



GRAPHIC VOLUME







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01 Context Maps - Transportation

BLUE BIKES

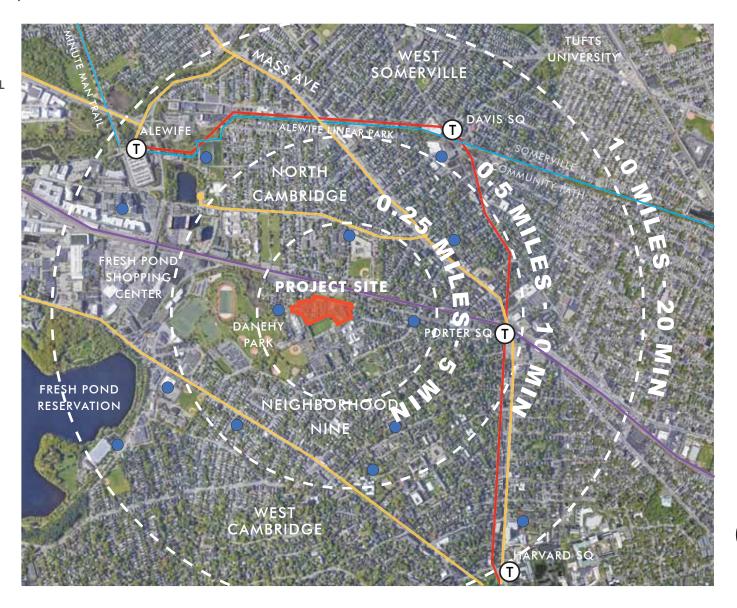
T STOP

T ROUTE

COMMUTER RAIL

BUS ROUTE

BIKE PATH



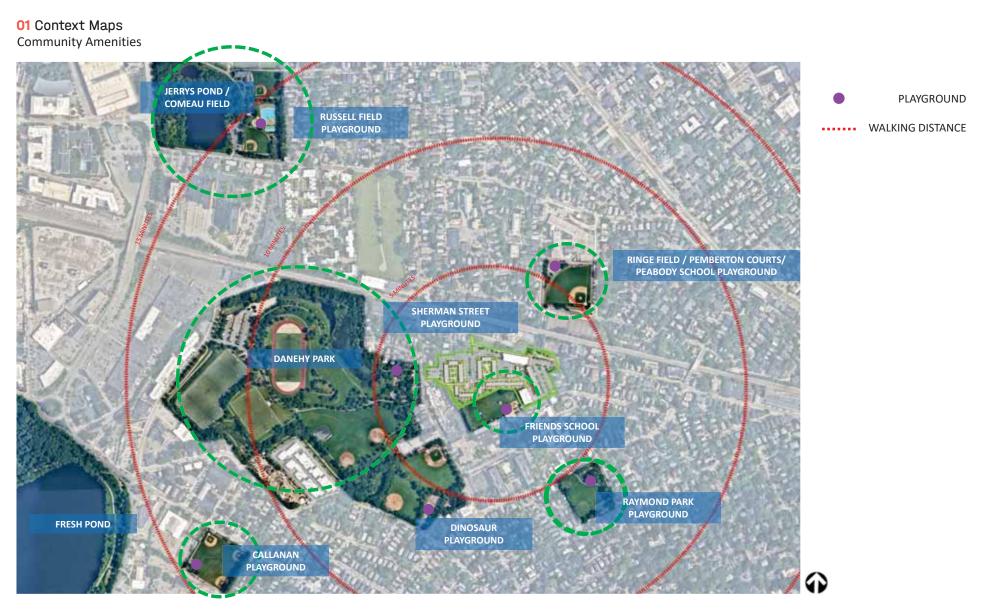


01 Context Maps - Land Use















02 Site Analysis - New Proposed Massing



02 Site Analysis - New Proposed Massing



02 Existing Photographs - Overall Site











02 Existing Photographs - Building A Area









02 Existing Photographs - Building B Area









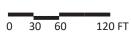
03 Proposed Conditions Plans – Proposed Site Plans



PCA Architecture, Interiors + Planning







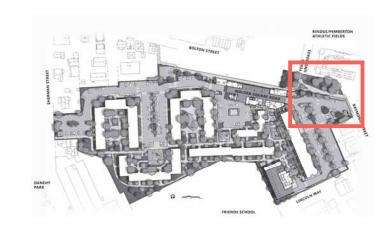
Illustrative Site Plan Open Space



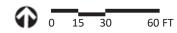




- SHARED PATH
- PEDESTRIAN LIGHTING
- GATEWAY PLAZA W/ SEAT WALL, PERGOLA, SIGNAGE
- 4 BENCHES
- BLUE BIKES
- SCHOOL BUS STOP



— — — Limit of Work



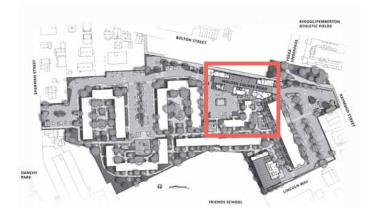


North/ Central Enlargement



- **BIKE ROOM**
- PEDESTRIAN GATEWAY PLAZA
- SEAT WALLS W/ BENCHES
- ENTRANCE PLAZA
- PATIO & SEATING
- **NEW PLAYGROUND** (AGES 5-12)
- IMPROVED PLAYGROUND (AGES 6-23 MONTHS)

- BIKE SHELTER
- SHORT TERM BIKE PARKING
- **COMMUNITY PLAZA**
- **ENTRANCE PLAZA**
- **ENHANCED PEDESTRAIN** CROSSWALK
- SHARED PATH
- TRASH / RECYCLING ENCLOSURE



Limit of Work

60 FT

03 South Enlargement



- BIKE SHELTER
- SHORT TERM BIKE RACKS
- CONCRETE SEAT WALL
- PAVED PEDESTRIAN ENTRANCE
- (5) WAYFINDING SIGN
- PEDESTRIAN ACCESS

- BIKE ROOM
- (S) TREE PLANTERS & SEATING
- MAINTENANCE, STORAGE,& OFFICE
- VEHICLE PARKING ENTRANCE

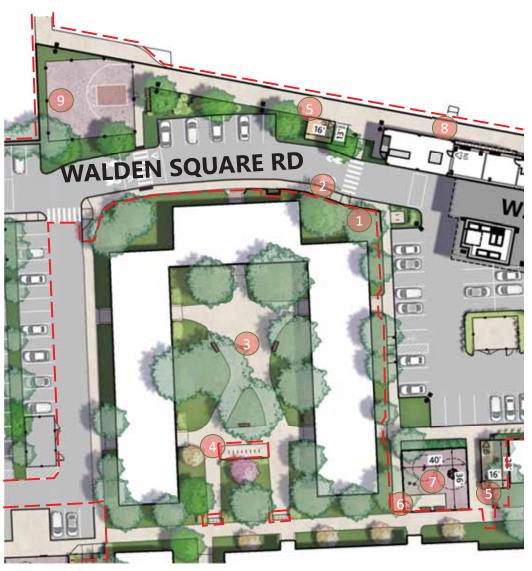


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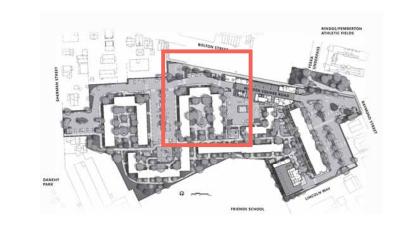


Courtyard A Enlargement



- SHORT TERM BIKE PARKING
- SCHOOL BUS STOP
- BENCHES, PLANTING AND LIGHTING ENHANCEMENTS
- SHORT TERM BIKE PARKING
- BIKE SHELTER
- PATIO SEATING

- IMPROVED PLAYGROUND (AGES 6-23 MONTHS)
- SHARED PATH
- RESURFACED BASKETBALL COURT



Limit of Work





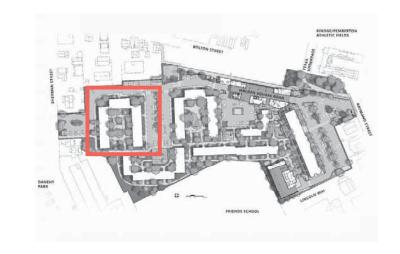




Courtyard B Enlargement



- BENCHES, PLANTING AND LIGHTING IMPROVEMENTS
- SHORT TERM BIKE PARKING
- PLANTING AND LIGHTING ENHANCEMENTS



Limit of Work



Courtyard C Enlargement



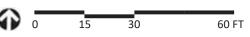
03 West Enlargement



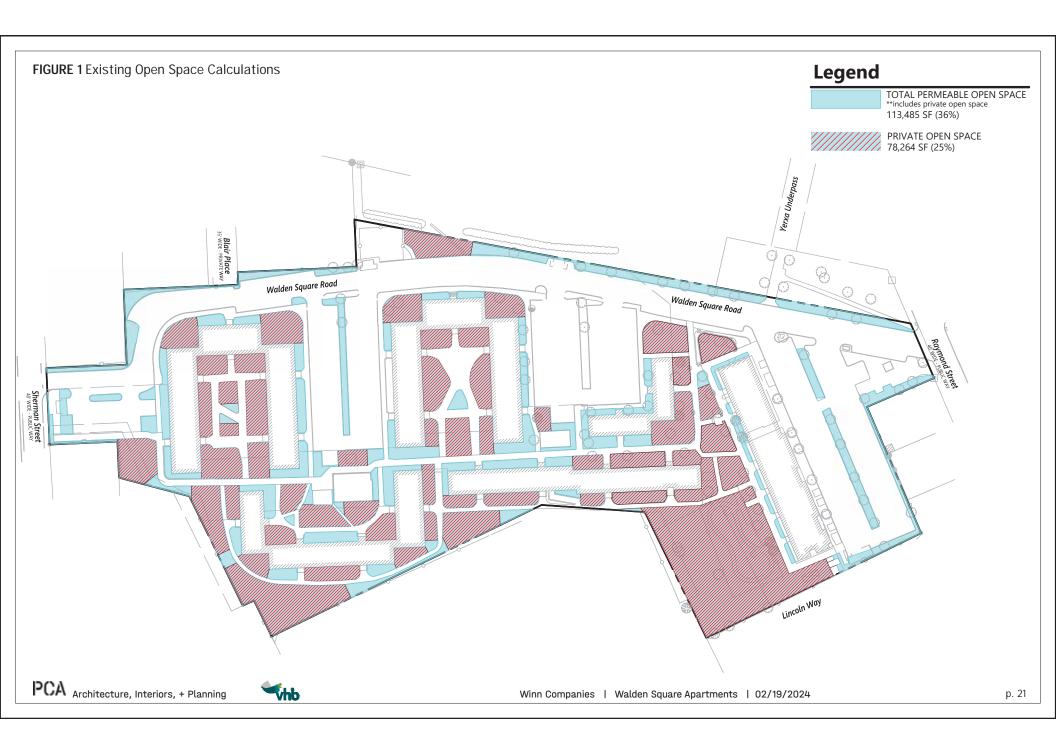
- 30" DECORATIVE WALL & SIGNAGE
- SEAT WALL

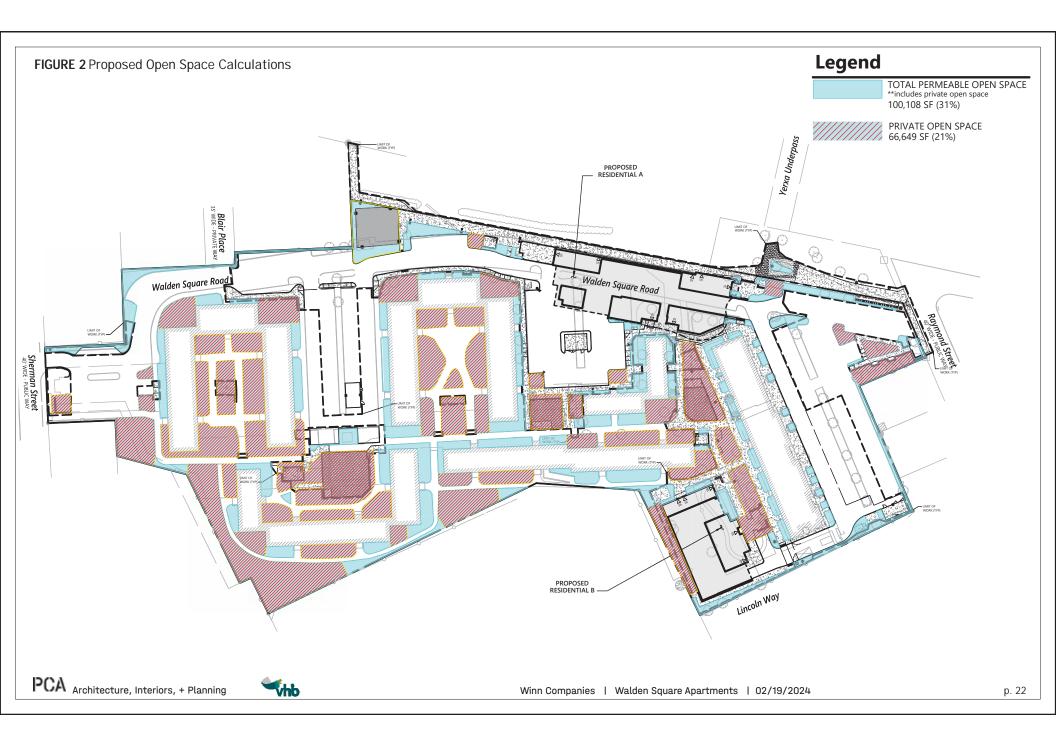


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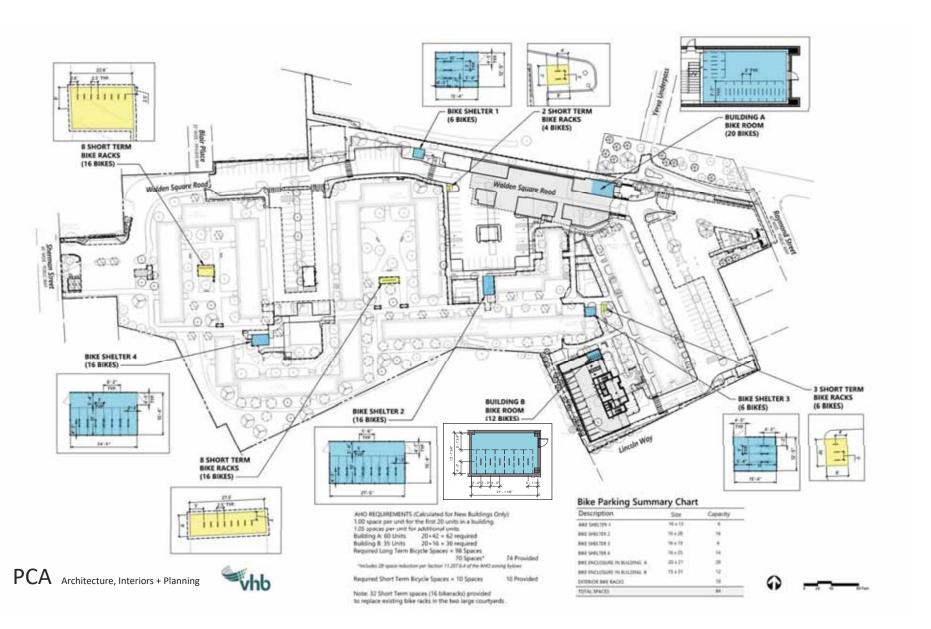
Illustrative Site Plan Pedestrian and Bicycle Circulation



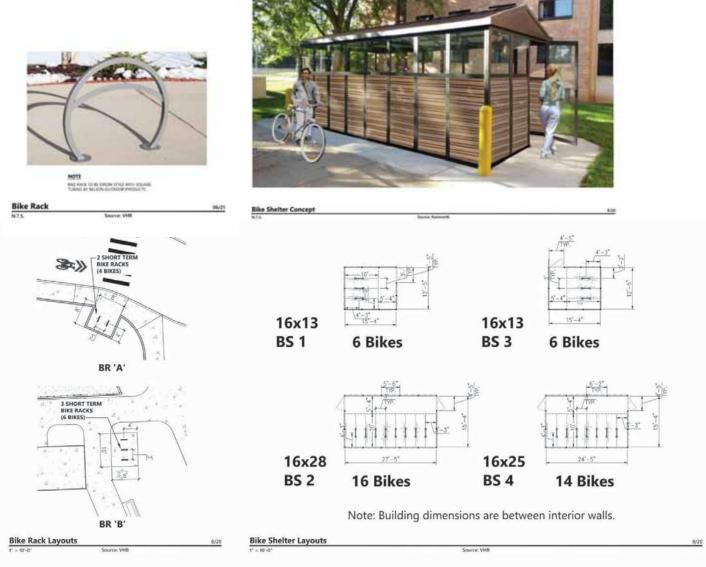




03 Site Plan Bicycle Parking Plan Enlargement



03 Illustrative Site Plan Bicycle Parking Details



C1.00 Legend & General Notes

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE	124000	174-1041 174-1041	CONCRETE
		PROPERTY LINE PROJECT LIMIT LINE	PERMIN	1,075,044	HEAVY DUTY PAVEMENT
					BUILDINGS
		RIGHT-OF-WAY/PROPERTY LINE	8992899993		RIPRAP
		EASEMENT	97999		
		BUILDING SETBACK		3434	CONSTRUCTION EXIT
10+00	10+00	PARKING SETBACK	27.35 TC×	27.35 TC×	TOP OF CURB ELEVATION
10700	10700	BASELINE	26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
		CONSTRUCTION LAYOUT	132.75×	132.75 ×	SPOT ELEVATION
		ZONING LINE	45.0 TW × 30.5 8W	45.0 TW × 38.5 BW	
		TOWN LINE		36.5 HW ²	TOP & BOTTOM OF WALL ELEVATION
			- 👲		BORING LOCATION
		LIMIT OF DISTURBANCE	25	25	TEST PIT LOCATION
		WETLAND LINE WITH FLAG	⊕™	- w	MONITORING WELL
		FLOODPLAIN	up	uo	UNDERDRAIN
- n.sr		BORDERING LAND SUBJECT TO FLOODING	1270	12°D-	
-				6°60-+	DRAIN
		WETLAND BUFFER ZONE	-670	123	ROOF DRAIN
HDZ-		NO DISTURB ZONE	12'5		SEWER
200'RA-		200' RIVERFRONT AREA	<u>RI</u>	<u>n</u>	FORCE MAIN
			OHW		OVERHEAD WIRE
		GRAVEL ROAD		6°W	WATER
E0P	EOP	EDGE OF PAVEMENT	4*FP	—4°FP—	FIRE PROTECTION
88		BITUMINOUS BERM		2°t/w	DOMESTIC WATER
80	8c	BITUMINOUS CURB	370	—-G—	GAS
00		CONCRETE CURB	F	—	ELECTRIC
		CURB AND GUTTER	sıw	sıw	STEAM
00	ECC	EXTRUDED CONCRETE CURB	T		TELEPHONE
OC.	MCC	MONOLITHIC CONCRETE CURB			
00	PCC		FA		FIRE ALARM
SDE	505	PRECAST CONC. CURB	—— CATV——	catv	CABLE TV
		SLOPED GRAN. EDGING		•	CATCH BASIN CONCENTRIC
VOC		VERT. GRAN. CURB		ĕ	CATCH BASIN ECCENTRIC
	\sim	LIMIT OF CURB TYPE	-	ĕ	DOUBLE CATCH BASIN CONCENTRIC
		SAWCUT		=	DOUBLE CATCH BASIN CONCENTRIC
В	- 1			•	
· Vuuu	L	BUILDING	-	-	GUTTER INLET
31	7(1EN	BUILDING ENTRANCE	0	◉	DRAIN MANHOLE CONCENTRIC
ő	Ī«Ιω	LOADING DOCK	0	◉	DRAIN MANHOLE ECCENTRIC
-71	74-	ROLLARD	-10-	-	TRENCH DRAIN
D	•	DUMPSTER PAD	15	r	PLUG OR CAP
(V)		SIGN	e ^{co}	e°	CLEANOUT
-0-	•		▶	▶	FLARED END SECTION
100		DOUBLE SIGN	\ /	\ /	HEADWAII
		STEFI GUARDRAII			
			0	◉	SEWER MANHOLE CONCENTRIC
		WOOD GUARDRAIL	0	④	SEWER MANHOLE ECCENTRIC
				g	
	=====	PATH	, and		CURB STOP & BOX
\sim	~~~	TREE LINE			WATER VALVE & BOX
	*	WIRE FENCE	-15V	- TOV	TAPPING SLEEVE, VALVE & BOX
	•	FENCE	40	**	SIAMESE CONNECTION
00-		STOCKADE FENCE	elino	e m	FIRE HYDRANT
	.0000000	STONE WALL	(a)	9	WATER METER
		RETAINING WALL	\$"	₽"	POST INDICATOR VALVE
		STREAM / POND / WATER COURSE	@	0	WATER WELL
		DETENTION RASIN	- 8	ő	GAS GATE
		HAV RAIFS			
	********	SILT FENCE	CM ED	e e	GAS METER
	-××-		©	⊕ DH	ELECTRIC MANHOLE
	· c::::::::::::::::::::::::::::::::::::	SILT SOCK / STRAW WATTLE	EM III	BM 8	ELECTRIC METER
4		MINOR CONTOUR			LIGHT POLE
20	20	MAJOR CONTOUR		-	
				⊕ ^{ter}	TELEPHONE MANHOLE
(10)	10	PARKING COUNT	1	T	TRANSFORMER PAD
	(II)	COMPACT PARKING STALLS		_	
DYL	DML	DOUBLE YELLOW LINE	-0-	•	UTILITY POLE
0	9.		0-	•	GUY POLE
		STOP LINE	Ţ	Ţ	GUY WIRE & ANCHOR
		CROSSWALK	HH	HH	HAND HOLE
	4	ACCESSIBLE CURB RAMP	PB SS	PB ED	PULL BOX
		ACCESSIBLE CURB RAMP ACCESSIBLE PARKING		é	PULL BOX

Abbreviations

	General	
	ABAN	ABANDON
	ACR	ACCESSIBLE CURB RAMP
	ADJ	ADJUST
		APPROXIMATE
		BITUMINOUS
		BOTTOM OF SLOPE
		BROKEN WHITE LANE LINE
	CONC	CONCRETE
		DOUBLE YELLOW CENTER LINE
		ELEVATION
	ELEV	ELEVATION
	EX	EXISTING
	FDN	FOUNDATION
	FFE	FIRST FLOOR ELEVATION
	GRAN	GRANITE
	GTD	GRADE TO DRAIN
	LA	LANDSCAPE AREA
	LOD	LIMIT OF DISTURBANCE
	MAX	MAXIMUM
	MIN	MINIMUM
	NIC	NOT IN CONTRACT
	NTS	NOT TO SCALE
	PERF	PERFORATED
	PROP	PROPOSED
	REM	REMOVE
	RET	RETAIN
	R&D	REMOVE AND DISPOSE
	R&R	REMOVE AND RESET
	SWEL	SOLID WHITE EDGE LINE
	SWLL	SOLID WHITE LANE LINE
	TS	TOP OF SLOPE
	TYP	TYPICAL
	Utility	
_		
		CATCH BASIN
	СМР	CORRUGATED METAL PIPE
	CMP CO	CORRUGATED METAL PIPE CLEANOUT
	CMP CO DCB	CORRUGATED METAL PIPE CLEANOUT DOUBLE CATCH BASIN
	CMP CO DCB DMH	CORRUGATED METAL PIPE CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE
	CMP CO DCB DMH	CORRUGATED METAL PIPE CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE
	CMP CO DCB DMH CIP COND	CORRUGATED METAL PIPE CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON IRPE CONDUIT
	CMP CO DCB DMH CIP COND	CORRUGATED METAL PIPE CLEANQUIT DOUBLE CATCH BASIN DRAIN MANHOLE CAST BRON PIPE CONDUIT DUCTILE BRON PIPE
	CMP CO DCB DMH CIP COND DIP FES	CORRUGATIO METAL PIPE CLIANOUT DOUBLE CATCH BASIN DRAIN MARRHOLE CAST BION PIPE CONGUIT CONCUIT FAMILIE DENO SECTION
	CMP CO DCB DMH CIP COND DIP FES FM	CORRUGATIO METAL PIPE CLIANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST BION PIPE CONCOUT DUCTULE BION PIPE FAMED BIOS SECTION FORCE SAMN
	CMP CO DCB DMH CIP COND DIP FES FM F&G	CORRUGATE METAL PIPE LIAMOUT DIANA MARRICUE CAST RION PIPE CONQUIT FUNDATION PIPE FUNDATION
	CMP CO DCB DMH CIP COND DIP FES FM F&G F&C	CORRUGATIO METAL PIPE CLEANOUT DOMINE CATCH BASIN DRAIN MANHOLE CACH BION PIPE CONDUIT DUCTLE RION PIPE THANDS THOS SECTION FORCE MAN FERMAL RION GRATTE FRAME AND GOVER
	CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI	CORRUGATIO METAL PIPE CLIANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST BION PIPE CONCOUT DUCTUL BION PIPE FAMED DINO SECTION FORCE SAMIN FRAME DANG GRATE FRAME AND GUATE GUTTER BILET GUTTER BILET
	CMP CO DCB DMH CIP COND DIP FES FM F&G GI GT	CORRUGATIO METAL PIPE CLIANOUT DOUBLE CATCH BASIN DRAIN MARRHOLE CONDUIT DUCTUR RION PIPE CONDUIT HABED INDS SECTION FOICE MAN FRAME SAND SECTION FOICE MAN FRAME AND COVER GUITER RIAET GUITER RIAET
	CMP CO DCB DMH CIP COND DIP FES FM F&G GI GT HDPE	CORRIGATIO METAL PIPE CLIANOUT DOUBLE CATCH BASIN DRAIN MARKHOLE CAT BON PIPE CONCOLIT DUCTUL BON PIPE HABED DANS SECTION FORCE MANI FORCE MANI GONE THAM AND GONTE FRAME AND GONTE GONTE THAM AND GONTE HAME AND GONTE
	CMP CO DCB DMH CIP CONID DIP FES FM F&G GI GT HDPE HH	CORRUGATIO MATAL PIPE LIJANOUT COMUSE CATCH BASIN DIANA MARRHORE CAST SIGN PIPE CONQUIT COUNTES BOND PIPE FLARED BIND SECTION FOILE BANN FRAME AND GRATE FRAME AND COUNTS GRASE TRAP HOLD BERNIN POLYSTHYLENE PIPE HANDENGLE FRAME PIPE MANDENGLE FRAME PIPE MANDENGLE MANDENGLE FRAME PIPE MANDENGLE MANDENGLE FRAMEDINGLE FRAME
	CMP CODE DOB DMH CIP COND DIP FES FM FRIG GI GT HDPE HH HW	CORRIGATIO METAL PIPE CLEANOUT DOMIN ANAMODIE CACH BION PIPE CONDUIT DUCTLE RON PIPE CONDUIT HABOS DHO SECTION FOICE MAN FIRME AND GETON FOICE MAN FIRME AND COVER GUTTER REAT GETALE THE SECTION HIGH DENSITY POLYETHILEN PIPE HANDHOLE HANDHOLE HANDHOLE
	CMP CODE DOB DMH CIP CONID DIP FES FM FRIG GI GT HDPE HH HW HYD	CORRUGATE MATAL PIPE CLAMOUT DIANA MARHOLE CAST RION PIPE CONSQUIT DOUTLE ROON PIPE RAMED BIO SICTION FORLE MANN FIRMA AND GRATE FRAME AND COVER GRATE TAP HANDEROUSE HANDROOLE
	CCMP CO DCB DMH CIP COND DIP FES FM F&IG GI GT HDPE HH HW HYD INV	CORRIGATIO METAL PIPE CLIANOUT DOUBLE CATCH BASIN DRAIN MANIFOLE CAST RION IPE CONDUIT DUCTLE RON PIPE FAMED DID SECTION FOICE MAN FRAME DAY FRAME AND COUTR GUTTER BLET GRIESE THE GRIESE THE FRAME AND COUTR GUTTER BLET GRIESE THE HACH DISTRICT POCENTIALER PIPE HACH DIST
	CMP CO DCB DMH CIP COND DIP FES FM F&G GI GT HDPE HH HW HYD INV	CORRIGATIO METAL PIPE CLIANOUT DOUBLE ACIN'S BAON DRAIN MANIFOLE CAST BOIN PIPE CONDUIT DUCTIL BION PIPE FABED BAOS SECTION FOICE MAN FOICE MAN FOICE MAN FOICE MAN FOICE FABED AND FOICE FABED AND FOICE FABED FOICE FOICE FABED FOICE FABED FOICE FABED FOICE FABED FOICE FABE
	CMP CO DCB DMH CIP COND DIP FES FM F&G GI GT HDPE HH HW HYD INV I= LP	CORRUGATIO METAL PIPE CLANADUT DOMIS CATCH BASIN DRAIN MARRICHE CAST RION PIPE CONDUIT COUNTE RON PIPE FLAND IND SECTION FOICE MAN FRAME AND GRATE FRAME AND GRATE GRASE TRAP HOLD RESTLY POLYTHYLERE PIPE HANDRICHE HANDRICHE HEADWALL HERORATI ROWERT ELEVATION ROWER TELEVATION ROWER TELEVATION ROWER TELEVATION ROWER TELEVATION
	CMP CO DCB DMH CIP COND DIP FES FM F&G GI GT HDPE HH HW HYD INV	CORRIGATIO METAL PIPE CLIANOUT DOUBLE ACIN'S BAON DRAIN MANIFOLE CAST BOIN PIPE CONDUIT DUCTIL BION PIPE FABED BAOS SECTION FOICE MAN FOICE MAN FOICE MAN FOICE MAN FOICE FABED AND FOICE FABED AND FOICE FABED FOICE FOICE FABED FOICE FABED FOICE FABED FOICE FABED FOICE FABE
	CMP CO DCB DMH CIP COND DIP FES FM F&G GT HDPE HH HYW I= LP MES	CORRUGATIO METAL PIPE CLANADUT DOMIS CATCH BASIN DRAIN MARRICHE CAST RION PIPE CONDUIT COUNTE RON PIPE FLAND IND SECTION FOICE MAN FRAME AND GRATE FRAME AND GRATE GRASE TRAP HOLD RESTLY POLYTHYLERE PIPE HANDRICHE HANDRICHE HEADWALL HERORATI ROWERT ELEVATION ROWER TELEVATION ROWER TELEVATION ROWER TELEVATION ROWER TELEVATION
	CLMP CO DCB DMH CIP COND DIP FES FM FRAG G G G H H H H H H H H H H H H H H H F I N I N I N I I I I I I I I I I I I I	CORRIGATIO METAL PIPE CLEANOUT DOUBLE ACRIT BASIN DRAIN MANIFOLE CACHT RION IPE CONDUIT DUCTLE RON PIPE FLABOS DAS SECTION FOICE MAN FRAME OND SECTION FOICE MAN FRAME AND COVER GUTTER BLAT GERSAT TRAP HIGH DROWNEY FOUNTHILDER PIPE HANDROLLE HEADONALL HORDANT NORMET ELEVATION NORMET ELEVATION LIGHT FOLE METAL BONS SECTION
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	CLUP CO DCB DMH CIP CIP COND DIP FES FM FRAG GG GT HDPE HH HW HYD INV I= LP LP PWW	CORRIGATIO METAL PIPE CLIANOUT COMISE CATCH BASIN DRAIN MARRICHE CACHT ROW PIPE CONDUIT DOCTHE RION PIPE LANDO DINO SECTION FOICE MAN FRAME DAND SECTION FOICE MAN FRAME AND COVER GUTTER REAT GREAT TRAP HIGH DRINN' POVETHELINE PIPE HACHORICH
	CLUP CO DCB DMH CIP COND DIP FES FM FRAG G G G H HDPE HH HW LP LP MES MES PV PVWV PVC	CORRUGATE MATAL PIPE CLEANOUT DIANA MARRIOCE CAST RION PIPE COMBOUT DUCTE RION PIPE RAMED BIO SICTION FORLE MAN FIRMA AND GRATE FRAME AND
	CLUP CO DCB DCB CO DCB CO DCB CO DCB FES FAG G G G G HDPE HH HHV INV I= LP PWW PVC RCP R- RCP R-	CORRUGATIO METAL PIPE CLANADUT DOMIS CATCH BASIN DIANI MARRICCIE CAST RION PIPE CONDUIT COUTER RON PIPE LANDO IND SICTION FORCE MAN FRAME AND GRATE FRAME AND GRATE FRAME AND COUTE GUITER RICET RIGHT RICET RICHTER RICHT RICHT RICHTER RICHT RICHT RICHTER RICHT RICHTER RICHT RI
	CLMP CO DCB DCB DMH CIP COND DIP FES FAG G G H H H H H H H H H H H F H H P P F R F R F R F R F R F R F R F R R R R	CORRIGATIO METAL PIPE CLEANOUT DOUBLE ACRIT BASIN DRAIN MANIFOLE CACHT RION IPE CONDUIT DUCTLE RON PIPE FLABOS DAS SECTION FOICE MAN FRAME SAND SECTION FOICE MAN FRAME AND COVER GUTTER BLAT GERSAT TRAP HIGH DENDIT FOUNTHMENE PIPE HANDROLE HEADWALL HEADWALL HEADWALL HEADWALL HORDANT NOREST ELEVATION NOREST ELEVATION FOOTS PICK-TON VILLE METAL RION SECTION FOOTS PICK-TON VILLE FOOTS PICK-TON VILLE METAL RION SECTION FOOTS PICK-TON VILLE METAL RION SECTION FOOTS PICK-TON VILLE METAL RION SECTION FOOTS PICK-TON VILLE FOOTS PICK-TON VILLE METAL RION SECTION FOOTS PICK-TON VILLE FOOTS PICK
	CLMP CO DCB DCB DMH CIP COND DIP FES FAG G G H H H H H H H H H H H F H H P P F R F R F R F R F R F R F R F R R R R	CORRUGATION METAL PIPE CLANATORY CHAIN MARKHOLE CAST SIGN PIPE CONDUIT CONTES SIGN PIPE CONDUIT CONTES SIGN PIPE LANDS SIGN SIGNON FORCE MANN FRAME AND GRATE FRAME AND GRATE FRAME AND COUTE GRASE TRAP HOLD RESIDENT POLYETHYLERE PIPE HANDRIGHE HEADYMALL HORGERT SIGNON MORET SIGNATION LIGHT FOLE METAL BID SECTION FORT SIGNATION METAL BI
	CLMP CD	CORRIGATIO METAL PIPE CLIANOUT COMISE CATH BASIN DRAIN MARRIPORE CONDUIT CONTROL PIPE CONDUIT DOCTHE RION PIPE LANDO DINO SECTION FOICE MAN FRAME DANS SECTION FOICE MAN FRAME DANS COVER GUTTER REAT GERRAE TRAP REAME AND COVER GUTTER REAT REAME AND COVER GUTTER REAT REAME AND COVER GUTTER REAT REAMED FOICE READONALL HYDRIANT NORTE REAVAIDN LOST FOICE SECTION FOOST REACTOR VALVE PRAVO WATER WAY POLYMONIC FLORICE PIPE BIRM DELEVATION REM REMOVED CONCRETE PIPE BIRM DELEVATION REM REMOVED CONCRETE PIPE BIRM DELEVATION REM REMOVED CONCRETE PIPE BIRM DELEVATION REM REMOVED.

- CONTRACTOR SHALL NOTIFY "DIG. SAFF" (1.888, 344, 7233) AT LEAST 72 HOLIES REFORE EXCAVATING
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES
 SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE [##] INCHES LOAM AND SEED.
- WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
- WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHMAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS PAY FEES AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DAWNINGS, IN THE SPECIATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR DISTRICT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
- 8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM
 TRAFFIC CONTROL DELACES.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTORS OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S DEPRINE.
- ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLDER OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VISUALITY OF THE SUSPECT MATERIAL AND SHALL NOTITY OF THE SUSPECT SHALL STOP WORK IN THE VISUALITY OF THE SUSPECT SHALL STOP WORK IN THE VISUALITY OF THE SUSPECT SHALL NOTITY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUSSEQUENT ACTION CAN BE TAKEN.
- CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

- RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET, RESET AS FOLLOWS:

 - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWINER AND ACHITECT.
- CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR
 POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FRIE
 ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY
 THE UTILITIES COMPANY.
- 7 LITELITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
 - A WATER BIRES SHALL BE DUICTUE IRON (DUI THICKNESS CLASS ST
 - B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 SEWER PIPE C. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE)
- CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL RUNNER EXCAVATION, NESTALLATION, AND BACKHILL OF ELETRICAL RUNNERSHED STEWORK RELATED THEMS SUCH AS PAUL BOXES, CONCRETE DUCK BANKS, LOW FORE SEAS, AND CONCRETE PLANS. SITE CONTRACTOR SHALL RUNNER CONCRETE ENCARMENT OF DUCT BANKS OF REQUIRED BY THE UTILITY COMPANY AND AS ROCKATED ON THE DRAWNINGS.
- CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REGULIFEMENTS

Layout and Materials

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- CURBING SHALL BE PRECAST CONCRETE CURB (PCC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.

- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

- AND LOCAL REGULATIONS, GENERALISES AND STATUTES.

 THE GRACULTON MARTS SHORTCOM IN FIR MARTS & RETRIEVED AND THE CONTRACTOR GRAVES OF REPORT OF THE CONTRACTOR SHORTCOM THE CONTRACTOR SERVICION FOR EXPONENTIAL FOR EXPONENTIAL FOR EXPONENTIAL FOR EXPONENTIAL FOR EXPONENTIAL CONTRACTOR SHORTCOM FOR EXPONENTIAL CONTRACTOR OF THE CONTRACTOR SHORTCOM CONTRACTOR CONTRACTOR OF THE CONTRACTOR OF
- LIBERS OTHERWISE SPECIFICALLY PROVIDED ON THE FLANS OR IN THE SPECIFICATIONS, THE ENGINE HAS NOT PREMADED DESCORE FOR AND SHALL HAVE NO SEPCOMERULT FOR THE PRESENCE.

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Erosion Control

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIA AGENCIES AND SHALL INSTALL EROSION CONTROL. MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAMING TO THIS PROVI

Existing Conditions Information

- 2. TOPOGRAPHY: ELEVATIONS ARE BASED ON CAMBRIDGE CITY BASE (CCB).

Document Use

- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUTH ED PROSESSED, WHITTEN CONSIST OF YOW, ANY UNMUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLIDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOUR RISK WITHOUT IMBRILLY OR LEGAL DROSSURE TO WHE
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSABLY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DEFAIL SHEET DIMENSIONS, MANUFACTURERS LITERATURE, DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT SEAT 1865 BY

Shee	et Index	
No.	Drawing Title	Latest Issue
C1.00	Legend and General Notes	December 5, 2023

ND AS	No.	Drawing Title	Latest Issue	
AS	C1.00	Legend and General Notes	December 5, 2023	
NED BY	C2.00	Overall Site Plan	December 5, 2023	
LOCAL	C3.01	Layout and Materials Plan	December 5, 2023	
in timom	C4.01	Grading, Drainage, and Erosion Control Plan	December 5, 2023	
	C5.01	Utility Plan	December 5, 2023	
	C6.01-04	Site Details	December 5, 2023	
	L1.00	Overall Landscape and Tree Removal Plan	December 5, 2023	
	L1.01	Basketball Area Enlargement Plan	December 5, 2023	
	L1.02	West Area Enlargement Plan	December 5, 2023	
	L1.03	East Area Enlargement Plan	December 5, 2023	
	L1.04	Central Common Area Enlargement Plan	December 5, 2023	
	L1.05	Building 8 Area Enlargement Plan	December 5, 2023	
	L2.01	Tree Planting Plan	December 5, 2023	
	L2.02 - L2.03	Shrub Planting Plan	December 5, 2023	
	L3.01-03	Landscape Details	December 5, 2023	
	Sv-1	Existing Conditions Plan of Land	February 25, 2021	
p. 26	SL.00	Photometric Plan (not included for pricing)	December 5, 2023	



Parking Summary Chart

Required^B Provided Existing Provided Description PARALLEL COMPACT SPACES (50% ALLOWED) PARALLEL STANDARD ACCESSIBLE SPACES^A VAN ACCESSIBLE SPACES

PROPOSED UNITS: 32 SPACES / 95 PROPOSED UNITS = 0.48

Zoning Summary Chart - Entire Site

Zoning District(S):	Residence C-2			
Overlay District(S):	Affordable Housing Overlay			
Zoning Regulation Requirements	Required (C-2) ^A	Required (AHO) ^A	Provided (Entire Site)	
MINIMUM LOT AREA	600 SF Per D.U. (205,800 SF)	N/A	925 SF Per D.U. (319,049 SF)	
FRONTAGE (RAYMOND)	20 Feet	N/A	70 Feet	
FRONTAGE (SHERMAN)	20 Feet	N/A	91 Feet	
FRONTAGE (BLAIR)	20 Feet	N/A	35 Feet	
MINIMUM LOT WIDTH	50 Feet	N/A	275.8 Feet	
MAXIMUM IMPERVIOUS	85 %	85 %	71 %	
MINIMUM PRIVATE OPEN SPACE	15 %	15 %	20 %	
INTERIOR PARKING LANDSCAPING PERCENTAGE	5.0 %	N/A	5.0 %	

Zoning Summary Chart - Building B

Zoning Summary Chart - Building A

Overlay District(S):

MAXIMUM BUILDING HEIGH

Zoning Regulation Requirements

FRONT YARD SETBACK: RAYMOND STREET

SIDE YARD SETBACK: BOLTON STREET PARTNER SIDE YARD SETBACK: FRIENDS SCHOOL

Residence C-2

Affordable Housing Overlay

Required (AHO)^A

Provided (Building A)

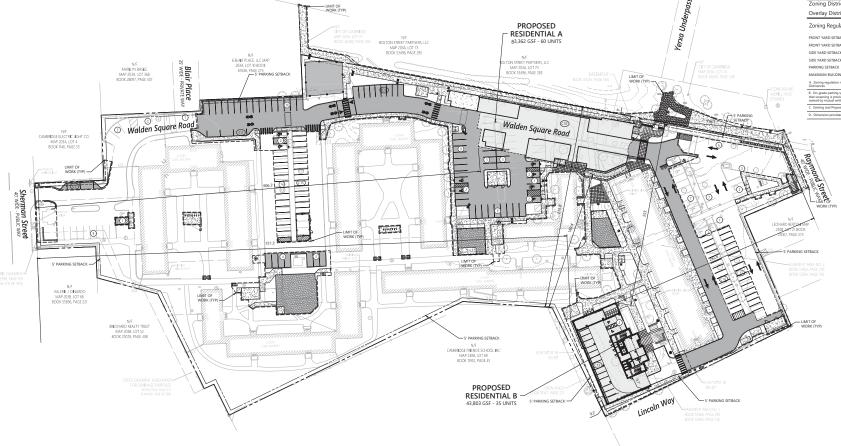
606.3 Feet^D

9.0 Feet^D

189.4 Feet^D

1.3 Feet^C 80 Feet

Zoning District(S):	Residence C-2		
Overlay District(S):	Affordable Hou		
Zoning Regulation Requirements	Required (C-2) ^A	Required (AHO) ^A	Provided (Building B)
FRONT YARD SETBACK: RAYMOND STREET	39.0 Feet	0 Feet	292.6 Feet ^D
FRONT YARD SETBACK: SHERMAN STREET	39.0 Feet	0 Feet	721.3 Feet ^D
SIDE YARD SETBACK: LINCOLN WAY	27.6 Feet	0 Feet	9.7 Feet ^D
SIDE YARD SETBACK: FRIENDS SCHOOL	27.2 Feet	0 Feet	9.2 Feet ^D
PARKING SETBACK	5 Feet	0 Feet ⁰	9.0 Feet
MAXIMUM BUILDING HEIGHT	85 Feet	150 Feet	80 Feet
A. Zoning regulation requirements as specified in the 10	/30/2020 Cambridge Zoning C	Ordinance and the 2020 A	Yordable Housing Overla



PCA Architecture, Interiors, + Planning

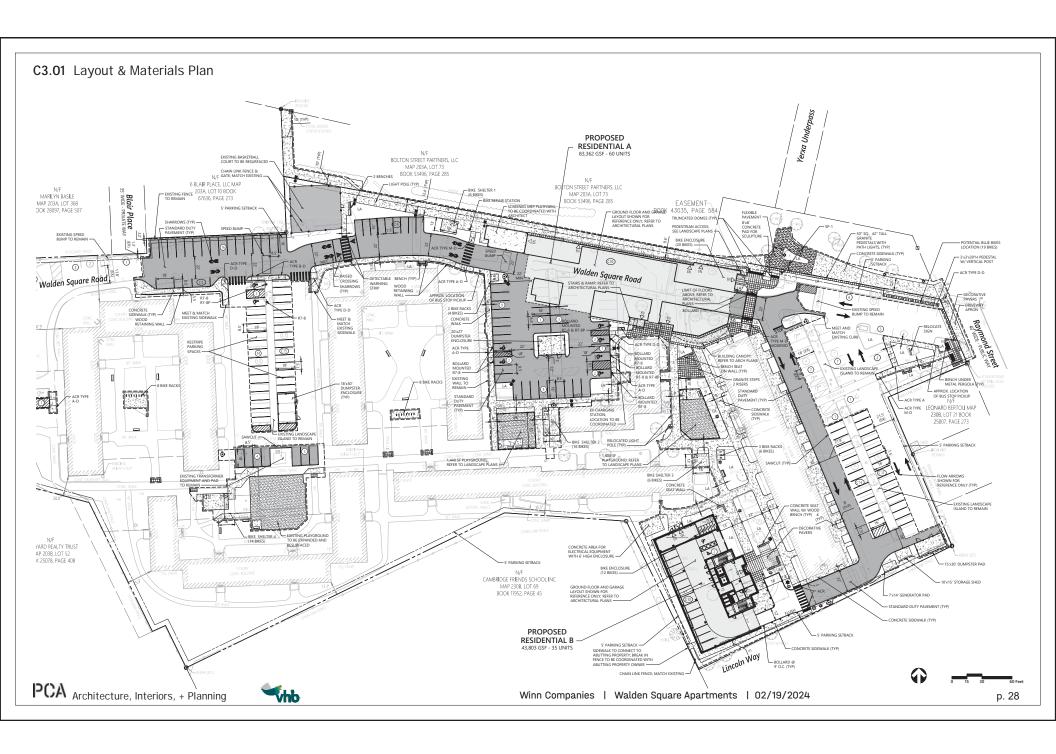
C2.00 Overall Site Plan

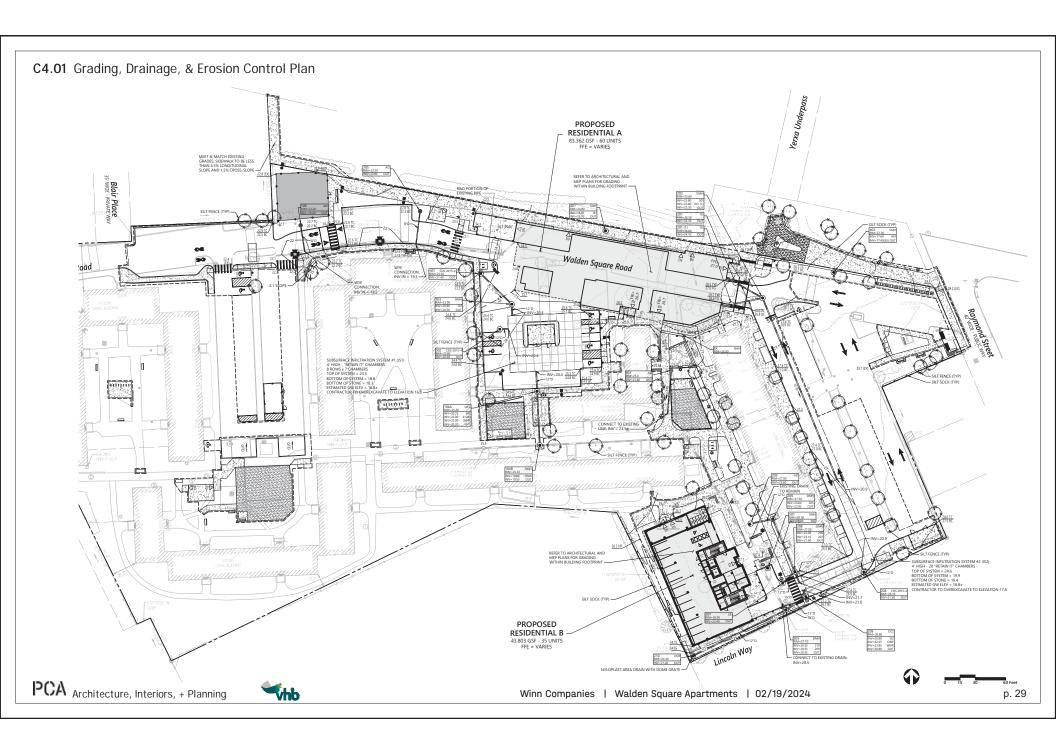


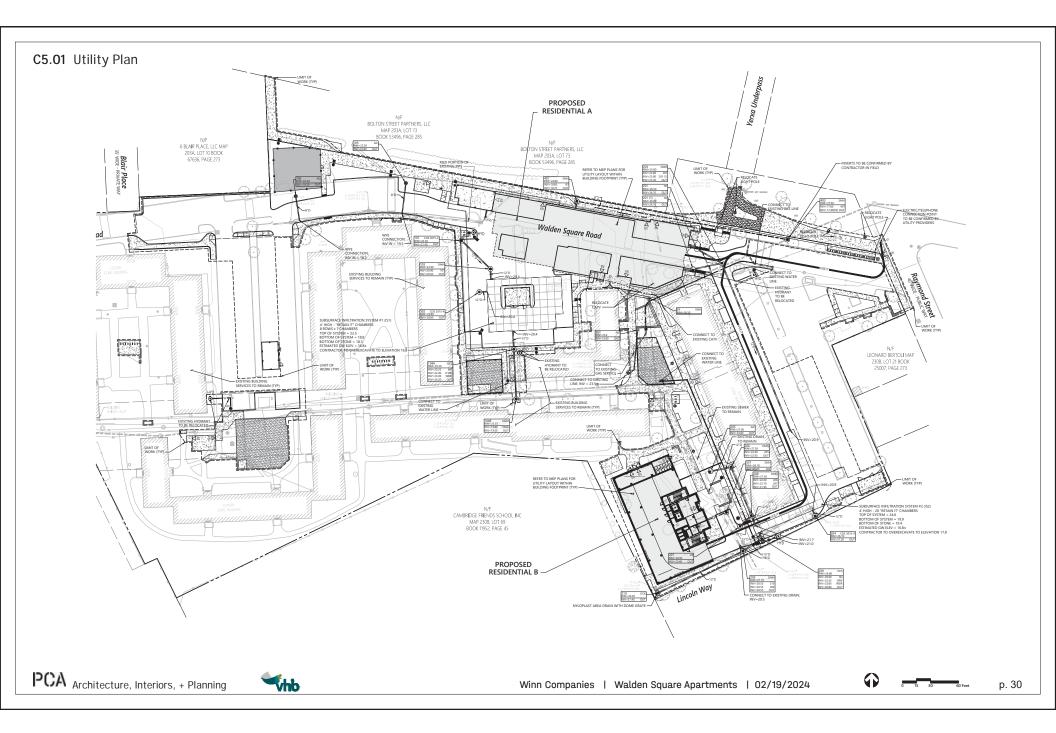
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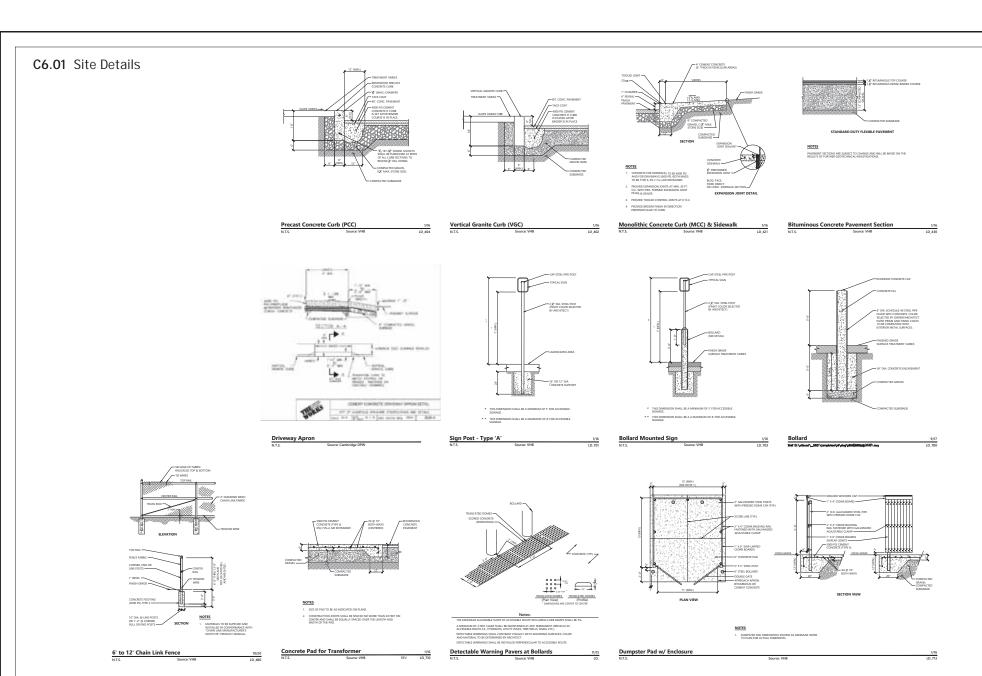






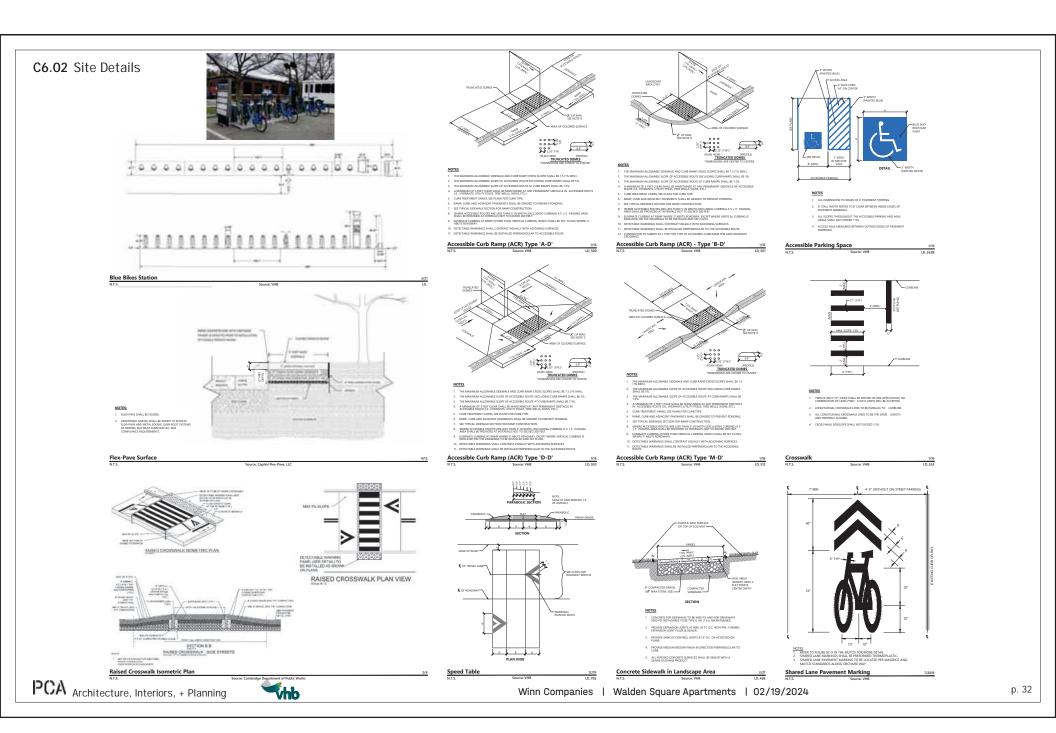


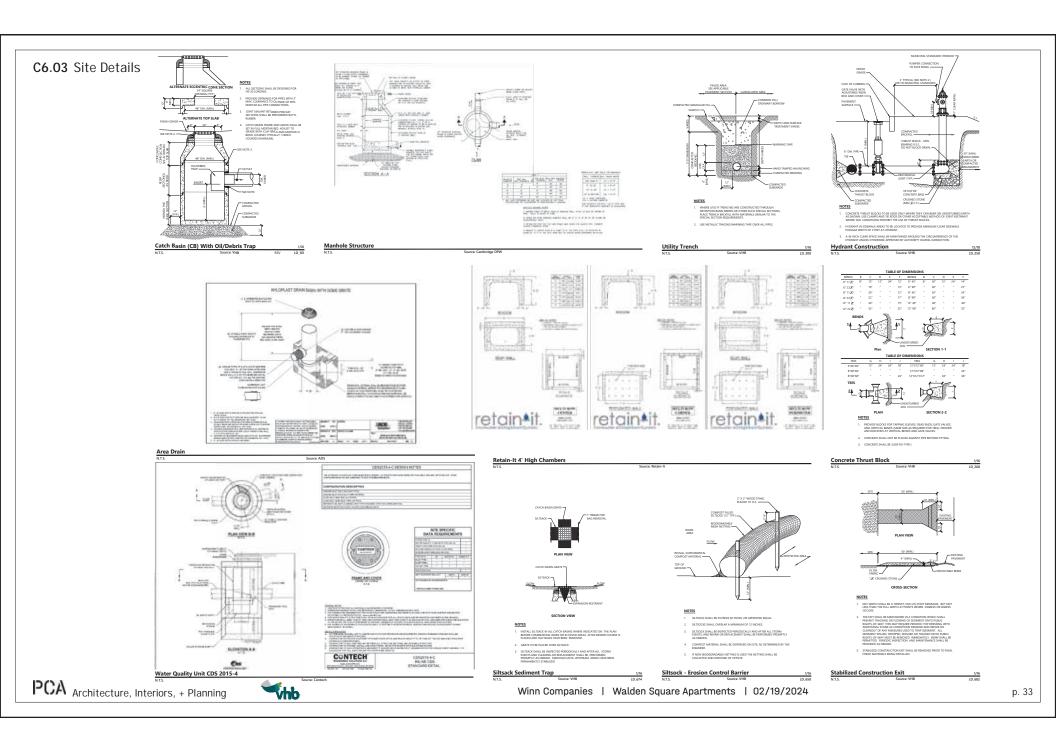












C6.04 Site Details

