



- BATHROOM
- CIRCULATION
- CLC
- LOBBY
- PACKAGE ROOM
- DOG WASH
- BOH
- FIRE PUMP
- JC
- BIKE STORAGE
- PARKING RAMP
- MAIL ROOM
- MAIN SWITCHBOARD ROOM
- ELEC
- LOADING
- OVERSIZED PACKAGE ROOM
- OFFICE
- MAINTENANCE
- RETAIL 1
- RETAIL 2
- RETAIL 3
- RETAIL 4A
- RETAIL 4B
- RETAIL 4C
- RETAIL 5
- RETAIL 6
- RETAIL 7
- RETAIL 8
- RETAIL 9
- RETAIL 10
- RETAIL 11
- TRASH
- RETAIL TRASH
- T/O

# M+M RETAIL PROGRAM 1ST FLOOR PLAN

1/16" = 1'-0"

MASS + MAIN

12/11/2019



No.	Date	Description

# CRUMBL COOKIES - MARKET CENTRAL

425 MASS AVE  
CAMBRIDGE, MA 02139

## DRAWING INDEX

GENERAL PROJECT INFORMATION		MECHANICAL DRAWINGS	
G0.0	COVER SHEET	M0.1	HVAC SPECIFICATIONS AND SYMBOLS
G1.1	ACCESSIBILITY DETAILS	M1.1	HVAC PLAN AND SCHEDULES
G1.2	SITE PLAN	M5.1	HVAC DETAILS
ARCHITECTURAL DRAWINGS		M5.2	HVAC DETAILS
A1.1	DEMOLITION PLAN, REMODEL FLOOR PLAN & RCP	M7.1	HVAC COMCHECK
A2.1	INTERIOR ELEVATIONS	M7.2	HVAC COMCHECK
A2.2	INTERIOR ELEVATIONS	PLUMBING DRAWINGS	
A6.1	EQUIPMENT PLAN AND SCHEDULES	P0.1	PLUMBING SPECIFICATIONS AND SYMBOLS
A6.2	DOOR SCHEDULE	P1.1	PLUMBING PLANS
A6.3	WIRE SHELVING DETAILS	P5.1	PLUMBING SCHEDULES AND RISER DIAGRAMS
A6.4	FINISH PLAN AND DETAILS	P6.1	PLUMBING DETAILS
A7.1	CABINETRY PLAN AND SECTIONS	P7.1	PLUMBING COMCHECK
A7.2	SECTIONS AND DETAILS	ELECTRICAL DRAWINGS	
A7.3	WALL & CEILING DETAILS	E0.1	ELECTRICAL SPECIFICATIONS AND SYMBOLS
		E1.1	ELECTRICAL PLANS
		E5.1	ELECTRICAL ELEVATIONS
		E5.2	ELECTRICAL DETAILS
		E5.3	ELECTRICAL DETAILS
		E6.1	ELECTRICAL SCHEDULES AND RISER DIAGRAM
		E7.1	LIGHTING COMCHECK

## DESIGN CRITERIA

APPLICABLE CODE:
780 CMR
780 CMR
248 CMR
780 CMR
STRETCH ENERGY CODE
527 CMR
ACCESSIBILITY
I.C.C. A.N.S.I. 117.1 - 2009

## SCOPE OF WORK

CONSTRUCTION OF INTERIOR PARTITION WALLS, TRANSACTION COUNTERS AND NEW FINISHES, INSTALLATION OF KITCHEN EQUIPMENT AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS AS REQUIRED BY RETAIL BAKERY FUNCTIONS AND APPLICABLE CODES. SCOPE OF WORK TO INCLUDE THE REUSE OF ELECTRICAL SERVICE PANEL AND EXISTING ROOF TOP UNIT.

## PROJECT DIRECTORY

<b>OWNER</b> CRUMBL COOKIES GOPA MENON (781) 588-1251 ma.stationlanding@crumbl.com	<b>MEP CONSULTANT</b> PBS CONSULTING ENGINEERS INC. 312 RAHWAY ROAD EDISON, NJ 08820 (732) 895-8800 pathik@pbs-engineers.com
<b>ARCHITECT</b> JZW ARCHITECTS SYDNEY GARCIA SARA CASH 45 E. CENTER ST., SUITE 202 NORTH SALT LAKE, UT 84054 (385) 324-9050 sydneyg@jzw-a.com	

## DEFERRED SUBMITTALS

FIRE ALARM SYSTEM  
FIRE SPRINKLER SYSTEM

## PROJECT INFORMATION

THESE DRAWINGS ARE PART OF A SET OF CONSTRUCTION DOCUMENTS. THE CONSTRUCTION DOCUMENTS CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS:

CONSTRUCTION DRAWINGS  
SPECIFICATIONS  
STRUCTURAL CALCULATIONS  
CONTRACT FORMS AND CONDITIONS  
ADDENDA  
MODIFICATIONS AND REVISIONS

CONTRACTORS, SUBCONTRACTORS, AND OTHERS WHO PROVIDE LABOR AND/OR MATERIALS REFERENCING THESE DRAWINGS ARE RESPONSIBLE FOR OBTAINING AND REVIEWING ALL CURRENT CONSTRUCTION DOCUMENTS.

CONTRACTORS, SUBCONTRACTORS, AND OTHERS ARE TO REPORT ANY DISCREPANCIES OR ERRORS TO JZW ARCHITECTURE, INC. IMMEDIATELY. ANY CHANGES TO THE PROJECT WILL BE VERIFIED WITH THE OWNER BY THE ARCHITECT AND REVISIONS WILL BE ISSUED BY ARCHITECT. CONTRACTORS ARE NOT TO MAKE ALTERATIONS OF ANY KIND WITHOUT THE PRIOR WRITTEN CONSENT OF ARCHITECT. DISCREPANCIES NOT REPORTED IMMEDIATELY ARE RESPONSIBILITY OF CONTRACTOR.

CONTRACTORS SHALL NOT SCALE FROM DRAWINGS. DIMENSIONS ARE PROVIDED TO ALLOW FOR ACCURATE CONSTRUCTION OF BUILDING. QUESTIONS ARISING FROM DIMENSIONS SHOULD BE RESOLVED BY CONTACTING ARCHITECT.

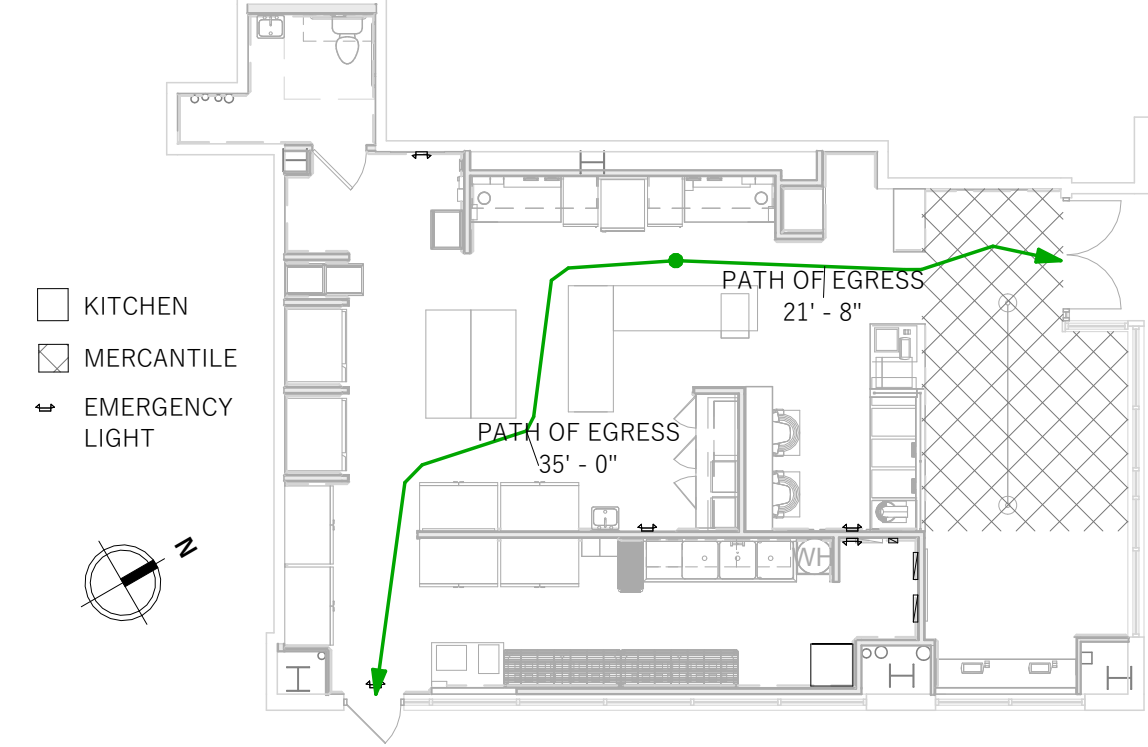
## GENERAL PROJECT NOTES

GENERAL PROJECT NOTES		GENERAL FINISH NOTES	
①	ALL DIMENSIONS TO NEW WALLS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO EXISTING WALLS ARE TO FACE OF FINISH. EXISTING DIMENSIONS WERE PROVIDED BY OWNER. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.	①	ALL INTERIOR WALLS TO BE WRAPPED WITH 5/8" GYPSUM WALL BOARD, TAPED, FILLED, AND FINISHED AS PER ROOM FINISH SCHEDULE AND OWNER.
②	CONTRACTOR TO VERIFY EXISTING CONDITIONS. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR SHALL SUBMIT SPECIFIC DISCREPANCIES FOR ARCHITECT REVIEW.	②	SEE FLOOR PLANS AND/OR FINISH SCHEDULE FOR FINISH FLOOR MATERIALS.
③	IN ALL AREAS OF CONSTRUCTION, PROTECT ALL EXISTING WALLS, CEILINGS, FLOORING FINISHES, EQUIPMENT, FURNITURE, ACCESSORIES, AND ALL EXISTING BUILDING ELEMENTS TO REMAIN FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING, REPAIR, AND/OR REPLACEMENTS OF ALL SUCH ITEMS AT NO EXPENSE TO OWNER IF DAMAGE OCCURS.	③	OWNER TO SELECT ALL HARDWARE, FIXTURES, APPLIANCES, ETC. CONTRACTOR TO INSTALL AS PER OWNER.
GENERAL FRAMING NOTES		④	ALL SPECIAL ACCESSIBILITY FACILITIES SHALL BE IDENTIFIED WITH APPROPRIATE SIGNAGE.
①	ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO ANY WORK.	⑤	IN ALL AREAS SCHEDULED TO RECEIVE NEW WALL FINISH, CLEAN, PATCH, AND REPAIR ALL WALLS IN PREPARATION FOR NEW PAINT OR FINISH. COORDINATE REMOVAL OF EXISTING WALL ITEMS AND ACCESSORIES WITH OWNER.
②	ALL INTERIOR WALLS TO BE 3 5/8" METAL STUDS AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE ALL BACKING FOR EQUIPMENT AS REQUIRED.	⑥	AT WALL TRANSITIONS FROM NEW TO EXISTING WALLS, PATCH REPAIR AND/OR REPLACE GYP. BOARD AS REQUIRED TO PROVIDE FLUSH TRANSITION BETWEEN NEW AND EXISTING WALL SURFACES.
③	ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NOTED EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C.), AND LOCAL ORDINANCES.	⑦	IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND LOCATE ELECTRICAL, DATA, AND PHONE RECEPTACLES, SWITCHES, ETC. TO AVOID CASEWORK, DOORS ETC.
④	ALL STRUCTURAL PLYWOOD SHALL BE STRUCTURAL GRADE I OR STRUCTURAL GRADE II.	GENERAL PLUMBING, ELECTRICAL, EQUIPMENT NOTES	
GENERAL THERMAL, MOISTURE, AND ACOUSTICAL PROTECTION NOTES		①	EXISTING CONDITIONS FOR ALL BUILDING SYSTEMS: PLUMBING, MECHANICAL, ELECTRICAL, SEWER, FIRE PROTECTION, STRUCTURAL, ETC. WERE PROVIDED BY OWNER. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
①	AIRTIGHT DRYWALL SYSTEMS SHALL BE USED (USE VAPOR BARRIERS AT ALL EXTERIOR WALLS AND CEILINGS).	②	ALL ELECTRICAL FINISH HARDWARE TO BE SELECTED BY OWNER.
②	SEAL AROUND ALL ELECTRICAL, PLUMBING, OR MECHANICAL PENETRATIONS AT EXTERIOR WALL AND IN CEILING/FLOOR OR CEILING ROOF ASSEMBLIES.	③	PROVIDE (2) SEISMIC STRAPS (MIN.) FOR EVERY WATER HEATER.
③	ALL EXTERIOR WALL INSULATION TO MATCH EXISTING.	④	IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ASSURE REQUIRED PLUMBING AND ELECTRICAL SERVICE TO ALL FIXTURES AS INDICATED ON PLANS AND AS REQUIRED BY BUILDING CODE AND OWNER.
GENERAL DOOR NOTES		⑤	THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE WITH ALL TRADES, SIZES, AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT, EQUIPMENT PADS FOR BASES, AS WELL AS ELECTRIC POWER, WATER AND DRAIN INSTALLATIONS, BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL PROVIDE COORDINATION DRAWINGS FOR PROPER PLACEMENT OF ALL TRADES WORK, ANY CONCERNS, SPACE LIMITATIONS OR STRUCTURAL CONFLICTS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, A REASONABLE RESPONSE TIME SHALL BE ALLOWED.
①	COORDINATE WITH OWNER FOR DOOR MANUFACTURER.		
②	DOORS TO BE SOLID CORE, PAINT GRADE, COLOR TO BE SELECTED BY OWNER.		
③	DOOR HARDWARE TO BE SELECTED BY OWNER.		

## PROJECT LOCATION



## EGRESS PLAN

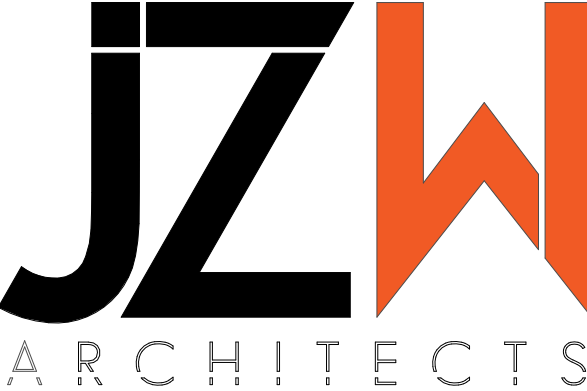


## CODE ANALYSIS

<b>CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION</b> 302 CLASSIFICATION, BUSINESS: GROUP B 304 BUSINESS GROUP B FOOD PROCESSING ESTABLISHMENTS AND COMMERCIAL KITCHENS NOT ASSOCIATED WITH RESTAURANTS, CAFETERIAS AND SIMILAR DINING FACILITIES NOT MORE THAN 2,500 SF IN AREA			
<b>CHAPTER 6: TYPES OF CONSTRUCTION</b> TYPE II-B			
<b>CHAPTER 9: FIRE PROTECTION SYSTEMS</b> 903 AUTOMATIC SPRINKLER SYSTEM EXISTING: EQUIPPED WITH AUTOMATIC SPRINKLER NFPA 13 FIRE SPRINKLER SYSTEM PROVIDED IN BUILDING			
<b>CHAPTER 10: MEANS OF EGRESS</b> 1004 OCCUPANT LOAD 1004.1 DESIGN OCCUPANT LOAD - TABLE 1004.1.2			
FUNCTION OF SPACE	LOAD FACTOR	AREA	# OCC.
MERCANTILE:	60 GROSS	193 SF	4
KITCHENS, COMMERCIAL:	200 GROSS	1171 SF	6
OCCUPIED SPACE		1364 SF	10
EMPLOYEE RESTROOM	NA	68 SF	NA
TOTAL AREA		1432 SF	10
1005 MEANS OF EGRESS SIZING 1005.2 MINIMUM WIDTH BASED ON COMPONENT MIN 36" PROVIDED			
1006 NUMBER OF EXITS AND EXIT ACCESS DOORWAYS TABLE 1006.2.1 SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY OCCUPANCY: B OCCUPANT LOAD OF SPACE: <30 COMMON PATH OF EGRESS TRAVEL DISTANCE W/ FS: <100FT ONE EXIT REQUIRED FROM EACH SPACE ONE EXIT PROVIDED FROM EACH SPACE			
<b>248 CMR 10.00: UNIFORM STATE PLUMBING CODE</b> (18) MINIMUM FACILITIES FOR BUILDING OCCUPANCY OTHER THAN RESIDENTIAL. (i) EMPLOYEE TOILET FACILITIES FOR (NON-INDUSTRIAL) ESTABLISHMENTS.			
4. IN BUSINESS OR COMMERCIAL ESTABLISHMENTS (EXCEPT INDUSTRIAL) WHERE THE TOTAL NUMBER OF EMPLOYEES THAT CAN BE ACCOMMODATED AT ANY ONE TIME IS 20 INDIVIDUALS AND THE TOTAL GROSS SPACE IS LESS THAN 2,000 SQUARE FEET, OR DO NOT HAVE REASONABLE ACCESS (WITHIN 300 FEET AND ON THE SAME FLOOR) TO CORE OR COMMON TOILET FACILITIES, ONE TOILET ROOM LOCATED WITHIN THE ESTABLISHMENT PROVIDED WITH THE NUMBER OF FIXTURES ACCORDING TO THE STANDARD SET FORTH IN 248 CMR 10.10(18): TABLE 1 FOR EMPLOYEE FACILITIES, SHALL MEET THE MINIMUM REQUIREMENT.			

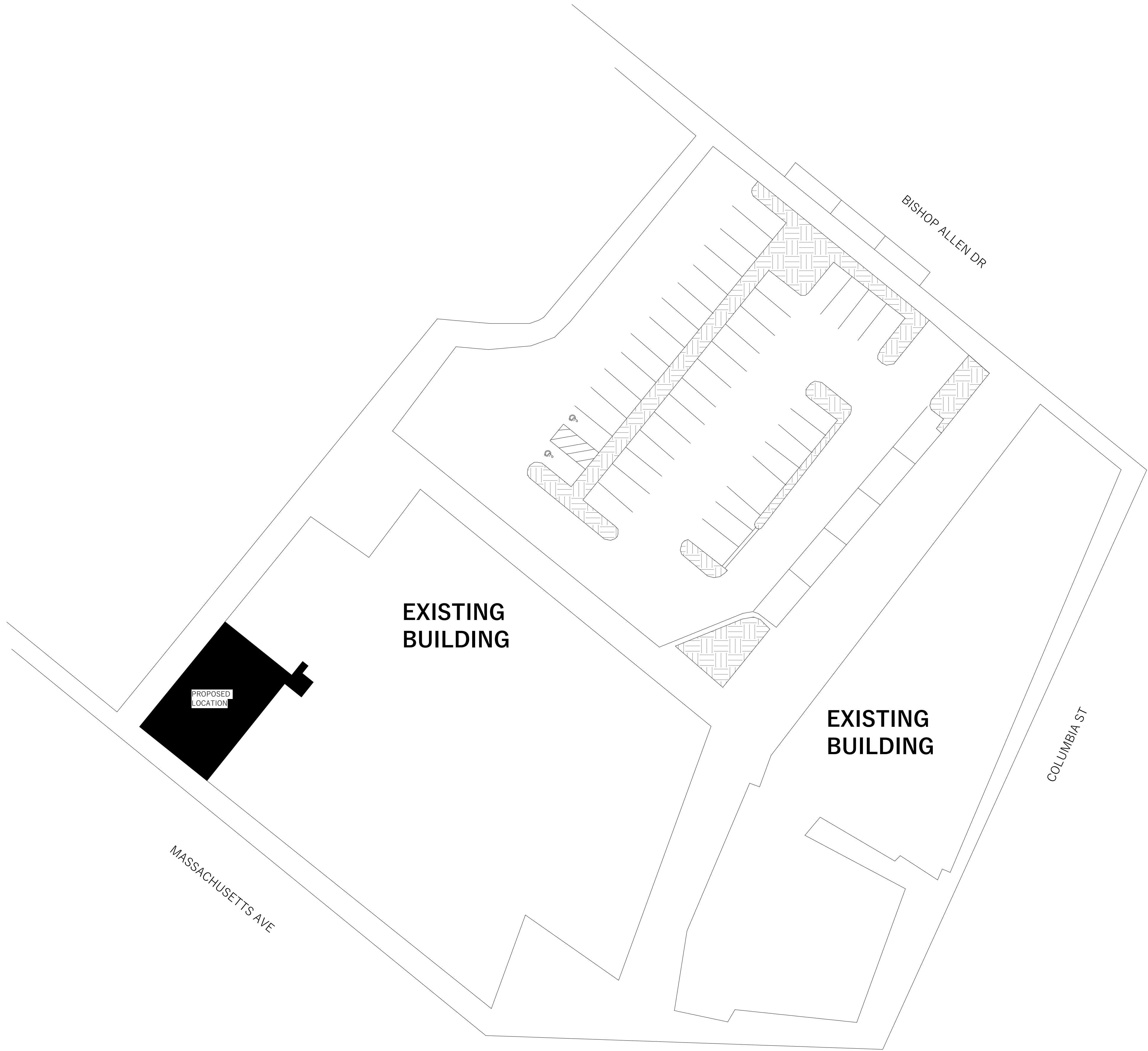


1-4-2023



CRUMBL COOKIES - MARKET CENTRAL





1  
G1.2

N

SITE PLAN  
12" = 1'-0"

PROJECT NUMBER

21-383

ISSUE DATE:

MAY 23, 2022

REVISIONS:

No.	Date	Description
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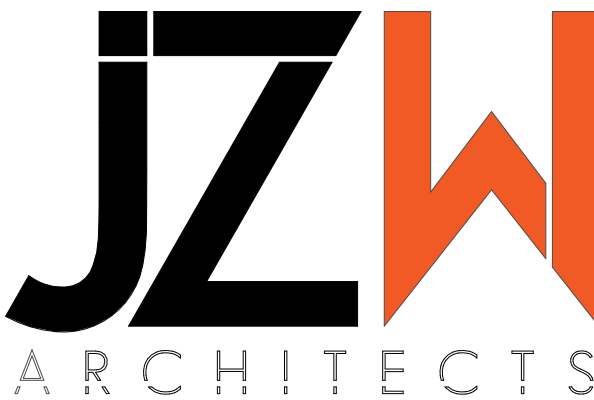
CONSULTANT

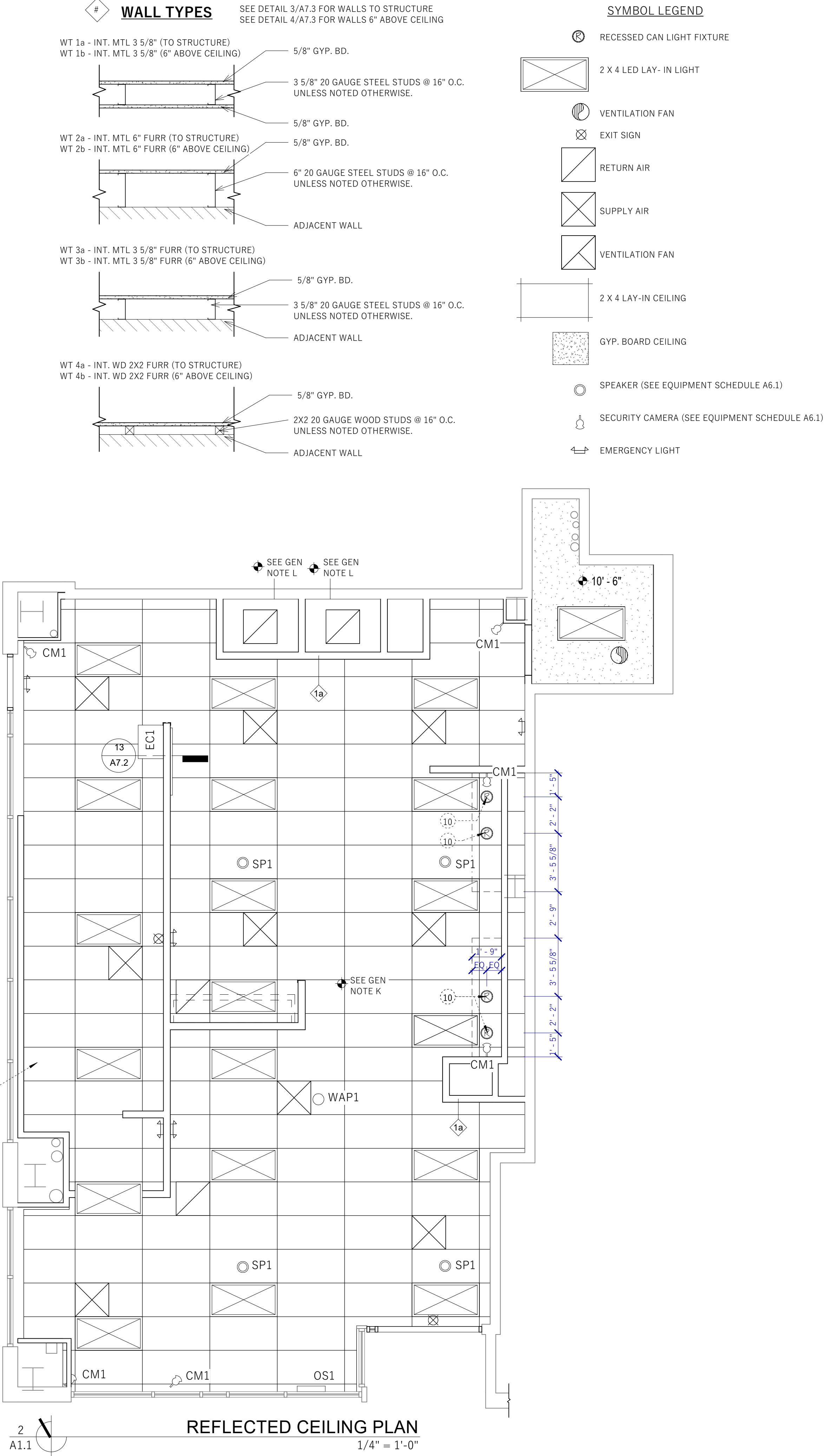
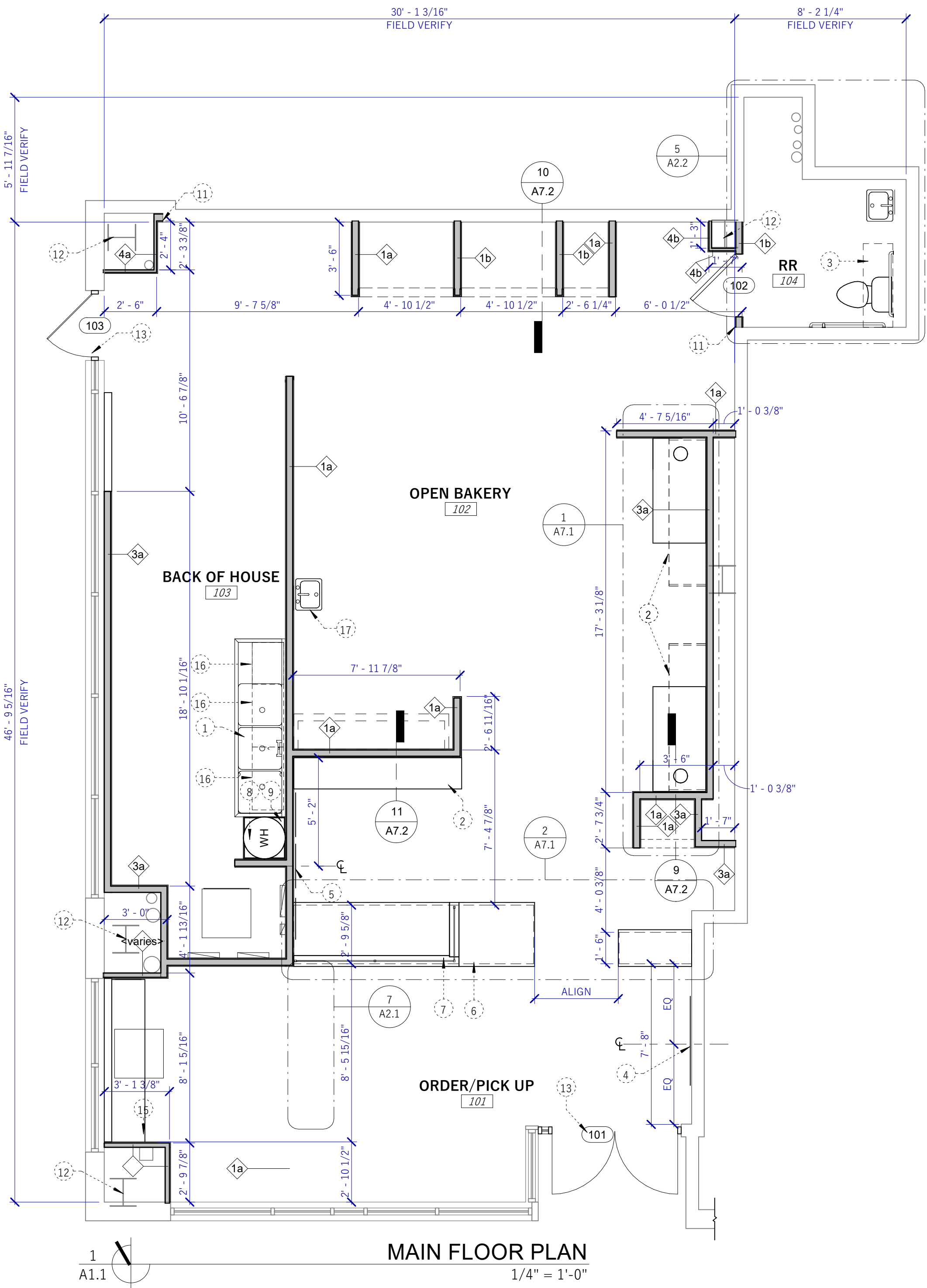
CRUMBL COOKIES -  
MARKET CENTRAL  
425 MASS AVE  
CAMBRIDGE, MA 02139



SITE PLAN

G1.2





GENERAL NOTES - PLAN	
A	COORDINATE ALL MECHANICAL, PLUMBING, & ELEC. DEMOLITION AND/OR REUSE W/OWNER.
B	CONTRACTOR TO DISPOSE ALL DEMOLITION ITEMS AS PER LOCAL CODES & REGULATIONS.
C	UNKNOWN CONDITIONS MAY EXIST. DEMOLITION SHALL BE DONE W/ CARE TO ENSURE THAT THERE IS NO DAMAGE TO UNSEEN COMPONENTS OR MATERIALS THAT MAY NEED TO REMAIN OR BE RELOCATED.
D	ANY PENETRATIONS THROUGH CONCRETE FLOOR SLABS, CONCRETE WALLS, OR CONCRETE COLUMNS WILL NEED TO BE APPROVED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE BUILDING, PRIOR TO COMMENCING WORK.
E	PROVIDE BLOCKING, WHERE APPLIES, IN NEW AND EXISTING WALLS AS NEEDED FOR NEW MILLWORK (COORDINATE WITH MILLWORK CONTRACTORS).
F	FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
G	ALL DIMENSIONS FROM EXISTING WALLS ARE FROM EDGE OF EXISTING WALL FINISH.
H	ALL DIMENSIONS FROM NEW WALLS ARE MEASURED TO EDGE OF STUD.
I	SEE SHEET A 6.1 FOR EQUIPMENT AND A6.4 FOR FINISH INFORMATION.
J	ALL EXISTING WALL, FLOOR, AND CEILING FINISHES TO BE REMOVED DURING DEMOLITION UNLESS NOTED OTHERWISE.
K	DESIRED CEILING HEIGHT TO BE AS HIGH AS POSSIBLE IF NOT ABLE TO BE PLACED AT 12'-0" AFF AS REQUIRED. GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS.

KEYED NOTES	
1	FLOOR SINK, COORDINATE WITH PLUMBING
2	SOLID SURFACE FLOATING SHELF, SEE DETAILS
3	18" WIRE MOUNTED STORAGE SHELVING ABOVE TOILET WITH 6" - 8" CLEAR BELOW. PROVIDE CONTINUOUS PLYWOOD BACKING BEHIND SHEETROCK. SEE DETAILS.
4	BAKERHEAD LOGO SIGN, DIMENSIONED TO CENTER LINE. SEE DETAILS FOR SIGNAGE INSTALLATION.
5	COOKIE SIGNAGE DIMENSIONED FROM FINISHED WALL FACE TO CENTER LINE. SEE DETAILS FOR SIGNAGE INSTALLATION.
6	FRAMED WALL AT REAR OF CABINETRY. SEE DETAILS ON SHEET A7.1
7	SNEEZE GUARD
8	NEW WATER HEATER.
9	NEW MOP SINK
10	UNDERSHELF LIGHTING, SEE DETAIL 5/A2.1
11	ALIGN WITH FINISH FACE
12	EXISTING STRUCTURE
13	MODIFY STOREFRONT FOR NEW DOORS, COORDINATE WITH OWNER.
14	SEE DETAIL 2/A7.3 FOR SUSPENDED CEILING GRID
15	SEE ELECTRICAL PLANS FOR EQUIPMENT INFORMATION.
16	18" WIRE WALL MOUNTED STORAGE SHELVING. CONTINUOUS PLYWOOD BACKING BEHIND SHEETROCK. SEE DETAILS.
17	ALIGN SIDE SPLASH OF HAND SINK WITH END OF WALL

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**CRUMBL COOKIES -  
MARKET CENTRAL**  
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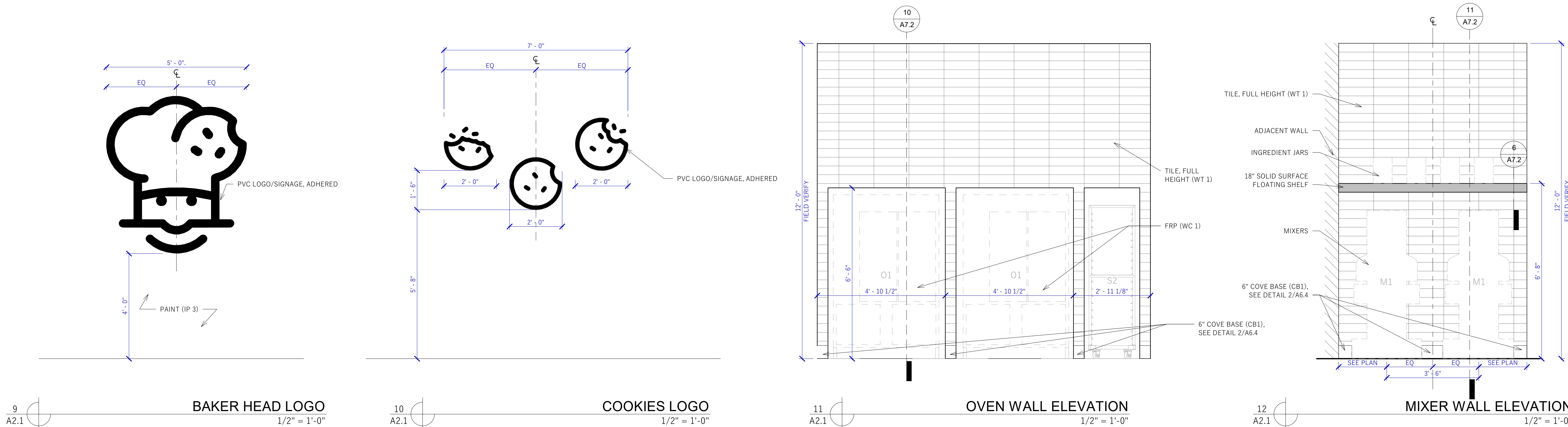
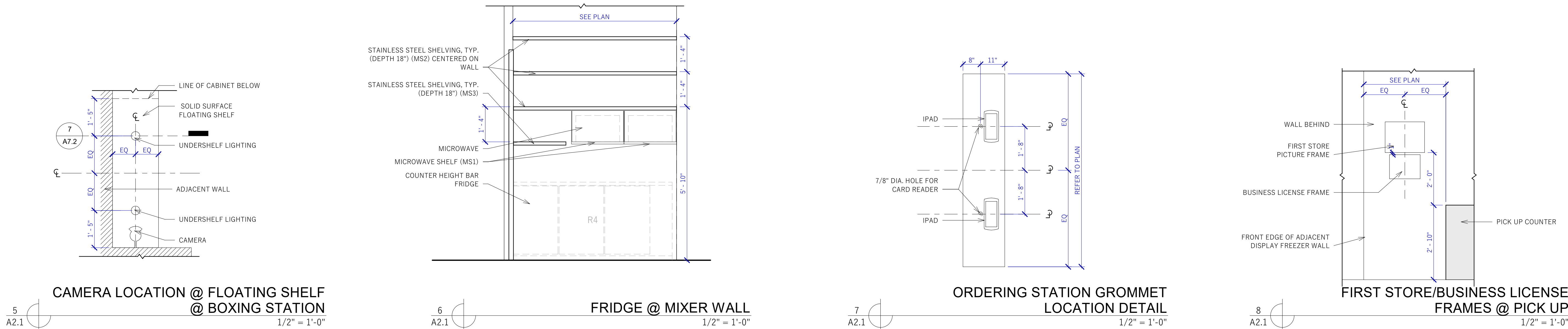
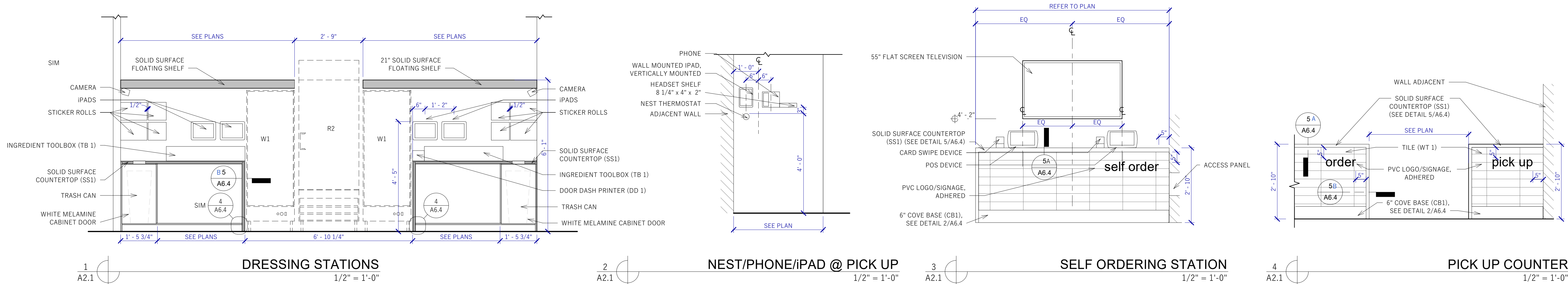
DEMOLITION PLAN,  
REMODEL FLOOR  
PLAN & RCP

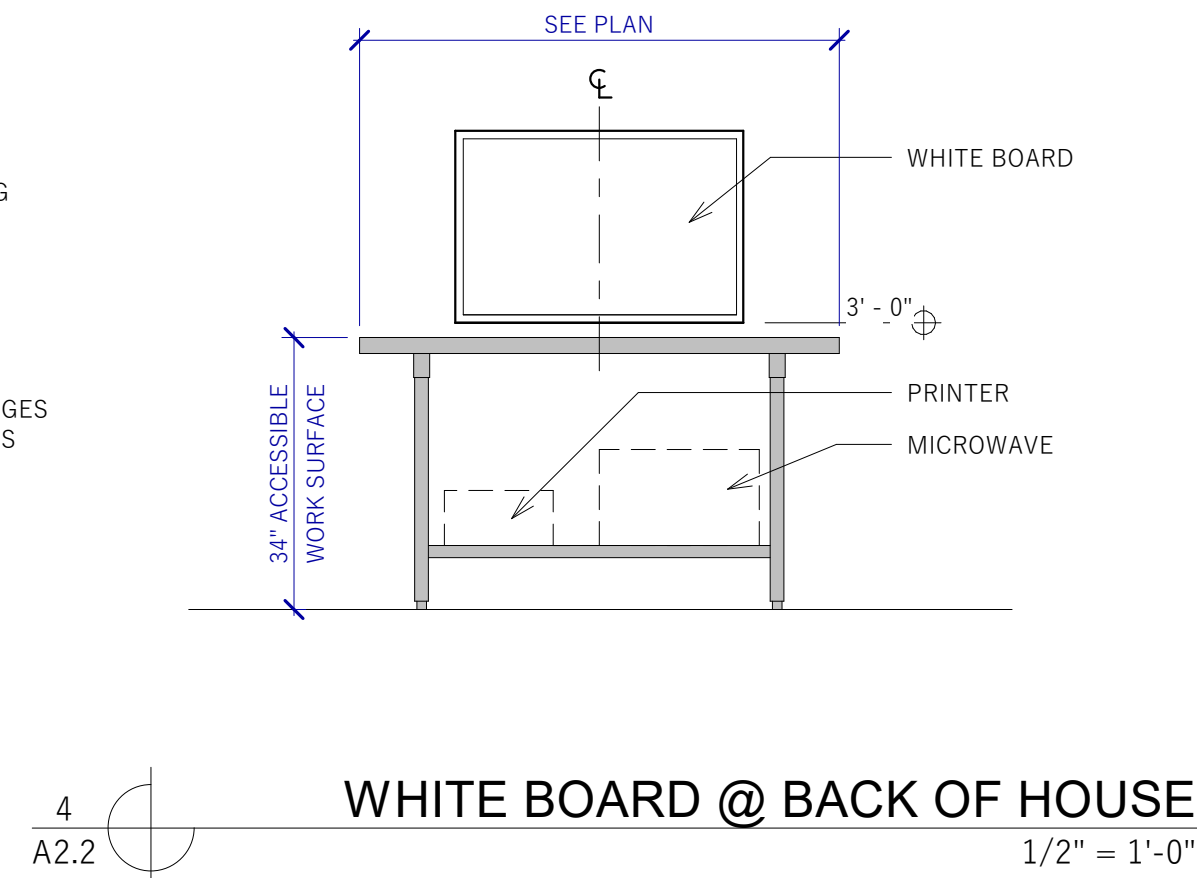
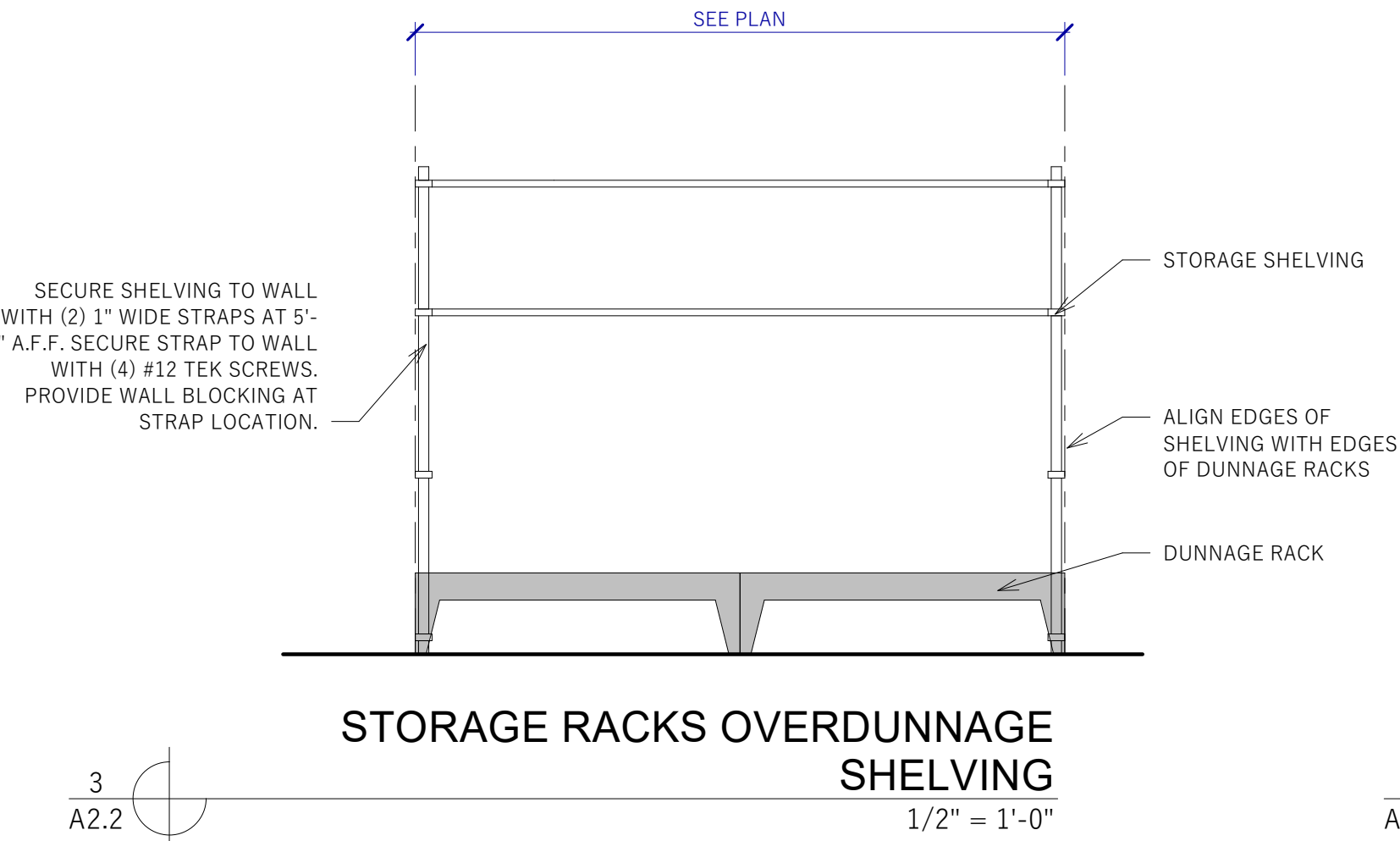
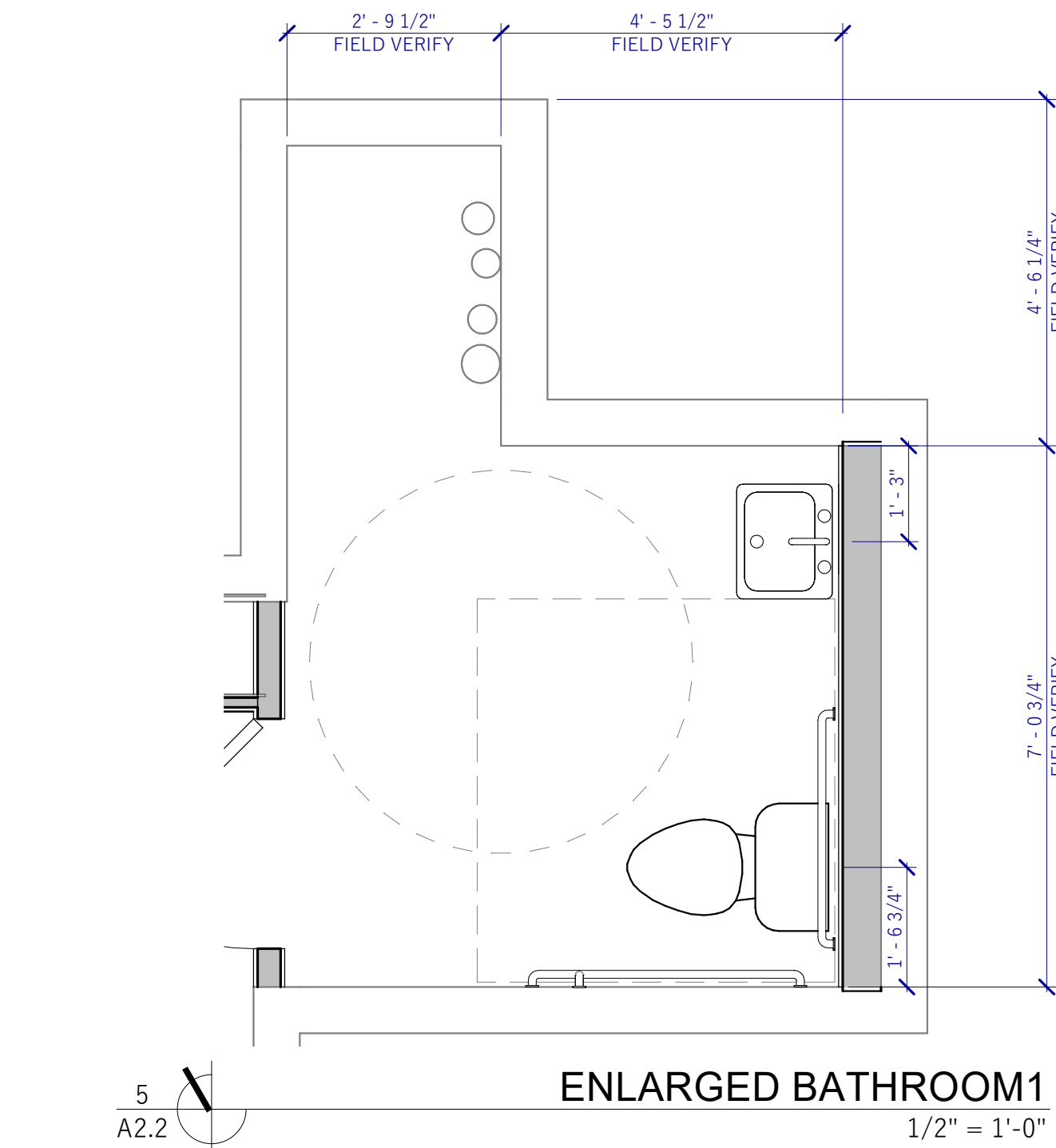
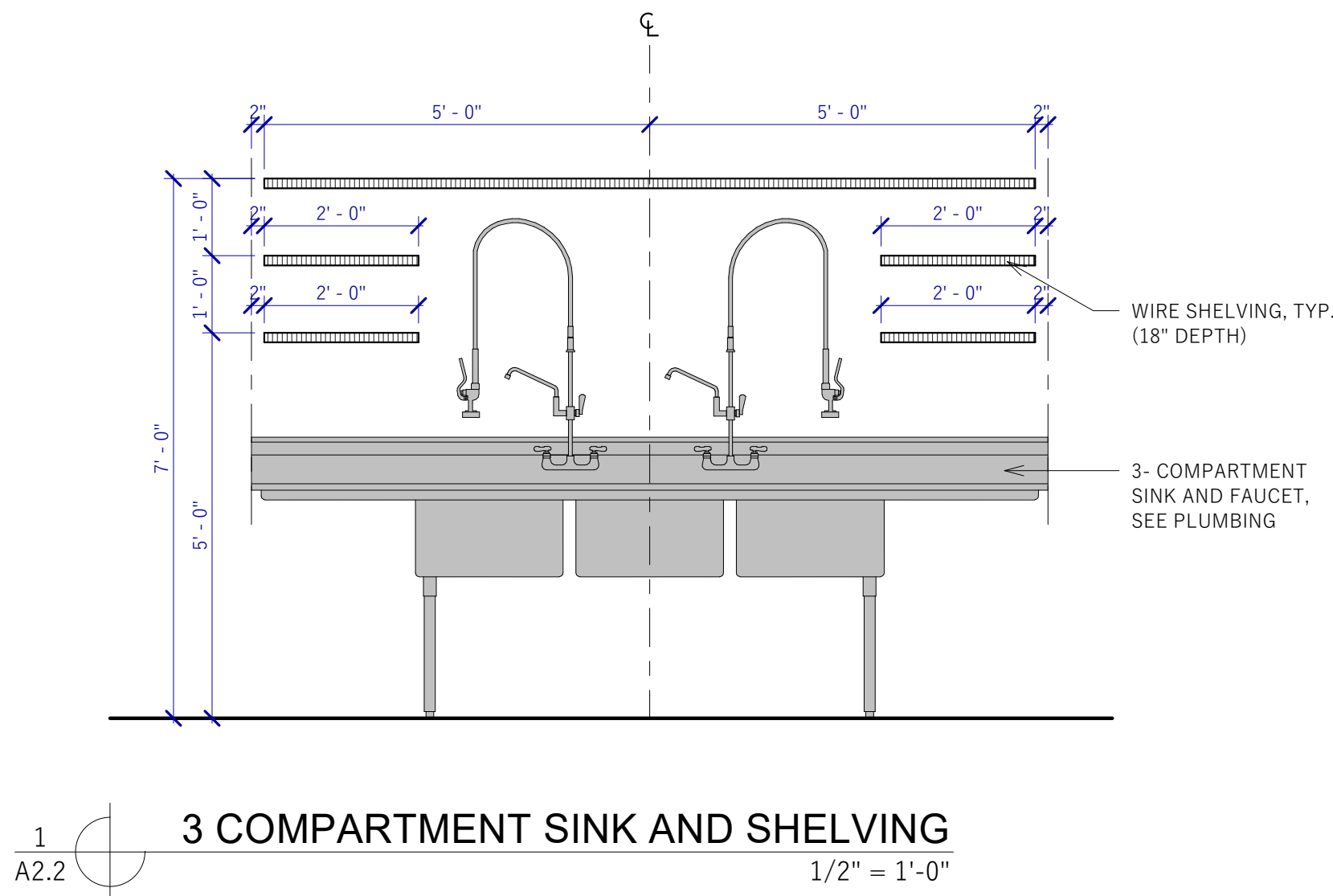
A1.1

**JZW**  
ARCHITECTS



No.	Date	Description





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CONSULTANT

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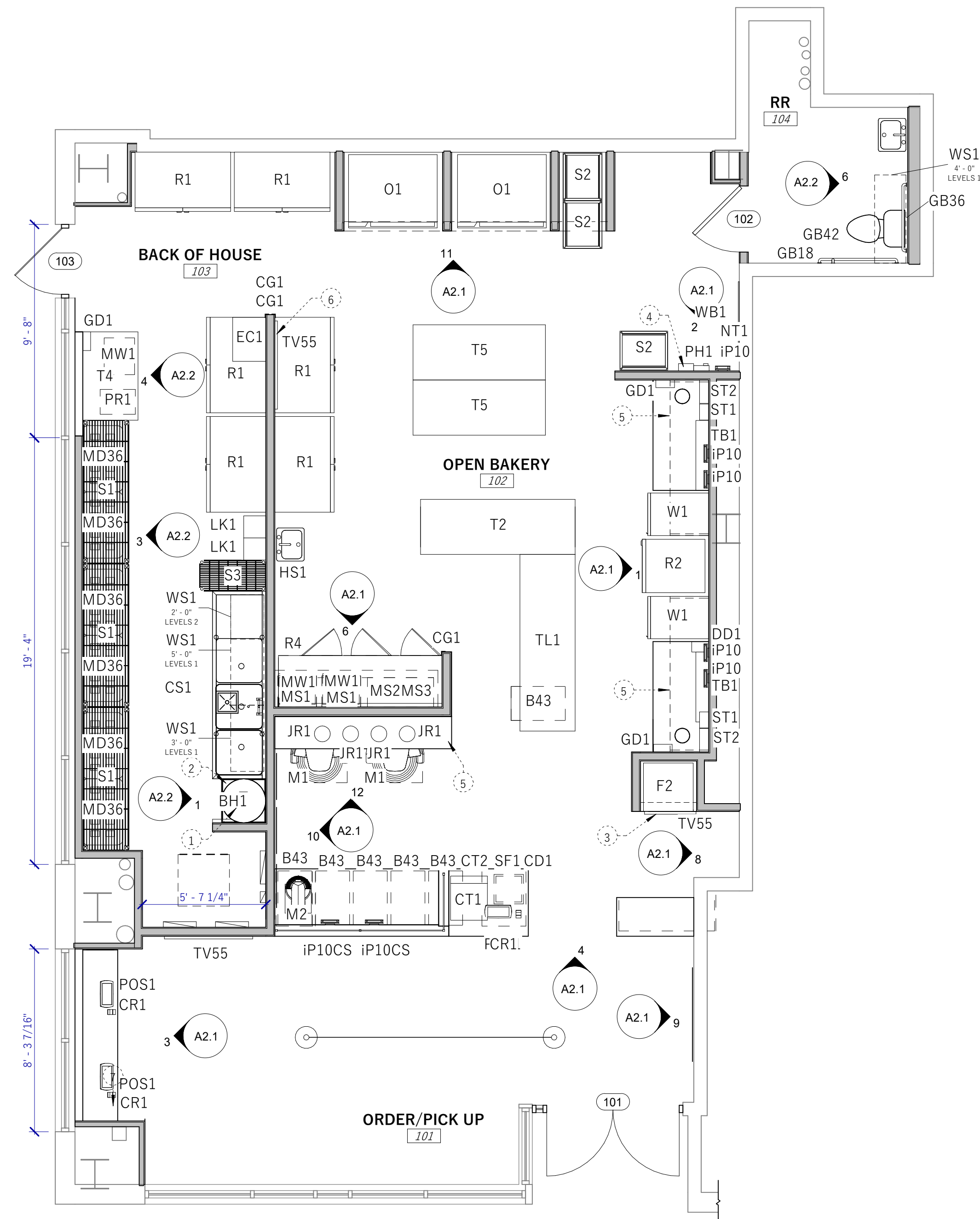
INTERIOR  
ELEVATIONS

A2.2

JZW  
ARCHITECTS



KEYED NOTES	
1	NEW WATER HEATER.
2	NEW MOP SINK
3	TV MOUNTED VERTICALLY CENTERED BETWEEN WALL OPENING AND CEILING. REFER TO BUILDOUT GUIDE FOR ADDITIONAL TV SIZE OPTIONS AS NEEDED.
4	HEADSET SHELF. SEE DETAIL ON A2.1
5	SOLID SURFACE FLOATING SHELF, SEE DETAILS
6	55" WALL MOUNTED TELEVISION. TO BE CENTERED ABOVE REFRIGERATOR AND CEILING.
7	SEE ELECTRICAL PLANS FOR EQUIPMENT INFORMATION.



1  
A6.1

EQUIPMENT/FIXTURE PLAN

1/4" = 1'-0"

EQUIPMENT/FIXTURE SCHEDULE						
ITEM NUMBER	QTY	DESCRIPTION	DIMENSIONS	PROVIDER	INSTALLER	ADDITIONAL NOTES
B43	6	43 GALLON INGREDIENT BIN	SEE BUILD OUT GUIDE	OWNER	OWNER	
BH1	1	BROOM HANGER	SEE EQUIPMENT GUIDE	OWNER	GC	
CD1	1	CASH DRAWER	SEE EQUIPMENT GUIDE	OWNER	OWNER	
CM1	6	SECURITY CAMERA	SEE EQUIPMENT GUIDE	OWNER	GC	POWER OVER ETHERNET 802.3af
CR1	3	CARD READER	8 3/4" L X 5" D X 8 5/8" H	OWNER	GC	
CS1	1	STAINLESS STEEL THREE COMPARTMENT SINK	SEE BUILD OUT GUIDE	GC	GC	
CT1	1	COOKIE TRAY	SEE DETAILS	OWNER	OWNER	
CT2	1	SMALL COOKIE TRAY	SEE DETAILS	OWNER	OWNER	
DD1	1	DOOR DASH LABEL PRINTER	5.7" L X 9.2" D X 5" H	OWNER	OWNER	
EC1	1	EQUIPMENT CABINET	SEE BUILD OUT GUIDE	OWNER	GC	MUSIC RECEIVER, INTERNET MODEM, CLOUD COVER MUSIC BOX, CAMERA CONTROLLER
F2	1	GLASS DOOR FREEZER	27 1/8" L X 26 1/4" D X 85 3/8" H	OWNER	GC	
GB18	1	BOBRICK STAINLESS STEEL GRAB BAR	18" L X 1 1/2" DIA.	GC	GC	SEE G1.1 FOR GRAB BAR INSTALLATION
GB36	1	BOBRICK STAINLESS STEEL GRAB BAR	36" L X 1 1/2" DIA	GC	GC	SEE G1.1 FOR GRAB BAR INSTALLATION
GB42	1	BOBRICK STAINLESS STEEL GRAB BAR	42" L X 1 1/2" DIA.	GC	GC	SEE G1.1 FOR GRAB BAR INSTALLATION
GD1	3	GLOVE DISPENSER	9" L X 3" D X 18" H	OWNER	GC	
HS1	1	STAINLESS STEEL HAND SINK	SEE PLUMBING FIXTURE SCHEDULE	GC	GC	SEE PLUMBING FIXTURE SCHEDULE
IP10	5	10.2 INCH WALL MOUNTED IPAD	SEE BUILD OUT GUIDE	OWNER	GC	
IP10CS	2	10.2 INCH COUNTER STAND	SEE BUILD OUT GUIDE	OWNER	GC	
JR1	4	INGREDIENT JAR	SEE BUILD OUT GUIDE	OWNER	OWNER	
LK1	2	EMPLOYEE LOCKERS	SEE BUILD OUT GUIDE	OWNER	OWNER	
M1	2	HOBERT LEGACY HL600-1 MIXER	31" L X 47" D X 61" H	OWNER	GC	
M2	1	AVANTCO PLANETARY STAND MIXER (20 QT)	17 1/8" W X 21" D X 30 1/2" H	OWNER	GC	
MD36	6	DUNNAGE RACK	36" L X 22" D X 12" H	OWNER	GC	
MS1	2	REGENCY STAINLESS STEEL MICROWAVE SHELF	24" L X 18" D	GC	GC	LOCATE ON WEBSAURANTSTORE.COM, MODEL #600MS1824
MS2	3	STAINLESS STEEL SHELF	84" L X 16" D	GC	GC	CONTACT LENNY AT LDOUGLAS@BARGREEN.COM
MS3	1	STAINLESS STEEL SHELF	36" L X 16" D	GC	GC	CONTACT LENNY AT LDOUGLAS@BARGREEN.COM
MW1	3	1000W COMMERCIAL MICROWAVE	20" L X 18.5" D X 12" H	OWNER	GC	
NT1	1	NEST THERMOSTAT	SEE BUILD OUT GUIDE	OWNER	GC	MOUNT @ 48" A.F.F. MAX
O1	2	BLODGETT XR8-E	48 1/4" L X 45" D X 75" H	OWNER	GC	
OS1	1	OPEN SIGN	SEE EQUIPMENT GUIDE	OWNER	GC	
PH1	1	PHONE	SEE EQUIPMENT GUIDE	OWNER	GC	POWER OVER ETHERNET 802.3af
POS1	3	STRIPE REGISTER KIT	SEE BUILD OUT GUIDE	OWNER	GC	
PR1	1	PRINTER	SEE EQUIPMENT GUIDE	OWNER	OWNER	
R1	6	REACH-IN REFRIGERATOR	54" L X 33 1/4" D X 82 1/2" H	OWNER	GC	
R2	1	REACH-IN REFRIGERATOR	29" L X 32 1/4" D X 82 1/2" H	OWNER	GC	
R4	1	Counter Height Solid Door Back Bar Refrigerator	89" L X 28" D X 40" H	OWNER	GC	
S1	3	STAINLESS STEEL 4-LEVEL STEEL STORAGE RACK	SEE EQUIPMENT GUIDE	OWNER	OWNER	
S2	3	BUN PAN/SHEET PAN RACKS	26" L X 20" D X 70" H	OWNER	OWNER	
S3	1	5 SHELF STORAGE UNIT	SEE EQUIPMENT GUIDE	OWNER	OWNER	
SF1	1	SAFE	SEE EQUIPMENT GUIDE	OWNER	GC	
SP1	4	SPEAKER	SEE BUILD OUT GUIDE	GC	GC	AMAZON BASICS 16 GAUGE AUDIO STEREO SPEAKER WIRE
ST1	4	SMALL STICKER ROLL	8 3/4" L X 5" D X 8 5/8" H	OWNER	GC	
ST2	4	LARGE STICKER ROLL	12 3/4" L X 5" D X 8 5/8" H	OWNER	GC	
T2	1	STAINLESS STEEL WORK TABLE	84" L X 30" D X 34" H	OWNER	OWNER	
T4	1	STAINLESS STEEL WORK TABLE	48" L X 30" D X 34" H	OWNER	OWNER	
T5	2	STAINLESS STEEL WORK TABLE	72" L X 30" D X 34" H	OWNER	OWNER	
TB1	2	BOXING STATION TOOL BOX	38" L X 7" D X 7" H	OWNER	OWNER	
TL1	1	18 GAUGE STAINLESS STEEL WORK TABLE W/ UNDERSHELF	96" L X 30" W x 34" H W/ 90" L x 24" W UNDERSHELF	OWNER	GC	UNDERSHELF MODEL #600UT3072S
TV55	3	55 INCH FLAT SCREEN TELEVISION	<varies>	OWNER	GC	
W1	2	WARMING CABINET	23 1/8" L X 33 3/16" D X 66 1/2" H	OWNER	GC	
WAP1	1	WIFI ACCESS POINT	SEE EQUIPMENT GUIDE	OWNER	GC	POWER OVER ETHERNET 802.3af
WB1	1	WHITE BOARD	SEE EQUIPMENT GUIDE	OWNER	GC	

Wire Shelving Schedule						
Item Number	Linear Feet	Description	Dimensions	Provider	Installer	Additional Notes
WS1	16' - 0"	Stainless Steel Wire Shelving	18" D	GC	GC	Contact Lenny at ldougas@bargreen.com

PROJECT NUMBER

21-383

ISSUE DATE:

MAY 23, 2022

REVISIONS:

No.	Date	Description
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[illegible]

CONSULTANT

**CRUMBL COOKIES -  
MARKET CENTRAL**  
425 MASS AVE  
CAMBRIDGE, MA 02139

## EQUIPMENT PLAN AND SCHEDULES

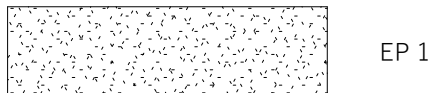
## A6.1

The logo for JZW ARCHITECTS. It features the letters 'JZW' in a large, bold, sans-serif font. The 'J' and 'Z' are black, while the 'W' is orange. Below 'JZW', the word 'ARCHITECTS' is written in a smaller, black, sans-serif font.



KEYED NOTES	
1	WALL FINISH WC 1, UP TO 8'-6" AFF.
2	WALL FINISH WC 1 UP TO 7'-0" A.F.F.
3	WALL FINISH WT 1, TO TERMINATE AT T.O. WALL.
4	WALL FINISH WC 1 IN BATHROOM, UP TO 4'-6" A.F.F.
5	WALL FINISH WC 1 UP TO BOTTOM OF FLOATING SHELF
6	WALL FINISH IP 3
7	WALL FINISH WT 1 ON BACK OF CABINetry WALL
8	WALL FINISH IP 1
9	WALL FINISH WC 1 UP TO 3'-6" A.F.F.

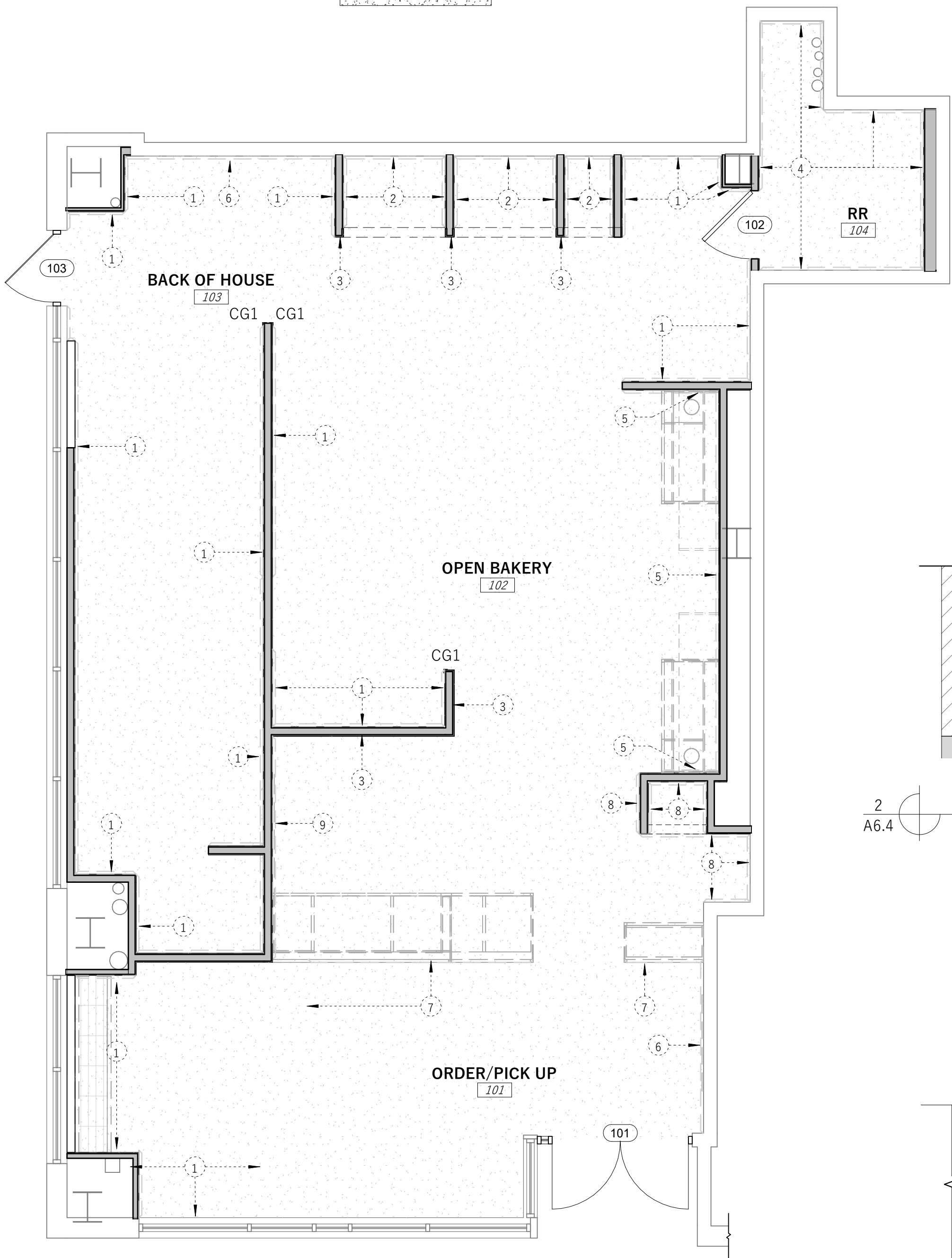
#### FLOOR FINISH LEGEND



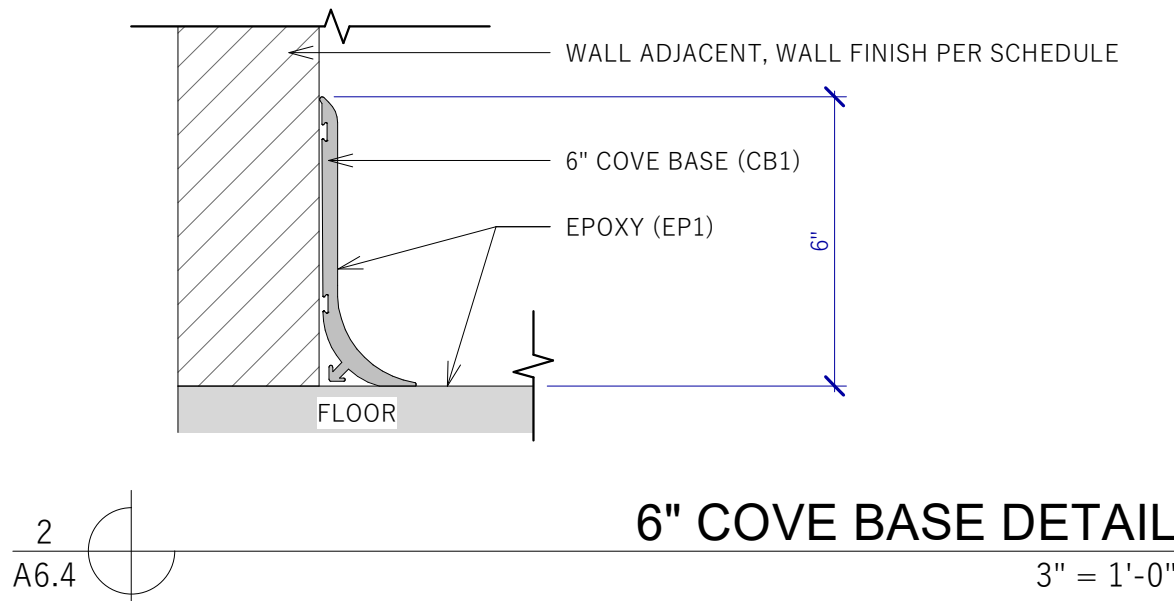
INTERIOR MATERIAL SCHEDULE					
CODE	DESCRIPTION	MFR.	NAME/NUMBER	COLOR/FINISH	COMMENTS
FLOORS					
EP 1	EPOXY	LATICRETE	SPARTACOTE CHIP XPL	CRUMBL GREY	
WALLS					
CG1	CORNER GUARD	KSC	#A673	BRIGHT WHITE	3/4" X 3/4" X 8' - 0"
GT 1	WALL GROUT	LATICRETE	ZLC1644-0025-2	1600 UNSAND BRIGHT WHITE	AT WALL TILE. PURCHASE WITH TILE PACKAGE FROM EMSER. REQUIRED FOR WARRANTY. GC TO INSTALL 3/16" GROUT LINE.
IP 1	LATEX BASE PAINT	SHERWIN WILLIAMS	H REFLECTIVE WHITE SW7757	SEMI-GLOSS	ON ALL WALLS U.N.O., LEVEL 5 FINISH
IP 3	LATEX BASE PAINT	BEHR	FUNNY FACE M140-2	SEMI-GLOSS	AS NOTED ON PLAN, LEVEL 5 FINISH
TT 1	EDGE PROTECTOR	EMSER TILE	ZBL300-450-10025	WHITE/POWDER COATED	3/8", ALUMINUM
WC 1	FRP	--	--	SMOOTH, BRIGHT WHITE	UP TO 4'-6", 2'-0" AWAY FROM ALL PLUMBING FIXTURES UNLESS SHOWN OTHERWISE
WS 1	WALL SETTING	LATICRETE	ZLC0279-0030-22	TRI-LITE WHITE	PURCHASE WITH TILE PACKAGE FROM EMSER. REQUIRED FOR WARRANTY. GC TO INSTALL 3/16" GROUT LINE.
WT 1	FIELD TILE	EMSER TILE	FLEX WHITE	FLEX WHITE GLOSS	4"x16" FIELD TILE, STACK BOND W/ EMSER TRIM @ EXPOSED EDGES, crumbl@emser.com, WHITE TILE FROM FLOOR TO CEILING WHERE APPLIED. GC TO INSTALL 3/16" GROUT LINE.
BASE					
CB 1	COVE BASE	EASYCOVE	EC-EZ1X4P	--	INSTALL AS PER MANUFACTURER SPECIFICATIONS.
CEILINGS					
C1	GRID CEILING	--	VINYL TILE	WHITE	WHITE VINYL TILE WITH WHITE GRID
IP 2	LATEX BASE PAINT	SHERWIN WILLIAMS	TRICORN BLACK SW6258	EGGSHELL	EXPOSED CEILING COLOR/WALLS ABOVE 12' - 0"
IP 4	LATEX BASE PAINT	SHERWIN WILLIAMS	HIGH REFLECTIVE WHITE SW7757	EGGSHELL	RESTROOM CEILING
MILLWORK					
SS 1	SOLID SURFACE	HI-MACS by LX HAUSYS	S028	ALPINE WHITE	WATERFALL EDGE WHERE OCCURING, BUILT UP EDGE
DOORS					
DP	LATEX BASED PAINT	SHERWIN WILLIAMS	HIGH REFLECTIVE WHITE SW7757	SEMI-GLOSS	

NOTE: COORDINATE WITH OWNER FOR FINAL SELECTION AND APPLICATION OF ALL FINISHES.

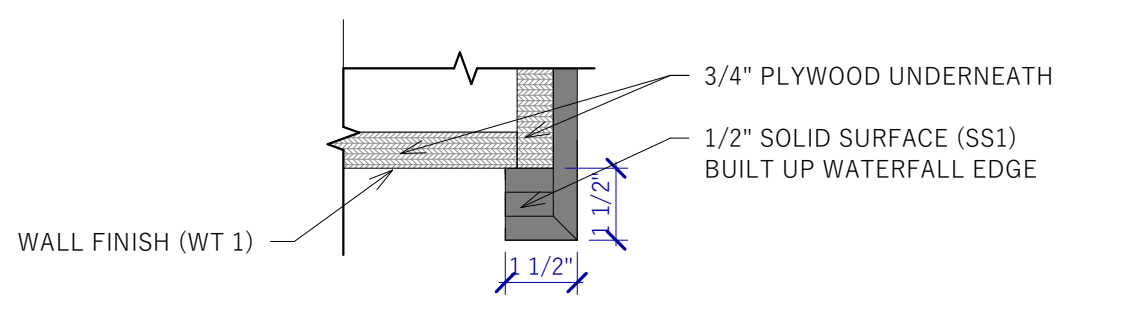
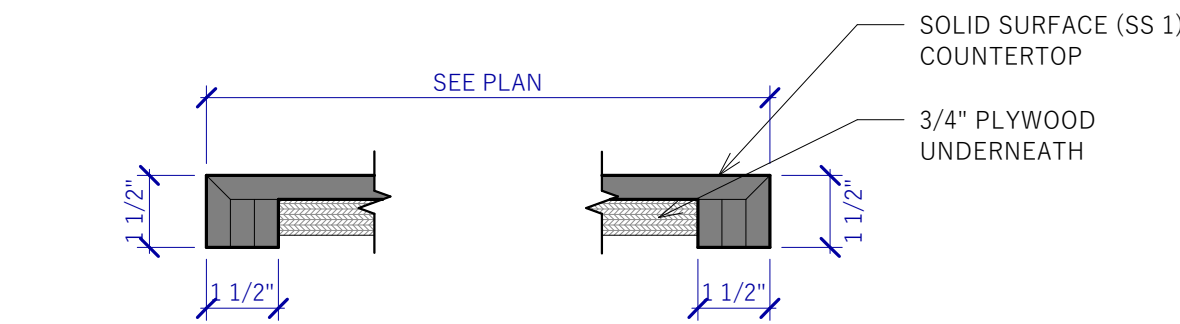
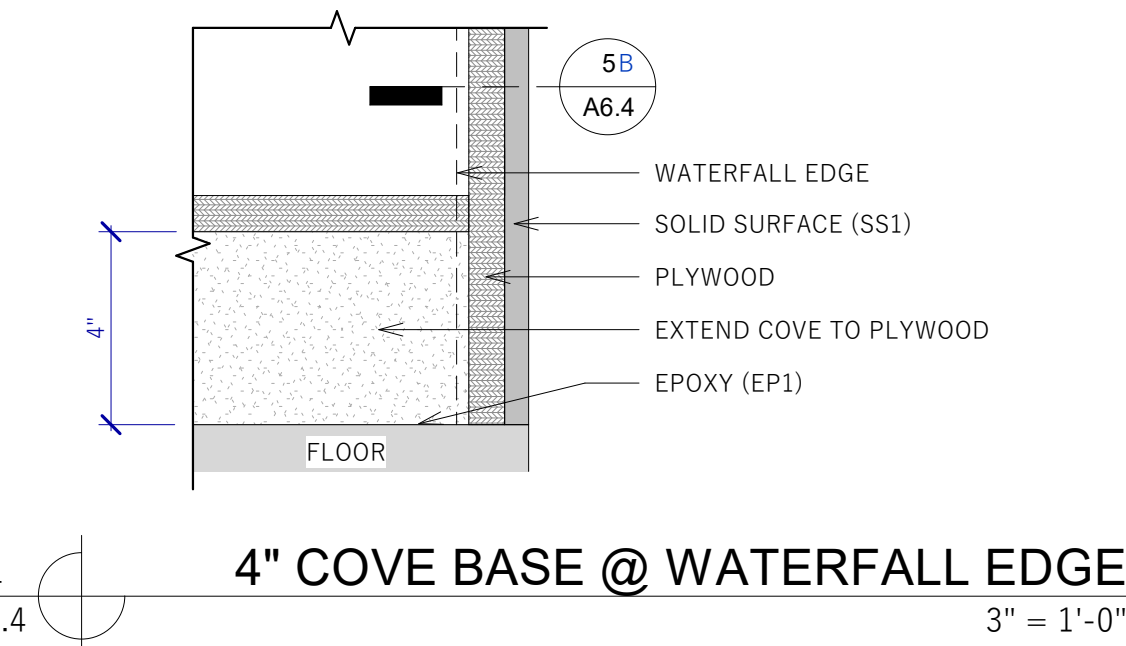
ROOM FINISH SCHEDULE						
ROOM		FLOOR	WALLS	BASE	CEILING	NOTES
NUMBER	NAME			FINISH	FINISH	
101	ORDER/PICK UP	EP 1	IP 1 / IP 3 / WT 1	CB1	C1	SEE KEYED NOTES.
102	OPEN BAKERY	EP 1	WC 1 / WT 1 / IP 1	CB1	C1	IP 1 ABOVE WC 1 TO CEILING, SEE KEYED NOTES.
103	BACK OF HOUSE	EP 1	WC 1 / IP 3	CB1	C1	IP 1 ABOVE WC 1 TO CEILING, SEE KEYED NOTES.
104	RR	EP 1	WC 1	CB1	IP2	IP 1 ABOVE WC 1 TO CEILING, SEE KEYED NOTES.



1  
A6.4  
MAIN FLOOR FINISH PLAN  
1/4" = 1'-0"



3  
A6.4  
4 inch COVE BASE DETAIL  
3 inch = 1 foot 0 inch



5  
A6.4  
TYPICAL EDGE PROFILE  
3 inch = 1 foot 0 inch



FEATURES	BENEFITS
Stainproof*	Locks in color, blocks out stains
10X stronger than other pre-mixed grouts	More durability, minimizing application failures
No mixing required, resealable packaging	Reduces waste and material costs
Meets ANSI A118.3†	As strong as epoxy; excellent stain and chemical resistance
Light foot traffic within 6 hours	Complete projects in less time
Submerged and intermittent wet applications	Ready to submerge in 14 days; Showers ready for use next day*
No efflorescence	Uniform color consistency; eliminating discoloring, blotches, and shading
Low VOC and low odor	Easy and safe to use with no epoxy resins
Optional SPECTRALOCK® DAZZLE™ component	Compliments tile and stone design

#### Uses

- Ceramic tile, glass tile and stone
- Residential and commercial
- Interior and exterior floors and walls<sup>^^</sup>
- Ideal for re-grouting applications
- Submerged and intermittent wet areas

#### Available Colors

- All 40 LATICRETE colors\*
- 12 SPECTRALOCK® DAZZLE™ options

#### Packaging

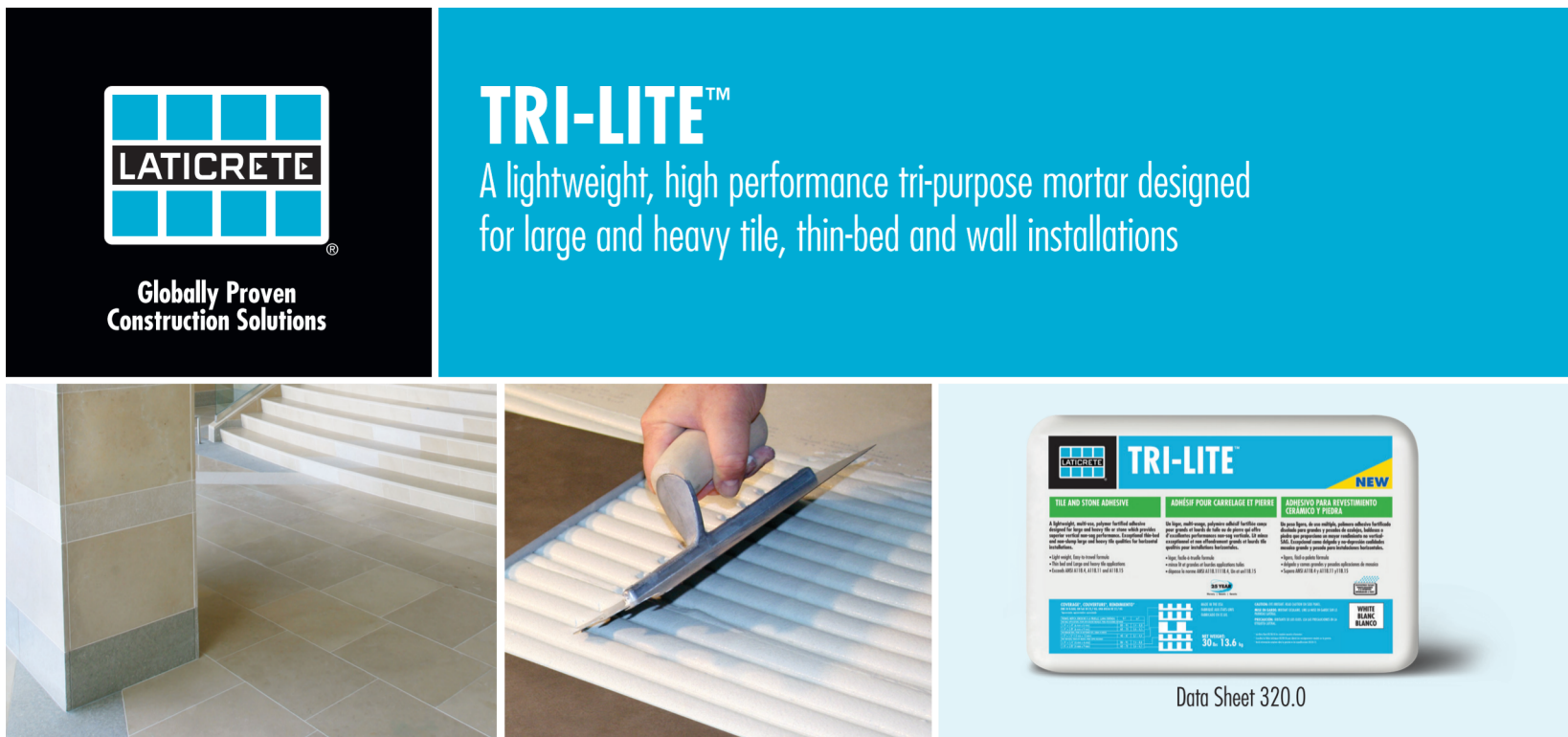
- 1 (3.8L) gallon\*



Snap for more information and the SPECTRALOCK 1 story.



LATICRETE International, Inc. • One LATICRETE Park North, Bethany, CT 06524-3423 USA • 1.800.243.4788 • +1.203.393.0010 • [www.laticrete.com](http://www.laticrete.com)



25 YEAR Warranty	
FEATURES	BENEFITS
Lightweight mortar	Lighter to transport, easier to trowel. A 30 lb (13.6 kg) bag provides the same coverage as a 50 lb (22.7 kg) bag of standard mortar.
Smooth creamy consistency	Lightweight consistency is easy to trowel providing unmatched workability.
Versatility	One mortar for large heavy tile, thin-bed and wall installations.
Non-sag, non-slump	Meets the challenging demands of installing large and heavy tile on both walls and floors. Fast and easy vertical installations.
Exceeds ANSI A118.15	Exceeds the industry's highest performance standard for a cementitious based adhesive mortar. Superior bond strength for worry-free installations of ceramic tile, porcelain tile and stone.
A component of the LATICRETE® 25 year system warranty*	

#### Uses

- Large and heavy ceramic tile, porcelain tile and stone
- Wall installations, interior and exterior, of ceramic tile, porcelain tile and stone
- Ideal for most types of thin-set applications

#### Testing

- Meets or exceeds the following standards:
- ANSI A118.4, A118.11 and A118.15
- ISO 13007 - C2TES1P1

#### Suitable Substrates

- Exterior Glue Plywood\*
- Concrete
- Concrete Block
- Ceramic Tile and Stone
- Gypsum Wallboard\*
- Cement Backer Board\*\*
- Brick and Concrete Masonry

#### Packaging

30 lb (13.6 kg) bag, 56 bags per pallet

#### Available Colors

Grey and white

Approximate Coverage 30 lb (13.6 kg) bag		
Trowel Size	ft <sup>2</sup>	m <sup>2</sup>
1/4" x 1/4" (6 mm x 6 mm) notched trowel	80-95	(7.4-8.8)
1/4" x 3/8" (6 mm x 9 mm) notched trowel	60-70	(5.6-6.5)
1/2" x 1/2" (12 mm x 12 mm) notched trowel	40-47	(3.7-4.4)



Snap for more information.

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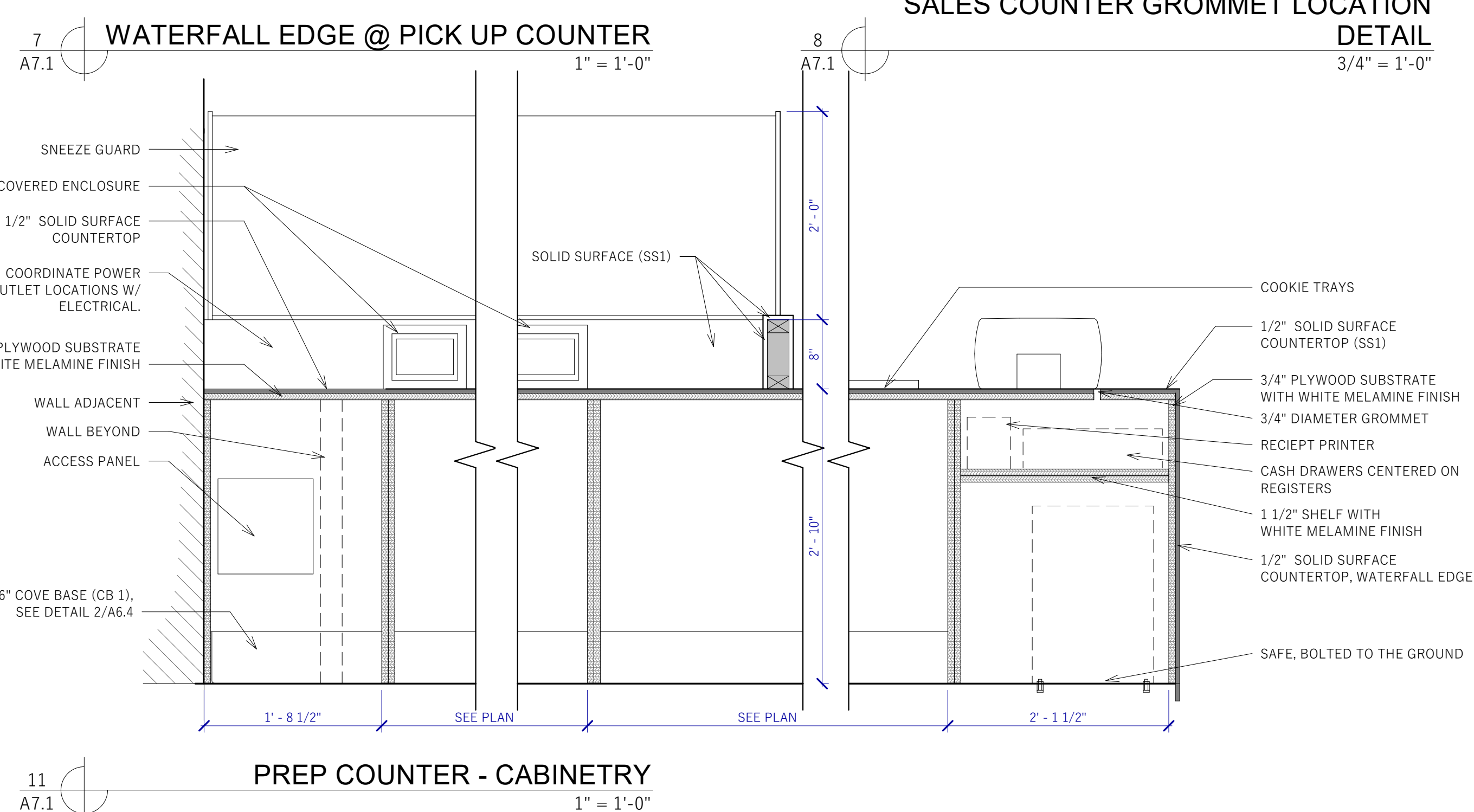
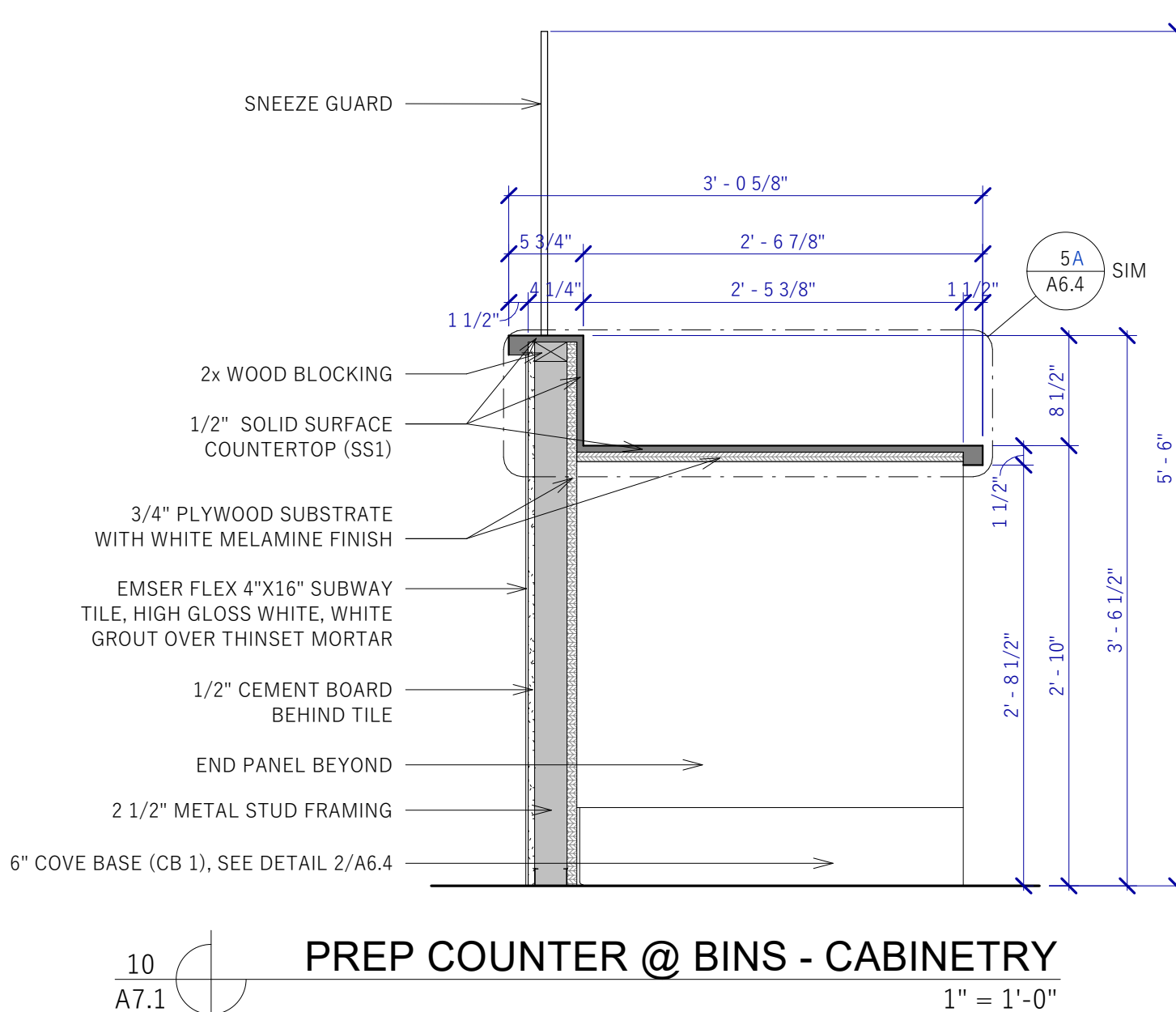
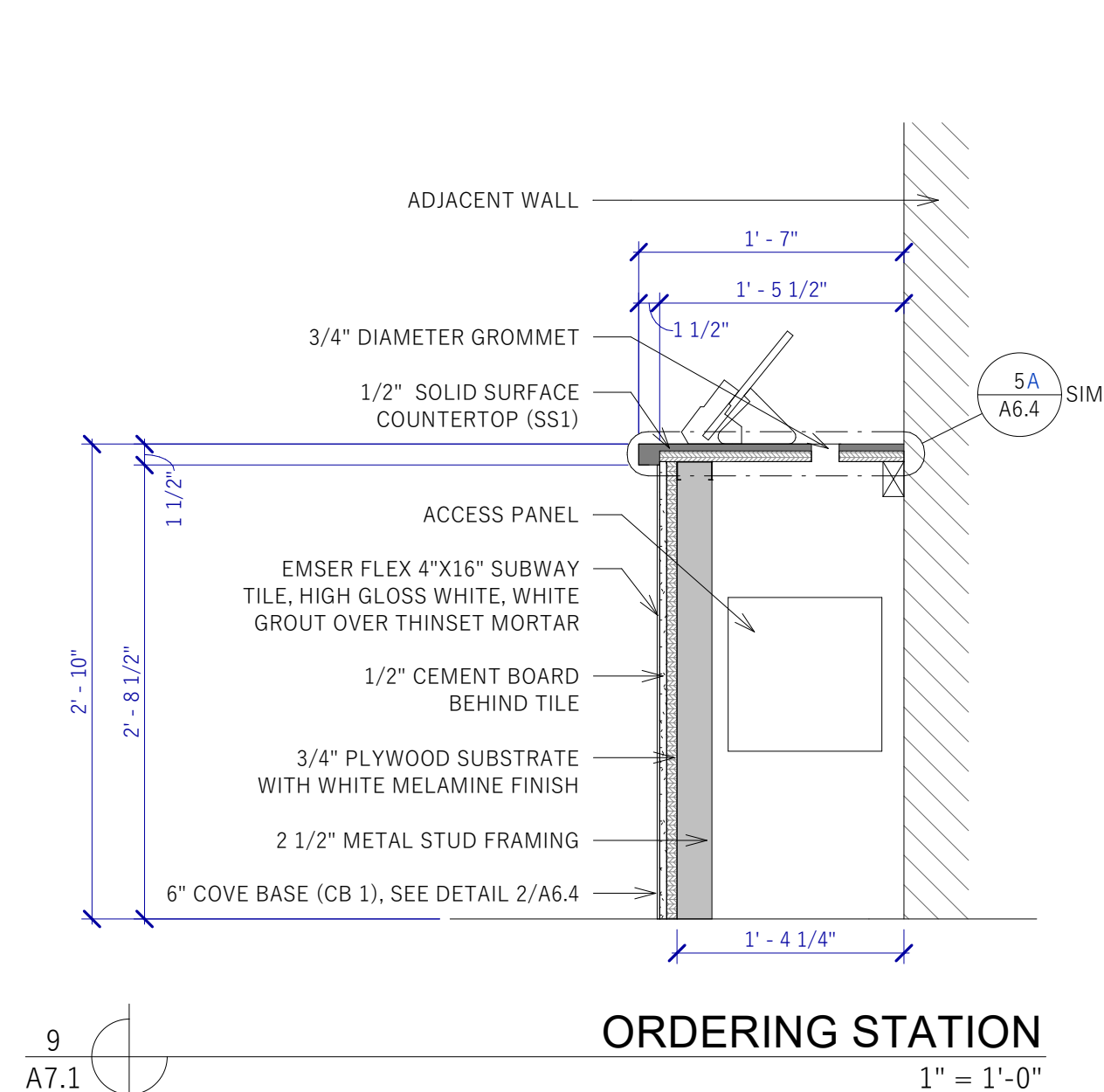
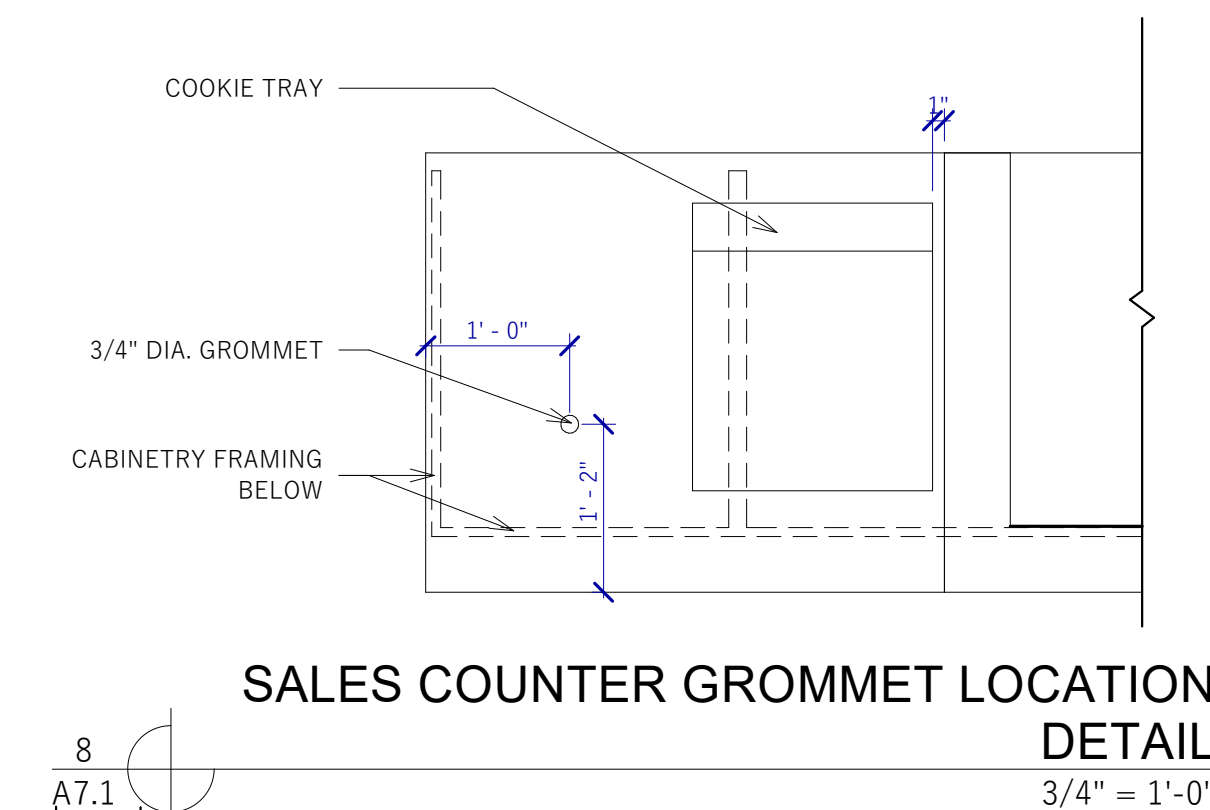
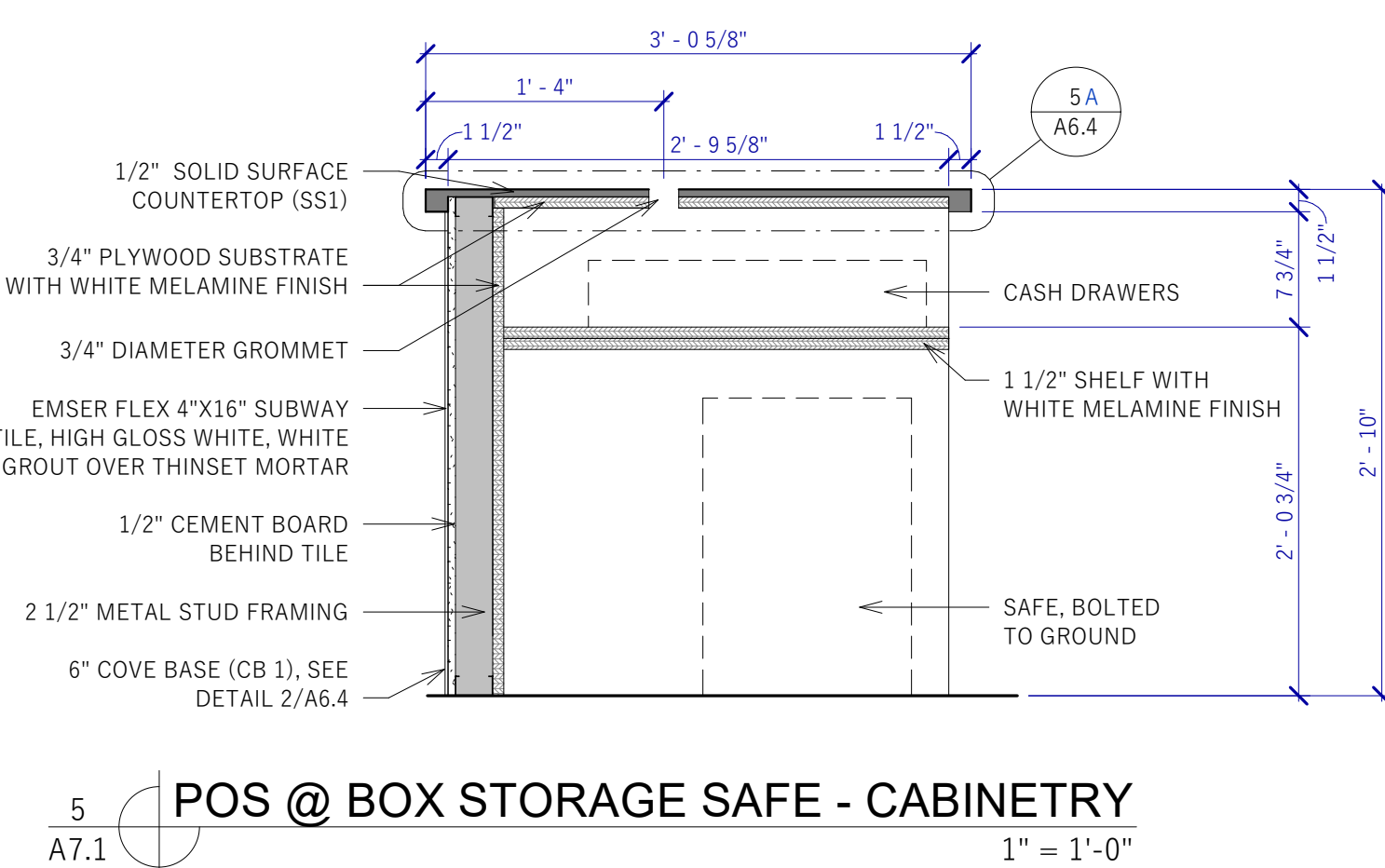
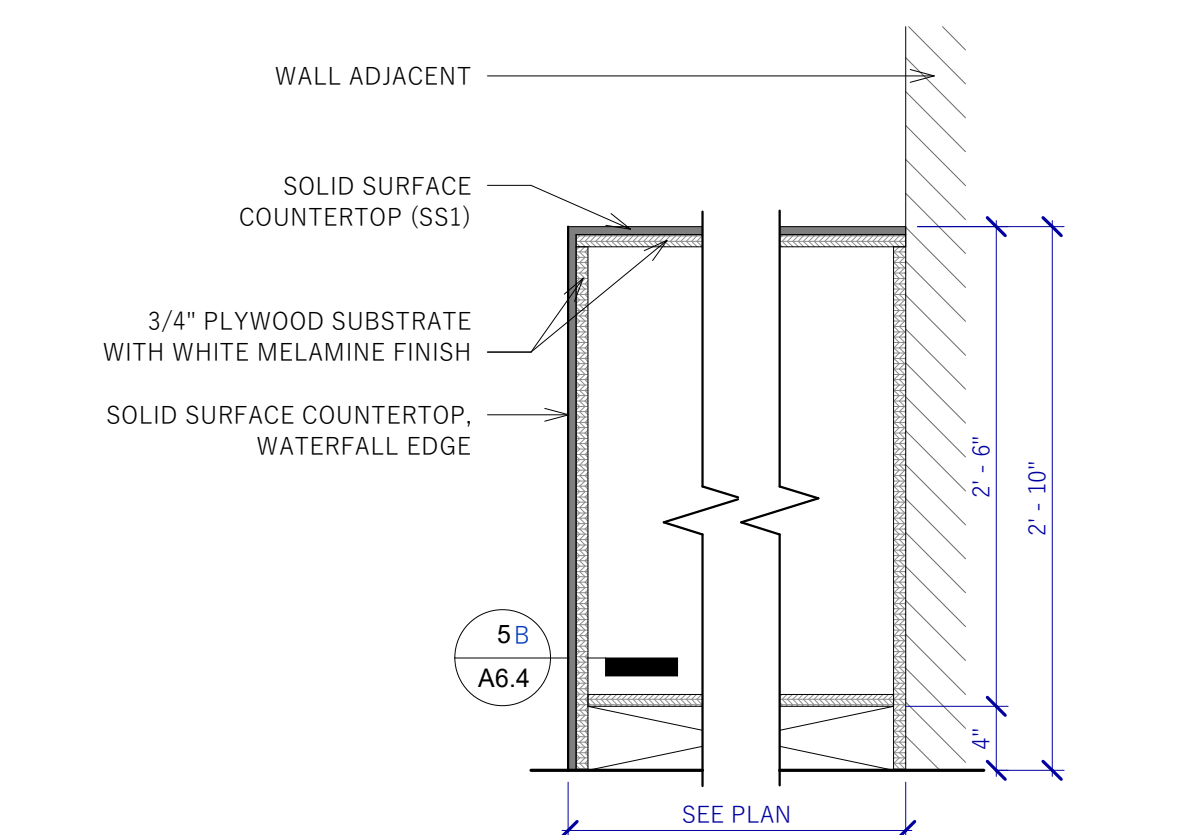
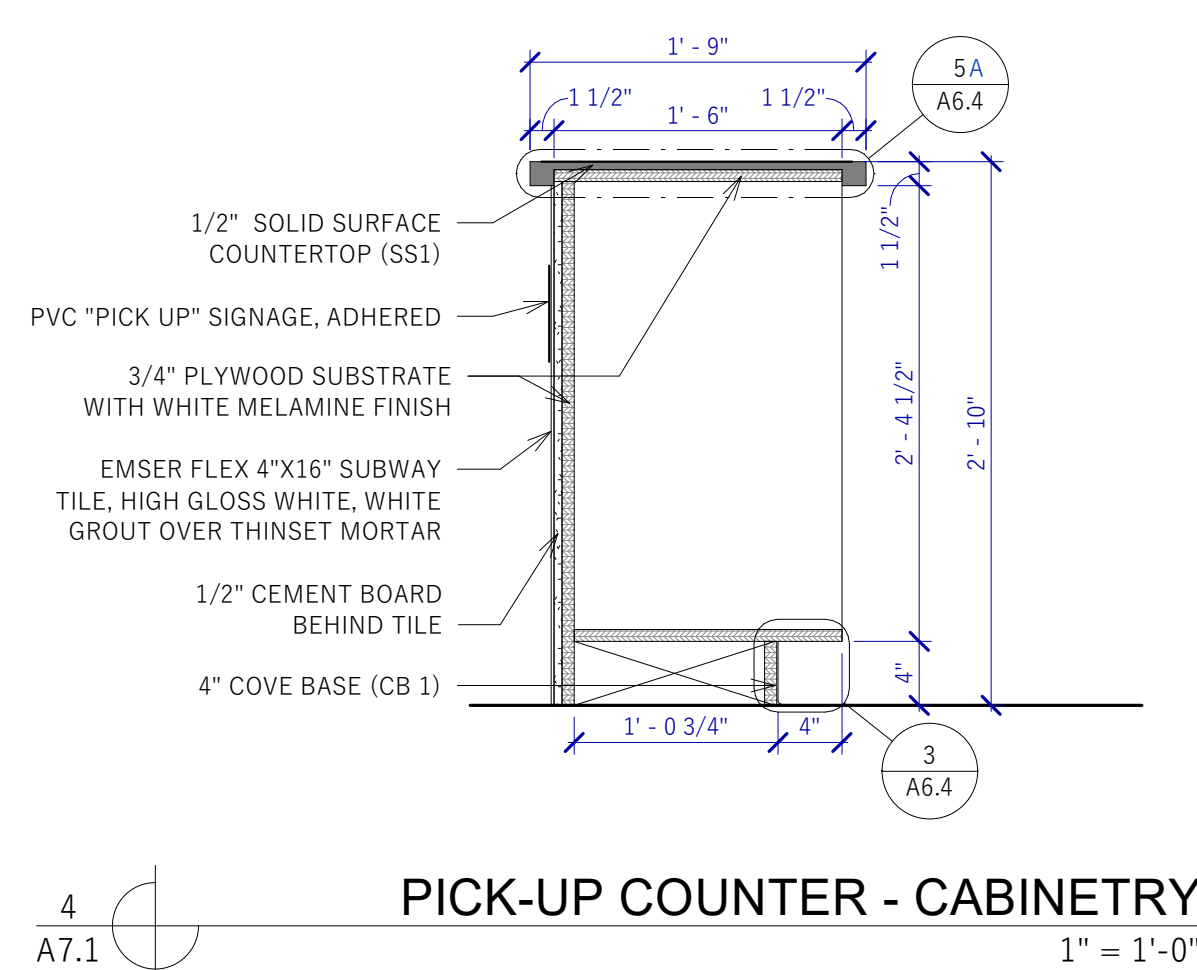
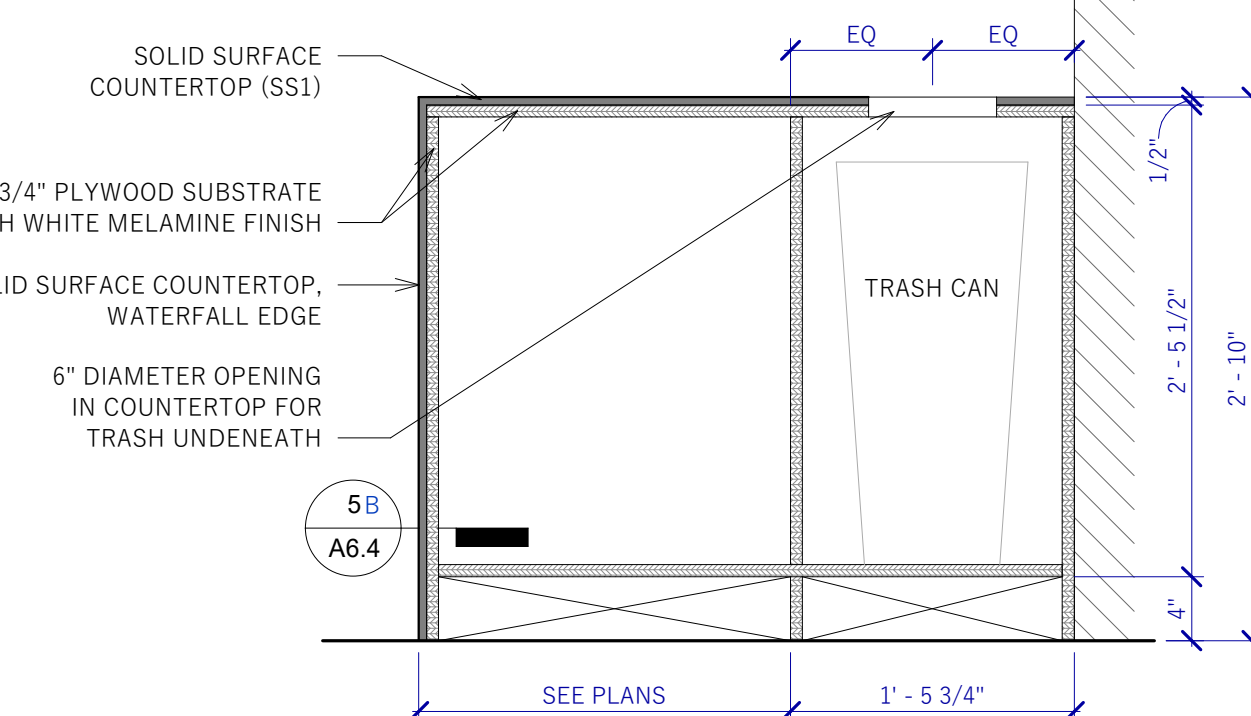
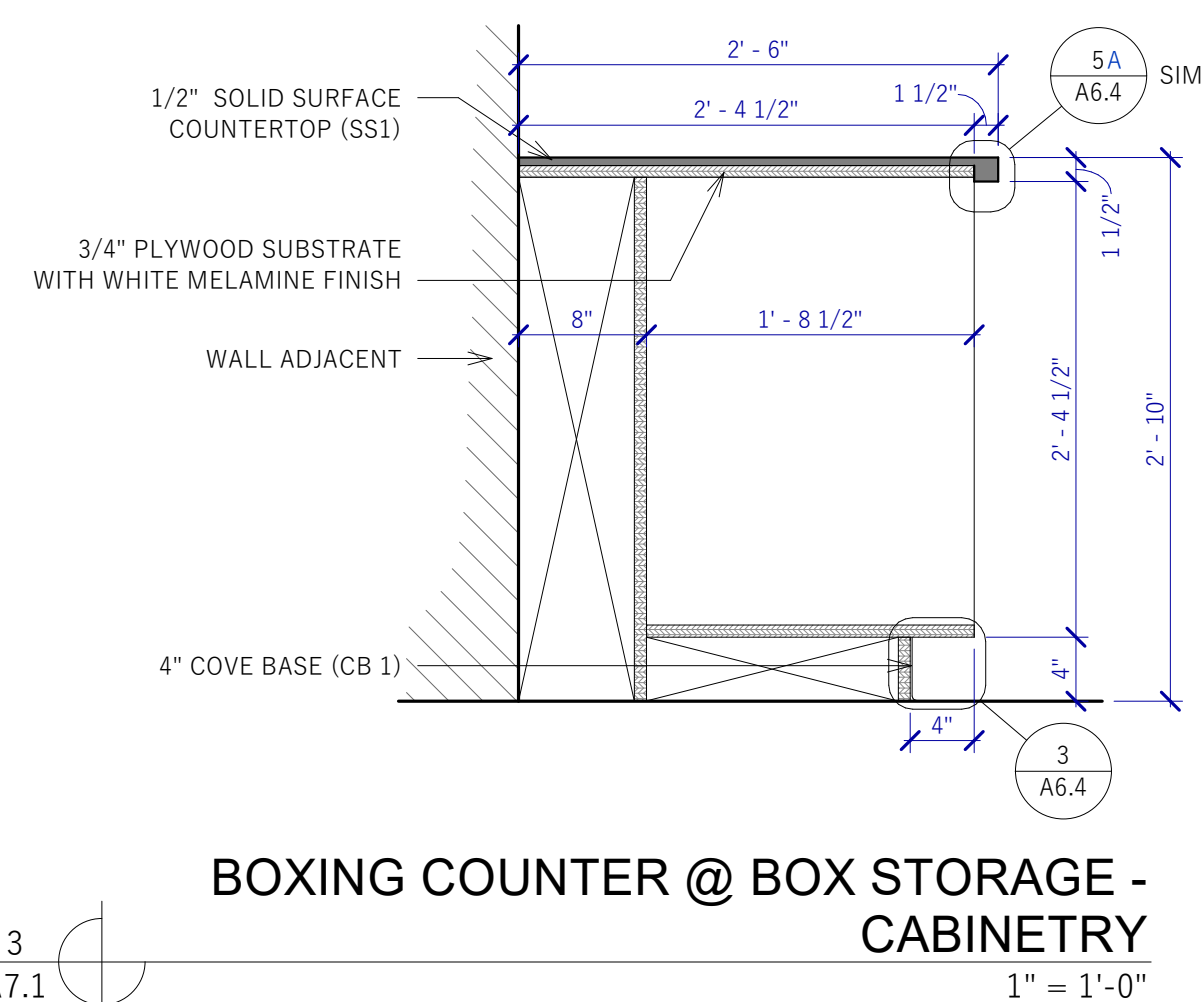
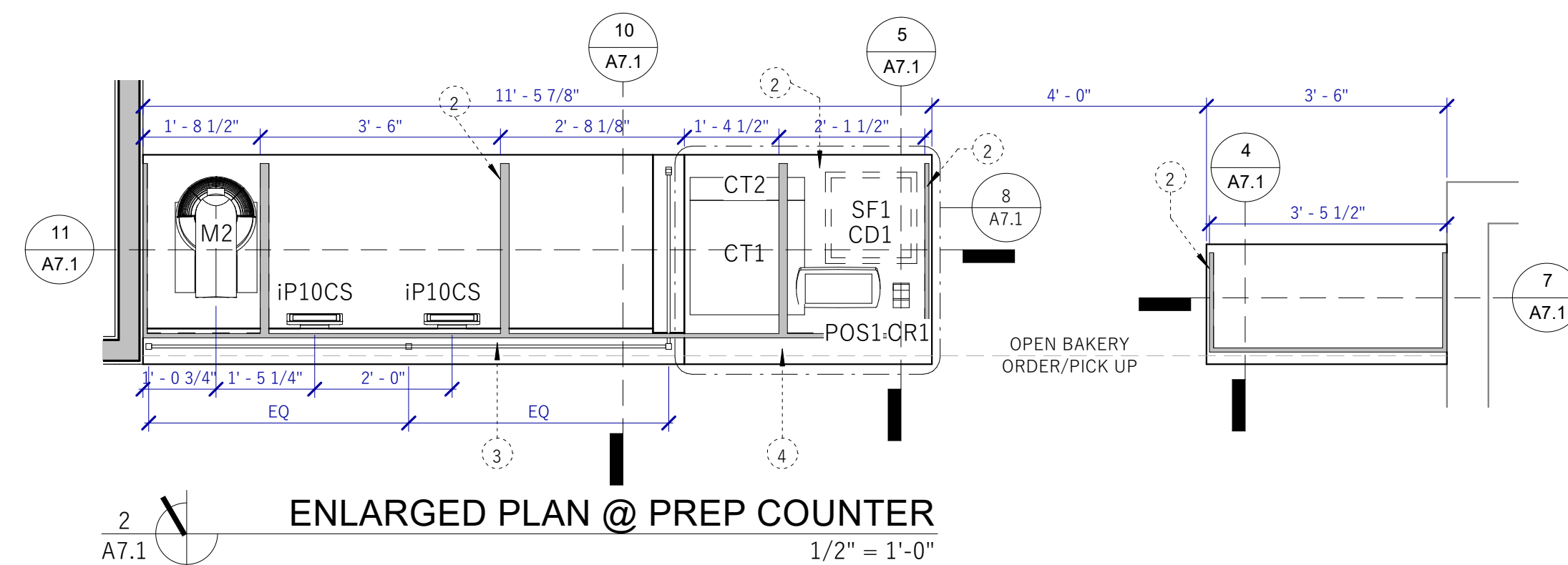
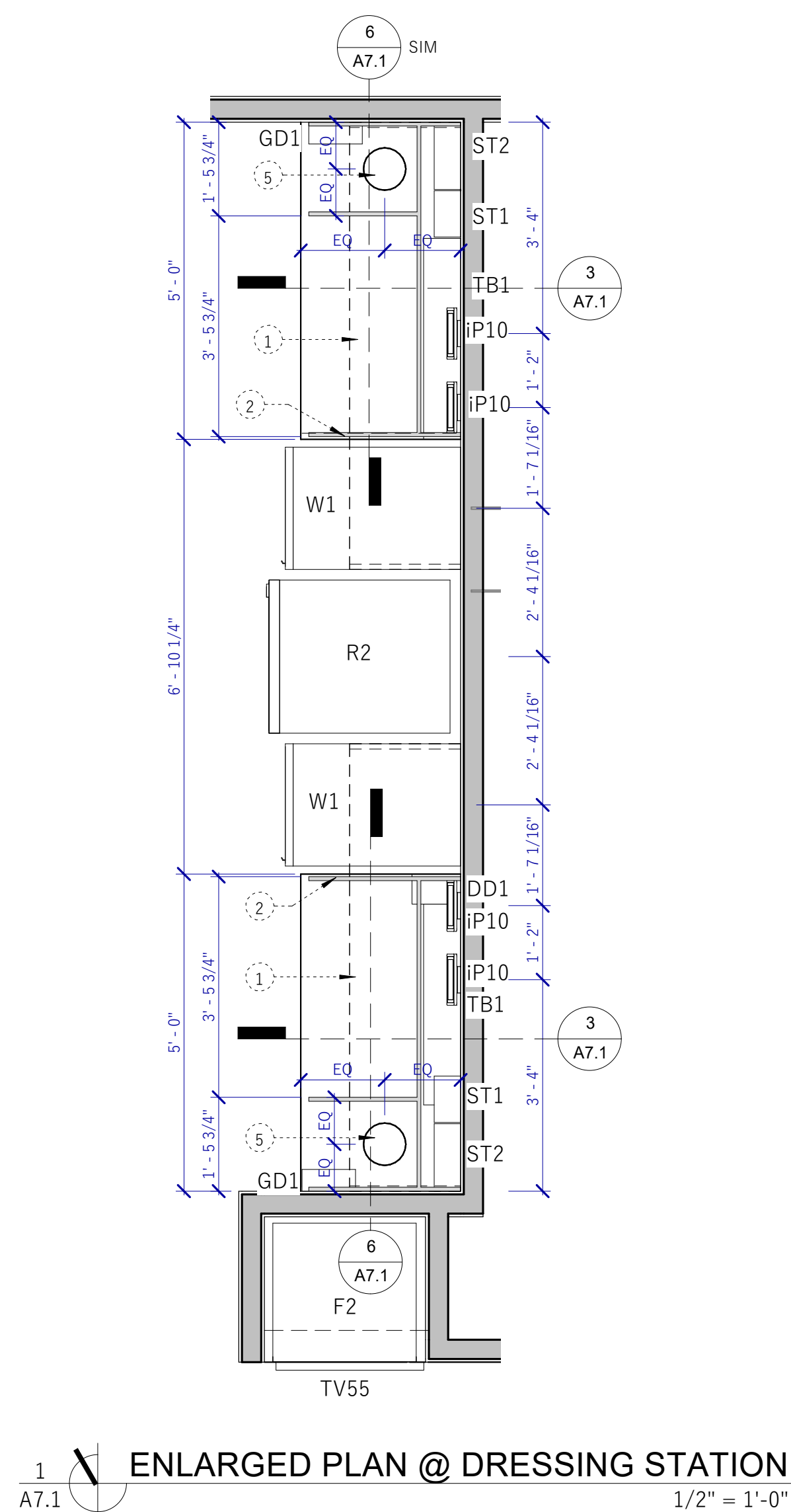
CRUMBL COOKIES -  
MARKET CENTRAL  
425 MASS AVE  
CAMBRIDGE, MA 02139

FINISH PLAN AND DETAILS

A6.4

JZW  
ARCHITECTS





KEYED NOTES	
1	SOLID SURFACE FLOATING SHELF. SEE DETAILS
2	CABINETRY FRAMING BELOW. SEE DETAILS.
3	SNEEZE GUARD
4	FRAMED WALL AT REAR OF CABINETRY. SEE DETAILS ON SHEET A7.1
5	6" DIAMETER OPENING IN COUNTER FOR ACCESS TO TRASH CAN UNDERNEATH COUNTER.

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REVISIONS:


[illegible]

CONSULTANT

**CRUMBL COOKIES -  
MARKET CENTRAL**  
425 MASS AVE  
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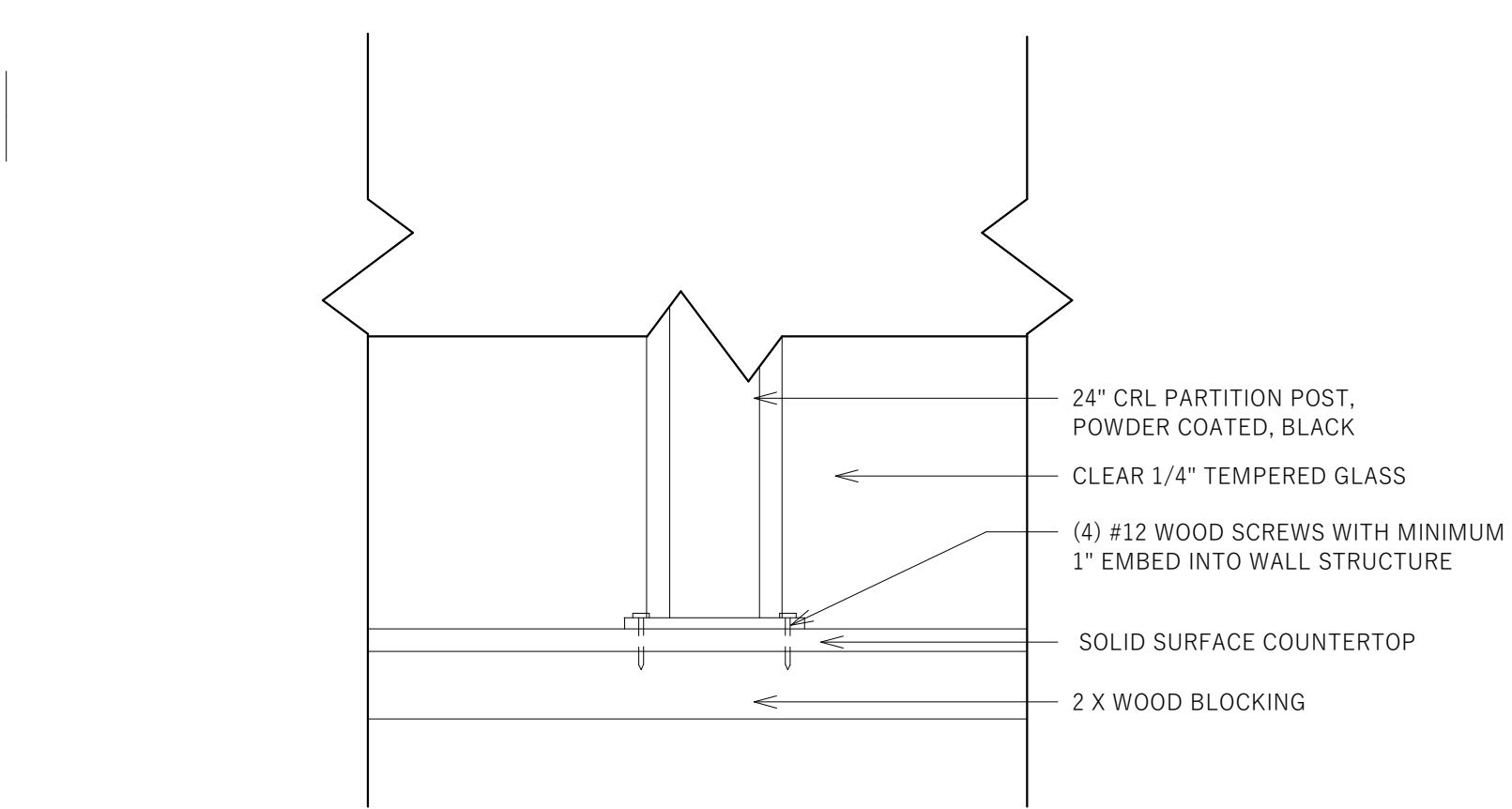
## CABINETRY PLAN AND SECTIONS

## A7.1



**JZW**  
ARCHITECTS

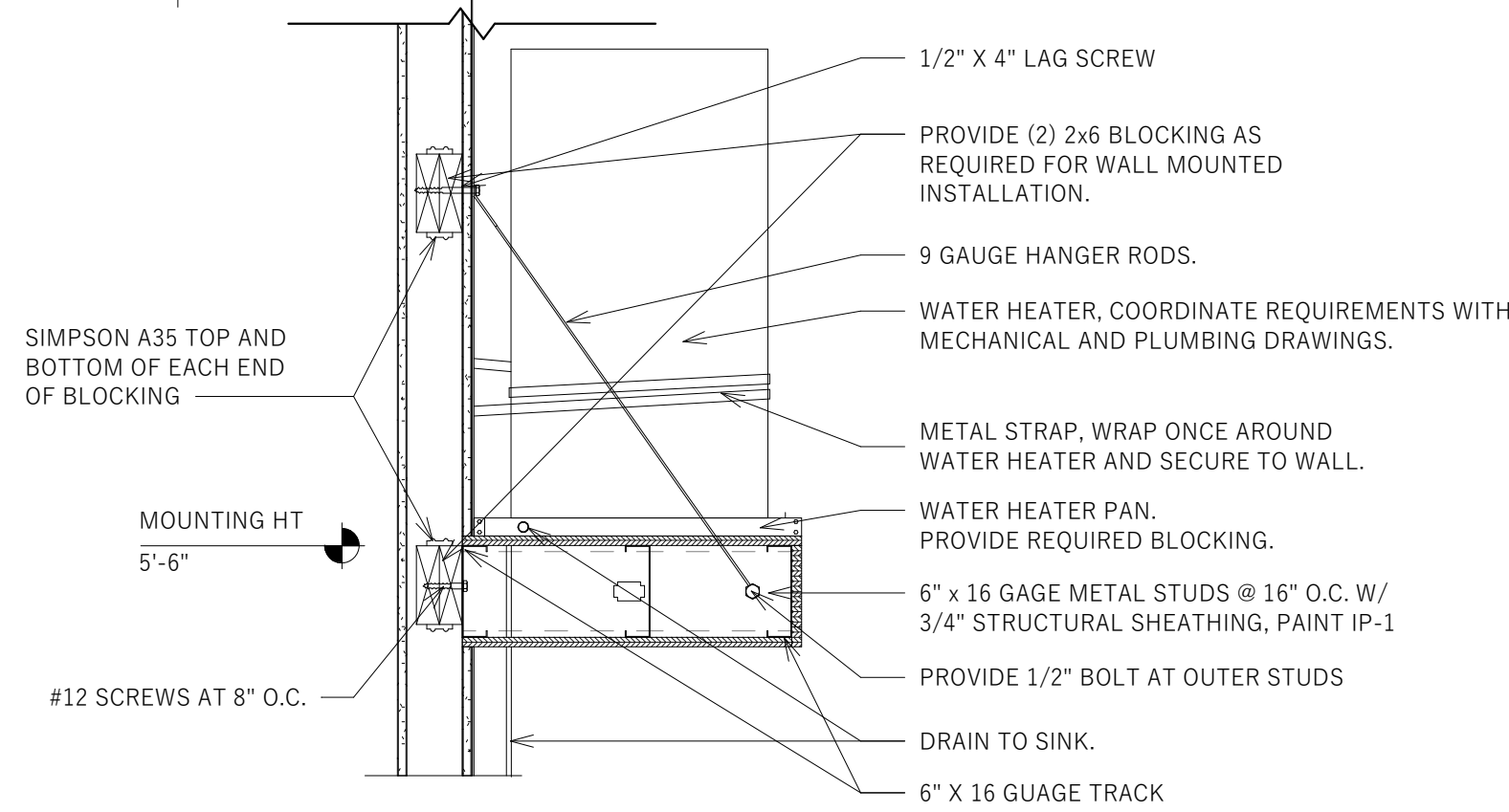




1  
A7.2

**SNEEZE GUARD ATTACHMENT DETAIL**

3" = 1'-0"

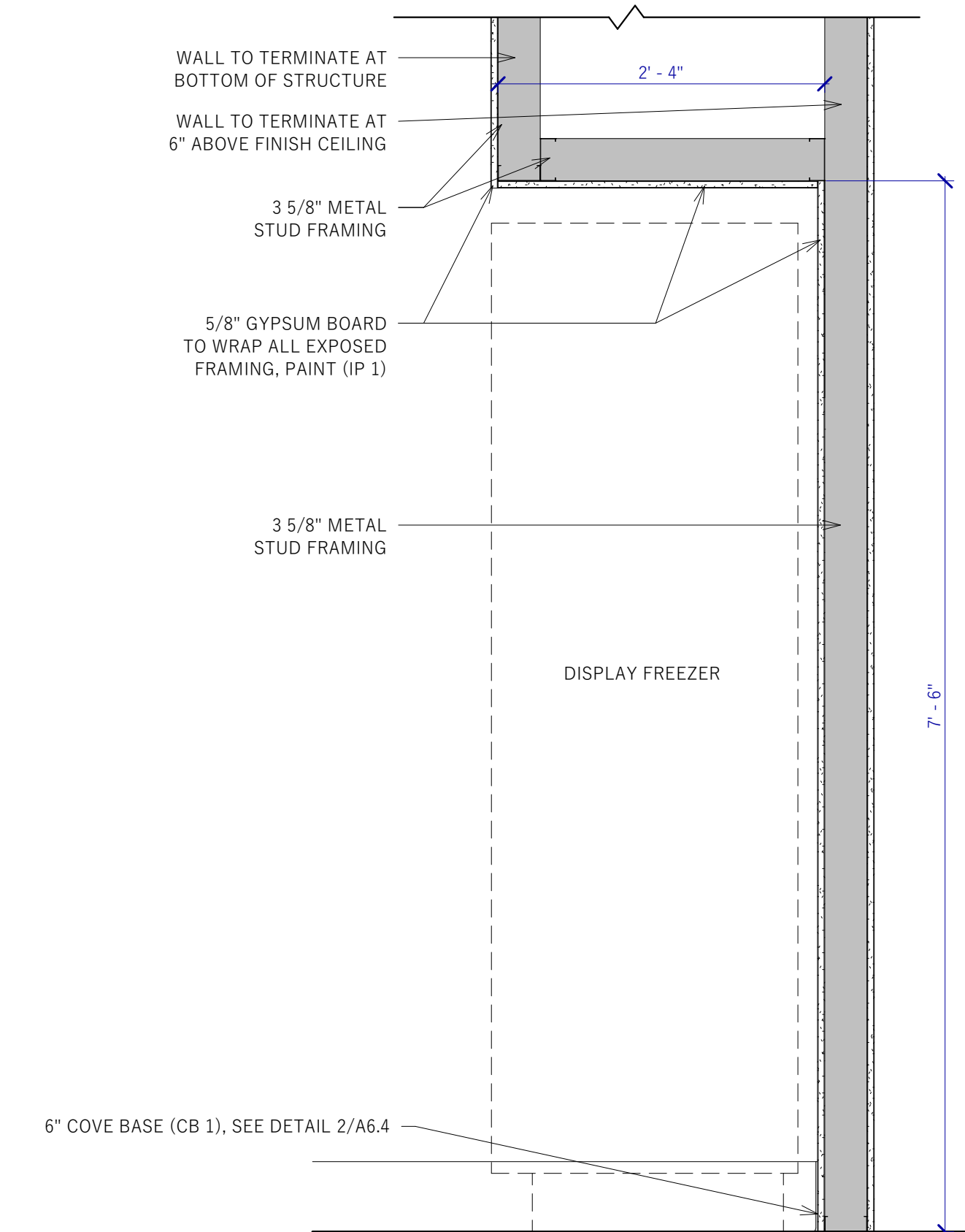


NOTES:  
GENERAL CONTRACTOR TO PROVIDE WATERTIGHT PAN AND DRAIN BELOW WATER HEATER

5  
A7.2

**WATER HEATER**

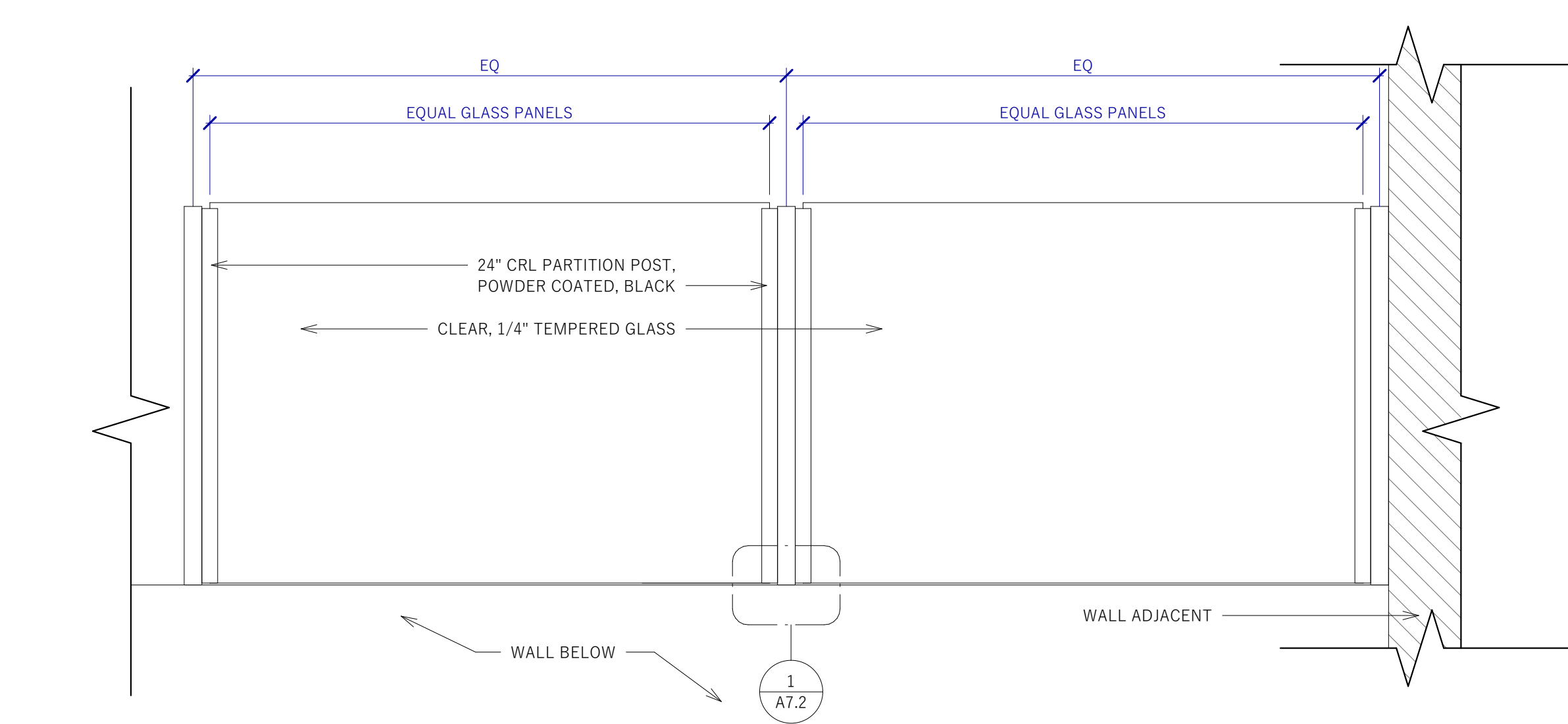
1" = 1'-0"



9  
A7.2

**DISPLAY FREEZER WALL**

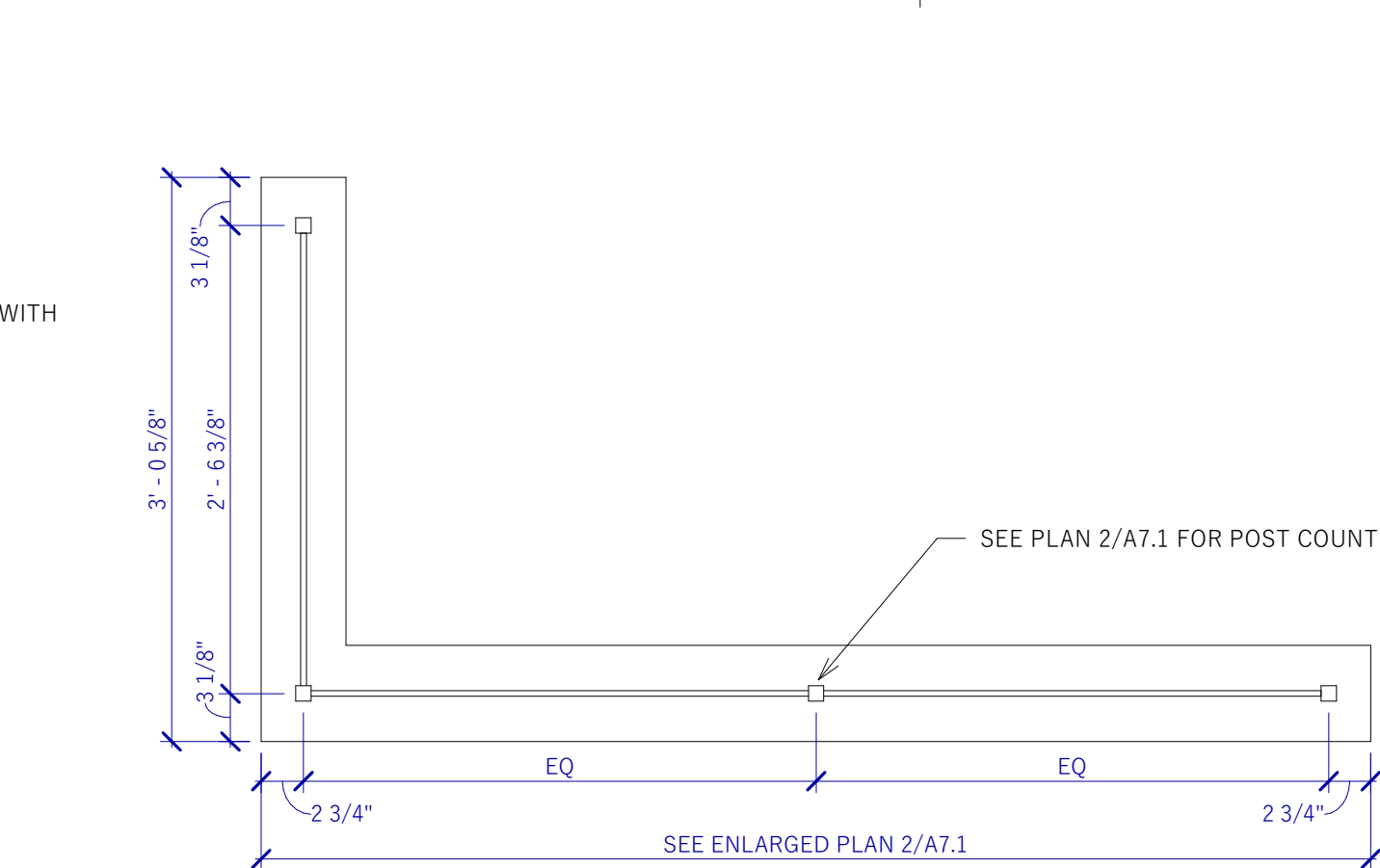
1" = 1'-0"



2  
A7.2

**SNEEZE GUARD**

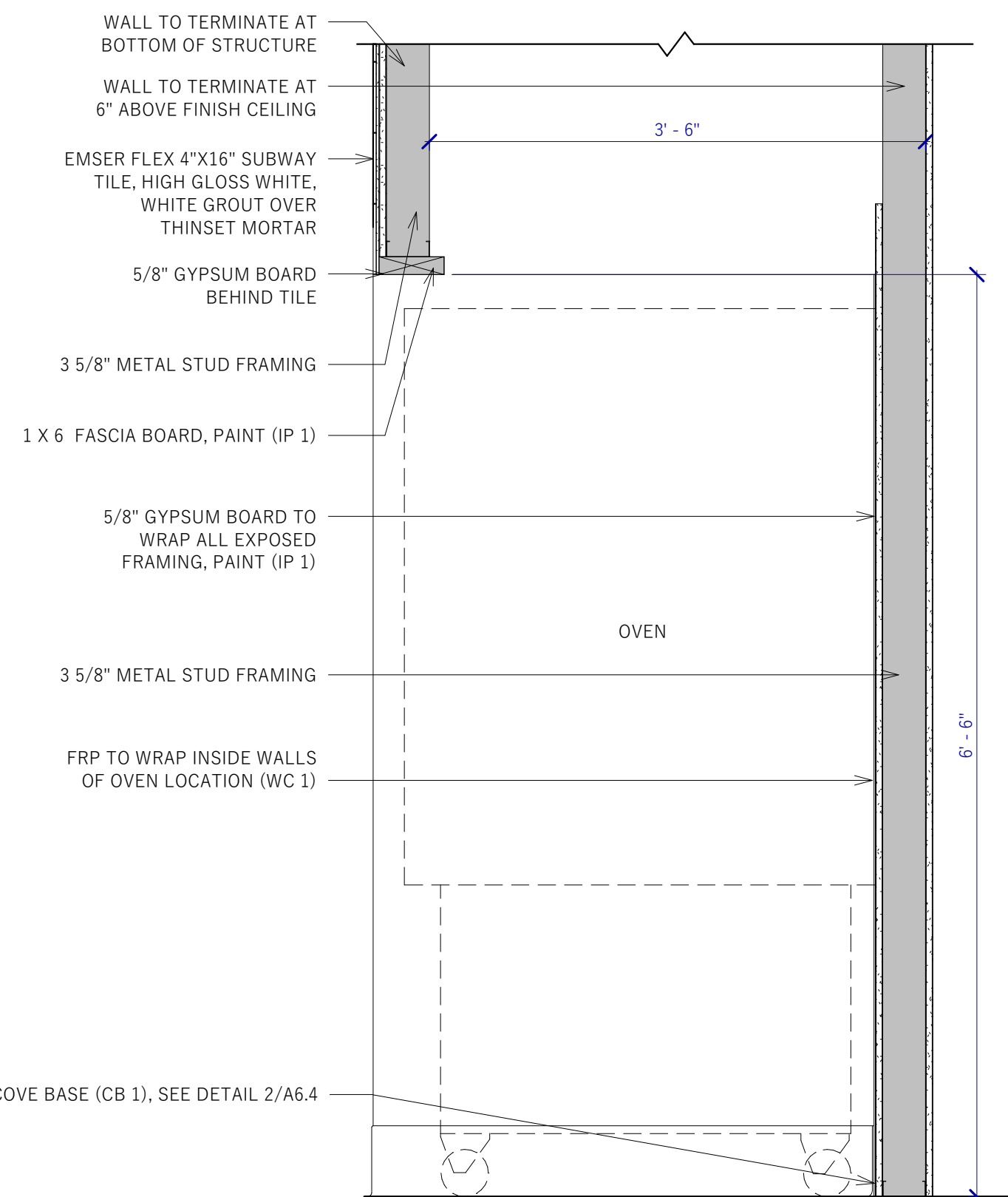
1 1/2" = 1'-0"



3  
A7.2

**SNEEZE GUARD PLAN**

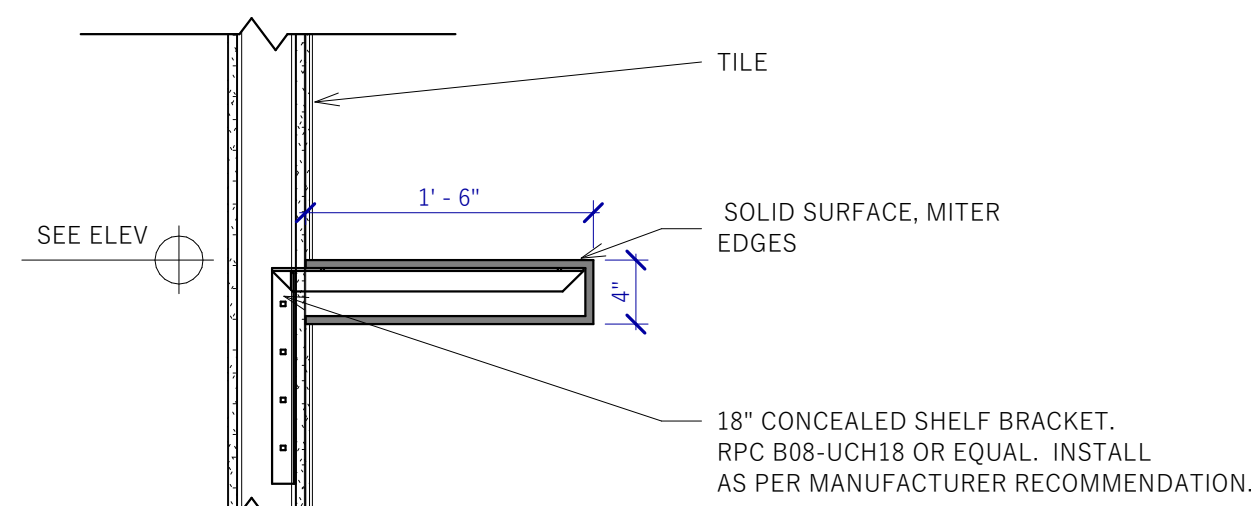
1" = 1'-0"



10  
A7.2

**OVEN WALL**

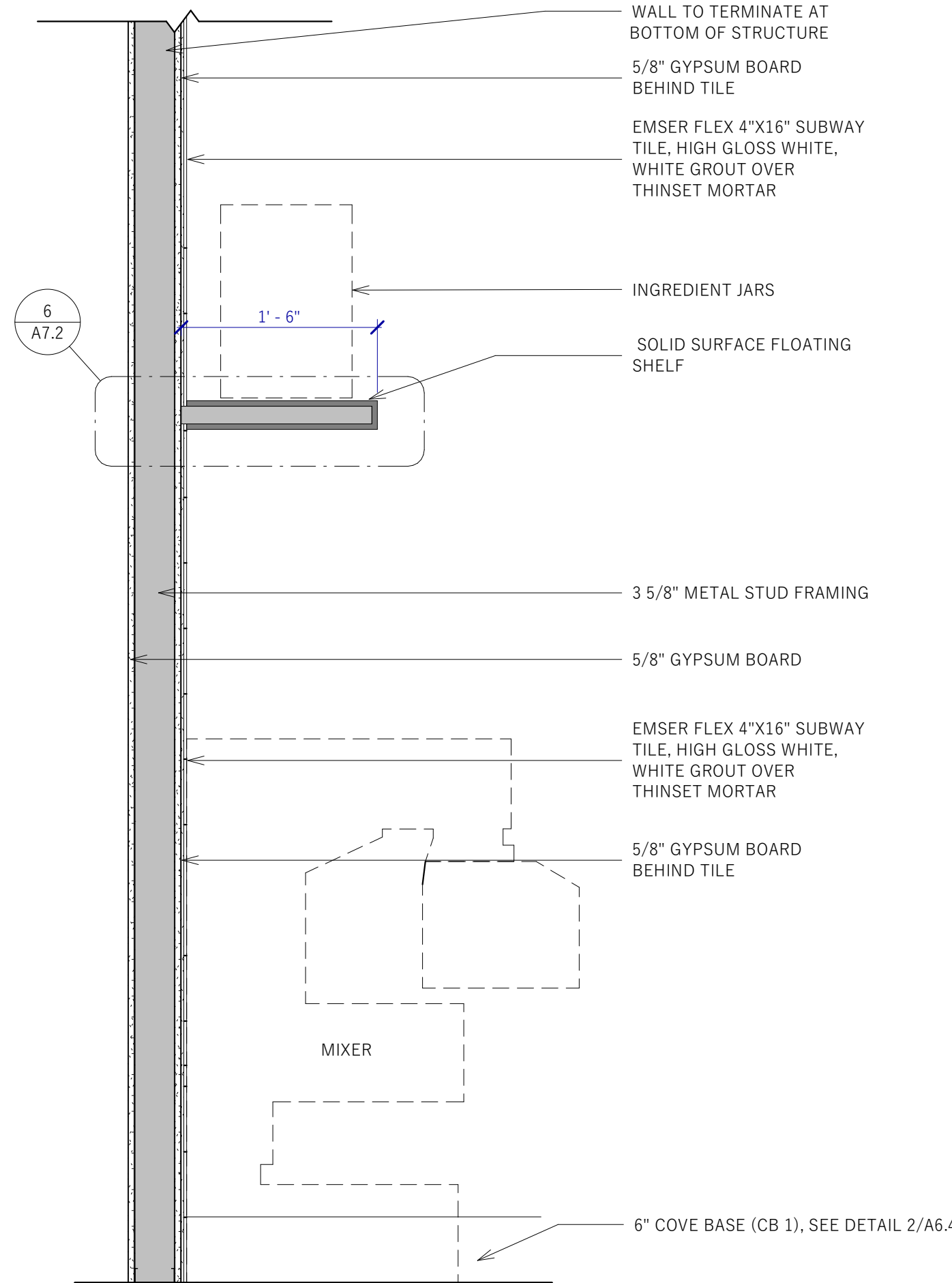
1" = 1'-0"



6  
A7.2

**18" INGREDIENT SHELF**

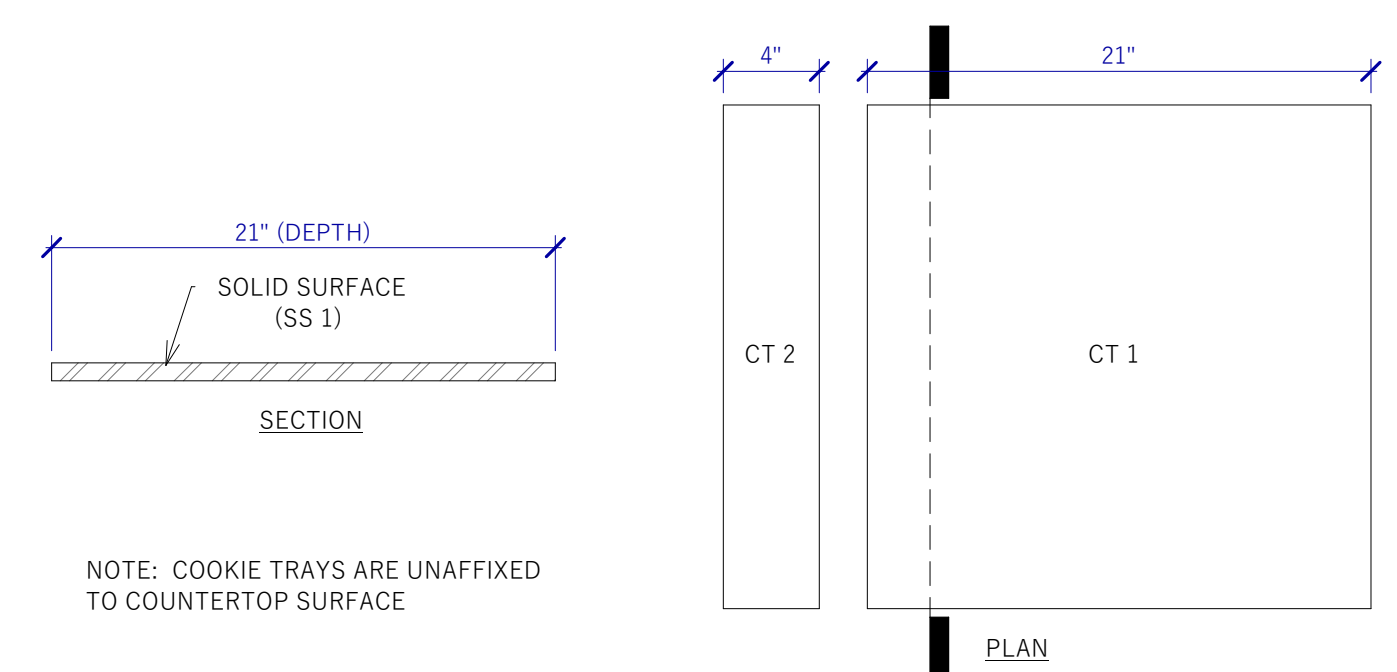
1" = 1'-0"



11  
A7.2

**MIXER WALL**

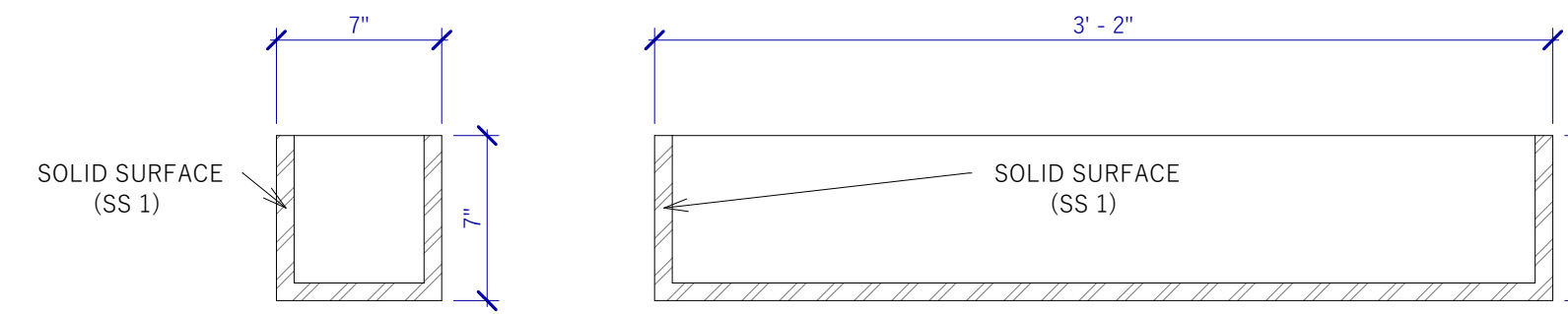
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4  
A7.2

**COOKIE TRAY DETAILS**

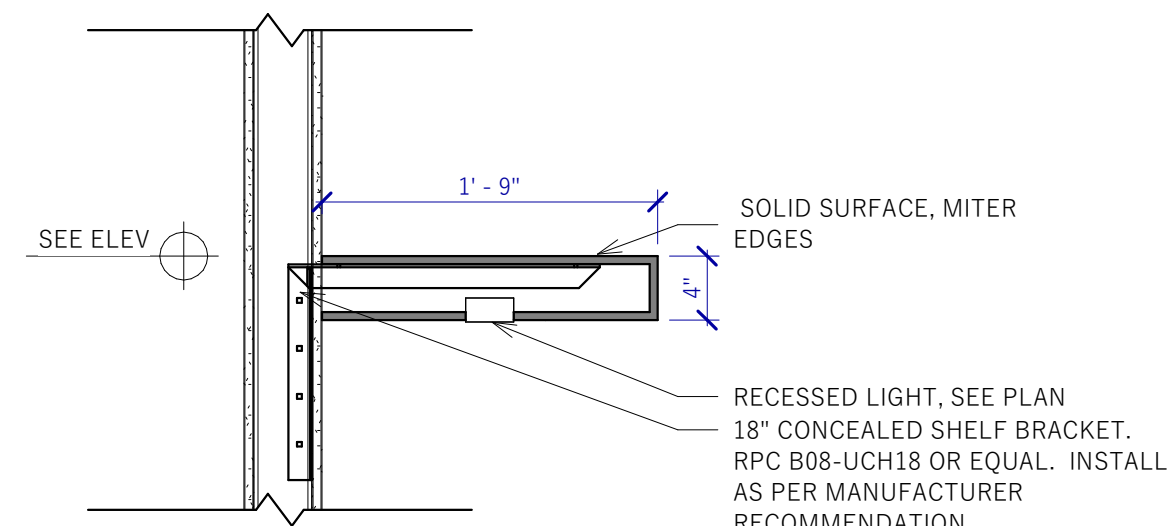
1 1/2" = 1'-0"



8  
A7.2

**INGREDIENT TOOLBOX (TB 1)**

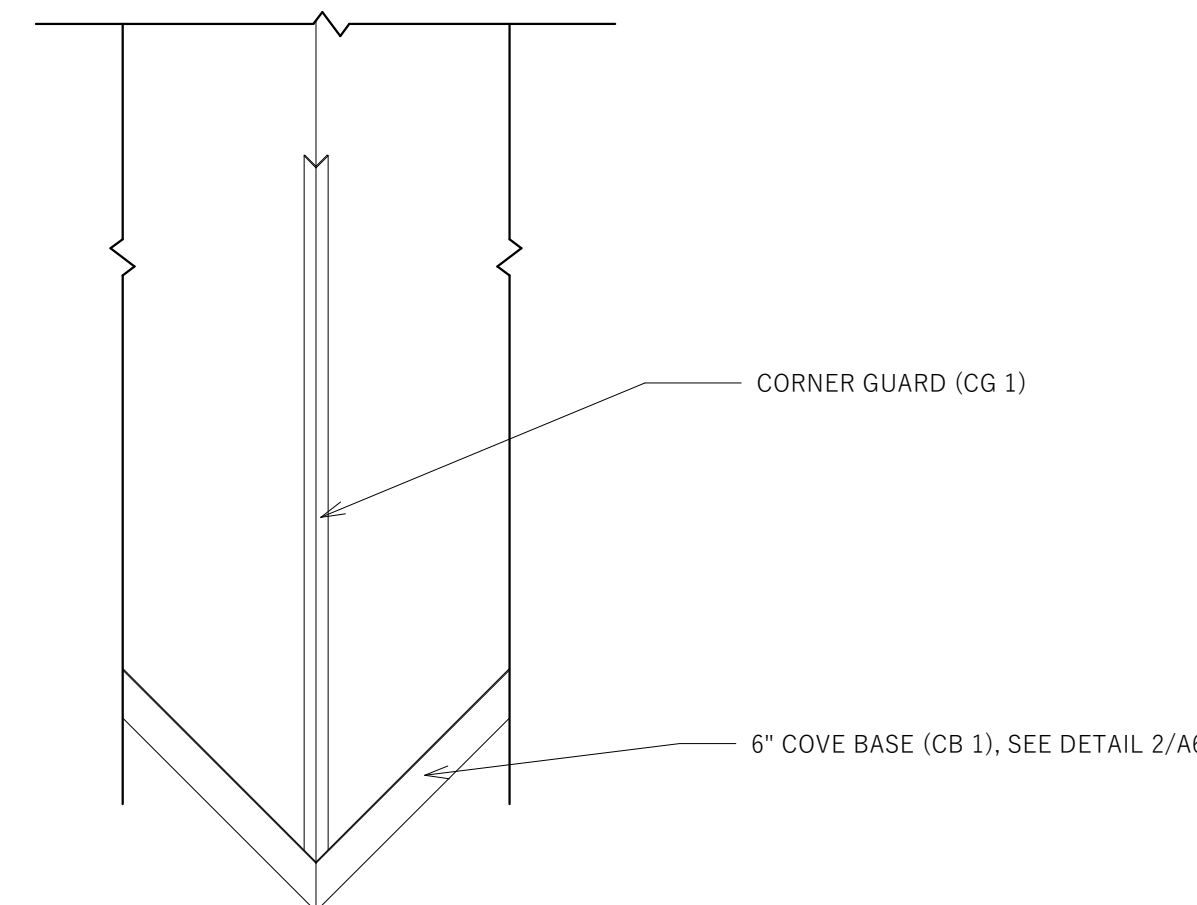
1 1/2" = 1'-0"



7  
A7.2

**21" BOX SHELF**

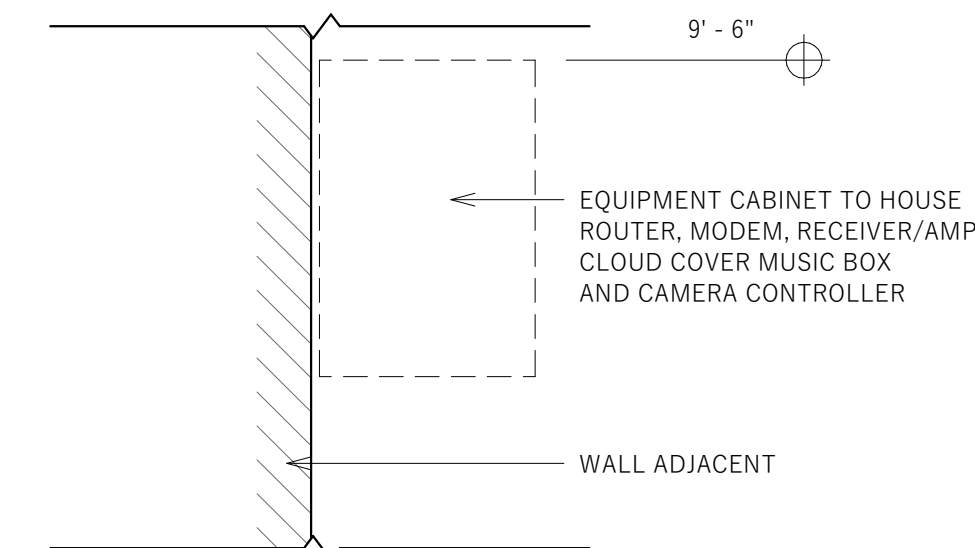
1" = 1'-0"



12  
A7.2

**CORNER GUARD DETAIL**

3/4" = 1'-0"



NOTE: VERIFY EXISTING CEILING CONDITIONS BEFORE MOUNTING EQUIPMENT CABINET.

13  
A7.2

**EQUIPMENT CABINET DETAIL**

3/4" = 1'-0"

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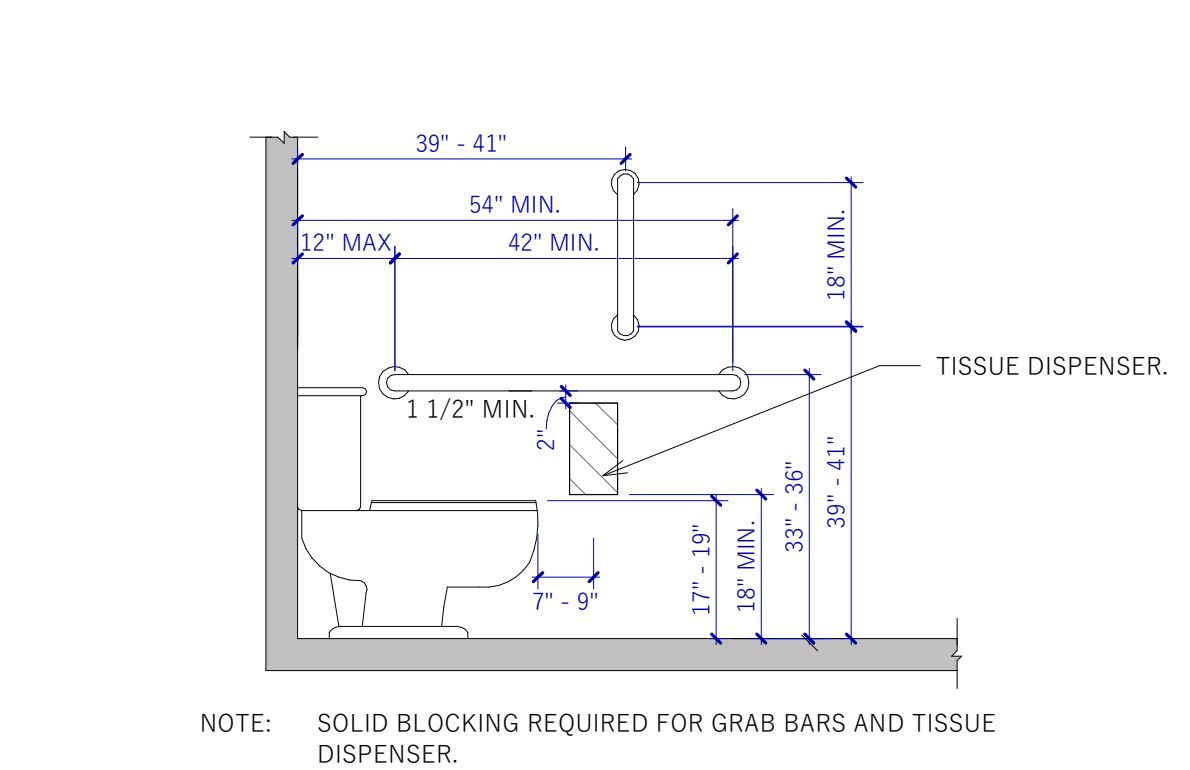
CRUMBL COOKIES -  
MARKET CENTRAL  
425 MASS AVE  
CAMBRIDGE, MA 02139

SECTIONS AND  
DETAILS

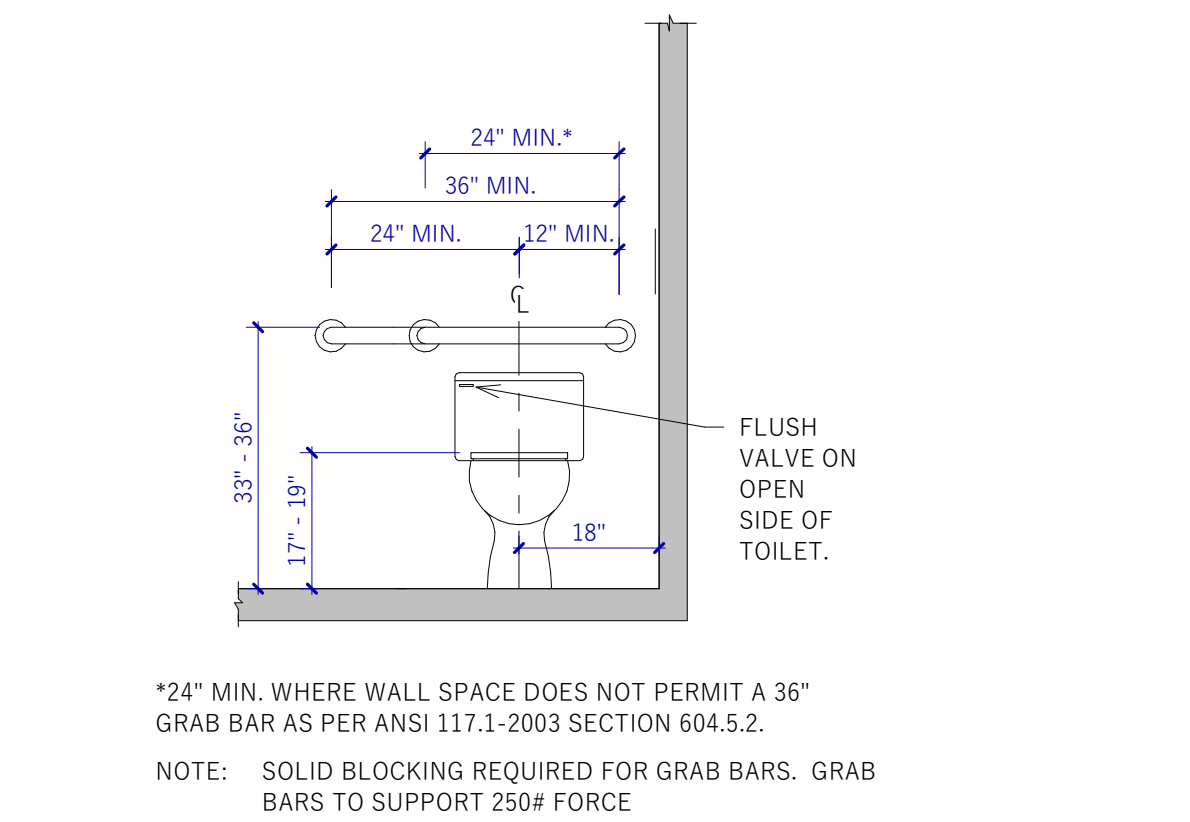
A7.2

JZW  
ARCHITECTS

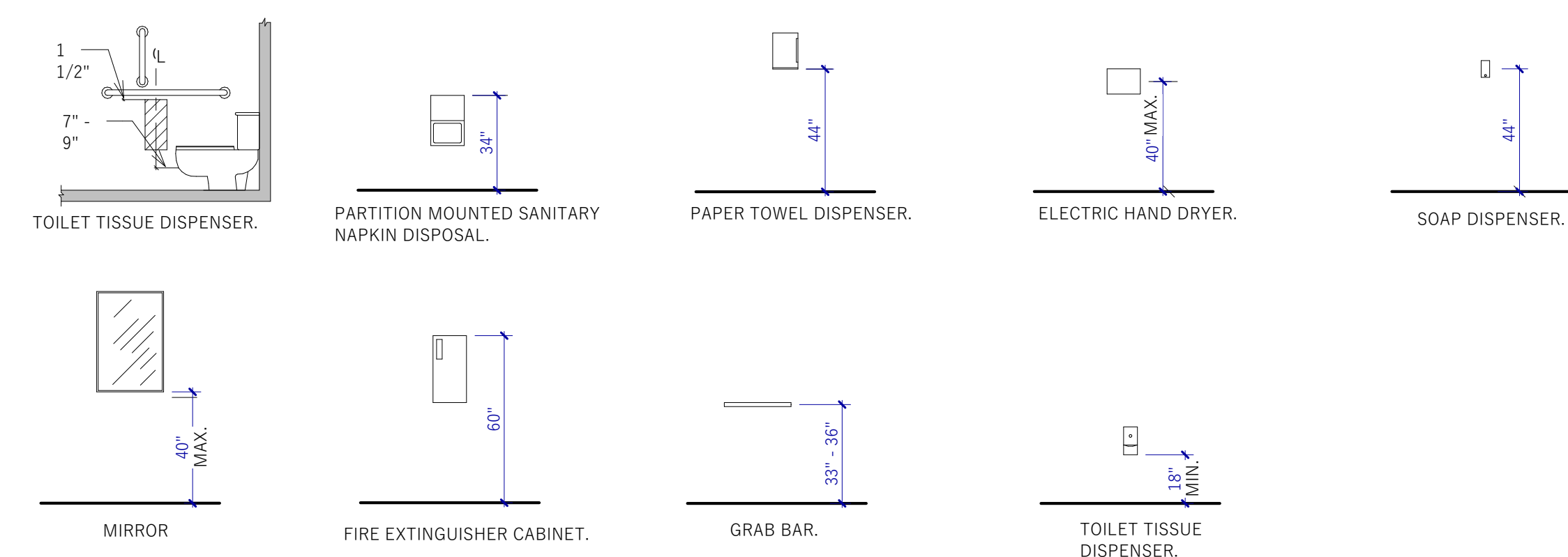




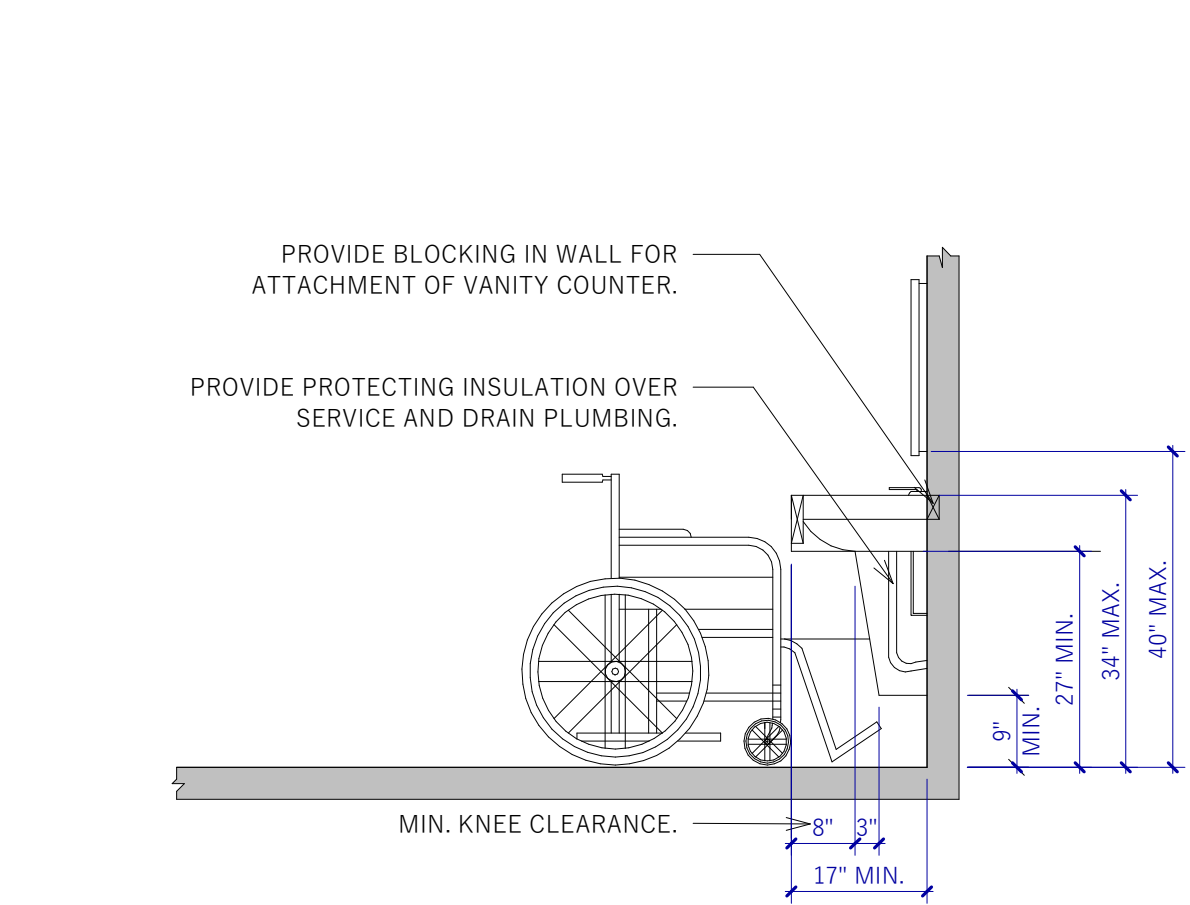
1  
G1.1 TYPICAL WATER CLOSET - SIDE VIEW  
1/2" = 1'-0"



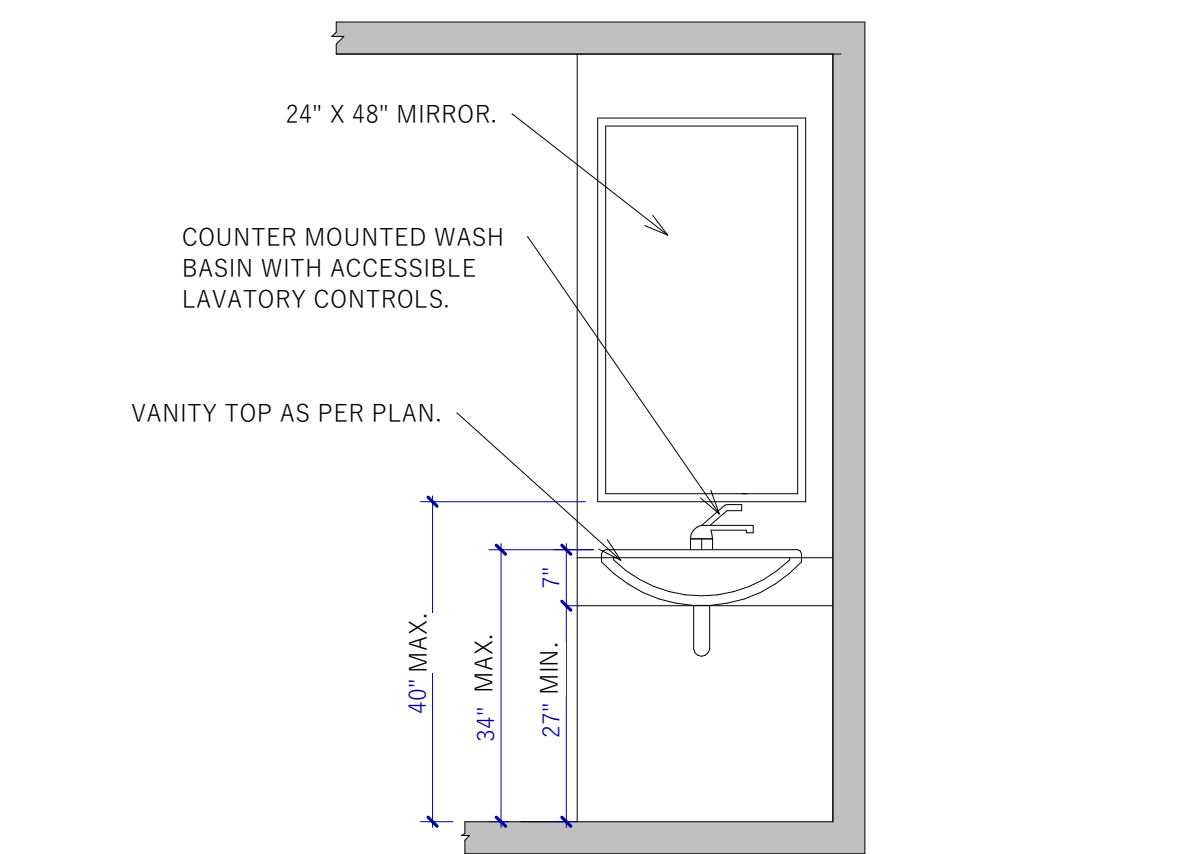
2  
G1.1 TYPICAL WATER CLOSET - FRONT VIEW  
1/2" = 1'-0"



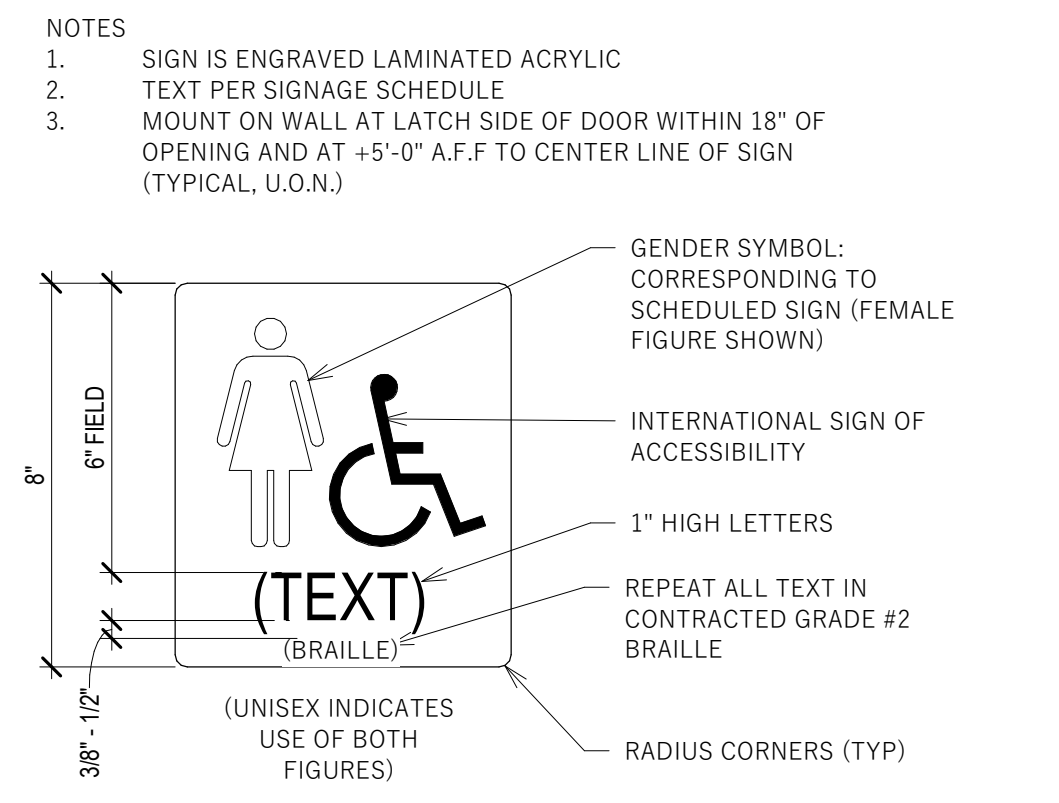
3  
G1.1 MOUNTING HEIGHTS AND TOILET ROOM ACCESSORIES  
1/4" = 1'-0"



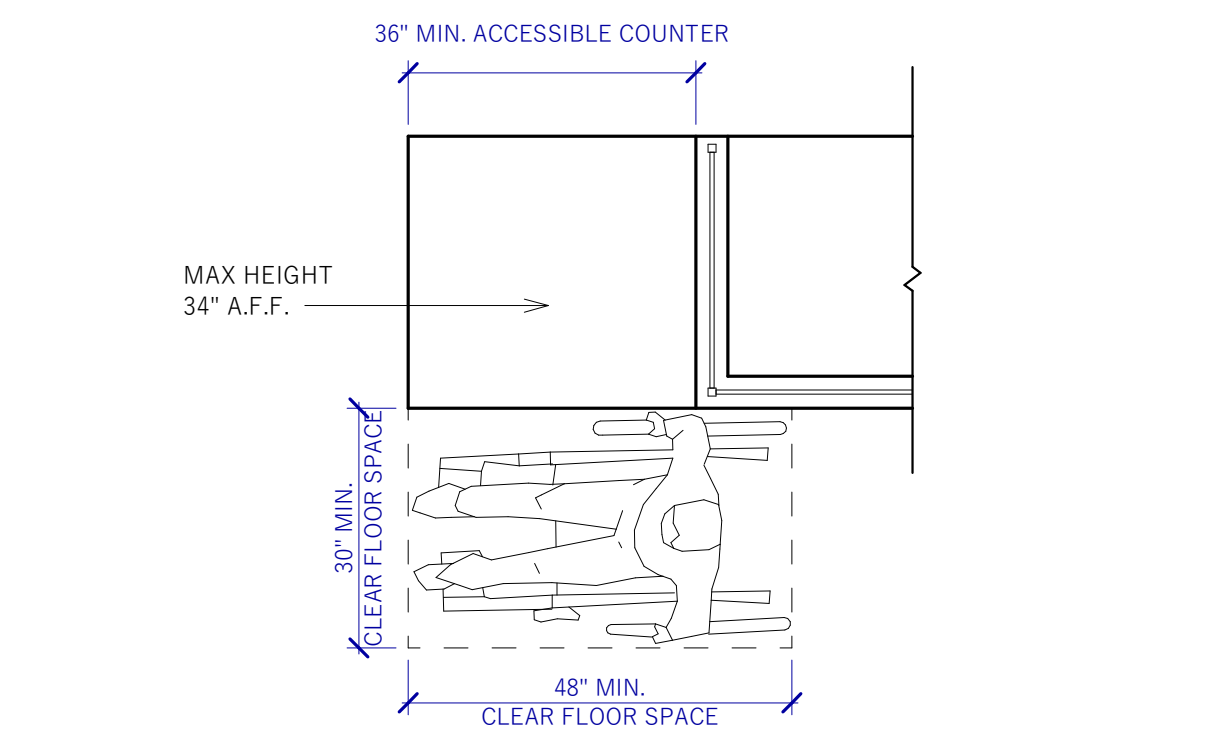
4  
G1.1 TYPICAL VANITY DETAIL  
1/2" = 1'-0"



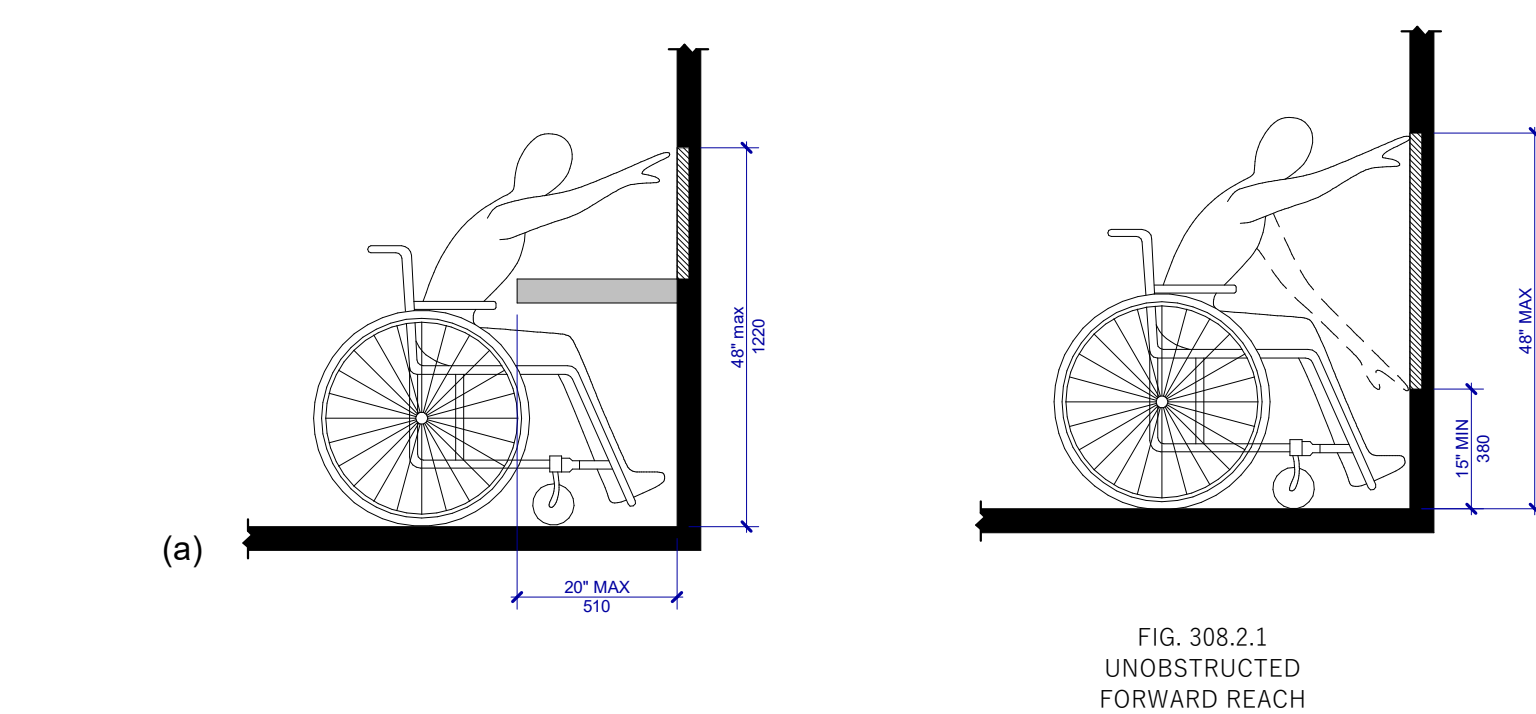
5  
G1.1 TYPICAL VANITY ELEVATION  
1/2" = 1'-0"



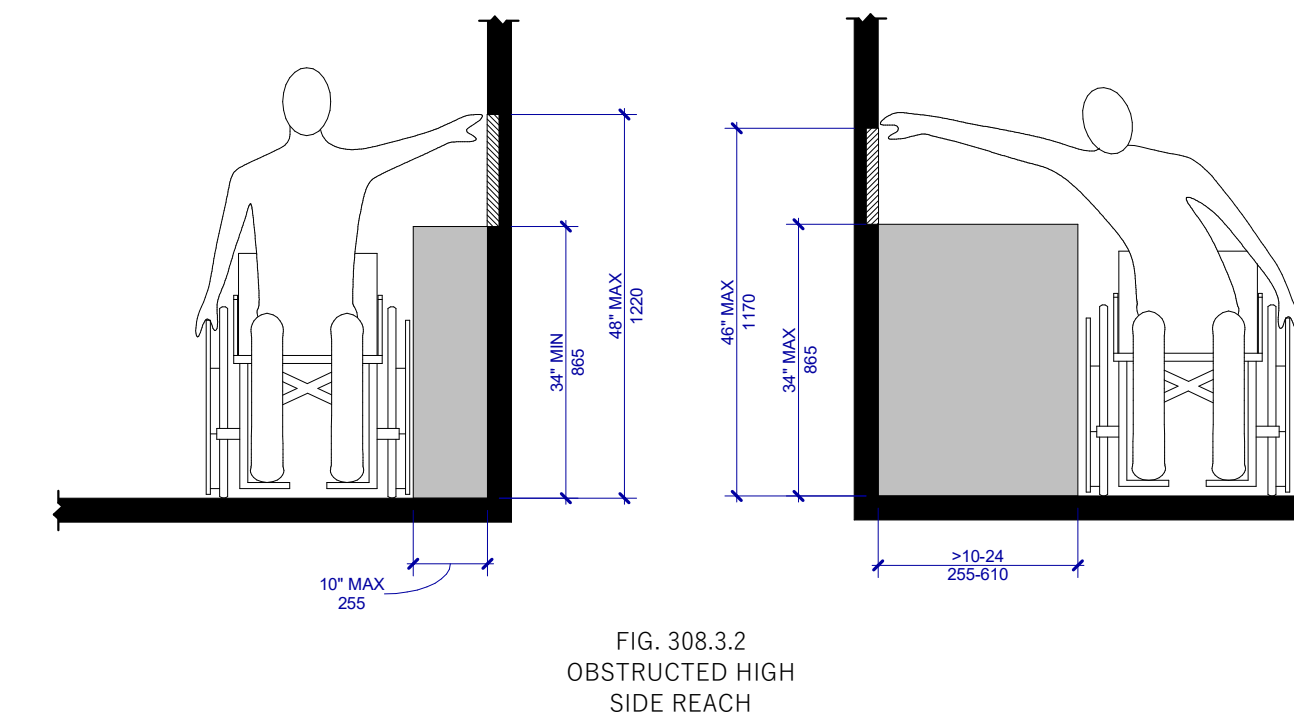
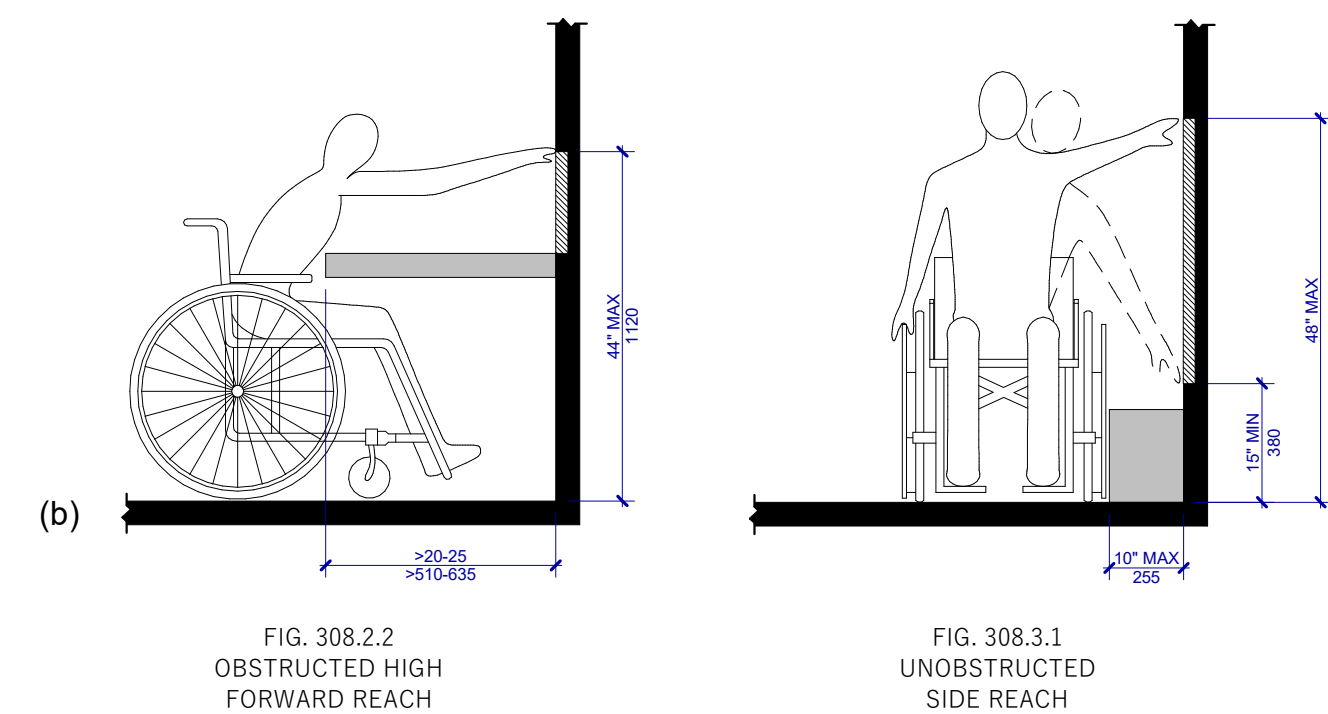
6  
G1.1 RESTROOM SIGNAGE  
3" = 1'-0"



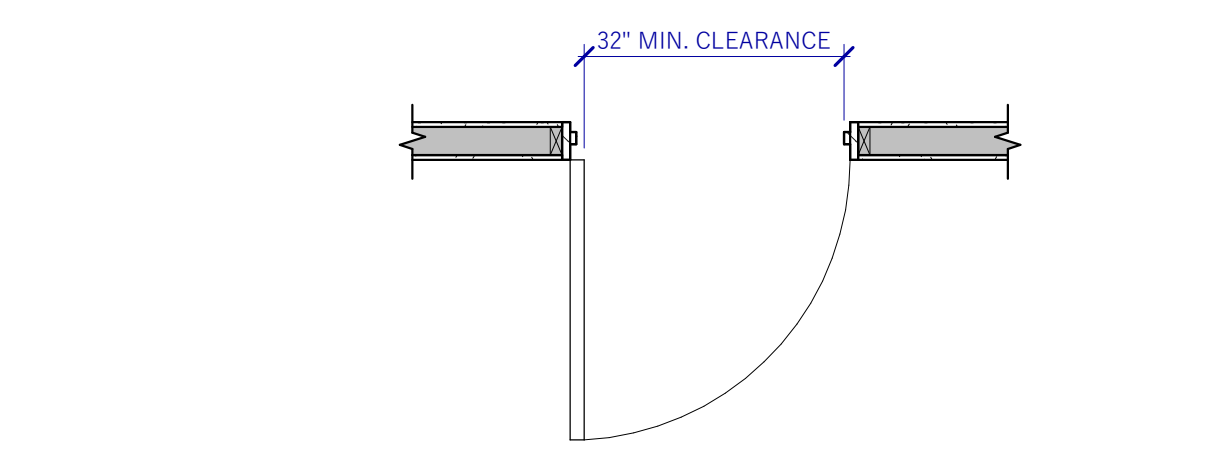
7  
G1.1 SALES AND SERVICE COUNTER DETAIL  
1/2" = 1'-0"



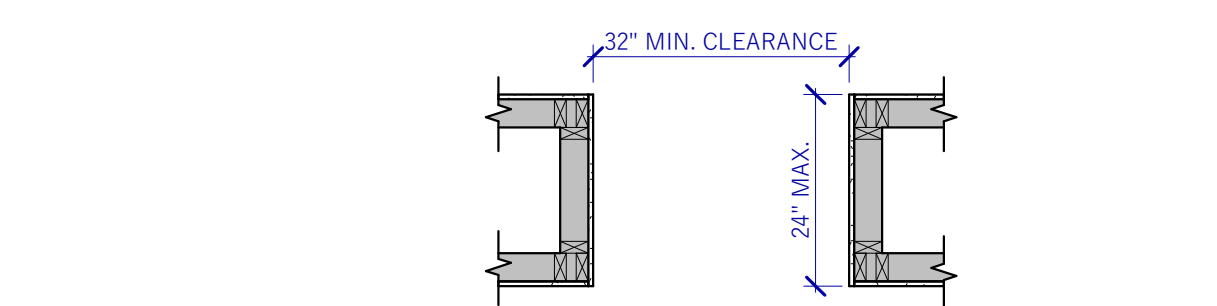
10  
G1.1 TYPICAL REACH RANGES  
1/2" = 1'-0"



11  
G1.1 OBSTRUCTED HIGH SIDE REACH  
1/2" = 1'-0"



8  
G1.1 CLEAR DOORWAY WIDTH - HINGED  
1/2" = 1'-0"



9  
G1.1 CLEAR PASSAGEWAY WIDTH - MAX. DEPTH  
1/2" = 1'-0"

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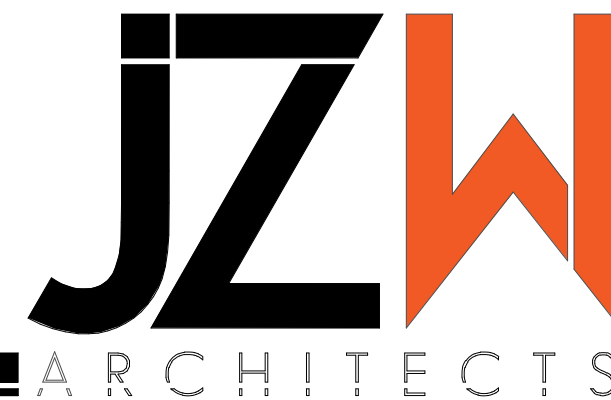
No.	Date	Description

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CRUMBL COOKIES -  
MARKET CENTRAL  
425 MASS AVE  
CAMBRIDGE, MA 02139

ACCESSIBILITY  
DETAILS

G1.1





# crumbl cookies

**DESIGN REVIEW - CRUMBLE COOKIES**

**425 Massachusetts Ave #1, Cambridge, MA 02139**





# PERMANENT GRAPHICS - FRONT

23.34"

17.54"

**store hours**  
mon - thurs / 8 am - 10pm  
fri & sat / 8 am - midnight

**delivery hours**  
mon - thurs / 8 am - 10pm  
fri & sat / 8 am - midnight

DETAILS
▶ HP White Vinyl
▶ 1st Surface

18 in

12.5 in

**TASTE WEEKLY**

crumbl cookies

**1.2** *DIGITAL PRINT*  
Scale: 1/4" = 1'-0"

DETAILS
▶ HP White Vinyl and Digital Print
▶ 1st Surface
▶ By Others

21.67 in

10.72 in

**OPEN**

**1.3** *STANDARD OPEN SIGN*  
Scale: 3/4" = 1'-0"

DETAILS
▶ Standard LED Prefab Open Sign
▶ By Others

**1.1** *STORE HOURS*  
Scale: 1" = 1'-0"

crumbl

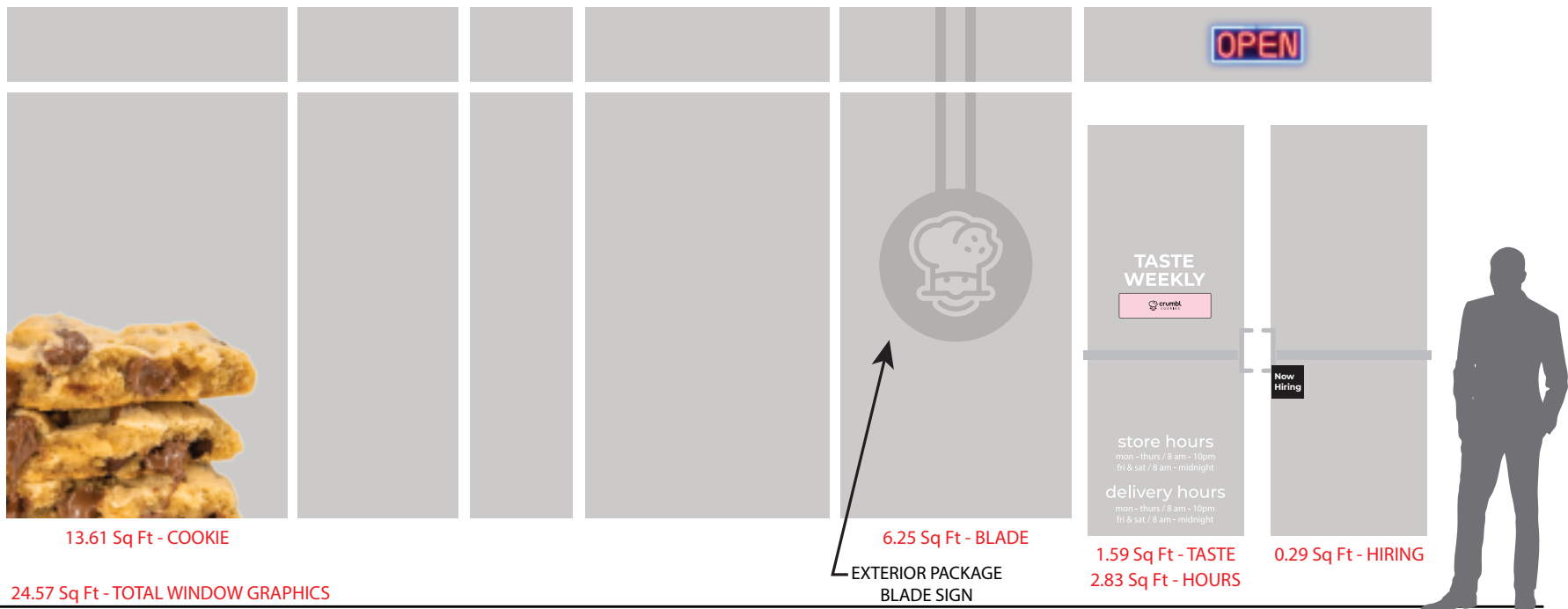
12.36 Sq Ft

EXTERIOR PACKAGE MAIN ID



**1.4** *COOKIE PRINT*  
Scale: 3/8" = 1'-0"

DETAILS
▶ HP Printed Vinyl
▶ 1st Surface



**1.5** *PROPOSED LAYOUT - FRONT*  
Scale: 3/8" = 1'-0"



**SIGNDESIGNLAB**

Project Management | Signage  
signdesignlab.com • sales@signdesignlab.com

(888) 735-7446

## PROJECT INFORMATION

### COMPANY & LOCATION

**Crumbl Cookies**  
425 Massachusetts Ave  
Retail Space #1  
Cambridge, MA 02139

### OVERVIEW

Interior Signs

DATE PROJECT #

11/29/22 SDLP1914

### DESIGNER

TMC

### REVISIONS

### APPROVAL

- ☐ APPROVED WITH NO CHANGES  
☐ APPROVED WITH CHANGES AS NOTED  
☐ REVISE AS NOTED AND RESUBMIT

Signature

Date

### DESIGN

**A08**

### SHEET

**01 of 07**

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RENDERING - FRONT



2.1 PHOTO RENDERING - FRONT  
Scale: NTS



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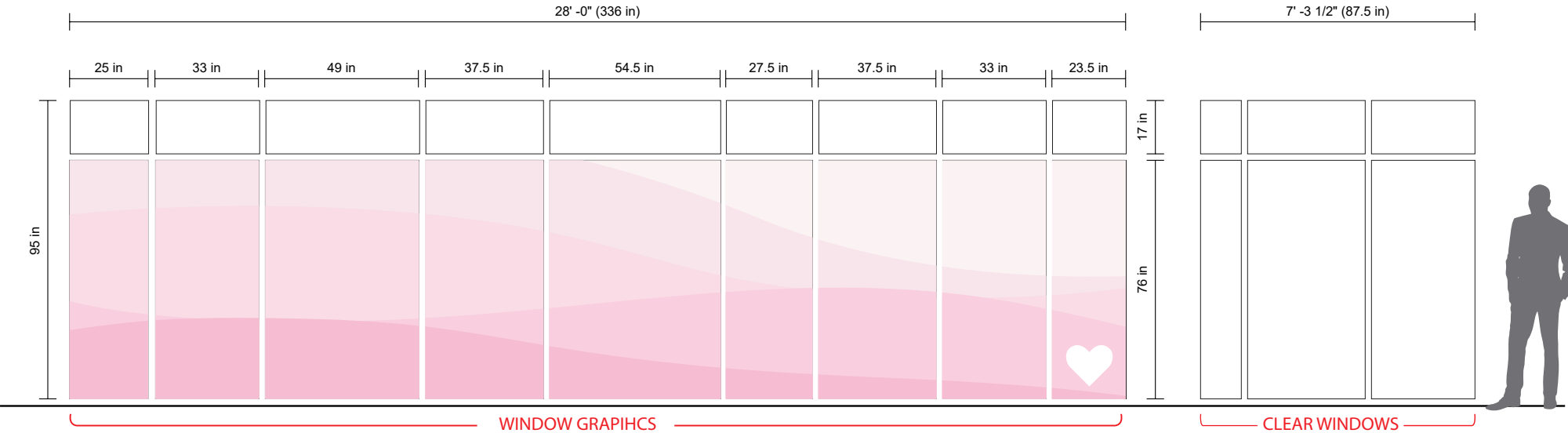
**02 of 07**

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# PERMANENT GRAPHICS - SIDE



The wave pattern is exclusive to this location

**3.1** *WAVE GRAPHIC - SIDE*  
Scale: 1/4" = 1'-0"

DETAILS
▶ HP Digital Print
▶ 1st Surface



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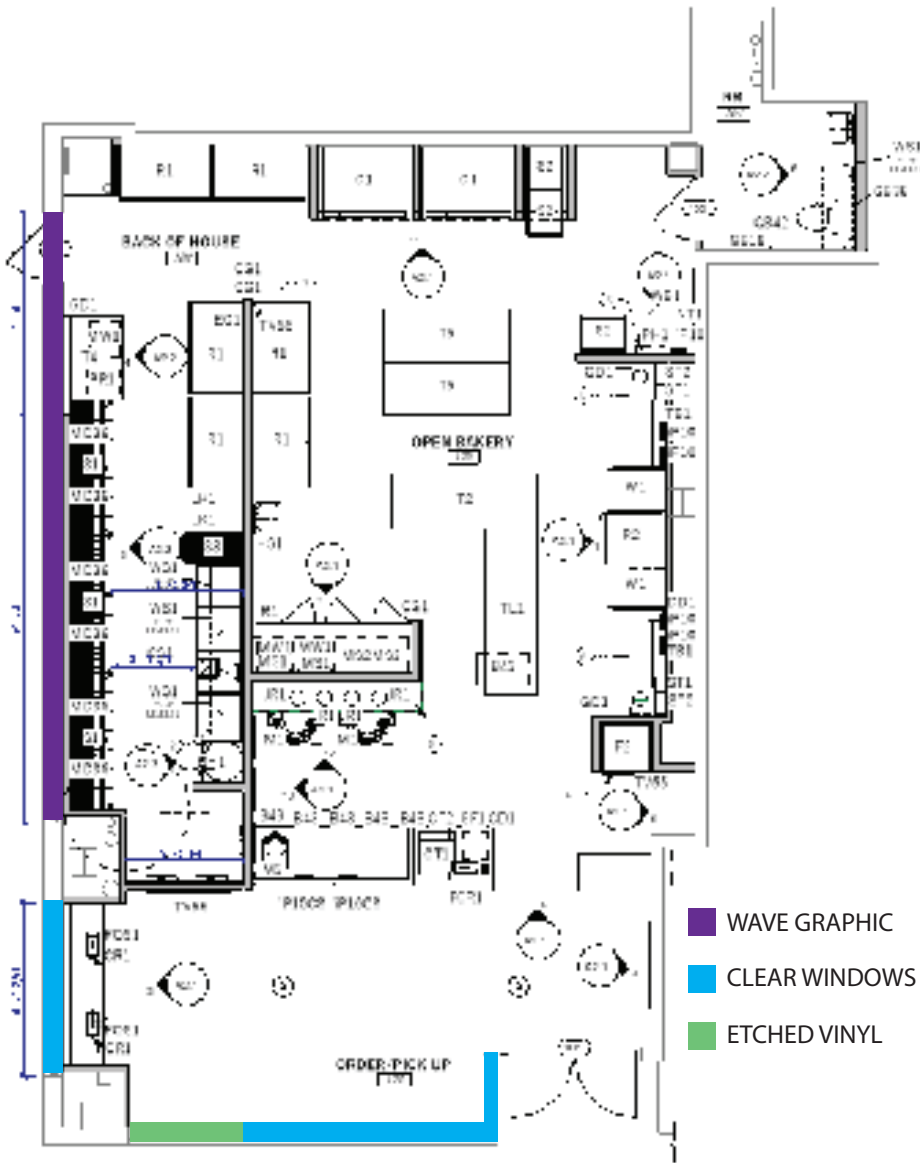
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RENDERING - SIDE



4.1 PROPOSED LAYOUT - SIDE  
Scale: 1/4" = 1'-0"

The wave pattern is exclusive to this location



4.2 SITE MAP WINDOW REFERENCE  
Scale: NTS



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# AREA RENDERINGS



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### OVERVIEW

Interior Signs

DATE	PROJECT #
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11/29/22	SDLP1914
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### DESIGNER

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COMPLETED EXAMPLES



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# AREA PHOTOS



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