

PROJECT DESCRIPTION:

1. 115 SPRING STREET WILL BE RENOVATED.
2. THERE WILL BE NO EXPANSION OF FLOOR AREA
3. THERE WILL BE NO EXPANSION OF EXTERIOR DIMENSIONS
4. THE OWNER WOULD LIKE TO ADD SIX NEW WINDOWS THAT ARE LOCATED WITHIN THE SIDEYARD SETBACKS, THESE ARE THE ONLY ITEMS THAT WOULD REQUIRE A SPECIAL PERMIT

PROPERTY HISTORY
 115 SPRING STREET IS LOCATED AT THE NORTH EAST CORNER OF SPRING STREET & 5TH STREET. THE ORIGINAL ~1,200 SF STRUCTURE WAS BUILT IN 1854 AND INCLUDES A FIELD STONE BASEMENT. THE PARCEL IS A RECTANGULAR SHAPE WITH A 51'-05" LOT LENGTH ALONG SPRING STREET, AND A 55'-00" LOT LINE LENGTH ALONG 5TH STREET. THE HISTORIC FRONT DOOR TO THE PROPERTY FACES SPRING STREET. THE 1856 STRUCTURE IS BUILT TO THE LOTLINE ALONG 5TH STREET AND ENCLOSED ON THE C-1 REQUIRED SPRING STREET SIDEYARD SETBACK BY 1'-02 1/2".
 THE HOUSE HAS HAD (3) ADDITIONS.
 THE FIRST ADDITION, CIRCA 1920, EXPANDED THE HOUSE NORTH BY 18'-00" AND CREATED AN OPPOSING NORTH-SOUTH GABLE TO THE ORIGINAL EAST-WEST GABLE. THE RESULTING BUILDING MASS IS AN "L" SHAPED PLAN WITH STRUCTURALLY INTERDEPENDENT ROOF RIDGE LINES. THIS ADDITION DOES NOT INCLUDE A BASEMENT. THIS ADDITION ENCLOSES INTO THE 5TH STREET SIDE YARD SET BACK BY 3'-01 1/2".
 THE SECOND ADDITION, CIRCA 1960, IS A GROUND LEVEL ADDITION THAT INFILLS THE "L" SHAPED PLAN WITH AN ADDITIONAL 240 SF OF SPACE. THIS SECOND ADDITION ALSO INTRODUCES AN INWARD SLOPING SHED ROOF, WHICH SHEDS WATER TO THE BUILDING INTERIOR, AND HAS CAUSED A MASSIVE AMOUNT OF WATER DAMAGE TO THE FIRST ADDITION AND ORIGINAL BUILDING. THIS ADDITION DOES NOT INCLUDE A BASEMENT AND IS BEYOND THE REQUIRED SETBACKS.
 THE THIRD ADDITION IS A SINGLE STORY 120 SF KITCHEN AT THE NORTH EAST CORNER OF THE HOUSE, WHICH IS LOCATED ENTIRELY WITHIN THE SPRING STREET SIDE-YARD SETBACK.
 THE TOTAL LISTED INTERIOR LIVING AREA IS 2,090 SF
 THE TOTAL LOT AREA IS 2,794 SF
 THE ALLOWABLE F.A.R. IS [0.75(2,794 = 2,095.5 SF)] > 2,090 SF EXISTING LIVING AREA
 THE PROPERTY WILL REMAIN A SINGLE-FAMILY HOME. BASEMENTS ARE EXCLUDED FROM SINGLE FAMILY HOMES GROSS FLOOR AREA CALCULATIONS VIA CAMBRIDGE ZONING ORDINANCE ARTICLE #2, GROSS FLOOR AREA, DEFINITION EXCEPTION (19)
 THERE WILL BE NO CHANGE IN THE SIZE AND CONFIGURATION OF EXTERIOR OPENINGS THAT ARE FACING AN ADJACENT PROPERTY AND LOCATED WITHIN THE SIDEYARD SETBACKS.

REPAIR AND RESTORATION
 THE OWNER'S GOAL IS TO EXTEND THE USEFUL LIFE OF THIS HOUSE. IN ORDER TO ACHIEVE THIS THE HOUSE WILL REQUIRE SEVERAL MAJOR IMPROVEMENTS.
 1. THE EXISTING BUILDING IS SIGNIFICANTLY WATER DAMAGED AND WILL REQUIRE NEW STRUCTURAL WOOD FRAMING AND SHEATHING, NEW EXTERIOR WALL SILL PLATES, AND A NEW FOUNDATION TO REINFORCE THE FAILING 1854 FLAGSTONE FOUNDATION.
 2. THE HOUSE WILL BE TEMPORARILY LIFTED APPROXIMATELY 18" AND THE FOUNDATION EXTENDED TO PROVIDE CONTINUOUS EXTERIOR SUPPORT FOR THE REPAIRED AND REPLACED EXTERIOR WALLS.
 3. THE OWNER WILL RETAIN A CERTIFIED LAND SURVEYOR TO CONFIRM EXISTING AND RESTORED ELEVATION HEIGHTS.
 4. THE EXISTING FLOORS ARE OUT OF LEVEL BY 1/4"-3" AT BOTH THE FIRST AND SECOND LEVELS, THESE FLOORS WILL BE REFRAMED TO CREATE NEW LEVEL FLOORS.
 5. THE HOUSE WILL RECEIVE A NEW THERMALLY IMPROVED BUILDING ENVELOPE THAT MEETS THE MASSACHUSETTS 9TH ADDITION BUILDING CODE (IECC 2015) ENERGY REQUIREMENTS.
 6. THE OWNER WILL INSTALL NEW ENERGY EFFICIENT WINDOWS THROUGHOUT THE ENTIRETY OF THE PROJECT.
 7. THE OWNER WILL INSTALL A NEW ROOF AND INSULATED ROOF SHEATHING.
 8. THE OWNER WILL INSTALL A NEW REAR STAIR THAT CONFORMS WITH MASSACHUSETTS BUILDING CODE (CURRENTLY NEITHER STAIR CONFORMS).

DEMOLITION NARRATIVE
 THE PROPERTY AT 115 SPRING STREET IN CAMBRIDGE MASSACHUSETTS IS CURRENTLY IN A DILAPIDATED STATE AND REQUIRES A BROAD RANGE OF REPLACEMENTS AND REPAIRS TO BRING THE PROPERTY INTO COMPLIANCE WITH CURRENT MASSACHUSETTS RESIDENTIAL BUILDING CODE. PLEASE REFERENCE THE EXISTING CONDITIONS STRUCTURAL REPORT PREPARED BY RENE MUGNIER P.E. AMENDED TO THIS DRAWING SET VIA THE PROJECT MANUAL. THE GENERAL DEMOLITION STRATEGY IS OUTLINED BELOW:
 1. INSPECT ALL BUILDING ELEMENTS FOR STRUCTURAL INTEGRITY AND ROT, REFERENCE R. MUGNIER P.E. REPORT REGARDING FOUNDATIONS, FRAMING, AND SHEATHING.
 2. REPAIR ALL SALVAGEABLE BUILDING ELEMENTS.
 3. REPLACE ALL BUILDING ELEMENTS THAT ARE UNSALVAGEABLE.
 4. THE PRELIMINARY STRUCTURAL INSPECTION HAS IDENTIFIED THE WOOD POST-ON-GRADE AND WALL FRAMING AT THE TOP OF FOUNDATION AS A PROBLEM AREA.
 5. THE EXISTING HOUSE IS TO BE SHORED AND LIFTED TO ENABLE THE EXECUTION OF THE FOUNDATION & FRAMING WORK.
 6. THE EXISTING HOUSE ABOVE IS TO HAVE ITS FLOORS REFRAMED AS REQUIRED TO PROVIDE A CONTINUOUS FLOOR LEVEL ACROSS ALL LEVELS.
 7. THE EXISTING EXTERIOR CLADDING IS TO BE REMOVED AND REPLACED WITH NEW SIDING AND CONTINUOUS INSULATION SHEATHING AS PER IECC-2015.
 8. THE EXISTING ROOF IS TO BE REPAIRED AND REPLACED AS REQUIRED, WITH NEW CONTINUOUS EXTERIOR INSULATION AS PER IECC-2015.

FOUNDATION NOTES
 1. ALL LOAD BEARING ELEMENTS ARE TO BE CONFIRMED BY MA LICENSED STRUCTURAL ENGINEER.
 2. PATCH REPAIR EXISTING FOUNDATION AS REQUIRED TO MEET MA BUILDING REQUIREMENTS.
 3. PROVIDE CONTINUOUS WATERPROOFING FOR NEW AND EXISTING FOUNDATION WALLS.
 4. PROVIDE CONTINUOUS INSULATION FOR NEW AND EXISTING FOUNDATION WALLS.
 5. PROVIDE MINIMUM 4" CONCRETE VENEER WALL OVER EXISTING FOUNDATION, CONFIRM VENEER WALL THICKNESS WITH MA LICENSED STRUCTURAL ENGINEER.
 6. PROVIDE COORDINATION FOR ANCHORAGE OF NEW STRUCTURAL FRAMING, CONFIRM ANCHORAGE WITH MA LICENSED STRUCTURAL ENGINEER.
 7. PROVIDE INSULATION AS REQUIRED FOR NEW SUB ON GRADE CONSTRUCTION.
 8. PROVIDE FOOTINGS FOR INTERNAL COLUMNS AS REQUIRED, CONFIRM LOADS WITH MA LICENSED STRUCTURAL ENGINEER.

SHEET LIST

A-010	WALL & ROOF TYPES	03/28/19
A-413	BUILDING SECTIONS	04/01/19
A-414	WINDOWWELL	03/27/19
A-420	EXTERIOR DETAILS	03/29/19
A-501	STAIR SECTIONS	04/02/19
A-600	DOOR SCHEDULE	03/28/19
COVER		01/11/19
G-001	RENOVATION OVERVIEW	01/11/19
G-002	GROSS FLOOR AREA	01/11/19
A-001	EXISTING PLOT PLAN	01/11/19
A-002	SITE PLAN	01/11/19
A-100	BASEMENT PLAN	01/11/19
A-101	LEVEL 01 PLAN	01/11/19
A-102	LEVEL 02 PLAN	01/11/19
A-103	ROOF PLAN	01/11/19
A-200	BASEMENT RCP	01/11/19
A-201	LEVEL 01 RCP	01/11/19
A-202	LEVEL 02 RCP	01/11/19
A-300	ELEVATIONS	01/11/19
A-410	BUILDING SECTIONS	01/11/19
A-411	BUILDING SECTIONS	01/11/19
A-412	BUILDING SECTIONS	01/11/19
A-500	STAIR PLAN & SECTIONS	01/11/19
A-700	ENLARGED KITCHEN PLAN, ELEVATIONS, DETAILS	01/11/19
D-001	DEMOLITION PLANS	01/11/19
S-100	BASEMENT FOUNDATION PLAN	01/11/19
S-101	LEVEL 01 FRAMING PLAN	01/11/19
S-102	LEVEL 02 FRAMING PLAN	01/11/19
S-103	ROOF FRAMING PLAN	01/11/19

115 SPRING STREET RENOVATION

SPECIAL PERMIT APPLICATION

March 29th, 2019

CWD
DEVELOPMENT

PROJECT NAME
115 SPRING RENOVATION

PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT
Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

STRUCTURAL ENGINEER
BERDI CONSULTING
25 Wayland Hills road
Wayland, MA 01778
(T)

REGISTRATION

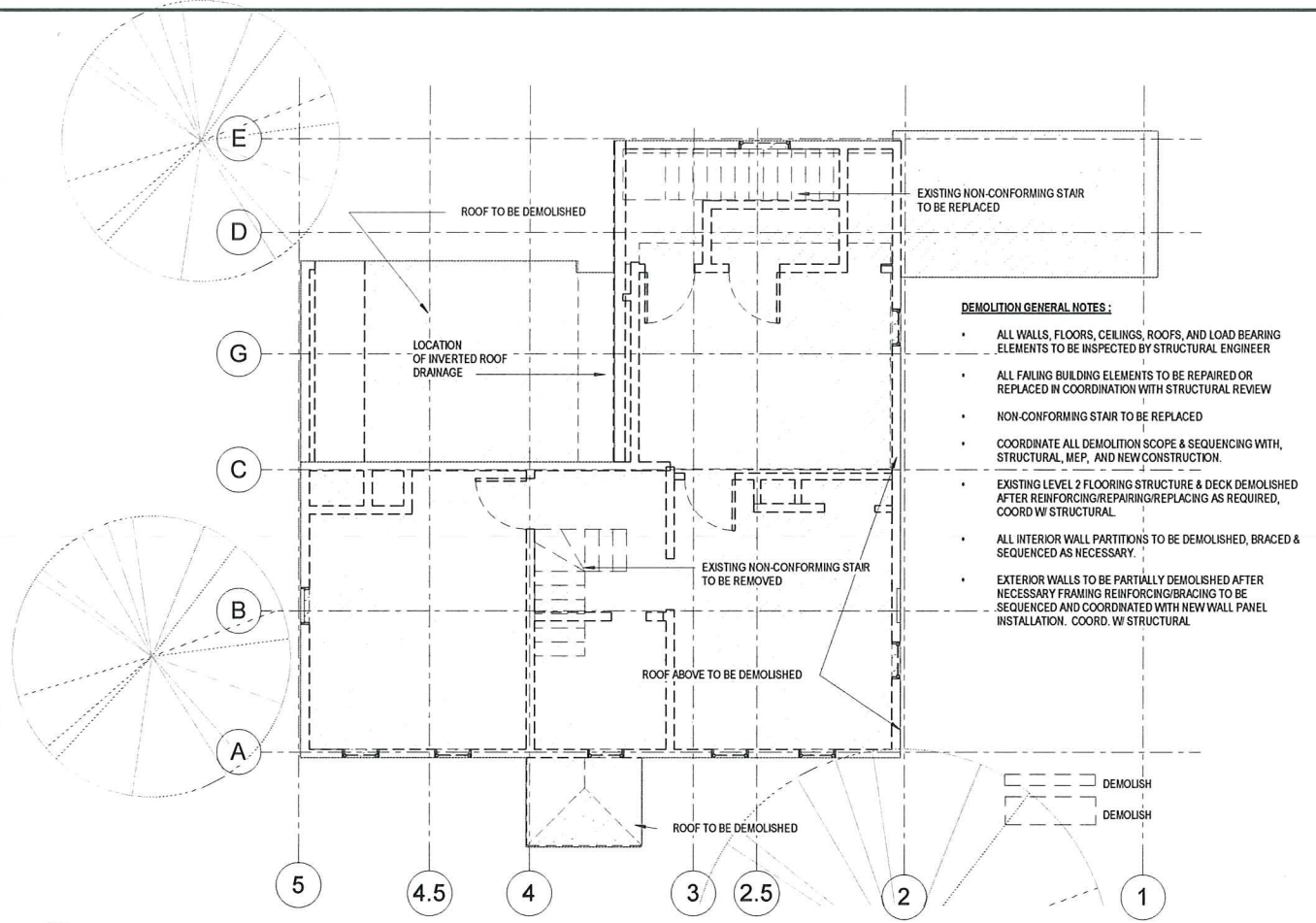
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Project number 1805
Date MARCH 29th, 2019
Drawn by Author
Checked by Checker
Scale

REVISIONS

No.	Description	Date

COVER
115 SPRING STREET



2 D102 LEVEL-02 DEMO PLAN
3/16" = 1'-0"

DEMOLITION NARRATIVE

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- REPLACE ALL BUILDING ELEMENTS THAT ARE UNSALVAGEABLE
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- THE EXISTING ROOF IS TO BE REPAIRED AND REPLACED AS REQUIRED, WITH NEW CONTINUOUS EXTERIOR INSULATION AS PER IECC-2015

FOUNDATION NOTES

- ALL LOAD BEARING ELEMENTS ARE TO BE CONFIRMED BY MA LICENSED STRUCTURAL ENGINEER
- PATCH REPAIR EXISTING FOUNDATION AS REQUIRED TO MEET MA BUILDING REQUIREMENTS
- PROVIDE CONTINUOUS WATERPROOFING FOR NEW AND EXISTING FOUNDATION WALLS
- PROVIDE CONTINUOUS INSULATION FOR NEW AND EXISTING FOUNDATION WALLS
- PROVIDE MINIMUM 4" CONCRETE VENEER WALL OVER EXISTING FOUNDATION, CONFIRM VENEER WALL THICKNESS WITH MA LICENSED STRUCTURAL ENGINEER
- PROVIDE COORDINATION FOR ANCHORAGE OF NEW STRUCTURAL FRAMING, CONFIRM ANCHORAGE WITH MA LICENSED STRUCTURAL ENGINEER
- PROVIDE INSULATION AS REQUIRED FOR NEW SLAB ON GRADE CONSTRUCTION
- PROVIDE FOOTINGS FOR INTERNAL COLUMNS AS REQUIRED, CONFIRM LOADS WITH MA LICENSED STRUCTURAL ENGINEER

EXISTING BUILDING INFORMATION
RESIDENTIAL BUILDING NUMBER 1, SECTION 1

Exterior Style:	CONVENTIONAL
Occupancy:	SNGL-FAM-RES
Number of Stories:	2.25
Exterior Wall Type:	Asbestos Shingle
Roof Type:	Gable
Roof Material:	Asphalt Shingl
Interior Living Area (sq. ft.):	2,090
Number of Units:	0
Total Rooms (existing):	9
Bedrooms (existing):	5
Kitchens (existing):	2
Full Baths (existing):	2
Half Baths (existing):	0
Fireplaces (existing):	0
Systems:	
Heat Type (existing):	Steam
Heat Fuel (existing):	Gas
Central A/C:	No
Condition & Grade:	
Year Built:	1854
Interior Condition:	Average
Overall Condition:	Fair
Overall Grade:	Fair
Parking:	
Open Parking:	0
Covered Parking:	0

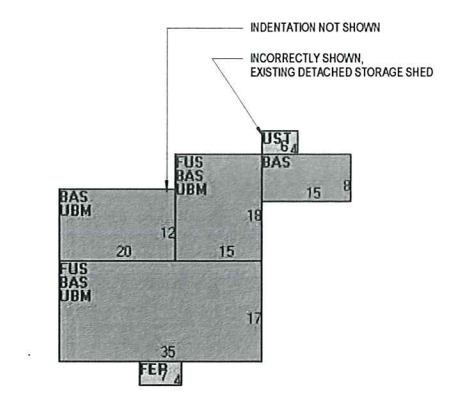
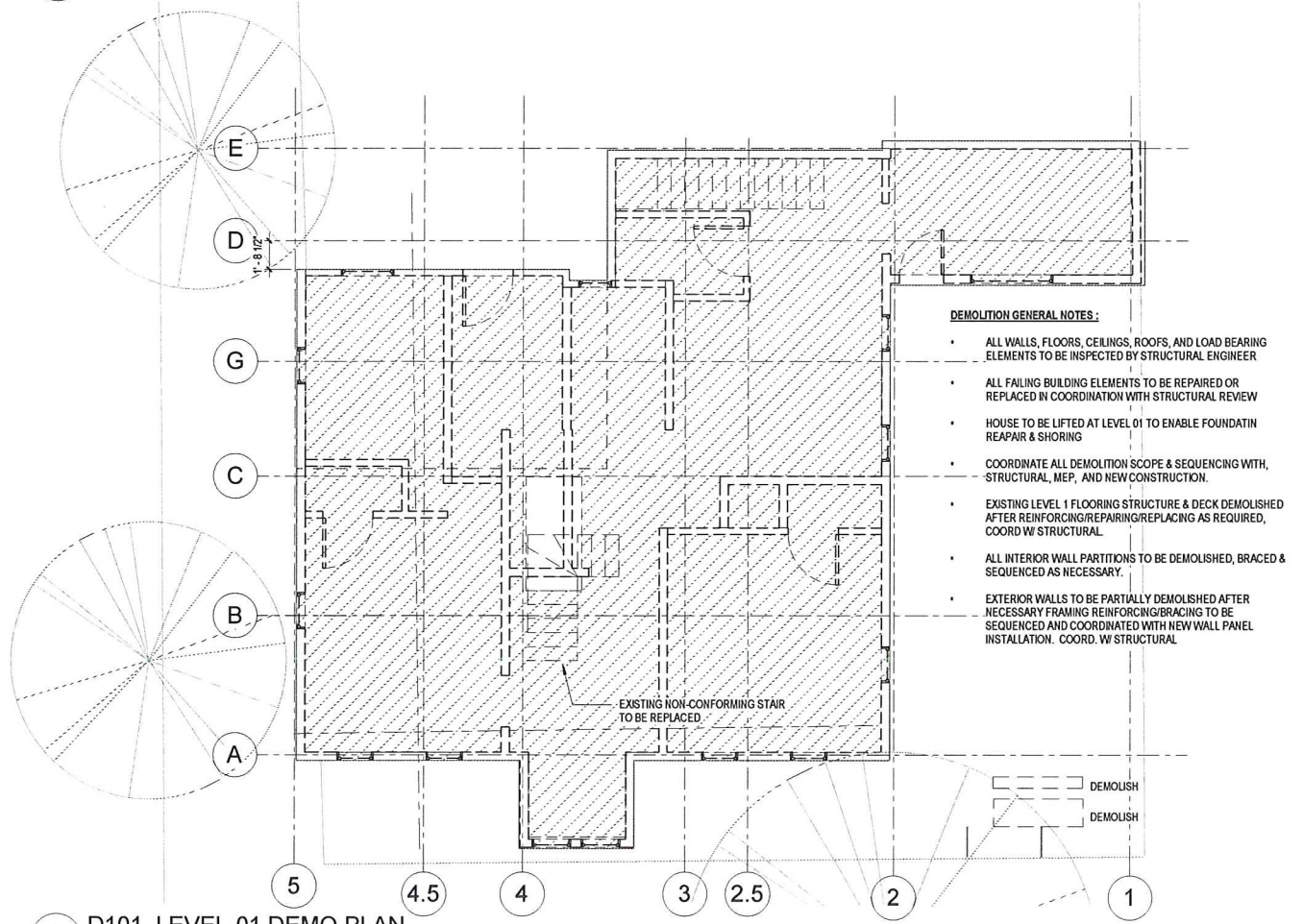


IMAGE SOURCE: CAMBRIDGE PROPERTY DATABASE

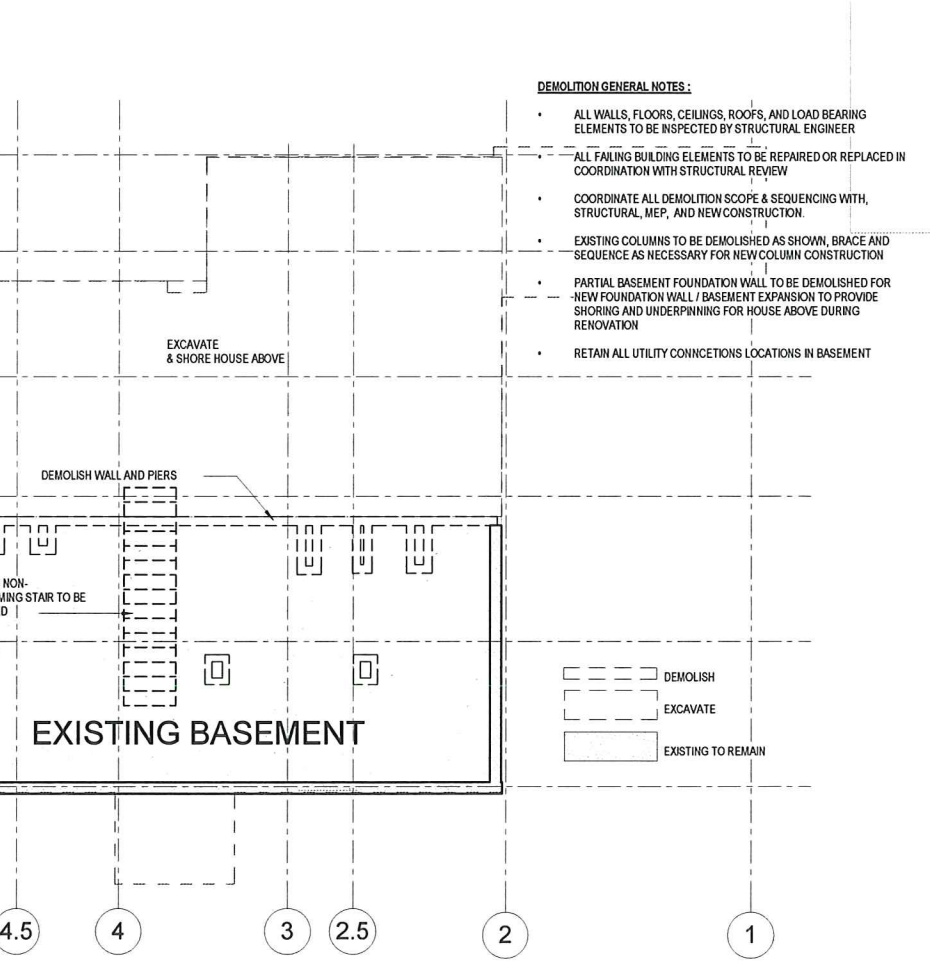
4 D001_EXISTING BUILDING
1/16" = 1'-0"



1 D101 LEVEL-01 DEMO PLAN
3/16" = 1'-0"

DEMOLITION GENERAL NOTES:

- ALL WALLS, FLOORS, CEILINGS, ROOFS, AND LOAD BEARING ELEMENTS TO BE INSPECTED BY STRUCTURAL ENGINEER
- ALL FAILING BUILDING ELEMENTS TO BE REPAIRED OR REPLACED IN COORDINATION WITH STRUCTURAL REVIEW
- COORDINATE ALL DEMOLITION SCOPE & SEQUENCING WITH STRUCTURAL, MEP, AND NEW CONSTRUCTION.
- EXISTING COLUMNS TO BE DEMOLISHED AS SHOWN, BRACE AND SEQUENCE AS NECESSARY FOR NEW COLUMN CONSTRUCTION
- PARTIAL BASEMENT FOUNDATION WALL TO BE DEMOLISHED FOR NEW FOUNDATION WALL / BASEMENT EXPANSION TO PROVIDE SHORING AND UNDERPINNING FOR HOUSE ABOVE DURING RENOVATION
- RETAIN ALL UTILITY CONNECTIONS LOCATIONS IN BASEMENT



3 D100 LEVEL-0B DEMO PLAN
3/16" = 1'-0"

CWD DEVELOPMENT

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115 SPRING RENOVATION

PROJECT ADDRESS:
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CAMBRIDGE, MA 02141

ARCHITECT
Olinger Architects
281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

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142 Hanlon Road
Holliston, MA 01746
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STRUCTURAL ENGINEER
BERDI CONSULTING
25 Wayland Hills road
Wayland, MA 01778
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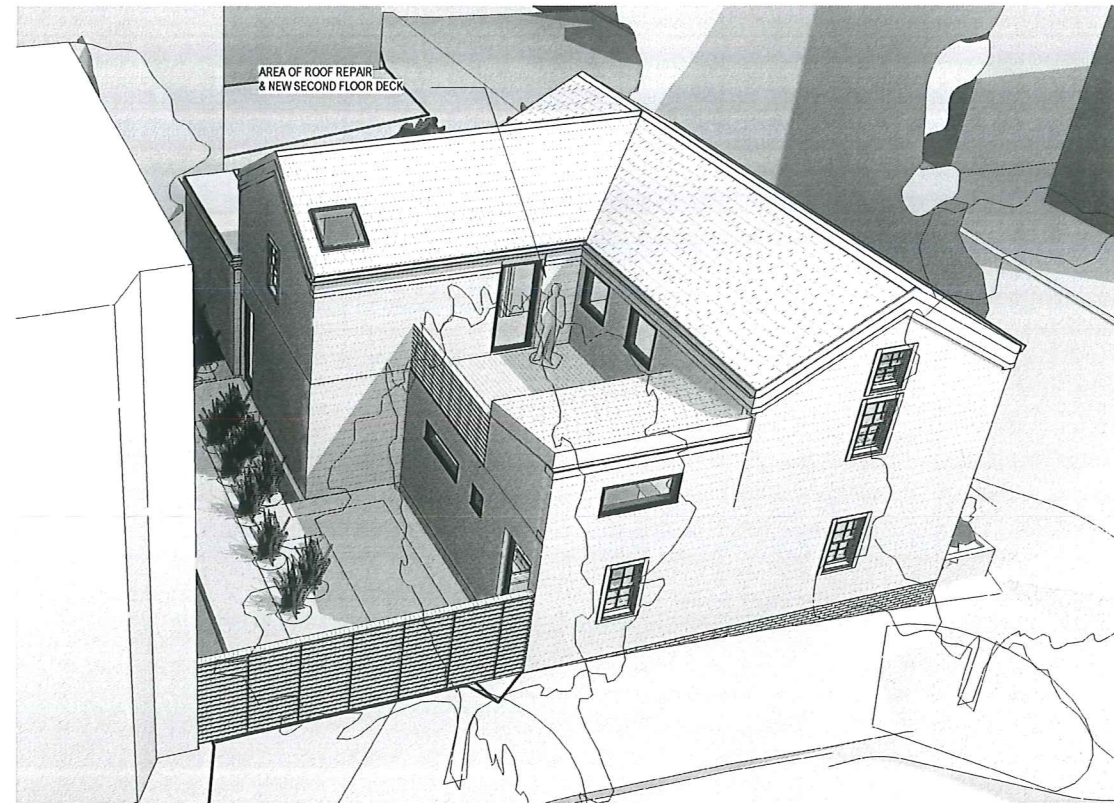
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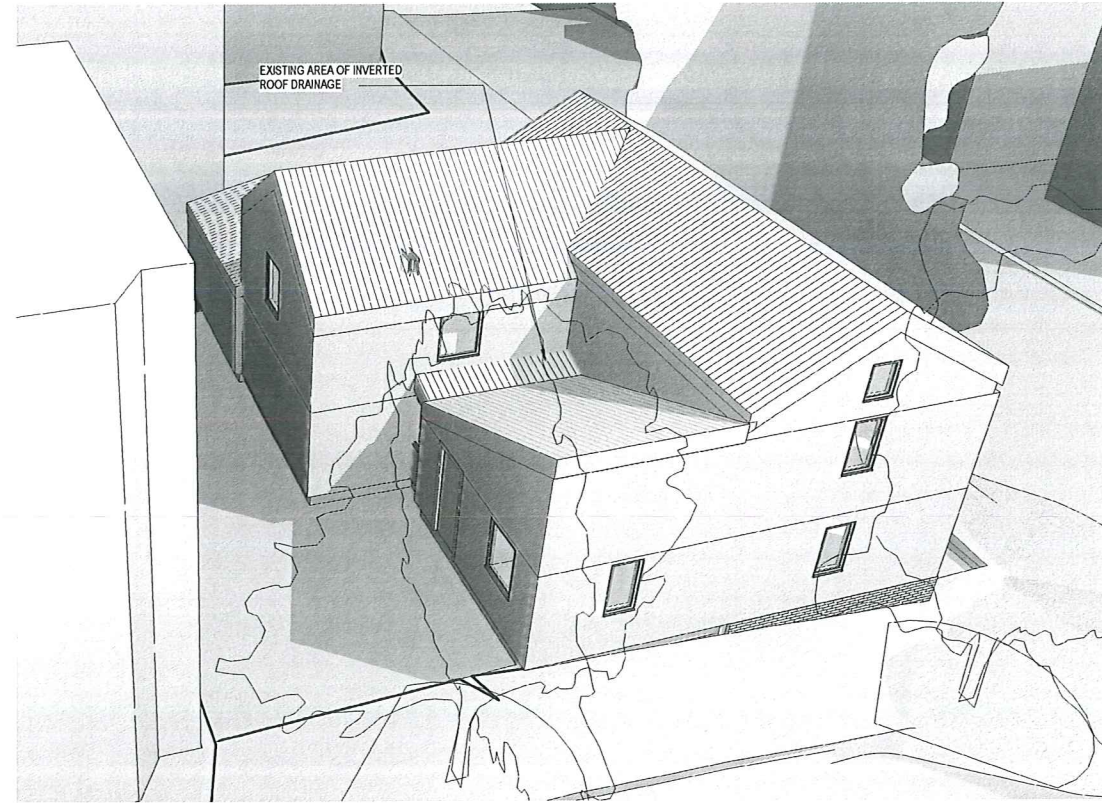
No.	Description	Date

DEMOLITION PLANS

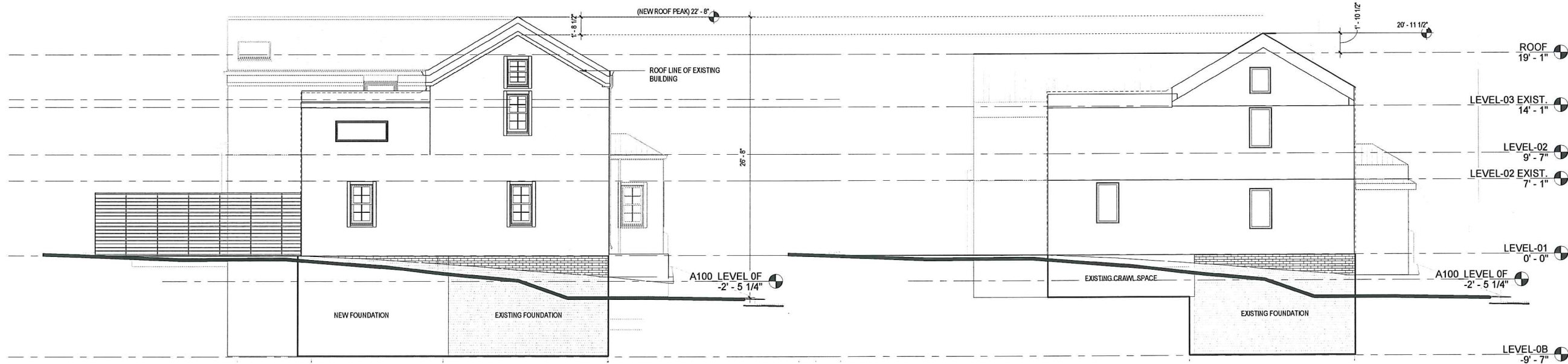
D-001
115 SPRING STREET



2 G-001_PROPOSED NEW WORK

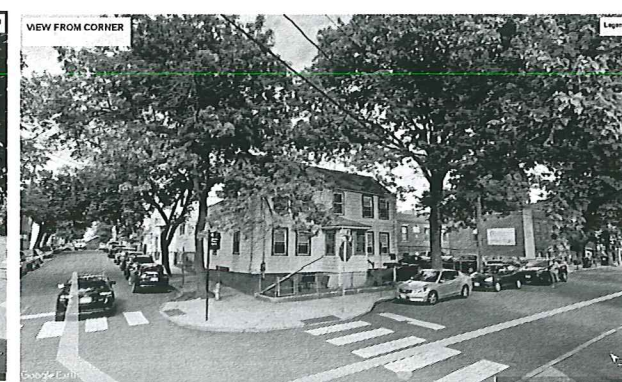


1 G-001_EXISTING BUILDING



4 G001_PROPOSED 5TH STREET ELEVATION
3/16" = 1'-0"

3 G001_EXISTING 5TH STREET ELEVATION Copy 1
3/16" = 1'-0"



EXISTING CONDITIONS PHOTOGRAPH

CWD
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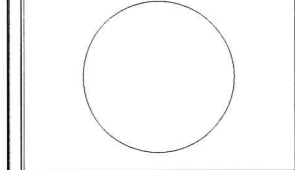
ARCHITECT
Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
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RENOVATION OVERVIEW

G-001
115 SPRING STREET

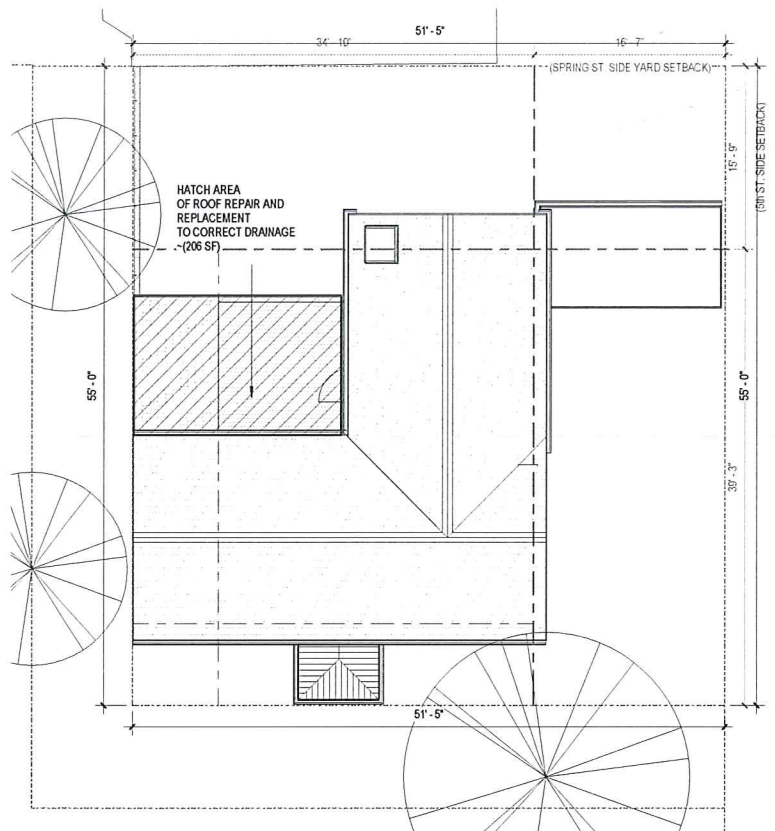
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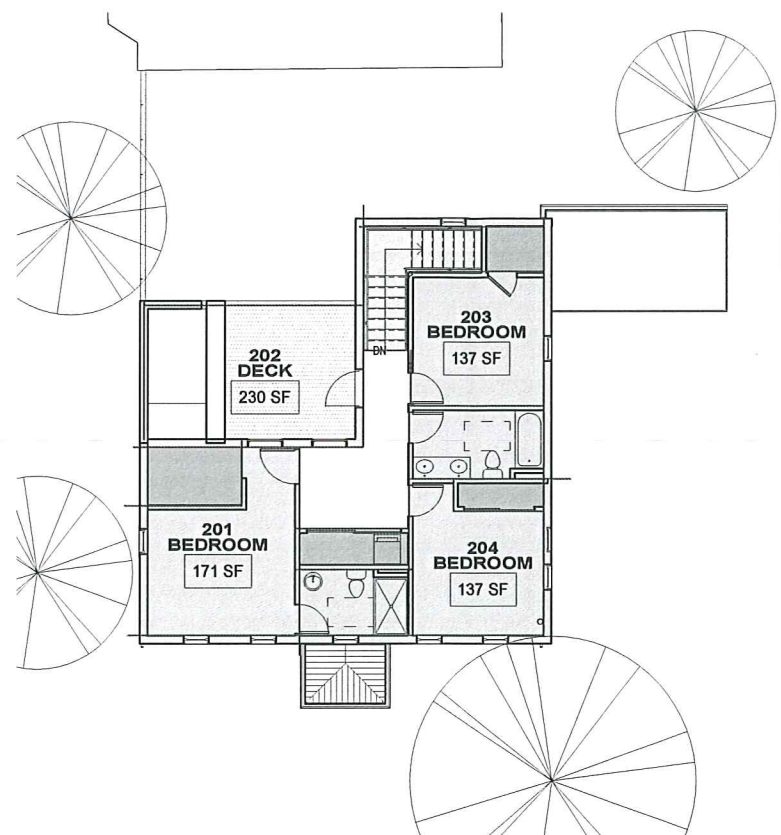
281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
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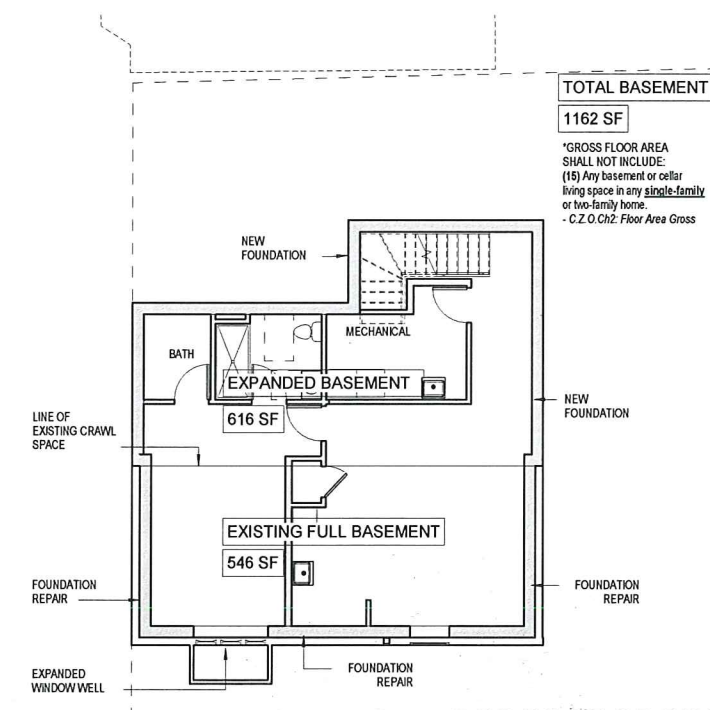
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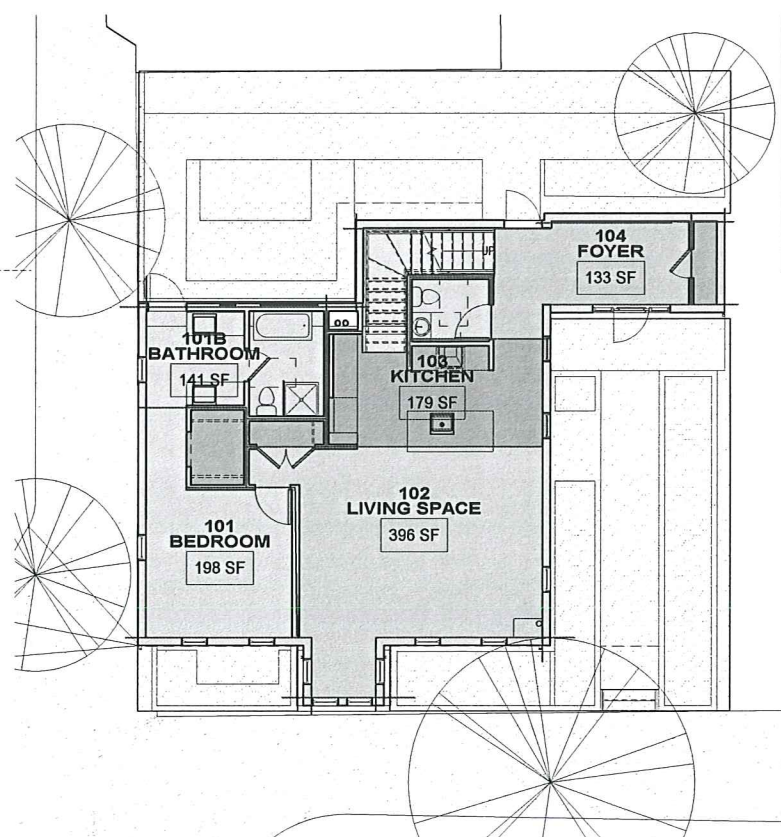
3 G002_LEVEL-ROOF
1/8" = 1'-0"



2 G002_LEVEL-02
1/8" = 1'-0"



B G002_LEVEL-0B
1/8" = 1'-0"



1 G002_LEVEL-01
1/8" = 1'-0"

Area Schedule (Gross Building)		
Number	Name	Area
LEVEL-01		
101	BEDROOM	198 SF
101B	BATHROOM	141 SF
102	LIVING SPACE	396 SF
103	KITCHEN	179 SF
104	FOYER	133 SF
105	BATHROOM	38 SF
106	STAIR	78 SF
107	CLOSET	21 SF
109	CLOSET	16 SF
110	CLOSET	36 SF

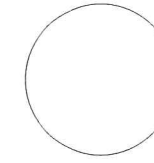
LEVEL-02		
108	CLOSET	33 SF
201	BEDROOM	171 SF
201B	CLOSET	41 SF
203	BEDROOM	137 SF
203B	CLOSET	19 SF
204	BEDROOM	137 SF
204B	CLOSET	22 SF
205	CORRIDOR	100 SF
206	BATHROOM	74 SF
207	STAIR	68 SF
208	BATHROOM	54 SF
Grand total: 21		2092 SF

ZONING INFORMATION

115 SPRING PROPERTY INFORMATION		EXISTING BUILDING INFORMATION RESIDENTIAL BUILDING NUMBER 1, SECTION 1	
Property Class:	SNGL-FAM-RES	Exterior Style:	CONVENTIONAL
State Class Code:	101	Occupancy:	SNGL-FAM-RES
Zoning (Unofficial):	C-1	Number of Stories:	2.25
Map/Lot:	25-83	Exterior Wall Type:	Asbestos Shingle
Land Area (sq. ft):	2,794	Roof Type:	Gable
		Roof Material:	Asphalt Shingle
		Interior Living Area (sq. ft.):	2,090
		Parking:	
		Open Parking:	0
		Covered Parking:	0

(0) DISTRICT	ALLOWED C-1	(PROVIDED) (C-1)
(1) MAX. F.A.R.	0.75 = 2061 SF	(2090 SF EXISTING) (NO CHANGE IN GFA)
(2) MIN. LOT SIZE	5,000	(2,749 SF EXISTING)
(3) MIN. LOT AREA D.U.	1,500	(2090 SF EXISTING)
(4) MIN. LOT WIDTH SPRING ST: 5TH STREET:	50'-00" 50'-00"	(51'-04") (55'-00")
(5) MIN YARD IN FEET FRONT (H+L(a)/4): SPRING SIDE (H+L(n)/5): 5th ST. SIDE (H+L(n)/5):	(SEE 3/G-002) 19'-10"=[28'+51'4"]/4 16'-07"=[28'+55']/5 15'-09"=[28'+51']/5	(SPRING = 25'10") (5th St. = 25'-05") (EXISTING ENCROACHES) (EXISTING ENCROACHES)
(6) MAX HEIGHT IN FT	35'-00"	(28'-00" AFTER REPAIR) (26'-06" EXISTING)
(7) MIN. OPEN LOT	30%	(53% = 1,461 SF / 2,749 SF) (HONEYCOMB HATCH 1/G-002)

REGISTRATION



SPECIAL PERMIT APPLICATION

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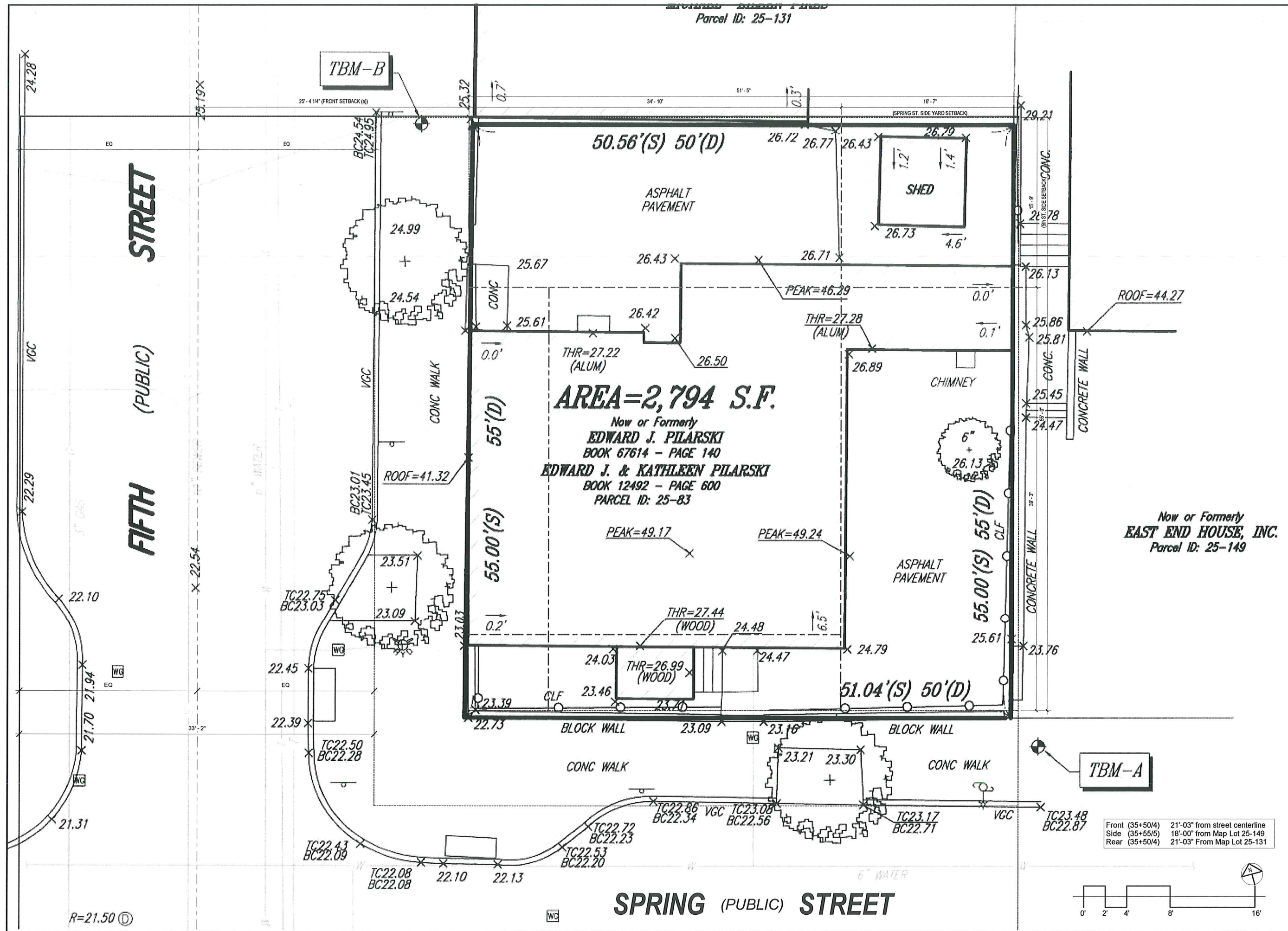
REVISIONS

No.	Description	Date

GROSS FLOOR AREA

G-002

115 SPRING STREET



Parcel ID: 25-131

CWD
DEVELOPMENT

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115 SPRING RENOVIATION

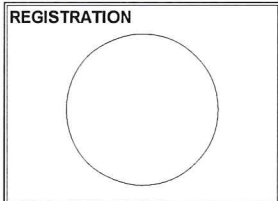
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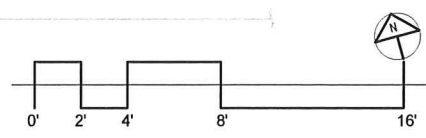
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EXISTING PLOT PLAN

A-001

115 SPRING STREET

Front (35+50/4) 21'-03" from street centerline
Side (35+55/5) 18'-00" from Map Lot 25-149
Rear (35+50/4) 21'-03" From Map Lot 25-131



R=21.50

5TH (PUBLIC) STREET

25'-4 1/4" (FRONT SETBACK (a))

34'-10"

51'-5"

16'-7" (SPRING ST. SIDE YARD SETBACK)

(Bk ST. SIDE SETBACK)

EXISTING SHED TO BE REMOVED

NEW PLANTER

NEW PLANTER

NEW PATIO @ LEVEL 01

NEW SKYLIGHT OVER STAIR

RE-ROOF

7'-9 3/4"

F

E

D

C

B

A

LINE OF EXISTING BUILDING

NEW DECK @ LEVEL 02

NEW ASPHALT SHINGLE ROOF

ENTRANCE COURTYARD

1/4" 12' SLOPED ROOF STRUCTURE BELOW DECK

NEW ASPHALT SHINGLE ROOF

NEW PLANTER

NEW PATH

NEW PLANTER

NEW PLANTER

EXPAND WINDOW WELL

NEW STAIR

11'-3 1/2"

7'-2 3/4"

7'-6"

33 3/4"

4

3

2

1

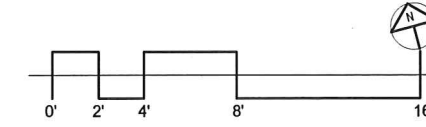
REPAIR RETAINING WALL REPLACE AS REQUIRED

FILL EXISTING STAIR LOCATION REPAIR RETAINING WALL REPLACE AS REQUIRED

SIDE SETBACK LINE

25'-10 1/4" (FRONT SETBACK (b))

Front (28+50/4) 19'-10" from street centerline
 Side (28+55/5) 16'-07" from Map Lot 25-149
 Rear (28+50/4) 19'-10" From Map Lot 25-131



SPRING (PUBLIC) STREET

(Map Lot 25-149)

CWD

DEVELOPMENT

PROJECT NAME

115 SPRING RENOVIATION

PROJECT ADDRESS:

115 SPRING STREET
 CAMBRIDGE, MA 02141

ARCHITECT

Olinger Architects

281 CONCORD AVE.
 CAMBRIDGE, MA 02138
 TELEPHONE: 917-582-5333
 EMAIL: INFO@OLINGER.IO

CODE CONSULTANT

HASTINGS CONSULTANTS
 142 Hanlon Road
 Holliston, MA 01746
 (T) 508-397-8417

STRUCTURAL ENGINEER

BERDI CONSULTING
 25 Wayland Hills road
 Wayland, MA 01778
 (T)

REGISTRATION

SPECIAL PERMIT APPLICATION

Project number 1805
 Date MARCH 29th, 2019
 Drawn by Author
 Checked by Checker
 Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

SITE PLAN

A-002

115 SPRING STREET

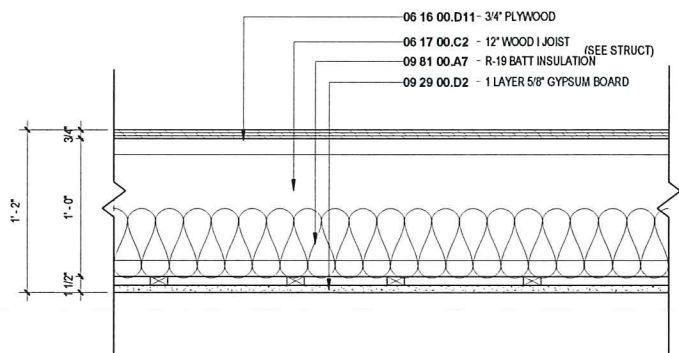
PROJECT NAME
115 SPRING RENOVATION
PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT
Olinger Architects

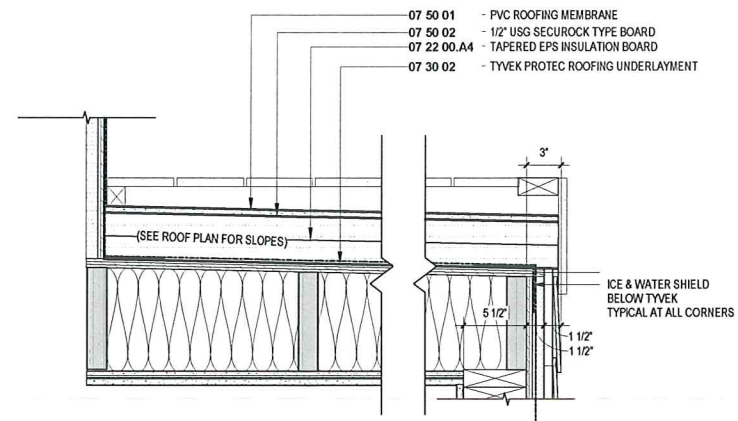
281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
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CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

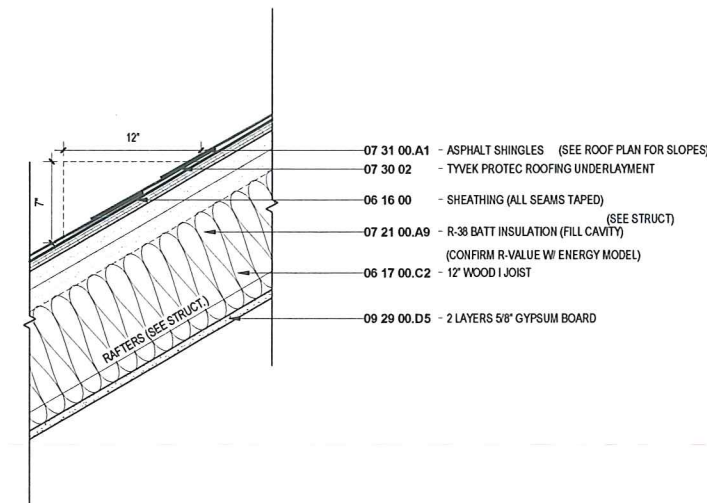
STRUCTURAL ENGINEER
BERDI CONSULTING
25 Wayland Hills road
Wayland, MA 01778
(T)



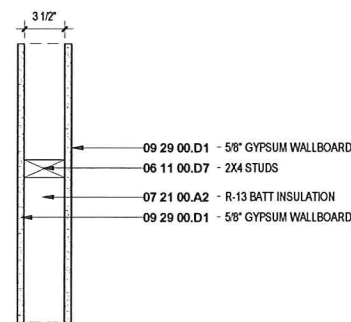
FL1 A010_ROOF RF2 Copy 1
1 1/2" = 1'-0"



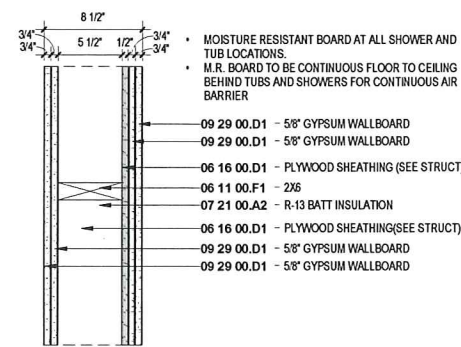
RF2 A010_ROOF RF2
1 1/2" = 1'-0"



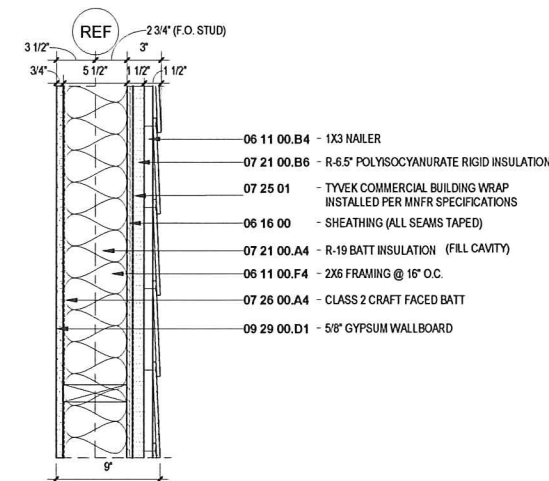
RF1 A010_ROOF RF1
1 1/2" = 1'-0"



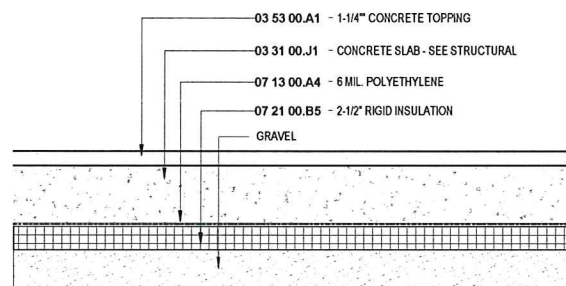
W14 A010_WALL W14 INTERIOR PARTITION
1 1/2" = 1'-0"



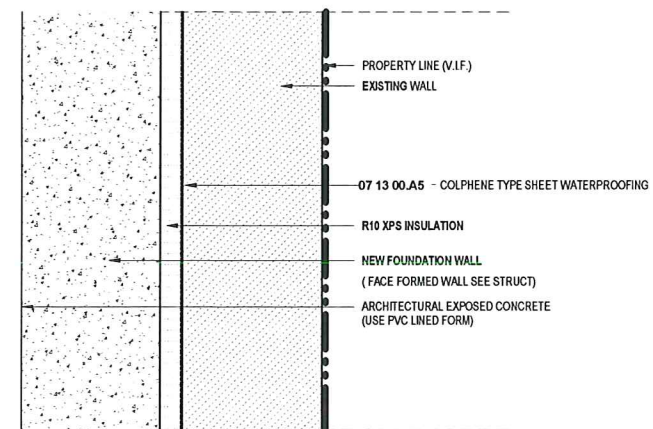
W26 A010_WALL W26 SHEAR WALL
1 1/2" = 1'-0"



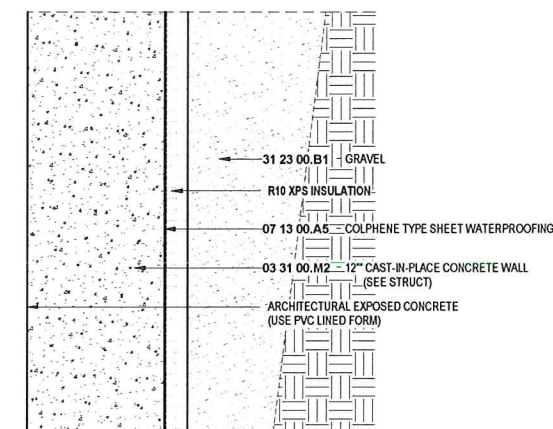
EX1 A010_WALL EX1
1 1/2" = 1'-0"



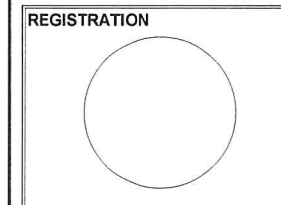
SL1 A010_ROOF SL1
1 1/2" = 1'-0"



FD2 A010_WALL FD2
1 1/2" = 1'-0"



FD1 A010_WALL_FD1
1 1/2" = 1'-0"



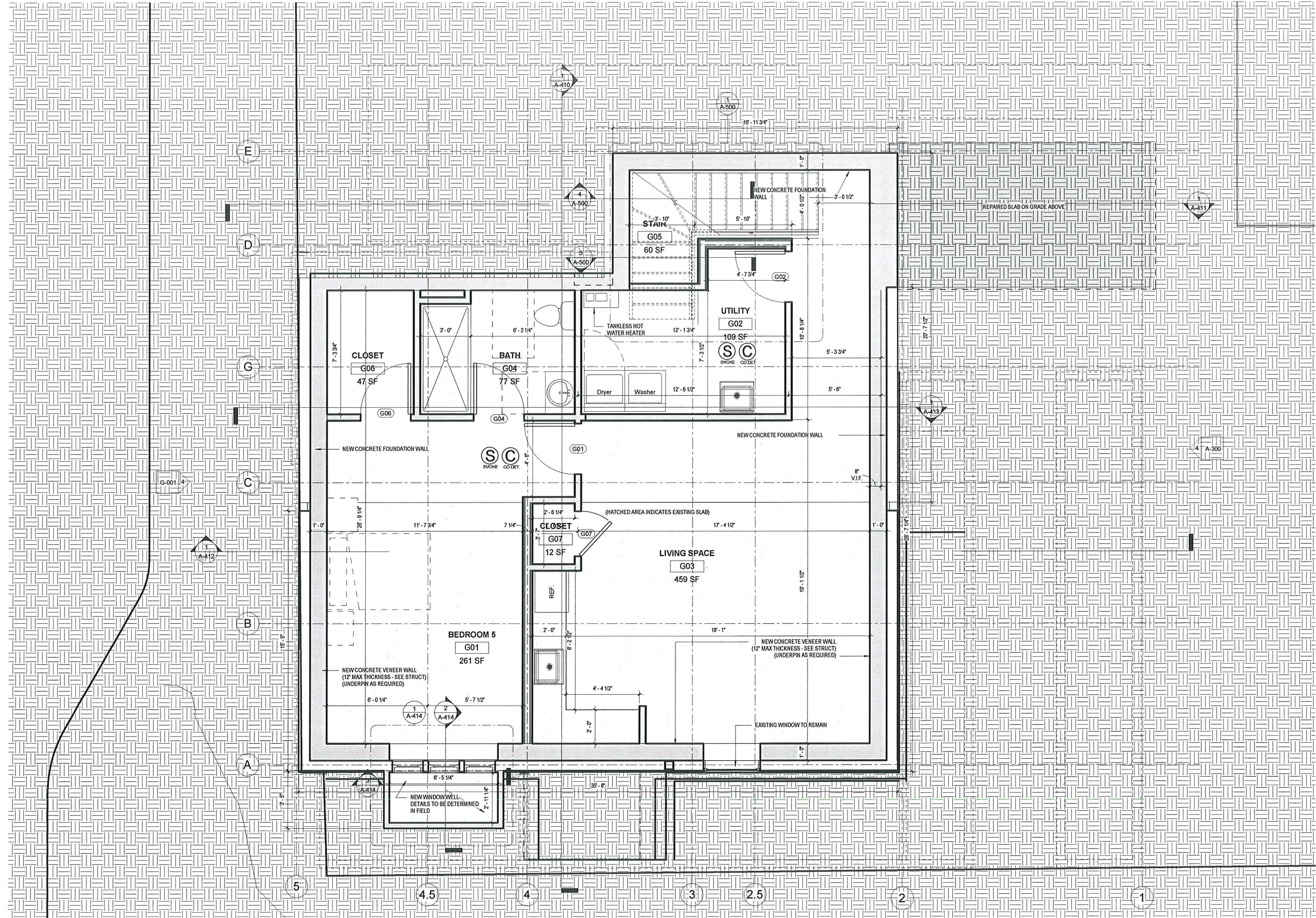
SPECIAL PERMIT APPLICATION

Project number 1805
Date MARCH 29th, 2019
Drawn by Author
Checked by Checker
Scale 1 1/2" = 1'-0"

REVISIONS

No.	Description	Date

WALL & ROOF TYPES



CWD

DEVELOPMENT

PROJECT NAME

**115 SPRING
RENOVATION**

PROJECT ADDRESS:

115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT

Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE 917-582-5333
EMAIL: INFO@OLINGER.IO

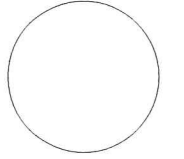
CODE CONSULTANT

HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

STRUCTURAL ENGINEER

BERDI CONSULTING
25 Wayland Hills road
Wayland, MA 01778
(T)

REGISTRATION



SPECIAL PERMIT APPLICATION

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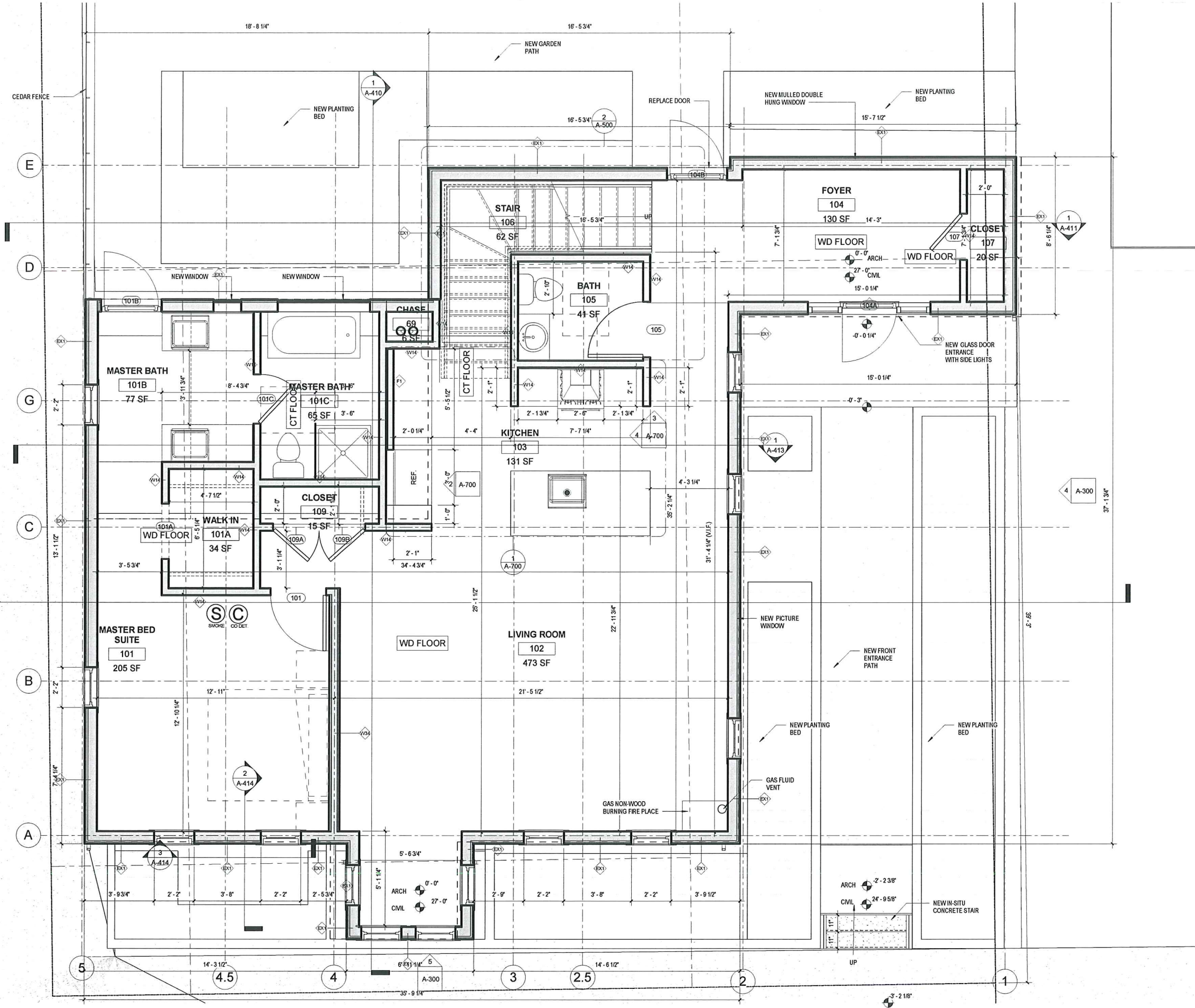
REVISIONS

No.	Description	Date

BASEMENT PLAN

A-100

115 SPRING STREET



CWD
DEVELOPMENT

PROJECT NAME
115 SPRING RENOVATION

PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT
Olinger Architects
281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
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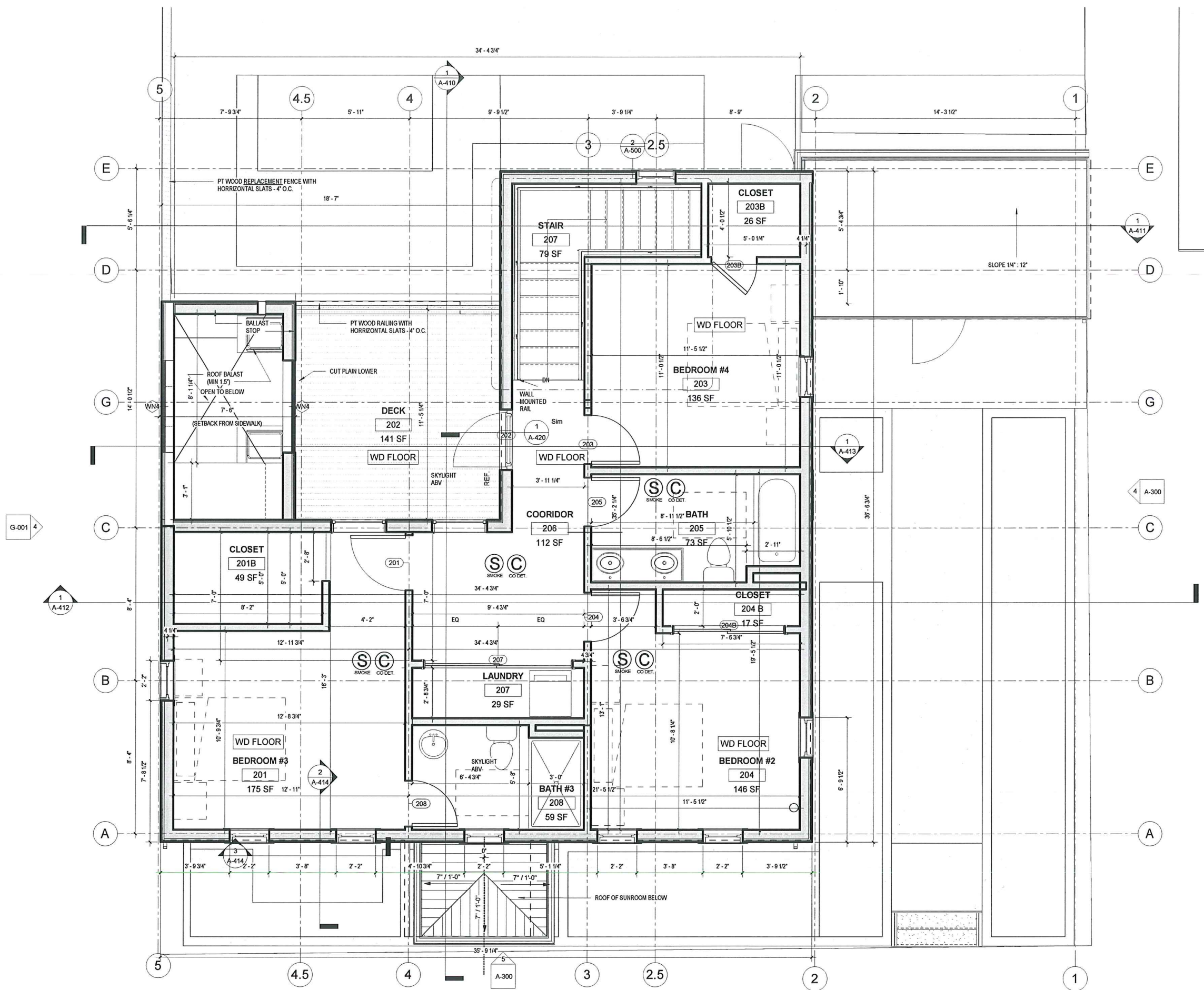
Project number	1805
Date	MARCH 29th, 2019
Drawn by	Author
Checked by	Checker
Scale	3/8" = 1'-0"

REVISIONS

No.	Description	Date

LEVEL 01 PLAN

A-101
115 SPRING STREET



CWD
DEVELOPMENT

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115 SPRING RENOVIATION

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CAMBRIDGE, MA 02141

ARCHITECT
Olinger Architects
281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

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HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
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REGISTRATION

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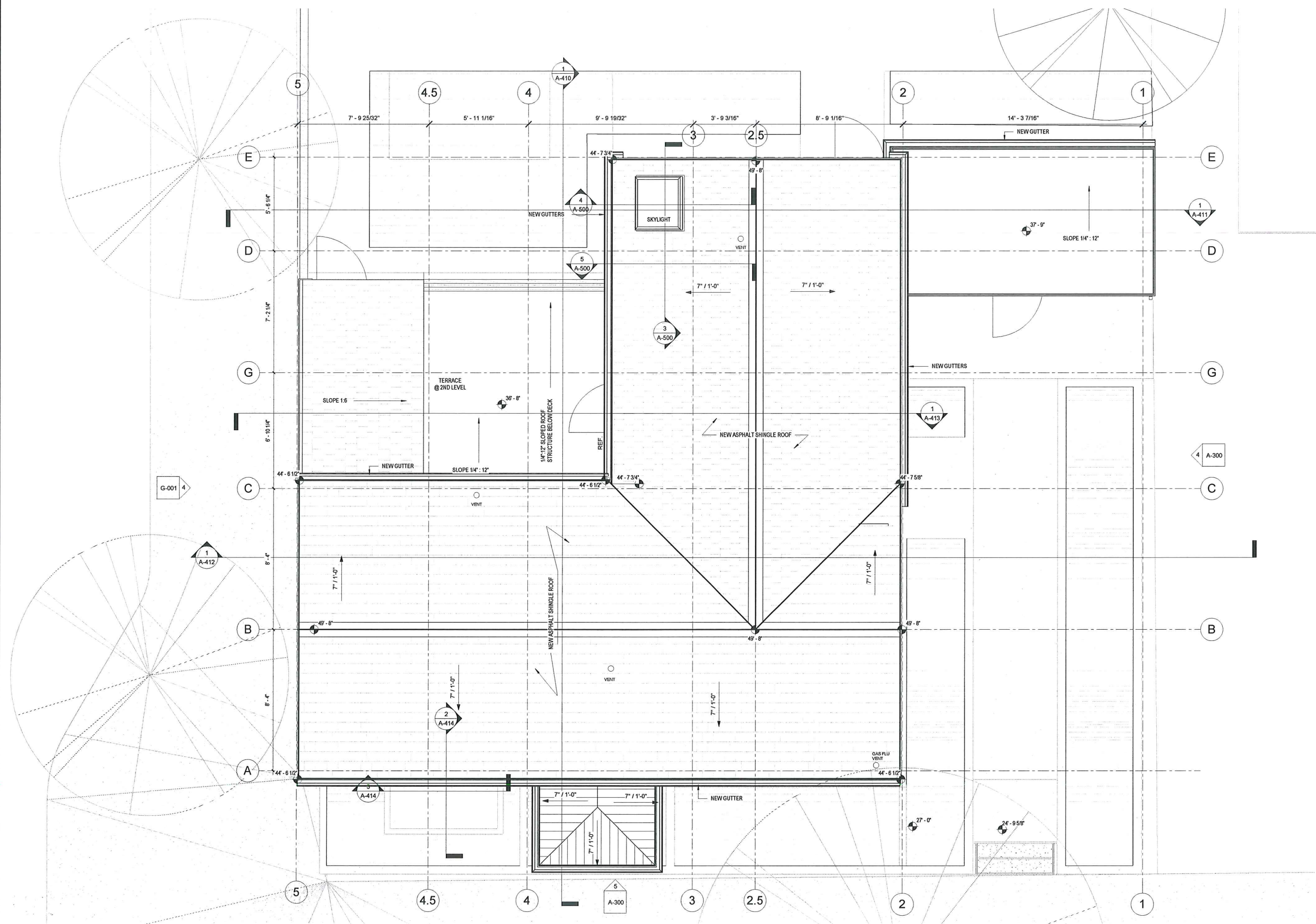
REVISIONS

No.	Description	Date

LEVEL 02 PLAN

A-102

115 SPRING STREET



CWD
DEVELOPMENT

PROJECT NAME
115 SPRING RENOVIATION
PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

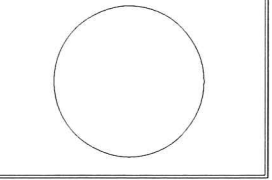
ARCHITECT
Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

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BERDI CONSULTING
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REGISTRATION



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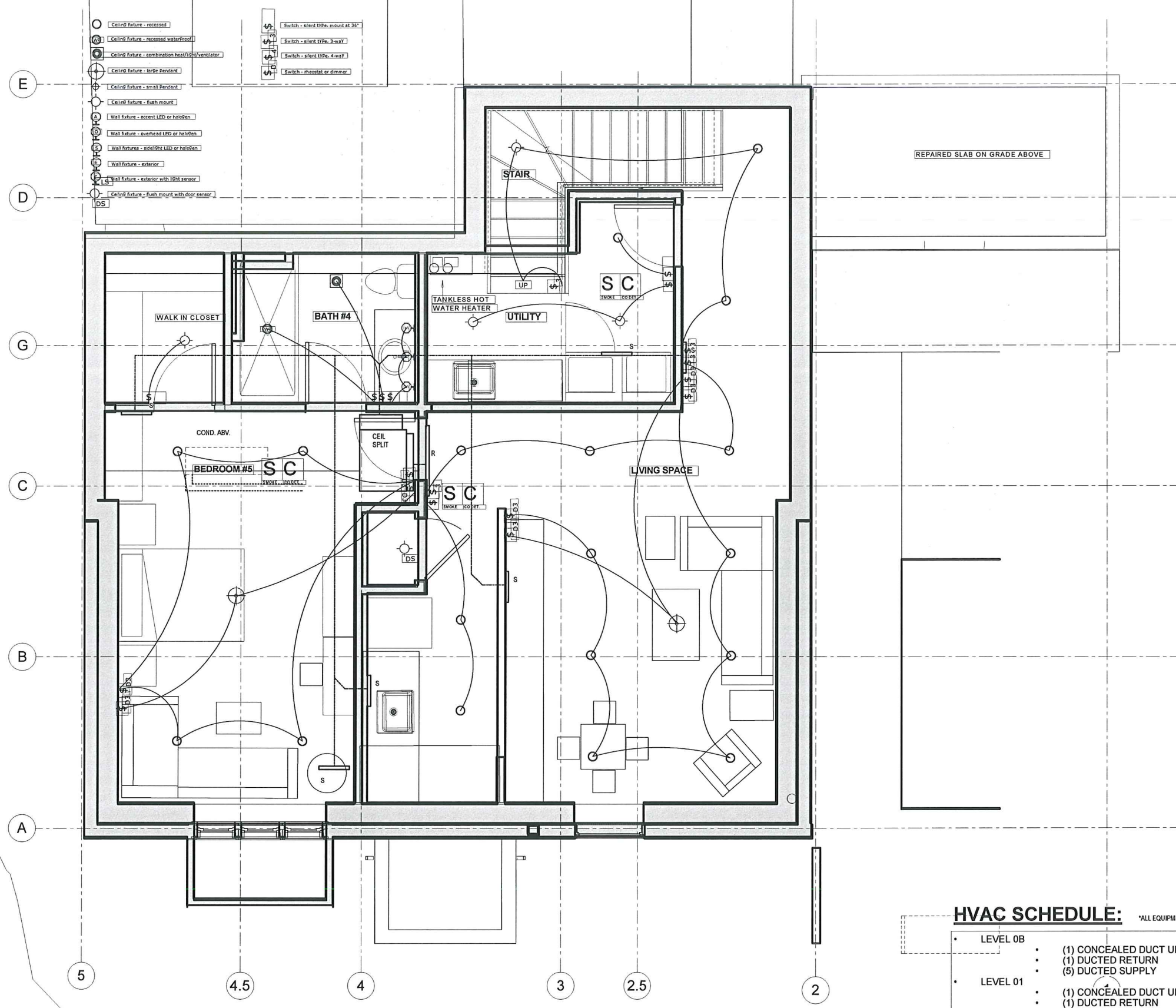
REVISIONS

No.	Description	Date

ROOF PLAN

A-103

115 SPRING STREET



- Ceiling fixture - recessed
 - Ceiling fixture - recessed waterproof
 - Ceiling fixture - combination heat/ventilator
 - Ceiling fixture - large pendant
 - Ceiling fixture - small pendant
 - Ceiling fixture - flush mount
 - Wall fixture - accent LED or halogen
 - Wall fixture - overhead LED or halogen
 - Wall fixture - side/strip LED or halogen
 - Wall fixture - exterior
 - Wall fixture - exterior with light sensor
 - Ceiling fixture - flush mount with door sensor
 - DS
- Switch - smart 100w, mount at 36"
 - Switch - smart LED, 3-way
 - Switch - smart LED, 4-way
 - Switch - rheostat or dimmer

HVAC SCHEDULE:

*ALL EQUIPMENT TO BE MASS SAVE APPROVED

- LEVEL 0B
 - (1) CONCEALED DUCT UNIT ~18,000 BTU 350/500 CFM
 - (1) DUCTED RETURN
 - (5) DUCTED SUPPLY
- LEVEL 01
 - (1) CONCEALED DUCT UNIT ~18,000 BTU 350/500 CFM
 - (1) DUCTED RETURN
 - (5) DUCTED SUPPLY
- LEVEL 02
 - (1) OUTDOOR HEAT-PUMP CONDENSOR ~48,000 BTU
 - (1) CONCEALED DUCT UNIT ~18,000 BTU 350/500 CFM
 - (1) DUCTED RETURN
 - (4) DUCTED SUPPLY

CWD

DEVELOPMENT

PROJECT NAME

115 SPRING RENOVATION

PROJECT ADDRESS:

115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT

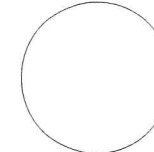
Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE 917-582-5333
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HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
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REGISTRATION



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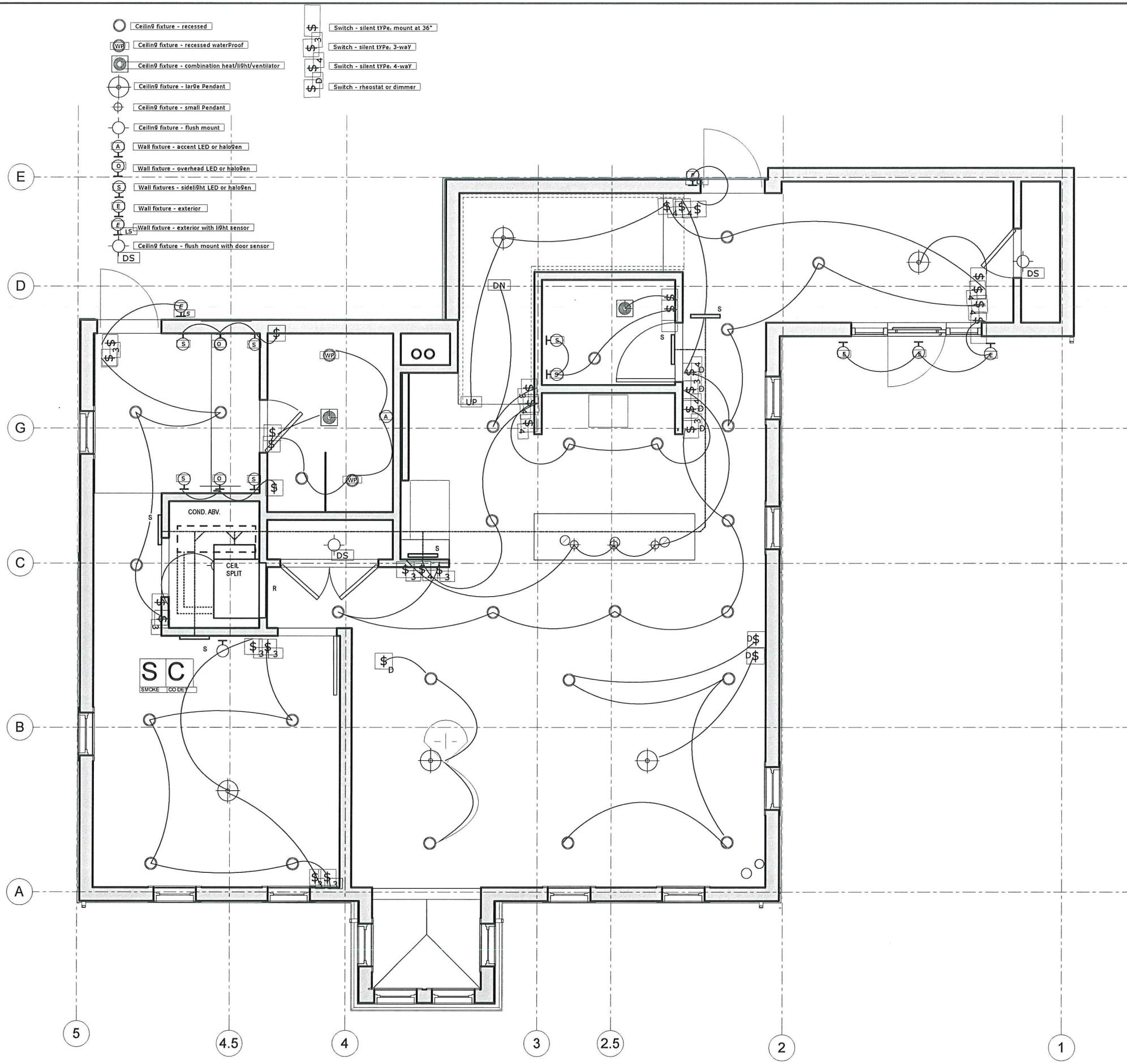
REVISIONS

No.	Description	Date

BASEMENT RCP

A-200

115 SPRING STREET



- Ceiling fixture - recessed
- ⊕ Ceiling fixture - recessed waterproof
- ⊕ Ceiling fixture - combination heat/light/ventilator
- ⊕ Ceiling fixture - large Pendant
- ⊕ Ceiling fixture - small Pendant
- Ceiling fixture - flush mount
- ⊕ Wall fixture - accent LED or halogen
- ⊕ Wall fixture - overhead LED or halogen
- ⊕ Wall fixtures - sidelight LED or halogen
- ⊕ Wall fixture - exterior
- ⊕ Wall fixture - exterior with light sensor
- Ceiling fixture - flush mount with door sensor
- ⊕ Switch - silent type, mount at 36"
- ⊕ Switch - silent type, 3-way
- ⊕ Switch - silent type, 4-way
- ⊕ Switch - rheostat or dimmer

CWD
DEVELOPMENT

PROJECT NAME
115 SPRING RENOVATION
PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT
Olinger Architects
281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

STRUCTURAL ENGINEER
BERDI CONSULTING
25 Wayland Hills road
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REGISTRATION

SPECIAL PERMIT APPLICATION
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REVISIONS

No.	Description	Date

LEVEL 01 RCP
A-201
115 SPRING STREET

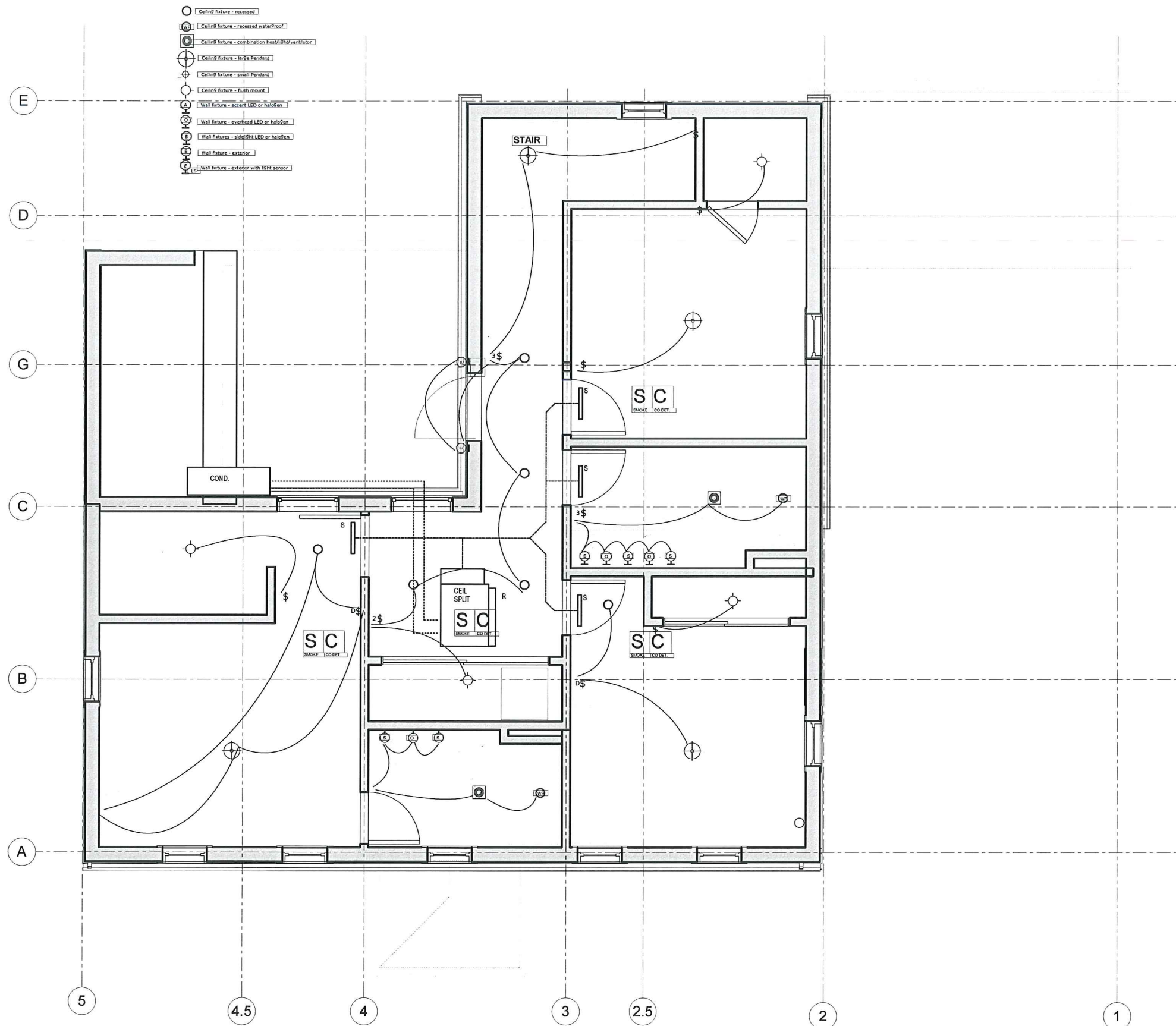
PROJECT NAME
**115 SPRING
RENOVATION**
PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT
Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

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REGISTRATION

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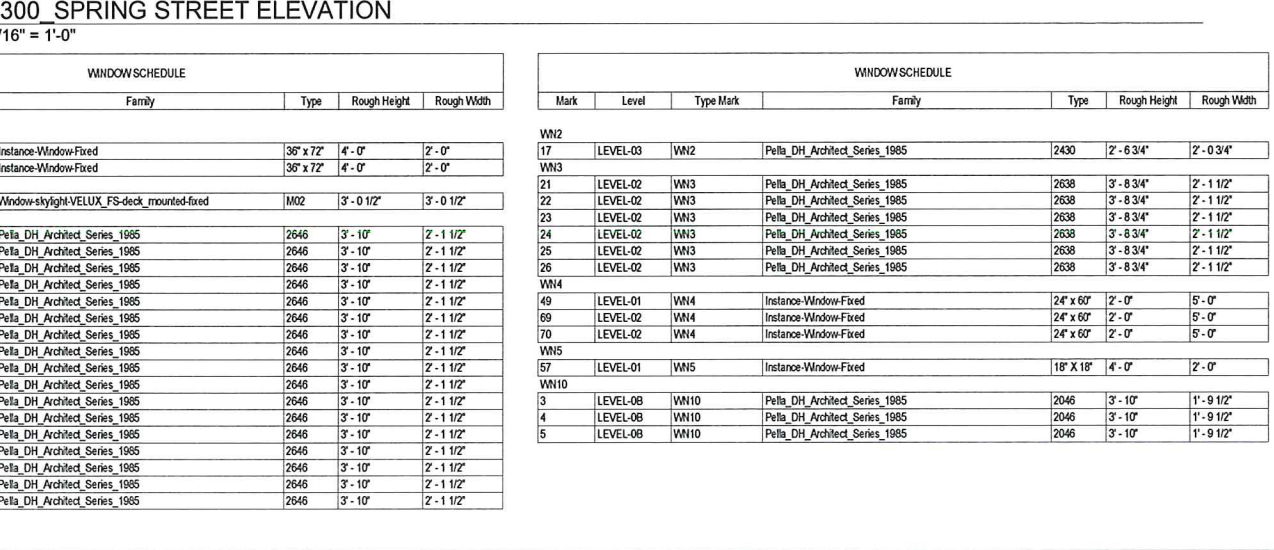
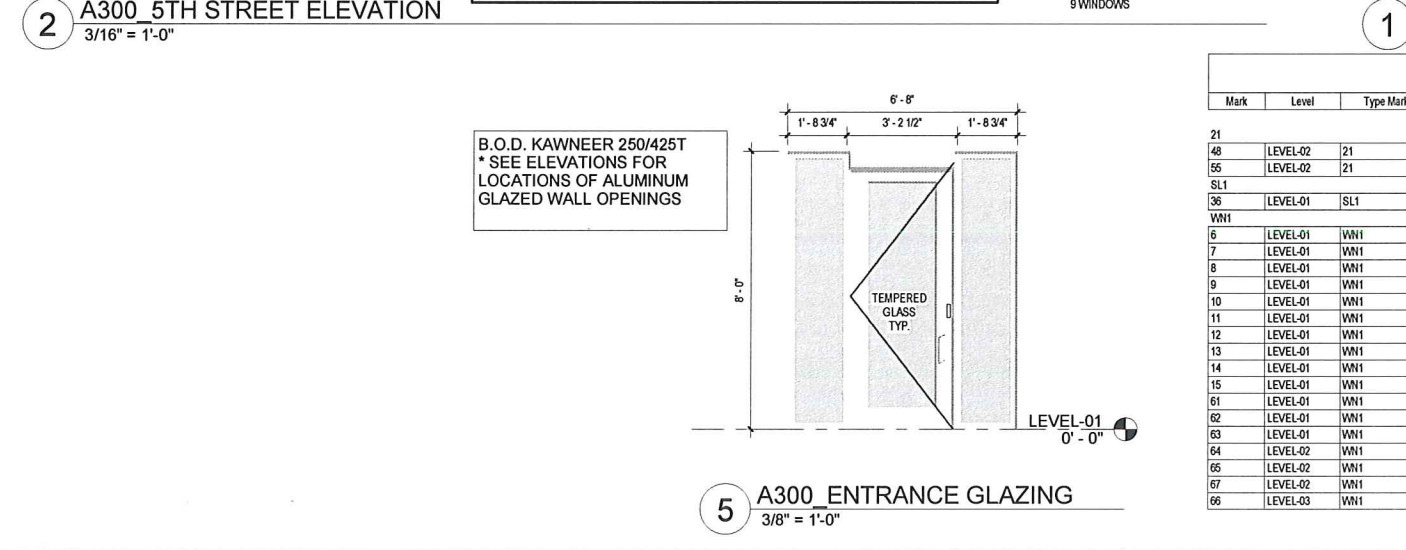
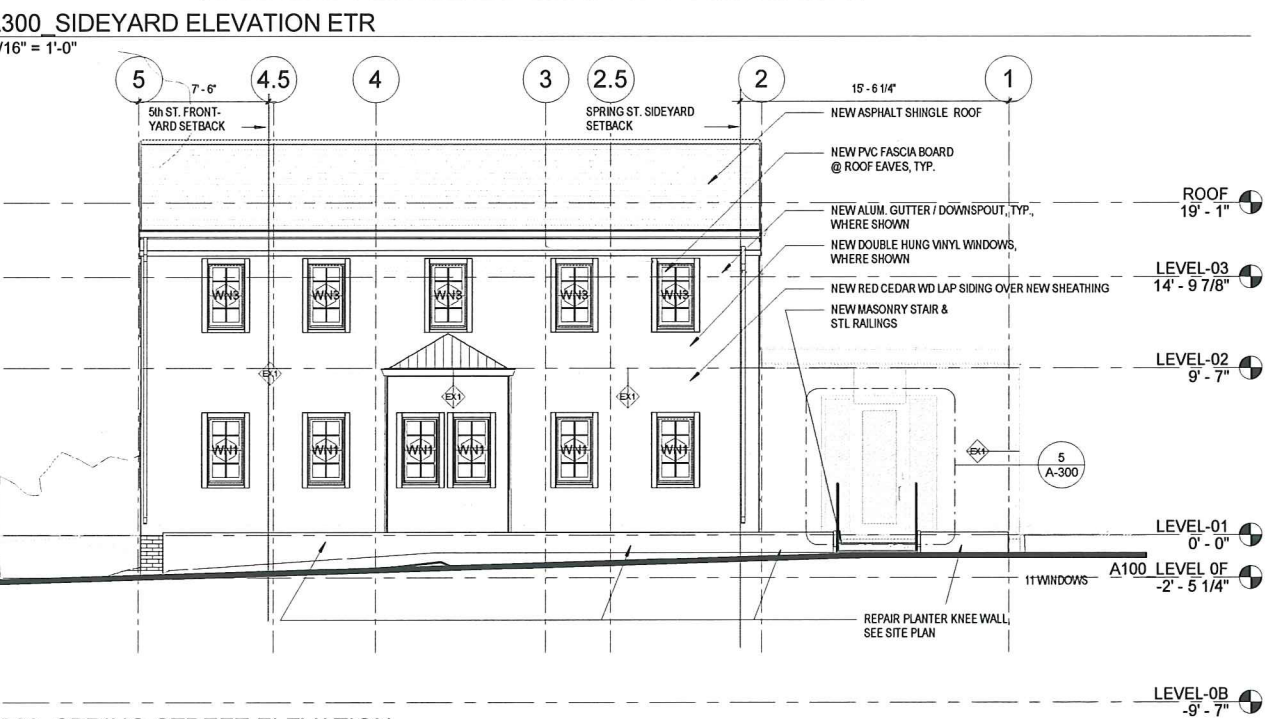
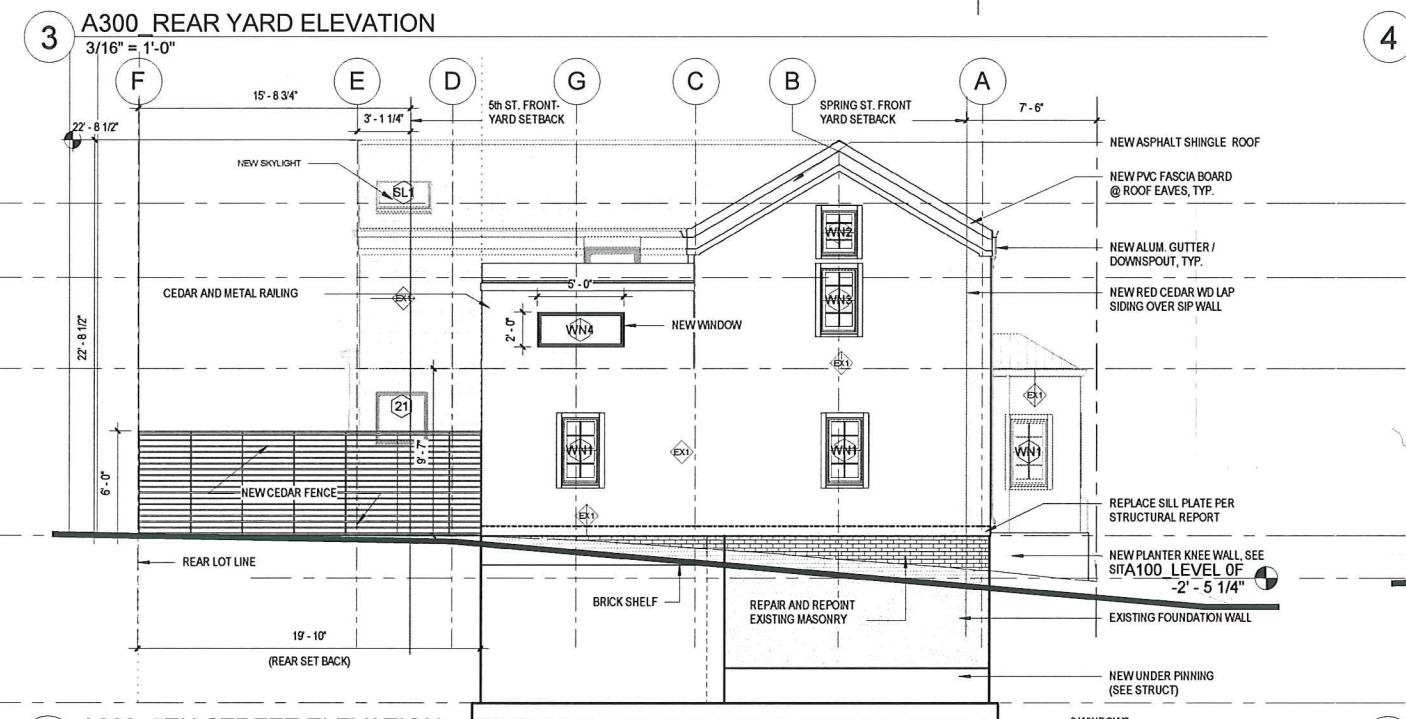
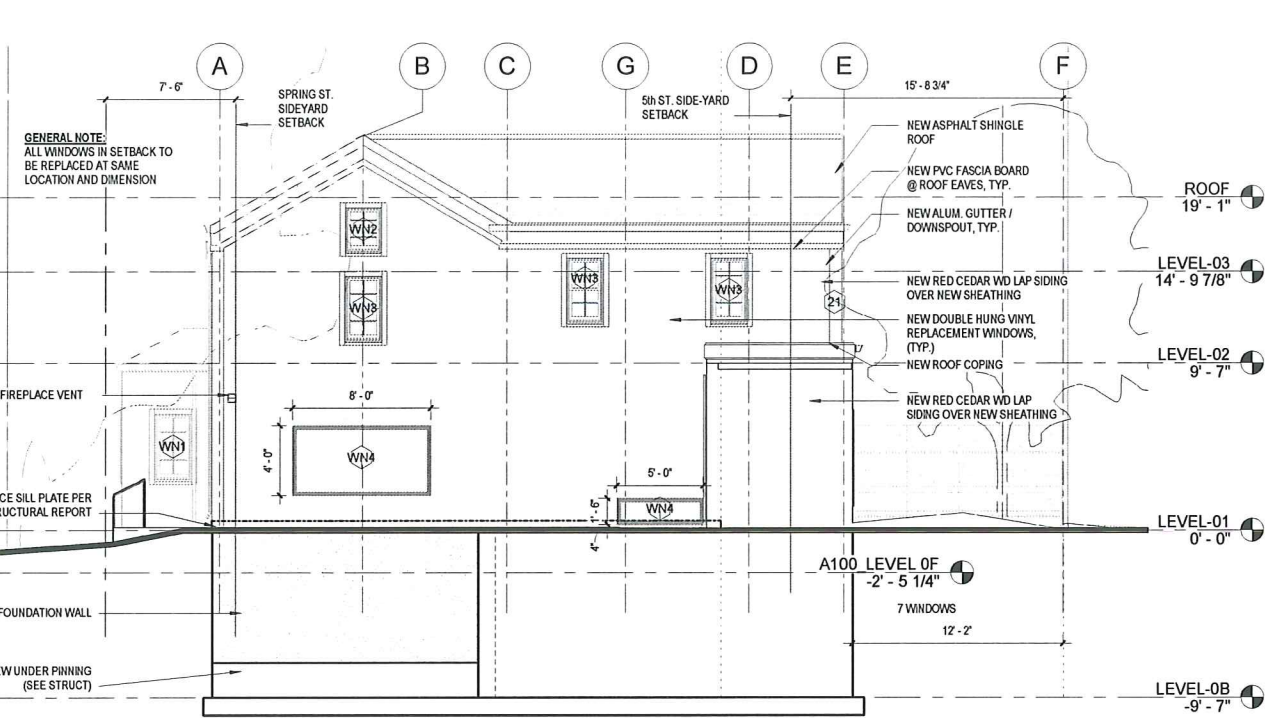
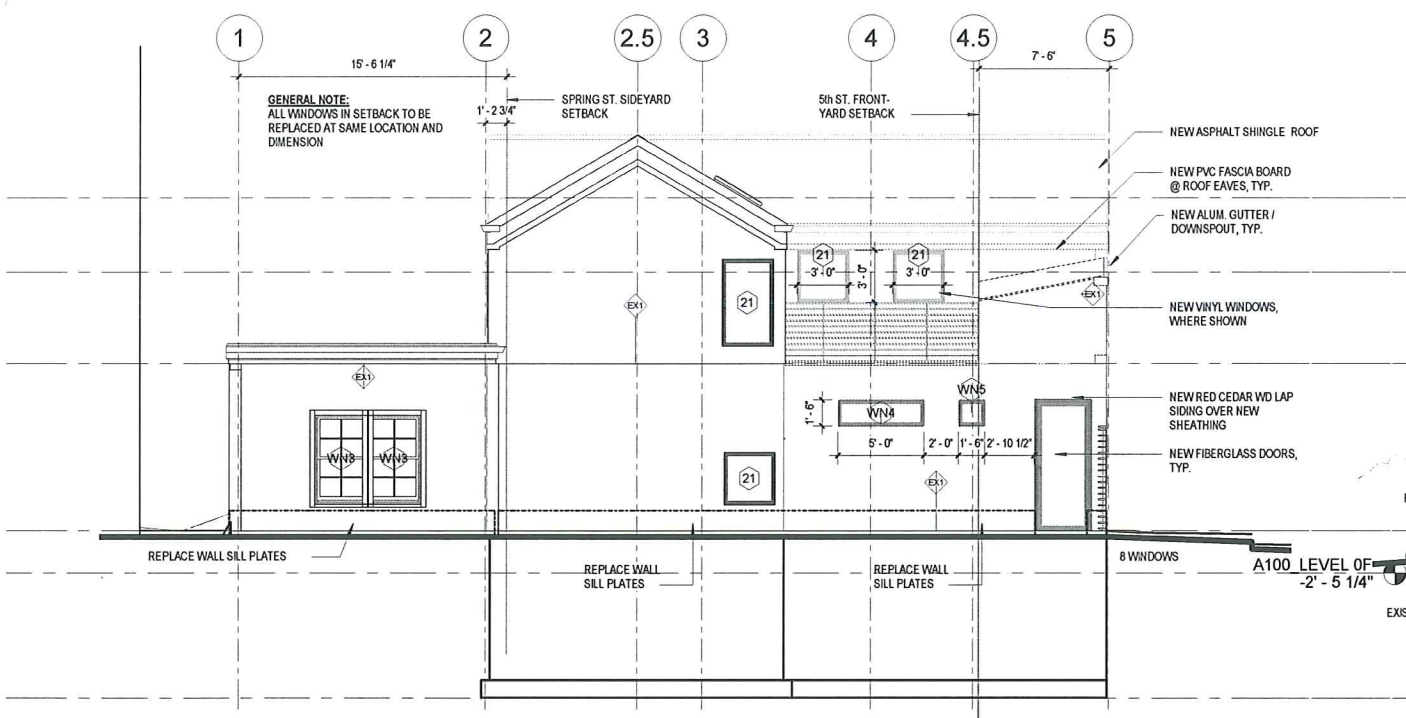
REVISIONS

No.	Description	Date

LEVEL 02 RCP

A-202

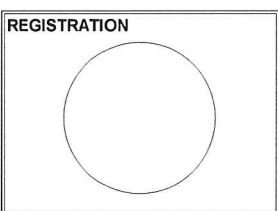
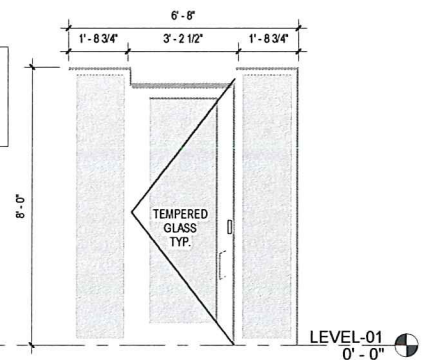
115 SPRING STREET



WINDOWSCHEDULE							
Mark	Level	Type Mark	Family	Type	Rough Height	Rough Width	
21	LEVEL-02	21	Instance-Window-Fixed		36" x 72"	4'-0"	2'-0"
55	LEVEL-02	21	Instance-Window-Fixed		36" x 72"	4'-0"	2'-0"
SL1			Window-skylight-VELUX_FS-deck_mounted-fixed	MM2	3'-0 1/2"	3'-0 1/2"	
WN1							
6	LEVEL-01	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
7	LEVEL-01	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
8	LEVEL-01	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
9	LEVEL-01	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
10	LEVEL-01	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
11	LEVEL-01	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
12	LEVEL-01	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
13	LEVEL-01	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
14	LEVEL-01	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
15	LEVEL-01	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
61	LEVEL-01	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
62	LEVEL-01	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
63	LEVEL-01	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
64	LEVEL-01	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
65	LEVEL-02	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
66	LEVEL-02	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
67	LEVEL-02	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"
68	LEVEL-03	WN1	Pella_DH_Architect_Series_1985		2646	3'-10"	2'-1 1/2"

WINDOWSCHEDULE							
Mark	Level	Type Mark	Family	Type	Rough Height	Rough Width	
WN2							
17	LEVEL-03	WN2	Pella_DH_Architect_Series_1985		2430	2'-6 3/4"	2'-0 3/4"
WN3							
21	LEVEL-02	WN3	Pella_DH_Architect_Series_1985		2638	3'-8 3/4"	2'-1 1/2"
22	LEVEL-02	WN3	Pella_DH_Architect_Series_1985		2638	3'-8 3/4"	2'-1 1/2"
23	LEVEL-02	WN3	Pella_DH_Architect_Series_1985		2638	3'-8 3/4"	2'-1 1/2"
24	LEVEL-02	WN3	Pella_DH_Architect_Series_1985		2638	3'-8 3/4"	2'-1 1/2"
25	LEVEL-02	WN3	Pella_DH_Architect_Series_1985		2638	3'-8 3/4"	2'-1 1/2"
26	LEVEL-02	WN3	Pella_DH_Architect_Series_1985		2638	3'-8 3/4"	2'-1 1/2"
WN4							
49	LEVEL-01	WN4	Instance-Window-Fixed		24" x 60"	2'-0"	6'-0"
69	LEVEL-02	WN4	Instance-Window-Fixed		24" x 60"	2'-0"	6'-0"
70	LEVEL-02	WN4	Instance-Window-Fixed		24" x 60"	2'-0"	6'-0"
WN5							
57	LEVEL-01	WN5	Instance-Window-Fixed		18" X 18"	4'-0"	2'-0"
WN10							
3	LEVEL-0B	WN10	Pella_DH_Architect_Series_1985		2046	3'-10"	1'-9 1/2"
4	LEVEL-0B	WN10	Pella_DH_Architect_Series_1985		2046	3'-10"	1'-9 1/2"
5	LEVEL-0B	WN10	Pella_DH_Architect_Series_1985		2046	3'-10"	1'-9 1/2"

B.O.D. KAWNEER 250/425T
* SEE ELEVATIONS FOR
LOCATIONS OF ALUMINUM
GLAZED WALL OPENINGS



SPECIAL PERMIT APPLICATION

Project number 1805
Date MARCH 29th, 2019
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Checked by Checker
Scale As indicated

REVISIONS

No.	Description	Date

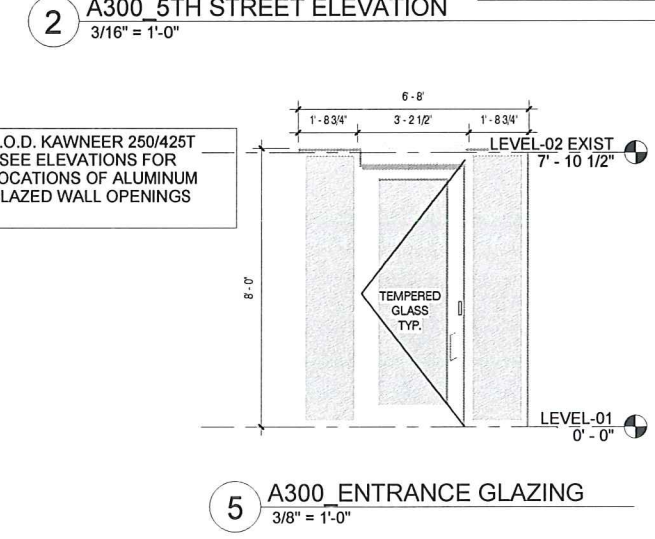
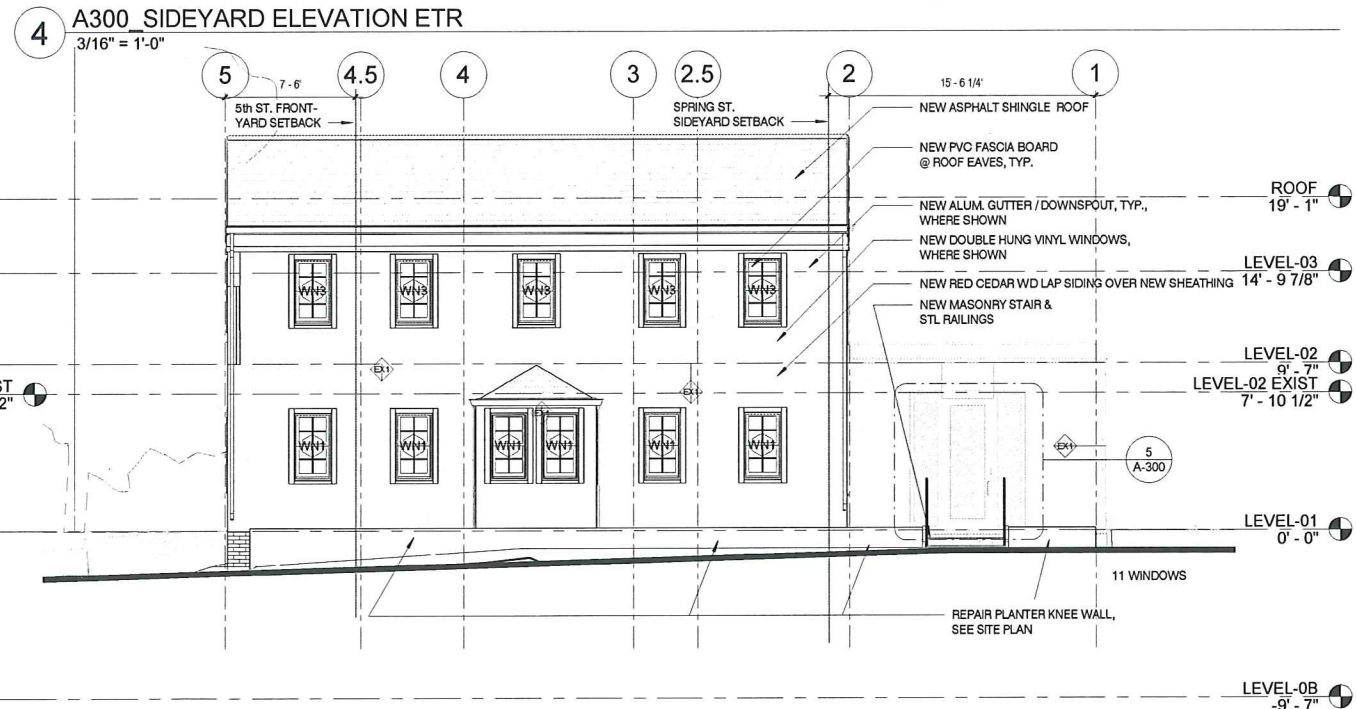
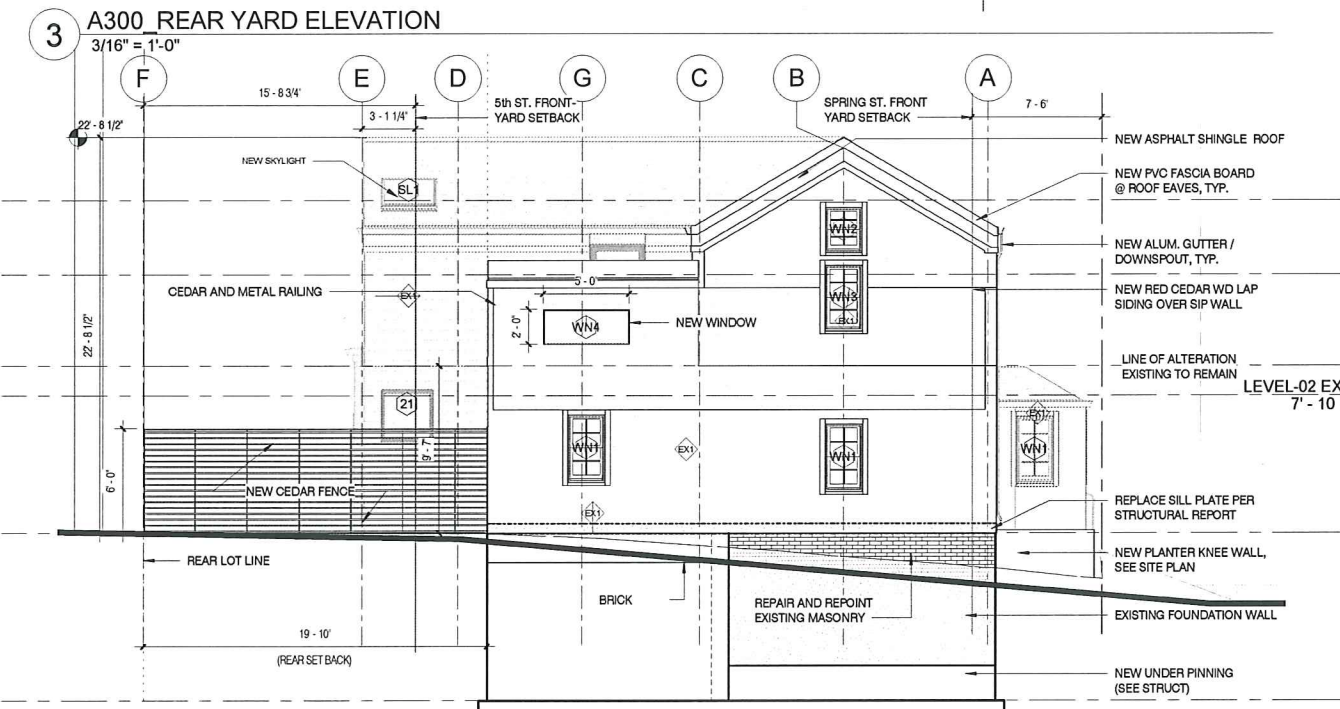
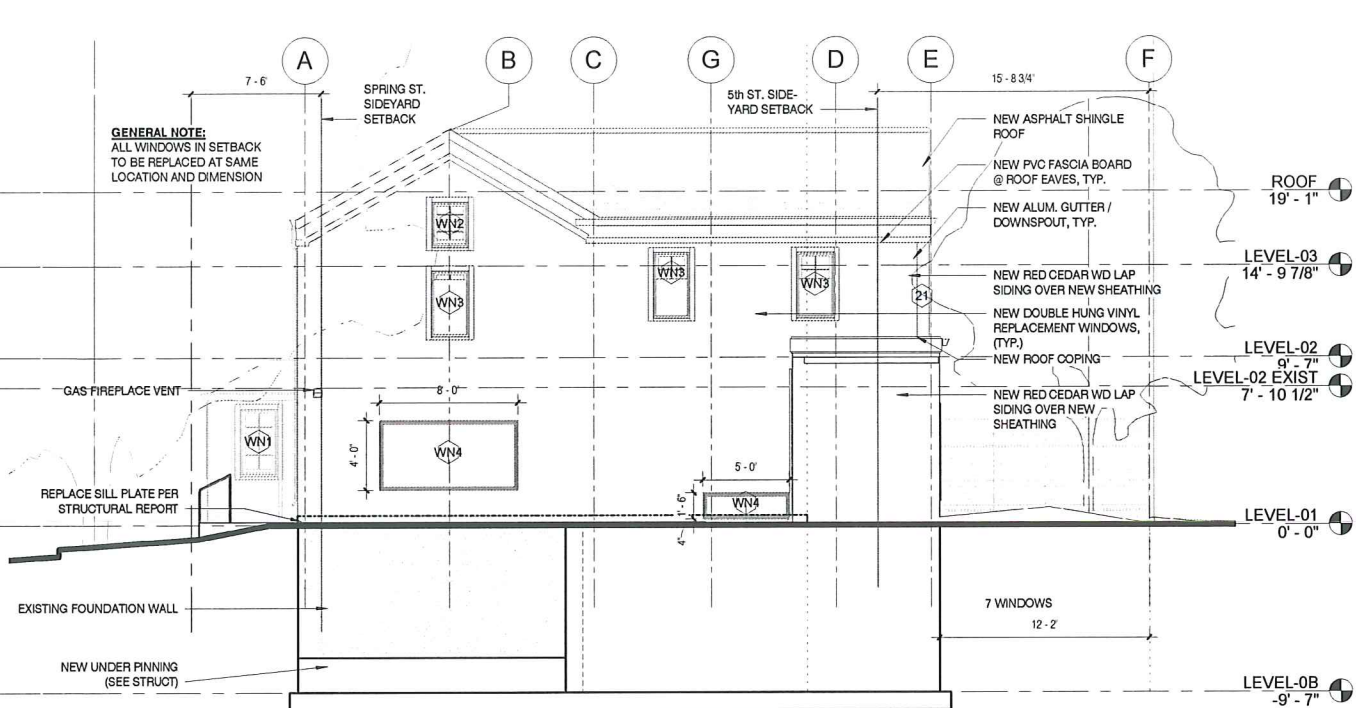
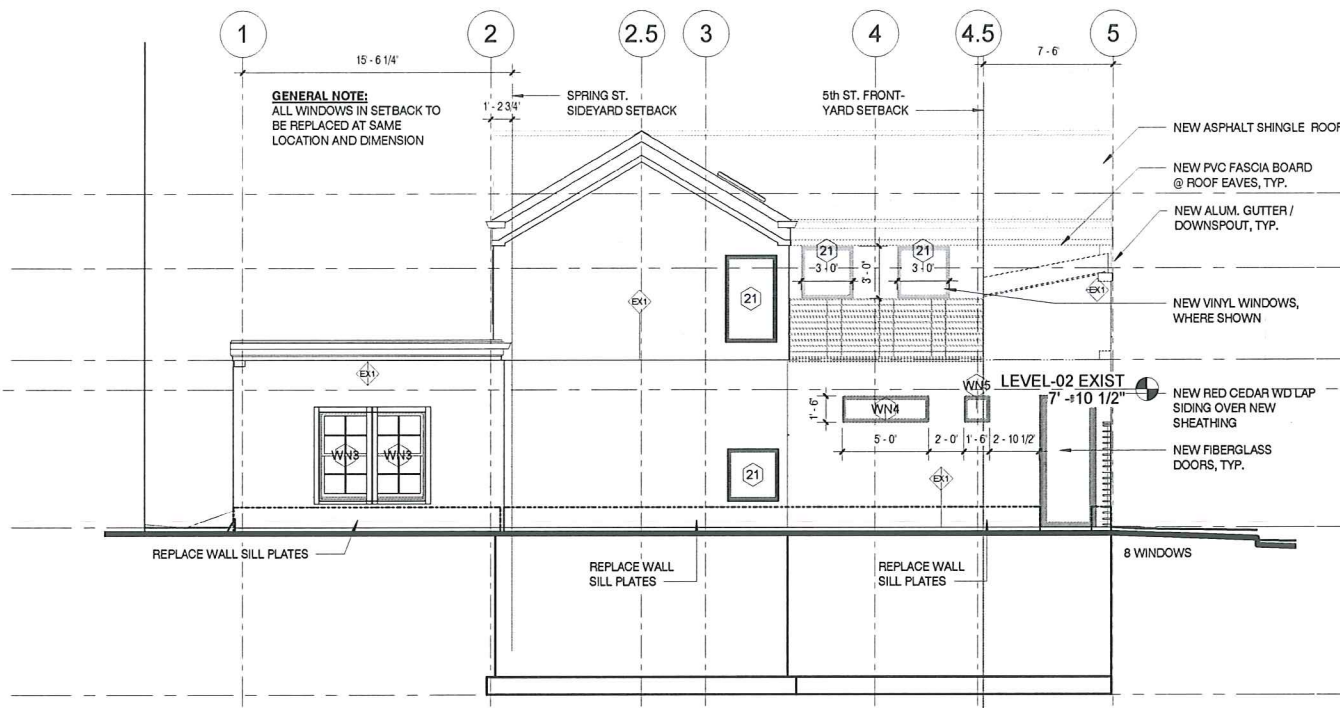
PROJECT NAME
115 SPRING RENOVATION
PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT
Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

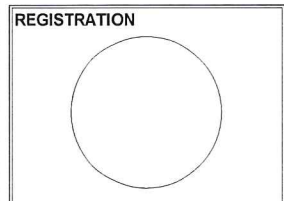
CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

STRUCTURAL ENGINEER
BERDI CONSULTING
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WINDOW SCHEDULE									
Mark	Level	Type Mark	Family	Type	Rough Height	Rough Width	Phase Created		
LEVEL-0B									
3	LEVEL-0B	WN10	Pella_DH Architect Series 1985	2046	3'-10"	1'-9 1/2"	B20 - Exterior Enclosure		
4	LEVEL-0B	WN10	Pella_DH Architect Series 1985	2046	3'-10"	1'-9 1/2"	B20 - Exterior Enclosure		
5	LEVEL-0B	WN10	Pella_DH Architect Series 1985	2046	3'-10"	1'-9 1/2"	B20 - Exterior Enclosure		
LEVEL-01									
45	LEVEL-01	21	Instance-Window-Fixed	36" x 72"	4'-0"	2'-0"	B20 - Exterior Enclosure		
56	LEVEL-01	21	Instance-Window-Fixed	36" x 72"	4'-0"	2'-0"	B20 - Exterior Enclosure		
36	LEVEL-01	SL1	Window-skylight-VELUX_FS-deck mounted-fixed	M02	3'-0 1/2"	3'-0 1/2"	B20 - Exterior Enclosure		
6	LEVEL-01	WN1	Pella_DH Architect Series 1985	2646	3'-10"	2'-1 1/2"	B20 - Exterior Enclosure		
7	LEVEL-01	WN1	Pella_DH Architect Series 1985	2646	3'-10"	2'-1 1/2"	B20 - Exterior Enclosure		
8	LEVEL-01	WN1	Pella_DH Architect Series 1985	2646	3'-10"	2'-1 1/2"	B20 - Exterior Enclosure		
9	LEVEL-01	WN1	Pella_DH Architect Series 1985	2646	3'-10"	2'-1 1/2"	B20 - Exterior Enclosure		
10	LEVEL-01	WN1	Pella_DH Architect Series 1985	2646	3'-10"	2'-1 1/2"	B20 - Exterior Enclosure		
11	LEVEL-01	WN1	Pella_DH Architect Series 1985	2646	3'-10"	2'-1 1/2"	B20 - Exterior Enclosure		
12	LEVEL-01	WN1	Pella_DH Architect Series 1985	2646	3'-10"	2'-1 1/2"	B20 - Exterior Enclosure		
13	LEVEL-01	WN1	Pella_DH Architect Series 1985	2646	3'-10"	2'-1 1/2"	B20 - Exterior Enclosure		
14	LEVEL-01	WN1	Pella_DH Architect Series 1985	2646	3'-10"	2'-1 1/2"	B20 - Exterior Enclosure		
15	LEVEL-01	WN1	Pella_DH Architect Series 1985	2646	3'-10"	2'-1 1/2"	B20 - Exterior Enclosure		
68	LEVEL-01	WN3	Pella_DH Architect Series 1985	3660	5'-0 3/4"	3'-0 3/4"	B20 - Exterior Enclosure		
19	LEVEL-01	WN3	Pella_DH Architect Series 1985	3660	5'-0 3/4"	3'-0 3/4"	B20 - Exterior Enclosure		
49	LEVEL-01	WN4	Instance-Window-Fixed	24" x 60"	2'-0"	5'-0"	B20 - Exterior Enclosure		
58	LEVEL-01	WN4	Instance-Window-Fixed	24" x 60"	2'-0"	5'-0"	B20 - Exterior Enclosure		

WINDOW SCHEDULE									
Mark	Level	Type Mark	Family	Type	Rough Height	Rough Width	Phase Created		
LEVEL-01									
71	LEVEL-01	WN4	Instance-Window-Fixed	24" x 60"	2'-0"	5'-0"	B20 - Exterior Enclosure		
57	LEVEL-01	WN5	Instance-Window-Fixed	18" x 18"	4'-0"	2'-0"	B20 - Exterior Enclosure		
LEVEL-02									
48	LEVEL-02	21	Instance-Window-Fixed	36" x 72"	4'-0"	2'-0"	B20 - Exterior Enclosure		
55	LEVEL-02	21	Instance-Window-Fixed	36" x 72"	4'-0"	2'-0"	B20 - Exterior Enclosure		
29	LEVEL-02	21	Instance-Window-Fixed	36" x 72"	4'-0"	2'-0"	B20 - Exterior Enclosure		
21	LEVEL-02	WN3	Pella_DH Architect Series 1985	2638	3'-8 3/4"	2'-1 1/2"	B20 - Exterior Enclosure		
22	LEVEL-02	WN3	Pella_DH Architect Series 1985	2638	3'-8 3/4"	2'-1 1/2"	B20 - Exterior Enclosure		
23	LEVEL-02	WN3	Pella_DH Architect Series 1985	2638	3'-8 3/4"	2'-1 1/2"	B20 - Exterior Enclosure		
24	LEVEL-02	WN3	Pella_DH Architect Series 1985	2638	3'-8 3/4"	2'-1 1/2"	B20 - Exterior Enclosure		
25	LEVEL-02	WN3	Pella_DH Architect Series 1985	2638	3'-8 3/4"	2'-1 1/2"	B20 - Exterior Enclosure		
26	LEVEL-02	WN3	Pella_DH Architect Series 1985	2638	3'-8 3/4"	2'-1 1/2"	B20 - Exterior Enclosure		
27	LEVEL-02	WN3	Pella_DH Architect Series 1985	2638	3'-8 3/4"	2'-1 1/2"	B20 - Exterior Enclosure		
28	LEVEL-02	WN3	Pella_DH Architect Series 1985	2638	3'-8 3/4"	2'-1 1/2"	B20 - Exterior Enclosure		
69	LEVEL-02	WN4	Instance-Window-Fixed	24" x 60"	2'-0"	5'-0"	B20 - Exterior Enclosure		
70	LEVEL-02	WN4	Instance-Window-Fixed	24" x 60"	2'-0"	5'-0"	B20 - Exterior Enclosure		
LEVEL-03									
17	LEVEL-03	WN2	Pella_DH Architect Series 1985	2430	2'-6 3/4"	2'-0 3/4"	B20 - Exterior Enclosure		
16	LEVEL-03	WN2	Pella_DH Architect Series 1985	2430	2'-6 3/4"	2'-0 3/4"	B20 - Exterior Enclosure		
54	LEVEL-03	WN3	Pella_DH Architect Series 1985	2638	3'-8 3/4"	2'-1 1/2"	B20 - Exterior Enclosure		



SPECIAL PERMIT APPLICATION

Project number 1805
Date MARCH 29th, 2019
Drawn by Author
Checked by Checker
Scale As indicated

REVISIONS		
No.	Description	Date

ELEVATIONS
A-300
115 SPRING STREET

PROJECT NAME
**24 GOULD ST.
 REDEVELOPMENT**

PROJECT ADDRESS:
 24 GOULD STREET READING,
 MA 01867

ARCHITECT
Olinger Architects

281 CONCORD AVE
 CAMBRIDGE, MA 02138
 TELEPHONE: 917-582-5333
 EMAIL: INFO@OLINGER.IO

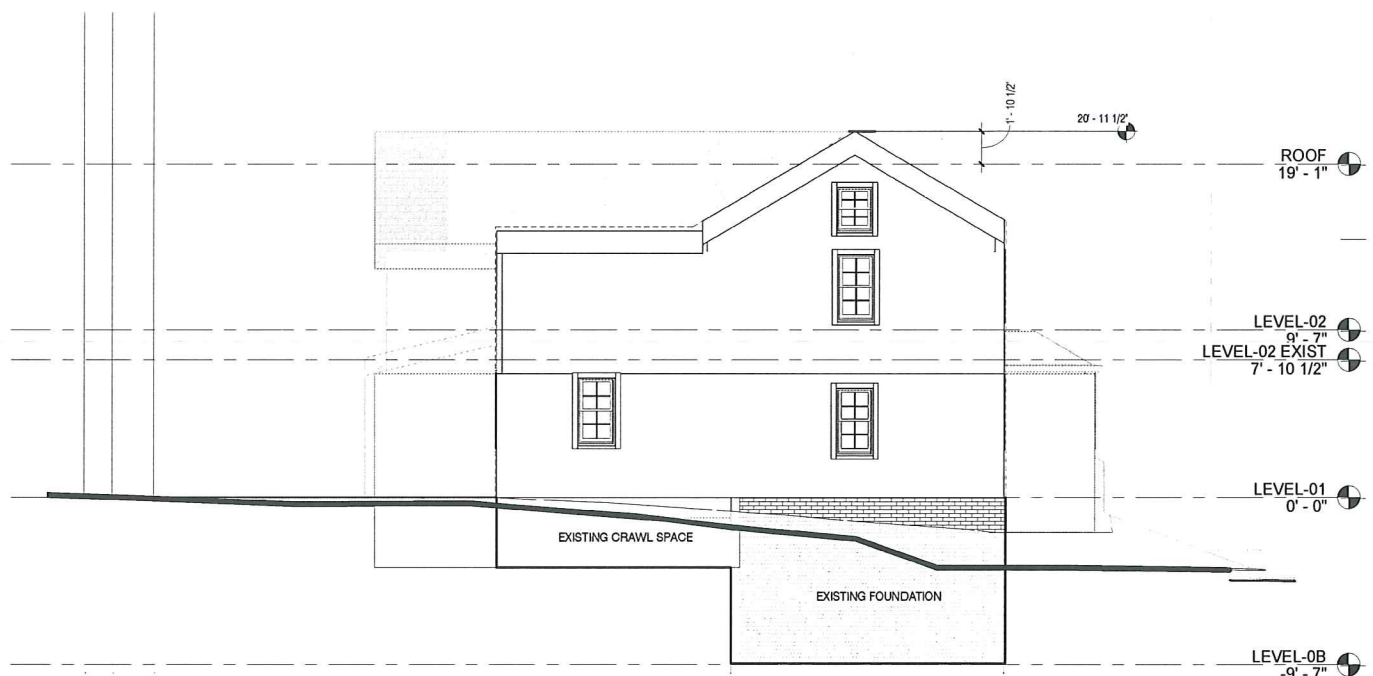
CONSULTANTS
CIVIL ENGINEER
 SHERWOOD CONSULTING
 & DESIGN, LLC
 26 Smith Place, Suite 2
 Cambridge, MA 02138
 direct: (617) 682-890

LANDSCAPE ARCHITECT
 VERDANT LANDSCAPE
 ARCHITECTURE
 318 Harvard St. Suite 25,
 Brookline, MA 02446
 (617) 735-1180

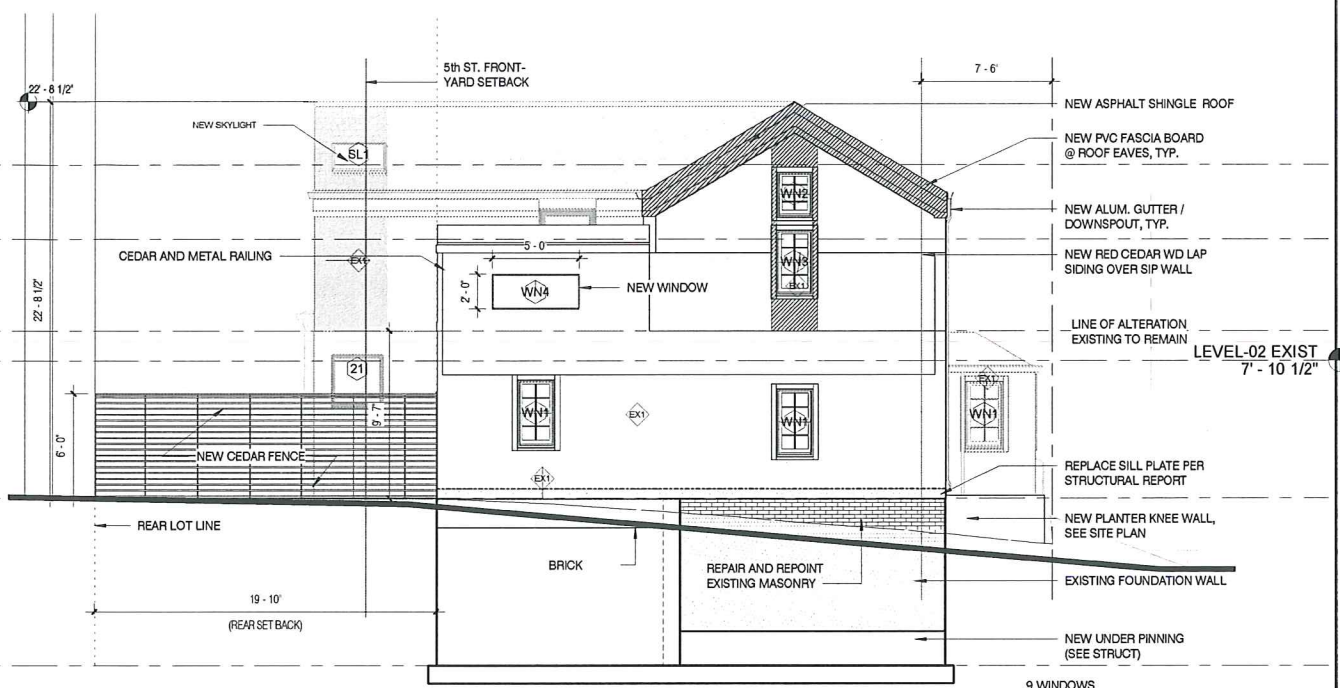
STRUCTURAL ENGINEER
 DM BERG ASSOCIATES
 100 Crescent Rd #1A,
 Needham, MA 02494
 (781) 444-5156

**MECHANICAL/ELECTRICAL
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 ZADE ASSOCIATES
 140 Beach St.
 Boston, MA 02111
 (617) 338-4406

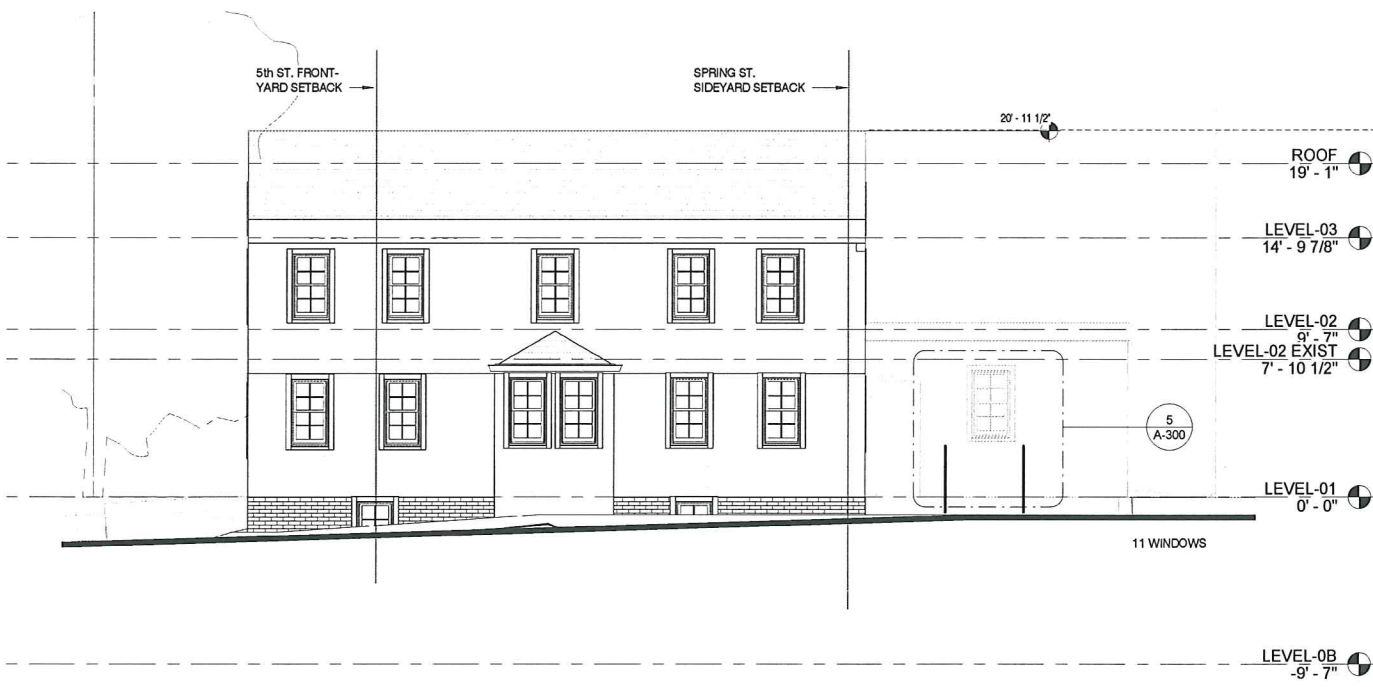
CODE CONSULTANT
 HASTINGS CONSULTANTS
 142 Hanlon Road
 Holliston, MA 01746
 (508) 397-8417



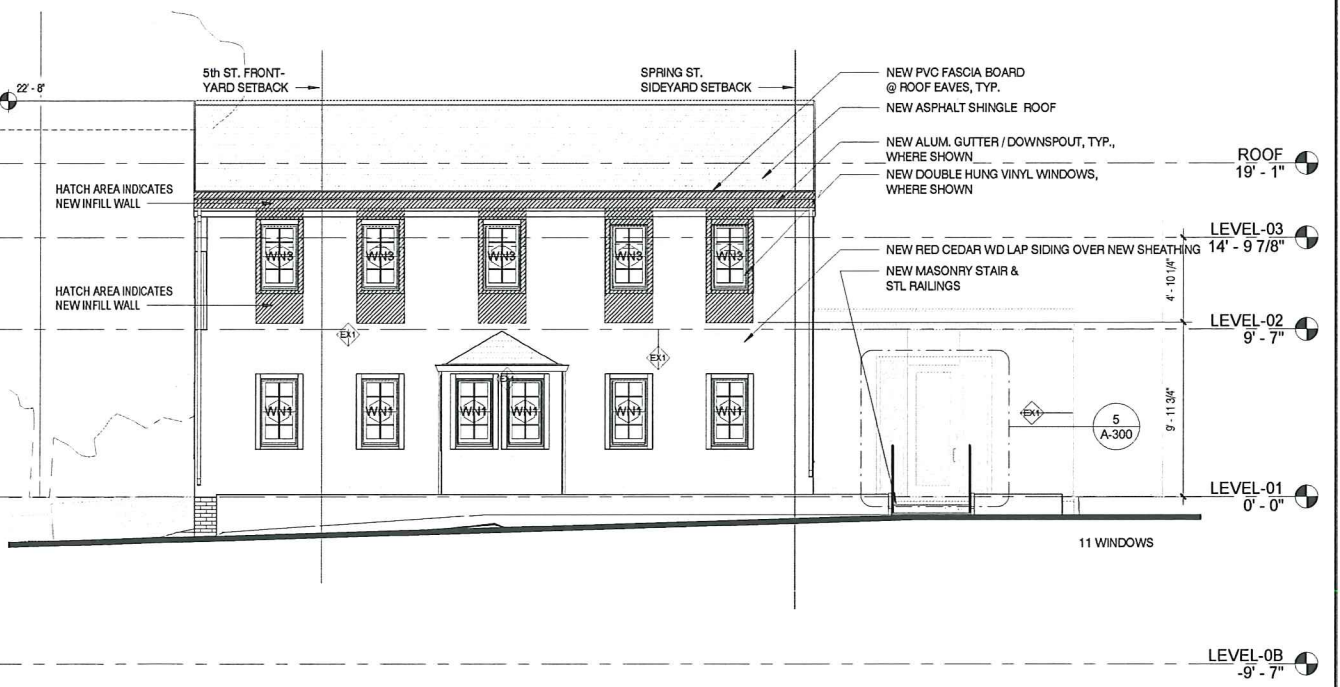
3 A301_EXISTING 5TH STREET ELEVATION
 3/16" = 1'-0"



1 A301_5TH STREET ELEVATION MODIFICATIONS
 3/16" = 1'-0"



4 A301_SPRING STREET ELEVATION MODIFICATIONS Copy 1
 3/16" = 1'-0"



2 A301_SPRING STREET ELEVATION MODIFICATIONS
 3/16" = 1'-0"

REGISTRATION

100% GMP PRICING SET

Project number 1805
 Date MARCH 29th, 2019
 Drawn by Author
 Checked by Checker
 Scale 3/16" = 1'-0"

REVISIONS

No.	Description	Date

ELEVATION
 COMPARISON

A-301
 115 SPRING STREET

PROJECT NAME
115 SPRING RENOVIATION
PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

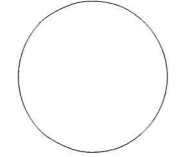
ARCHITECT
Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

STRUCTURAL ENGINEER
BERDI CONSULTING
25 Wayland Hills road
Wayland, MA 01778
(T)

REGISTRATION



SPECIAL PERMIT APPLICATION

Project number 1805
Date MARCH 29th, 2019
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Checked by Checker
Scale 1/2" = 1'-0"

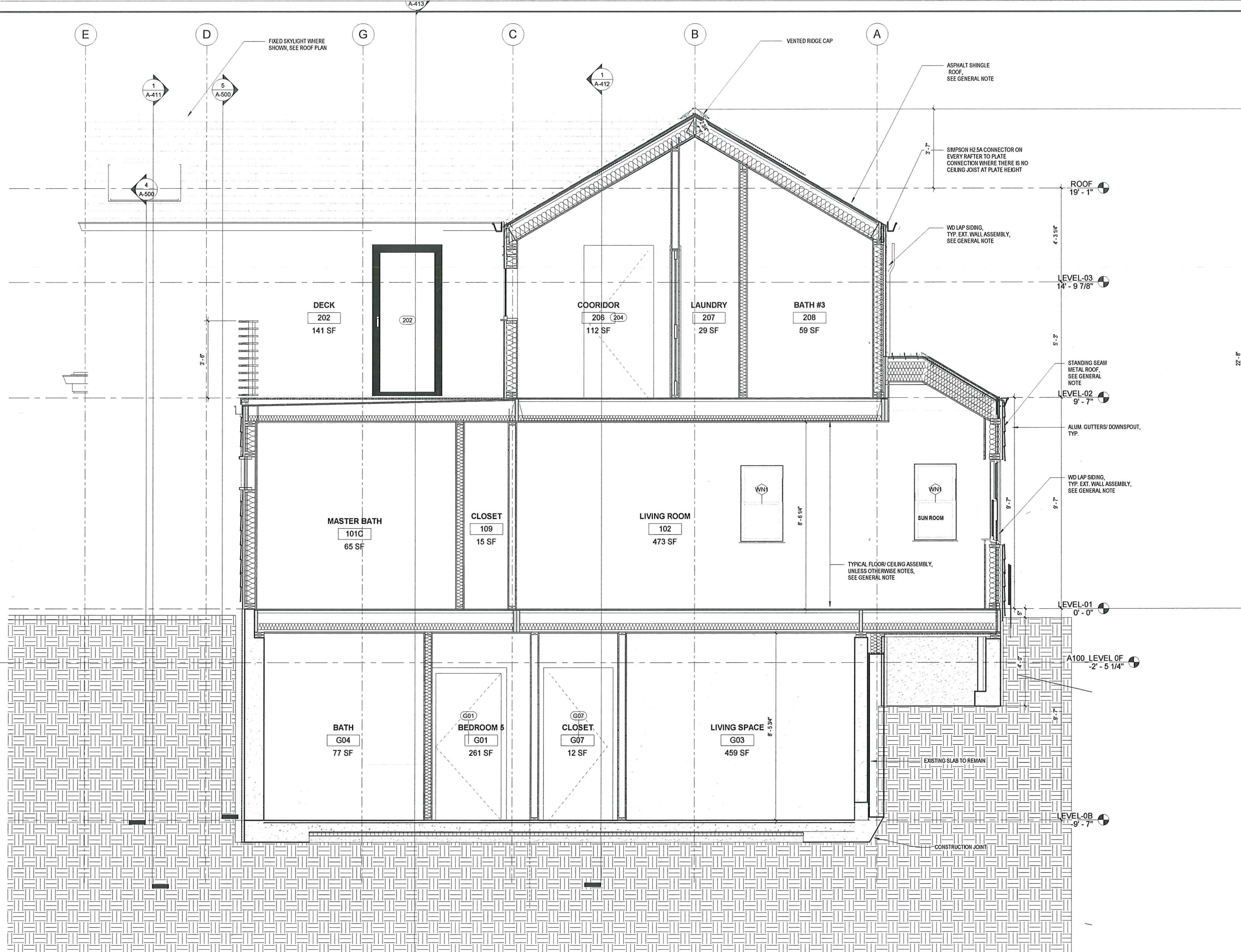
REVISIONS

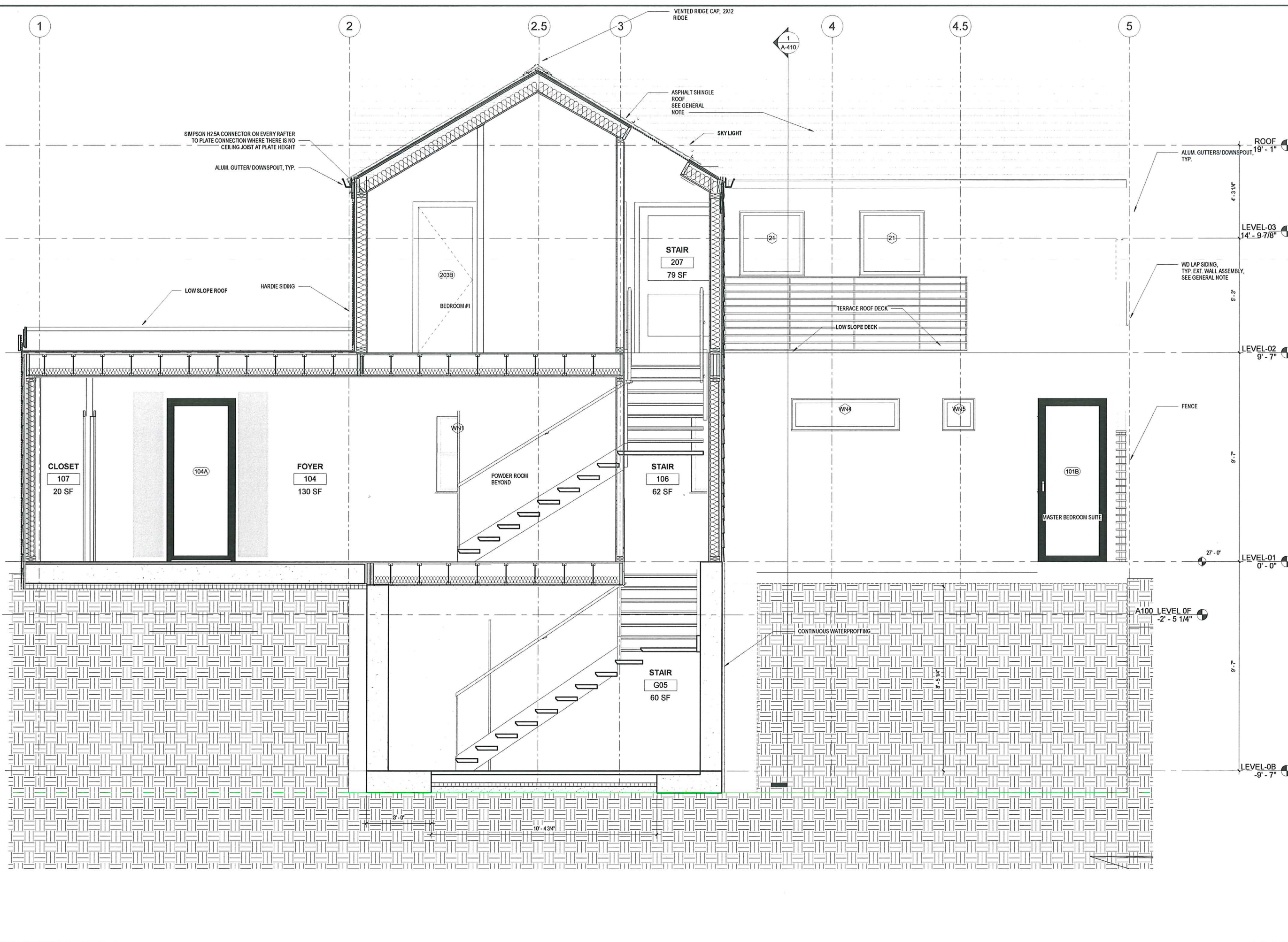
No.	Description	Date

BUILDING SECTIONS

A-410

115 SPRING STREET





CWD
DEVELOPMENT

PROJECT NAME
115 SPRING RENOVATION

PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT
Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

STRUCTURAL ENGINEER
BERDI CONSULTING
25 Wayland Hills road
Wayland, MA 01778
(T)

REGISTRATION

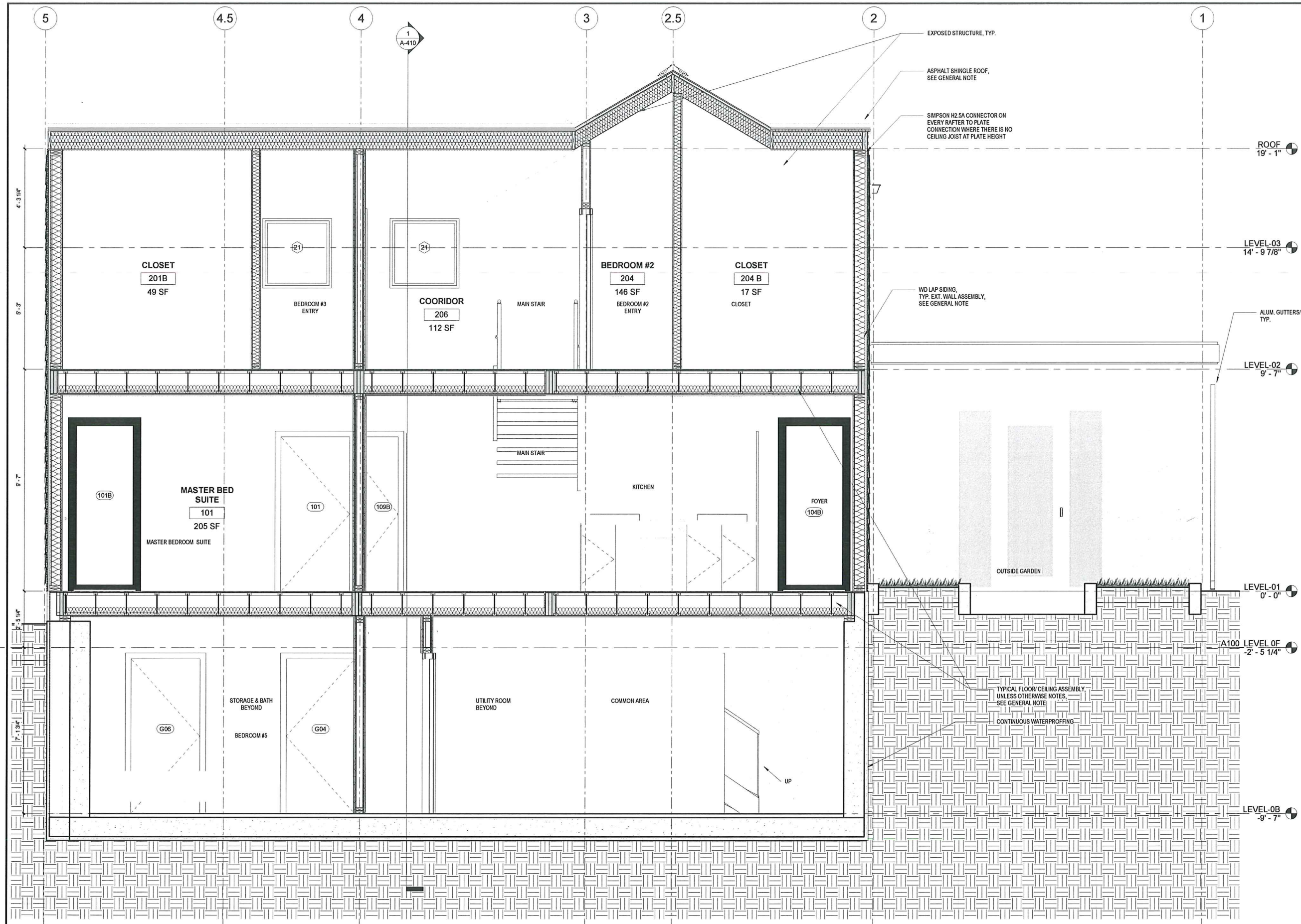
SPECIAL PERMIT APPLICATION

Project number 1805
Date MARCH 29th, 2019
Drawn by Author
Checked by Checker
Scale 1/2" = 1'-0"

REVISIONS	No.	Description	Date

BUILDING SECTIONS

A-411
115 SPRING STREET



CWD
DEVELOPMENT

PROJECT NAME
115 SPRING RENOVATION

PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

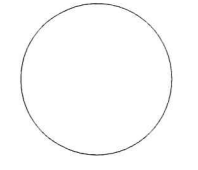
ARCHITECT
Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

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25 Wayland Hills road
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(T)

REGISTRATION



SPECIAL PERMIT APPLICATION

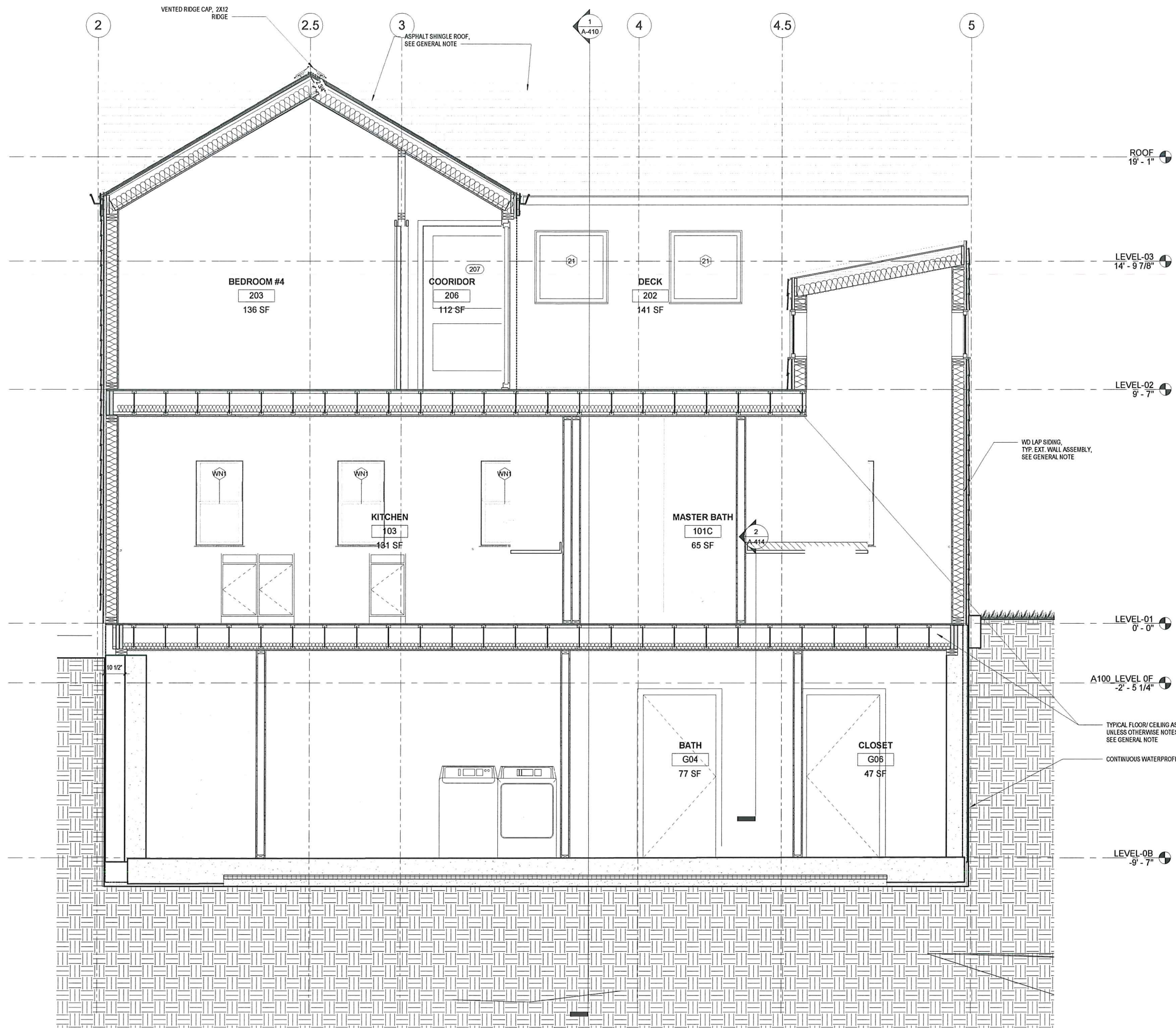
Project number 1805
Date MARCH 29th, 2019
Drawn by Author
Checked by Checker
Scale 1/2" = 1'-0"

REVISIONS

No.	Description	Date

BUILDING SECTIONS

A-412
115 SPRING STREET



CWD
DEVELOPMENT

PROJECT NAME
115 SPRING RENOVATION
PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

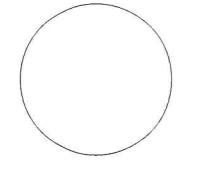
ARCHITECT
Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

STRUCTURAL ENGINEER
BERDI CONSULTING
25 Wayland Hills road
Wayland, MA 01778
(T)

REGISTRATION



SPECIAL PERMIT APPLICATION

Project number 1805
Date MARCH 29th, 2019
Drawn by Author
Checked by Checker
Scale 1/2" = 1'-0"

REVISIONS

No.	Description	Date

BUILDING SECTIONS

A-413
115 SPRING STREET

CWD

DEVELOPMENT

PROJECT NAME

115 SPRING RENOVIATION

PROJECT ADDRESS:

115 SPRING STREET
CAMBRIDGE, MA 02141

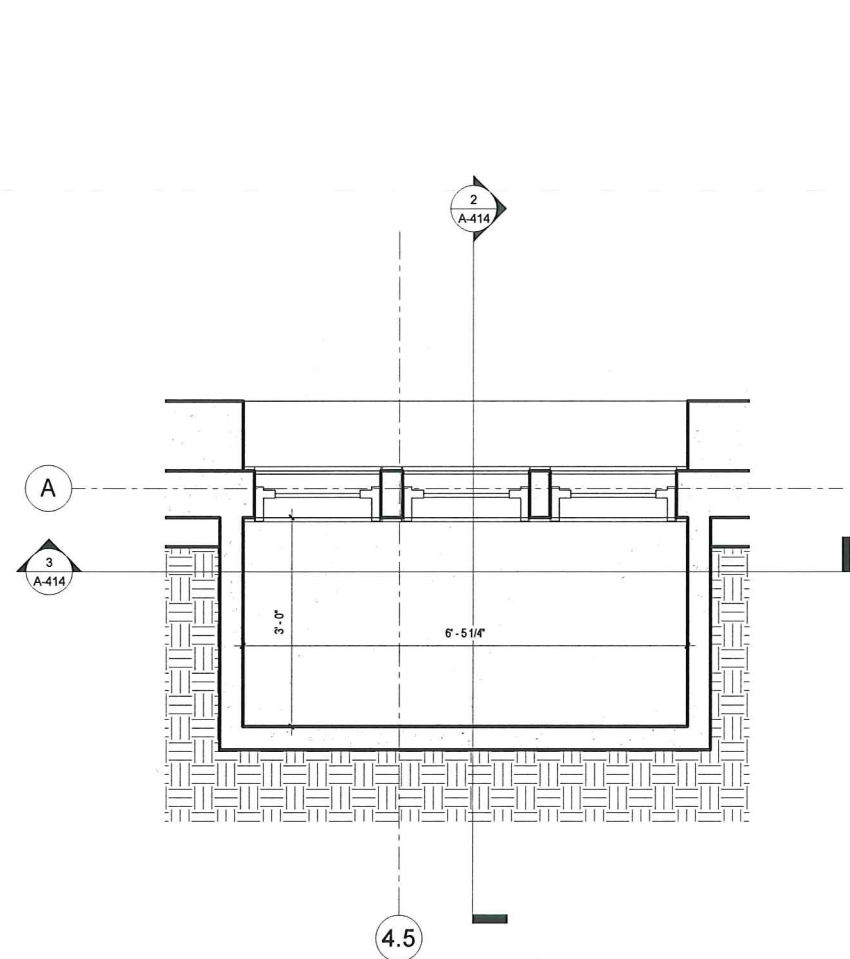
ARCHITECT

Olinger Architects

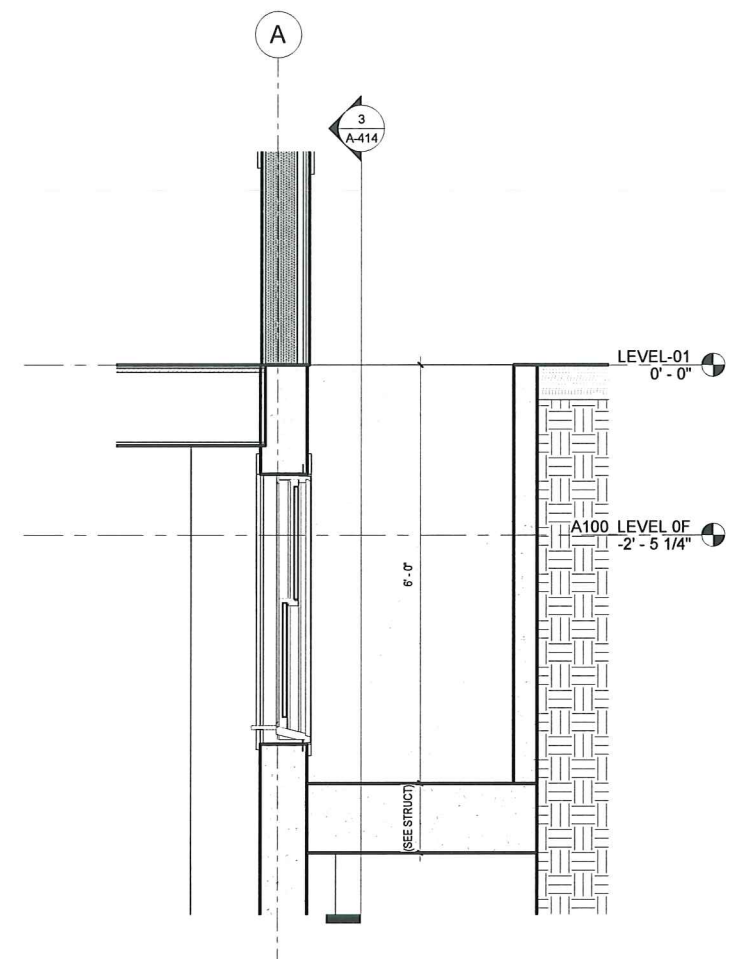
281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
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142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

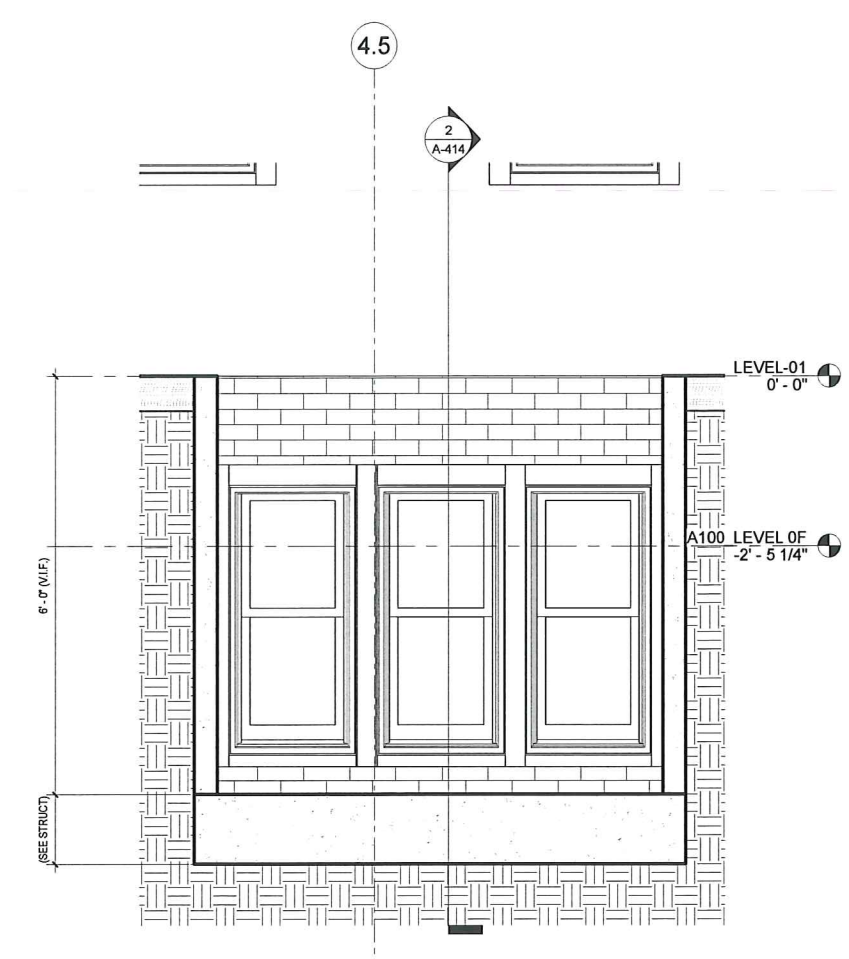
STRUCTURAL ENGINEER
BERDI CONSULTING
25 Wayland Hills road
Wayland, MA 01778
(T)



1 A413_WINDOW WELL
3/4" = 1'-0"

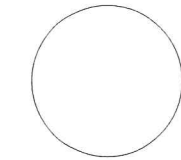


2 A413_WINDOW WELL SECTION 1
3/4" = 1'-0"



3 A413_WINDOW WELL SECTION 2
3/4" = 1'-0"

REGISTRATION



SPECIAL PERMIT APPLICATION

Project number	1805
Date	MARCH 29th, 2019
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Checked by	Checker
Scale	3/4" = 1'-0"

REVISIONS

No.	Description	Date

WINDOW WELL

A-414

115 SPRING STREET

PROJECT NAME
**24 GOULD ST.
 REDEVELOPMENT**

PROJECT ADDRESS:
 24 GOULD STREET READING,
 MA 01867

ARCHITECT
Olinger Architects

281 CONCORD AVE
 CAMBRIDGE, MA 02138
 TELEPHONE: 917-582-5333
 EMAIL: INFO@OLINGER.IO

CONSULTANTS

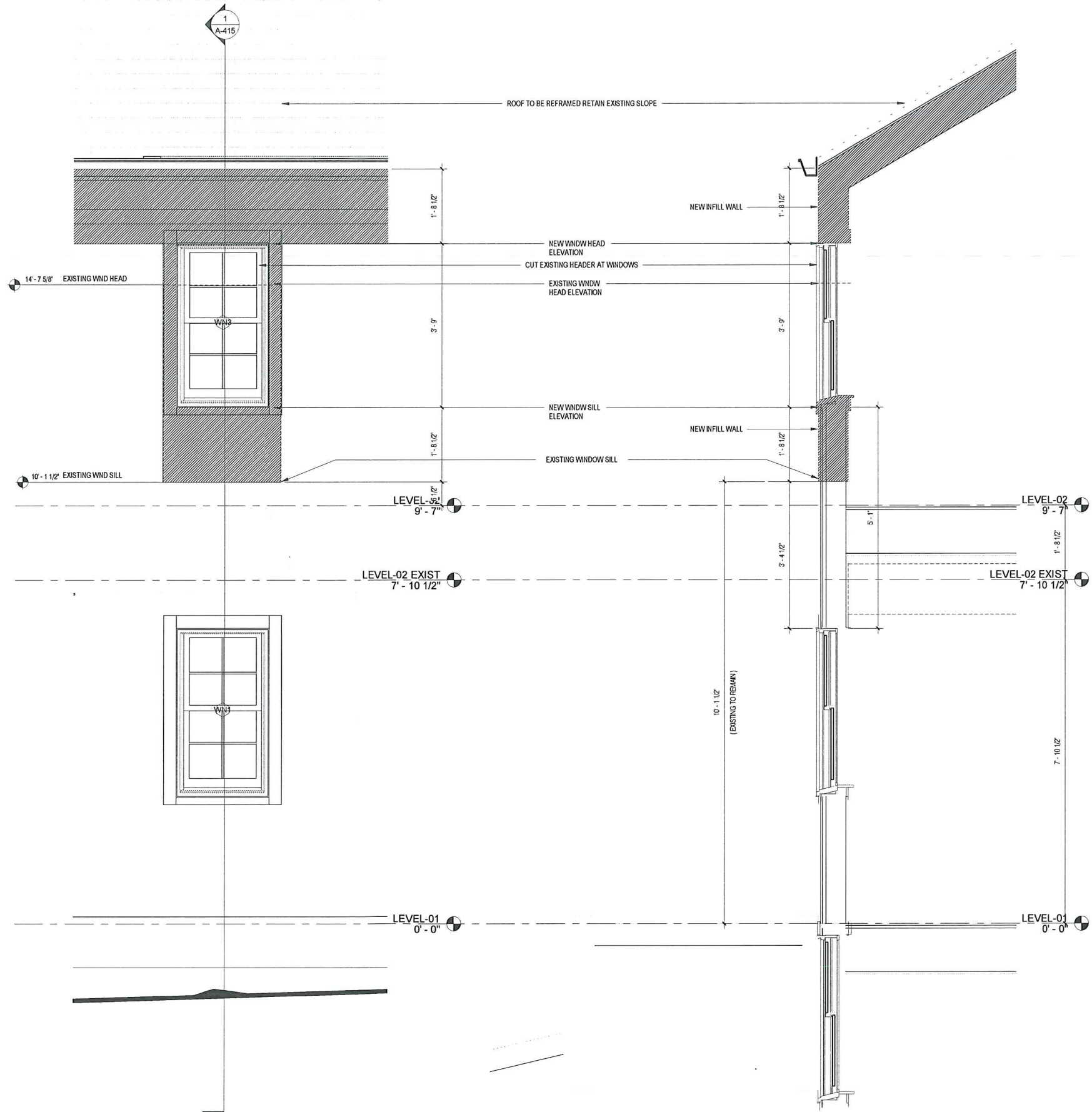
CIVIL ENGINEER
 SHERWOOD CONSULTING
 & DESIGN, LLC
 26 Smith Place, Suite 2
 Cambridge, MA 02138
 direct: (617) 682-890

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 VERDANT LANDSCAPE
 ARCHITECTURE
 318 Harvard St. Suite 25,
 Brookline, MA 02446
 (617) 735-1180

STRUCTURAL ENGINEER
 DM BERG ASSOCIATES
 100 Crescent Rd #1A,
 Needham, MA 02494
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 140 Beach St,
 Boston, MA 02111
 (617) 338-4406

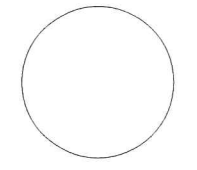
CODE CONSULTANT
 HASTINGS CONSULTANTS
 142 Hanlon Road
 Holliston, MA 01746
 (508) 397-8417



3 A415_ELEVATION DETAIL
 3/4" = 1'-0"

1 A415_WALL SECTION DETAIL
 3/4" = 1'-0"

REGISTRATION



100% GMP PRICING SET

Project number	1805
Date	MARCH 29th, 2019
Drawn by	Author
Checked by	Checker
Scale	3/4" = 1'-0"

REVISIONS

No.	Description	Date

BUILDING SECTIONS

A-415
 115 SPRING STREET

PROJECT NAME

**115 SPRING
RENOVATION**

PROJECT ADDRESS:

115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT

Olinger Architects

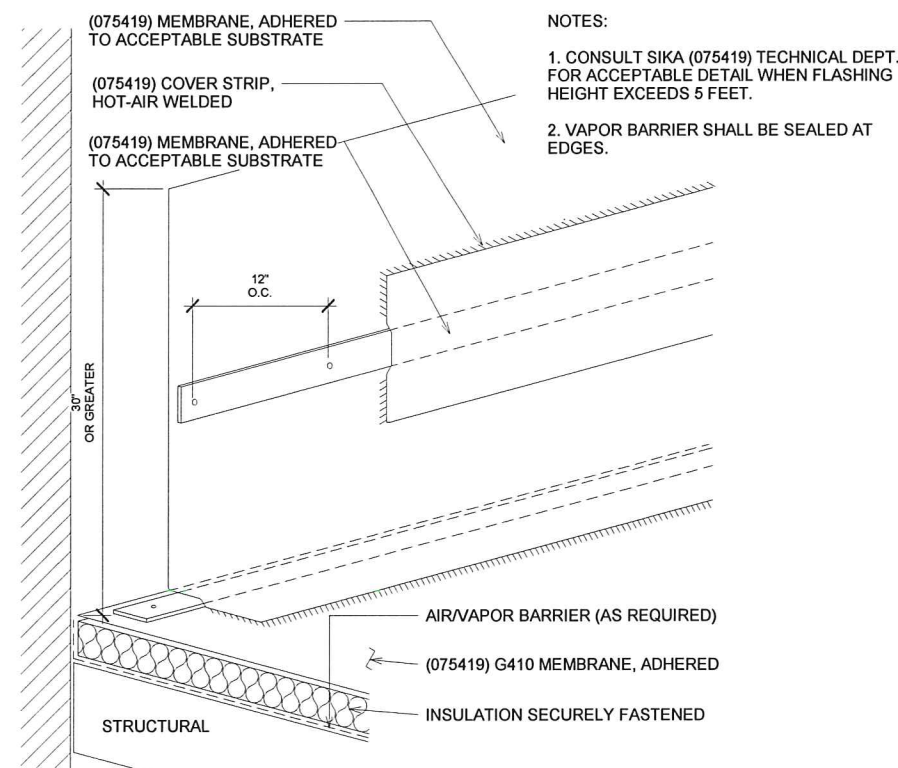
281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT

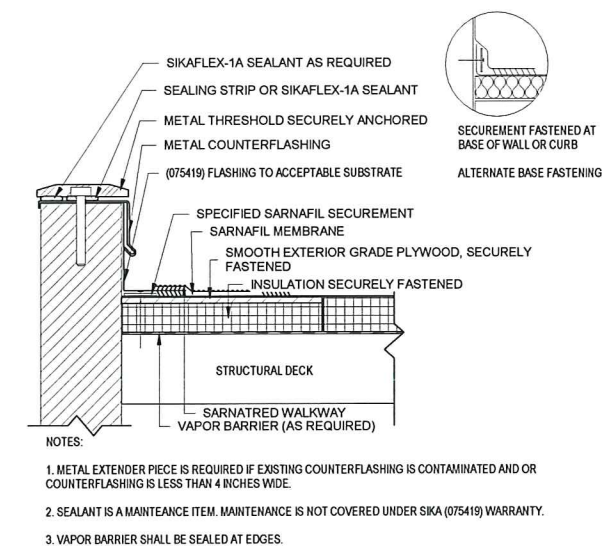
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

STRUCTURAL ENGINEER

BERDI CONSULTING
25 Wayland Hills road
Wayland, MA 01778
(T)

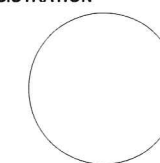


2 SIKA_20. Adhered Flashing
3" = 1'-0"



1 SIKA_18. Threshold
3" = 1'-0"

REGISTRATION



SPECIAL PERMIT APPLICATION

Project number 1805
Date MARCH 29th, 2019
Drawn by Author
Checked by Checker
Scale 3" = 1'-0"

REVISIONS

No.	Description	Date

EXTERIOR DETAILS

A-420

115 SPRING STREET

CWD

DEVELOPMENT

PROJECT NAME

115 SPRING RENOVIATION

PROJECT ADDRESS:

115 SPRING STREET
CAMBRIDGE, MA 02141

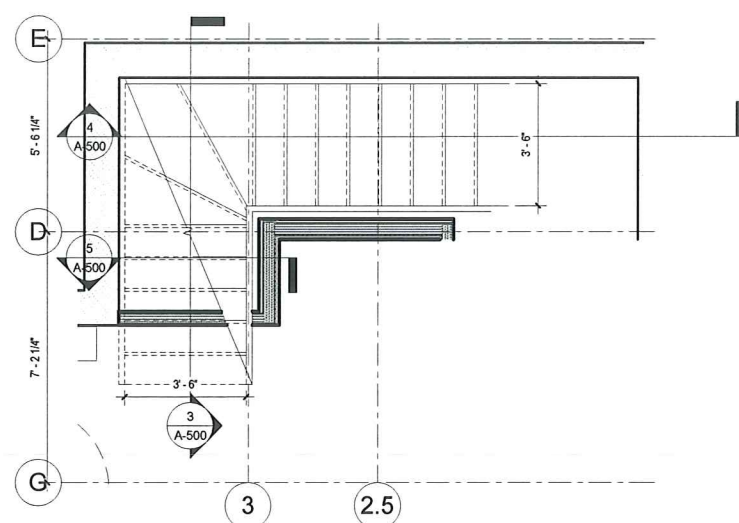
ARCHITECT

Olinger Architects

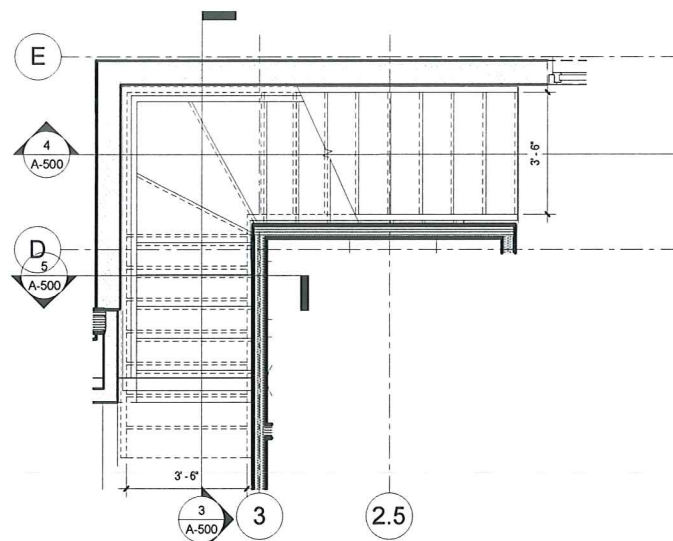
281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE 917-582-5333
EMAIL: INFO@OLINGER.IO

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HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

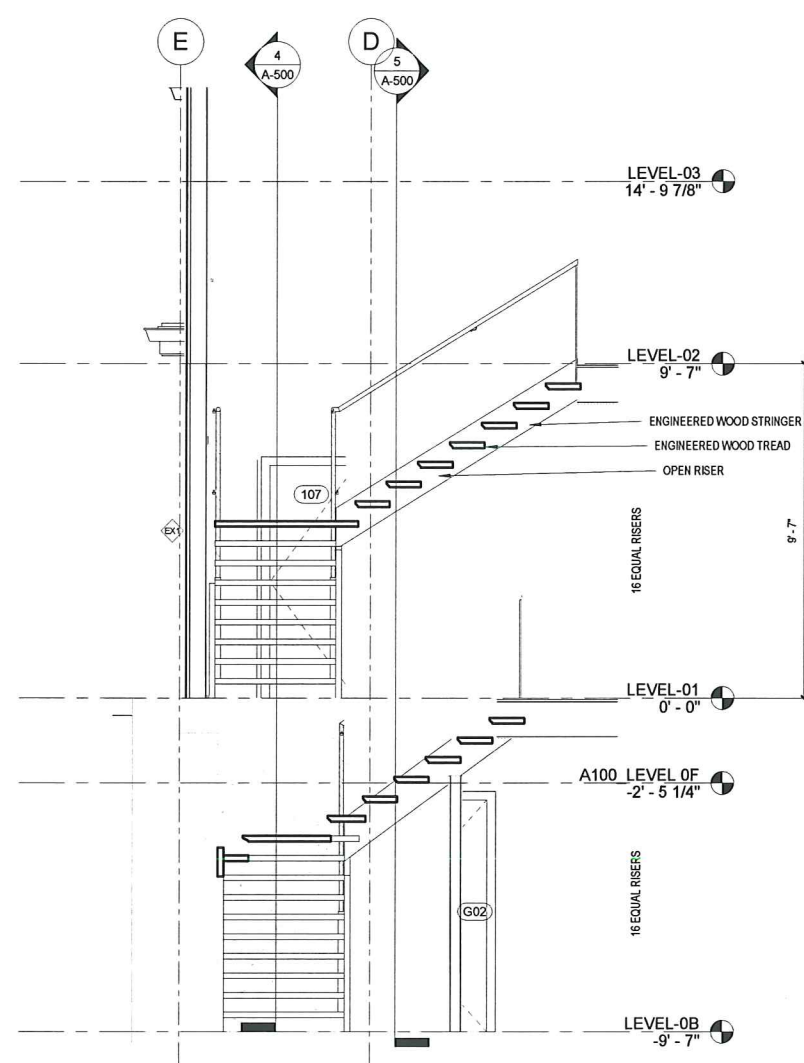
STRUCTURAL ENGINEER
BERDI CONSULTING
25 Wayland Hills road
Wayland, MA 01778
(T)



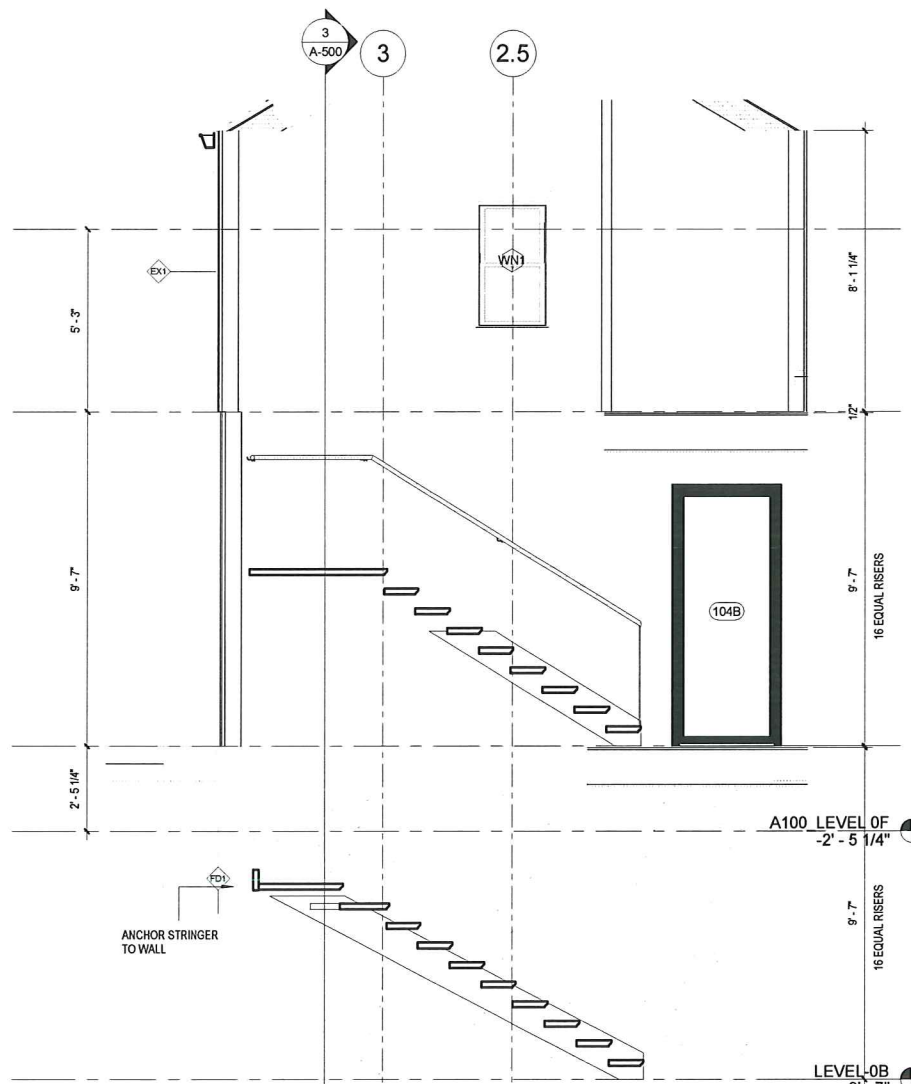
1 A500_STAIR 01 - LEVEL 0B
3/8" = 1'-0"



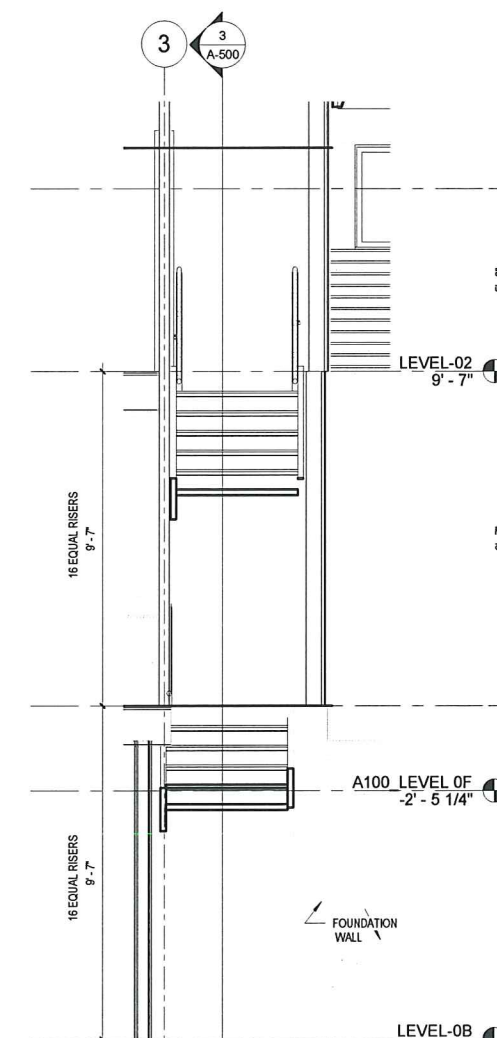
2 A500_STAIR 01-LEVEL 01 & 02
3/8" = 1'-0"



3 A500_STAIR SECTION A
3/8" = 1'-0"

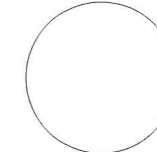


4 A500_STAIR SECTION B
3/8" = 1'-0"



5 A500_STAIR SECTION B1
3/8" = 1'-0"

REGISTRATION



SPECIAL PERMIT APPLICATION

Project number 1805
Date MARCH 29th, 2019
Drawn by Author
Checked by Checker
Scale 3/8" = 1'-0"

REVISIONS

No.	Description	Date

STAIR PLAN & SECTIONS

A-500

115 SPRING STREET

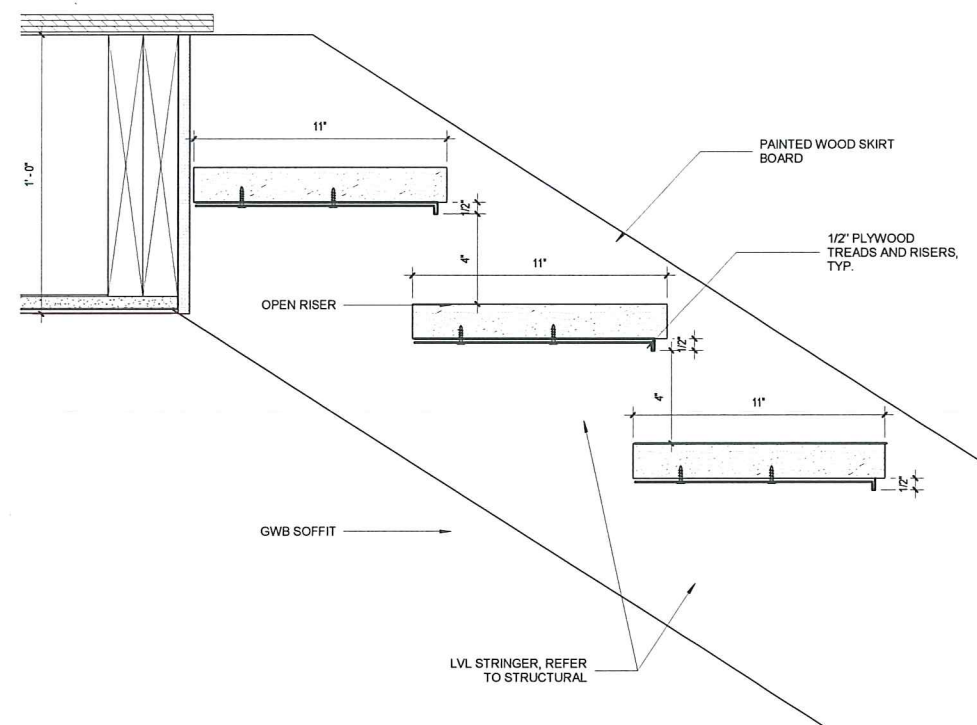
PROJECT NAME
115 SPRING RENOVIATION
PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT
Olinger Architects

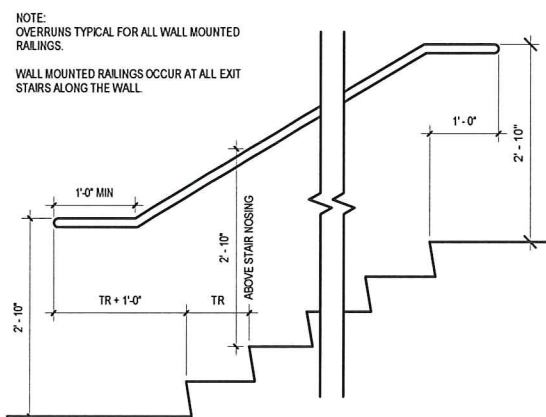
281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

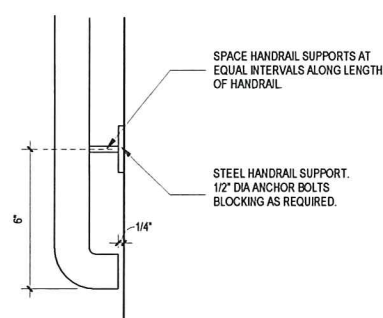
STRUCTURAL ENGINEER
BERDI CONSULTING
25 Wayland Hills road
Wayland, MA 01778
(T)



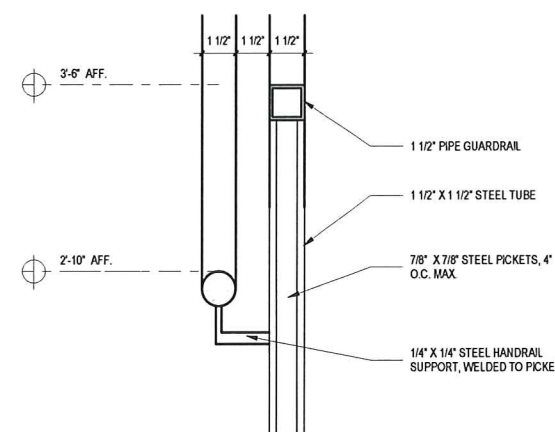
1 A500 ENLARGED WOOD STAIR DETAIL
3" = 1'-0"



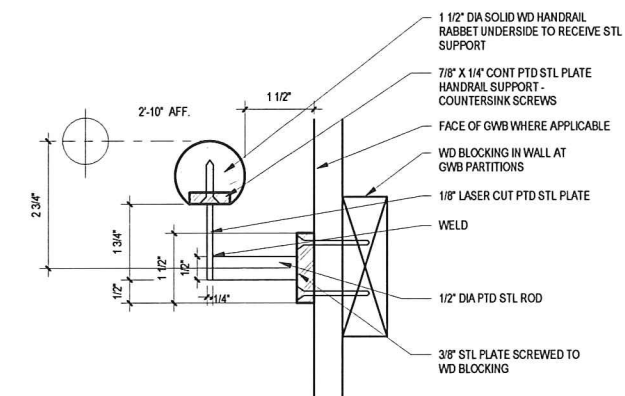
5 TYP ELEVATION AT WALL MOUNTED RAILINGS
3/4" = 1'-0"



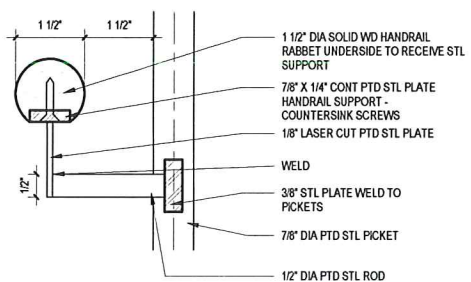
6 PLAN AT WALL MOUNTED HANDRAIL
3" = 1'-0"



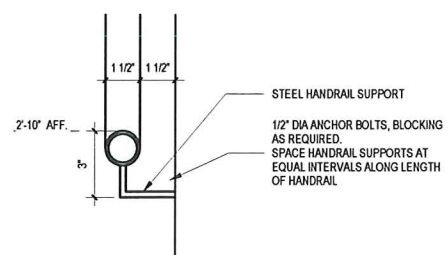
4 SECTION AT STAIR GUARDRAIL AND HANDRAIL
3" = 1'-0"



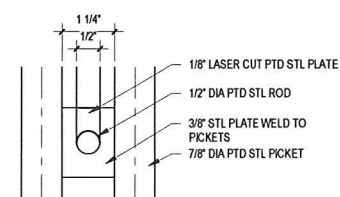
2 SECT. DTL: WALL MOUNTED HANDRAIL SUPPORT
6" = 1'-0"



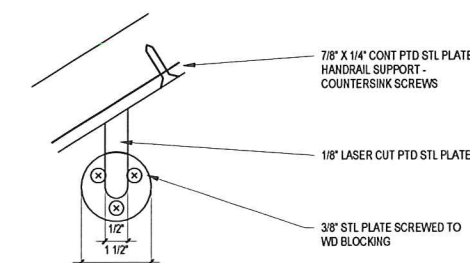
8 SEC. DTL: HANDRAIL SUPPORT @ GUARDRAIL
6" = 1'-0"



9 SECTION AT WALL MOUNTED HANDRAIL
3" = 1'-0"

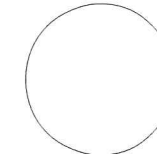


11 ELEV. DTL: HANDRAIL SUPPORT @ GUARDRAIL
6" = 1'-0"



3 ELEV: WALL MOUNTED HANDRAIL SUPPORT
6" = 1'-0"

REGISTRATION



SPECIAL PERMIT APPLICATION

Project number	1805
Date	MARCH 29th, 2019
Drawn by	Author
Checked by	Checker
Scale	As indicated

REVISIONS

No.	Description	Date

STAIR SECTIONS

A-501

115 SPRING STREET

JAMB TYPE

J1: WOOD DOUBLE RABBIT (WD WALL PANELS ONE SIDE)

J2: ALUMINUM DOOR JAMB

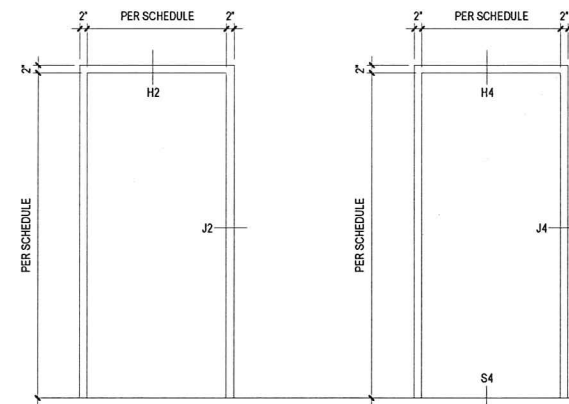
HARDWARE SCHEDULE

HW1: UNIT ENTRANCE/EXTERIOR

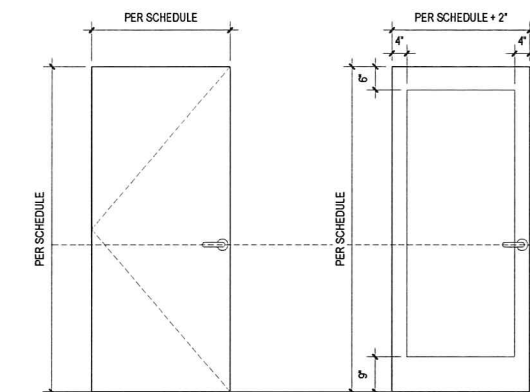
HW2: BEDROOM DOOR

HW3: TYPICAL INTERIOR

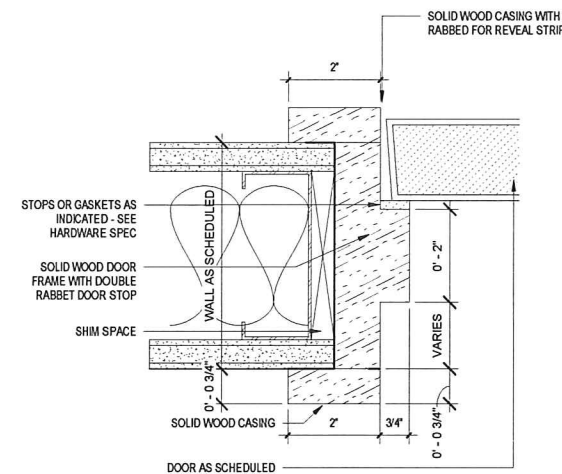
Door Schedule						
Mark	Type Mark	Height	Width	Type Comments	Jamb	Hardware
LEVEL-0B						
G01	18	6'-8"	3'-0"	Shop Primed	J1	HW2
G02	18	6'-8"	3'-0"	Shop Primed	J1	HW3
G07	17	6'-8"	2'-6"		J1	HW3
G04	18	6'-8"	3'-0"	Shop Primed	J1	HW3
G06	18	6'-8"	3'-0"	Shop Primed	J1	HW3
LEVEL-01						
224	19	7'-9 1/2"	3'-0"	Wide Sill Insulated Swing Door	J1	HW3
107	15	6'-8"	2'-6"		J1	HW2
101A	20	0'-0"	0'-0"		J1	HW2
101B	WN7	7'-6 9/16"	3'-3 3/8"		J1	HW1
105	16	6'-8"	3'-0"		J1	HW3
101	18	6'-8"	3'-0"	Shop Primed	J1	HW3
108A	15	6'-8"	2'-6"		J1	HW3
109B	15	6'-8"	2'-6"		J1	HW3
101C	17	6'-8"	2'-6"		J1	HW3
104B	WN7	7'-6 9/16"	3'-3 3/8"		J1	HW1
104A	WN7	7'-0"	3'-3 3/8"		J2	HW1
LEVEL-02						
208	15	6'-8"	2'-6"		J1	HW3
201	18	6'-8"	3'-0"	Shop Primed	J1	HW2
203B	15	6'-8"	2'-6"		J1	HW3
204	17	6'-8"	2'-6"		J1	HW3
203	17	6'-8"	2'-6"		J1	HW3
205	17	6'-8"	2'-6"		J1	HW3
204B	40	6'-8"	6'-0"		J1	HW3
207	44	6'-8"	6'-0"		J1	HW3
202	WN7	7'-0"	3'-3 3/8"		J1	HW1



1 A601- DOOR FRAME ELEVATIONS
1/2" = 1'-0"

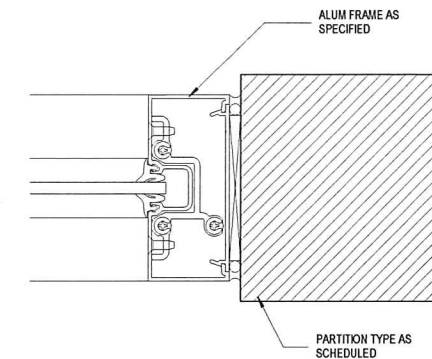


2 A601- DOOR TYPE ELEVATIONS
1/2" = 1'-0"



TYPE J1
WOOD
DOUBLE RABBIT
(WD WALL PANELS ONE SIDE)

3 A601 - DOOR JAMB DETAILS
6" = 1'-0"



TYPE J2
ALUMINUM DOOR JAMB

PROJECT NAME
115 SPRING RENOVATION
PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

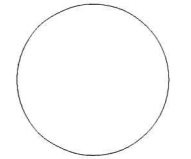
ARCHITECT
Olinger Architects

281 CONCORD AVE.
CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
EMAIL: INFO@OLINGER.IO

CODE CONSULTANT
HASTINGS CONSULTANTS
142 Hanlon Road
Holliston, MA 01746
(T) 508-397-8417

STRUCTURAL ENGINEER
BERDI CONSULTING
25 Wayland Hills road
Wayland, MA 01778
(T)

REGISTRATION



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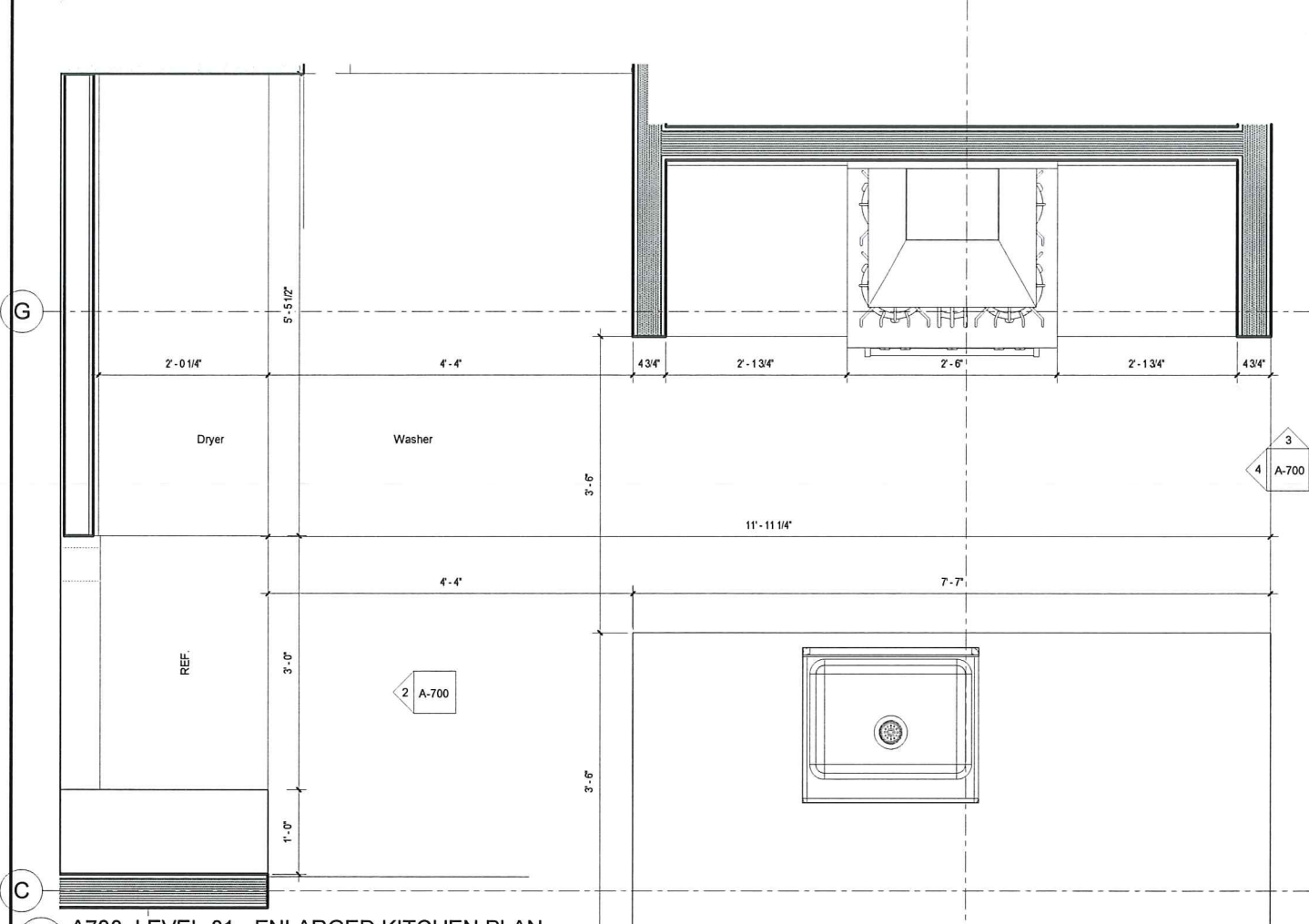
REVISIONS

No.	Description	Date

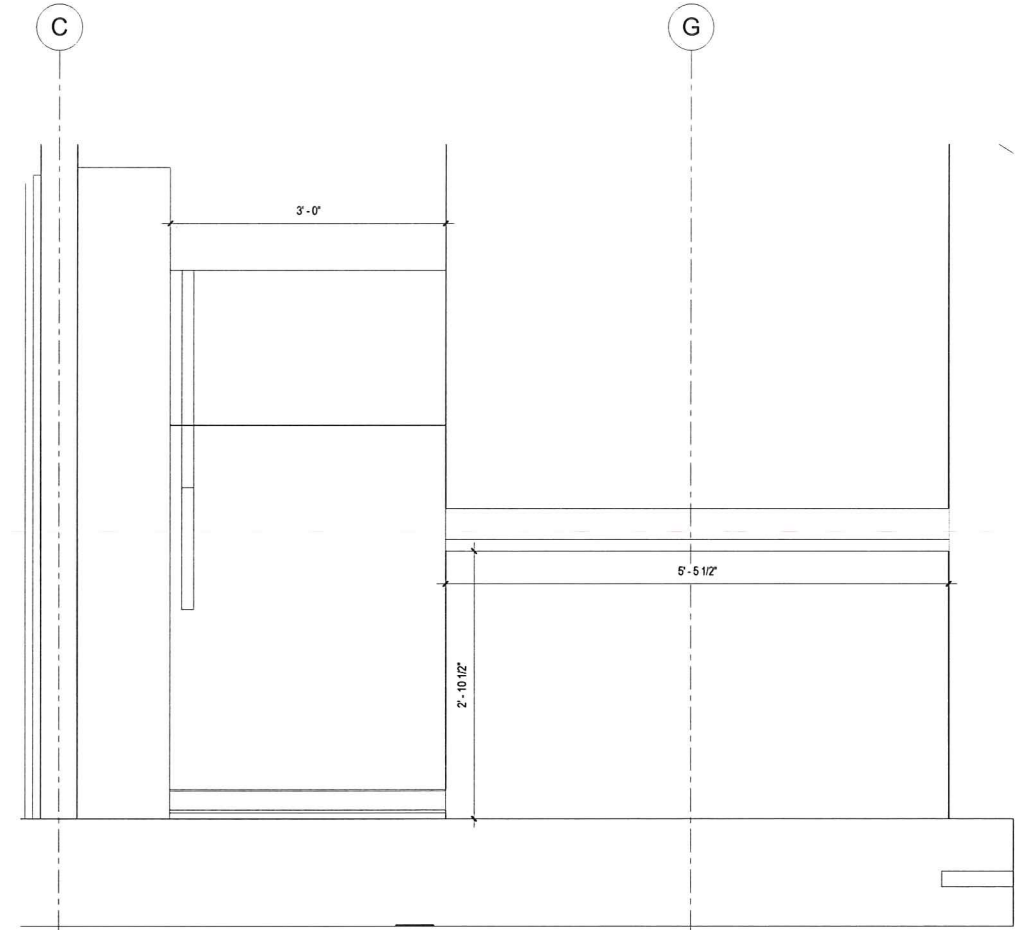
DOOR SCHEDULE

A-600

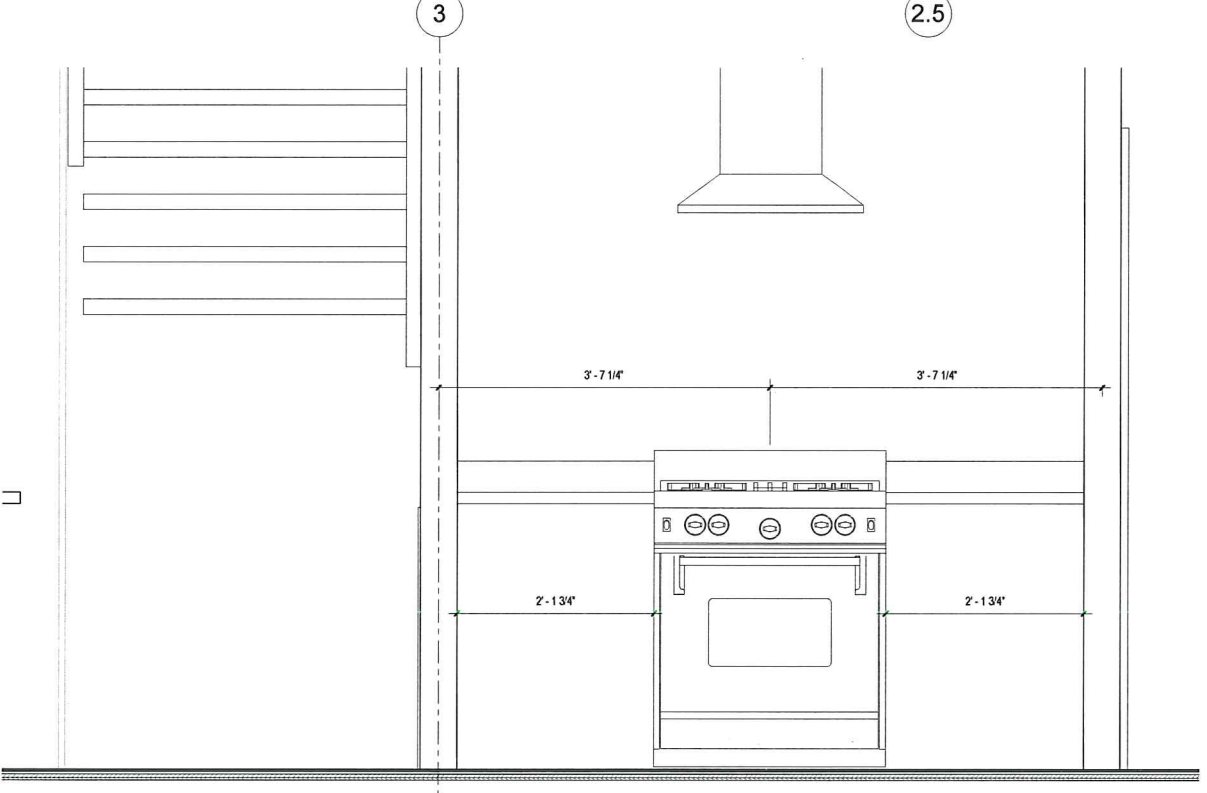
115 SPRING STREET



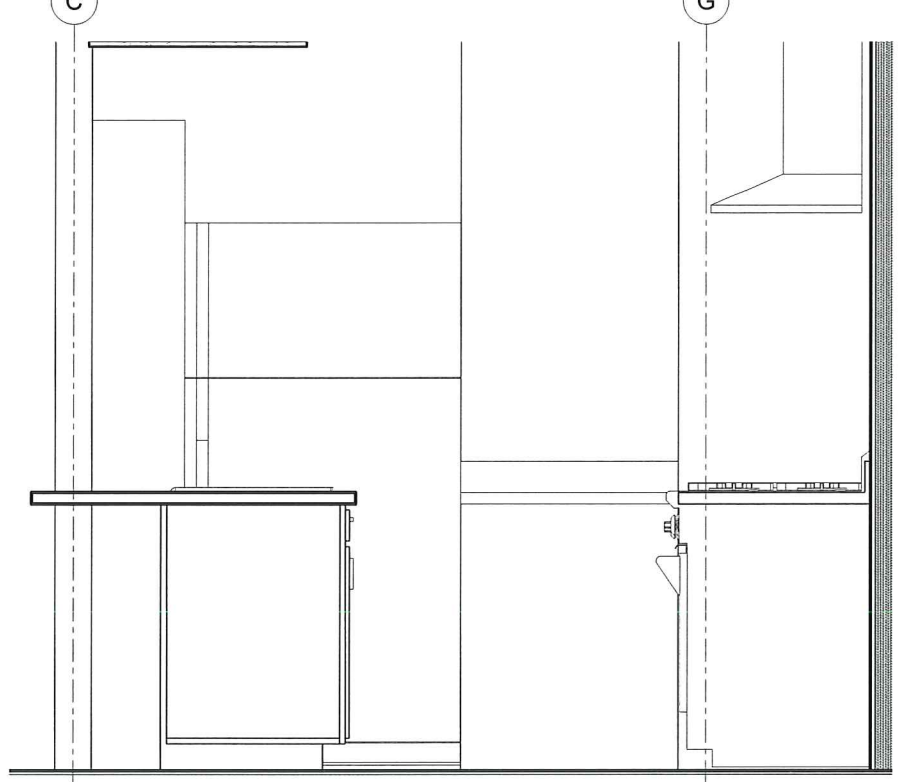
1 A700_LEVEL-01 - ENLARGED KITCHEN PLAN
1" = 1'-0"



2 ENLARGED KITCHEN ELEVATION 1
1" = 1'-0"



3 ENLARGED KITCHEN ELEVATION 2
1" = 1'-0"



4 ENLARGED KITCHEN ELEVATION 3
1" = 1'-0"

CWD
DEVELOPMENT

PROJECT NAME
115 SPRING RENOVIATION

PROJECT ADDRESS:
115 SPRING STREET
CAMBRIDGE, MA 02141

ARCHITECT
Olinger Architects

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CAMBRIDGE, MA 02138
TELEPHONE: 917-582-5333
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SPECIAL PERMIT APPLICATION

Project number 1805
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Scale 1" = 1'-0"

REVISIONS

No.	Description	Date

ENLARGED KITCHEN PLAN, ELEVATIONS, DETAILS

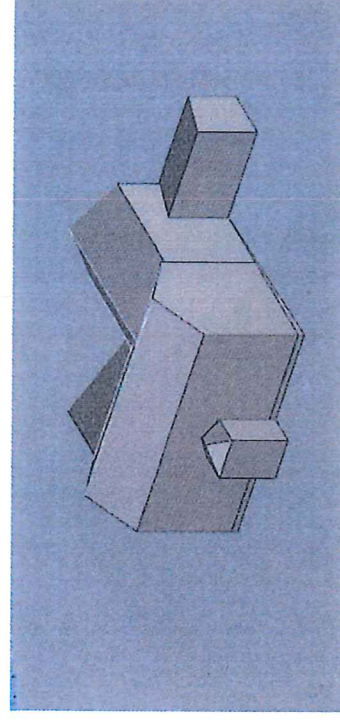
A-700
115 SPRING STREET

115 Spring Street Demolition Plan

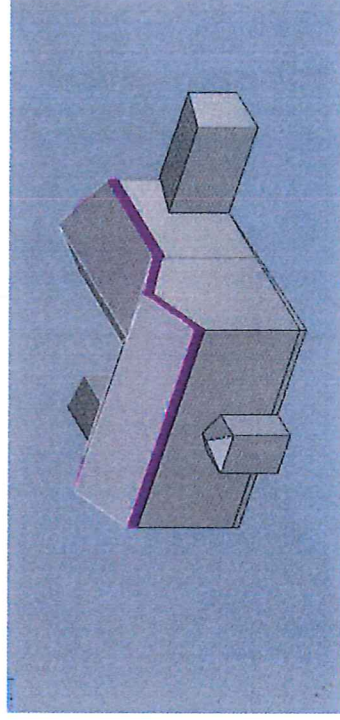
Olinger Architects

Please see below for an outline of the Demolition Plan for 115 Spring Street:

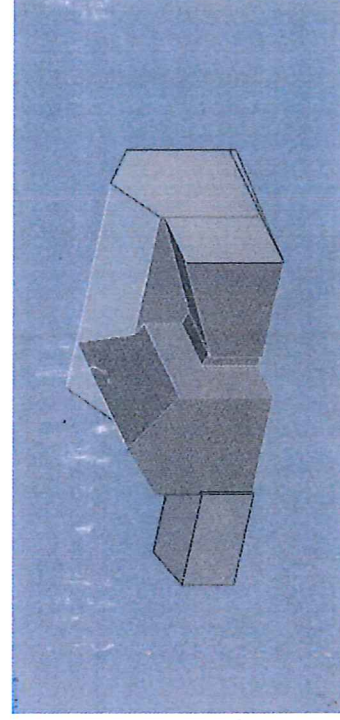
1. Reinforce all existing to remain portions of the building (j-k)(l-r)
2. Protect existing to remain portions of the building (j-k)(l-r)
3. Remove the rear addition structures completely (a-e) & (i-h)
4. Execute all foundation work, underpinning, and excavation
5. Reframe interior of building up to existing roof line
6. Once that structure is complete, solid, framed, and sheathed we will then proceed to remove the roof in the front of the house (f-g)
7. Cut existing second floor window headers & lift roof
8. Reframe roof and infill wall (highlighted magenta in figures (1-4))



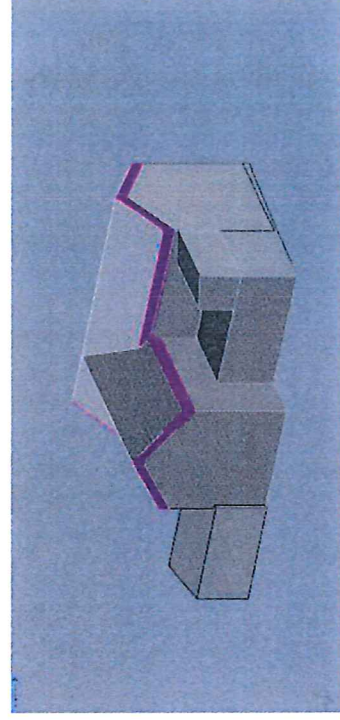
(Fig.1) Existing Building (South East View)



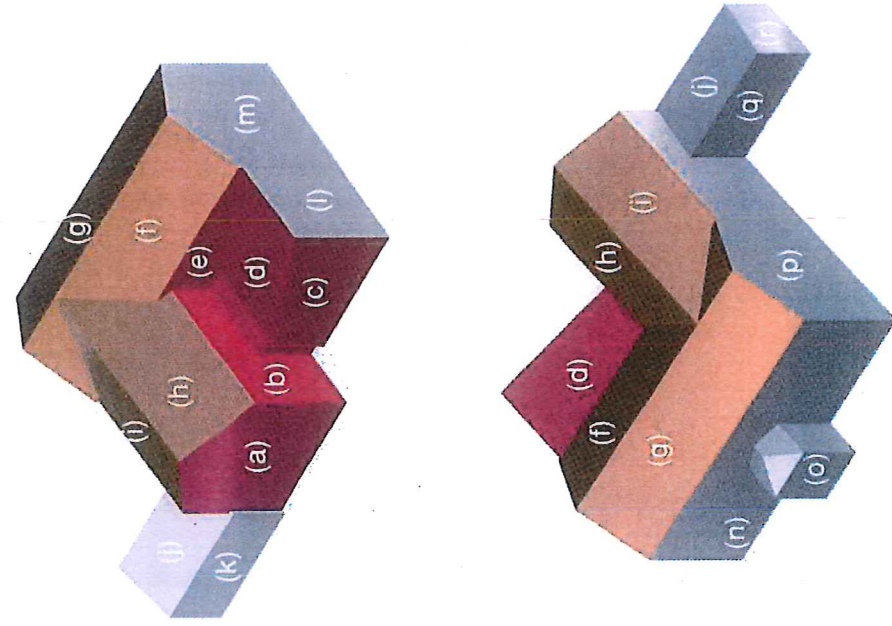
(Fig.2) Highlighted New Infill Wall



(Fig.3) Existing Building (North West View)



(Fig.4) Highlighted New Infill Wall



115 SPRING STREET

DEMOLITION PERCENTAGE ANALYSIS

Olinger Architects

AIA, NCARB, LEED AP

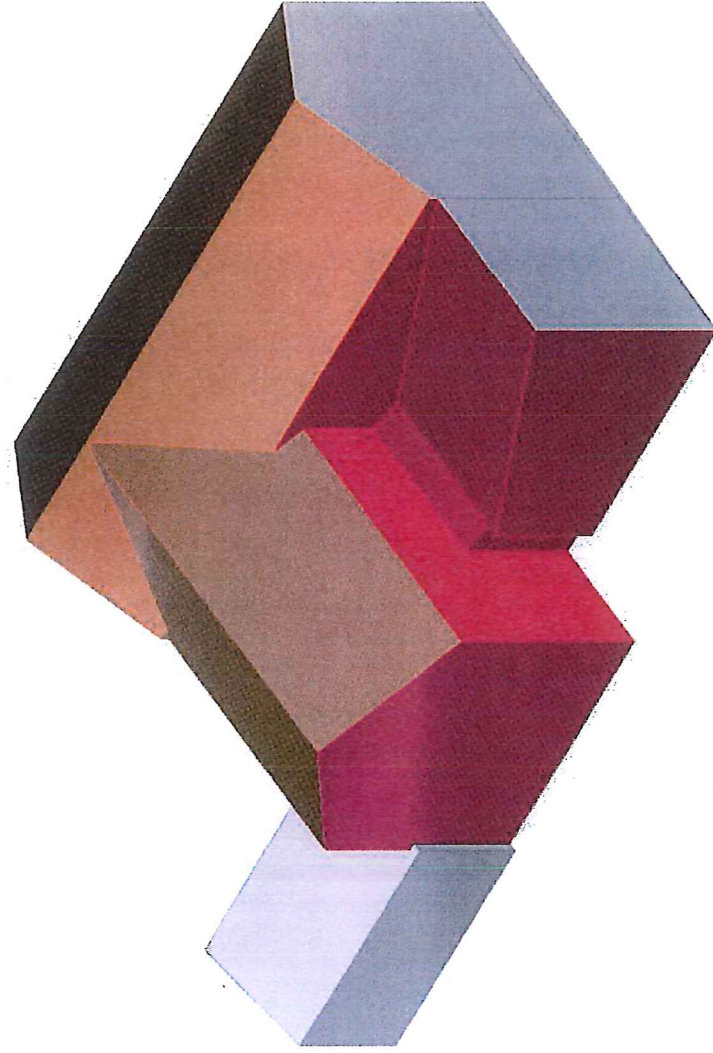
EXTERIOR ENVELOPE SURFACE AREA:

EXISTING: 4,491 SF

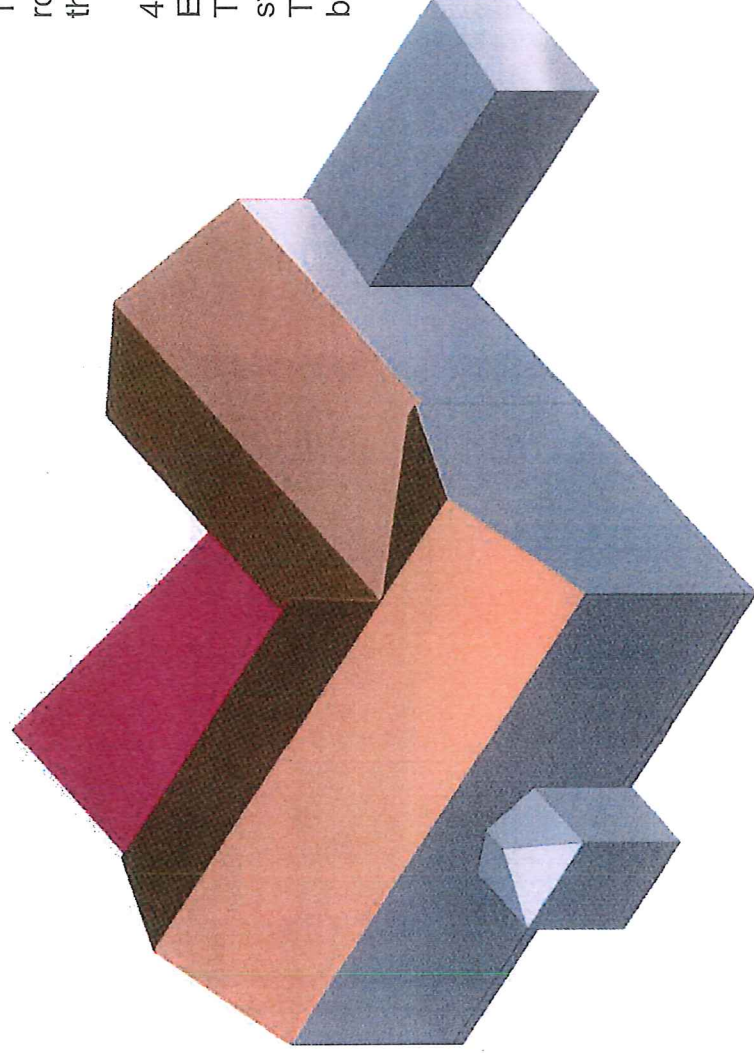
DEMO (RED): 1,035 SF (23%)
ROOF (ORANGE): 1,132 SF (25%)
PRESERVE (GREY): 2,324 SF (52%)

GENERAL CONTRACTOR'S FIELD INVESTIGATION COMMENTS:

- 1) FRONT HOUSE - HISTORIC HOUSE FACING 5th & SPRING ST.
After removal of the plasters, we found out that roof is not properly built. We need to build a new roof. In addition, the structural beams for the front house are partially rotten. We need to revise the plan of raising the house, because the structural of the house does not allow us to raise the house without the risk of falling. We need to build the 2 feet height from top and rebuild the roof.
- 2) BACK HOUSE - FACING 5th STREET SIDE YARD
The one level area of roof needs to be taken down to build a flat roof with the deck on top of it. Therefore the roof needs to be removed.
- 3) BACK HOUSE - GABLED ROOF ABUTTING 5th STREET SIDE YARD
The roof line is supposed to match the new roof line of the front of the house. Therefore the roof needs to be removed and replaced.
- 4) BACK HOUSE - COMPROMISED EXTERIOR WALLS
The back of the house is lacking sound structure- all of the major beams are rotten. Therefore, we need to remove the rotten beams and rebuild the structural.



VIEW FROM NORTH WEST



VIEW FROM SOUTH EAST