

Architectural Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date
A-000	Cover Sheet	09/05/2019
C-001	Topographic Site Plan	09/27/2018
A-020	Architectural Site Plan	09/05/2019
A-021	Existing & New Site Plans	09/05/2019
A-301	Street Elevations	09/05/2019
A-302	Side Elevations	09/05/2019
AV-1	Neighborhood Photos	09/05/2019
AV-2	Perspectives	09/05/2019
AV-2A	Existing Perspectives	09/05/19
AV-4	Rendering 1	03/25/2019
AV-4A	Rendering 1 - Existing	09/05/2019
AV-5	Rendering 2	03/25/2019
AV-5A	Rendering 2 - Existing	09/05/2019
AV-6	Rendering 3	03/25/2019
AV-6A	Rendering 3 - Existing	09/05/2019



PROJECT NAME
Bishop Allen @ Douglass

PROJECT ADDRESS
 BISHOP ALLEN DRIVE @ DOUGLASS STREET
 CAMBRIDGE, MA

CLIENT
FIRST CAMBRIDGE

ARCHITECT

KHALSA

17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

RECEIVED
 SEP 10 2019

CAMBRIDGE HISTORICAL COMMISSION

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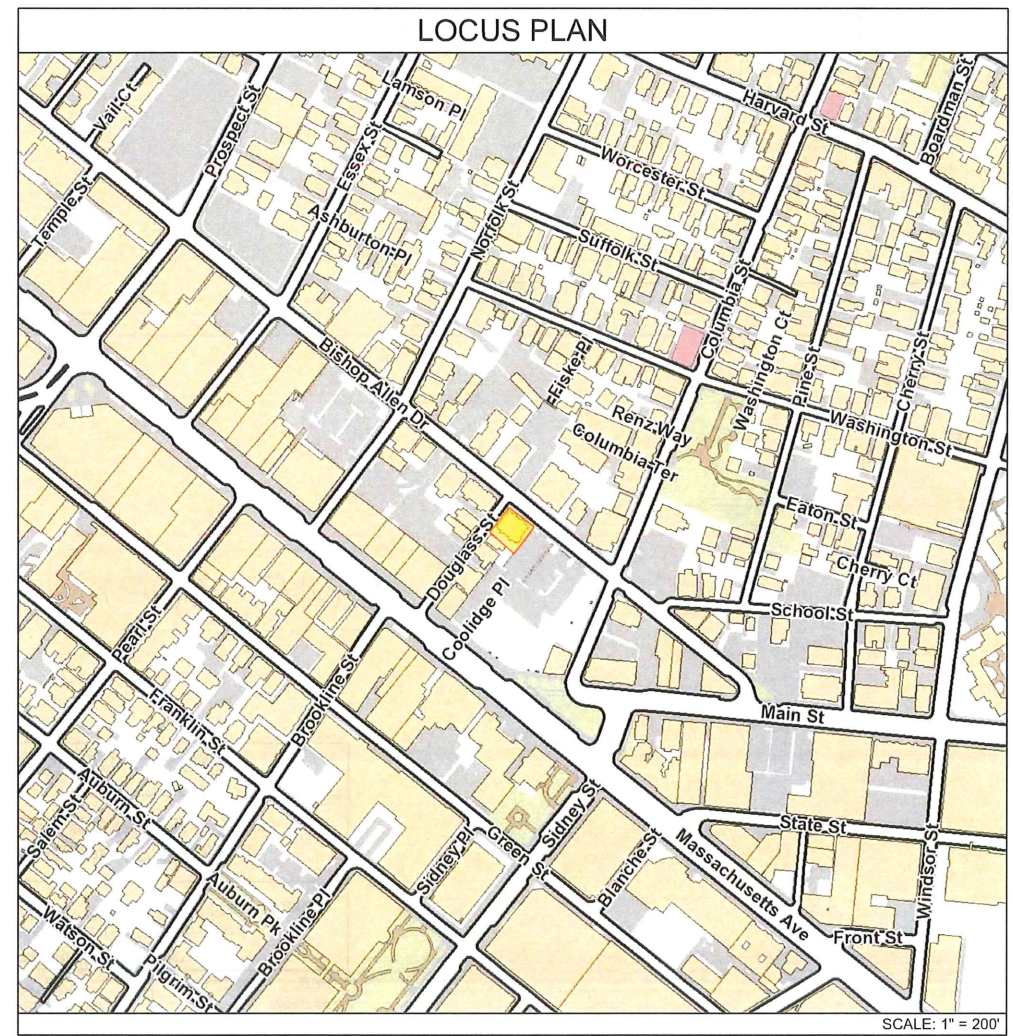


Project number	18132
Date	09/05/2019
Drawn by	ERS
Checked by	JSK
Scale	1" = 200'-0"

REVISIONS		
No.	Description	Date

Cover Sheet

A-000
 Bishop Allen @ Douglass



**PROJECT:
 BISHOP ALLEN @ DOUGLASS
 RESIDENCES**

PROJECT ADDRESS:
 50 BISHOP ALLEN DRIVE
 CAMBRIDGE, MA

ARCHITECT:
KHALSA DESIGN INC.
 17 IVALOO STREET, SUITE 400
 SOMERVILLE, MA 02143
 617-591-8682

CLIENT:
FIRST CAMBRIDGE REALTY CORP
 907 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139
 T. 617-547-6559

LEGAL:
HOPE LEGAL LAW OFFICES
 907 MASSACHUSETTS AVENUE,
 SUITE 300
 CAMBRIDGE, MA 02139

**HISTORICAL COMMISSION SET
 2019.09.05**

I:\TKG-SERVER\DATA\181132-FC-BAD-Douglas-Cambridge\Drawings\02_ARCH_SD_D0181132-Bishop Allen Drive at Douglass Street-scheme 5.rvt 9/5/2019 4:41:14 PM

DEED DESCRIPTION 48-50 BISHOP ALLEN DRIVE

A CERTAIN PARCEL OF LAND WITH THE BUILDINGS THEREON SITUATED IN CAMBRIDGE, BEING NOW NUMBERED 44 1/2-50 INCLUSIVE AUSTIN STREET AND BEING SHOWN AS LOT B ON A PLAN ENTITLED "SUBDIVISION OF LAND IN CAMBRIDGE" BELONGING TO LUCY A. KAULBACK* DATED DECEMBER 17, 1946, BY DONALD J. REARDON, SURVEYOR, RECORDED BOOK 7080, PAGE 467, BEING BOUNDED AND DESCRIBED S FOLLOW:

- NORTHEASTERLY: BY SAID AUSTIN STREET, SEVENTY-ONE AND 1/10 (71.35) FEET;
 - NORTHWESTERLY: BY DOUGLAS STREET, SEVENTY-ONE AND 1/10 (71.99) FEET;
 - SOUTHWESTERLY: BY LOT a ON SAID PLAN, FIFTY-TWO (52) FEET;
 - NORTHWESTERLY: AGAIN BY SAID LOT A, TWO AND 1/10 (2.7) FEET;
 - SOUTHWESTERLY: AGAIN BY LOT A, EIGHTEEN (18) FEET; AND
 - SOUTHEASTERLY: BY LAND OF OWNERS UNKNOWN, SEVENTY FOUR AND 1/10 (74.67) FEET.
- CONTAINING 5150 SQUARE FEET OF LAND.

FOR TITLE SEE DEED OF GEORGE ROTHMAN AND JAMES M. CURRAN DATED DECEMBER 27, 1985 RECORDED WITH MIDDLESEX SOUTH REGISTRY OF DEEDS IN BOOK 16689, PAGE 560.

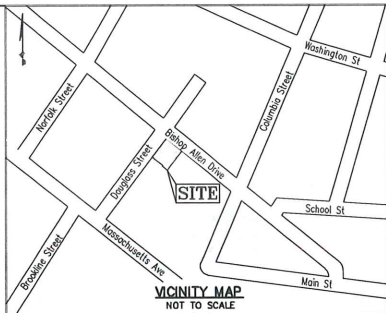
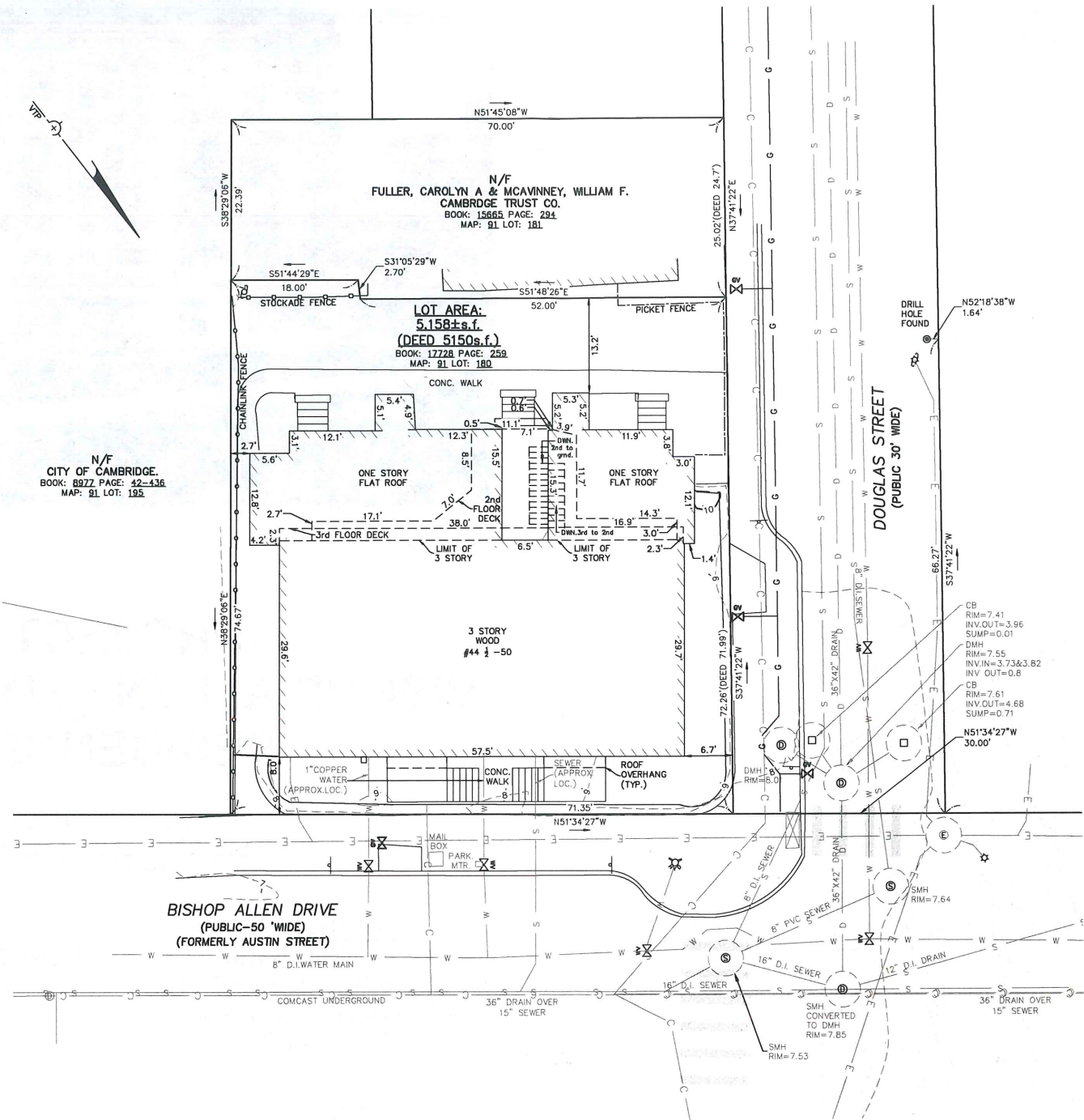
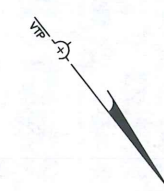
SURVEYOR'S DESCRIPTION 48-50 BISHOP ALLEN DRIVE

- NORTHWESTERLY: BY BISHOP ALLEN DRIVE, SEVENTY-ONE AND 1/10 (71.35) FEET;
 - SOUTHWESTERLY: BY DOUGLAS STREET, SEVENTY-TWO AND 1/10 (72.26) FEET;
 - SOUTHEASTERLY: BY LAND NOW OR FORMERLY FULLER AND MCAVINNEY, FIFTY-TWO (52) FEET;
 - SOUTHEASTERLY: AGAIN BY LAND NOW OR FORMERLY FULLER AND MCAVINNEY, TWO AND 1/10 (2.7) FEET;
 - SOUTHWESTERLY: AGAIN BY LAND NOW OR FORMERLY FULLER AND MCAVINNEY, EIGHTEEN (18) FEET; AND
 - NORTHEASTERLY: BY LAND NOW OR FORMERLY CITY OF CAMBRIDGE, SEVENTY FOUR AND 1/10 (74.67) FEET.
- CONTAINING 5158 SQUARE FEET OF LAND.

GENERAL NOTE:

- NO EVIDENCE OF CEMETERIES.
- LEGAL DESCRIPTION FORMS MATHEMATICALLY CLOSED FIGURE WITH OUT GAPS, GORES OR OVERLAPS.
- THE PROPERTY HAS DIRECT ACCESS FROM THE NORTH, TO BISHOP ALLEN DRIVE A DEDICATED PUBLIC STREET AND THE WEST TO DOUGLAS STREET A DEDICATED PUBLIC STREET.
- NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- NO OBSERVED EVIDENCE OF SIDE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- BENCHMARK: CITY OF CAMBRIDGE DATUM
- PARCEL ID MAP 91-LOT 180

EASEMENTS:



RESERVED FOR REGISTRY USE

LEGEND:

- HANDMANHOLE: HW
- SIGN: S
- LIGHT POLE: L
- HYDRANT: H
- WATER GATE: W
- CATCH BASIN: C
- ELECTRIC MANHOLE: E
- TELEPHONE MANHOLE: T
- SEWER MANHOLE: S
- DRAIN MANHOLE: D
- STREET LIGHT CONTROL BOX: B
- DRAIN MANHOLE: D
- PAD: P
- PROPERTY LINE W/ BEARING DISTANCE: S81°56'34"E 116.23'
- CHAINLINK FENCE: F
- STOCKADE FENCE: S
- PICKET FENCE: P
- SEWER LINE: S
- DRAIN LINE: D
- WATER LINE: W
- CABLE CONDUIT: C
- ELECTRIC CONDUIT: E
- GAS LINE: G

PLAN REFERENCE:
 PLAN BOOK: 7080 PAGE: 467
 PARCEL BLOCK MAP: 91
DEED REFERENCE:
 BOOK: 17228 PAGE: 258

ZONING REQUIREMENTS:

BB - BUSINESS B	Required
Lot Size	300/DU*
Lot Width	None
Max. F.A.R.	2.75/3.0
Max. Height Stories	8'
Min. Usable Open space	None
Min. Front Setback	None
Min. Side Yard	None
Min. Rear Yard	None

*Lot Size-min area/DU=minimum allowed ratio of parcels lot area, expressed in feet, divided by the number of dwelling units on that parcel

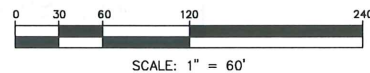
DRAFT COPY

FLOOD ZONE:

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "ZONE X" DETERMINED FROM F.E.M.A. ON FLOOD INSURANCE RATE MAP No. 25017C05276E, EFFECTIVE JUNE 4, 2010.

UTILITY NOTE:

UNDERGROUND LOCATIONS AS SHOWN HEREON ARE TAKEN FROM AVAILABLE RECORD INFORMATION AND ARE APPROXIMATE ONLY. BEFORE PLANNING ANY CONSTRUCTION THE VARIOUS UTILITY COMPANY ENGINEERING DEPARTMENTS SHOULD BE CONSULTED.



TOPOGRAPHIC SITE PLAN

**44 1/2 -50 BISHOP ALLEN DRIVE
CAMBRIDGE, MASSACHUSETTS**

OWNER: GEORGE ROTHMAN & STUART J. ROTHMAN,
TRUSTEES OF STU-LIN FAMILY TRUST
CAMBRIDGE, MASSACHUSETTS

DATE: 9/27/2018
REVISED:
SCALE: 1"=10'
PROJECT: 218169
SHEET: 1 OF 1

VTP ASSOCIATES, INC.
LAND SURVEYORS - CIVIL ENGINEERS
132 ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA. 02458
(617) 332-8271 FAX: (617) 969-2330

ZONING CHART

BB ZONE	REQUIRED IN BASE ZONE (BB)	CENTRAL SQUARE OVERLAY (SUPERSEDES BB) REFER TO 20.300	MASS + MAIN OVERLAY REFER TO 20.307	EXISTING	PROPOSED	REMARKS
5,150 SF SITE						
FAR	3.0 / 15,450 S.F.	4.0 / 20,600 SEE NOTES BELOW +15% INCLUSIONARY BONUS +15% INCENTIVE 26,780	PER BASE ZONING OR 6.5 W/ AFFORDABILITY / UNIT MIX PER 20.307.8	1.1 / 6,093 PER DATABASE	4.7 / 24,179 SF	COMPLIES
MIN. LOT SIZE	NO RESTRICTION	N/A		5,150 SF	5,150 SF	COMPLIES
LOT AREA/DU	300 SF / DU (17 DU) 15% INCLUSIONARY HOUSING +15% INCENTIVE 22 DU	N/A	N/A	643 SF / DU (8 DUs)	303 S.F. / DU (17 DU) BASE + 5 DU INCLUSIONARY & INCENTIVE BONUSES	COMPLIES
MIN. LOT WIDTH	NO RESTRICTION	N/A	N/A	71.35'	71.35'	COMPLIES
MIN. FRONT SETBACK	RES IN BB ZONE = RES C-3					
BISHOP ALLEN DRIVE	(H+L)/5=(60.5+70)/5=130.5/5=26.1 5' MIN.	20.304.4 (BELOW)	PER BASE ZONING	+/-8'	5' (30' FROM CL OF STREET)	COMPLIES
DOUGLAS STREET	(H+L)/5=(61.5+70)/5=131.5/5=26.3 5' MIN.	20.304.4 (BELOW)	PER BASE ZONING	+/-6.7'	5' (20' FROM CL OF STREET)	DOES NOT COMPLY
MIN. SIDE SETBACK (LEFT)	(H+L)/6=(61.5+70)/6=131.5/6=21.9	20.304.4 (BELOW)	PER BASE ZONING	+/-2.7'	5'	DOES NOT COMPLY
MIN. SIDE SETBACK (RIGHT)	(H+L)/6=(60.5+70)/6=130.5/6=21.75	20.304.4 (BELOW)	PER BASE ZONING	+/-13.2'	5'	DOES NOT COMPLY
MAX HEIGHT (IN FEET)	80'	SEE NOTES BELOW:	COLUMBIA DOUGLASS ST HEIGHT AREA (MAP 20.307) 70' FOR RES / MIXED INCOME PROJECT	+/-36' (3 STORIES)	69'-11" (7 STORIES W/ BULK CONTROL PLANE)	COMPLIES
MIN. RATIO OF PRIVATE OPEN SPACE TO LOT AREA	NO RESTRICTION	PER BASE ZONING	PER BASE ZONING	+/-2,418 S.F. (47%)	1,188 S.F. ON BALCONIES	COMPLIES
PARKING	1/DU (22 REQUIRED)	0.75/DU (17 SPACES) (SEE NOTES BELOW)	PER BASE ZONING RE: 20.307.7 FOR EXCEPTIONS	0 SPACES	0 SPACES	DOES NOT COMPLY
BICYCLE PARKING	LONG TERM: 1/DU FOR 1ST 20 DU + 1.05 FOR ADD DU (23 REQUIRED) SHORT TERM: 0.10 / DU (3 REQUIRED)	PER BASE ZONING	N/A	0 SPACES	24 LONG TERM SPACES + 4 SHORT TERM SPACES	COMPLIES

FOOTNOTES TO FAR:

- As of Right Limitation.** The maximum as of right FAR shall be 3.0 in the Office 3 base zoning district for Residential Uses, Section 4.31 a-h, and 2.0 for all other uses; 4.0 for all Residential uses in the Business B base zoning district; and 2.0 in the Residence C-3 and Residence C-2A base zoning districts.
- Special Permit for additional FAR.** The maximum FAR on any lot in a Residence C-3 or Residence C-2A district may be increased to 3.0 and 2.5 respectively upon issuance of a special permit from the Planning Board.
- Special Permit for Additional FAR for Affordable Housing.** The maximum FAR on any lot in an Office 3 District may be increased to 3.75 upon issuance of a special permit from the Planning Board provided a minimum of twenty (20) percent of the total gross floor area authorized is devoted to affordable housing as defined in Section 11.201. The affordable housing shall conform to the standards of Section 11.204 except that lodging housing or single room occupancy facilities shall be specifically permitted. The additional FAR bonus permitted in Section 11.203.2, however, shall not apply to developments employing this Section 20.304.3c.
- Additional FAR for Residential Uses:** Upon issuance of a special permit, the Planning Board may increase the allowed FAR on any lot or portion of a lot located within the Business B (BB) portion of the Central Square Overlay District to a total FAR of 4.00 for all non-residential and residential uses combined, notwithstanding the Rules for Calculation of Permitted Gross Floor Area on a Lot as set forth in Section 5.30.12, provided that the maximum FAR permitted for non-residential uses on a lot shall not exceed the limitation on non-residential FAR applicable in the base zoning district and that the proposed FAR of all non-residential uses on the lot shall not exceed the proposed FAR of all residential uses on the lot.
- FAR exemption for Residential Balconies:** In the Business B district only, notwithstanding any other provision of this Zoning Ordinance, the Gross Floor Area of balconies, porches, stoops, or mezzanines on any floor of a structure that are accessory to residential uses and not exceeding six (6) feet in depth measured back from the adjacent wall plane of a building shall be exempted from the calculation of Gross Floor Area permitted on the applicable lot. Also, terraces that are created by stepping back the upper floors of a building, provided that they are open to the sky and a minimum of eight (8) feet in depth measured from the façade of the story beneath, shall be exempted from the calculation of Gross Floor Area permitted on the lot.
- FAR Exemption for Rooftop Spaces:** In the Business B district only, notwithstanding any other provisions of this Zoning Ordinance, the Gross Floor Area of open-air spaces on the roofs of buildings, such as roof gardens, terraces, walk ways, including open or enclosed egresses, covered staircases, mechanical head-houses, or observation spaces shall be exempted from Gross Floor Area and FAR limitations upon the granting of a special permit by the Planning Board. In granting any special permit, the Planning Board must be able to find that the proposed rooftop spaces have been located and designed to minimize impacts on neighboring uses, including but not limited to light trespass, noise or other nuisance, and may place further requirements or conditions on the design or operational aspects of spaces exempted pursuant to this Paragraph, including but not limited to hours of operation, range of activities permitted, signage and lighting fixtures, visual screening devices, sound mitigation, and other measures to ensure ongoing compliance with the Board's findings.
- FAR Exemption for Ground Floor Retail:** In the Business B district only, retail spaces of 1,500 square feet or less shall be excluded from the calculation of floor area ratio.

FOOTNOTES TO SETBACKS:

- 24.3:** ON LOTS ABUTTING STREETS ON MORE THAN ONE SIDE, THE FRONT YARD REQUIREMENTS OF EACH OF THE ABUTTING STREETS SHALL APPLY REGARDLESS OF DESIGNATED FRONT LOT LINES. ANY REMAINING SIDES SHALL BE SUBJECT TO SIDE YARD REQUIREMENTS
- 28.1-Dwellings in Non Residential Districts.** A dwelling shall be subject to the dimensional standards generally applicable in the district set forth in the Tables of Dimensional Requirements in Section 5.30, except as provided for below.
 - a dwelling in a Business B district shall be subject to the same dimensional requirements and other restrictions as a dwelling in a Residence C-3 district.

20.304.4 Waiver of Setback and Open Space Requirements.

- Yard Setbacks. Upon issuance of a special permit from the Planning Board the yard requirements of a base zoning district may be waived except where such yard abuts a lot, but not a public way, outside the Overlay District. However, in waiving or reducing a front yard setback, the Planning Board shall take into account the width of the adjacent public sidewalk and may limit the reduction of the setback in order to provide additional sidewalk width within the front yard setback where appropriate, taking into account applicable City standards and expected pedestrian traffic on the street.

FOOTNOTES TO MAXIMUM HEIGHT:

- 20.304.2 Building Height Limitations.** The maximum height of buildings in the Central Square Overlay District shall be governed by the requirements of this Section 20.304.2; however, at locations where the base zoning district establishes a more restrictive height limitation, the more restrictive shall apply.

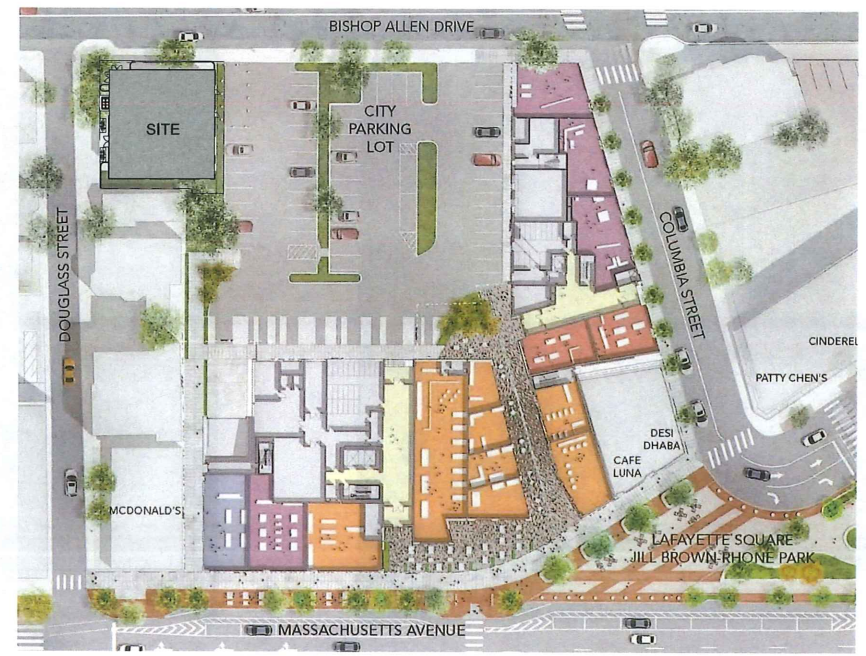
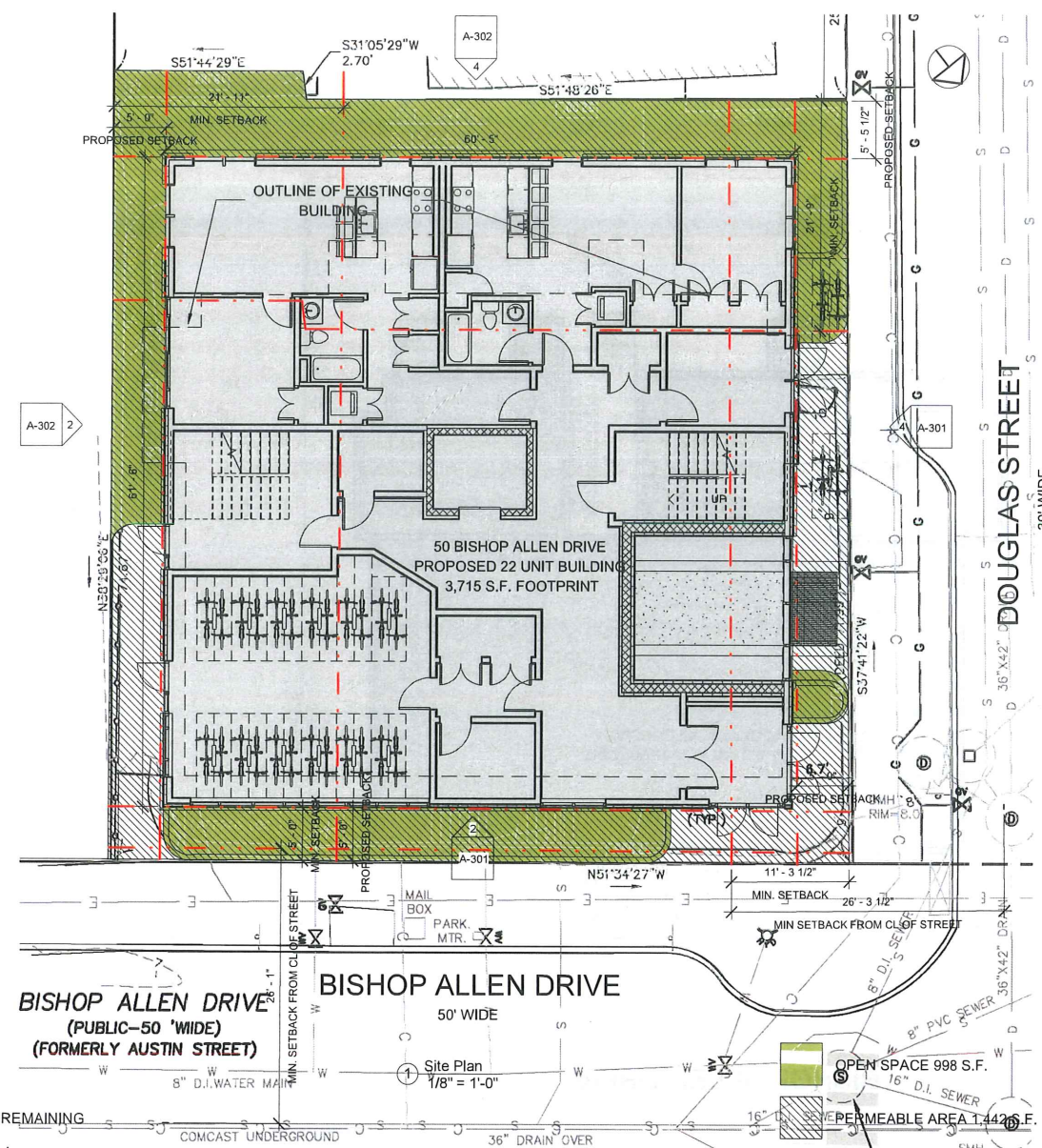
- As of Right Height Limitations.** The maximum height of any building shall be fifty-five (55) feet except as further limited below:
 - (OMITTED-NOT APPLICABLE)

- Special Permit for Additional Height.** Additional height may be permitted as follows:
 - The maximum allowable height in the Central Square Overlay District may be increased up to eighty (80) feet upon issuance of a Special Permit by the Planning Board provided that those portions in excess of sixty (60) feet are set back from the street line at least ten (10) feet and that those portions are also set back from one or more forty-five degree (45°) bulk control planes beginning sixty (60) feet above any streetline in the district and rising over one or more lots at a forty-five degree (45°) angle.

FOOTNOTES TO PARKING:

20.304.6 Parking and Loading Requirements.

- Maximum Parking.** Where any of the following listed uses are established in the Central Square Overlay District as of August 1, 2016, the accessory off-street parking for such uses shall be limited by the maximum rates set forth below. For uses not listed below, any maximum rate set forth in Article 6.000 shall apply. Exceeding the maximum allowed parking shall require a waiver of maximum parking under the general provisions of Article 6.000.
 - Residential Uses (6.36.1), excluding Hotel and Motel (i-2 and i-3): **0.75 space per dwelling unit...**
- Minimum Parking and Loading.** The minimum parking and loading requirements as specified in Section 6.36 Schedule of Parking and Loading Requirements shall apply except as set forth below:
 - For Residential Uses (6.36.1), excluding Hotel and Motel (i-2 and i-3), the minimum required parking ratio shall be **0.50 space per dwelling unit.**
 - Where the minimum number of parking spaces derived from the requirements of Article 6.000 is greater than the maximum number of parking spaces derived from Paragraph 1 above, the minimum required number of parking spaces shall be reduced to the greatest number that conforms to the maximum requirements derived from Paragraph 1 above.
- Waiver of Parking and Loading Requirements.** Uses in the Central Square Overlay District which meet the following requirements shall be exempt from the parking and loading requirements as specified in Section 6.36 - Schedule of Parking and Loading Requirements and the minimum requirements set forth in Paragraph 2 above:
 - The use is contained within a structure or portion of a structure in existence on or before June 1, 1940 or if constructed later is identified as a National Register or contributing building; or
 - The use is contained in a new structure or new addition to a structure identified in (1.) above, after the issuance of a special permit by the Planning Board provided:
 - The total development authorized on the site is reduced to ninety (90) percent of the maximum permitted on the lot; or a cash contribution is made to the Central Square Improvement Fund to be established by the City of Cambridge in an amount equal to fifty (50) percent of the cost of construction of the parking spaces not provided, said contribution to be used by the City of Cambridge for one or more of the following improvements in the Central Square Overlay District:
 - Provision of public parking, preferably for short term users;
 - Programming, events, and infrastructure that contribute to the Cultural District established in Central Square;
 - Improvements to public parks, or restoration of historic structures, monuments and other features owned by the City of Cambridge or other public agency or a nonprofit organization;
 - Improvements to public pedestrian and bicycle facilities such as sidewalks, crosswalks, dedicated cycling paths and bicycle parking. The Central Square Advisory Committee shall receive and make comments on any proposal for the expenditure of such cash contributions. The funds shall not be used for ordinary maintenance activities normally undertaken by the City of Cambridge. The value of the cash contribution shall be determined by the Community Development Department assuming equivalent structured parking spaces and using generally accepted cost estimation methods customarily used by architects and engineers or using actual construction costs for comparable contemporary parking construction in Cambridge.
 - The subject lot is sufficiently small in size as to contribute to a development pattern of diverse, small scale, new structures and the retention of existing structures (for lots exceeding 10,000 square feet a specific finding shall be made that this objective has been met).
 - The Planning Board shall specifically find that an exemption from parking and loading requirements will result in a building design that is more appropriate to its location and the fabric of its neighborhood and that it is in conformance with the objectives and criteria contained in Central Square Development Guidelines.
 - No National Register or contributing building is demolished or so altered as to terminate or preclude its designation as a National Register or contributing building; and (v) No National Register or contributing building has been demolished or altered so as to terminate or preclude its designation within the five (5) years preceding the application.
- Location of Parking.** For any new development in the Central Square Overlay District that requires a special permit from the Planning Board, notwithstanding anything to the contrary in Article 6.000, the accessory parking may be provided on-site or within existing parking facilities elsewhere in the Central Square Overlay District, subject to Planning Board Approval. In general, new development shall use below-grade structured parking instead of existing surface parking lots; however, the Planning Board may approve the use of existing surface parking in special circumstances, such as temporary parking for a phased development or special permits for smallscale retail uses in existing buildings.



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ARCHITECT
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 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

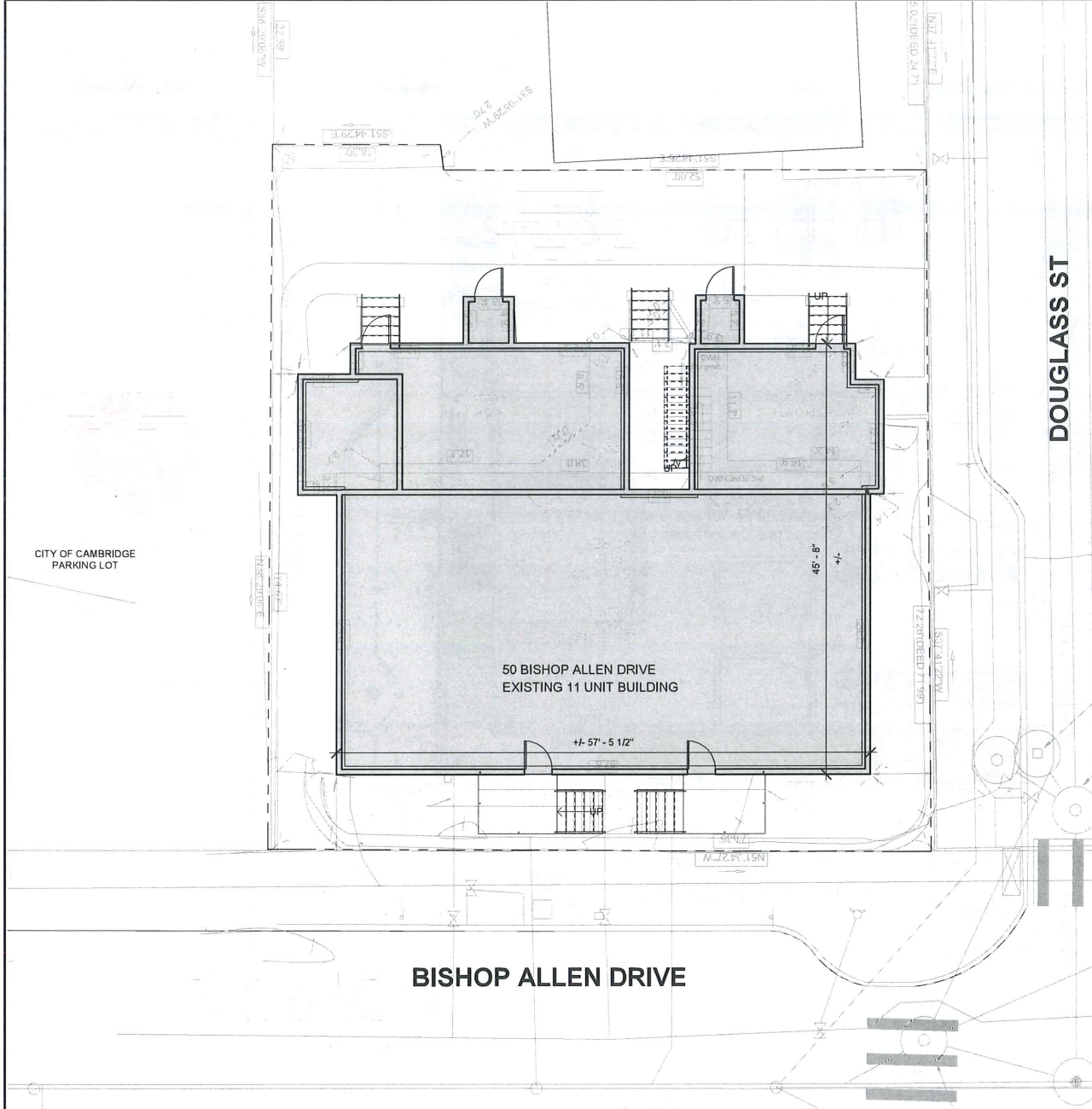
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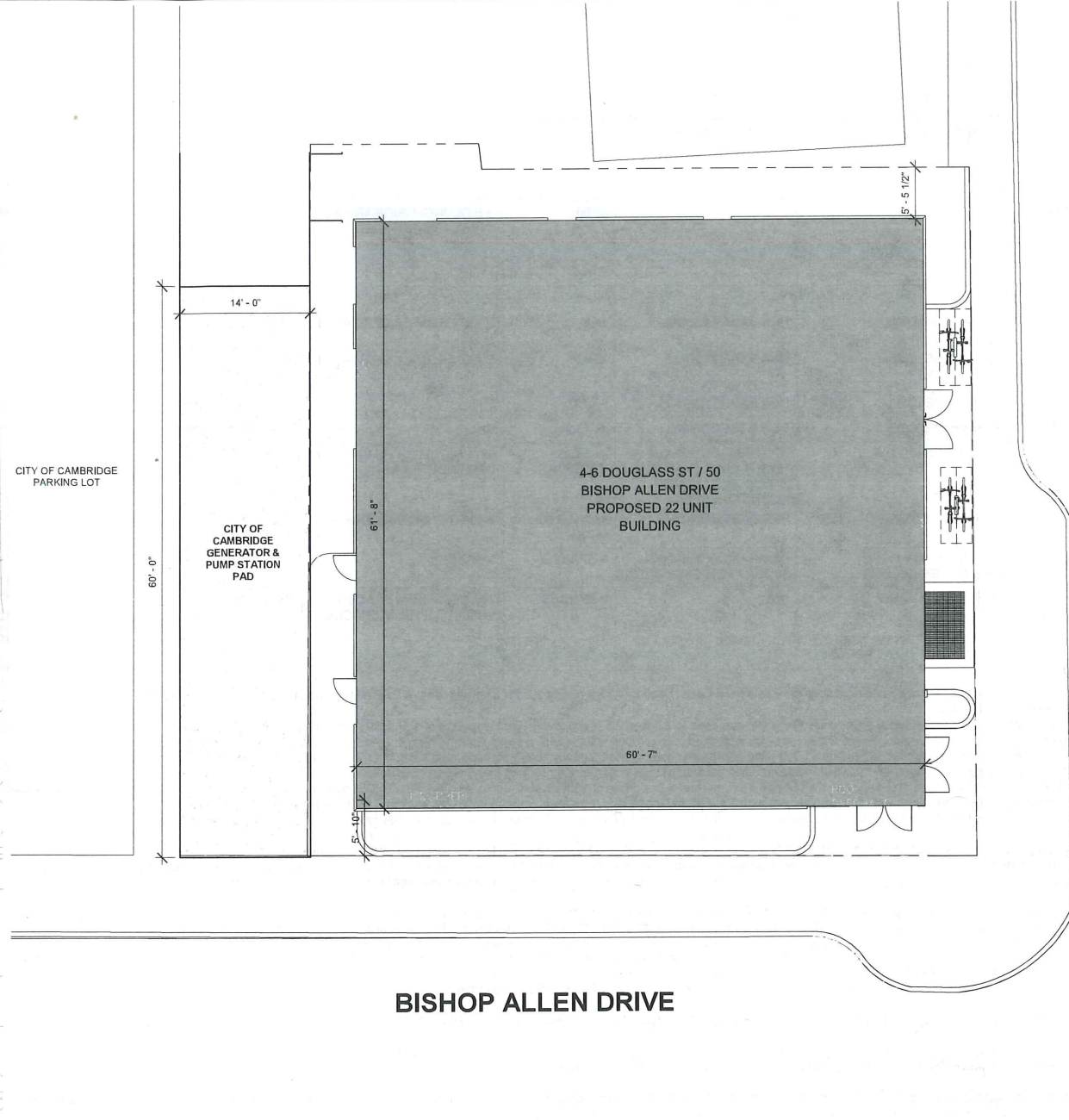
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Architectural Site Plan

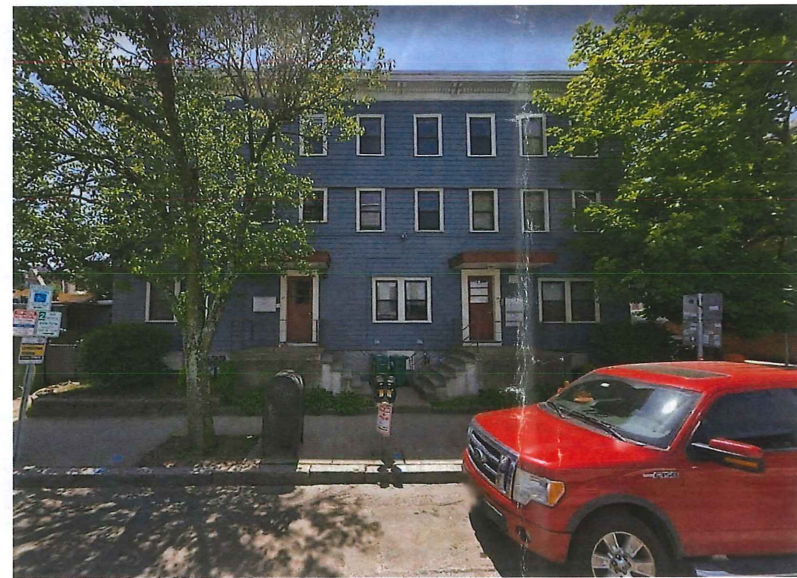
A-020
 Bishop Allen @ Douglass



1 Site Plan - Existing
1/8" = 1'-0"



2 Site Plan - Proposed
1/8" = 1'-0"



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REGISTRATION

Project number 18132
 Date 09/05/2019
 Drawn by ERS
 Checked by JSK
 Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date

Existing & New Site Plans

A-021
 Bishop Allen @ Douglass

PROJECT NAME
**Bishop Allen @
 Douglass**

PROJECT ADDRESS
 BISHOP ALLEN DRIVE
 @ DOUGLASS STREET
 CAMBRIDGE, MA

CLIENT
FIRST CAMBRIDGE

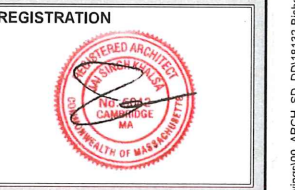
ARCHITECT

KHALSA

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 TELEPHONE: 617-591-8682 FAX:
 617-591-2065

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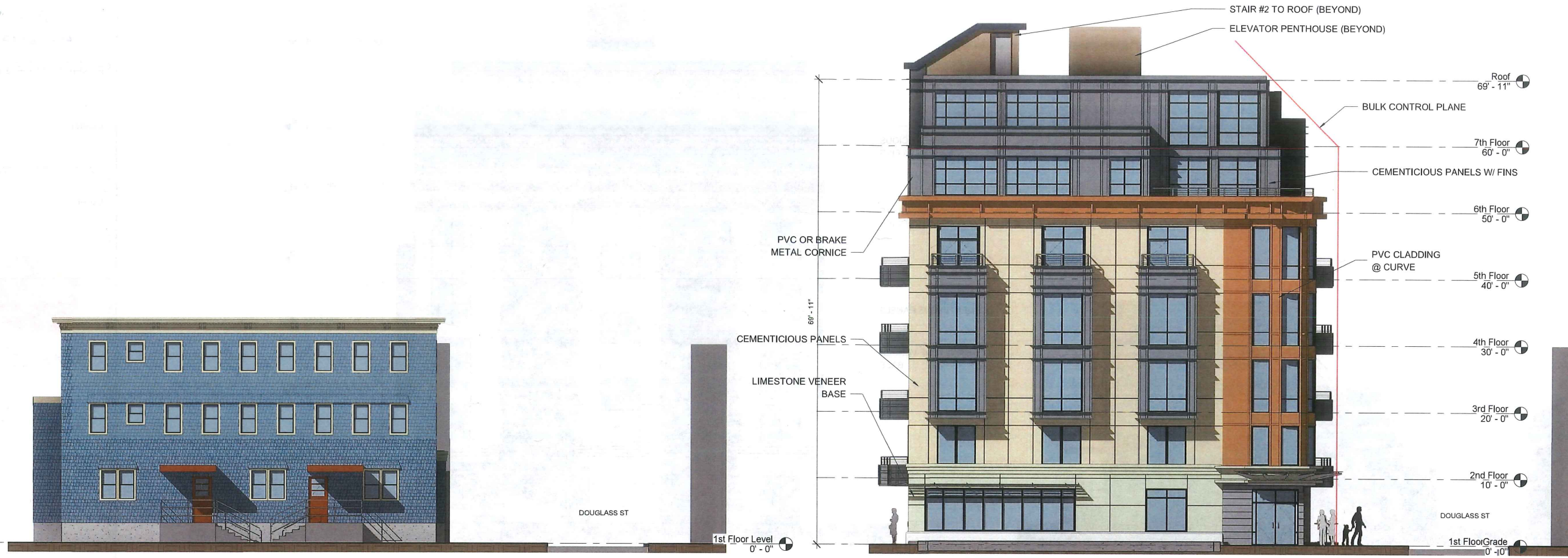
Project number 18132
 Date 09/05/2019
 Drawn by Author
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 Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date

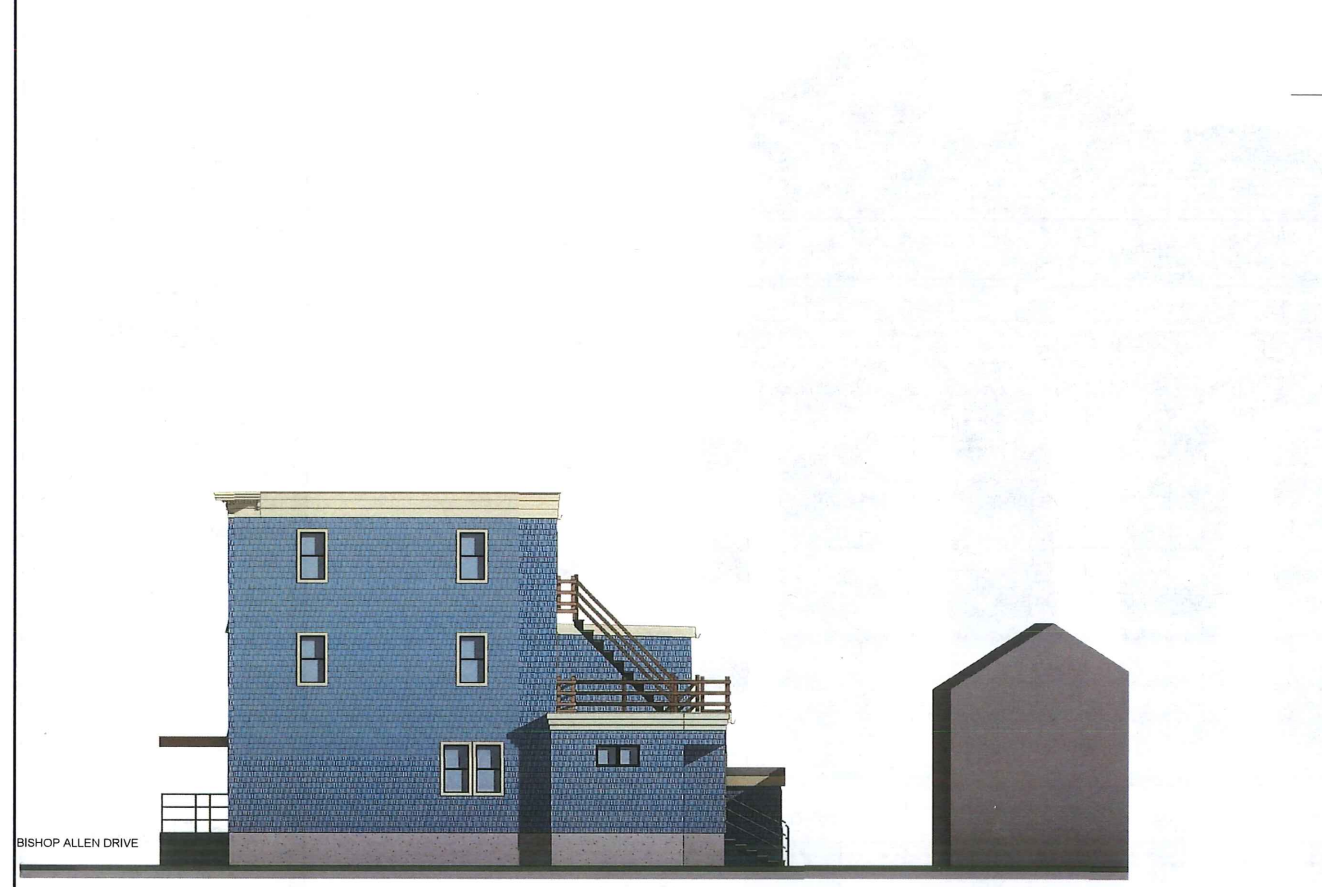
Street Elevations

A-301
 Bishop Allen @ Douglass



① Existing Bishop Allen Drive Elevation
 1/8" = 1'-0"

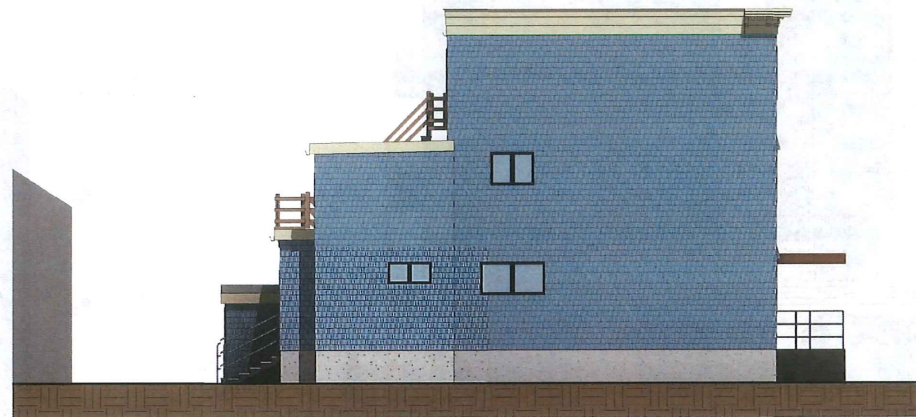
② Proposed Bishop Allen Drive Elevation
 1/8" = 1'-0"



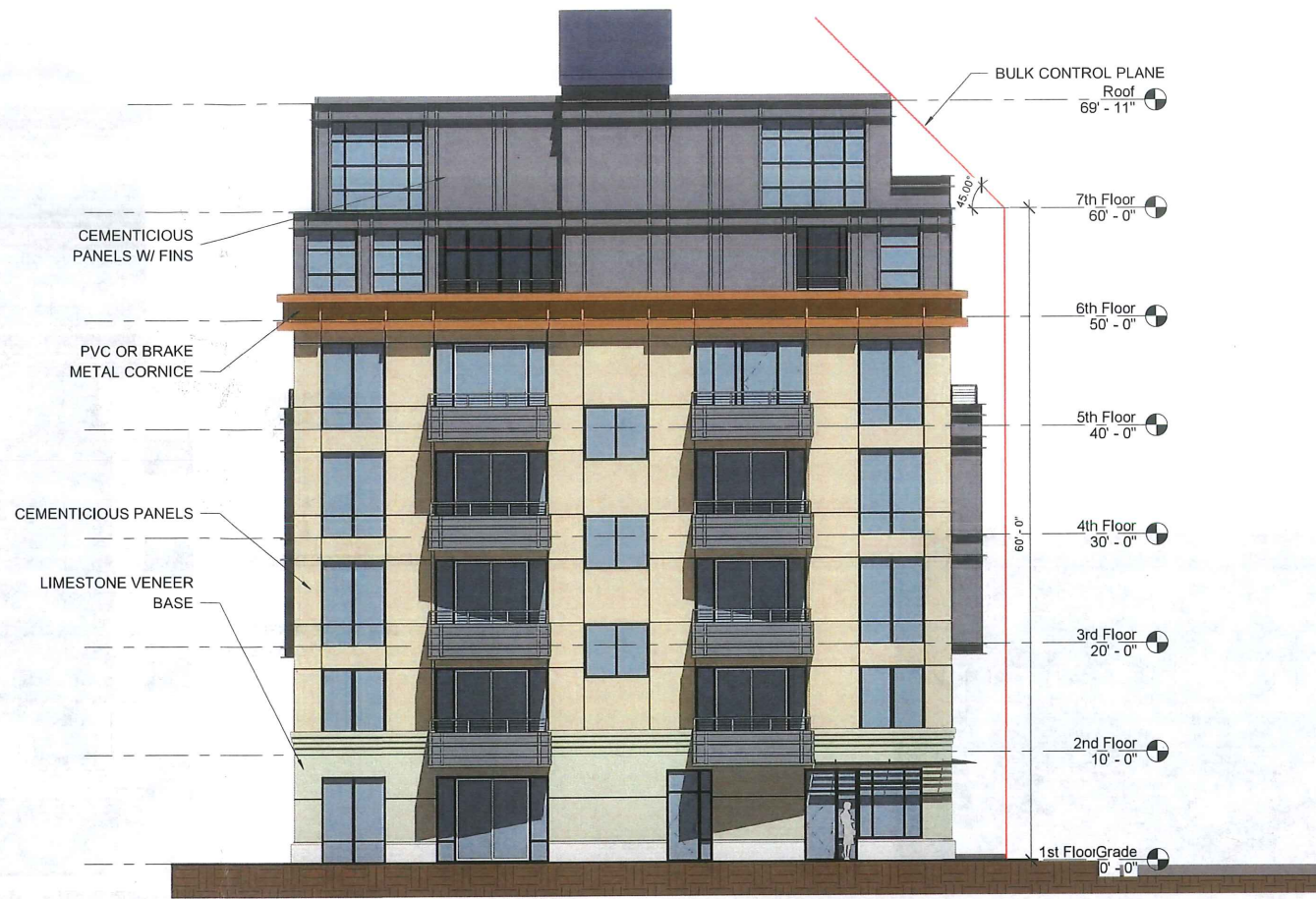
③ Existing Douglass Street Elevation
 1/8" = 1'-0"

④ Proposed Douglass Street Elevation
 1/8" = 1'-0"

I:\TG-SERVER\DATA\18132-FC-BAD-Douglass-cambridge\05_Drawings\00_ARCH_SD_DD18132-Bishop Allen Drive at Douglass Street-scheme_Srv.rvt 9/5/2019 4:42:31 PM



① Existing Left Side Elevation
1/8" = 1'-0"



② Proposed Left Side Elevation
1/8" = 1'-0"



③ Existing Right Side Elevation
1/8" = 1'-0"



④ Proposed Right Side Elevation
1/8" = 1'-0"

PROJECT NAME
**Bishop Allen @
Douglass**

PROJECT ADDRESS
BISHOP ALLEN DRIVE
@ DOUGLASS STREET
CAMBRIDGE, MA

CLIENT

FIRST CAMBRIDGE

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
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Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date

Side Elevations

A-302

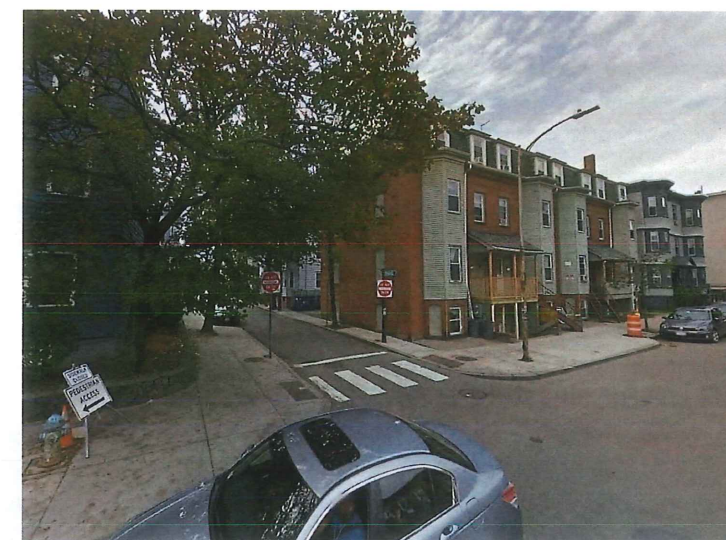
Bishop Allen @ Douglass



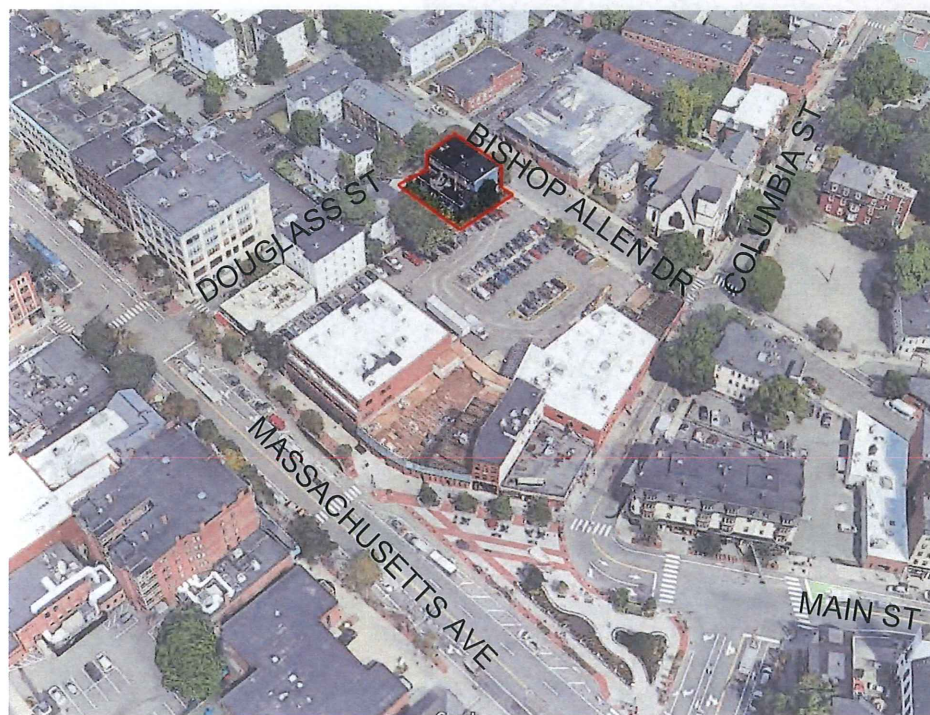
1. LEFT OF SITE



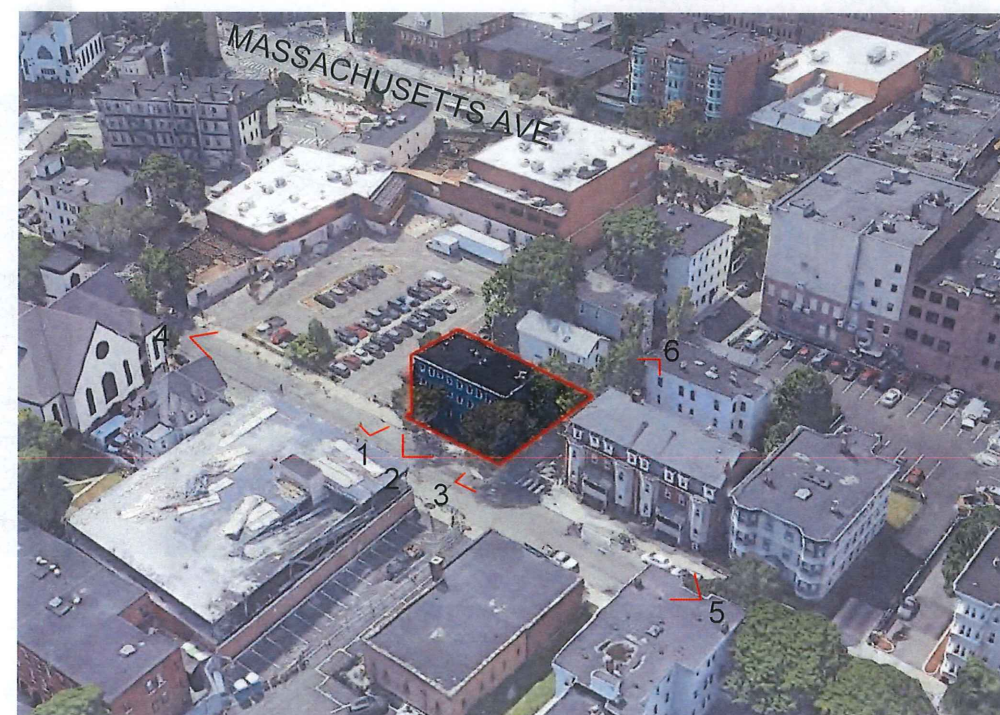
2. SITE



3. RIGHT OF SITE



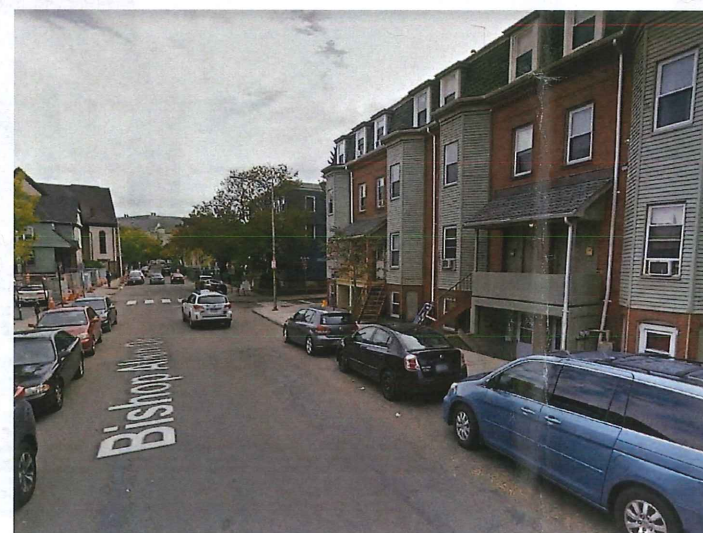
AERIAL VIEW 1



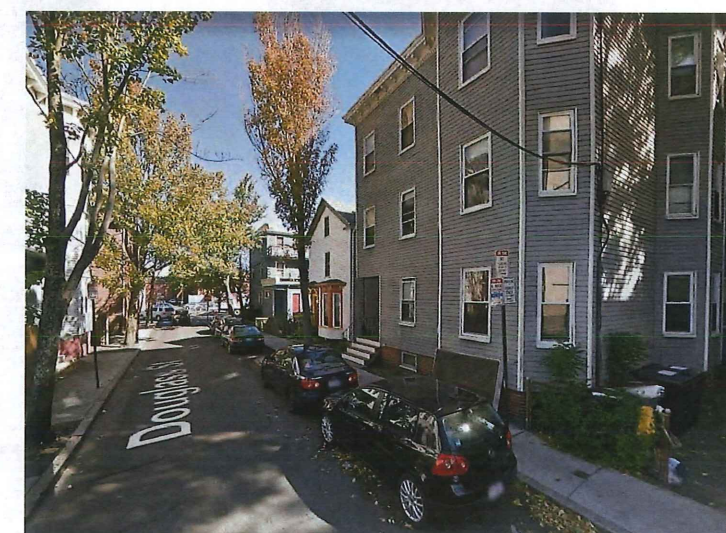
AERIAL VIEW 1



4. VIEW UP BISHOP ALLEN DRIVE (FROM COLUMBIA ST)



5. VIEW UP BISHOP ALLEN DRIVE (TOWARD COLUMBIA ST)



5. VIEW UP DOUGLASS ST (TOWARD BISHOP ALLEN DR)

PROJECT NAME
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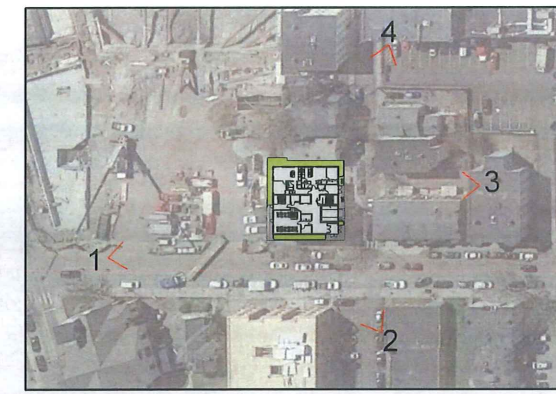
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 Scale

REVISIONS

No.	Description	Date

Neighborhood
 Photos

AV-1
 Bishop Allen @ Douglass



PROJECT NAME
**Bishop Allen @
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REVISIONS

No.	Description	Date

Perspectives

AV-2

Bishop Allen @ Douglass

1. VIEW LOOKING UP BISHIP ALLEN DRIVE



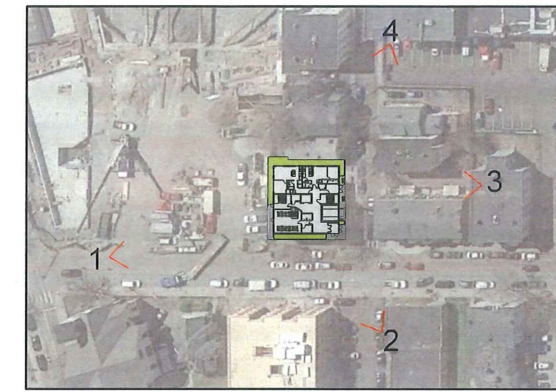
2. VIEW OPPOSITE LEFT OF SITE LOOKING TOWARD DOUGLASS ST



2. VIEW TOWARD DOUGLASS ST FACADE



2. VIEW FROM MASSACHUSETTS AVENUE LOOKING TOWARDS BISHOP ALLEN DR



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 BISHOP ALLEN DRIVE
 @ DOUGLASS STREET
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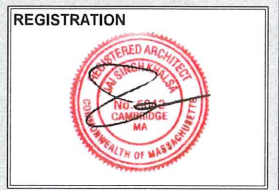
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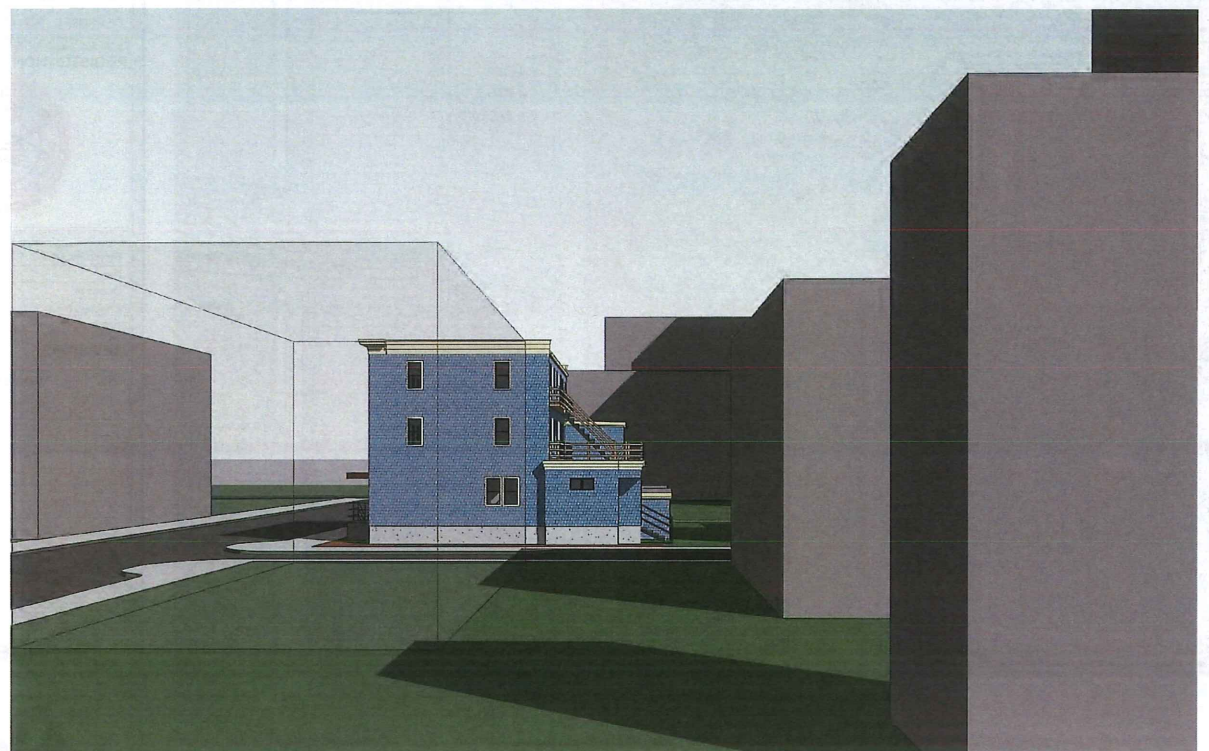
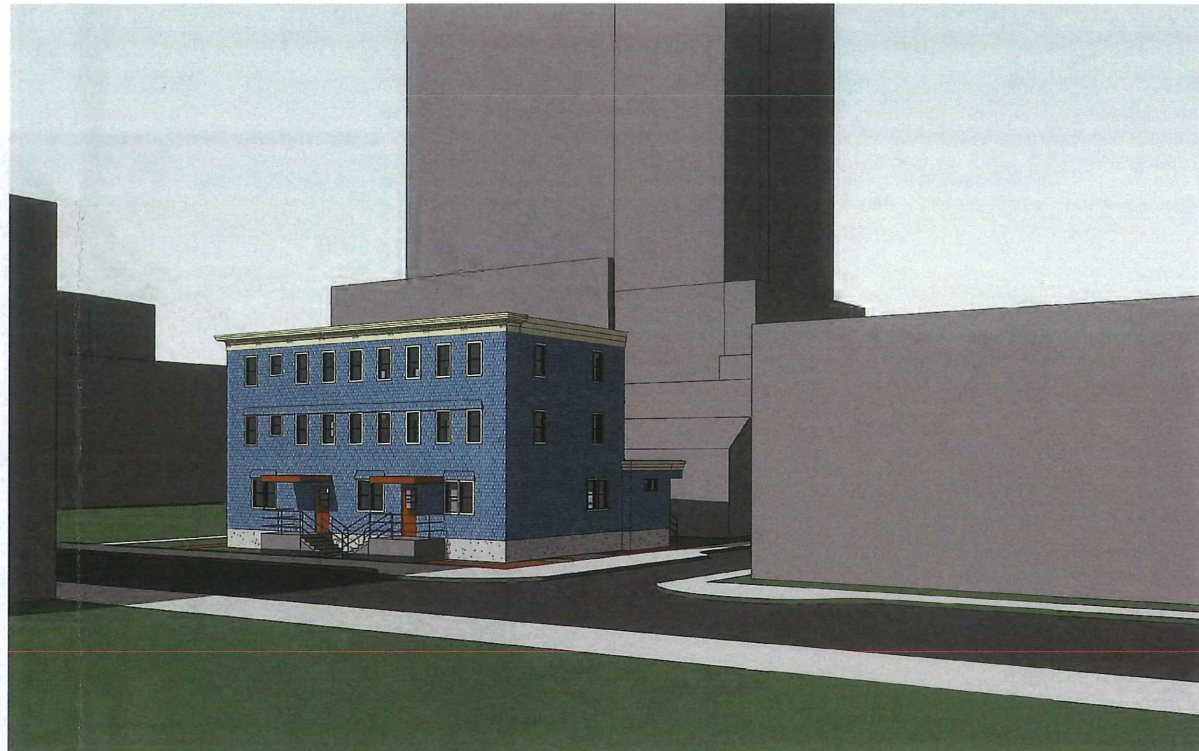
Existing
 Perspectives

AV-2A
 Bishop Allen @ Douglass

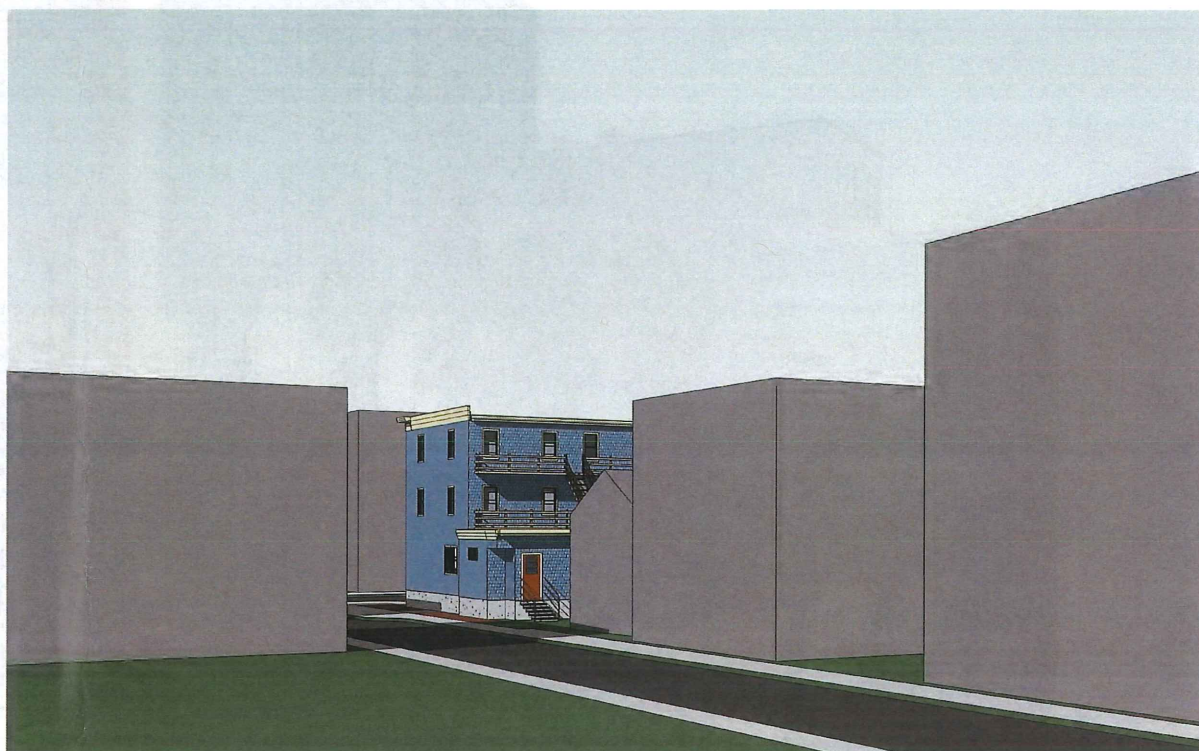
1. VIEW LOOKING UP BISHIP ALLEN DRIVE



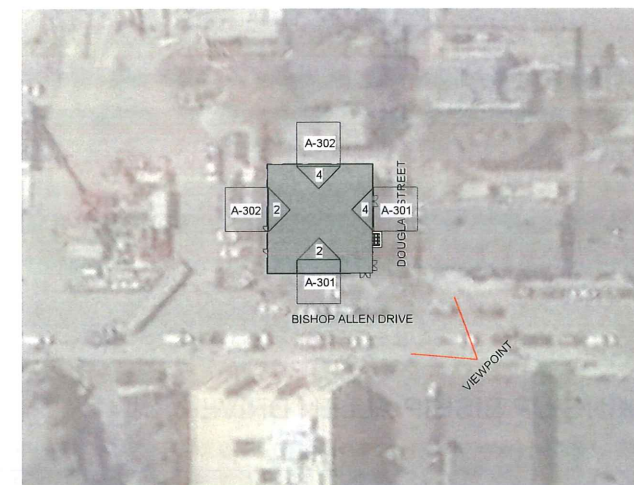
2. VIEW OPPOSITE LEFT OF SITE LOOKING TOWARD DOUGLASS ST



2. VIEW TOWARD DOUGLASS ST FACADE



2. VIEW FROM MASSACHUSETTS AVENUE LOOKING TOWARDS BISHOP ALLEN DR



PROJECT NAME
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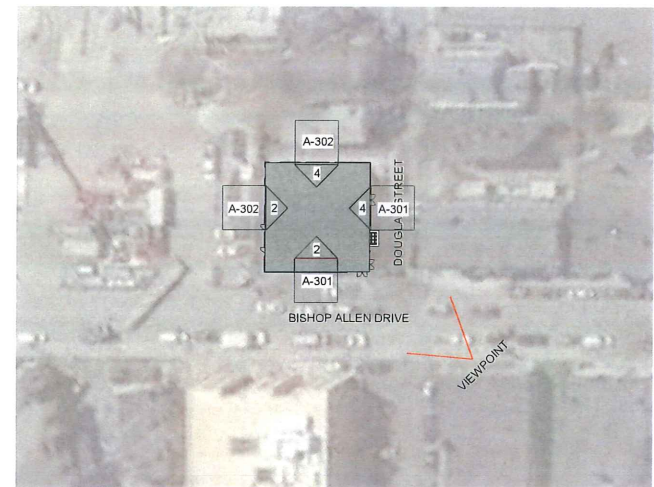
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REVISIONS

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Rendering 1

AV-4
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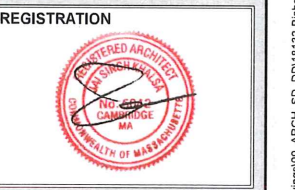


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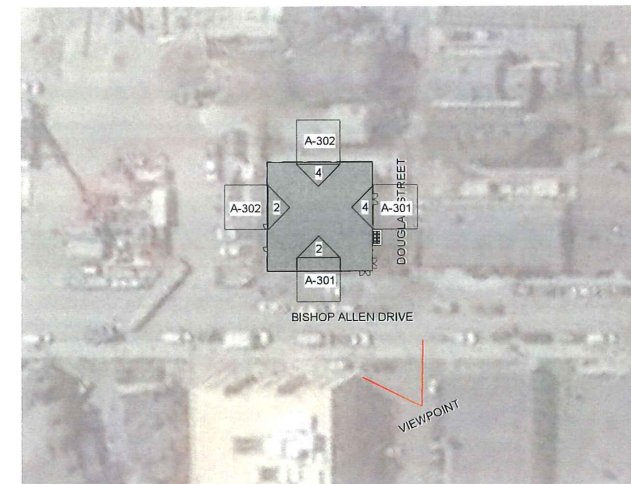
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Rendering 1 -
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AV-4A
 Bishop Allen @ Douglass



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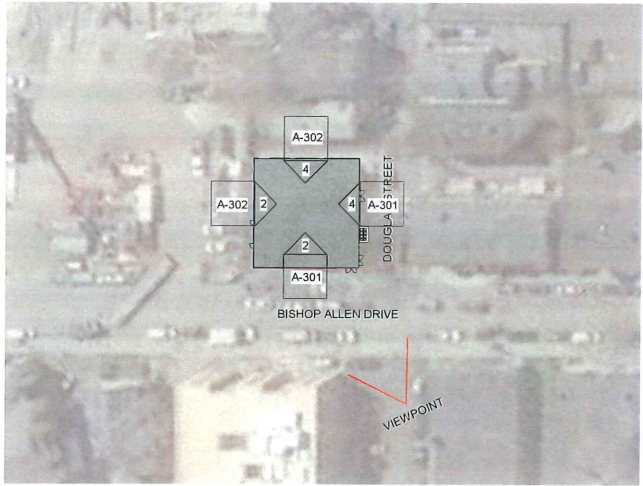
REVISIONS

No.	Description	Date

Rendering 2

AV-5
 Bishop Allen @ Douglass





PROJECT NAME

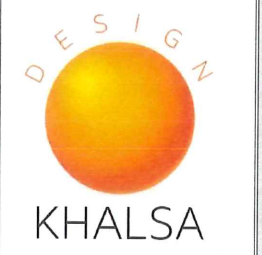
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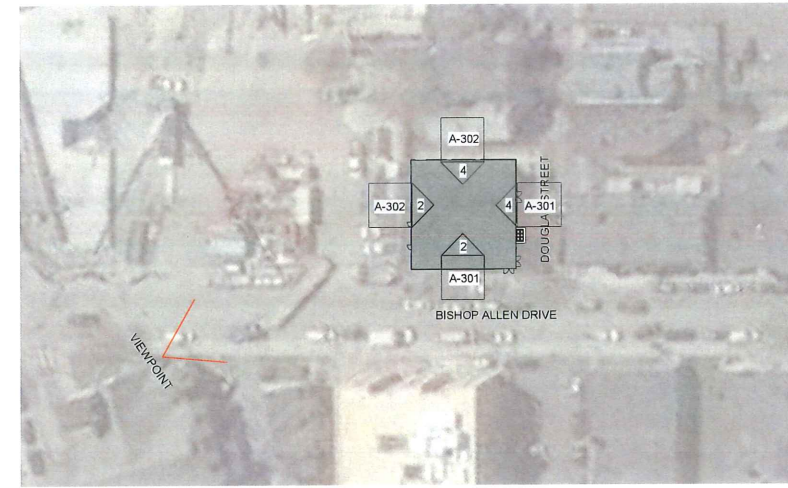
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Rendering 2 -
Existing

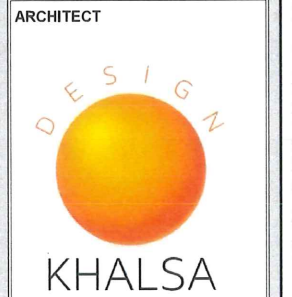
AV-5A
Bishop Allen @ Douglass



PROJECT NAME
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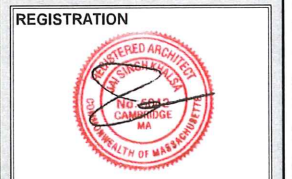
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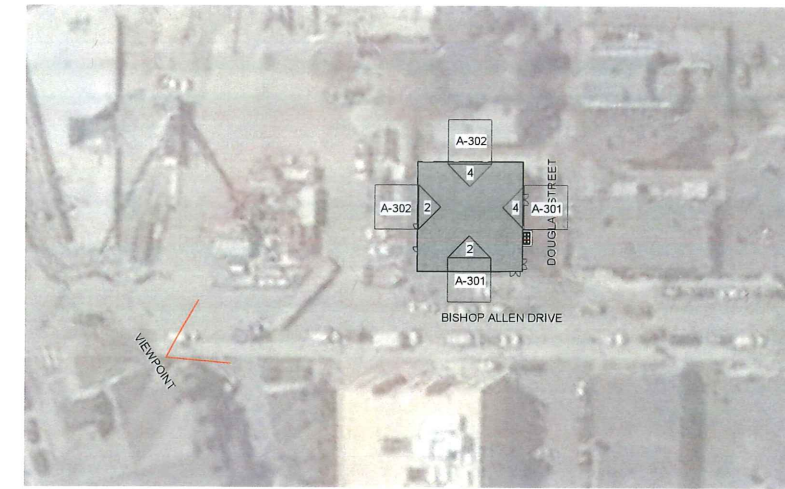
REVISIONS

No.	Description	Date

Rendering 3

AV-6
 Bishop Allen @ Douglass






PROJECT NAME
**Bishop Allen @
 Douglass**

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 @ DOUGLASS STREET
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No.	Description	Date

Rendering 3 -
 Existing
AV-6A
 Bishop Allen @ Douglass

