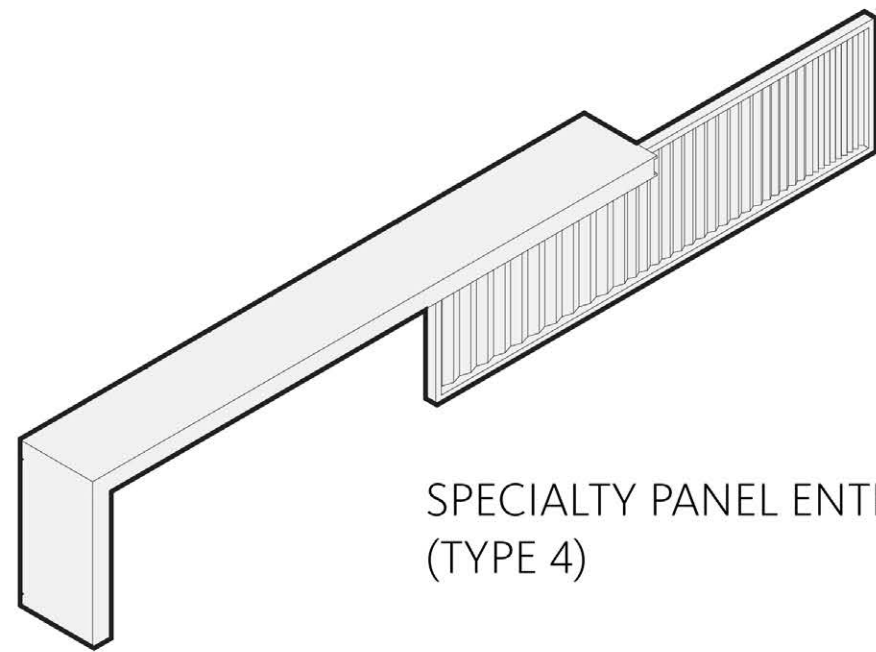
UHPC SYSTEM WITH OPENINGS (TYPE 1)



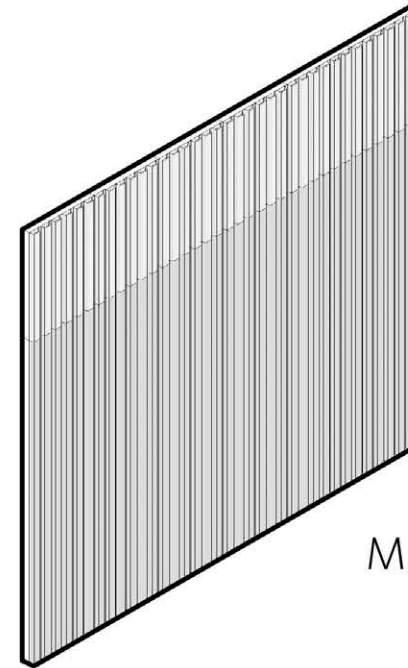
SEMI-CUSTOMIZED METAL PANEL RAIN SCREEN SYSTEM WITH OPENINGS (TYPE 2)



GLAZED CURTAIN WALL (TYPE 3)

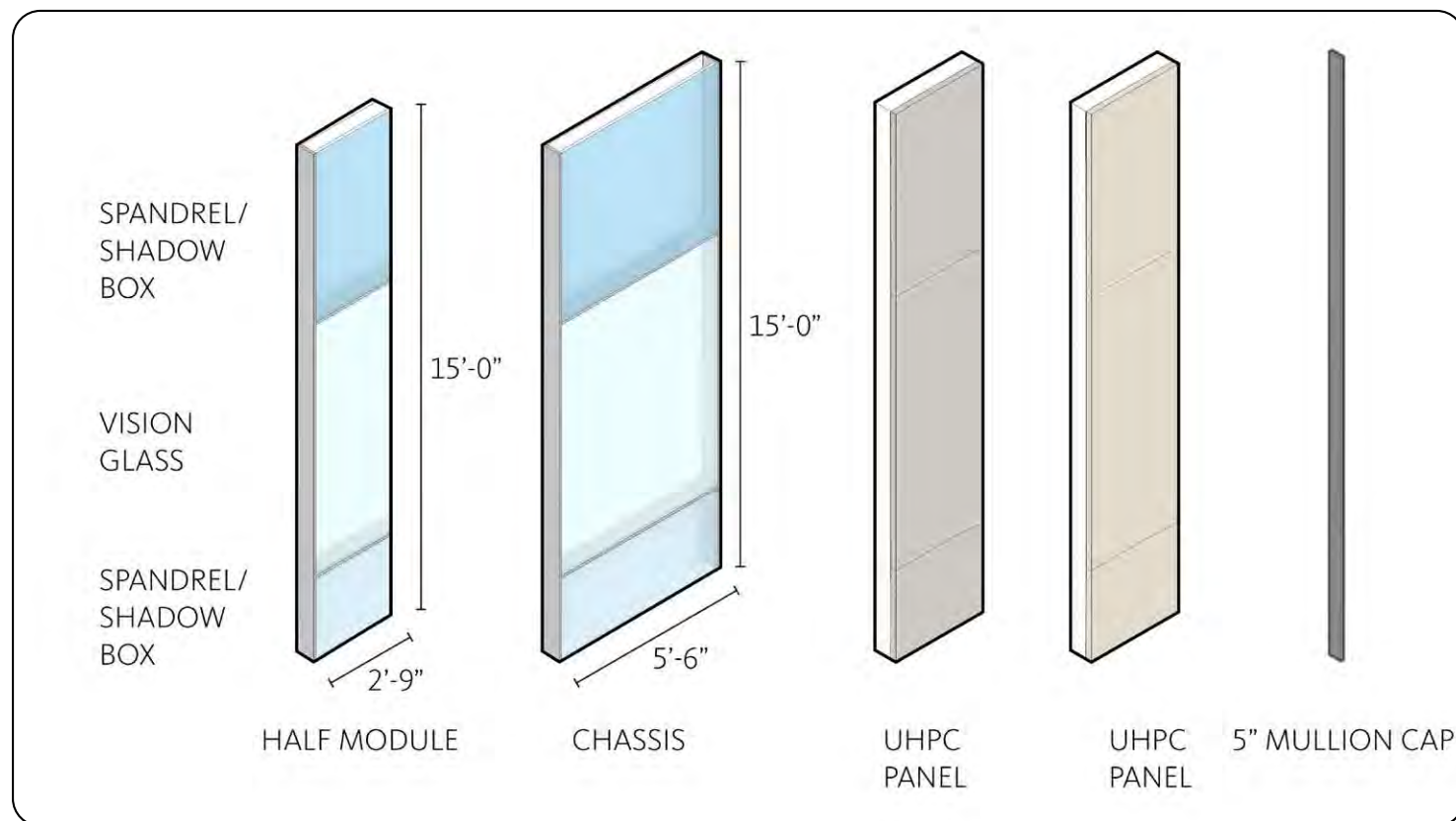


SPECIALTY PANEL ENTRANCE ONLY (TYPE 4)

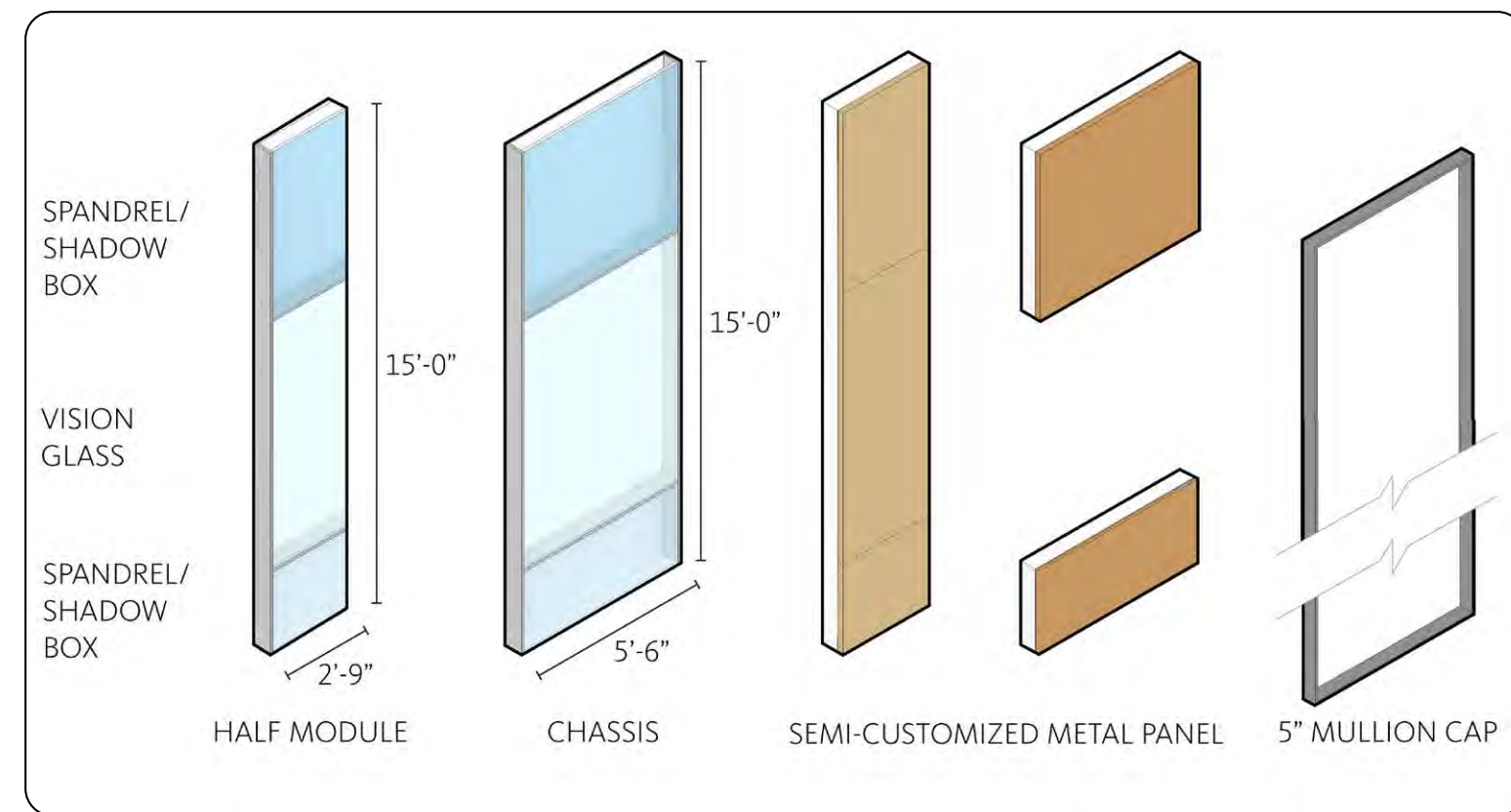


MECHANICAL PENTHOUSE (TYPE 5)

36-64 WHITTEMORE AVE. FACADE LOGIC: WALL TYPE ELEMENTS



WALL TYPE 1



WALL TYPE 2

36-64 WHITTEMORE AVE.
FACADE LOGIC: PANELIZATION



36-64 WHITTEMORE AVE.

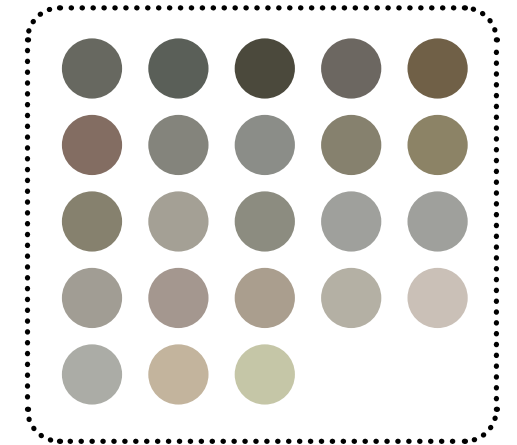
CONTEXT COLOR PALETTE



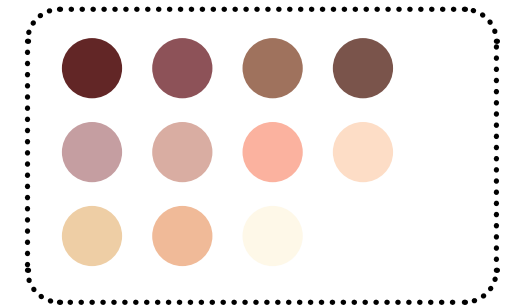
36-64 WHITTEMORE AVE.
CONTEXT COLOR PALETTE SWATCHES



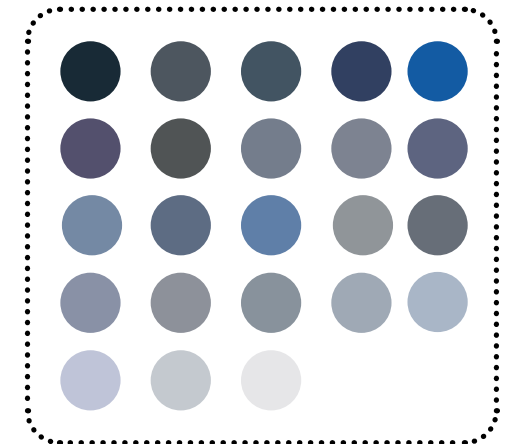
WARM NEUTRAL TONES
APPLIED TO PROMENADE
FACADE



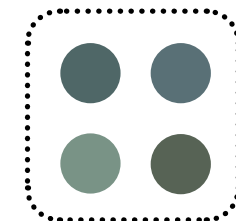
EARTH TONE COLORS
APPLIED TO TWO-STORY
BOXES



COOL BLUE-GRAY TONES
APPLIED TO CURTAIN WALL
AREAS

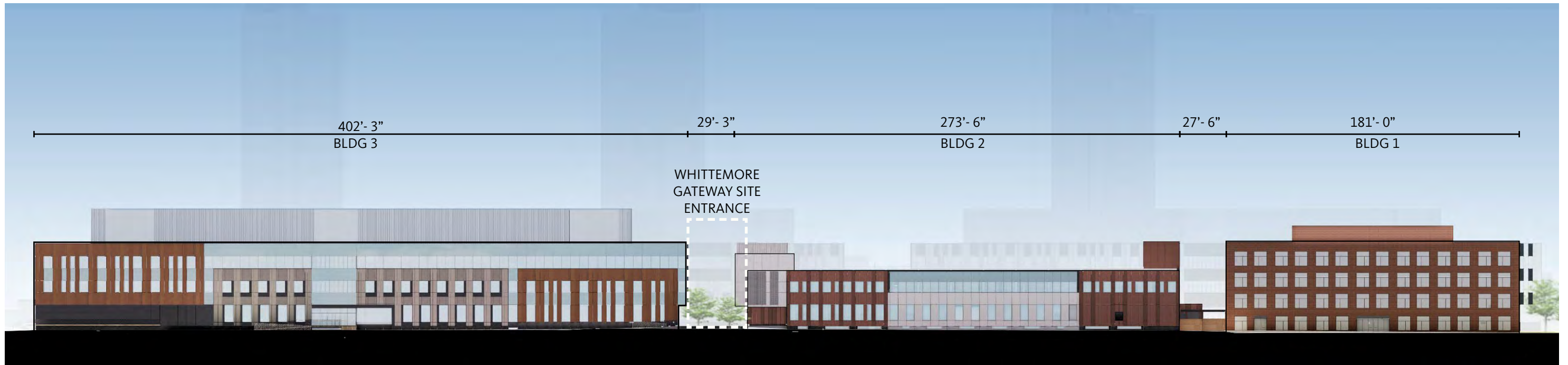


GREEN TONES APPLIED TO
LANDSCAPE

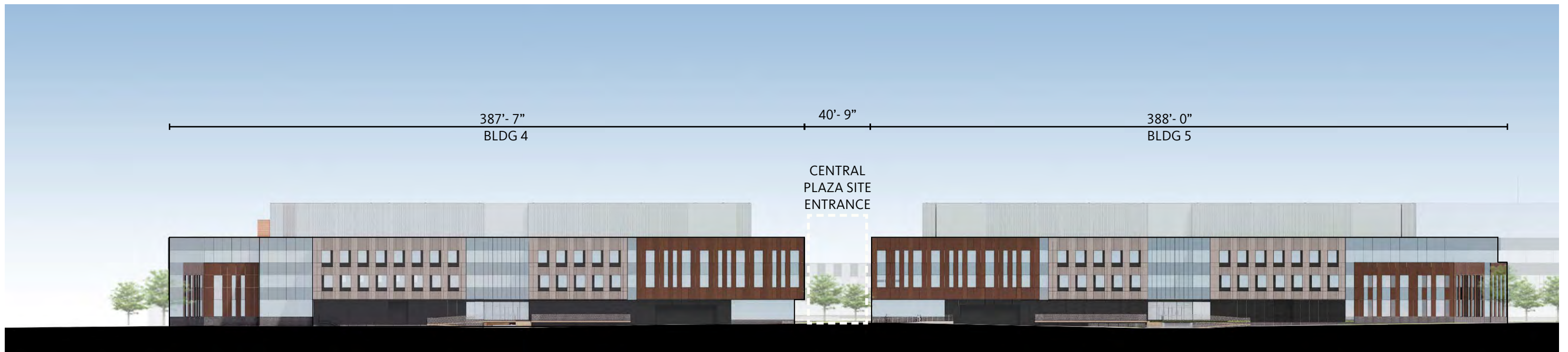


36-64 WHITTEMORE AVE.

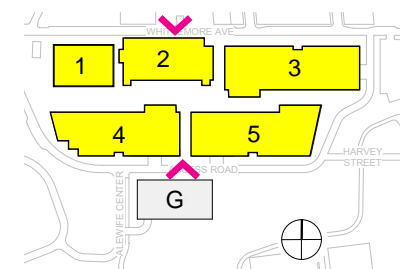
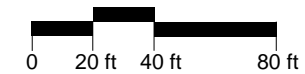
CONTEXT COLOR PALETTE APPLICATION



CAMPUS NORTH ELEVATION (WHITTEMORE AVE)

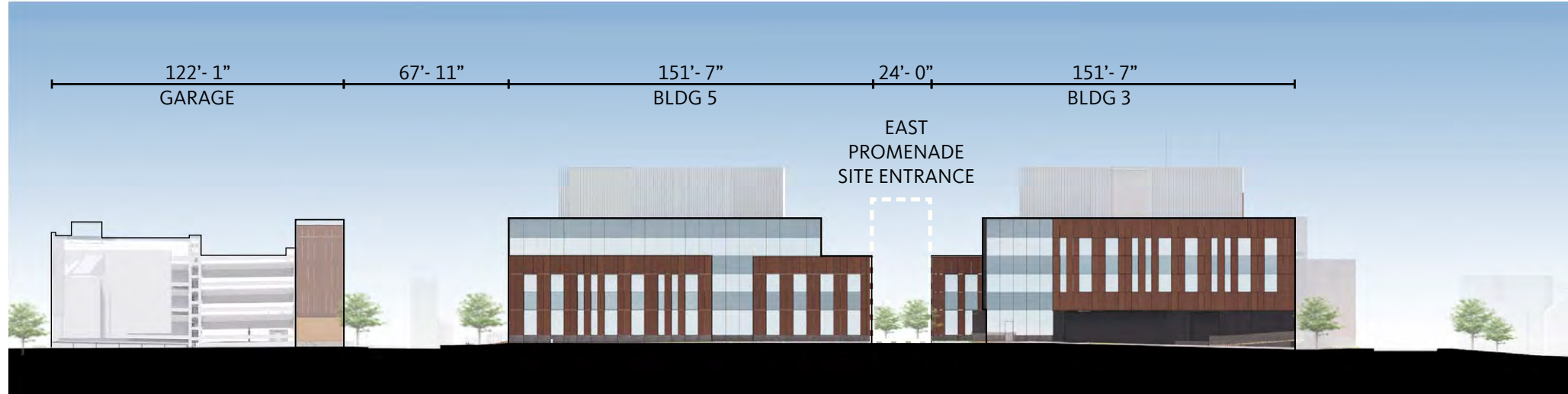


CAMPUS SOUTH ELEVATION

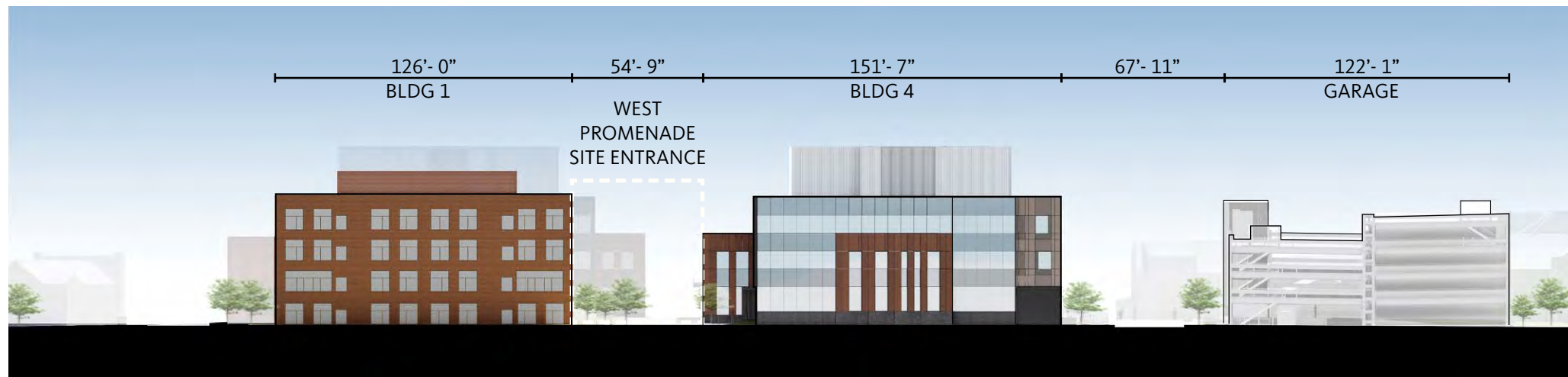
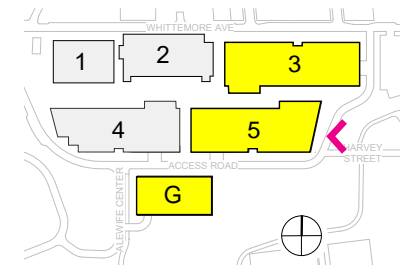
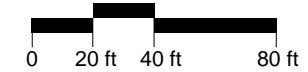


36-64 WHITTEMORE AVE.

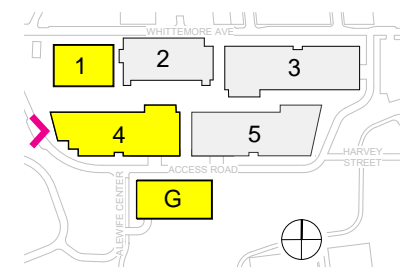
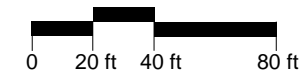
CAMPUS OVERALL ELEVATIONS



CAMPUS ELEVATION LOOKING WEST

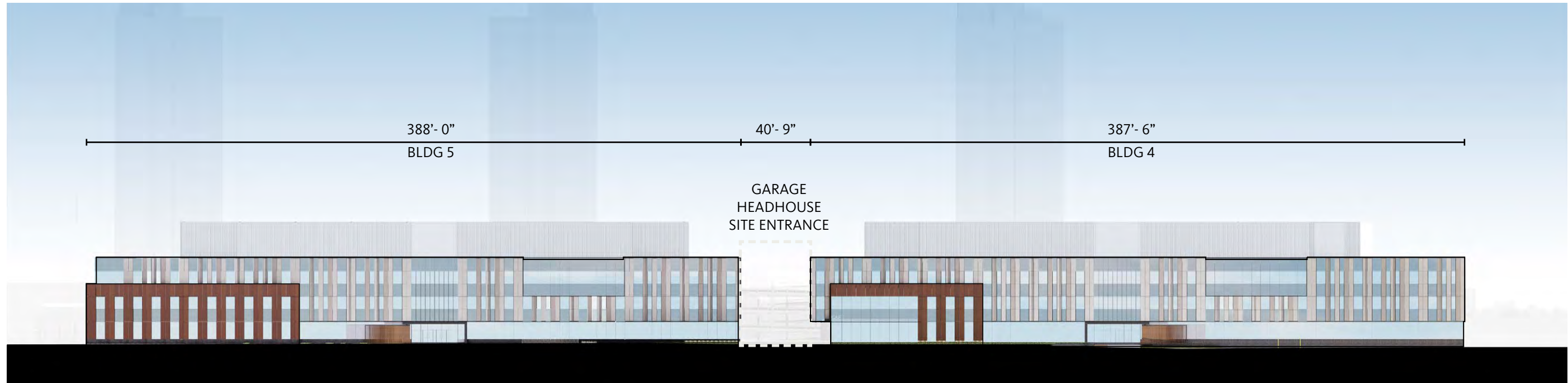


CAMPUS ELEVATION LOOKING EAST

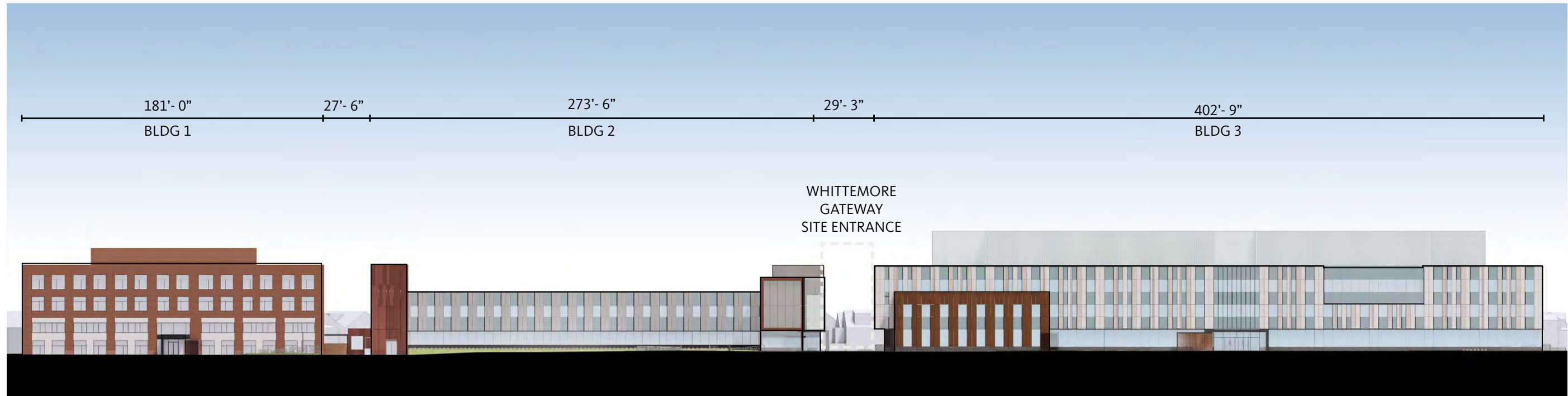


36-64 WHITTEMORE AVE.

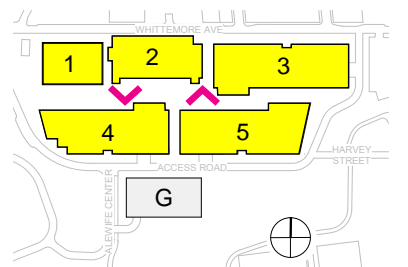
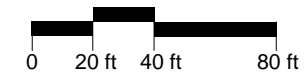
CAMPUS OVERALL ELEVATIONS



PROMENADE ELEVATION LOOKING SOUTH

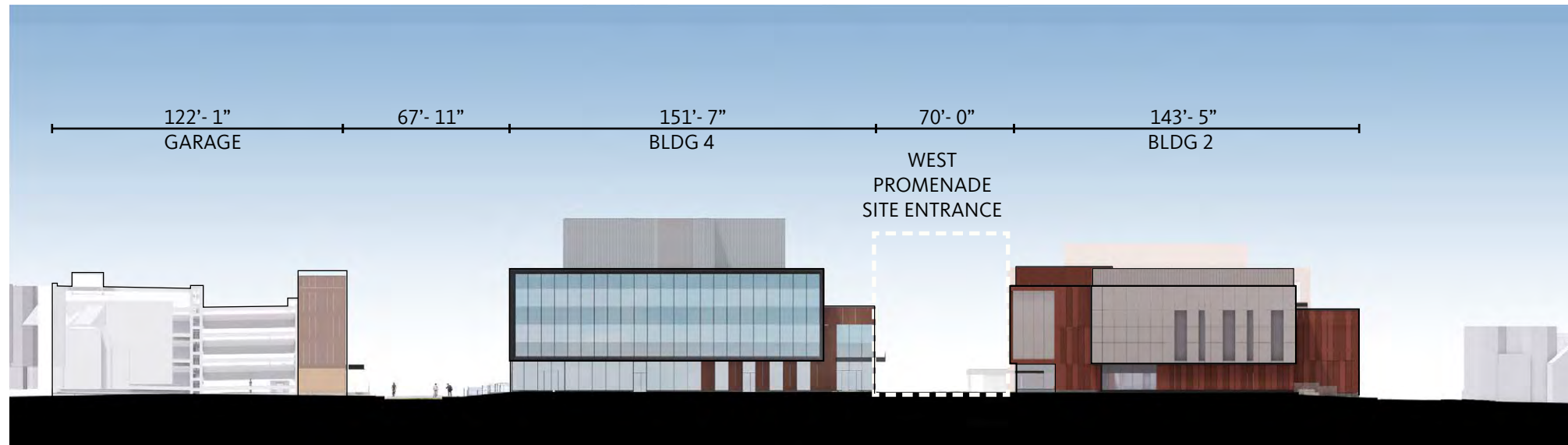


PROMENADE ELEVATION LOOKING NORTH

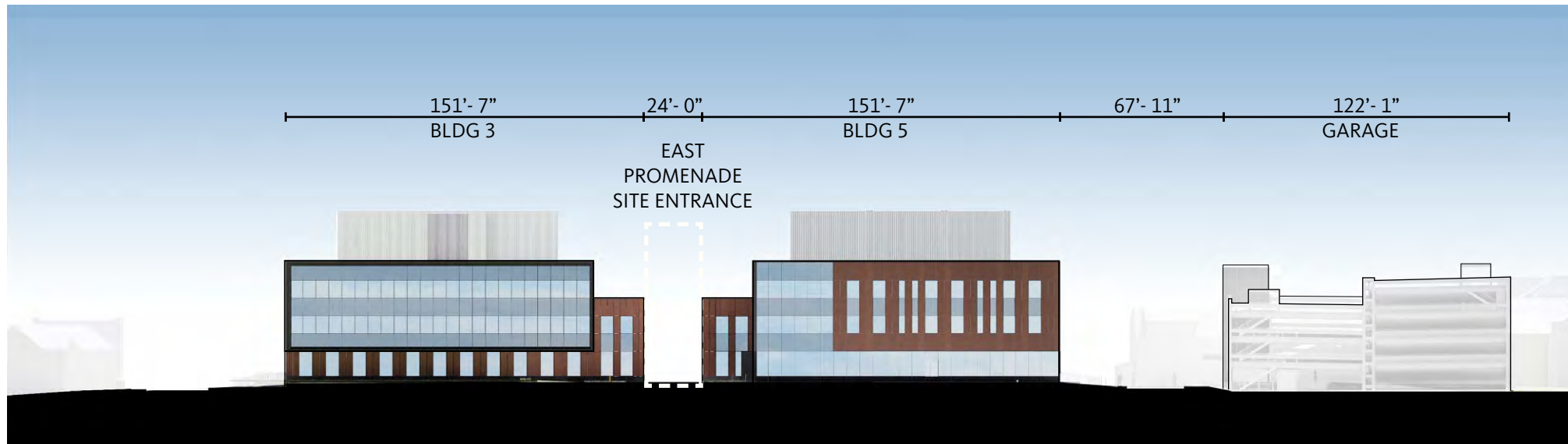
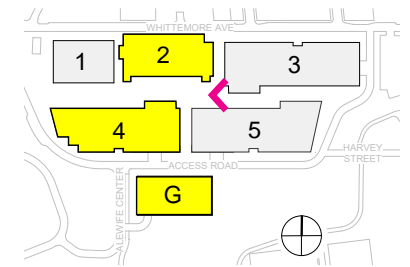
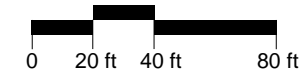


36-64 WHITTEMORE AVE.

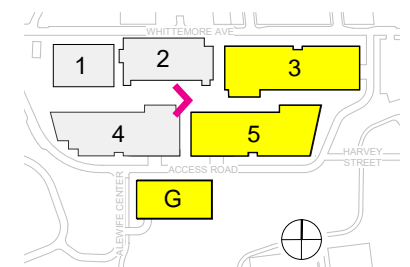
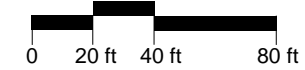
PROMENADE OVERALL ELEVATIONS



PROMENADE ELEVATION LOOKING WEST

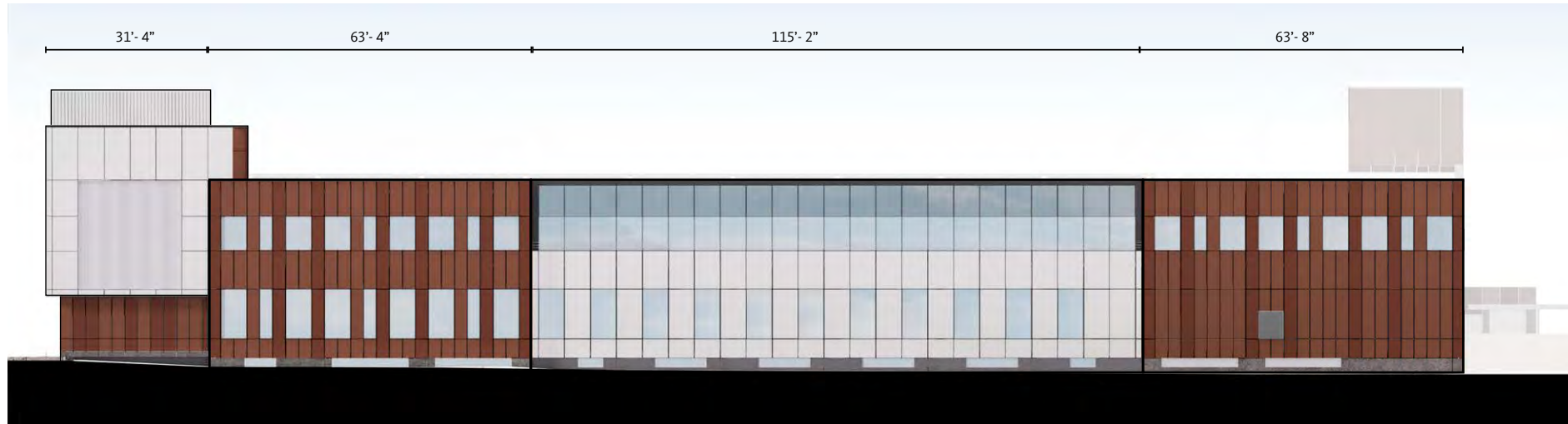


PROMENADE ELEVATION LOOKING EAST

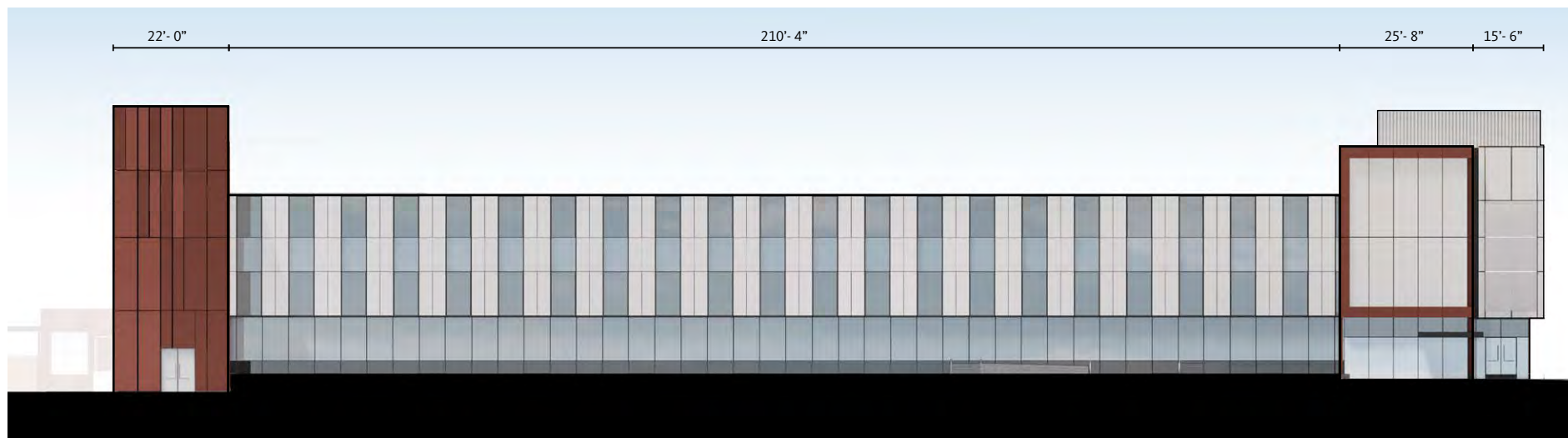
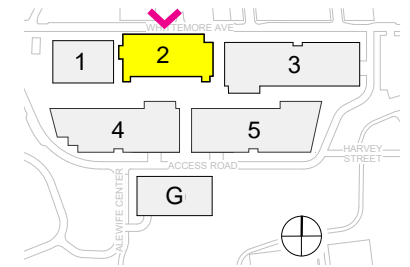
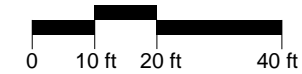


36-64 WHITTEMORE AVE.

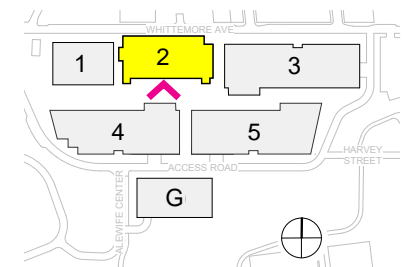
PROMENADE OVERALL ELEVATIONS



BLDG 2 NORTH ELEVATION (WHITTEMORE AVE)



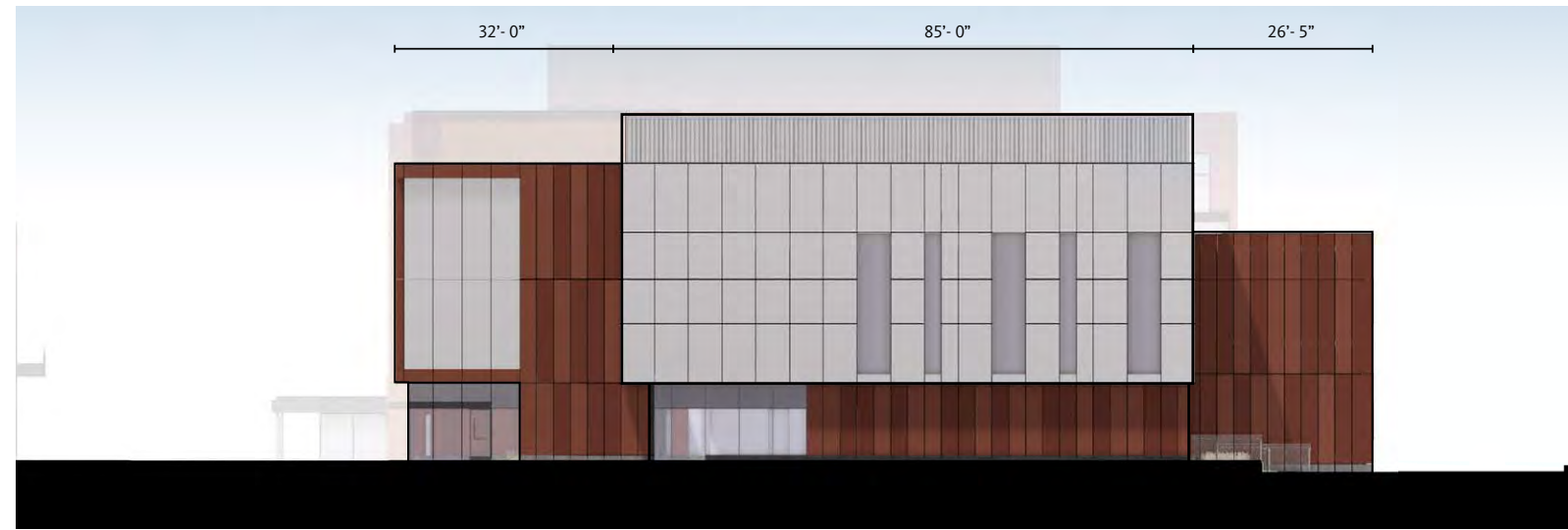
BLDG 2 SOUTH ELEVATION



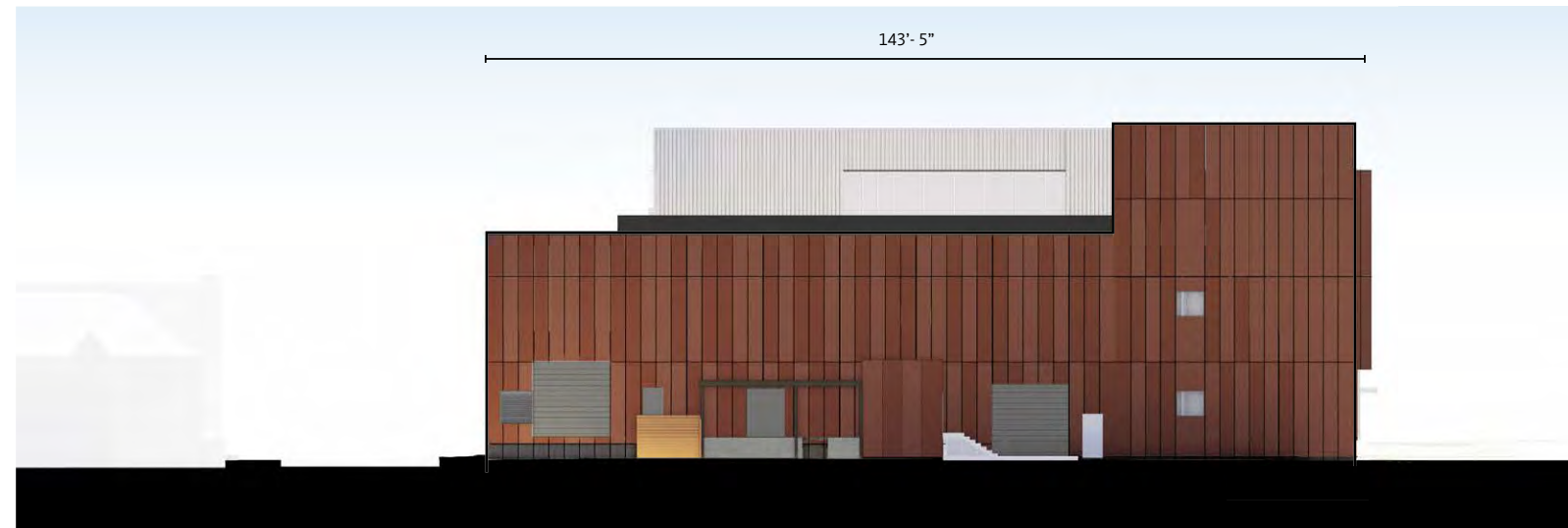
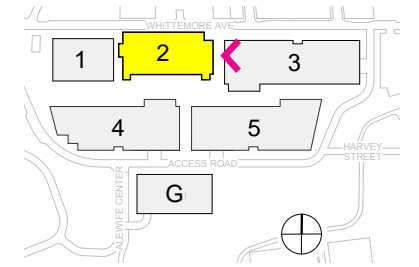
BLDG 2 WINDOW-TO-WALL RATIO (WWR): **29% VISION GLASS**
 VISION GLASS SPECIFICATION: **GUARDIAN GLASS SNX-62/27, 11/12% IN/OUT VISIBLE REFLECTANCE**
GUARDIAN GLASS SNX-51/23, 14/14% IN/OUT VISIBLE REFLECTANCE

36-64 WHITTEMORE AVE.

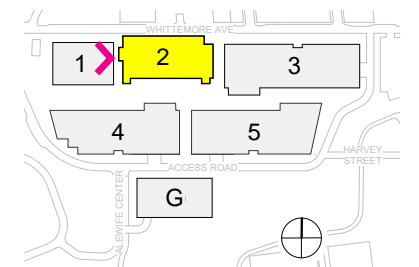
BLDG 2 ELEVATIONS



BLDG 2 EAST ELEVATION



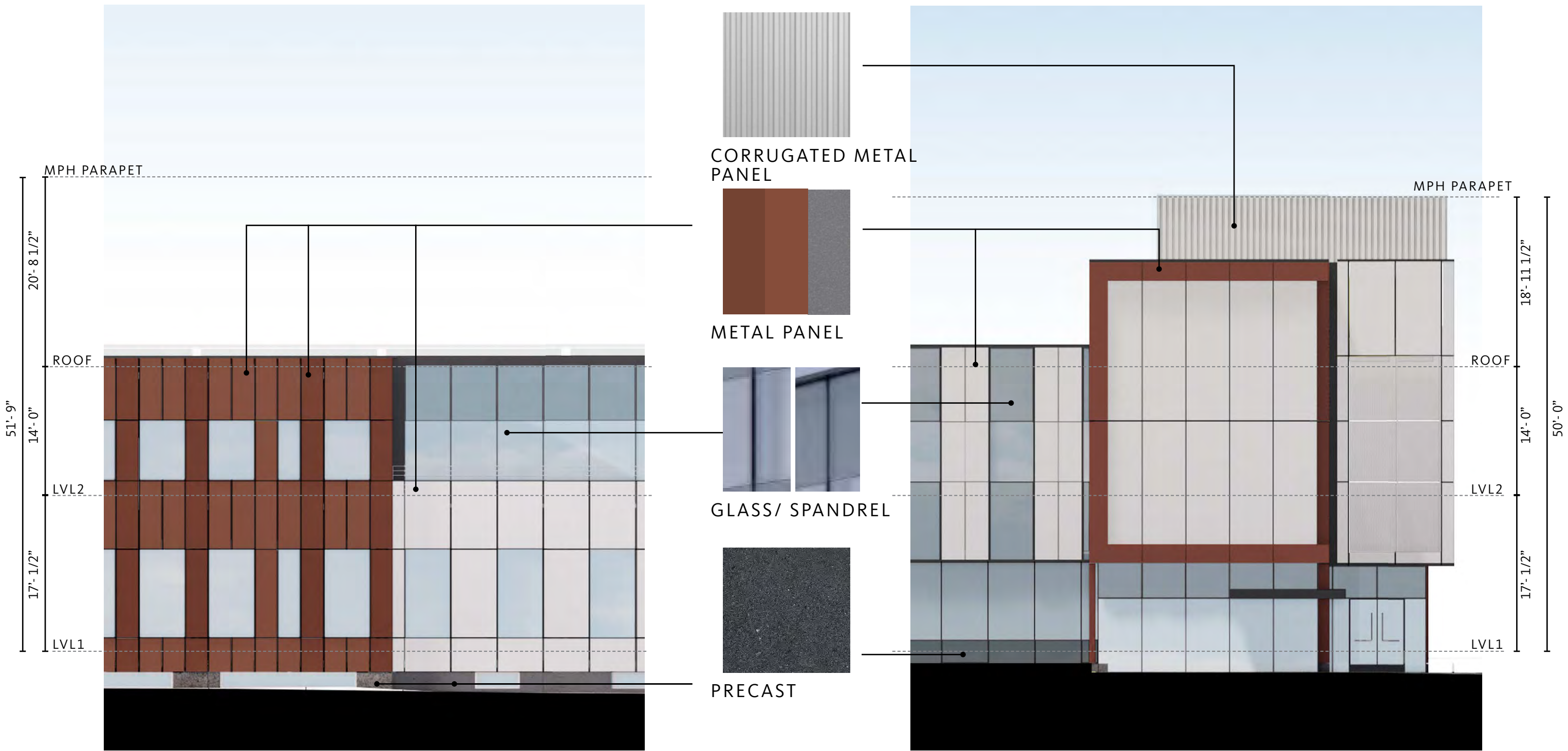
BLDG 2 WEST ELEVATION



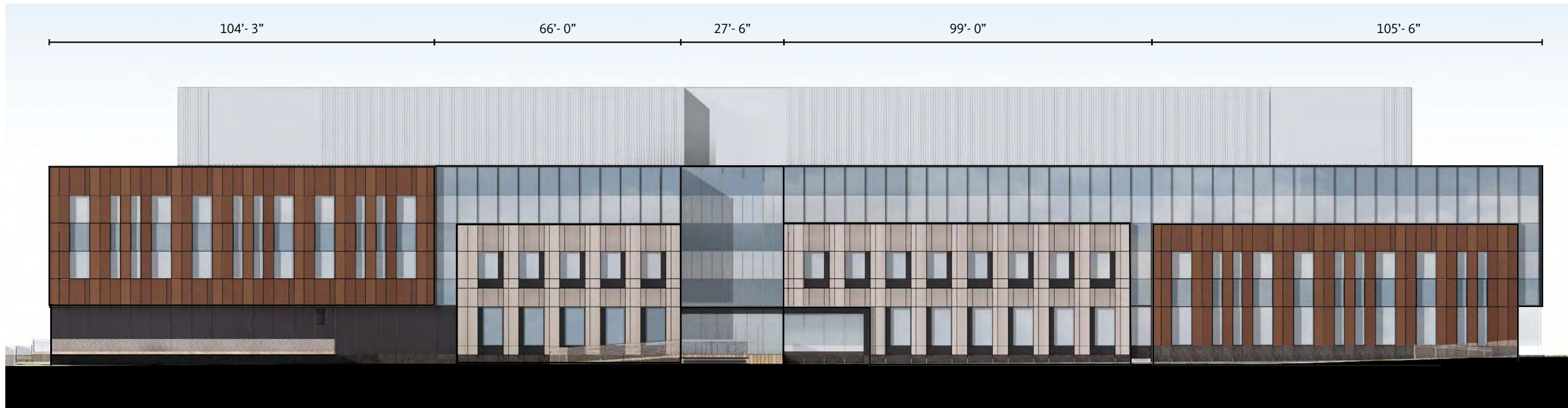
BLDG 2 WINDOW-TO-WALL RATIO (WWR): **29% VISION GLASS**
 VISION GLASS SPECIFICATION: **GUARDIAN GLASS SNX-62/27, 11/12% IN/OUT VISIBLE REFLECTANCE**
GUARDIAN GLASS SNX-51/23, 14/14% IN/OUT VISIBLE REFLECTANCE

36-64 WHITTEMORE AVE.

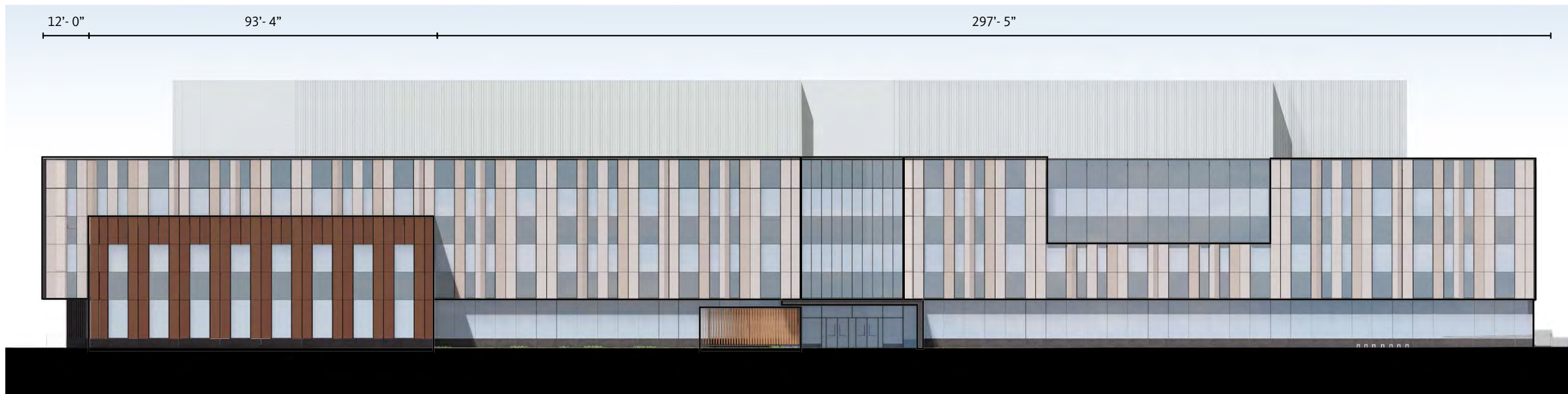
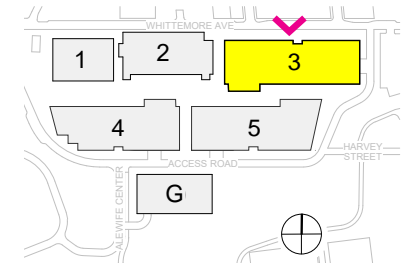
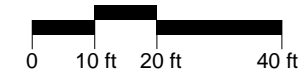
BLDG 2 ELEVATIONS



36-64 WHITTEMORE AVE.
BLDG 2 MATERIAL PALETTE



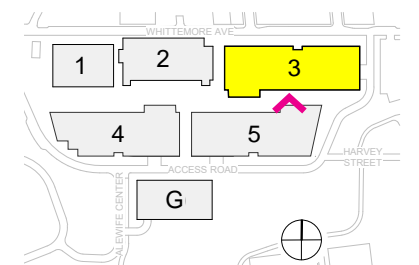
BLDG 3 NORTH ELEVATION (WHITTEMORE AVE)



BLDG 3 SOUTH ELEVATION

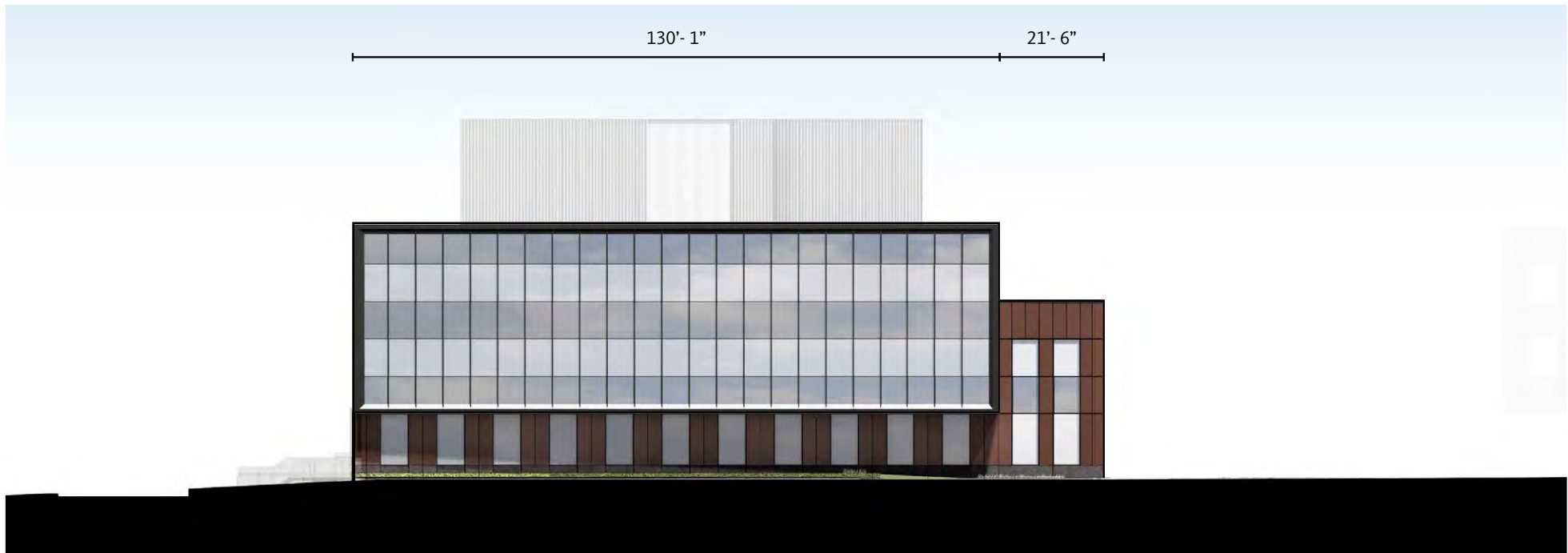
BLDG 3 WINDOW-TO-WALL RATIO (WWR): **29% VISION GLASS**

VISION GLASS SPECIFICATION: **GUARDIAN GLASS SNX-62/27, 11/12% IN/OUT VISIBLE REFLECTANCE**
GUARDIAN GLASS SNX-51/23, 14/14% IN/OUT VISIBLE REFLECTANCE

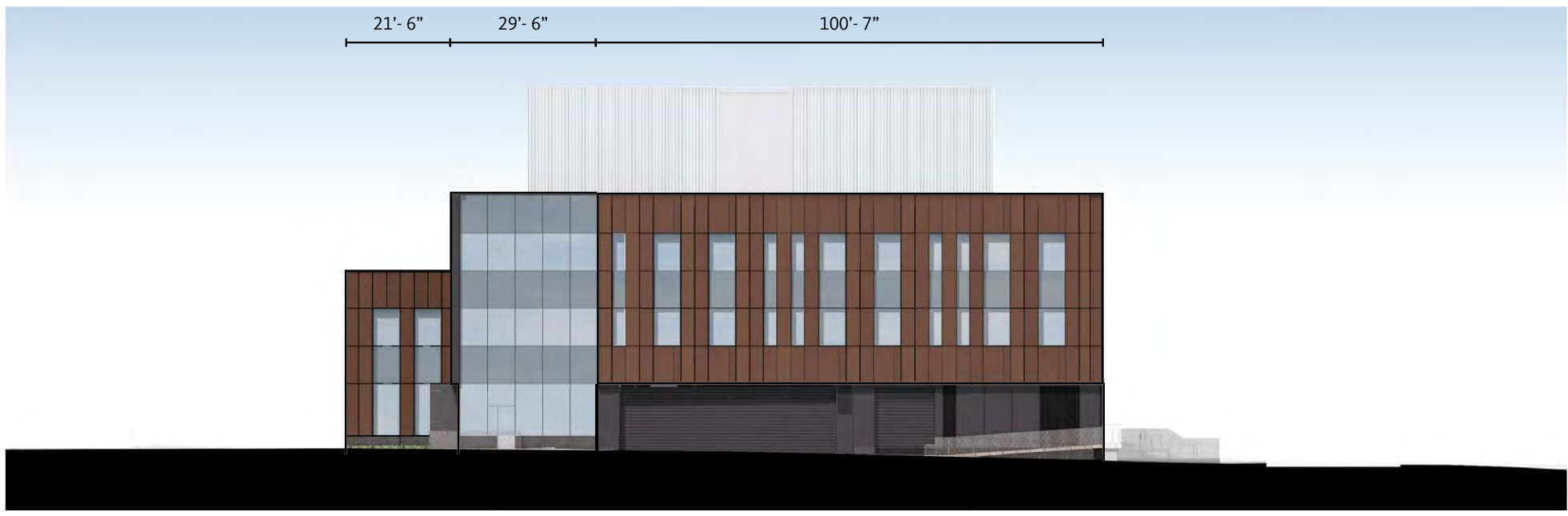
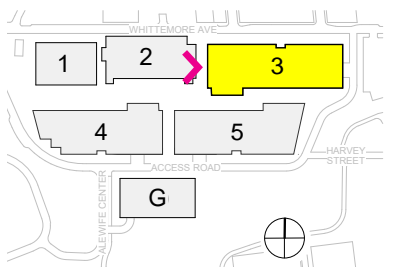
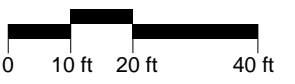


36-64 WHITTEMORE AVE.

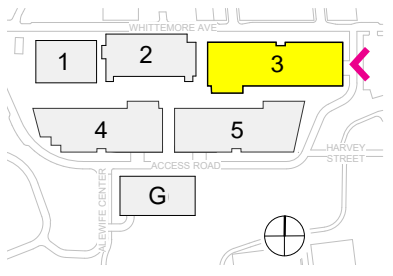
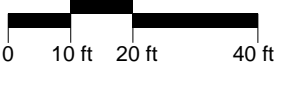
BLDG 3 ELEVATIONS



BLDG 3 WEST ELEVATION



BLDG 3 EAST ELEVATION



BLDG 3 WINDOW-TO-WALL RATIO (WWR): **29% VISION GLASS**
 VISION GLASS SPECIFICATION: **GUARDIAN GLASS SNX-62/27, 11/12% IN/OUT VISIBLE REFLECTANCE**
GUARDIAN GLASS SNX-51/23, 14/14% IN/OUT VISIBLE REFLECTANCE

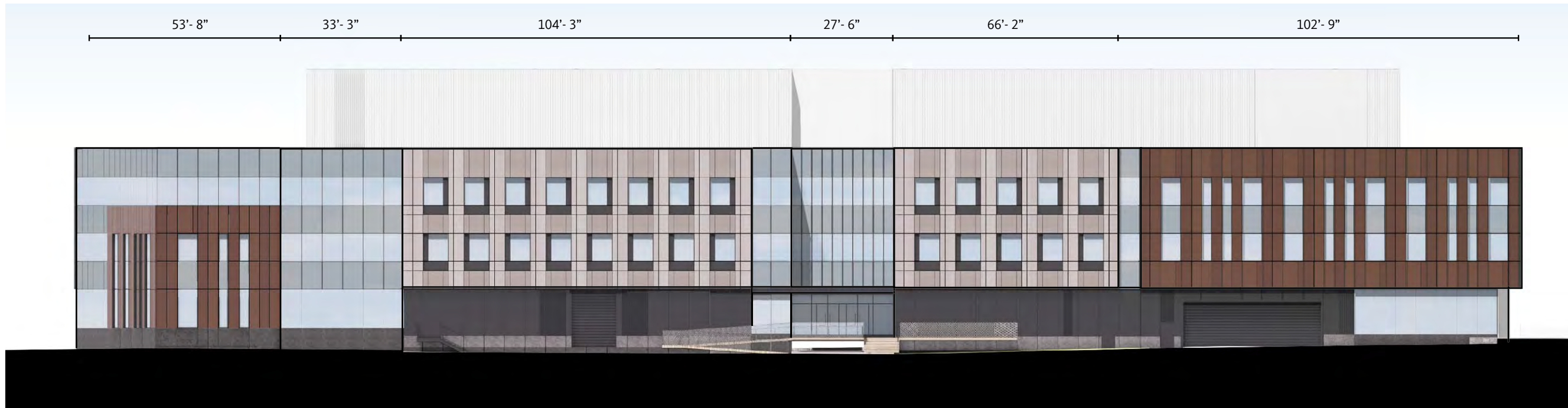
36-64 WHITTEMORE AVE.

BLDG 3 ELEVATIONS

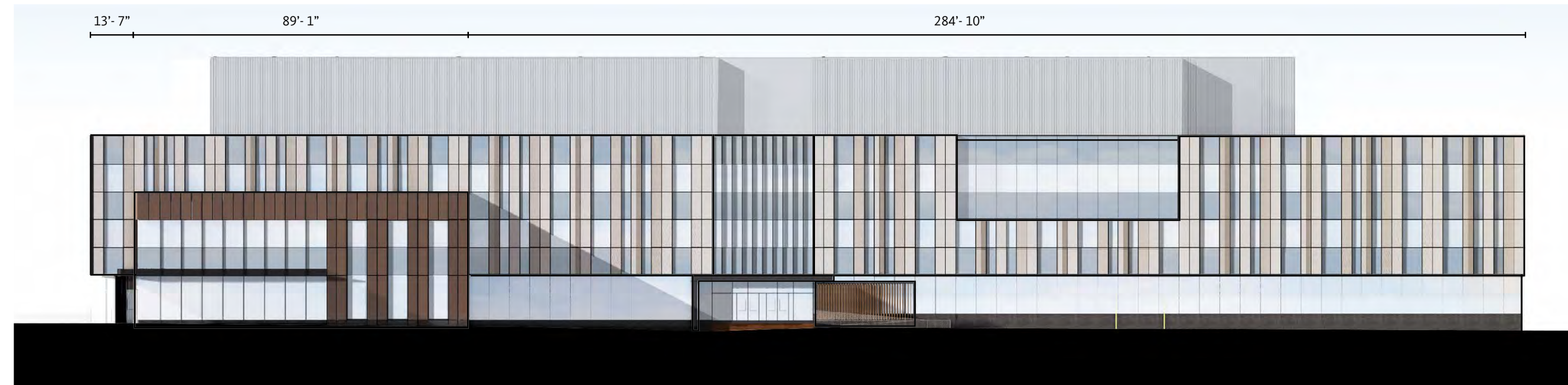
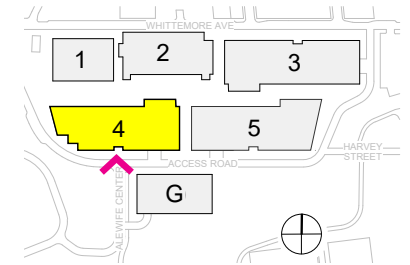
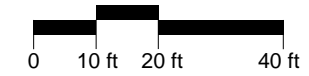


36-64 WHITTEMORE AVE.

BLDG 3 MATERIAL PALETTE



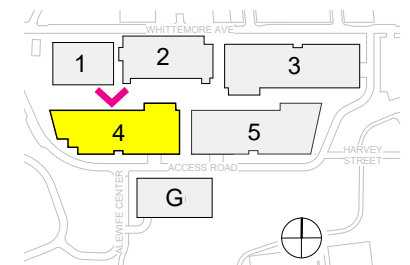
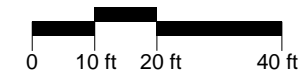
BLDG 4 SOUTH ELEVATION



BLDG 4 NORTH ELEVATION

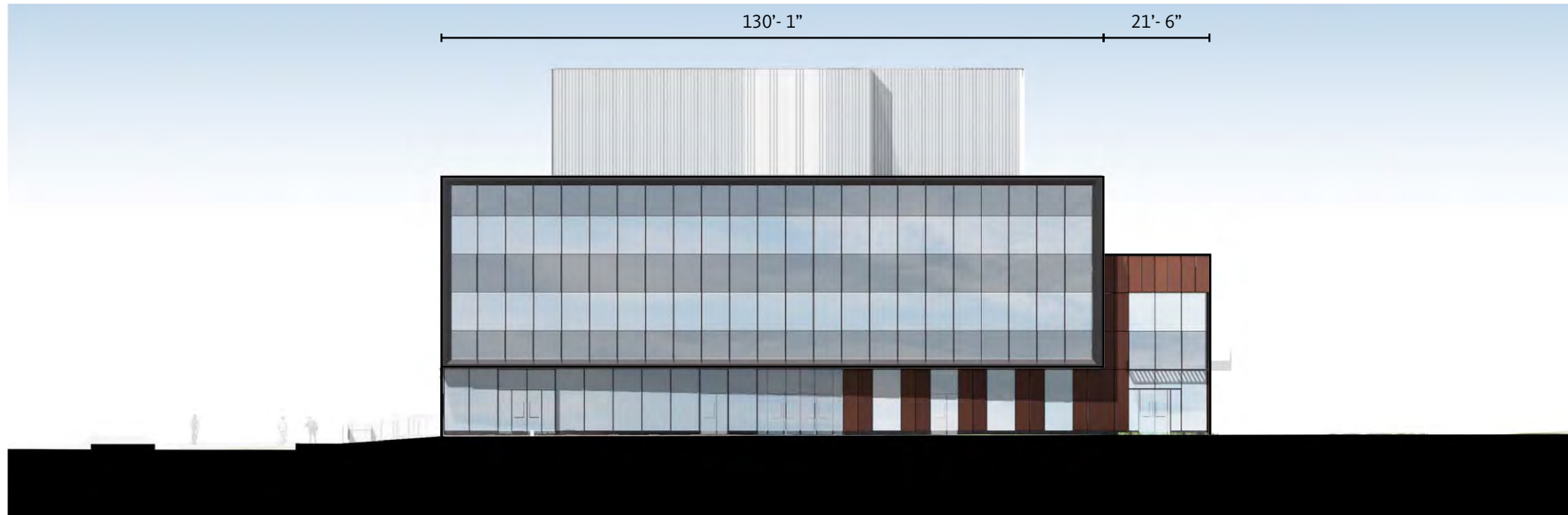
BLDG 4 WINDOW-TO-WALL RATIO (WWR): **31% VISION GLASS**

VISION GLASS SPECIFICATION: **GUARDIAN GLASS SNX-62/27, 11/12% IN/OUT VISIBLE REFLECTANCE**
GUARDIAN GLASS SNX-51/23, 14/14% IN/OUT VISIBLE REFLECTANCE

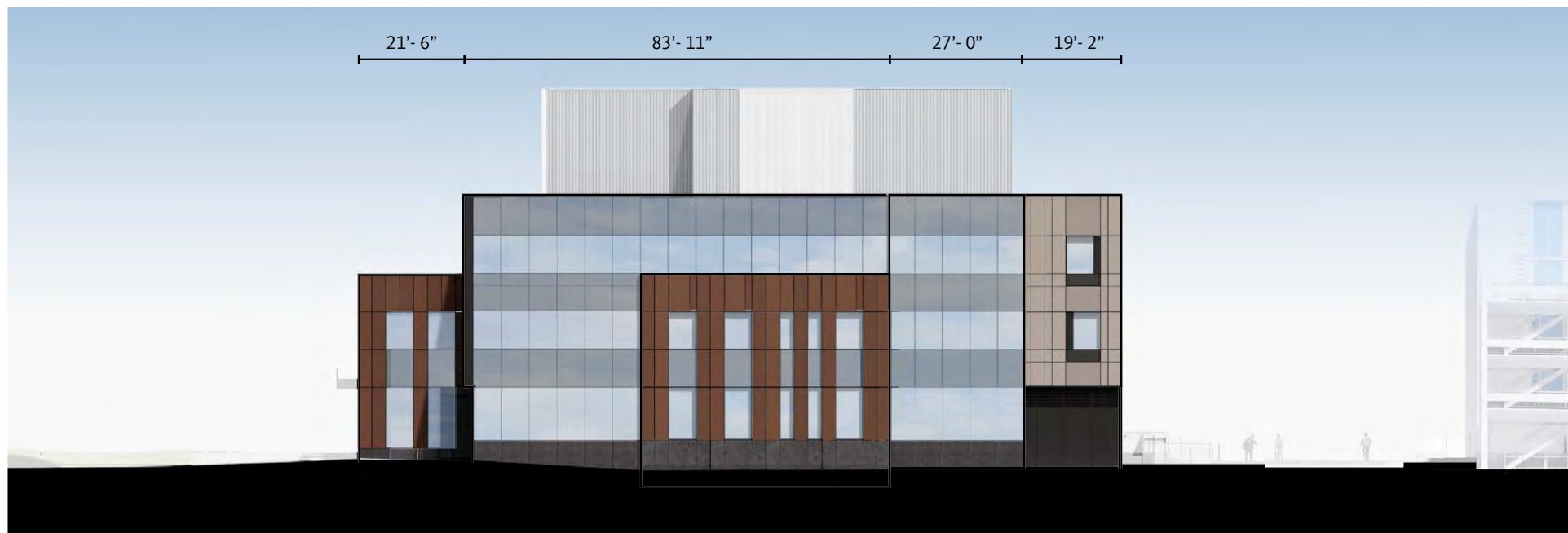
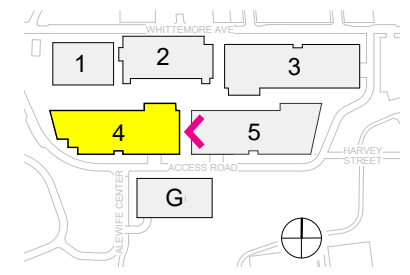
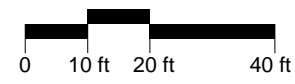


36-64 WHITTEMORE AVE.

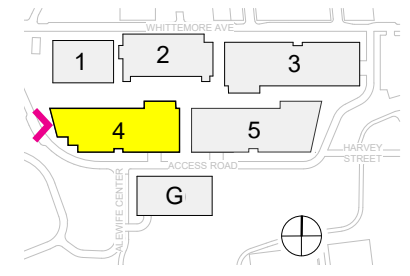
BLDG 4 ELEVATIONS



BLDG 4 EAST ELEVATION



BLDG 4 WEST ELEVATION



BLDG 4 WINDOW-TO-WALL RATIO (WWR): **31% VISION GLASS**
 VISION GLASS SPECIFICATION: **GUARDIAN GLASS SNX-62/27, 11/12% IN/OUT VISIBLE REFLECTANCE**
GUARDIAN GLASS SNX-51/23, 14/14% IN/OUT VISIBLE REFLECTANCE

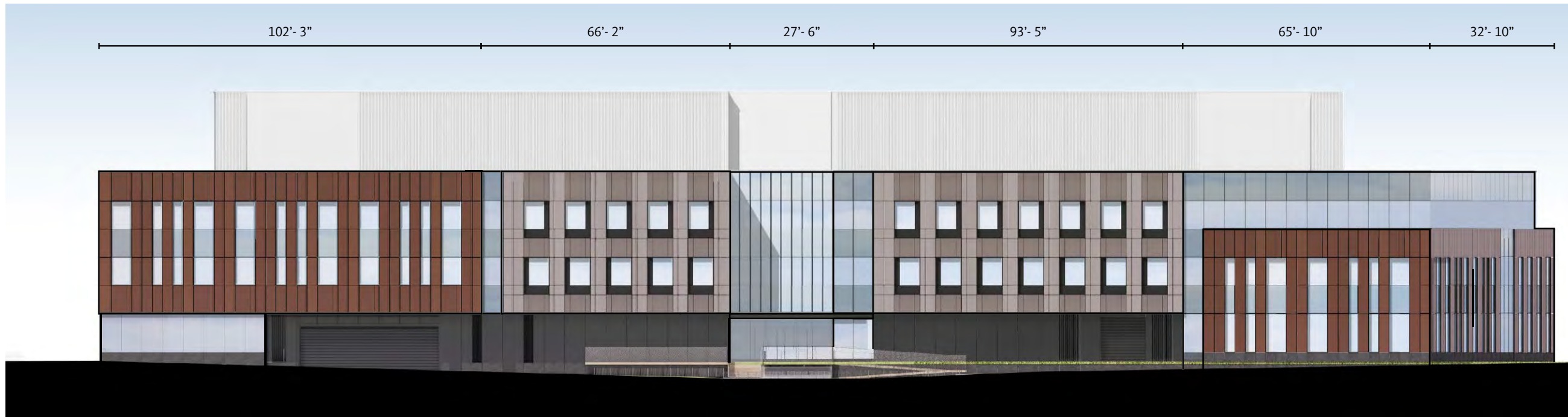
36-64 WHITTEMORE AVE.

BLDG 4 ELEVATIONS

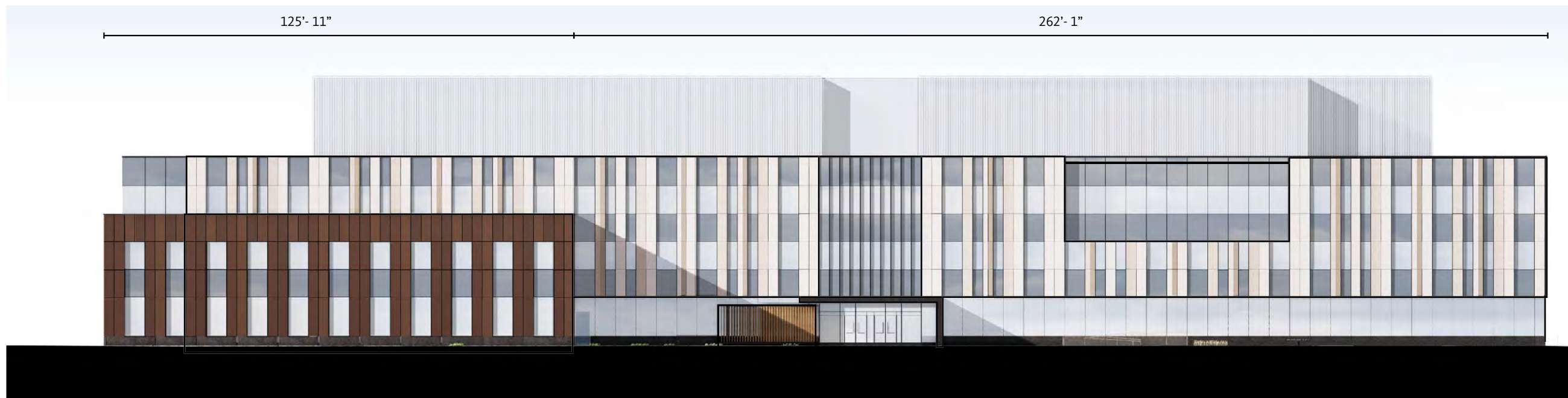
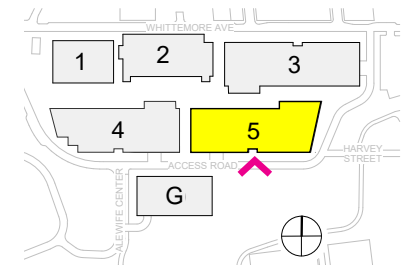


36-64 WHITTEMORE AVE.

BLDG 4 MATERIAL PALETTE



BLDG 5 SOUTH ELEVATION

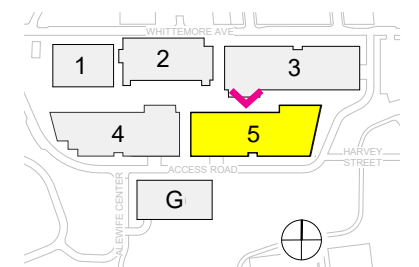
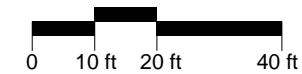


BLDG 5 NOUTH ELEVATION

BLDG 5 WINDOW-TO-WALL RATIO (WWR): **29% VISION GLASS**

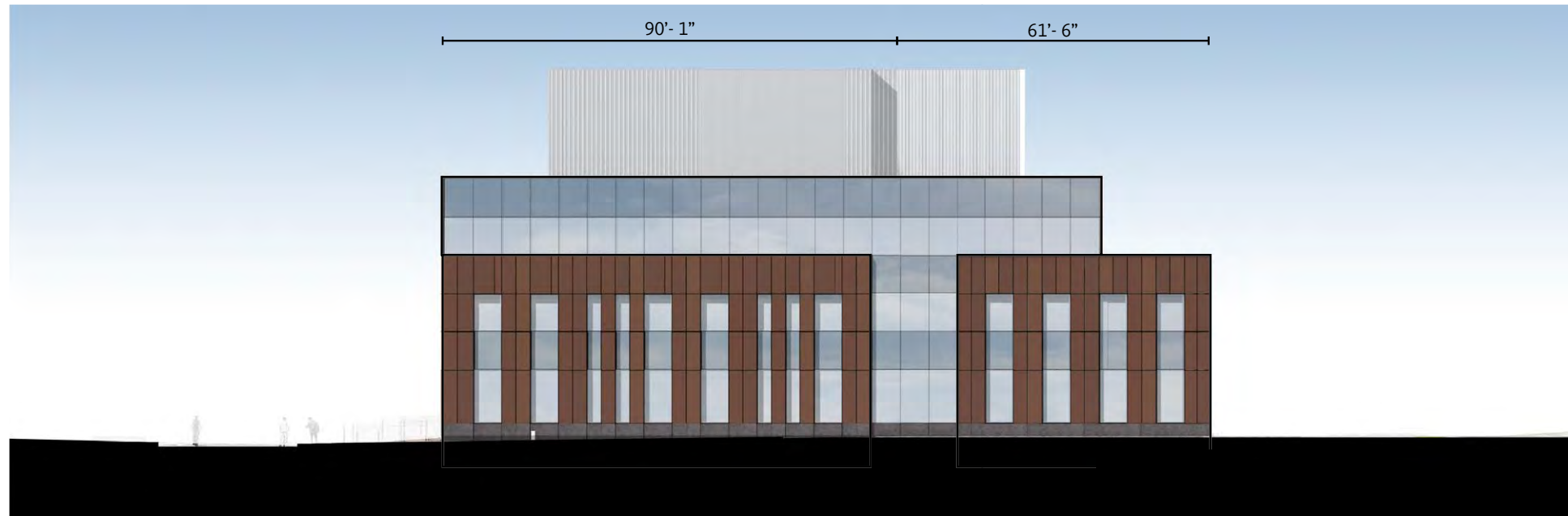
VISION GLASS SPECIFICATION: **GUARDIAN GLASS SNX-62/27, 11/12% IN/OUT VISIBLE REFLECTANCE**

GUARDIAN GLASS SNX-51/23, 14/14% IN/OUT VISIBLE REFLECTANCE

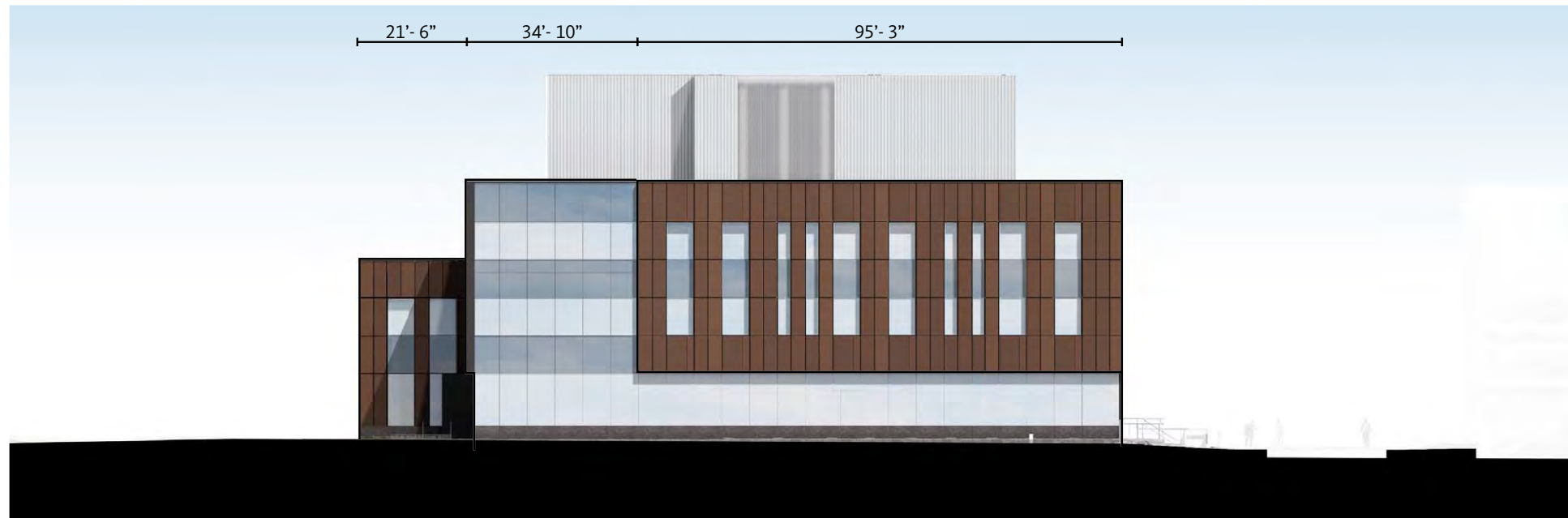
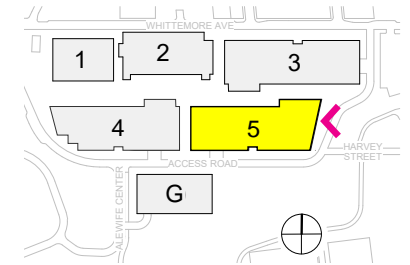
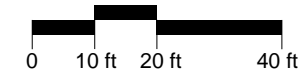


36-64 WHITTEMORE AVE.

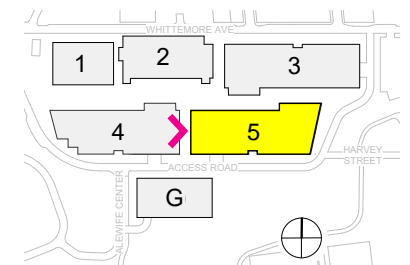
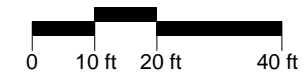
BLDG 5 ELEVATIONS



BLDG 5 EAST ELEVATION



BLDG 5 WEST ELEVATION



BLDG 5 WINDOW-TO-WALL RATIO (WWR): **29% VISION GLASS**

VISION GLASS SPECIFICATION: **GUARDIAN GLASS SNX-62/27, 11/12% IN/OUT VISIBLE REFLECTANCE**

GUARDIAN GLASS SNX-51/23, 14/14% IN/OUT VISIBLE REFLECTANCE

36-64 WHITTEMORE AVE.

BLDG 5 ELEVATIONS



36-64 WHITTEMORE AVE.

BLDG 5 MATERIAL PALETTE